



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2019-002671

Application No. SI-2021-00255 and -00256

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

***(Please attach this sheet with each collated set for each board member)**

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: April 14, 2021 HEARING DATE OF DEFERRAL: N/A

SUBMITTAL

DESCRIPTION: Updated plans, infrastructure list, and supporting information.

CONTACT NAME: Jacqueline Fishman, AICP

TELEPHONE: (505) 764-9801 EMAIL: fishman@consensusplanning.com



Memorandum

To: Jolene Wolfley and DRB Members, City of Albuquerque

From: Jackie Fishman, AICP, Consensus Planning, Inc.

Date: April 9, 2021

Re: DRB Comment Responses for PR-2019-002761 (SI-2021-00255 and SI-2021-00256)

This memo outlines the changes and updates made to the site plan for the proposed development. The comments are numbered, and responses are in bold italics. Additional documentation is attached as part of this supplemental submittal.

Hydrology

1. Hydrology has an approved Conceptual Grading and Drainage Plan (C18D088) with engineer's stamp date 02/25/21.
2. Hydrology has no objection to the Site Plan for Building Permit.
 - a. ***Noted.***

Transportation Development

1. Obtain shared agreement with the lot to the south.
 - a. ***A copy of the existing recorded Declaration of Easements is attached, which permits shared for the subject property upon all the common access drives of the property to the south.***
2. Label all accessway widths. Provide dimension for Keyed Note 6 at the crosswalk.
 - a. ***Accessway widths and dimension have been added, as requested.***
3. On site plan, label all access aisle widths for the handicapped spaces to differentiate between the van accessible aisles and the standard aisles.
 - a. ***The aisle widths have been added.***
4. Include flared ramp detail if being used on the site plan. Curb ramps shown on the site plan shall match with curb ramp details.
 - a. ***A flared ramp detail has been added to sheet A9.01.***
5. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "***Violators Are Subject to a Fine and/or Towing.***" If that language is present, it is not visible in the detail.
 - a. ***The accessible parking sign detail has been updated to include the required language.***
6. Call out all on-site curb on site plan and provide as part of details. Curb shall be 6" to 8" high.
 - a. ***Keynote 32 has been added to call out curb and the corresponding detail is on sheet A9.01.***
7. Identify number of bike parking spaces under the staircases.
 - a. ***Keynote 26 has been updated to indicate 1 bicycle space per stair location.***
8. On sidewalk details, provide a note showing a 2% maximum cross-slope.
 - a. ***The sidewalk details have been updated to address the maximum cross-slope.***

9. Sidewalk in right-of-way shall be a minimum of 5 feet wide per new DPM standards.
 - a. **Keynote 31 and a General Note have been added to address this comment.**
10. Comments on infrastructure list were provided with plat comments. The infrastructure list is requested to be tied to platting action.
 - a. **An updated infrastructure list is attached to this supplemental submittal. This includes the Modesto Street improvements and the streetlight at the corner. Regarding the request to tie the infrastructure to the plat, we prefer to tie the infrastructure to the site plan due to the notices that were sent for each item. The platting action was submitted as a Subdivision of Land – Minor and did not include notice that is associated with a Major plat that has been required for public infrastructure. Tying the infrastructure to the site plan allows the project to be approved and move forward without any concerns over proper notice.**
11. Provide a note stating that all public infrastructure shall be built as part of the Work Order.
 - a. **This note has been added to the site plan.**

ABCWUA

SI-2021-00255 – SITE PLAN AMENDMENT

1. Prior to removal of Lot 8A, the service stub outs shall be removed and capped, or such removal be provided for on an infrastructure list for a site plan (SI-2021-00256).
 - a. **The removal of the existing line and related service stubs and associated infrastructure is included in the updated infrastructure list, which is attached, as well as shown via Keyed Note 6 on the utility plan.**
2. The project to the north is reliant upon a sewer main depicted on the remainder portions of this site plan. Please advise as to the existence of that sewer main, when it will be constructed, and how public easement will be provided at the sewer main location as needed for the apartments to connect.
 - a. **The utility plan for the project to the north has been revised to show a separate private sewer line. The existing easements upon this property provide for the ability to install underground utilities for the benefit of the northern property across the southern property (see attached).**
3. Additional public waterline easement appears to be necessary on the remainder tracts for the utility plan for the apartment project to work. Please advise as to the generation of additional public waterline easements on the remainder tracts.
 - a. **The Site Utility Plan has been updated to indicate a proposed public waterline easement to be granted by paper document.**

SI-2021-00256 – SITE PLAN

1. The alignment of the relocated public water main requires approval.

It is the preference of ABCWUA for a more direct route on the water main through the site. This can be accomplished by traversing due north then due east. This also reducing the extent of water main to be removed and replaced on the northern parcel line. Please review the alignment and submit a workable alternative for ABCWUA review and approval.

 - a. **This comment has been discussed with staff. The proposed location of the waterline is happening along with the relocation of gas lines away from the northern edge of the property, which allows for the planting of trees and other landscaping to create a**

buffer to the subdivision to the north. In addition, carport structures are being installed as well, so these lines need to be relocated to the drive aisles, which are open and away from each other.

2. No adverse comments to the current infrastructure list. Upon issuance of the availability statement, this will be reviewed again to confirm it complies with the statement and project needs. This will also need to take into account any changes from the comment above.

a. Understood.

3. The onsite hydrants shall be private and be painted accordingly.

a. This has been noted on the revised utility plan.

4. Please show public waterline easements on the lot to the south so that we have confirmation that the proposed routing is within an ABCWUA public waterline easement. If one does not exist, acquire one or adjust the alignment.

a. A proposed waterline easement has been identified, which will be granted by paper document.

5. Please show private sewer easement on the lot to the south so that we can confirm there is a viable path for the sewer shown on the utility plan. If one does not exist, acquire one or adjust the alignment.

You may not share private sewer services. Connection to the existing private sewer on the lot to the south is not permissible, and a new private sewer service would have to be constructed to direct flows to the south.

Alternatively, you may connect to sewer at the northeast of the site on Modesto.

a. A new, separate private sewer line is now proposed on the utility plan, directing flows to the south.

Planning

SI-2021-00255 – SITE PLAN AMENDMENT

1. The original previously approved Site Plan is included in the application submittal. However, the Amended Site Plan that is subject to review and approval by the DRB is not included in the submittal and must be added.

a. We have reattached the proposed amended site plan to this supplemental submittal. It consists of two sheets, amending the last Minor Amendment that was done to remove Lot 8-A and state it will be approved via separate submittal, as well as delete the building elevation for the building that will no longer be built.

SI-2021-00256 – SITE PLAN

1. The property is depicted as zoned NR-BP on the AGIS Zoning Advanced Map Viewer but was rezoned to MX-L in November 2020.

a. Correct.

2. The Project Number and Application Number need to be added to the Site Plan.

a. These numbers have been added to the plan.

3. The applicant is seeking a deviation of 6 parking spaces from the parking requirements. The applicant states in the letter of justification that of the 120 units proposed, 55% are studio or one-bedroom apartments, ensuring adequate parking for all residents living on the site. Staff has no objection to the deviation.

a. Understood.

4. The proposed development is adjacent to single-family/low-density residential development

zoned R-1A along the eastern boundary of the property. The Neighborhood Edge provisions of 5-9 of the IDO must be met along the eastern boundary of the property, including the portion of Building 1. Per 5-9(C), buildings within 100 feet of the nearest protected lot must step down to a maximum of 30 feet. Portions of Building 1 at 34-feet in height are taller than the maximum-permitted 30 feet height limit of 5-9(C).

- a. This building is a two-story building and only has a height of 27 feet, but one elevation incorrectly labeled it with the same height as the three-story buildings. This has been corrected.***
5. Preliminary/Final Plat approval consolidating the lots will be required prior to the approval of the Site Plan.
 - a. Understood.***
6. An Infrastructure List is included.
 - a. An updated infrastructure list that addresses comments from Transportation and the Water Authority is attached.***
7. The elevations included in the Site Plan are black and white. Staff requests you submit color elevations of the proposed development.
 - a. The Architect is working on colored elevations and should have them prepared by the April 14th DRB meeting to share with the Board.***
8. Planning defers to Parks regarding the trees and shrubs proposed to be planted. They must conform with the City of Albuquerque's Tree List.
 - a. Understood.***
9. A Deviation application request form for the parking spaces Deviation must be filled out and submitted to Carl Garcia in Code Enforcement.
 - a. A Deviation application has been completed and is attached to this supplemental submittal. In addition, we have submitted it directly to Carl Garcia for review by Code Enforcement.***
10. Specify how the Façade Design requirements of 5-11(E)(2)(a) are being met in a comment response letter and/or on the Site Plan.
 - a. 5-11(E)(2)(a) regulates building design for street-facing facades. The only facades within the proposed development that are street-facing are the north elevations of Building Type I (left) and the Clubhouse (right).***

The north side of Building Type 1 includes a primary building entrance and several patio entrances facing toward Modesto. The upper floor patios and awning over the building entrance create a horizontal break to the building mass that makes the ground level a more human scale. There are 27 linear feet of ground floor windows, as well as upper floor windows and awnings along a total façade length of a little more than 73 feet or about 37%. No more than the maximum 40 feet is between any distinct feature.


The awnings, building overhangs, and horizontal trims around the clubhouse are respective of the human scale and visually indicate separation between ground and upper floor. The north side of the clubhouse building includes several large windows with an overhang on the right side and additional windows in the center of the elevation. An additional transom window with an awning has been added to the left side of the elevation to ensure that at least one required element is

provided at least every 40 feet along the façade. These windows and the awning cover at least 40 linear feet of a total façade length of 106 feet or approximately 38%. Because this façade is over 100 feet long, there are variations in the façade, including projections and recesses as well as multiple colors to break up the mass.

DEVIATION APPLICATION

****DEVIATIONS NOT ALLOWED IN OVERLAY ZONES****

CEP # _____

APPLICATION INFORMATION			
Date:		Received By:	
Address of request: 6511 Eagle Rock Ave NE; 6700 & 6716 Modesto Ave NE			
City/State/Zip: Albuquerque, NM 87113			
PROPERTY OWNER INFORMATION			
Property Owner Name: Kassam Land Acquisition 9, LLC, Sara Otto-Diniz, and Scott Cole			
Address: 5051 Journal Center Blvd, Suite 500			
City/State/Zip: Albuquerque, NM 87109			
Phone: (505) 243-6000		Email: fkassam@legacydm.net	
APPLICANT/AGENT INFORMATION			
Applicant/Agent Name (Owner letter of Authorization required): Jacqueline Fishman, AICP			
Business Name: Consensus Planning, Inc.			
Address: 302 Eighth Street NW			
City/State/Zip: Albuquerque, NM 87102			
Phone: (505) 764-9801		Email: fishman@consensusplanning.com	
DEVIATION APPLICATION REQUIREMENTS			
<p>MUST INCLUDE: <input checked="" type="checkbox"/> SITE PLAN <input checked="" type="checkbox"/> ANY ADDITIONAL SUPPORTING DOCUMENTS</p> <p>6-4(P)(3) Decision-making body may approve Deviation if all following requirements are met:</p> <p style="text-align: center;"><u>CHECK BOX IF REQUIREMENT IS MET</u></p> <p><input checked="" type="checkbox"/> 6-4(P)(3)(a) Applicant's site is subject to site constraints not generally shared by surrounding properties or site was platted or developed in an unusual pattern when compared to abutting properties Explanation: Please see attached justification letter.</p> <p><input checked="" type="checkbox"/> 6-4(P)(3)(b) Site constraints were not created by actions of property owner or another interested party. Explanation: Please see attached justification letter.</p> <p><input checked="" type="checkbox"/> 6-4(P)(3)(c) Request is for single site and is not part of a pattern of similar requests for adjacent properties or for nearby sites by the same property owner or within the same subdivision, Framework Plan area, or Master Plan Area. Explanation: Please see attached justification letter.</p> <p><input checked="" type="checkbox"/> 6-4(P)(3)(d) Approval of deviations will not cause material adverse impacts on surrounding properties. Explanation: Please see attached justification letter.</p> <p><input checked="" type="checkbox"/> 6-4(P)(3)(e) Requested deviation will not result in a violation of any Overlay zone standard.</p>			
APPLICANT-OWNER SIGNATURE			
By signing below I confirm that I am the owner or agent (with owner's letter of authorization) of above-listed address and all information contained in this application is true and correct to the best of my knowledge.			
Applicant/Owner Signature: 			Date: April 9, 2021
OFFICIAL USE ONLY			
UPC Number:			
Lot:	Block:	Zone:	Map Page:
Previous zone:		Landfill buffer: Yes <input type="checkbox"/> No <input type="checkbox"/>	
Subdivision:			
APO:	CPO:	HPO:	VPO:
Mapped Area:		Master Dev Plan: Yes <input type="checkbox"/> No <input type="checkbox"/>	Site Dev. Plan: Yes <input type="checkbox"/> No <input type="checkbox"/>
UC - AC - MS - PT - MT - MX-FB: Yes <input type="checkbox"/> No <input type="checkbox"/>			
List any current or prior project and case history numbers:			
<input type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED BY:			Date:

PLEASE USE BACK OF PAGE IF MORE ROOM IS NEEDED FOR JUSTIFICATION AND REFERENCE EACH CODE



April 9, 2021

Carl Garcia
Code Enforcement Supervisor
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Landscape Architecture
Urban Design
Planning Services

Re: Deviation Request for The Peaks by Markana Site Plan

Dear Mr. Garcia:

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to request approval of a Deviation to the minimum parking requirements of 6 parking spaces for the proposed Peaks by Markana project on behalf of Legacy Development & Management, LLC (Applicant). The Applicant proposes to develop a 120-unit multi-family residential development on the property located at 6700 and 6716 Modesto Avenue NE (see Figure 1 below). The legal description of the site is Lots 8-A, 11, and 12, Block 26, Tract A, Unit B, North Albuquerque Acres. A Preliminary/Final Plat that consolidates these lots has been submitted to the Development Review Board (DRB) to be approved along with the proposed Site Plan. Both actions are scheduled for the April 14, 2021 DRB meeting.



Figure 1: Site Location on Modesto Avenue NE.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

The site is zoned MX-L: Mixed-use Low Intensity, which allows for a multi-family residential development permissively. The Environmental Planning Commission



(EPC) approved the Zoning Map Amendment that facilitates the Site Plan at its November 2020 public hearing. The site is in the North Albuquerque Community Planning Area and designated an Area of Consistency by the Comprehensive Plan.

Deviation Justification

As previously described, a Deviation of 6 parking spaces is requested in conjunction with the Site Plan approval. Per IDO Section 6-4(P), the relevant decision-making body may approve a requested deviation within the limits of Table 6-4-1, if they determine the following criteria are met. The proposed request represents a Deviation of 3.3%. Up to a maximum Deviation of 5% is allowable per Table 6-4-1. The request is justified according to the criteria in IDO Section 14-16-6-4(P)(3) as described below (*our responses are provided in italics following each of the criteria*):

6-4(P)(3)(a) The applicant's site is subject to site constraints not generally shared by surrounding properties or the site was platted or developed in an unusual pattern when compared to abutting properties (e.g., the property was developed with orientation or access facing a different street than abutting lots) that would prevent the development of a permissive land use in a type of structure generally found on sites of a similar size in the surrounding area.

Applicant's Response: The subject site includes site constraints not generally shared by the surrounding properties. Lot 12, the easternmost of the lots incorporated into this site plan request, is encumbered by easements benefitting Lot 21 to the south. While these easements are being partially vacated to accommodate this project, this site must keep an easement and access available at the southeast corner of the property for continued use by Lot 21. If this were not required, several more parking spaces could be accommodated along the southern boundary of the site plan. In addition, along the northern boundary of the site, where the Modesto Avenue right-of-way was previously vacated, an easement that holds a water main runs parallel to the Tierra Serena subdivision to the north. Within this easement is a significant grade change that limits the developable area of the property and prevents the addition of additional parking spaces to the site plan.

6-4(P)(3)(b) The site constraints were not created by the actions of the property owner or another interested party.

Applicant's Response: These constraints were not created by actions of the property owner or other interested parties. The easements benefitting Lot 21 were created by a prior owner who intended to further develop Lot 12. However, that additional development of Lot 12 never materialized, and the remainder easement must be maintained for what was developed on Lot 21 regardless of this new development to the north. The easement along the northern boundary was required to provide water services to the tracts to the north that were developed into the Tierra Serena subdivision. The topography of the site naturally slopes and is affected by the final grades set by adjacent development, including Tierra Serena (north), Eagle Rock



Estates (east), and the City of Albuquerque's Solid Waste Convenience Center (west), none of which are associated with this property owner or developer.

6-4(P)(3)(c) The request is for a single site and is not part of a pattern of similar requests for adjacent properties or for nearby sites by the same property owner or within the same subdivision, Framework Plan area, or Master Development Plan area.

Applicant's Response: This deviation request is for this single site and the proposed Site Plan. Adjacent properties contain different development types and are already built out with their required parking. This property owner developed other multi-family projects in the vicinity, which did not require any deviations, so this request is not part of a pattern of similar requests by this owner or for nearby sites within the same subdivision or plan area.

6-4(P)(3)(d) The approval of the requested deviations will not cause material adverse impacts on surrounding properties.

Applicant's Response: Approval of the requested deviation will not cause material adverse impacts on surrounding properties. Of the 120 units proposed, 55% are studio or one-bedroom apartments. The Applicant is providing one parking space for every bedroom in the development, which ensures adequate parking for all residents who will be living on site. This is consistent with several other multi-family developments approved by the Development Review Board within the last year.

6-4(P)(3)(e) The requested deviation is not for an Overlay zone standard, and the approval of any requested deviation will not result in a violation of any Overlay zone standard.

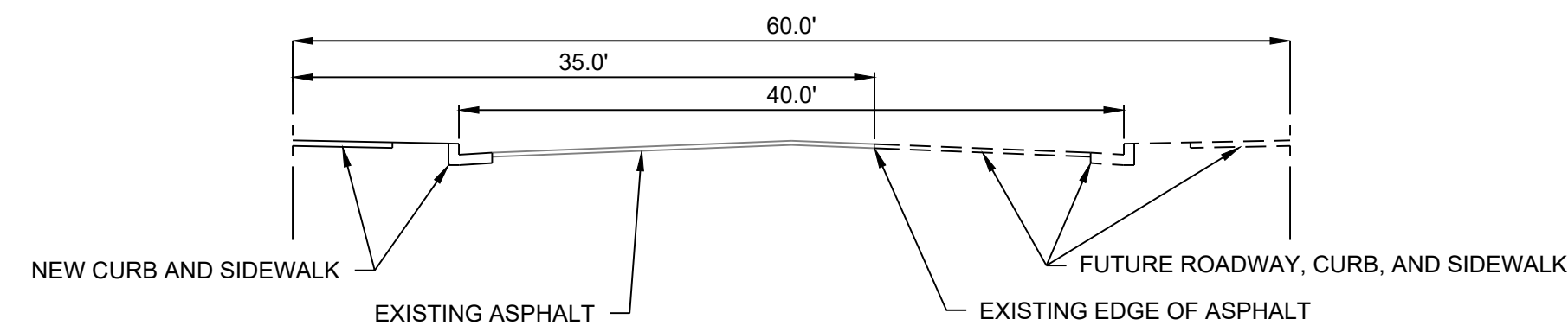
Applicant's Response: The subject site is not within an Overlay zone, so there are no Overlay zone standards that apply. The requested deviation is to the general minimum off-street parking requirement.

Based upon the information provided above and supporting documents within the application, we respectfully request approval of the Deviation in conjunction with the Site Plan being reviewed by the Development Review Board. Please do not hesitate to contact me if you have any questions or need any additional information.

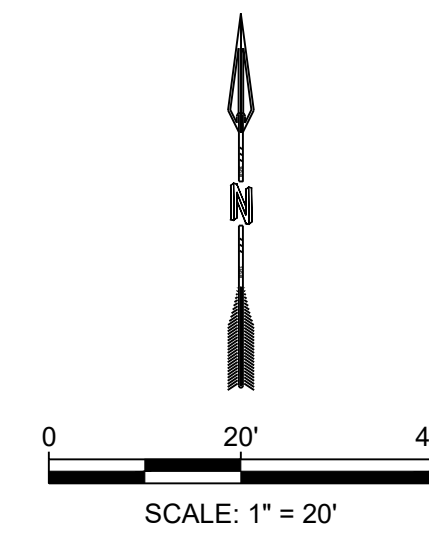
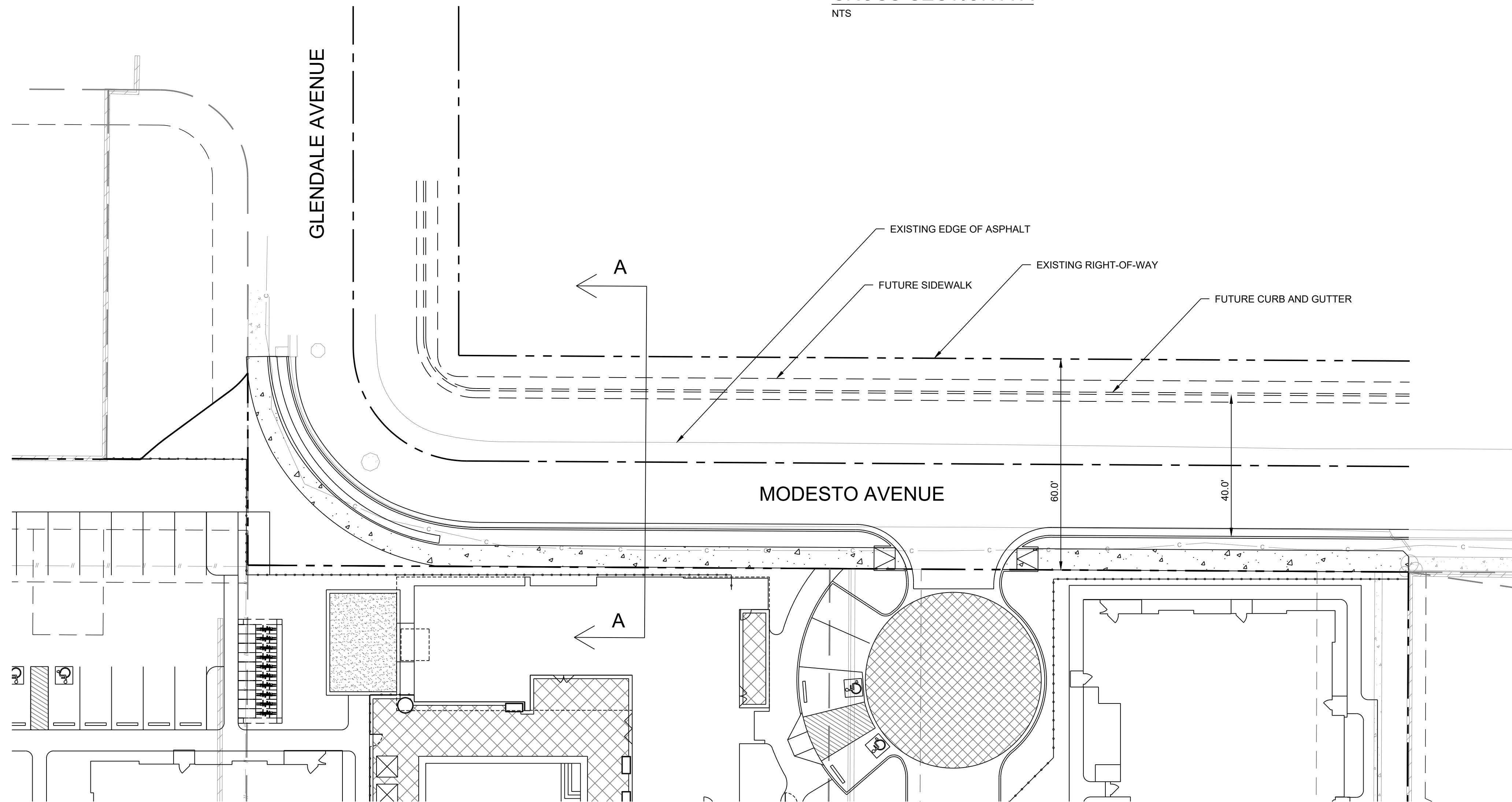
Sincerely,

Jacqueline Fishman, AICP
Principal

NAME: N:\Projects\03711 Legacy Modesto3_DWG\Exhibits\03711 Modesto Cross Section Exhibit.dwg PLOT DATE: Apr 09, 2021 11:01 am



CROSS-SECTION A-A
NTS



MODESTO AVE ROADWAY &
CROSS SECTION EXHIBIT
April 9, 2021



RESPEC

COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NEW MEXICO 87109
WWW.RESPEC.COM PHONE: (505)253-9718

Return to: First American Title Ins. Co. GF# MLC-Cowden

DECLARATION OF EASEMENTS

This DECLARATION OF EASEMENTS (this "Declaration") made this 4th day of April, 2012, by Kassam Business Center, LLC ("Declarant"), a New Mexico limited liability company, with reference to the following facts:

A. Lots Twenty-three (23), Twenty-four (24) and Twenty-five (25) (the "Condominium Property") in Block numbered Twenty-six (26), all in Tract lettered "A", Unit lettered "B", of NORTH ALBUQUERQUE ACRES, a subdivision of a tract of land in School Districts Three (3) and Four (4) in Bernalillo County, New Mexico, as the same is shown and designated on the Map of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130 comprise the Condominium Property under a condominium regime created by way of that certain Condominium Declaration for Eagle Rock Business Center Condominium (the "Condominium Declaration") recorded February 12, 2009, under Clerk's Document No. 2009014520 in the real property records of Bernalillo County, New Mexico, as amended by the following documents: (i) First Supplemental Condominium Declaration for Eagle Rock Business Center Condominium, filed September 24, 2009, as Document No. 2009107482, (ii) Second Supplemental Condominium Declaration for Eagle Rock Business Center Condominium, filed May 26, 2010, as Document No. 2010047059, (iii) Third Supplemental Condominium Declaration for Eagle Rock Business Center Condominium, filed October 28, 2010, as Document No. 2010209952, (iv) Fourth Supplemental Condominium Declaration for Eagle Rock Business Center Condominium, filed December 22, 2010, as Document No. 2010131352, (v) Fifth Supplemental Condominium Declaration for Eagle Rock Business Center Condominium, filed September 28, 2011, as Document No. 2011087434, (vi) Sixth Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "Sixth Amendment"), filed April 9, 2012, as Document No. 2012 035289, and First Amendment to Condominium Declaration for Eagle Rock Business Center Condominium (the "First Amendment"), filed April 9, 2012, as Document No. 2012 035351. The Declarant with respect to this Declaration is also the Declarant under the Condominium Declaration.

B. As permitted and authorized under Section 13 of the Condominium Declaration, Declarant has withdrawn Lots numbered Eight (8), Nine (9) and Ten (10) in block numbered Twenty-six (26), all in Tract lettered "A", Unit lettered "B", of NORTH ALBUQUERQUE ACRES, a subdivision of a tract of land in School Districts Three (3) and Four (4) in Bernalillo County, New Mexico, as the same is shown and designated on the Map of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130 (the "Benefitted Property") from the Condominium regime created under the Condominium Declaration. Declarant is the owner of the Benefitted Property.

C. As permitted and authorized under the First Amendment, Declarant wishes to grant easements and rights of way for the benefit of the Benefitted Property over, across,

3/1
Return to: First American Title Ins. Co. GF# MC Cowden

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C. As permitted and authorized under the First Amendment, Declarant wishes to grant easements and rights of way for the benefit of the Benefitted Property over, across,

through and under the portions of the Common Elements of the Condominium Property which are designed for use as drive lanes or for ingress, egress and access, so as to afford access between Eagle Rock Ave. NE and the Benefited Land and to permit installation, use, operation, maintenance, repair, replacement, relocation and removal of utility facilities serving the Benefited Property.

NOW, THEREFORE, DECLARANT HEREBY DECLARES AS FOLLOWS:

1. Grant of Easement for Access. Declarant hereby grants to the owner(s) and tenant(s) of all or any portion of the Benefited Property, together with their respective employees, customers and other invitees (“**Easement Beneficiaries**”), a perpetual non-exclusive easement and right of way over, upon and across all portions of the Common Elements of the Condominium Property which are designed for use from time-to-time as drive lanes or access areas for ingress and egress, as generally depicted by cross-hatching in Exhibit A attached hereto and incorporated by reference (the “**Easement Area**”).

2. Maintenance of Easement Area. The owner of the Condominium Property shall perform or cause to be performed all necessary and appropriate maintenance, repair and replacement the paved surfaces in the Easement Area. To the extent, if at all, that use of the Easement Area by Easement Beneficiaries for access materially increases the wear and tear on the paved surfaces in the Easement Area (over and above the normal wear and tear by owners and tenants of the Condominium Property and their respective employees, customers and other invitees), the owner(s) of the Benefited Property shall be obligated to reimburse the owner of the Condominium Property for an equitable share of the expense of appropriate maintenance, repair and replacement of the paved surfaces in the Easement Area.

3. Grant of Utility Easement. Declarant hereby grants to the owner(s) of the Benefited Property a perpetual non-exclusive easement and right of way over, upon, across and under the Easement Area for the installation, use, operation, maintenance, repair, replacement, relocation and removal of utility facilities serving the Benefited Property, all of which shall be installed underground. Work on installing, maintaining, repairing, replacing, relocating or removing such utility facilities shall be performed by or on behalf of the owner(s) of the Benefited Property only after at least ten (10) days advance written notice to the owner of the Condominium Property of the intention to do such work. However, in the case of an emergency (whereby either persons or property are in immediate danger of substantial damage and/or harm), any such work may be immediately performed after giving such advance notice to the owner of the Condominium Property as is practicable and reasonable under the circumstances. The exact location of the utility facilities shall be subject to the prior written consent of the owner of the Condominium Property, which consent shall not be unreasonably withheld, conditioned or delayed. After receiving written notice of the intention of the owner(s) of the Benefited Property to initially install utility facilities (or at any time before, at the option of the owner of the Condominium Property), the owner of the Condominium Property shall have the right to require the owner(s) of the Benefited Property to designate a precise location for the utility easement, including a designated width that is reasonable and customary for easements serving such utility facilities, to require such area to be surveyed at the sole cost of the owner(s) of the Benefited Property, and to require the owner(s) of the Benefited Property to execute an amended or supplemental utility easement in recordable form designating the precise location of the utility easement so determined. The owner(s) of the Benefited Property shall be obligated at its or their sole cost to promptly restore the

surface to its prior condition, including without limitation restoration of paved surfaces and any striping, after the performance of any work to install, maintain, repair, replace, relocate or remove such utility facilities.

4. Indemnification. The owner(s) of the Benefited Property shall indemnify, defend and hold harmless the owner of the Condominium Property with respect to damage, destruction, personal injury or death to the extent caused by (i) the negligence or willful misconduct in the use of the Easement Area by any Easement Beneficiary, or (ii) activities related to the installation, use, operation, maintenance, repair, replacement, relocation or removal of utilities in the Easement Area serving the Benefited Property.

5. Estoppel Certificates. Not later than ten (10) days after receipt of a request for an estoppel certificate from an owner(s) of all or any portion of the Benefited Property or the Condominium Property, the owner(s) of all or any portion of the Benefited Property or the Condominium Property upon whom the request was made shall provide an estoppel certificate to the party requesting same stating that this Declaration has not been modified, or, if modified, stating the nature of the modification, and certifying that this Declaration (as modified, if applicable) is in full force and effect.

6. Further Actions. Each of the parties agrees to execute and deliver all further documents and to take all further actions reasonably necessary or appropriate to effectuate the purposes of this Declaration.

7. Effectiveness. This Declaration shall become effective when signed, delivered and recorded in the Official Records of Bernalillo County, New Mexico.

IN WITNESS WHEREOF, Declarant has executed this Declaration of Easements this 4th day of April, 2012.

DECLARANT:

KASSAM BUSINESS CENTER, LLC
a New Mexico limited liability company

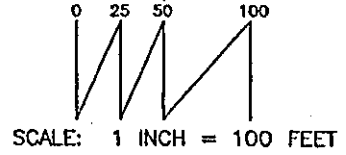
By: 
Aleem Kassam, Manager

(Acknowledgement Follows)

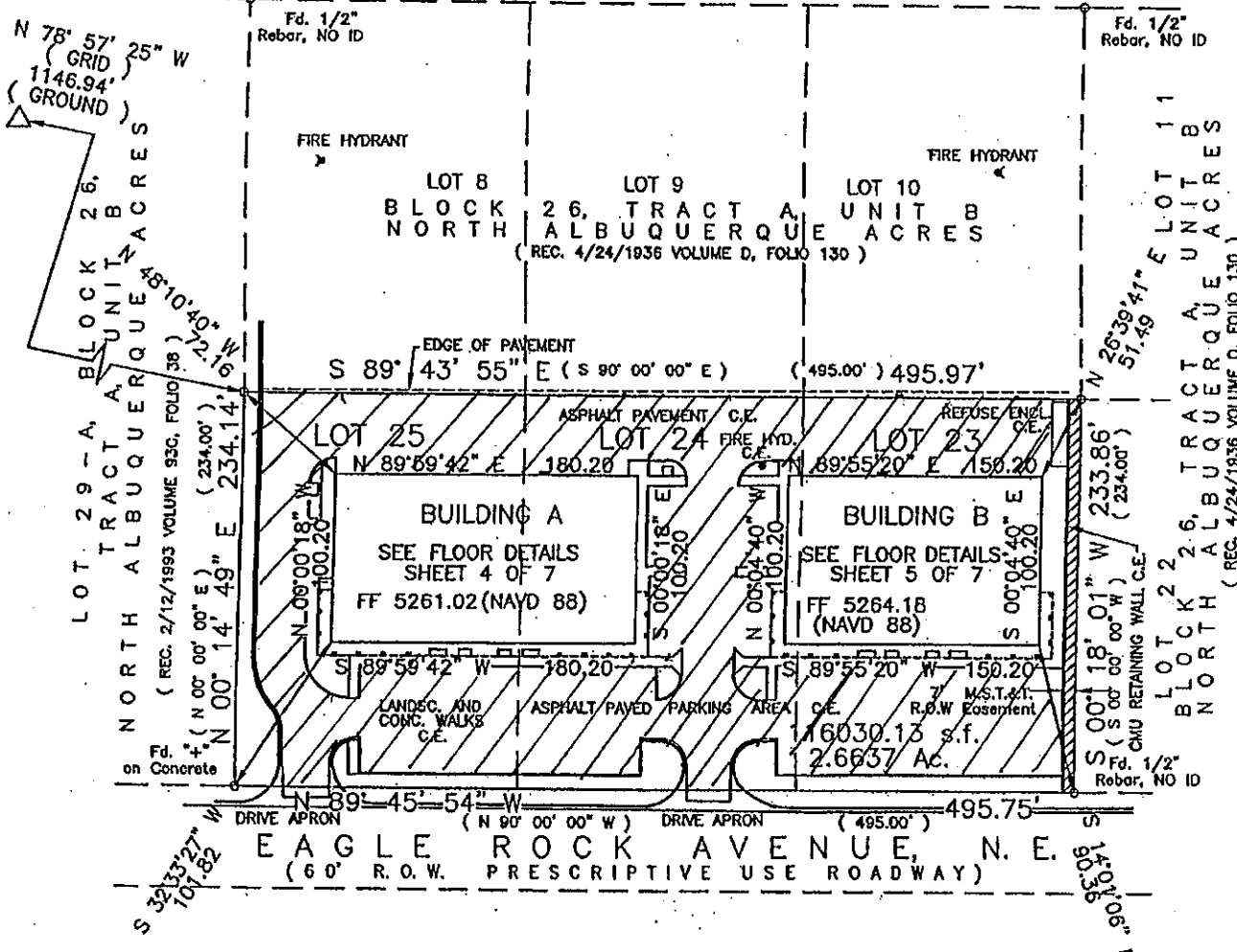
Exhibit A

General Depiction of Easement Area

ACS MONUMENT
 "10-C18"
 x=1,542,565.263
 y=1,524,123.885
 Ground-to-grid:
 0.999665042
 Mapping Angle:
 -00°11'19.43"
 NMSP CENTRAL ZONE
 NAD 83
 BENCH MARK
 5222.08 (NAVD 88)



MODESTO AVENUE, N. E.
 (60' R. O. W. PRESCRIPTIVE USE ROADWAY)



C.E.- COMMON ELEMENT

Return to: First American Title Ins. Co. GF# MUC

**FIRST AMENDMENT TO CONDOMINIUM DECLARATION
FOR
EAGLE ROCK BUSINESS CENTER CONDOMINIUM**

Introductory Provisions

A. Kassam Business Center, LLC ("**Declarant**"), a New Mexico limited liability company, executed that certain Condominium Declaration for Eagle Rock Business Center Condominium (the "**Declaration**") concerning land described as follows:

Lots numbered Eight (8), Nine (9), Ten (10), Twenty-three (23), Twenty-four (24), and Twenty-five (25) in Block numbered Twenty-six (26), all in Tract lettered "A", Unit lettered "B", of NORTH ALBUQUERQUE ACRES, a subdivision of a tract of land in School Districts Three (3) and Four (4) in Bernalillo County, New Mexico, as the same is shown and designated on the Map of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936, in Volume D, folio 130.

The Declaration was recorded February 12, 2009, under Clerk's Document No. 2009014520 in the real property records of Bernalillo County, New Mexico.

B. Declarant executed that certain First Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "**First Supplemental Declaration**"), filed September 24, 2009, as Document No. 2009107482 in the real property records of Bernalillo County, New Mexico.

C. Declarant executed that certain Second Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "**Second Supplemental Declaration**"), filed May 26, 2010, as Document No. 2010047059 in the real property records of Bernalillo County, New Mexico.

D. Declarant executed that certain Third Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "**Third Supplemental Declaration**"), filed October 28, 2010, as Document No. 2010209952 in the real property records of Bernalillo County, New Mexico.

E. Declarant executed that certain Fourth Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "**Fourth Supplemental Declaration**"), filed December 22, 2010, as Document No. 2010131352, in the real property records of Bernalillo County, New Mexico.

F. Declarant executed that certain Fifth Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "**Fifth Supplemental Declaration**"), filed

**FIRST AMENDMENT TO CONDOMINIUM DECLARATION
FOR
EAGLE ROCK BUSINESS CENTER CONDOMINIUM**

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F. Declarant executed that certain Fifth Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "**Fifth Supplemental Declaration**"), filed

September 28, 2011, as Document No. 2011087434, in the real property records of Bernalillo County, New Mexico.

G. Section 9.2 of the Declaration provides that the Declaration may be amended by a vote of Unit Owners of Units holding at least fifty-one percent (51%) of the total Percentage Interests.

H. Declarant is presently the Unit Owner of Units A-2, A-5, B-2, B-3, B-4 and B-5, as a result of which it is the Owner of Units comprising 54.6% of the total Percentage Interests. Declarant desires to amend Section 13 of the Declaration, as set forth in this First Amendment to Declaration (this "**Amendment**").

NOW, THEREFORE, Declarant amends the Declaration as provided in this Amendment.

Amendment

Amendment to Section 13 of the Declaration. In accordance with Section 9.2 of the Declaration, Declarant hereby amends Section 13 of the Declaration by adding the following sentence at the end of Section 13:

In the event that Declarant exercises its right to withdraw from the Condominium regime all or any portion of the Property labeled as a potential withdrawal parcel on the Plat:

(a) Declarant may reserve the right to annex such withdrawn portion of the Property back into the Condominium regime at any time on or before February 12, 2021 (the date which is twelve (12) years from the recording of the Declaration); and

(b) Declarant may grant easements and rights of way for the benefit of the withdrawn portions of the Property over, across, through and under any portions of the Common Elements of the Property not withdrawn which are designed for use as drive lanes or for ingress, egress and access, for the purpose of (i) providing access between Eagle Rock Ave. NE and the withdrawn portions of the Property, and (ii) permitting the installation of underground utility facilities serving the withdrawn portions of the Property.

IN WITNESS WHEREOF, Declarant has executed this Fifth Supplemental Declaration this 4th day of April, 2012.

DECLARANT:

KASSAM BUSINESS CENTER, LLC
a New Mexico limited liability company

By: [Signature]
Aleem Kassam, Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing FIRST AMENDMENT TO DECLARATION FOR EAGLE ROCK BUSINESS CENTER CONDOMINIUM was acknowledged before me this 4 day of April, 2012 by Aleem Kassam, Manager of Kassam Business Center, LLC, a New Mexico limited liability company.



OFFICIAL SEAL
ANN STEVENS
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 7/19/13

[Signature]
Notary Public

My Commission Expires:
7/19/13

Return to: First American Title Ins. Co. GF# MIC
Courtesy

**SIXTH SUPPLEMENTAL CONDOMINIUM DECLARATION
FOR
EAGLE ROCK BUSINESS CENTER CONDOMINIUM
WITHDRAWING PROPERTY**

Introductory Provisions

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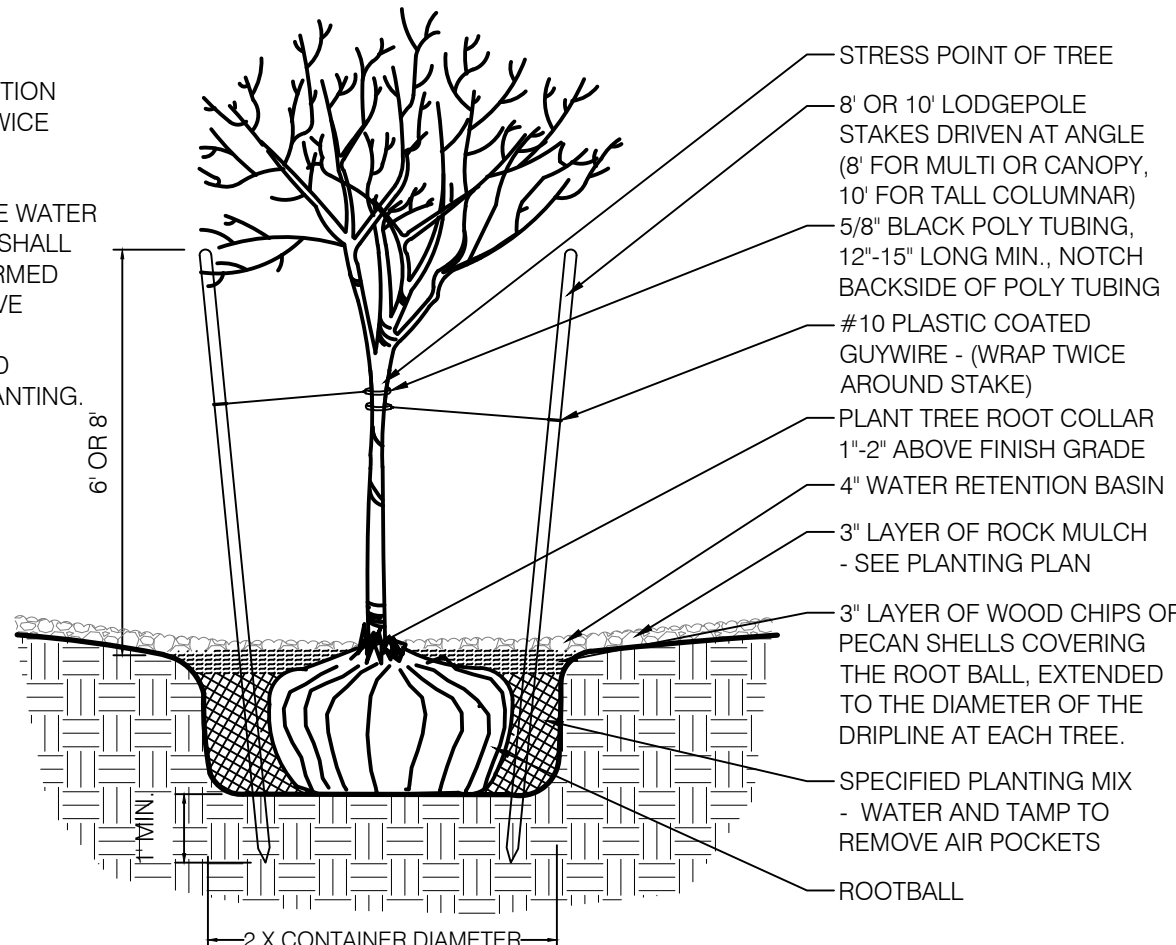
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F. Declarant executed that certain Fifth Supplemental Condominium Declaration for Eagle Rock Business Center Condominium (the "**Fifth Supplemental Declaration**"), filed

- NOTES:
- THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 - THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
 - REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING DETAIL

SCALE: N.T.S.

- KEY NOTES
- PROPERTY LINE, TYP.
 - CLEAR SIGHT TRIANGLE
 - MODERN LOW BOWL PLANTER
 - RECTANGLE TAPERED PLANTER
 - SYNTHETIC TURF
 - WATER FEATURE
 - MONUMENT SIGN, SEE ARCHITECTURAL SITE PLAN

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 7/8" SANTA FE BROWN ROCK MULCH, 2"-4" BUILDLOGY BROWN ROCK MULCH, OR SIMILAR MATERIAL. ALL PLANTERS SHALL BE TOP DRESSED WITH A MINIMUM 2" OF SHREDDED BARK MULCH.

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUND COVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUND COVERS WILL BE GROUPED ON THE SAME VALVE.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA	208,587 SF (4.78 AC)
TOTAL BUILDING AREA (BUILDING ENVELOPE):	- 68,627 SF
NET AREA	139,960 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 20,994 SF
 PROVIDED LANDSCAPE AREA 43,900 SF (29%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE 75,894 SF (172%)
 PROVIDED GROUND-LEVEL PLANT COVERAGE 14,416 SF (43%)

LANDSCAPE TURF
 NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.

TURF AREA: 1,380 SF (6.5%)

PARKING LOT AREA
 THERE ARE 180 PARKING SPACES. AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

TOTAL PARKING LOT AREA: 72,119 SF
 LANDSCAPE AREA: 14,200 SF (19%)

PARKING LOT TREES
 THERE ARE 180 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 18
 PARKING LOT TREES PROVIDED: 23

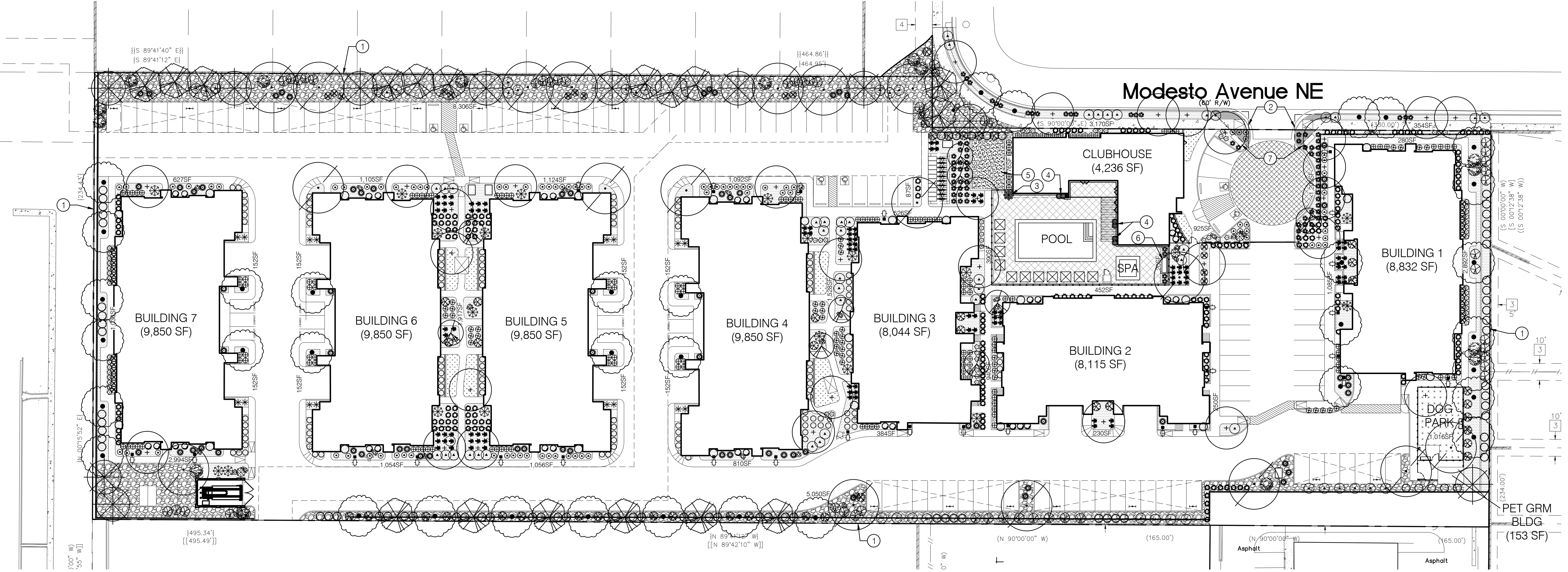
STREET TREES
 MODESTO AVENUE IS A LOCAL STREET AND THEREFORE DOES NOT REQUIRE STREET TREES PER PART 6-6-2 OF ROA 1994 (STREET TREES).

SITE TREES
 TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. 46 FIRST FLOOR UNITS AND 74 SECOND STORY UNITS ARE PROVIDED.
 SITE TREES REQUIRED: 120
 SITE TREES PROVIDED: 120

PLANT LEGEND

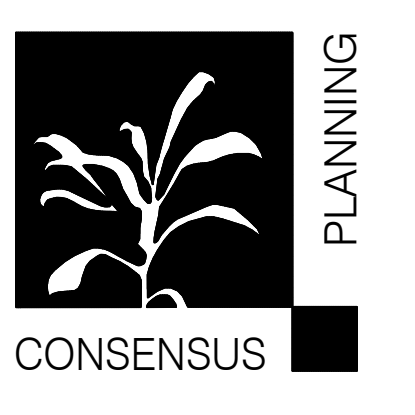
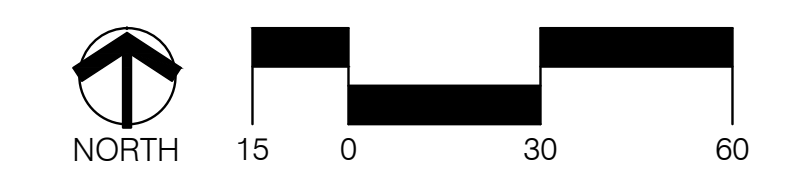
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
TREES				
18	(Symbol)	GLEDTISIA TRIACANTHOS SHADEMASTER SHADEMASTER HONEYLOCUST (M)	2" B&B	40 HT. X 35' SPR.
9	(Symbol)	LAGERSTROEMIA IND. WATERMELON RED WATERMELON RED CRAPE MYRTLE (H)	2" MS/ 24" BOX	25' HT. X 15' SPR.
11	(Symbol)	PINUS NIGRA AUSTRIAN PINE (M)	B&B	35 HT. X 25' SPR.
35	(Symbol)	PYRUS CALLERYANA AUTUMN BLAZE AUTUMN BLAZE FLOWERING PEAR (M)	2" B&B	25' HT. X 25' SPR.
30	(Symbol)	ULMUS PROPINQUA JFS-BIEBERICH EMERALD SUNSHINE ELM (M)	2" B&B	30 HT. X 25' SPR.
17	(Symbol)	VITEX AGNUS-CASTUS CHASTE TREE (M)	2" MS/ 24" BOX	20' HT. X 20' SPR.
SHRUBS				
29	(Symbol)	Buddleia Davidii NAN. NANHO PURPLE PURPLE BUTTERFLY BUSH (M)	5-GAL.	4 HT. X 4' SPR.
42	(Symbol)	Caryopteris clandonensis DARK KNT BLUE MIST DARK KNIGHT SPIREA (M)	5-GAL.	5 HT. X 5' SPR.
50	(Symbol)	Cytisus x Praecox ALLGOLD ALLGOLD BROOM (M)	5-GAL.	5 HT. X 5' SPR.
100	(Symbol)	Juniperus chinensis SPARTAN SPARTAN JUNIPER (L+)	15-GAL.	12 HT. X 3' SPR.
146	(Symbol)	Nandina domestica GULF STREAM GULF STREAM NANDINA (M)	5-GAL.	3 HT. X 3' SPR.
15	(Symbol)	Pinus mugo MUHUS MUGO PINE (M)	5-GAL.	8 HT. X 8' SPR.
69	(Symbol)	Rhus trilobata AUTUMN AMBER CREEPING THREE-LEAF SUMAC (L+)	5-GAL.	18' HT. X 6' SPR.
DESERT ACCENTS				
16	(Symbol)	DASYLIRION TEXANUM SOTOL (RW)	5-GAL.	4 HT. X 4' SPR.
70	(Symbol)	Hesperaloe parviflora RED FLOWERING YUCCA (L+)	5-GAL.	4 HT. X 4' SPR.
20	(Symbol)	Yucca gloriosa VARIEGATA VARIEGATED YUCCA (RW)	5-GAL.	5 HT. X 6' SPR.
3	(Symbol)	Yucca rostrata BEAKED YUCCA (RW)	15-GAL.	12 HT. X 4' SPR.
98	(Symbol)	Yucca rupicola TWISTLEAF YUCCA (RW)	5-GAL.	2 HT. X 3' SPR.

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
ORNAMENTAL GRASSES				
190	(Symbol)	Calamagrostis A. OVERDAM VARIEGATED REED GRASS (M)	5-GAL.	3 HT. X 3' SPR.
36	(Symbol)	MISCANTHUS SINENSIS YAKUSHIMA DWARF MAIDEN GRASS (M)	5-GAL.	4 HT. X 4' SPR.
120	(Symbol)	Pennisetum alopecuroides HAMELN DWARF FOUNTAIN GRASS (M)	5-GAL.	3 HT. X 3' SPR.
78	(Symbol)	Pennisetum orientale KARLEY ROSE ORIENTAL FOUNTAIN GRASS (M)	5-GAL.	3 HT. X 3' SPR.
FLOWERING PLANTS				
84	(Symbol)	Achillea moonshine MOONSHINE YARROW (M)	1-GAL.	2 HT. X 2' SPR.
45 SF	(Symbol)	Delosperma cooperi PURPLE/YELLOW ICEPLANT (L+)	1-GAL. 15" O.C.	6' HT. X 16' SPR.
43	(Symbol)	Echinacea purpurea POWWOW WHITE WHITE CONEFLOWER (M)	1 GAL.	3 HT. X 3' SPR.
68	(Symbol)	Lavandula angustifolia ENGLISH LAVENDER (M)	5 GAL.	3 HT. X 3' SPR.
TURF GRASS				
1,380 SF	(Symbol)	Reveille Bluegrass	SOD	
BOULDERS AND MULCHES				
24	(Symbol)	LANDSCAPE BOULDERS (3X3' MIN)		
24,165 SF	(Symbol)	7/8" SANTA FE BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)		
16,780 SF	(Symbol)	2"-4" BUILDLOGY BROWN MULCH (6" DEPTH OVER FILTER FABRIC)		
1,016 SF	(Symbol)	ENGINEERED WOOD FIBER MULCH (6" DEPTH)		
HARDSCAPE				
175 LF	(Symbol)	8" CONCRETE EDGER AT TURF		
1 EA	(Symbol)	54" DIA. X 9" HT. MODERN LOW BOWL PLANTER		
3 EA	(Symbol)	60" X 30" X 24" HT. TAPERED RECTANGLE PLANTER		



LANDSCAPE PLAN

SCALE: 1"=30'-0"



Landscape Architecture
 Urban Design
 Planning Services

302 EIGHTH ST. NW
 Albuquerque, NM 87102
 Phone (505) 764-9801
 Fax (505) 842-5495

REVISIONS

#	Date	Description

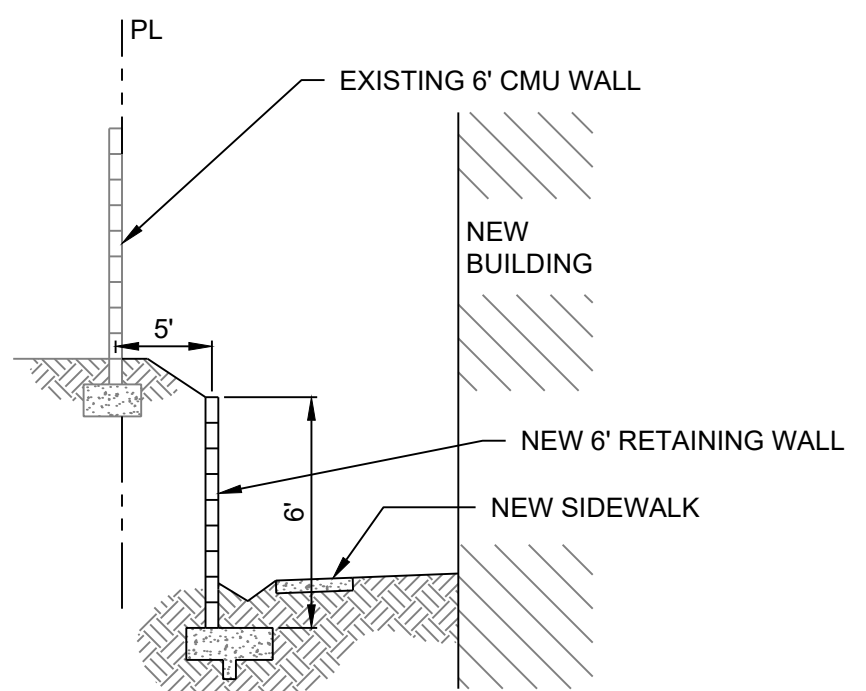
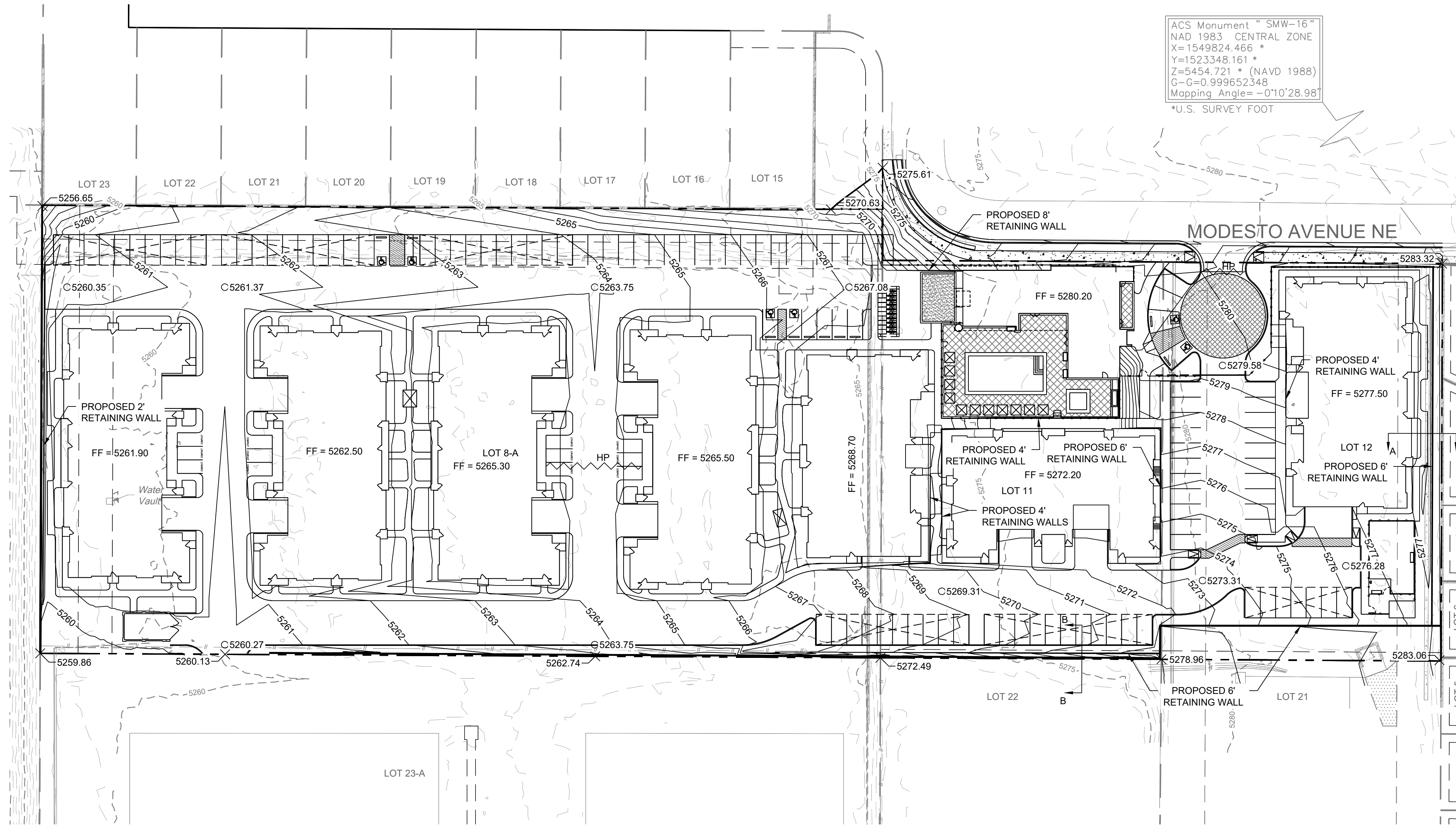
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 LEGACY DEVELOPMENT AND MANAGEMENT, LLC
 ALBUQUERQUE, NEW MEXICO



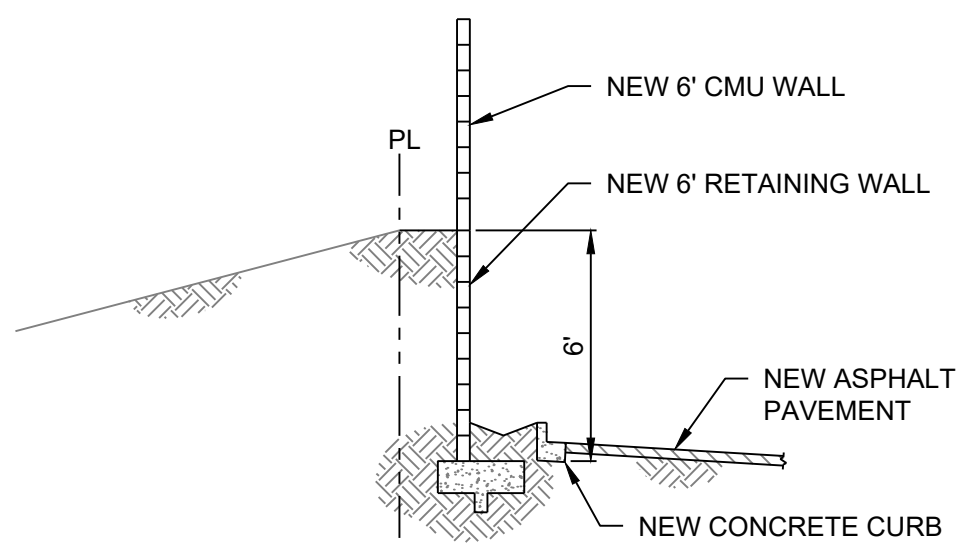
Designed By: SC
 Drawn By: SC
 Checked By: CG
 Date: 2/26/2021
 Project No:
 Sheet Title:

LANDSCAPE PLAN
 L100

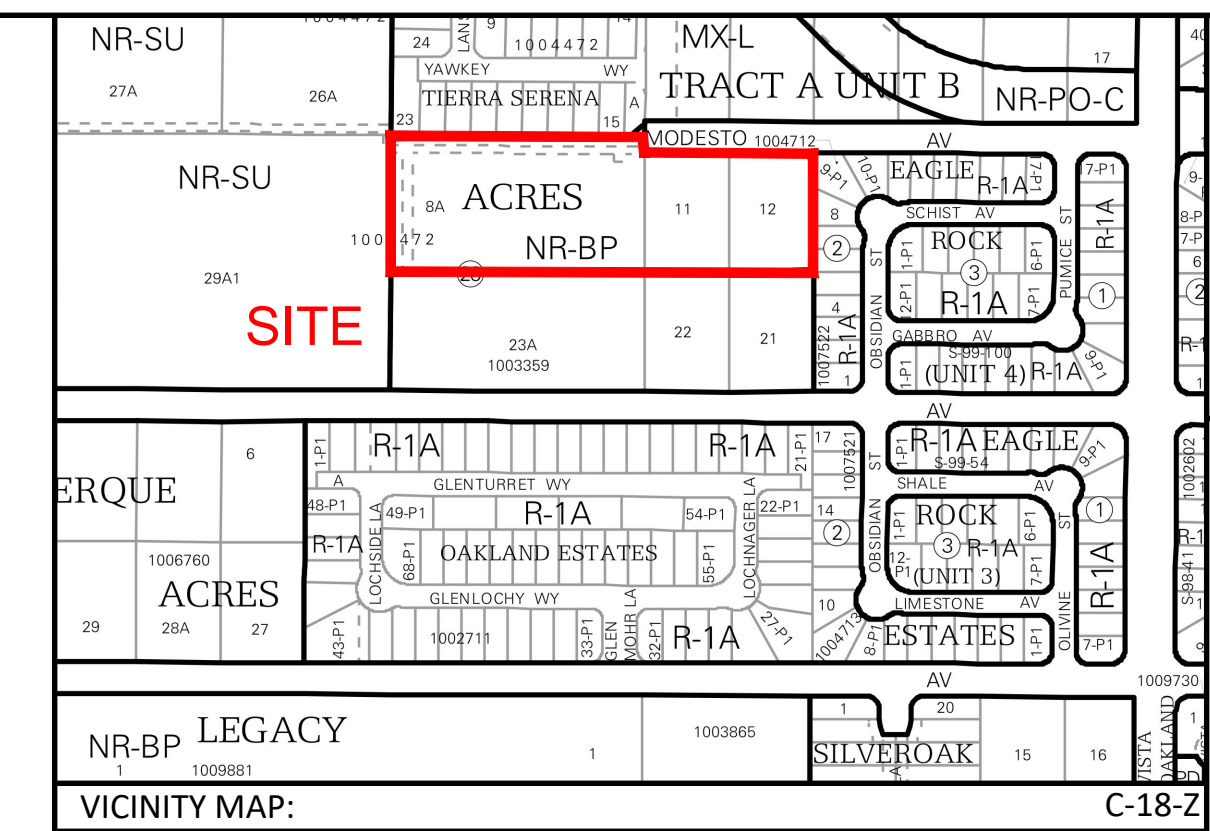
NAME: N:\Projects\03711 Legacy Modesto\03_DWG\Sheets\03711 Modesto Grading.dwg PLOT DATE: Feb. 25, 2021 12:29pm



SECTION A-A
NTS



SECTION B-B
NTS



NOTE:

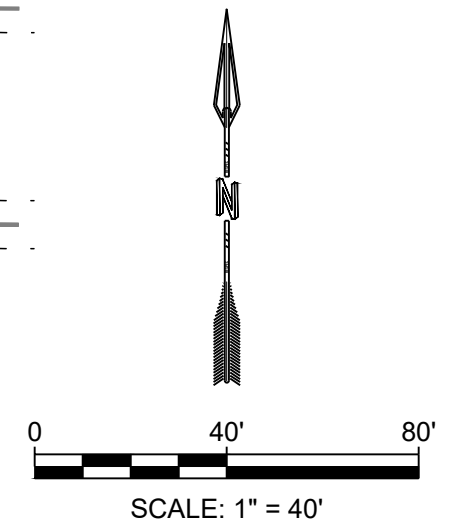
1. THE EXISTING SITE FEATURES WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.

GRADING NOTES

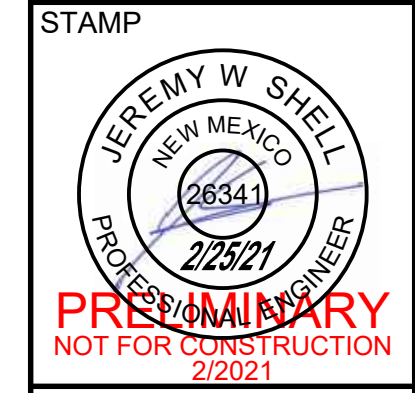
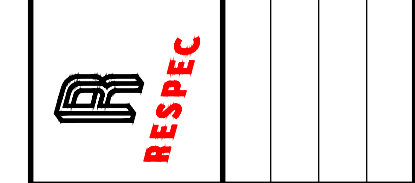
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- REFER TO GEOTECHNICAL EVALUATION REPORT 3220JJ138 BY WESTERN TECHNOLOGIES, INC. DATED JANUARY 12, 2021.

LEGEND:

- PROPERTY BOUNDARY
- 5270— PROPOSED MAJOR CONTOUR
- 5272— PROPOSED MINOR CONTOUR
- - -5270- - - EXISTING MAJOR CONTOUR
- - -5272- - - EXISTING MINOR CONTOUR
- ~ ~ ~ PROPOSED HIGH POINT



DESIGNED JS	DATE 2.25.2021
DRAWN JS	CHECKED JS



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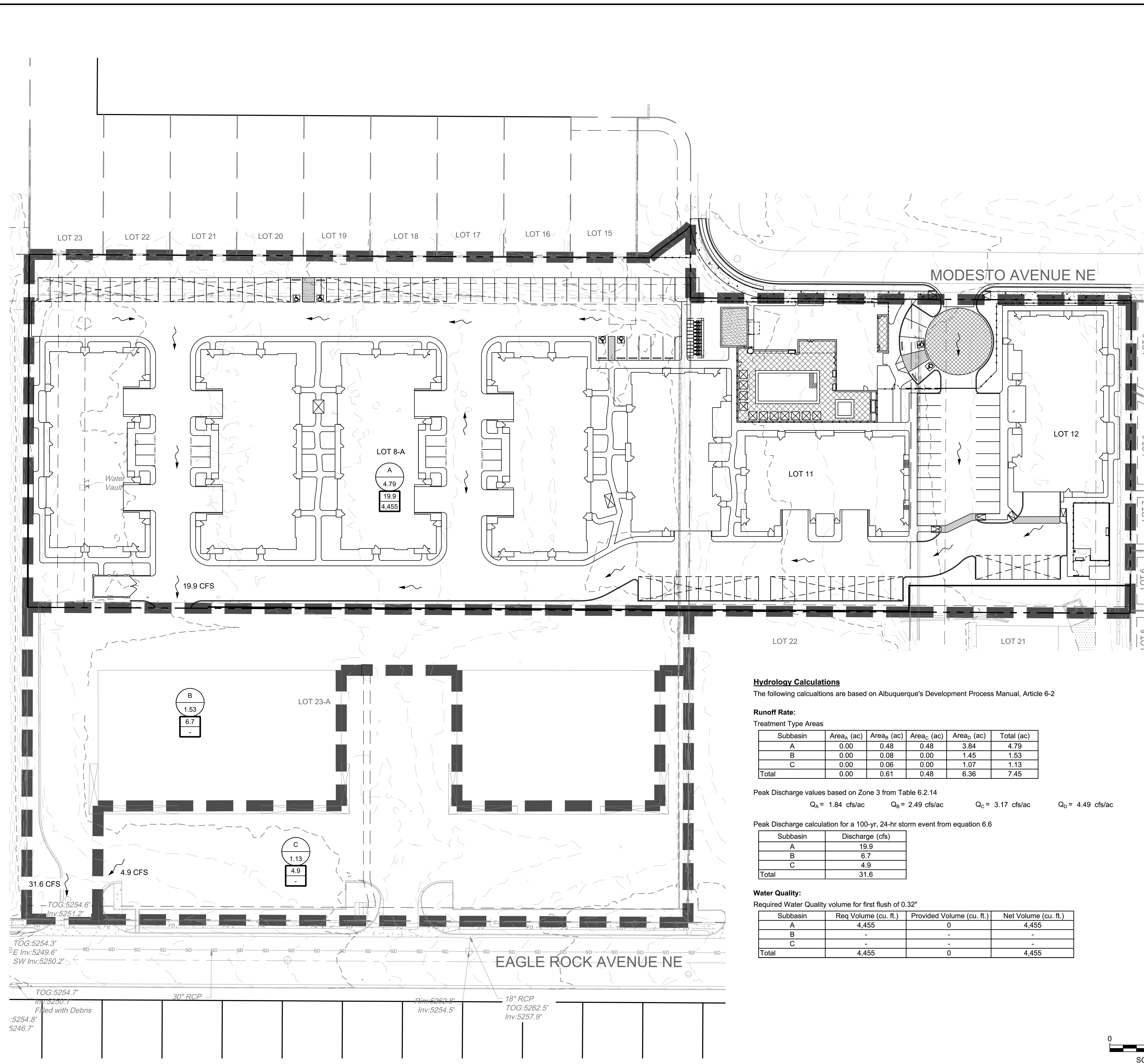
PROJECT NAME:
**THE PEAKS
BY MARKANA**

SHEET TITLE:
**CONCEPT GRADING
PLAN**

SUBMITTED FOR:
DRB SITE PLAN

SHEET NUMBER:
C-101

NAME: N:\Projects\03711 Legacy Modesto\03711 Modesto Drainage.dwg PLOT DATE: Feb 25, 2021 10:44am



Hydrology Calculations
The following calculations are based on Albuquerque's Development Process Manual, Article 6.2

Runoff Rate:

Treatment Type Areas

Subbasin	Area ₁ (ac)	Area ₂ (ac)	Area ₃ (ac)	Area ₄ (ac)	Total (ac)
A	0.00	0.48	0.48	3.84	4.79
B	0.00	0.08	0.00	1.45	1.53
C	0.00	0.06	0.00	1.07	1.13
Total	0.00	0.61	0.48	6.36	7.45

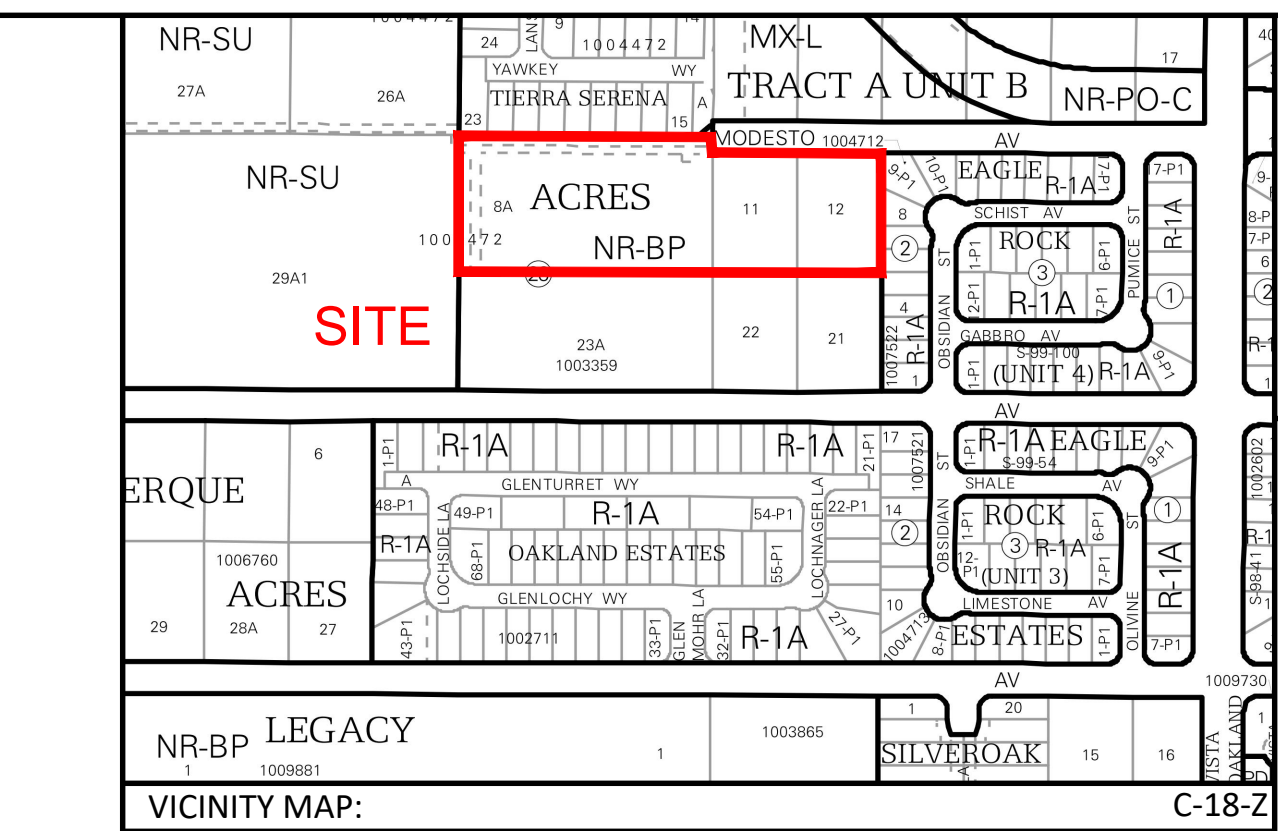
Peak Discharge values based on Zone 3 from Table 6.2.14
 $Q_A = 1.84$ cfs/ac $Q_B = 2.49$ cfs/ac $Q_C = 3.17$ cfs/ac $Q_0 = 4.49$ cfs/ac

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation 6.6

Subbasin	Discharge (cfs)
A	19.9
B	6.7
C	4.9
Total	31.6

Water Quality:
Required Water Quality volume for first flush of 0.32"

Subbasin	Req Volume (cu. ft.)	Provided Volume (cu. ft.)	Net Volume (cu. ft.)
A	4,455	0	4,455
B	-	-	-
C	-	-	-
Total	4,455	0	4,455



BACKGROUND

LOTS 8-A, 11, AND 12, BLOCK 26 NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B IS APPROXIMATELY 4.8 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED SOUTH OF MODESTO AVENUE AND NORTH OF THE EXISTING EAGLE ROCK BUSINESS CENTER. LOT 8-A WAS PREVIOUSLY DEVELOPED AS A HARLEY DAVIDSON TRAINING AREA. LOTS 11 AND 12 ARE PRIMARILY UNDEVELOPED WITH TWO EXISTING DRIVE AISLES THAT SERVE LOT 21. THE PROPOSED PROJECT IS A 120 UNIT APARTMENT COMPLEX. EXISTING SITE FEATURES WILL BE REMOVED. THE DRAINAGE REPORT FOR EAGLE ROCK BUSINESS CENTER BY MARK GOODWIN & ASSOCIATES 2008 SHOULD BE REFERENCED FOR BACKGROUND RELATED TO THE EAGLE ROCK BUSINESS CENTER. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.32". THIS IS A WEIGHTED VALUE BASED ON THE AMOUNT OF AREA THAT IS CONSIDERED REDEVELOPMENT AND AREA THAT IS NEW DEVELOPMENT. ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE SITE, IN GENERAL, SLOPES FROM EAST TO WEST AT A SLOPE OF APPROXIMATELY 2% - 3%. STORM WATER RUNOFF GENERATED BY THE SITE DRAINS SOUTH THROUGH THE EAGLE ROCK BUSINESS CENTER AND ULTIMATELY DISCHARGES TO EAGLE ROCK AVENUE.

DEVELOPED CONDITIONS

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN AND NOT TO EXCEED THE AMOUNT DISCHARGING TO EAGLE ROCK AVENUE UNDER EXISTING CONDITIONS.

SUB-BASIN A IS THE NEW APARTMENT DEVELOPMENT. IT CONTAINS 4.79 ACRES AND GENERATES 19.9 CFS. SIMILAR TO EXISTING CONDITIONS, THIS SUB-BASIN DISCHARGES TO THE EAGLE ROCK BUSINESS CENTER (SUB-BASIN B) AND EVENTUALLY OUT INTO EAGLE ROCK AVENUE.

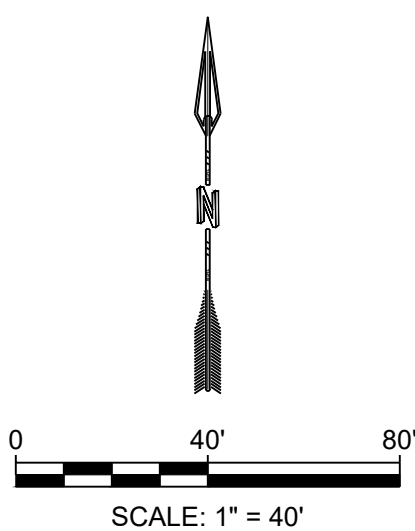
SUB-BASIN B IS THE NORTHERN AND WESTERN PORTIONS OF THE EAGLE ROCK BUSINESS CENTER. IT IS 1.53 ACRES AND GENERATES 6.7 CFS. THIS SUB-BASIN DISCHARGES DIRECTLY TO EAGLE ROCK AVENUE AT THE SOUTHWEST CORNER OF THE EAGLE ROCK BUSINESS CENTER SITE.

SUB-BASIN C IS THE SOUTHERN PORTION OF THE EAGLE ROCK BUSINESS CENTER. IT IS 1.13 ACRES AND GENERATES 4.9 CFS. THIS SUB-BASIN DISCHARGES INTO SUB-BASIN B AT THE SOUTHWEST CORNER OF THE EAGLE ROCK BUSINESS CENTER SITE.

THE TOTAL FLOW RATE DISCHARGING TO EAGLE ROCK AVENUE UNDER DEVELOPED CONDITIONS IS 31.6 CFS. PER THE DRAINAGE REPORT FOR EAGLE ROCK BUSINESS CENTER, THE TOTAL FLOW RATE DISCHARGING TO EAGLE ROCK IS 32.26 CFS. THEREFORE, THE DEVELOPED CONDITIONS FLOW RATE IS LESS THAN THE ALLOWABLE RATE.

THE WATER QUALITY TABLE ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THE OWNER HAS ELECTED TO PAY THE FEE-IN-LIEU OF STORM WATER QUALITY PONDING REQUIREMENTS. THE TOTAL VOLUME REQUIRED IS 4,455 CUBIC FEET. THEREFORE, THE PAYMENT AMOUNT IS 4,455 CF X \$8/CF = \$35,640.

- LEGEND:**
- XX BASIN DESIGNATION
 - XX BASIN NAME AND AREA
 - XX BASIN AREA, ACRES
 - XX 100 YEAR STORM, CFS
 - XX BASIN HYDROLOGIC RESULTS
 - XX REQUIRED WATER QUALITY VOLUME
 - SUB-BASIN BOUNDARY
 - FLOW ARROW



DESIGNED JS	DATE 2.25.2021
DRAWN JS	CHECKED JS
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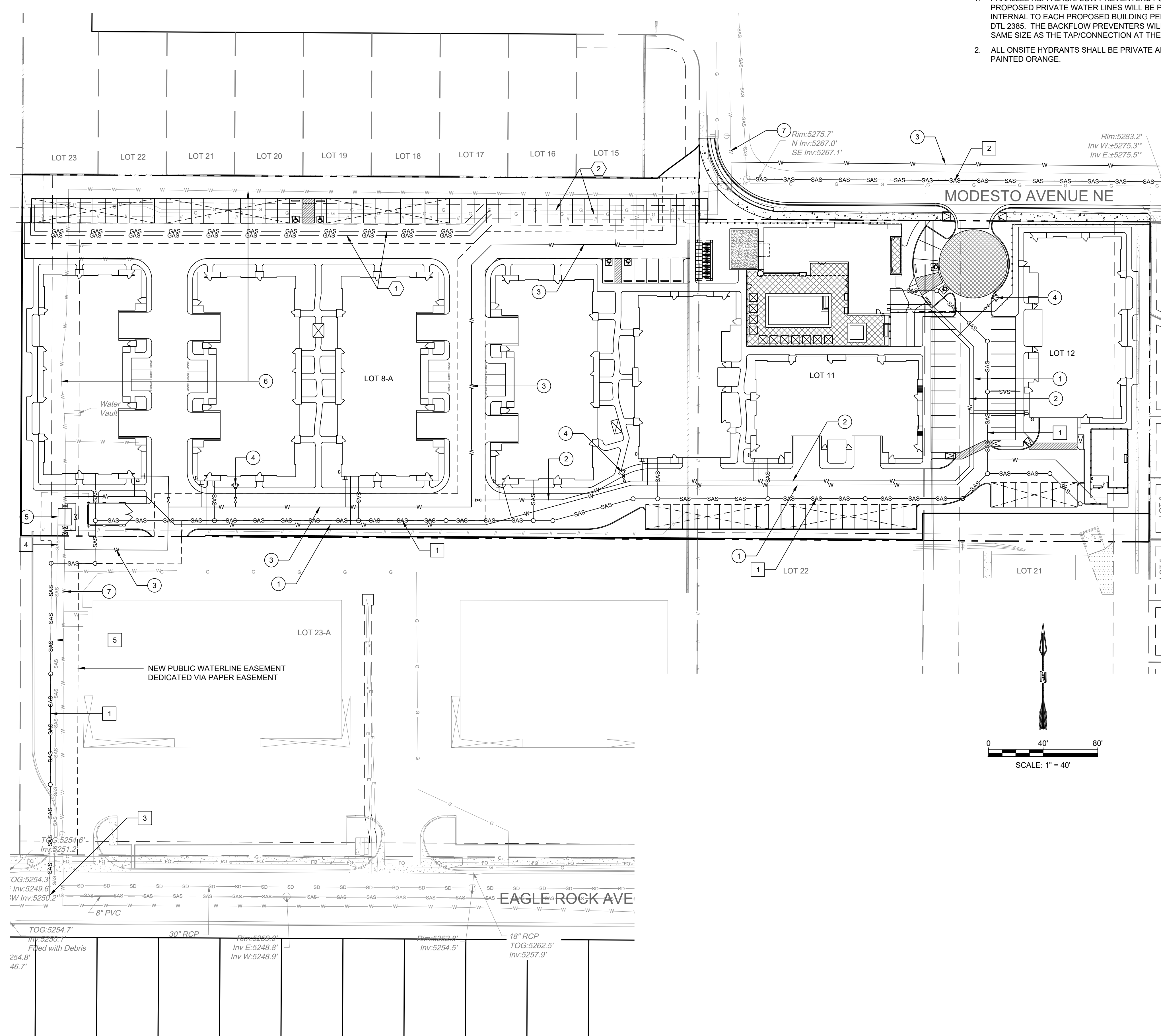
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THE PEAKS BY MARKANA

SHEET TITLE:
CONCEPT DRAINAGE PLAN

SUBMITTED FOR:
DRB SITE PLAN

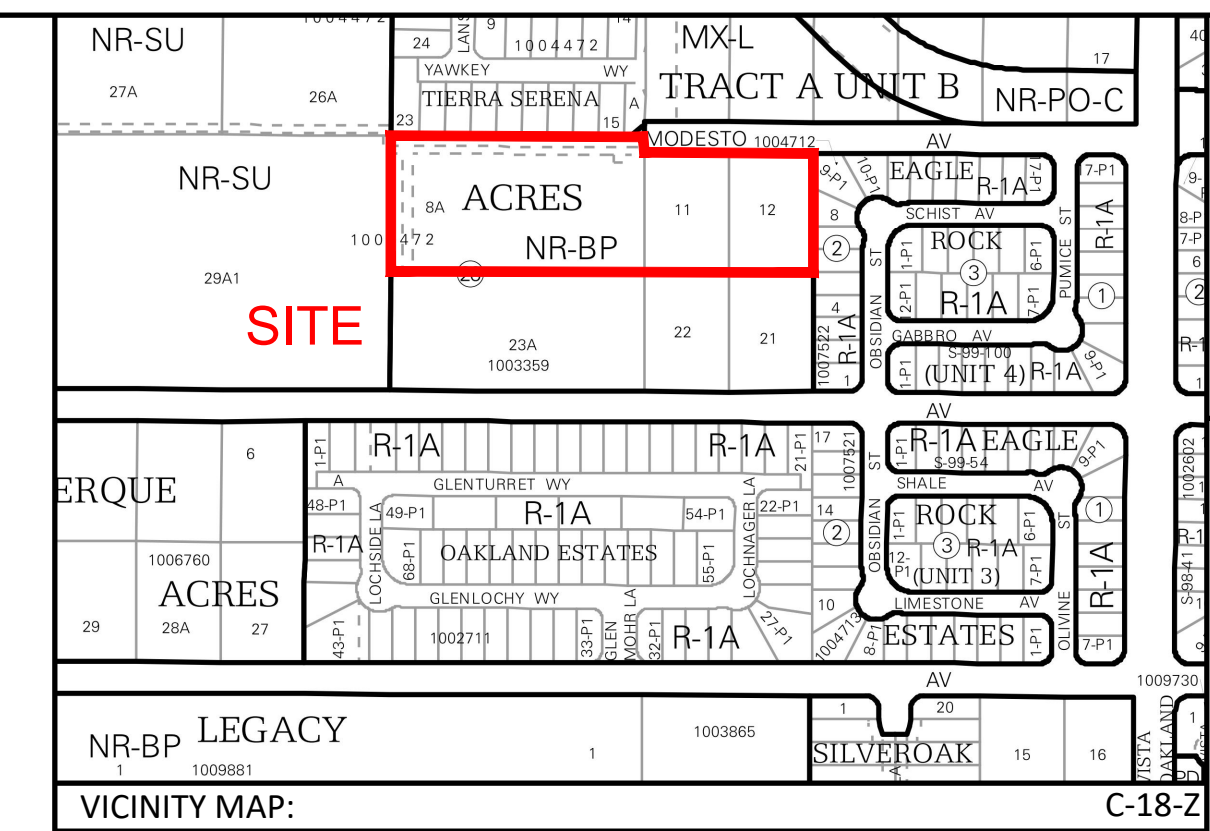
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NAME: N:\Projects\03711 Legacy Modesto\03_DWG\Sheets\03711 Modesto Utility.dwg PLOT DATE: Apr. 08. 2021 5:26pm



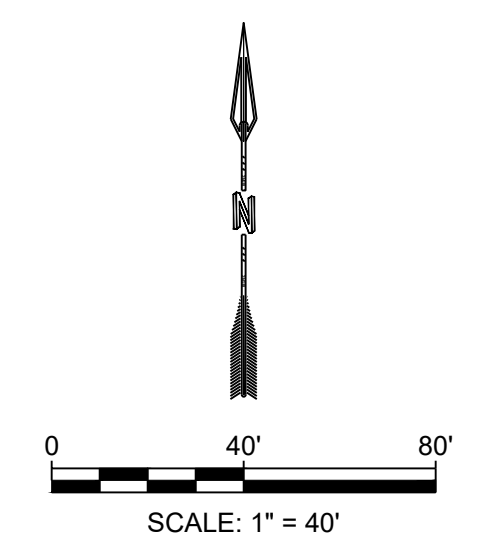
GENERAL NOTES

1. PARALLEL RBPA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD DTL 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
2. ALL ONSITE HYDRANTS SHALL BE PRIVATE AND PAINTED ORANGE.



- KEYED NOTES**
- 1 INSTALL PRIVATE 3" DOMESTIC WATER MAIN
 - 2 INSTALL PRIVATE 8" FIRE WATER MAIN
 - 3 INSTALL PUBLIC 8" WATER MAIN
 - 4 INSTALL PRIVATE FIRE HYDRANT
 - 5 INSTALL PUBLIC 3" WATER METER
 - 6 REMOVE EXISTING PUBLIC 8" WATER MAIN, STUBS, AND ASSOCIATED INFRASTRUCTURE
 - 7 EXISTING PUBLIC 8" WATER MAIN
-
- 1 INSTALL PRIVATE 8" SEWER MAIN
 - 2 INSTALL PUBLIC 8" SEWER MAIN
 - 3 CONNECT TO EXISTING PUBLIC SEWER MAIN
 - 4 REMOVE EXISTING SEWER STUB
 - 5 EXISTING PRIVATE 6" SEWER MAIN
-
- 1 NEW GAS LINES (BY OTHERS)
 - 2 EXISTING GAS LINES

- LEGEND**
- PROPERTY BOUNDARY
 - W — NEW WATERLINE
 - ⊗ NEW PRIVATE WATER VALVE (TYP.)
 - ⊕ NEW WALL INDICATOR VALVE (TYP.)
 - ⊕ NEW FIRE DEPARTMENT CONNECTION (TYP.)
 - SAS — SAS — NEW SEWER LINE
 - NEW SEWER CLEAN OUT (TYP.)
 - GAS — NEW GAS LINE (BY OTHERS)
 - W — W — EXISTING WATERLINE
 - SAS — SAS — EXISTING SEWER LINE
 - G — EXISTING GAS LINE



DESIGNED JS	CHECKED JS	DATE 4.08.2021
DRAWN JS	CHECKED JS	

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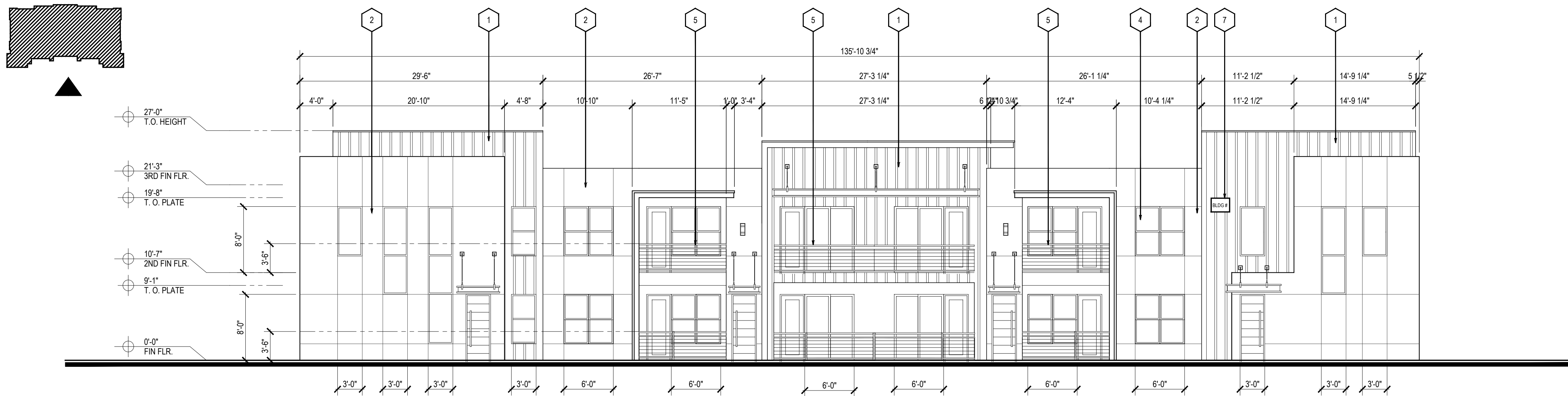
nm811
 Know what's below.
 Call before you dig.

PROJECT NAME:
THE PEAKS BY MARKANA

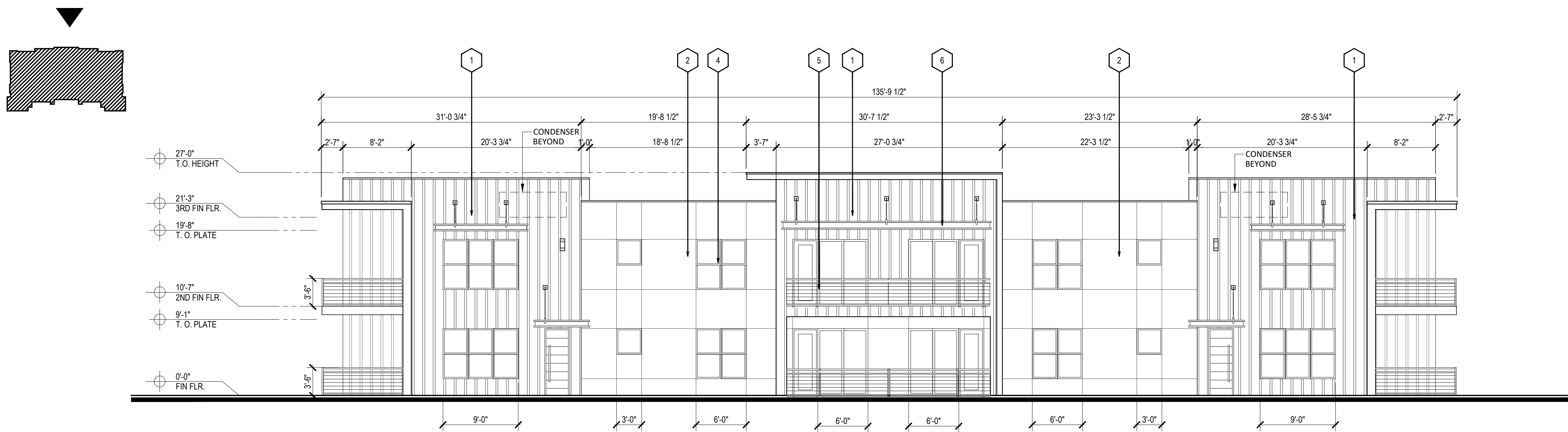
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CONCEPT UTILITY PLAN

SUBMITTED FOR:
DRB SITE PLAN

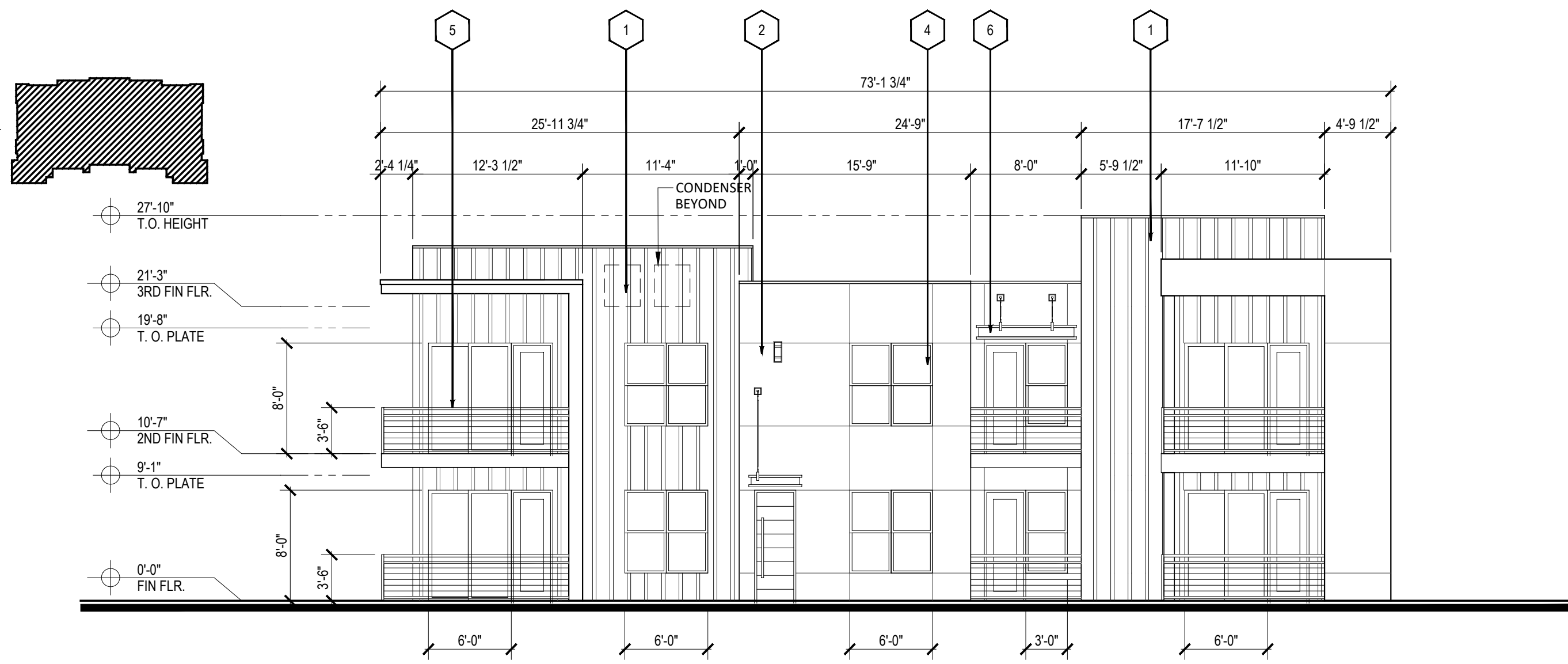
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C-102



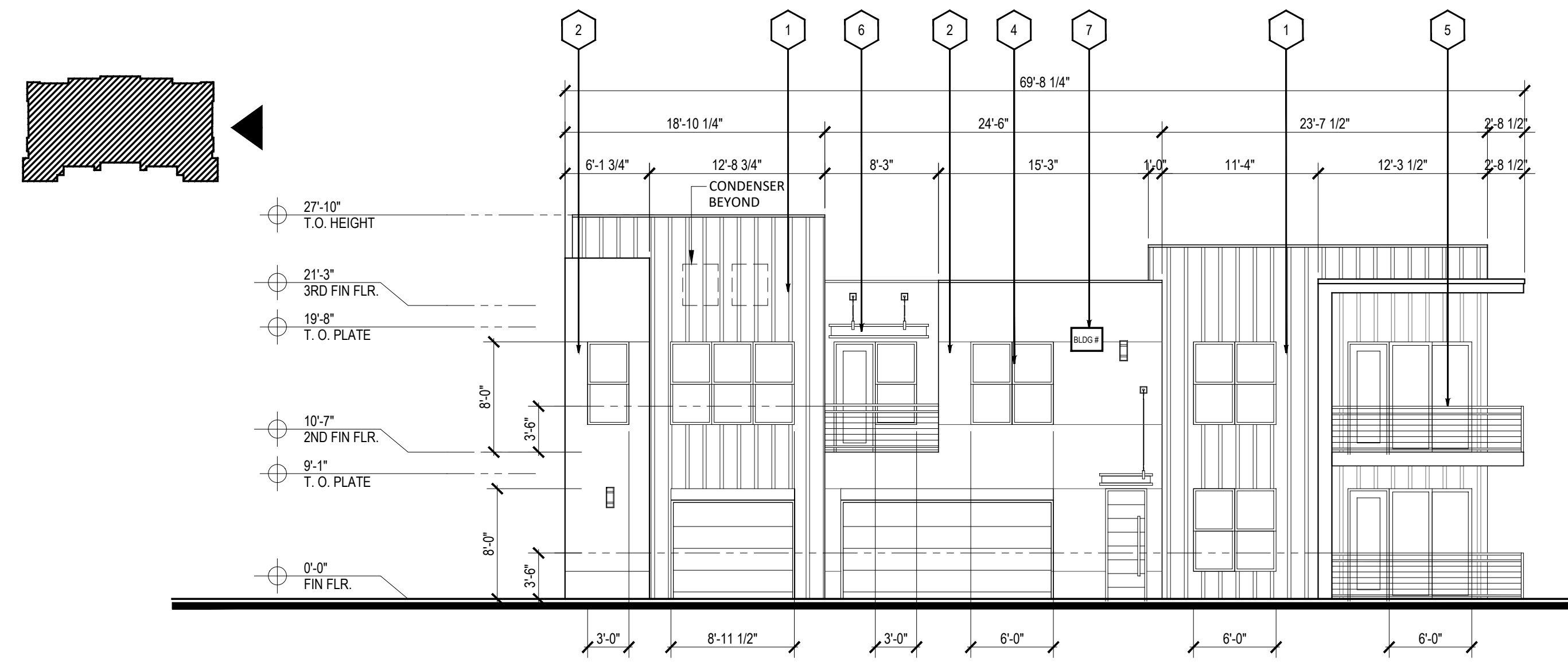
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SCALE: 1/8" = 1'-0"



3 BLDG TYPE I - REAR ELEV
SCALE: 1/8" = 1'-0"



2 BLDG TYPE I - LEFT ELEV
SCALE: 1/8" = 1'-0"



1 BLDG TYPE I - RIGHT ELEV
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



MATERIAL KEY NOTE

- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT GRAY
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 WALL SIGNAGE, LIMITED TO 10% FACADE AREA HEIGHT, MAXIMUM 18 FEET, PER TABLE 5-12-2 IDO.

Designed by: MS
 Drawn by: RM
 Architect of Record: RM

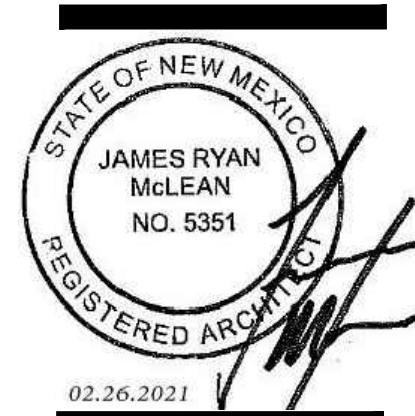
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 Issue for Pricing / Bidding: XXXX/XX/XX
 Issue for Permit Application: XXXX/XX/XX
 Issue for Construction: XXXX/XX/XX

Revisions:		
#	DATE	COMMENTS

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 ALBUQUERQUE, NEW MEXICO
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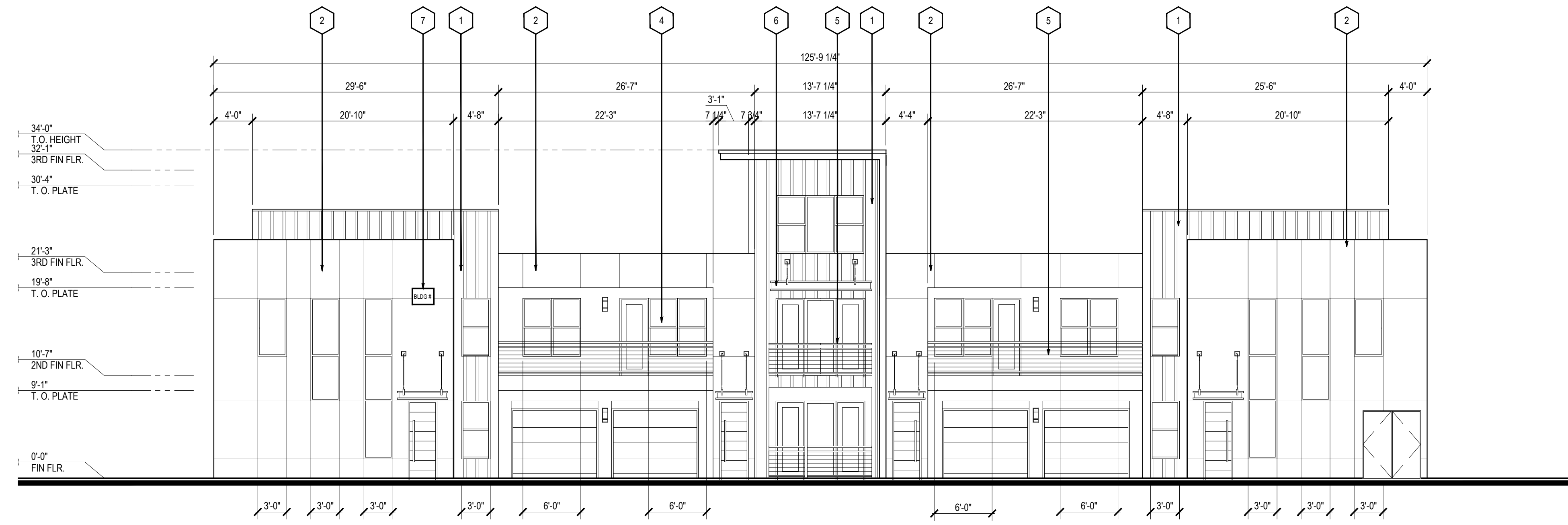
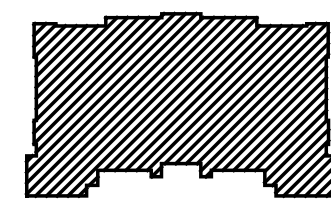


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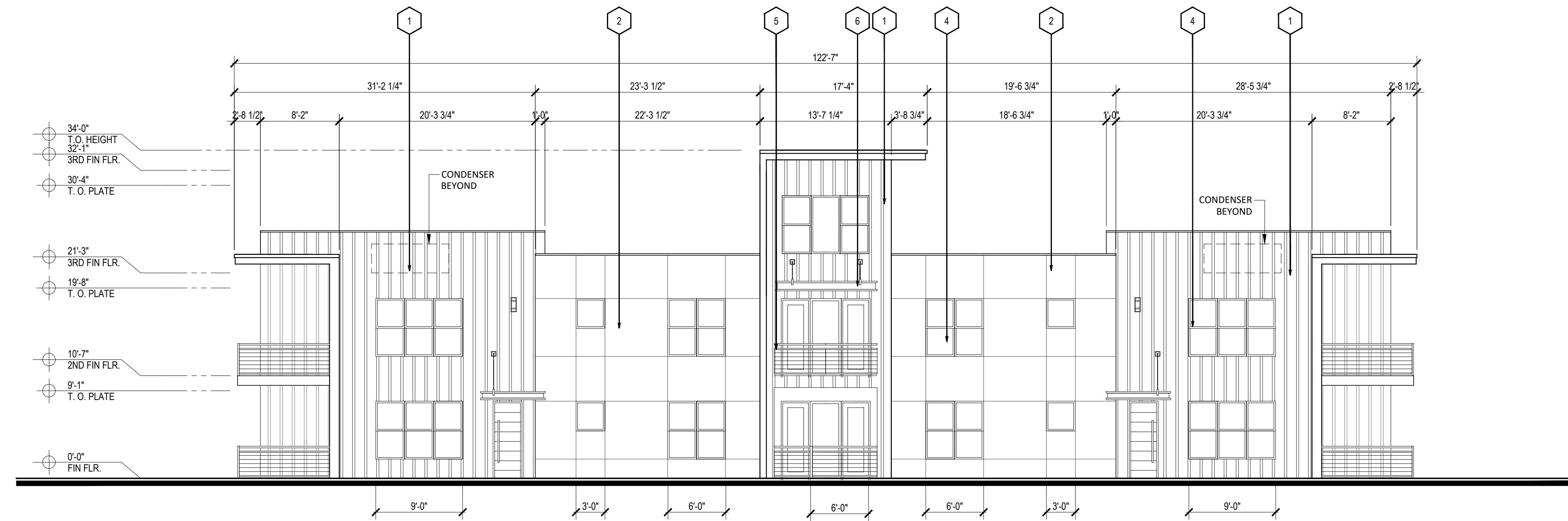
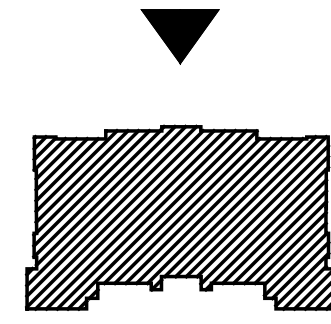
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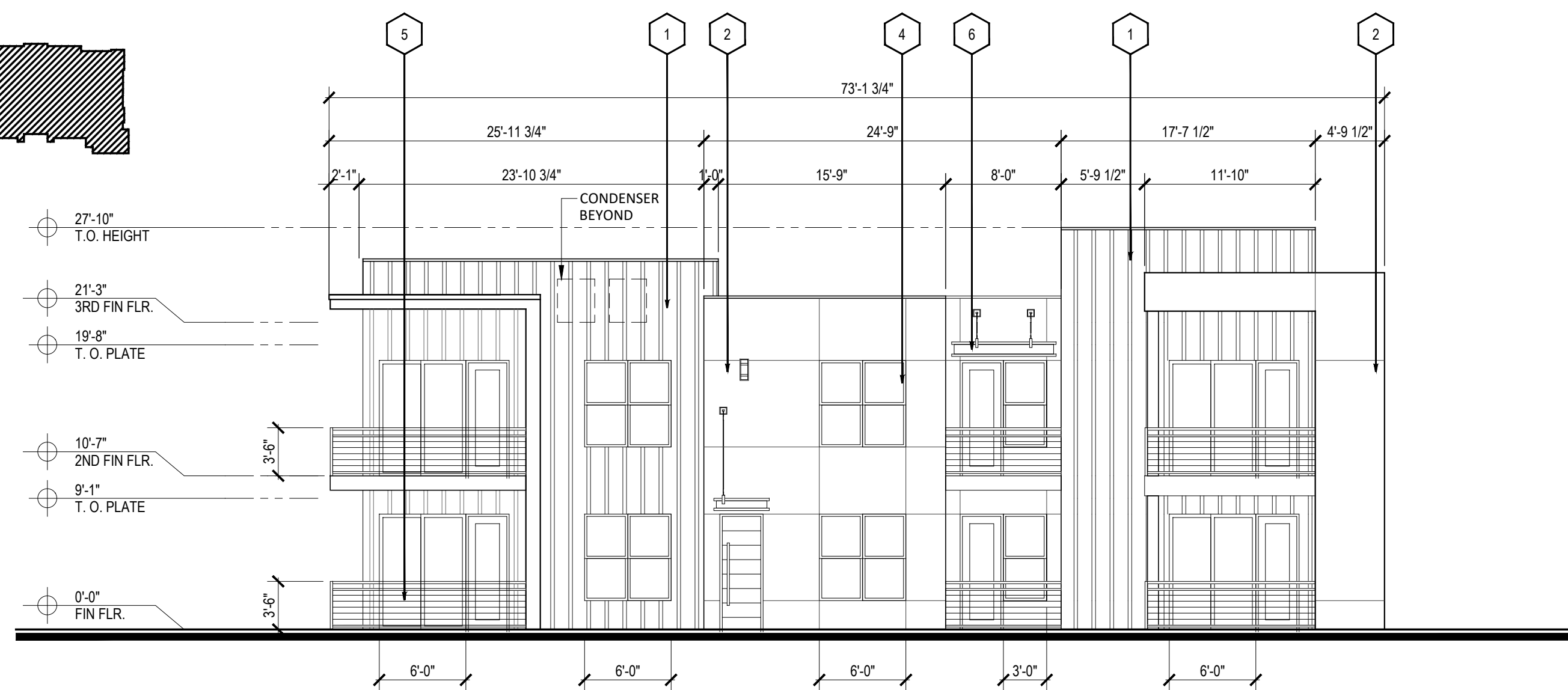
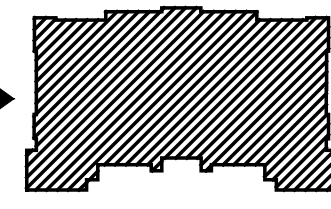
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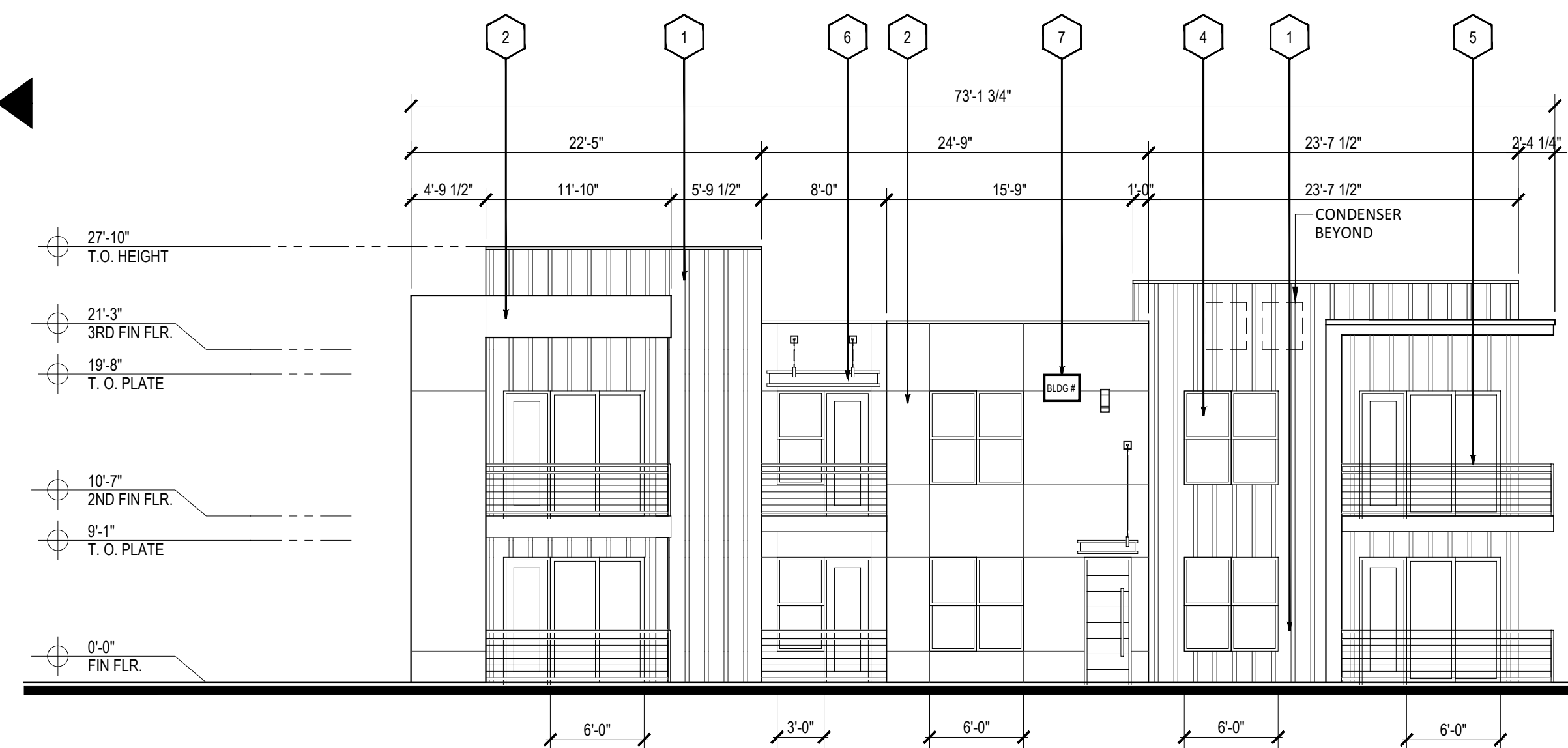
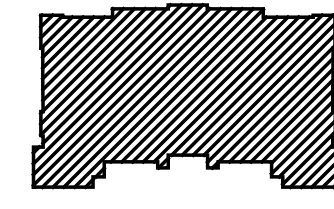
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SCALE: 1/8" = 1'-0"

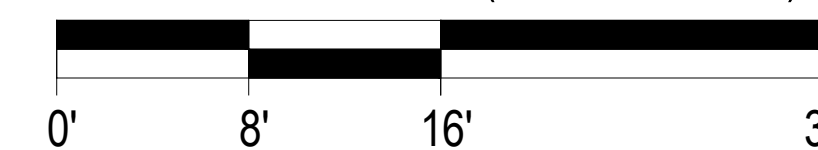


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1 BLDG TYPE II - RIGHT ELEV
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



MATERIAL KEY NOTE

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Designed by: MS
 Drawn by: RM
 Architect of Record: RM
 Date Plotted: XXXX/XX/XX
 Issue for Pricing / Bidding: XXXX/XX/XX
 Issue for Permit Application: XXXX/XX/XX
 Issue for Construction: XXXX/XX/XX

Revisions:		
#	DATE	COMMENTS

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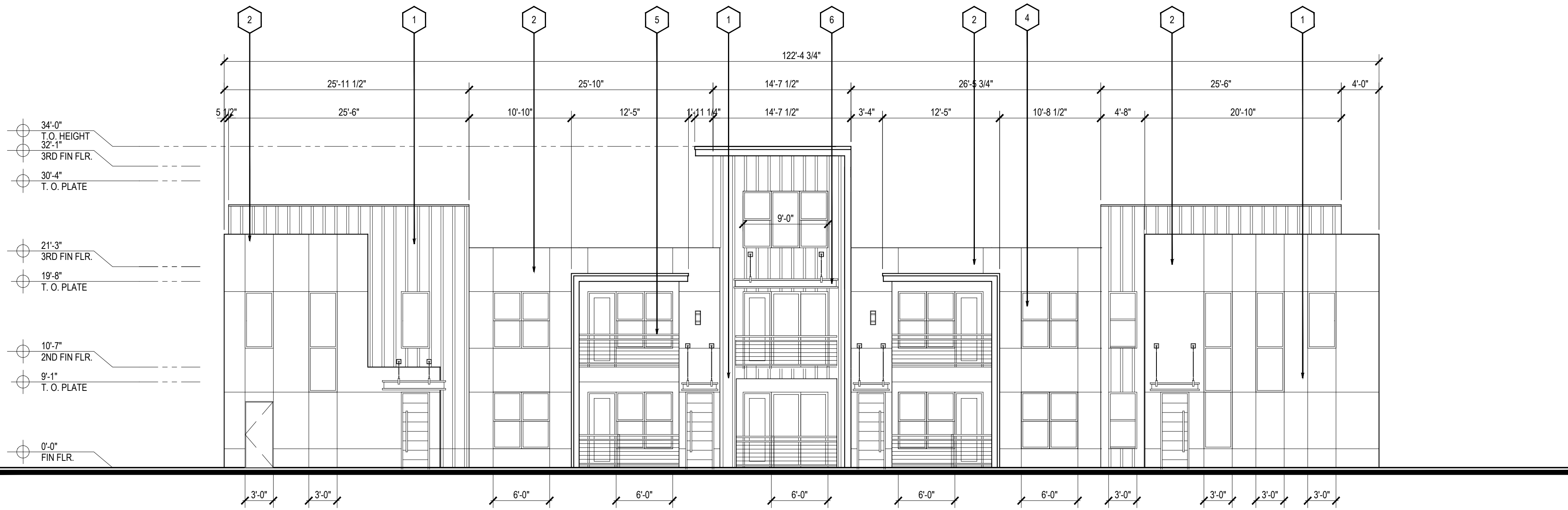
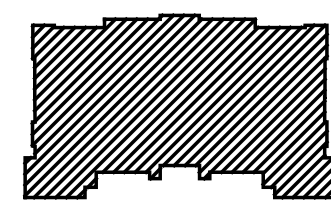
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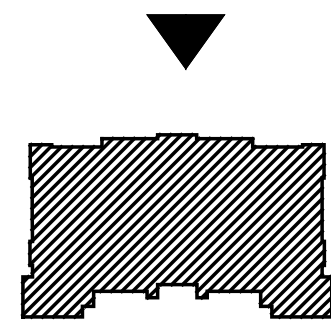
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A4.21

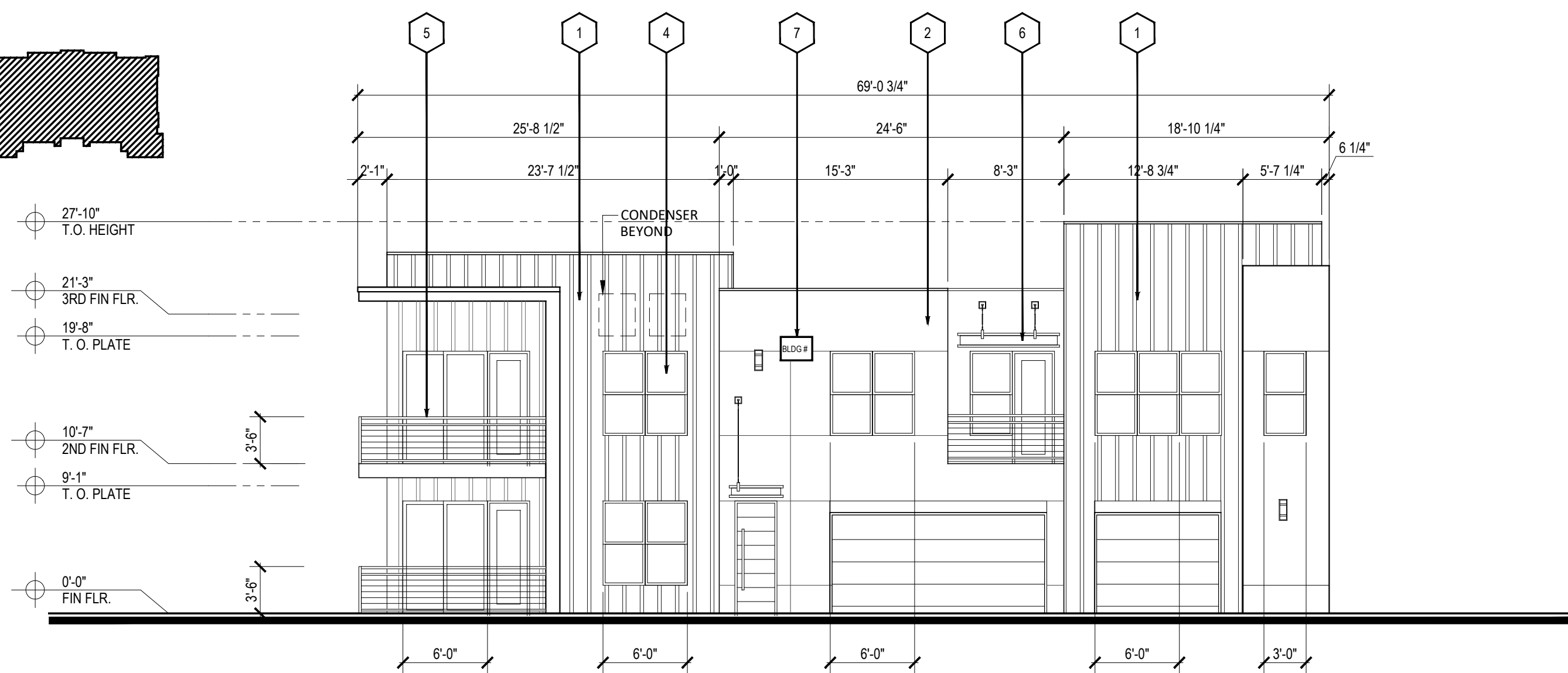
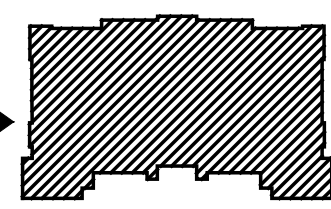
20213



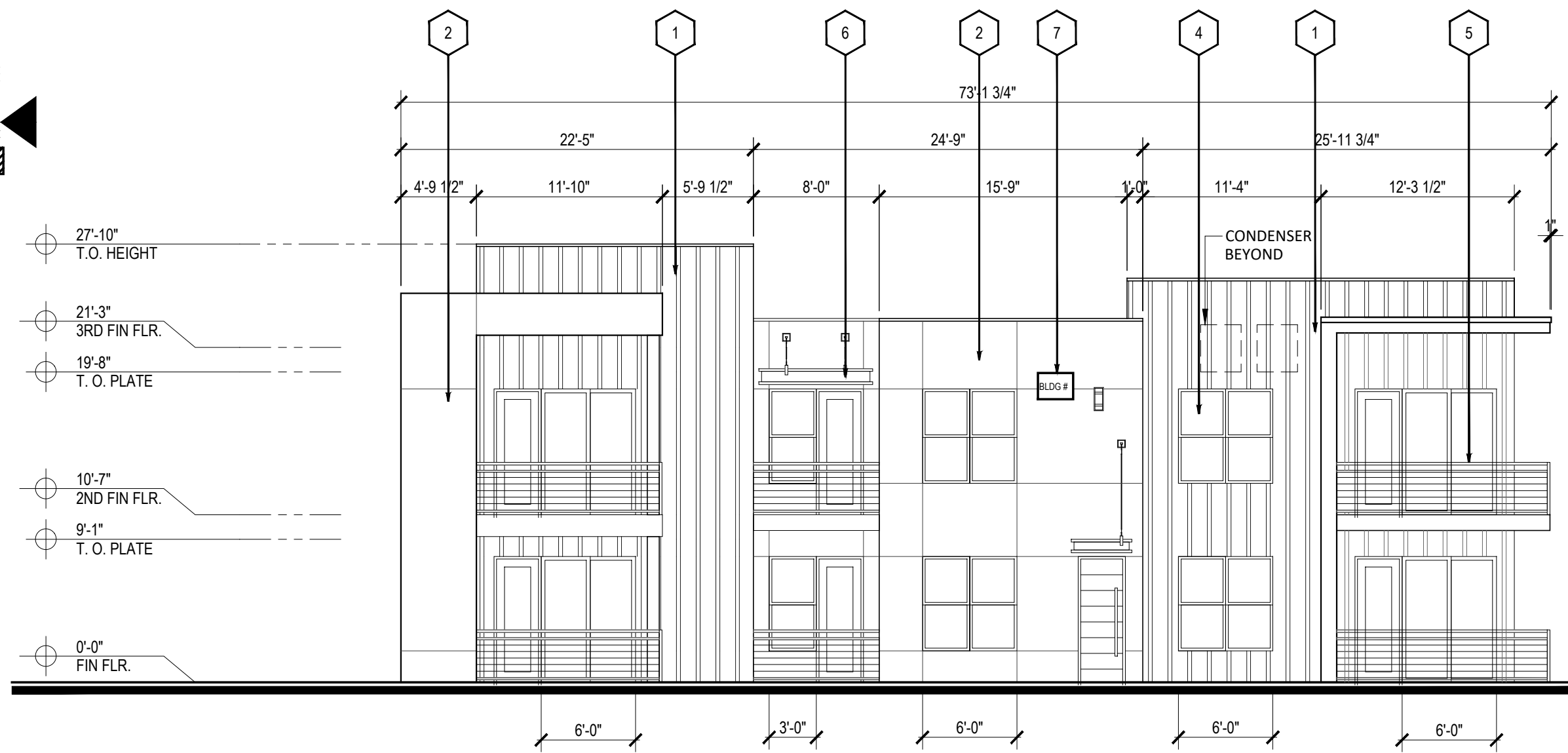
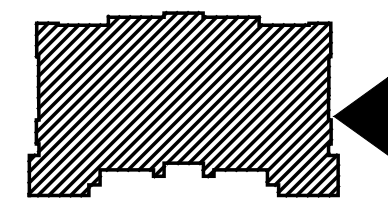
4 BLDG TYPE III - FRONT ELEV
SCALE: 1/8" = 1'-0"



3 BLDG TYPE III - REAR ELEV
SCALE: 1/8" = 1'-0"

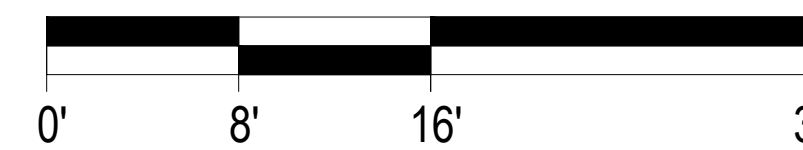


2 BLDG TYPE III - LEFT ELEV
SCALE: 1/8" = 1'-0"



1 BLDG TYPE III - RIGHT ELEV
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



MATERIAL KEY NOTE

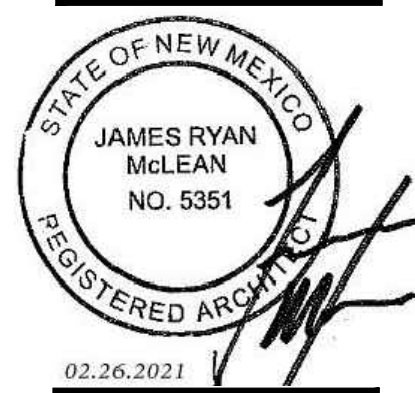
- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT GRAY
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 WALL SIGNAGE, LIMITED TO 10% FACADE AREA. HEIGHT, MAXIMUM 18 FEET, PER TABLE 5-12-2 IDO.

Designed by:	MS	
Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:	XX/XX/XX	
Issue for Pricing / Bidding:	XX/XX/XX	
Issue for Permit Application:	XX/XX/XX	
Issue for Construction:	XX/XX/XX	
Revisions:		
#	DATE	COMMENTS

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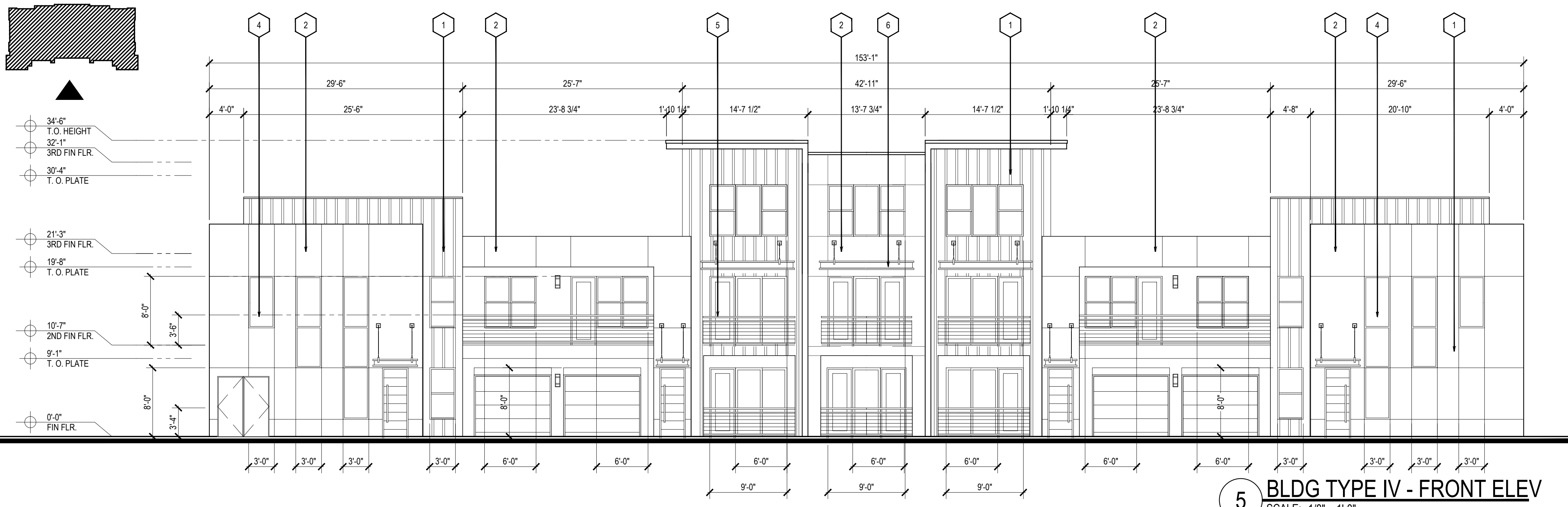


SHEET CONTENTS:
ELEVATIONS
TYPE III
SHEET NO.

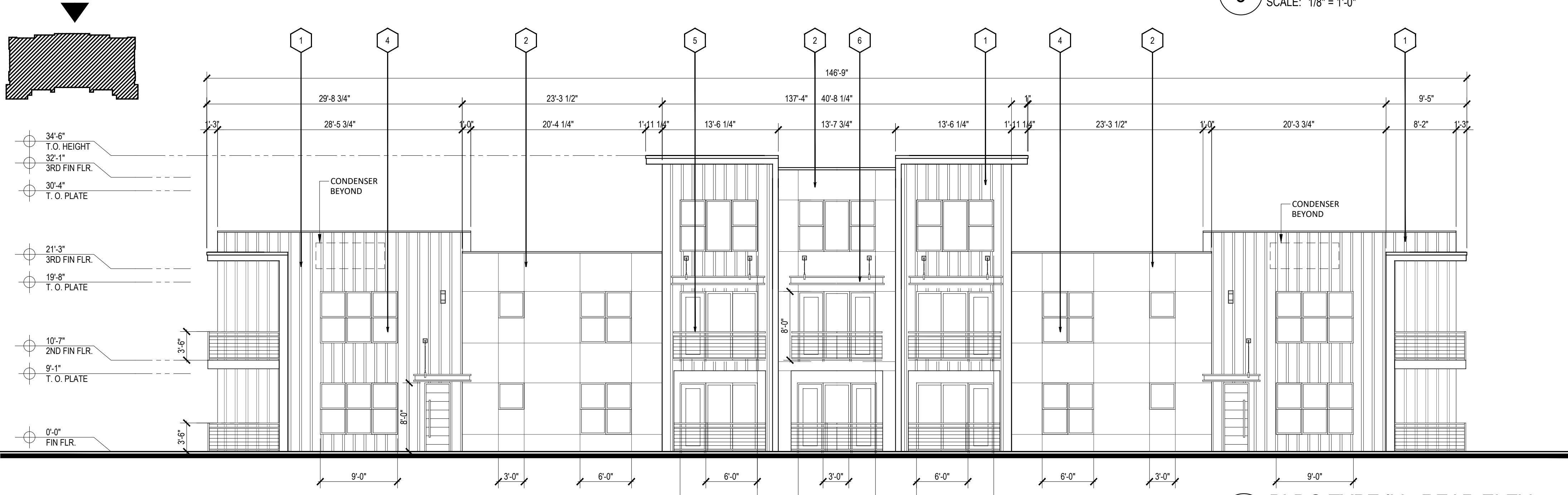
A4.31
20213

FILE: C:\Users\mabak\appdata\local\Temp\A431\1686420213-A431.dwg LAYOUT: A431
SCALE: 96 DATE/TIME: Feb 25, 2021 9:23am
USER: mabak XREFS: 24x36 TBLK\FINAL.dwg X-BLDG-4 ELEV(S).dwg X-BLDG-2 ELEV(S).dwg X-BLDG-1 ELEV(S).dwg X-BLDG-3 ELEV(S).dwg X-BLDG-24x36.dwg

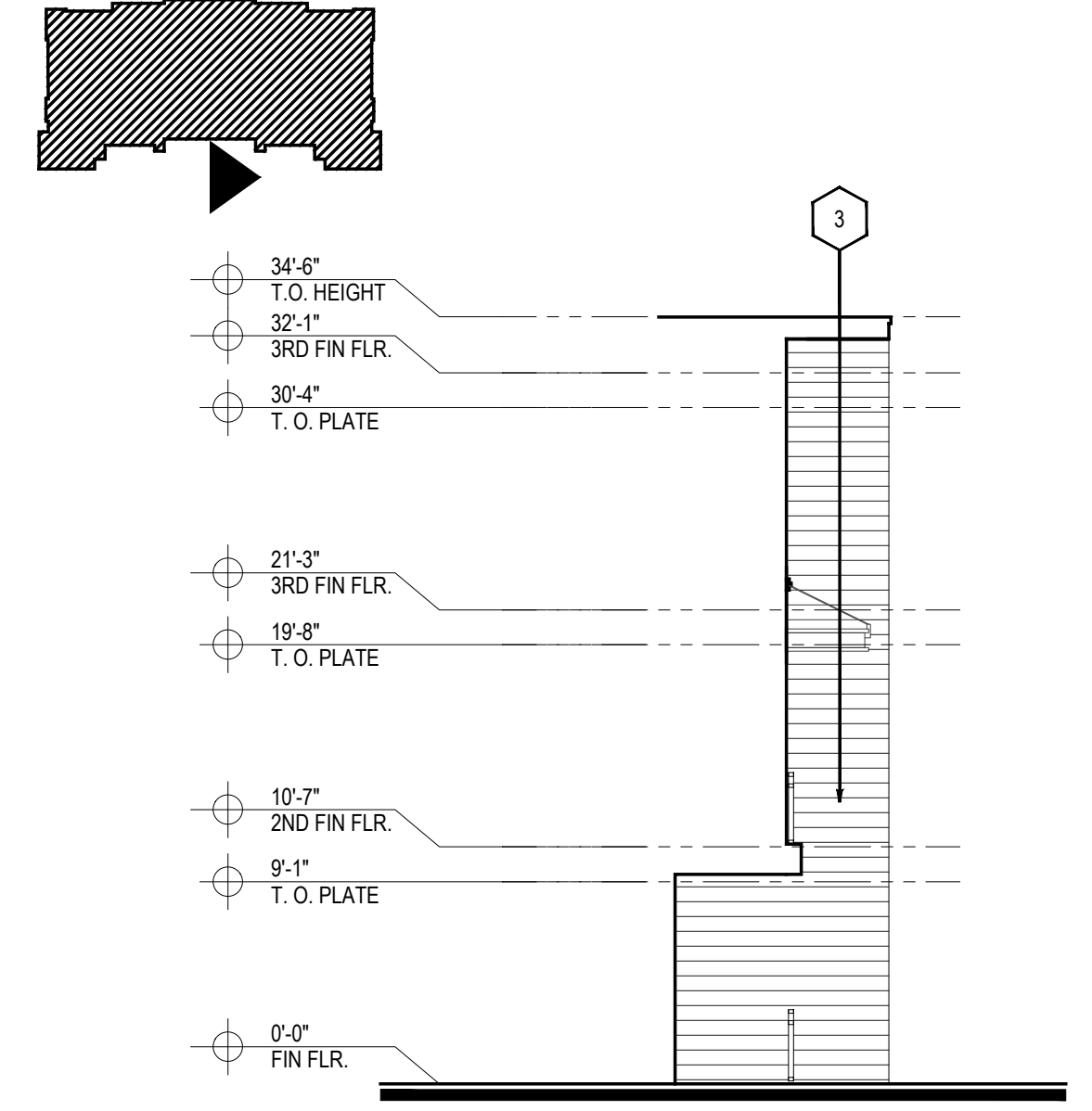
DRB SET: 02-26-2021



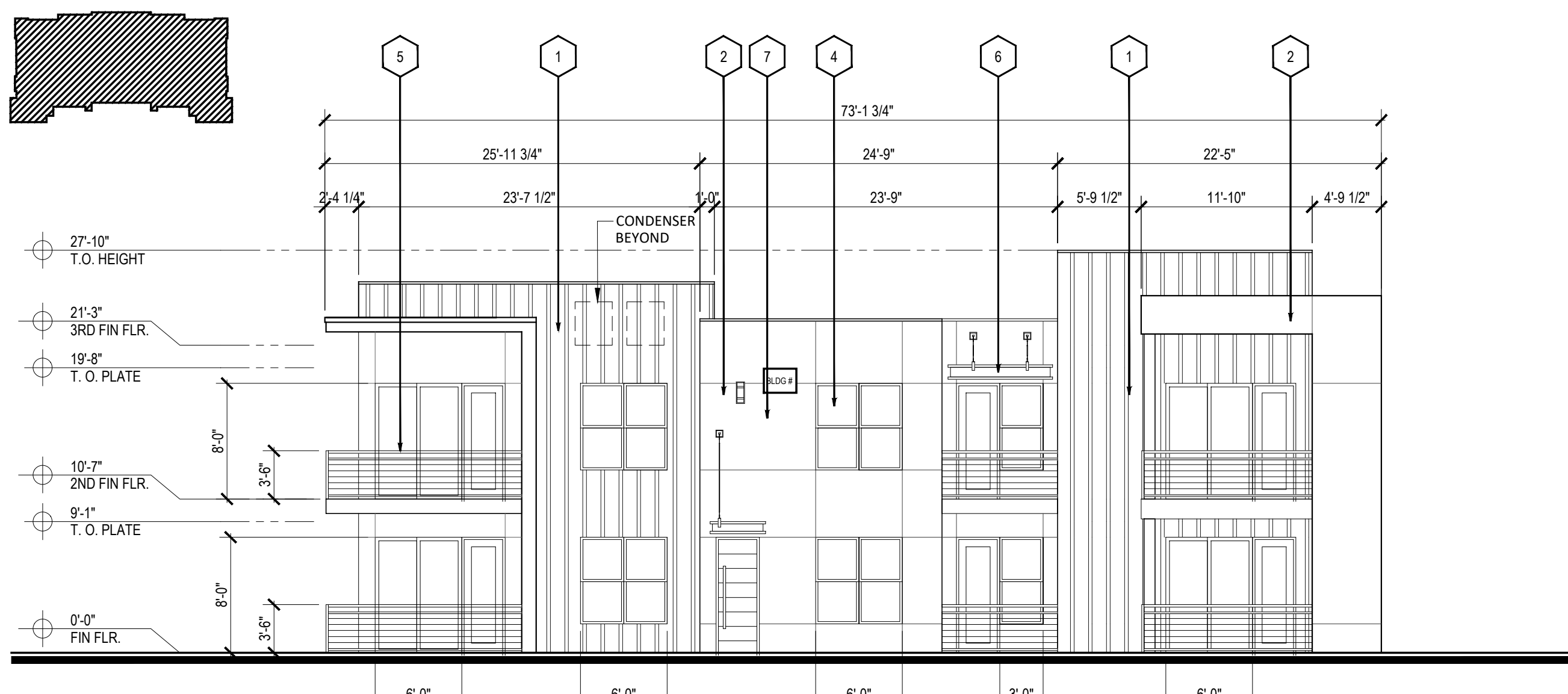
5 BLDG TYPE IV - FRONT ELEV
SCALE: 1/8" = 1'-0"



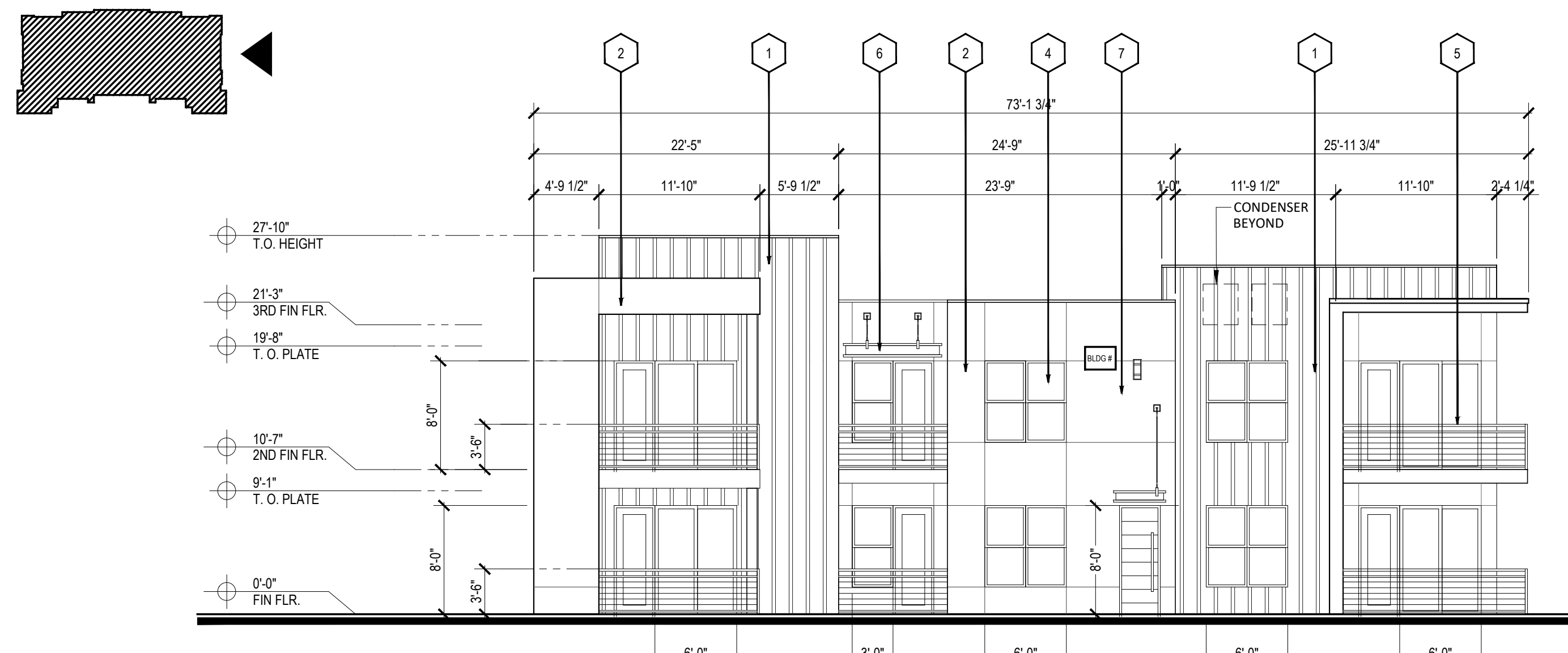
4 BLDG TYPE IV - REAR ELEV
SCALE: 1/8" = 1'-0"



3 INSIDE HIDDEN ELEVATION
SCALE: 1/8" = 1'-0"

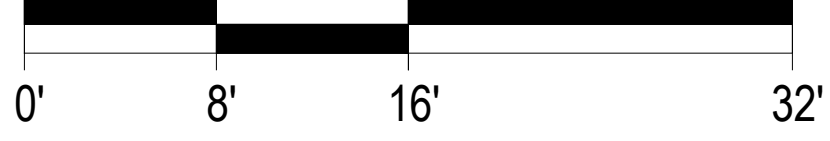


2 BLDG TYPE IV - LEFT ELEV
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0" (24"x36" SHEET)

1 BLDG TYPE IV - RIGHT ELEV
SCALE: 1/8" = 1'-0"



MATERIAL KEY NOTE

- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT GRAY
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 WALL SIGNAGE LIMITED TO 10% FACADE AREA HEIGHT, MAXIMUM 18 FEET, PER TABLE 5-12-2 IDO.

Designed by: MS
 Drawn by: RM
 Architect of Record: RM
 Date Plotted: _____
 Issue for Pricing / Bidding: XXXX/XX
 Issue for Permit Application: XXXX/XX
 Issue for Construction: XXXX/XX
 Revisions:

#	DATE	COMMENTS

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SHEET CONTENTS:
 ELEVATIONS
 TYPE IV
 SHEET NO.
A4.41
 20213

DRB SET: 02-26-2021

FILE: C:\Users\mrb\OneDrive\Documents\Projects\1686420213\A41.dwg LAYOUT: A41
 SCALE: 1/8" DATE/TIME: Feb 26, 2021 9:23am
 USER: mrb

Designed by:	MS	
Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:		
Issue for Pricing / Bidding:	XXXXXX	
Issue for Permit Application:	XXXXXX	
Issue for Construction:	XXXXXX	
Revisions:		
#	DATE	COMMENTS

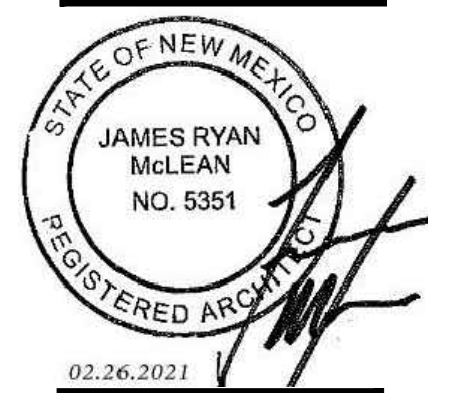
MATERIAL KEY NOTE

- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT BROWN
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE

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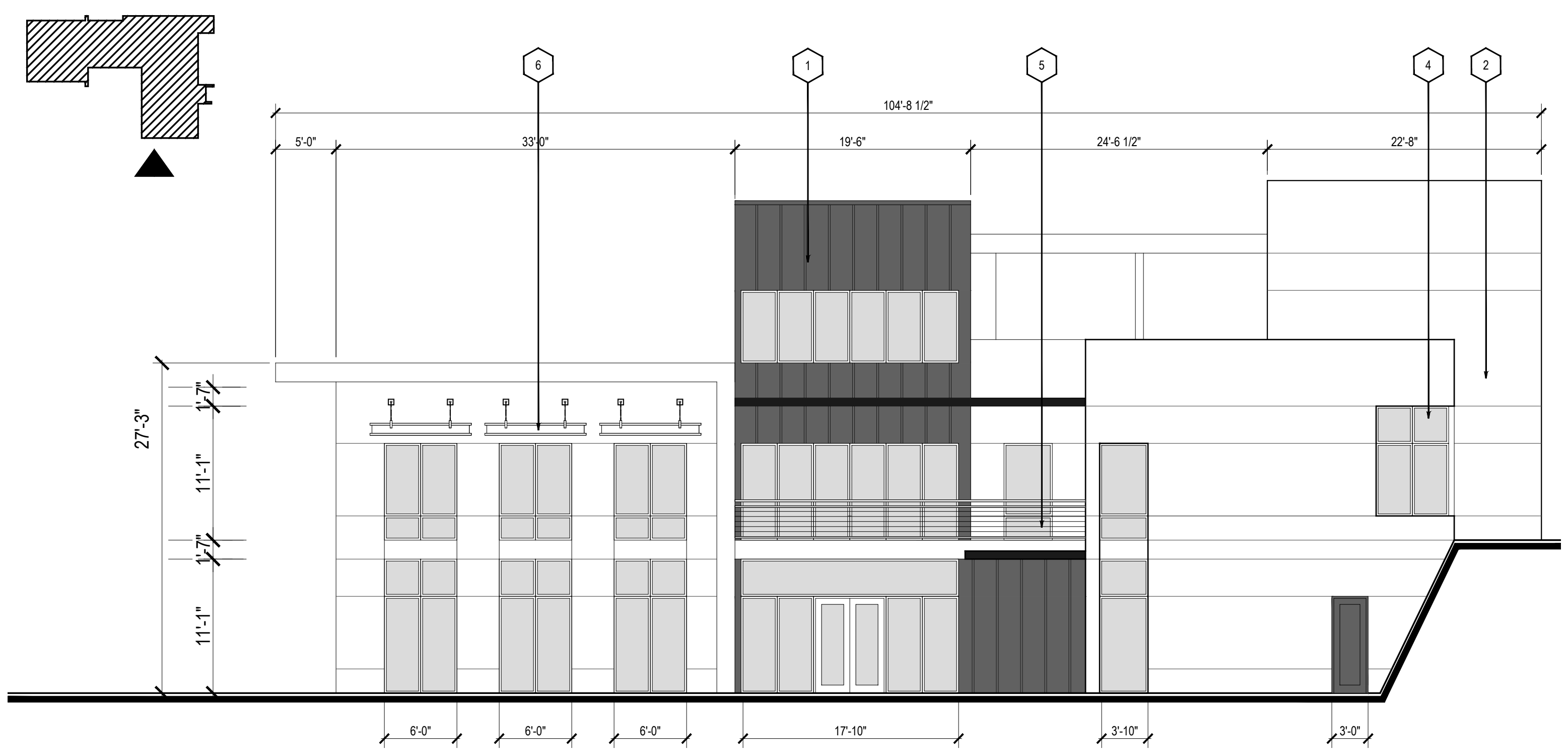
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LEGACY DEVELOPMENT & MANAGEMENT, LLC



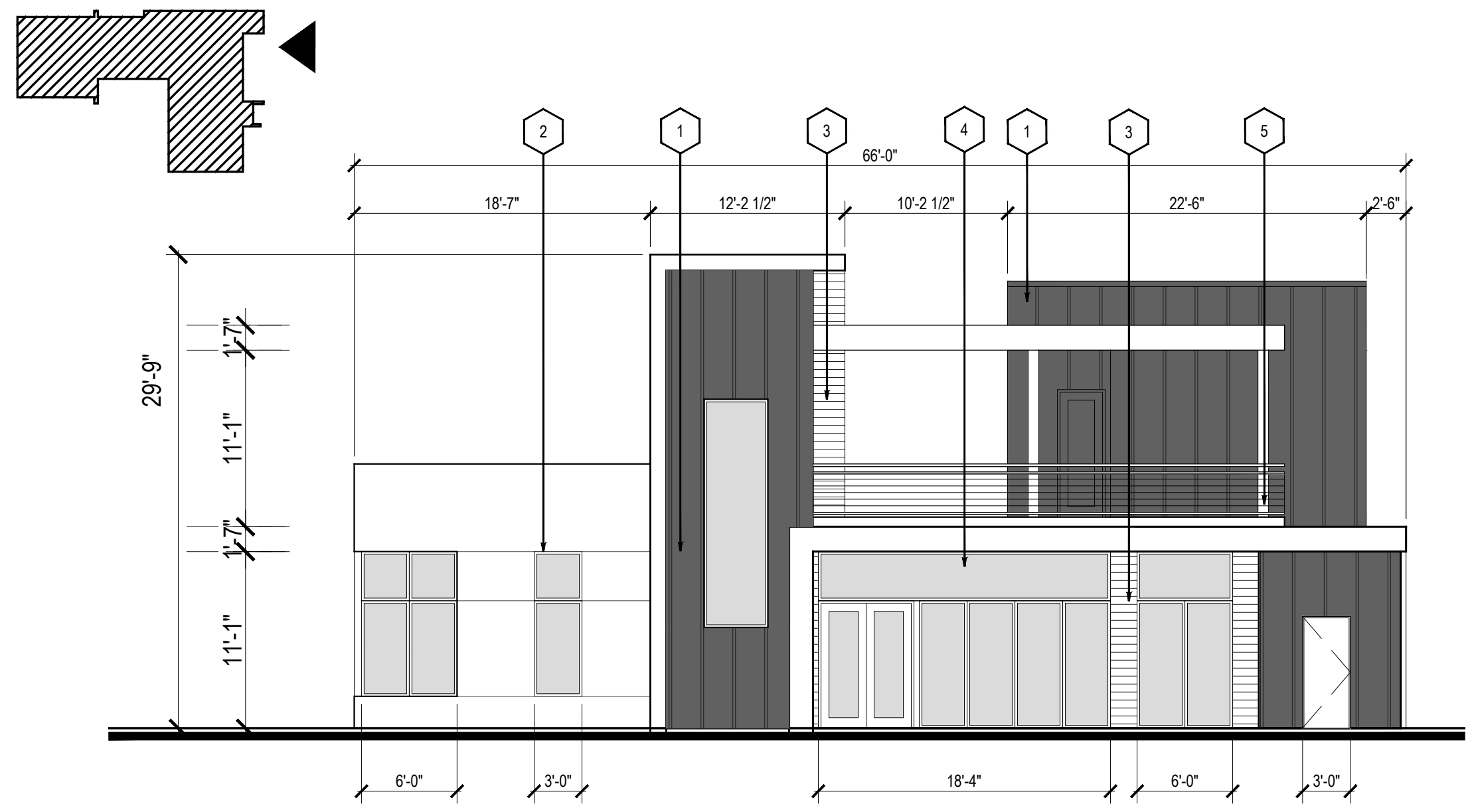
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SHEET CONTENTS:
 CLUBHOUSE ELEVATIONS
 SHEET NO.
A8.02
 20213

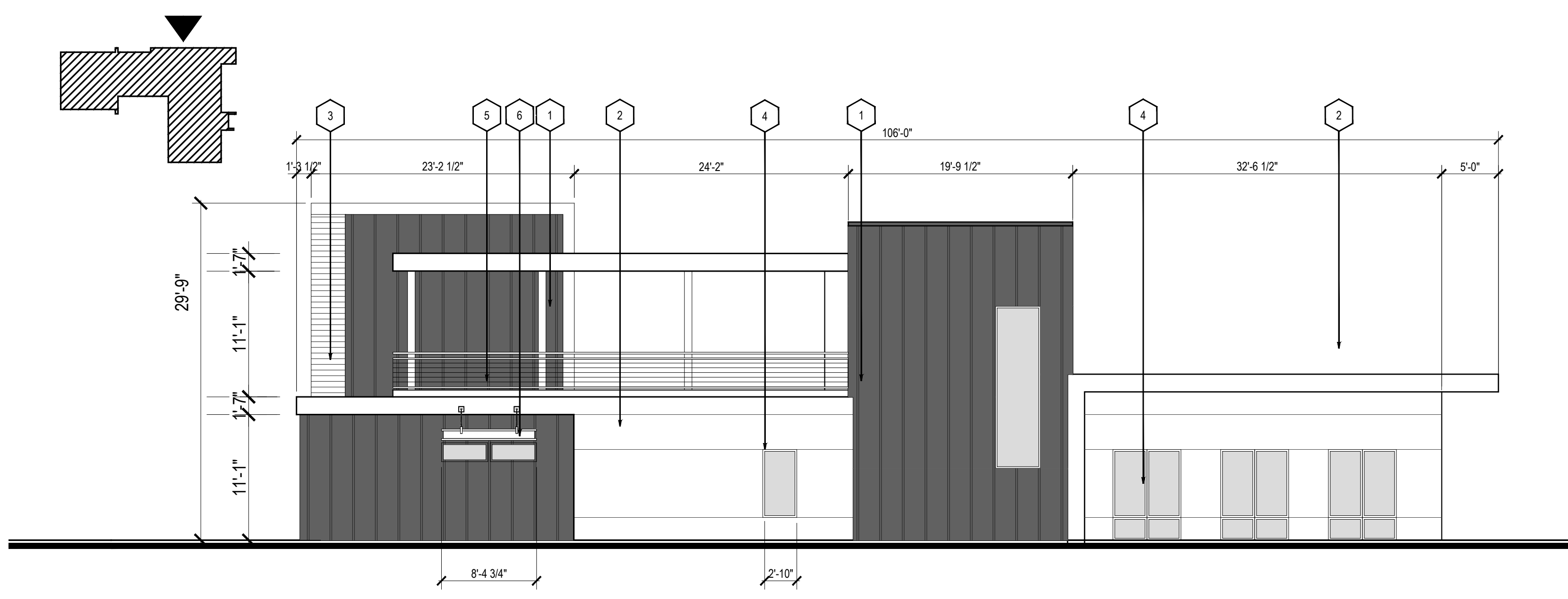
DRB SET: 04-09-2021



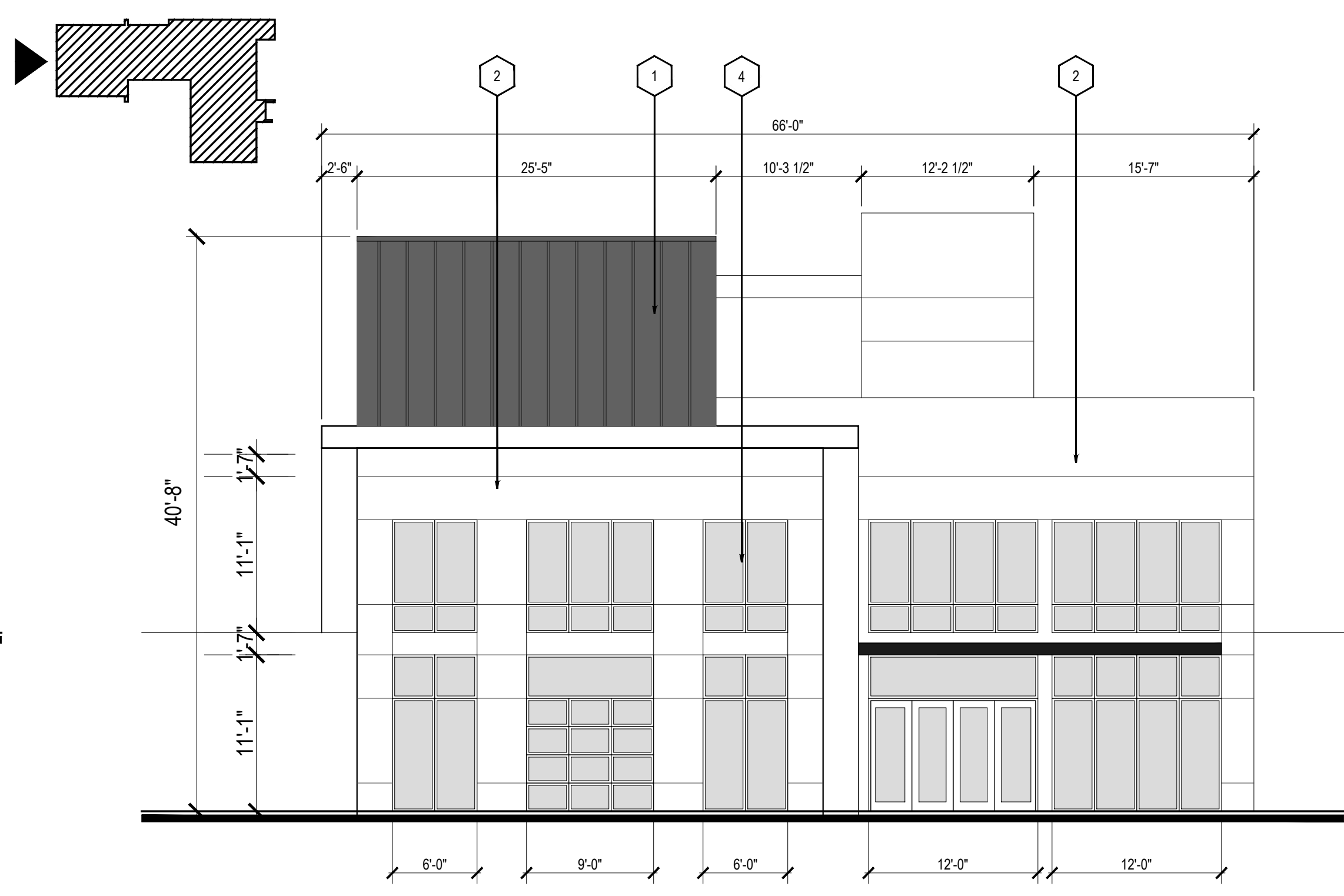
4 CLUBHOUSE- LEFT ELEV
 SCALE: 1/8" = 1'-0"



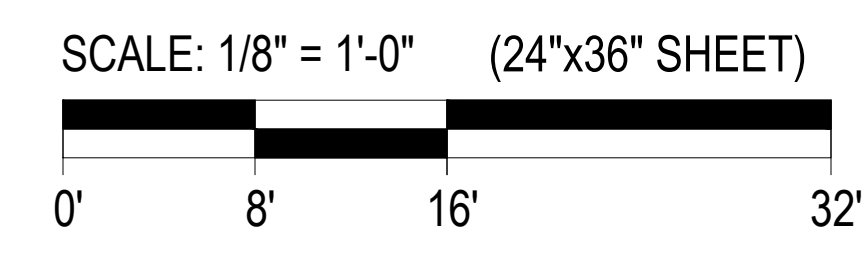
3 CLUBHOUSE- FRONT ELEV
 SCALE: 1/8" = 1'-0"



2 CLUBHOUSE- RIGHT ELEV
 SCALE: 1/8" = 1'-0"



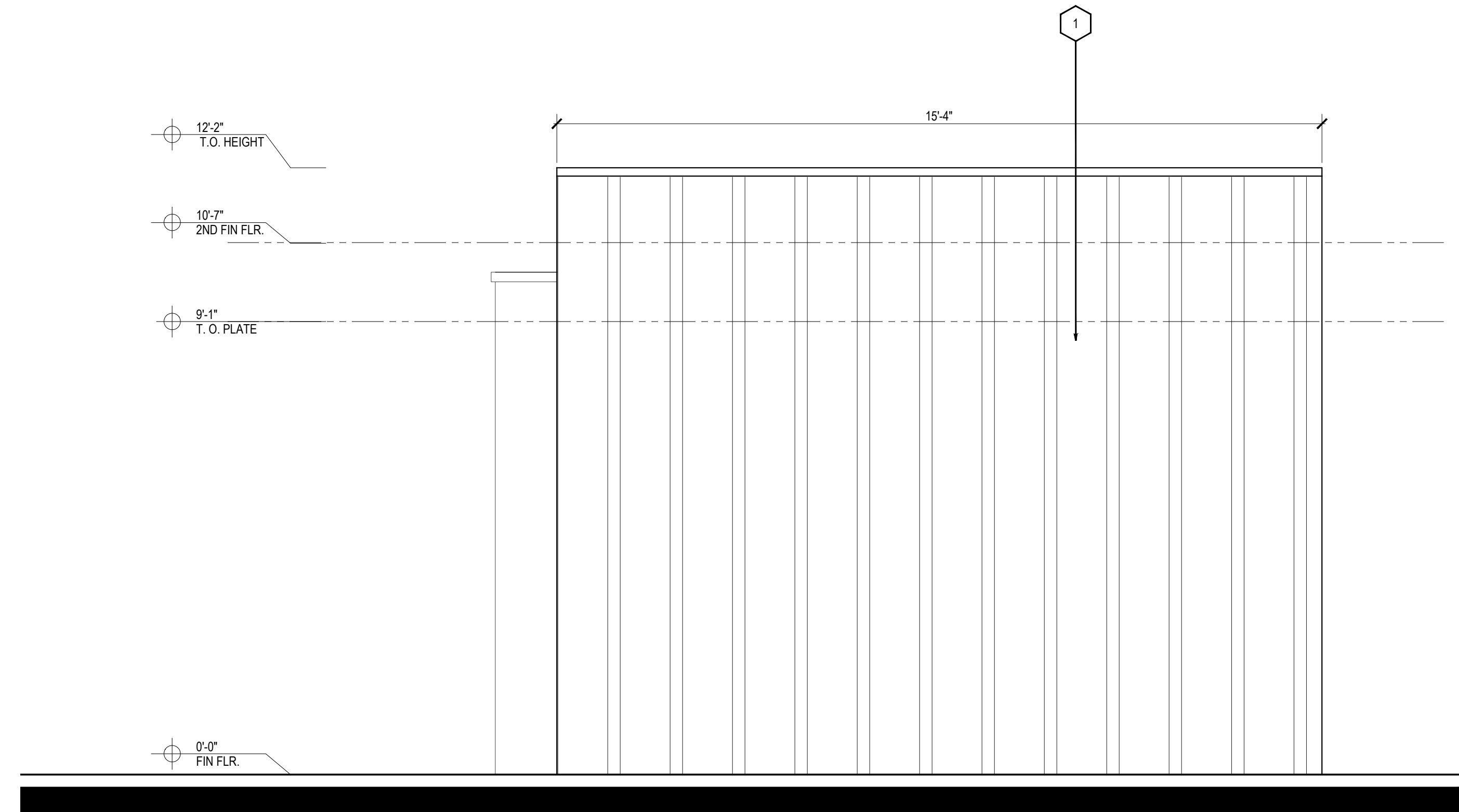
1 CLUBHOUSE- REAR ELEV
 SCALE: 1/8" = 1'-0"



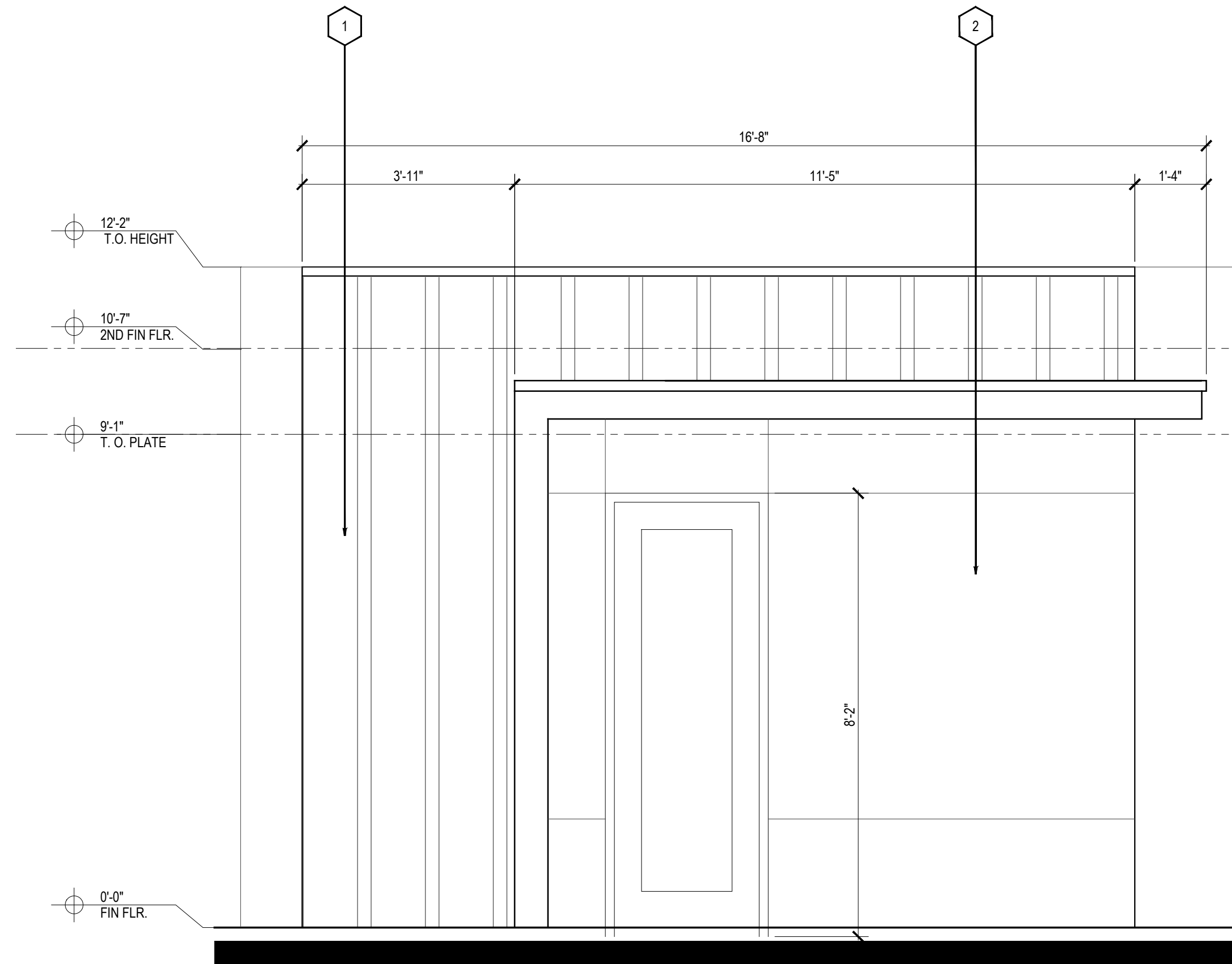
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 SCALE: 86 DATE/TIME: Apr 09, 2021 - 11:56am
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MATERIAL KEY NOTE

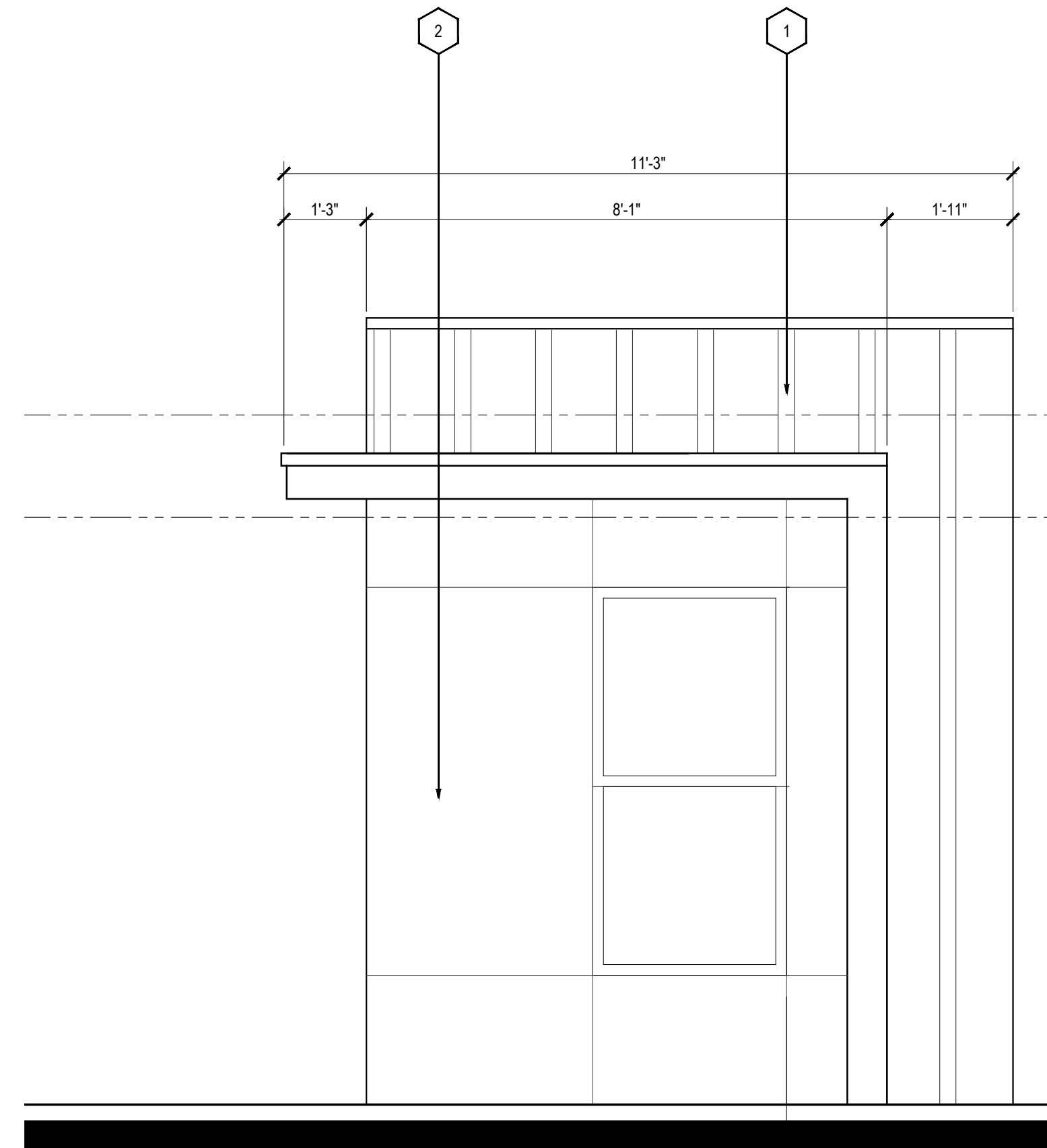
- 1 BOARD & BATTEN - LIGHT BROWN
- 2 STUCCO - LIGHT BROWN
- 3 WOOD-LOOK FIBER CEMENT SIDING - BROWN
- 4 VINYL WINDOW - BRONZE
- 5 METAL RAILING - BRONZE
- 6 ALUMINUM AWNING - BRONZE
- 7 TUBE GATE FRAME - BRONZE



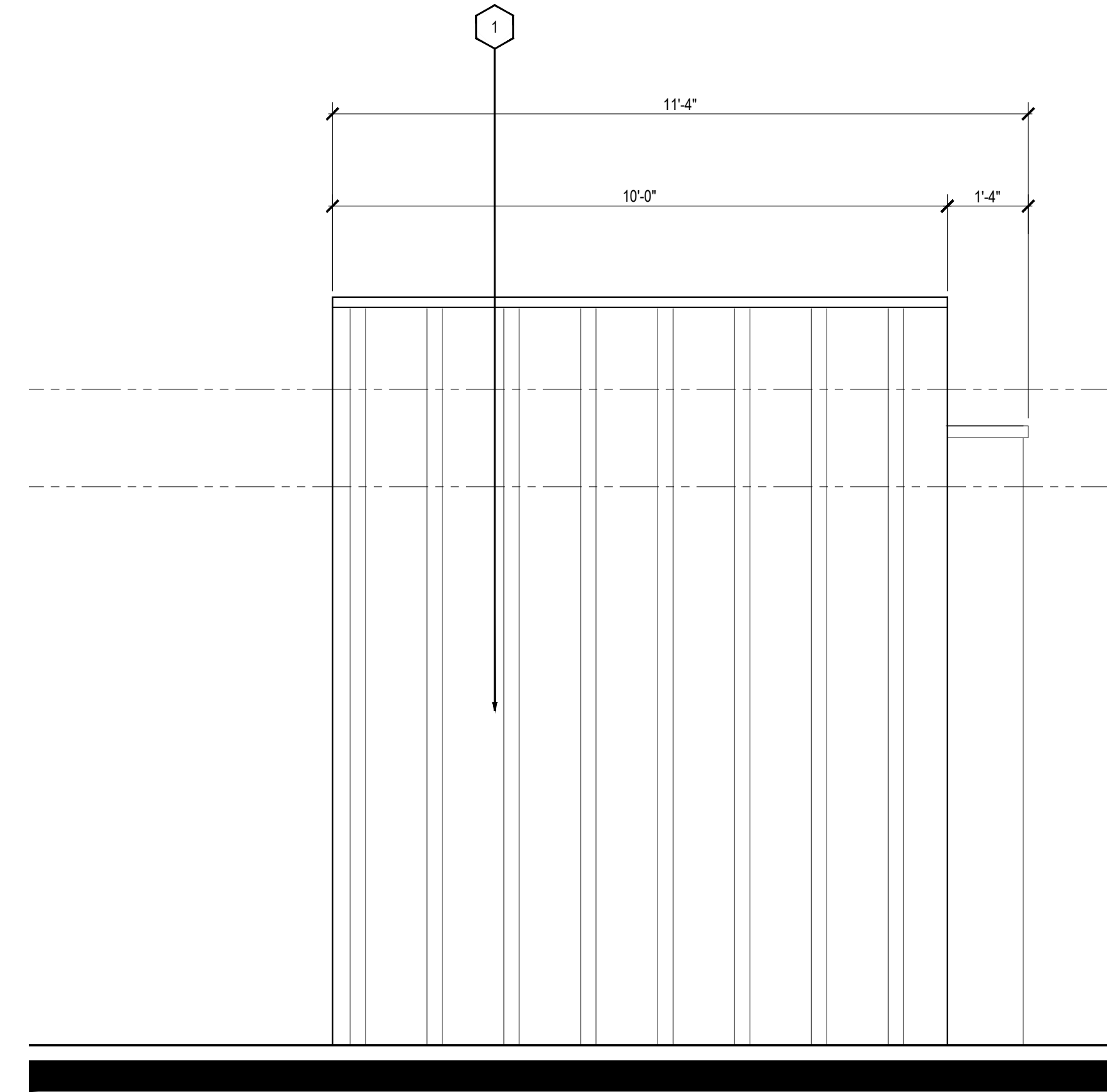
4 PET ROOM - LEFT ELEVATION
SCALE: 1/2" = 1'-0"



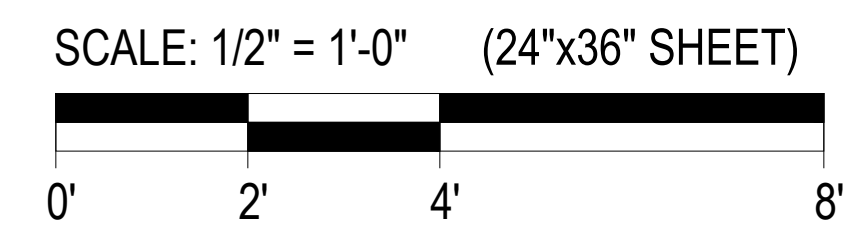
3 PET ROOM - REAR ELEVATION
SCALE: 1/2" = 1'-0"



2 PET ROOM - FRONT ELEVATION
SCALE: 1/2" = 1'-0"



1 PET ROOM - RIGHT ELEVATION
SCALE: 1/2" = 1'-0"



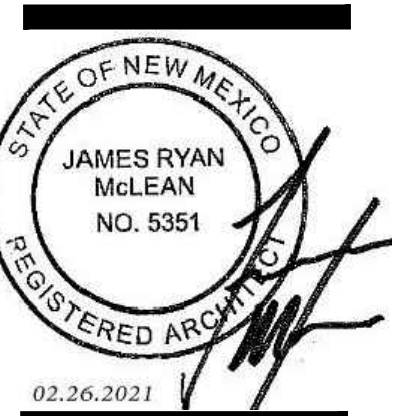
Designed by: MS
 Drawn by: RM
 Architect of Record: RM
 Date Plotted: XXXX/XX/XX
 Issue for Pricing / Bidding: XXXX/XX/XX
 Issue for Permit Application: XXXX/XX/XX
 Issue for Construction: XXXX/XX/XX

#	DATE	COMMENTS

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 ALBUQUERQUE, NEW MEXICO
 LEGACY DEVELOPMENT & MANAGEMENT, LLC



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SHEET CONTENTS:
 PET GROOMING
 SHEET NO.
A8.03
 20213

FILE: M:\2020\20213 MARKANA MOSES\03_03_01 DRAWINGS\20213_A803.dwg LAYOUT: 803
 SCALE: 24 DATE/TIME: Feb 26, 2021 11:14am
 USER: vmlado XREF(s): 24x36_TBLK-FINAL.dwg X-DOG-ELEV.dwg X-DOG.dwg X-RAMADA-BIKE.dwg X-RAMADA-BIKE-ELEV.dwg X-RAMADA-ELEV.dwg X-COMPACTOR.dwg 20213_CDTBLK-24x36.dwg

DRB SET: 02-26-2021

Designed by:	MS	
Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:		
Issue for Pricing / Bidding:	XX/XX/XX	
Issue for Permit Application:	XX/XX/XX	
Issue for Construction:	XX/XX/XX	
Revisions:		
#	DATE	COMMENTS

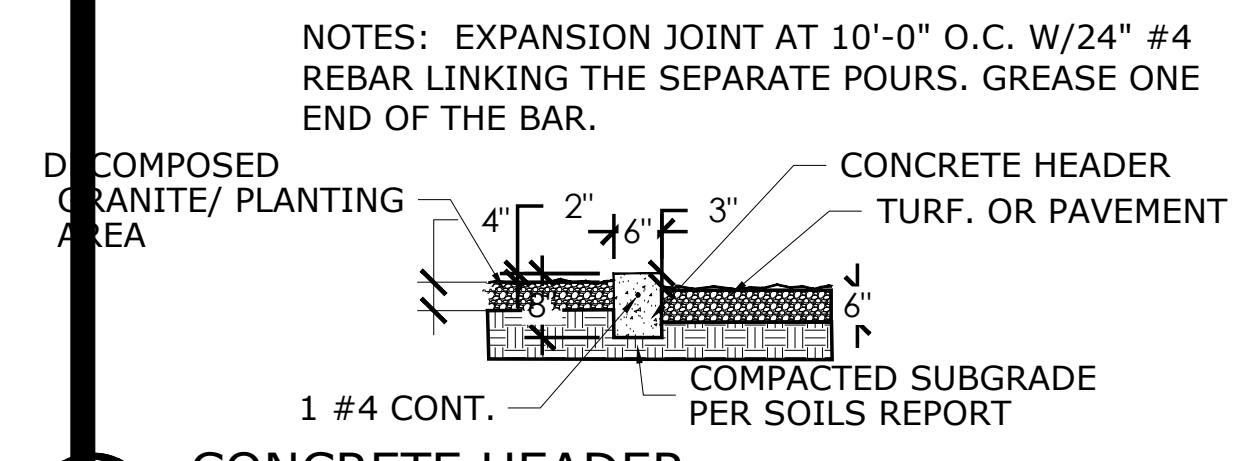
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DM
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 ALBUQUERQUE, NEW MEXICO
LEGACY DEVELOPMENT & MANAGEMENT, LLC

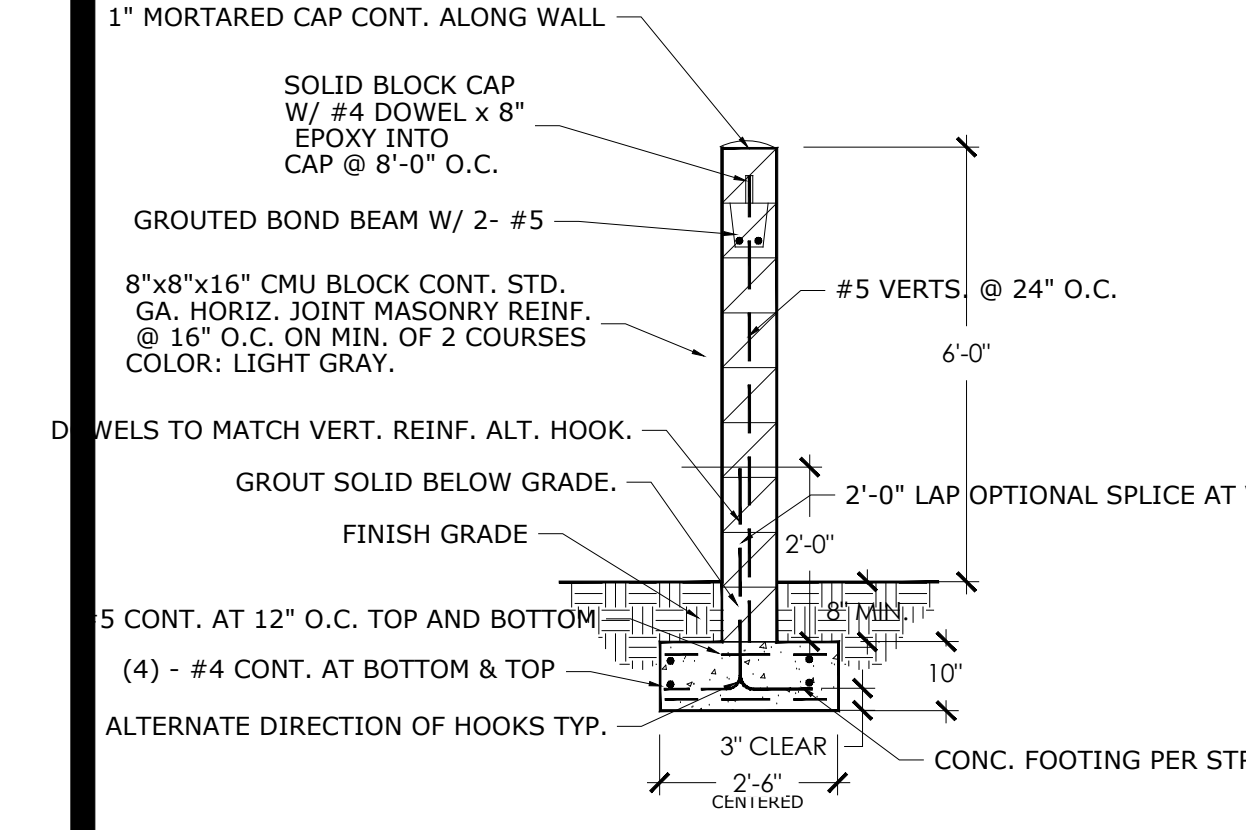
STATE OF NEW MEXICO
 JAMES RYAN
 MCLAREN
 NO. 5351
 REGISTERED ARCHITECT
 02.26.2021

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
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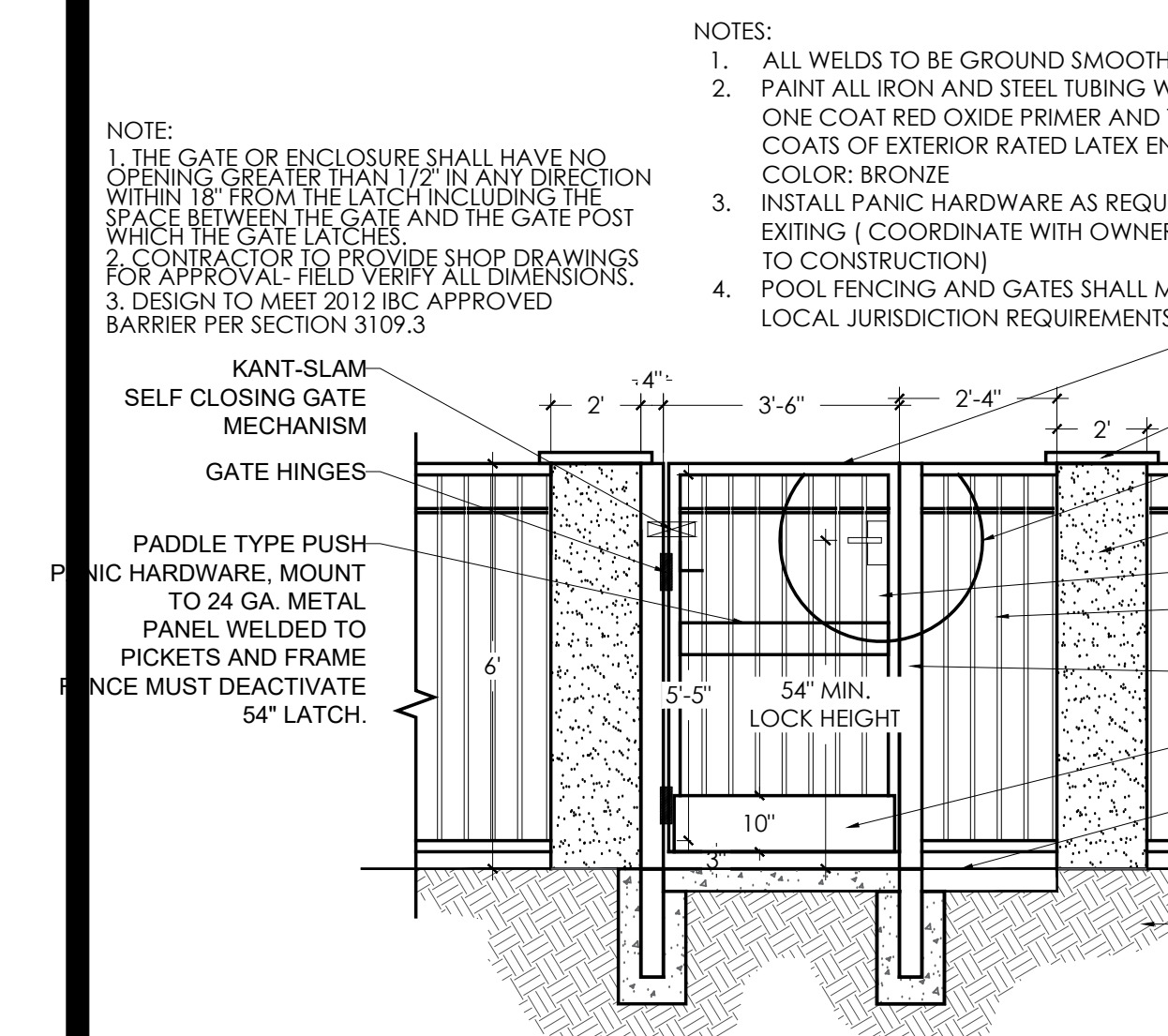
DRB SET: 02-26-2021
 SHEET CONTENTS:
 SITE DETAILS
 SHEET NO.
A9.03
 20213



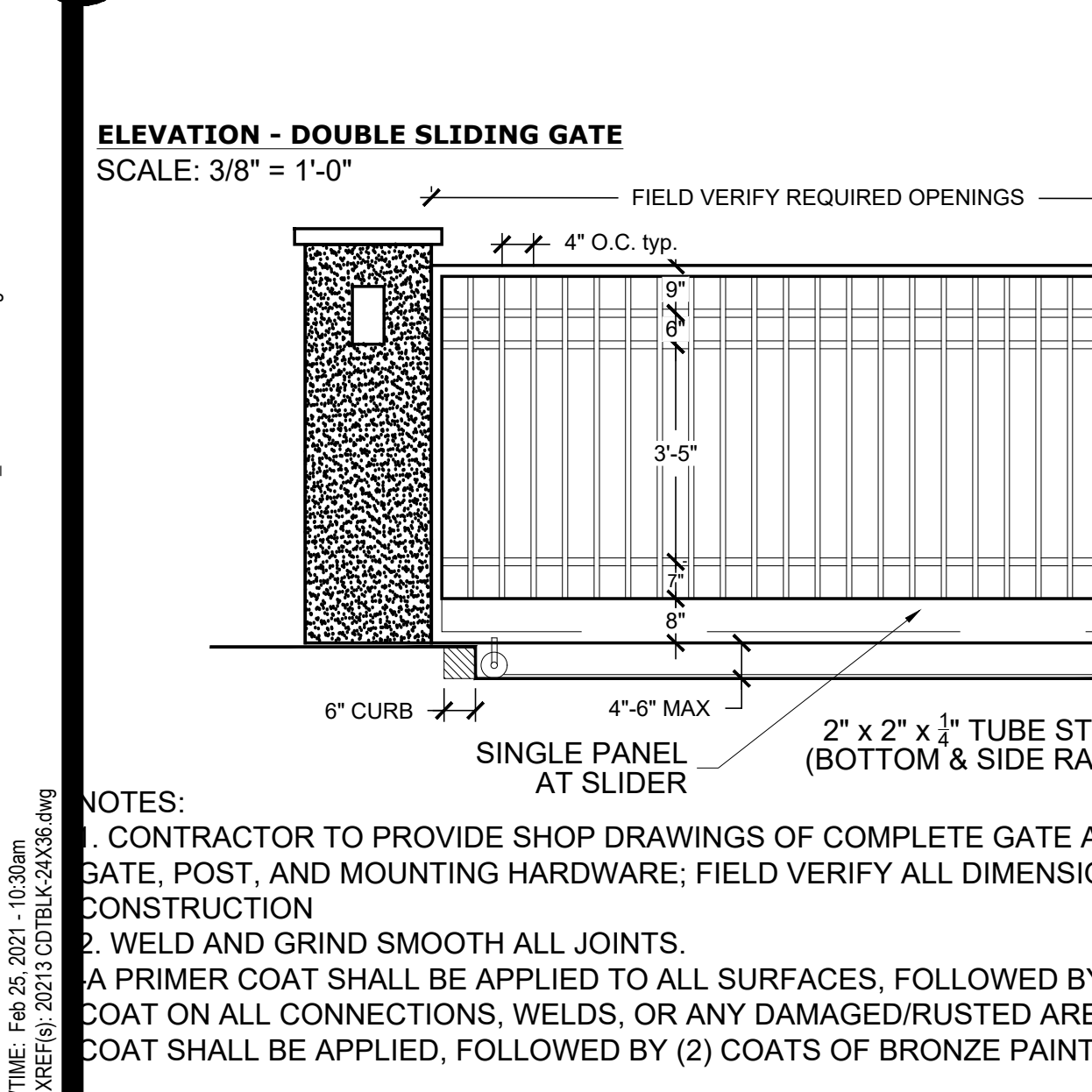
01 CONCRETE HEADER
 SCALE: 1/2" = 1'-0"



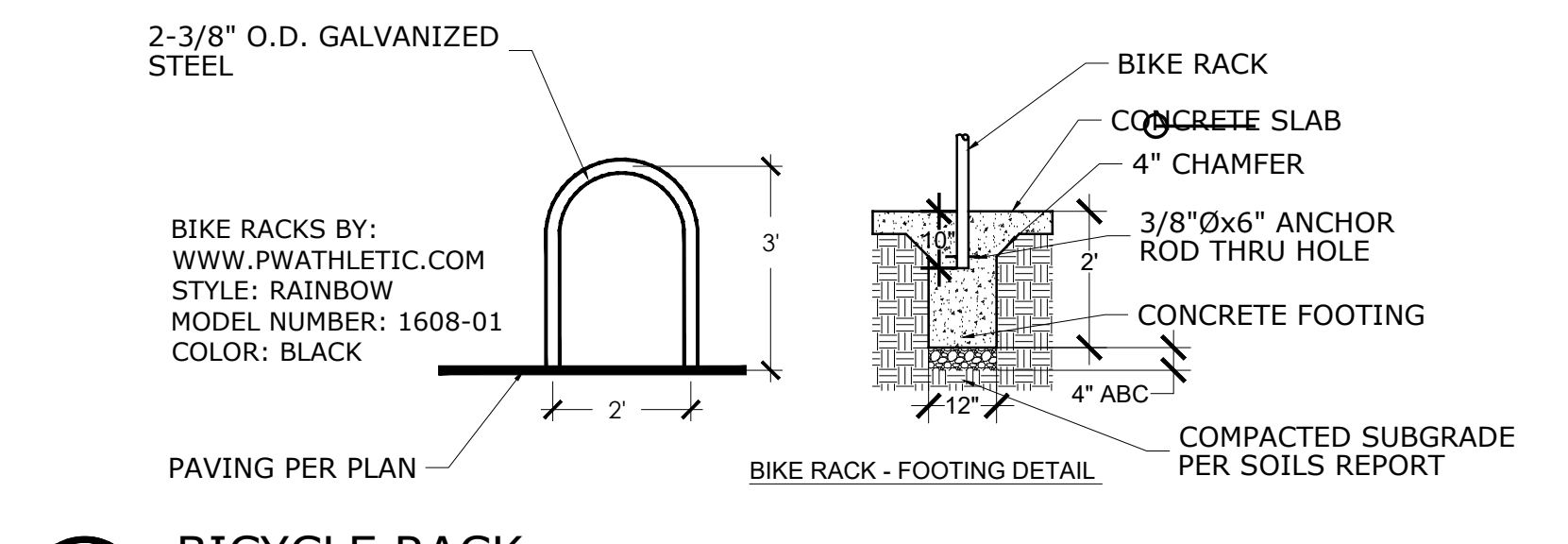
03 CMU SITE PERIMETER WALL
 SCALE: 3/8" = 1'-0"



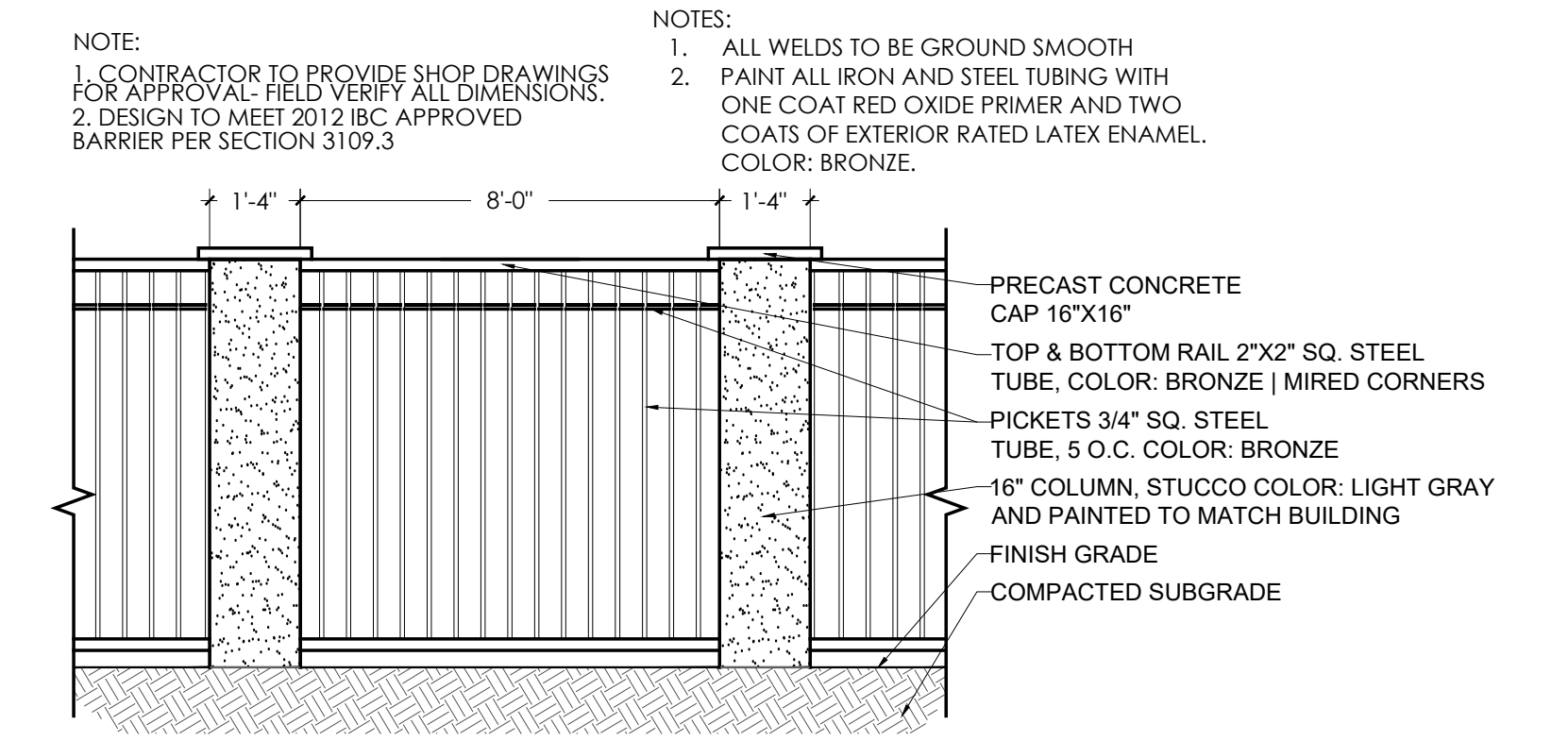
06 TUBE STEEL POOL FENCE
 SCALE: 3/8" = 1'-0"



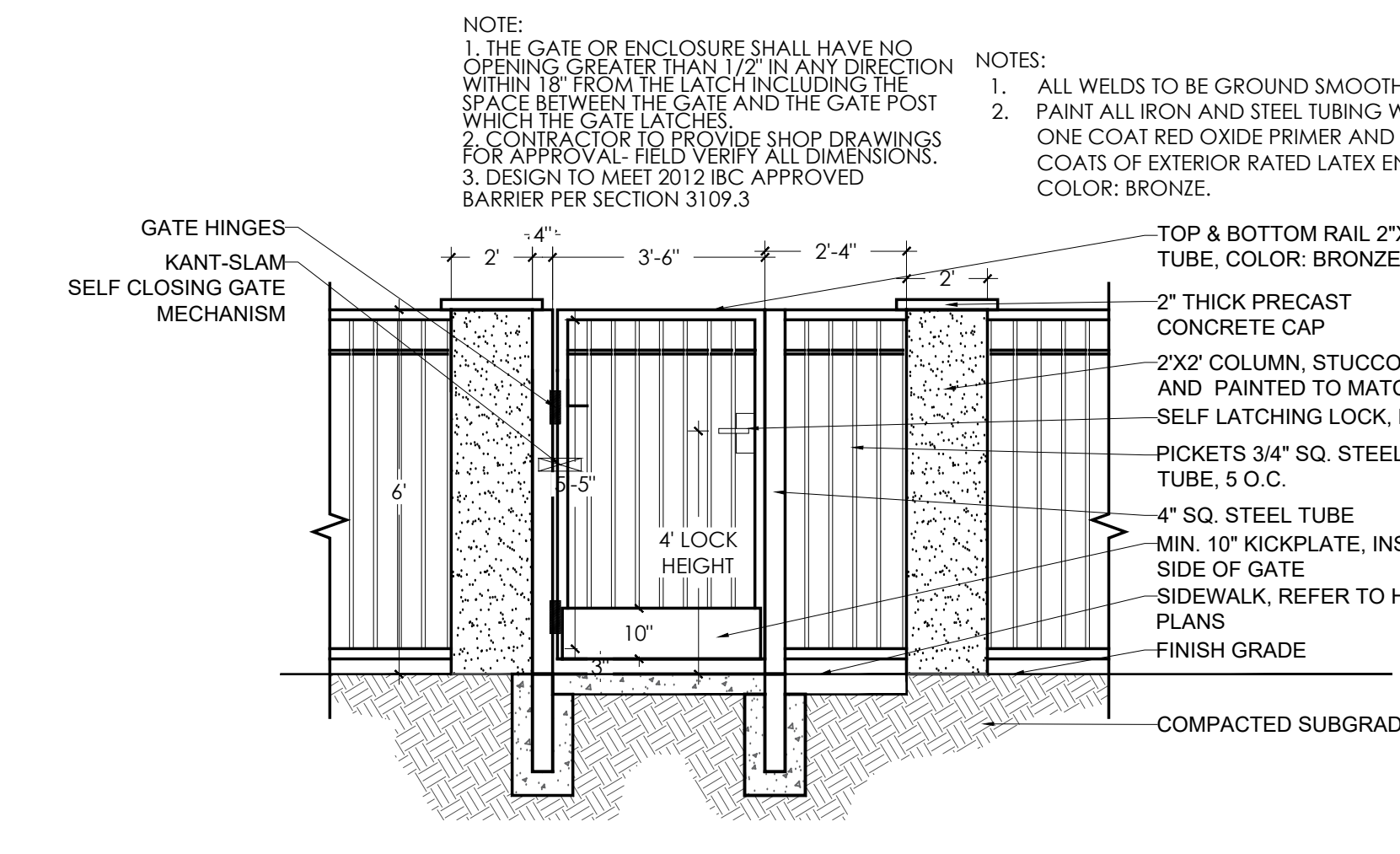
09 VEHICULAR GATE



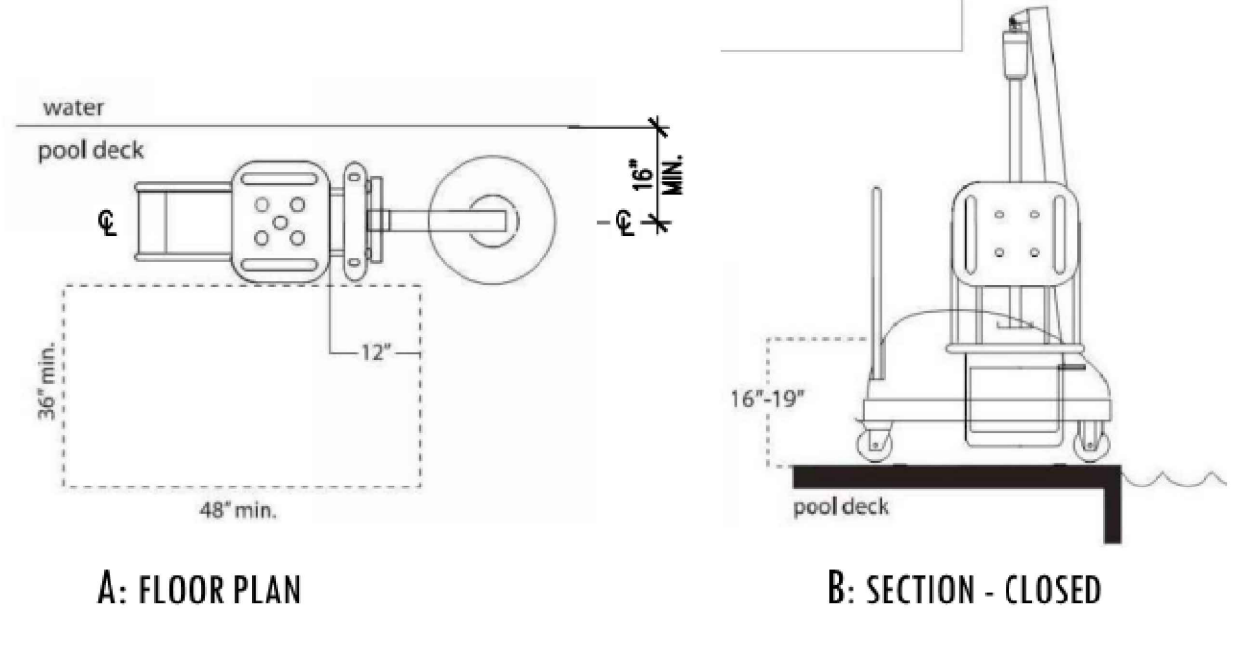
02 BICYCLE RACK
 SCALE: 1/2" = 1'-0"



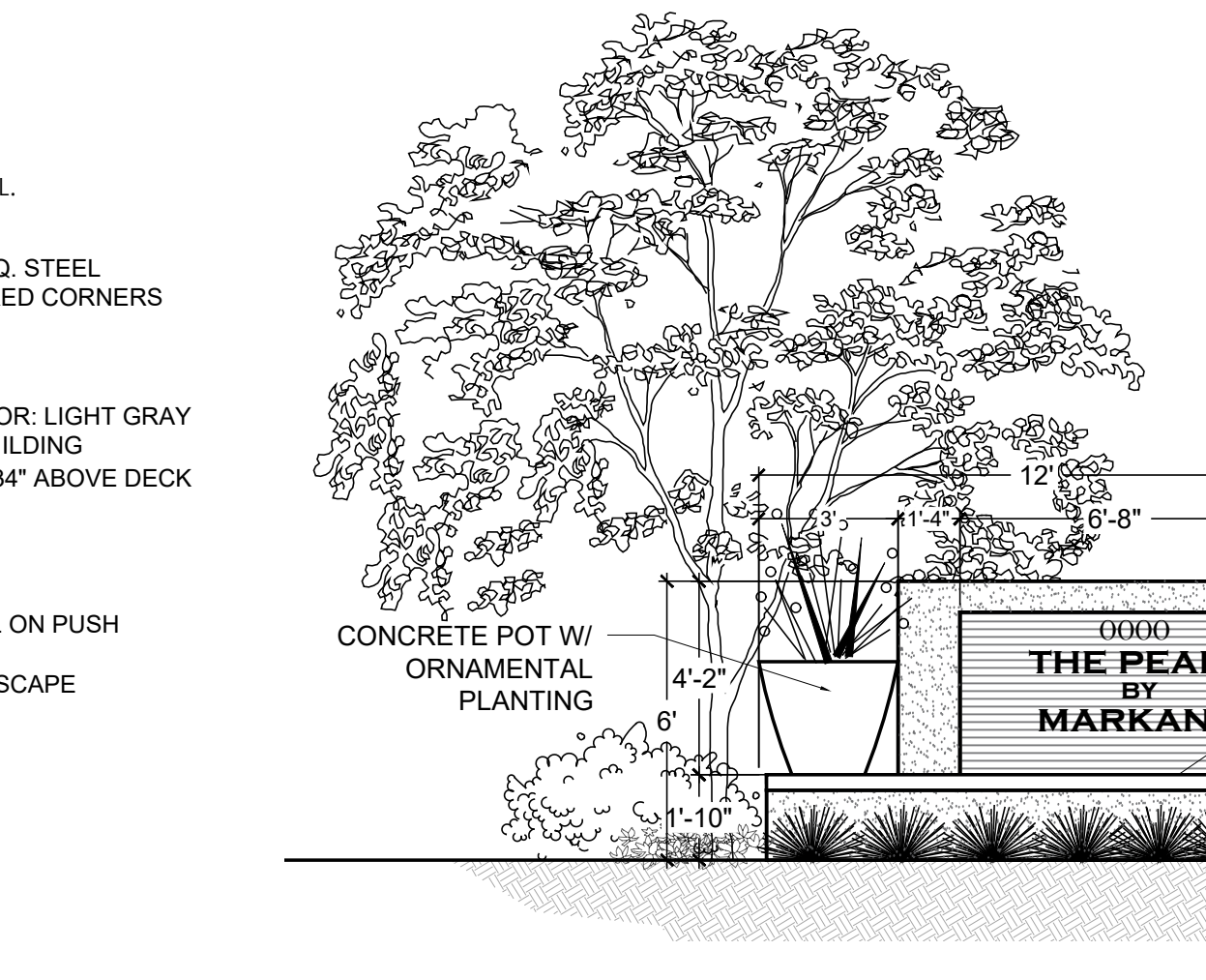
04 TUBE STEEL PERIMETER FENCE W/ PILASTERS
 SCALE: 1/2" = 1'-0"



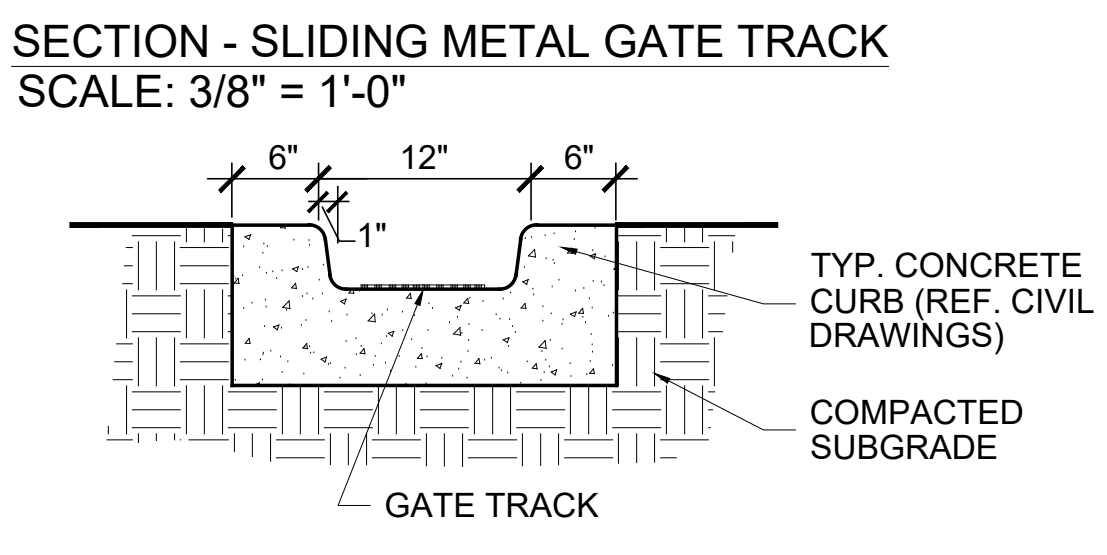
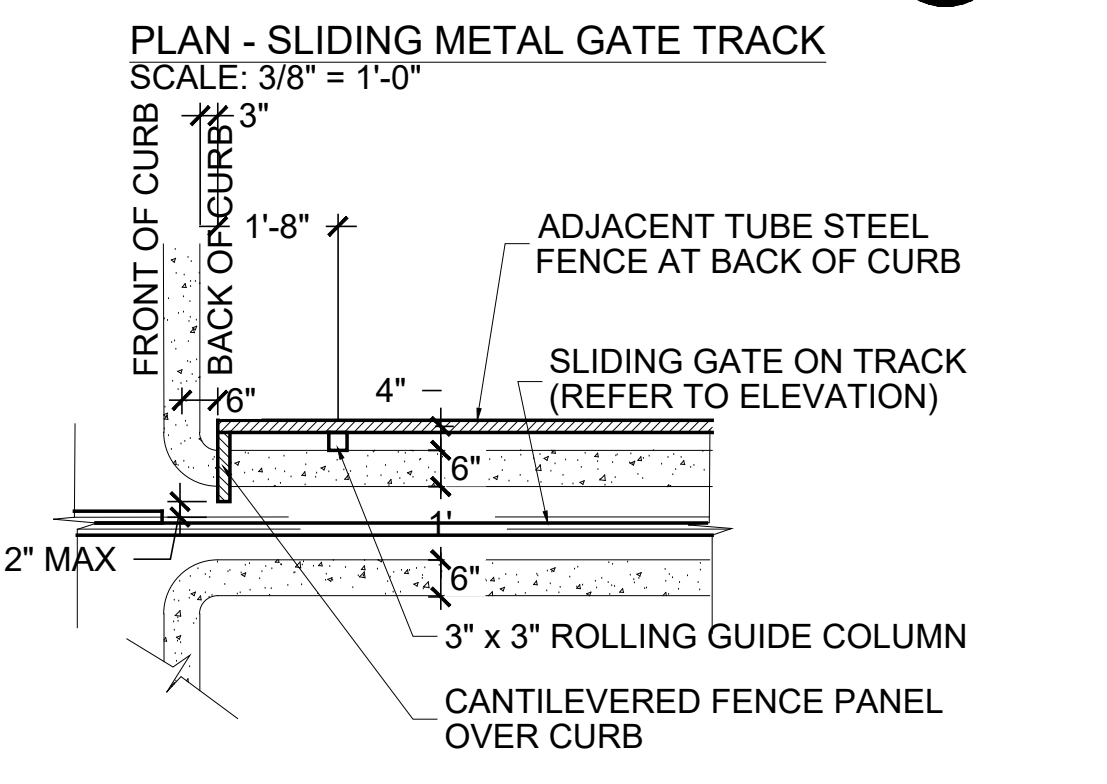
07 PEDESTRIAN GATE
 SCALE: 3/8" = 1'-0"



05 POOL ADA LIFT
 SCALE: 3/8" = 1'-0"



08 MONUMENT SIGN
 SCALE: 1/4" = 1'-0"



FILE: M:\0200\0201\MARKANA\PROJECT\03_01_DRAWINGS\03_01_DRAWINGS_03_SITE_DETAILS_017-2021-02-24.dwg LAYOUT: 03_02_24-03_Site_Details
 SCALE: 1/4" = 1'-0" DATE: 02-25-2021 10:30am
 USER: jrh@hpa.com XREFS: 2021_03_01_CDTBLK.dwg

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: April 9, 2021

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

The Peaks by Markana

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	Paving	New 330 LF Curb & gutter, asphalt, and sidewalk along property footage. South side only.	Modesto Avenue	Eastern property boundary	Approximately 330 LF west	/	/	/
<input type="text"/>	<input type="text"/>		Roadway widening and warning signing & striping as needed	Modesto Avenue and Glendale Avenue intersection			/	/	/
<input type="text"/>	<input type="text"/>	Water							
<input type="text"/>	<input type="text"/>	8" PVC	New 750 LF public water main	Private property within 20' public waterline easement	Southwest corner of the property	Northeast corner of Lot 8-A	/	/	/
<input type="text"/>	<input type="text"/>	8" PVC	Remove existing 720 LF public water main, stubs, and associated infrastructure	Private property within 20' public waterline easement	Southwest corner of the property	Northeast corner of Lot 8-A	/	/	/
<input type="text"/>	<input type="text"/>	Sewer							
<input type="text"/>	<input type="text"/>	8" PVC	New 330 LF public water main	Modesto Avenue	Eastern property boundary	Approximately 330 LF west	/	/	/
<input type="text"/>	<input type="text"/>	8" PVC	New 330 LF public sewer main	Modesto Avenue	Eastern property boundary	Approximately 330 LF west	/	/	/
<input type="text"/>	<input type="text"/>	Streetlighting							
<input type="text"/>	<input type="text"/>		Sewer service connection to public sewer main	Southwest corner of Lot 23-A			/	/	/
<input type="text"/>	<input type="text"/>		LED Streetlight, bullboxes, PNM connection, transformer, and wiring	West end of Modesto Avenue			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER


DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeremy Shell

NAME (print)

RESPEC

FIRM



SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

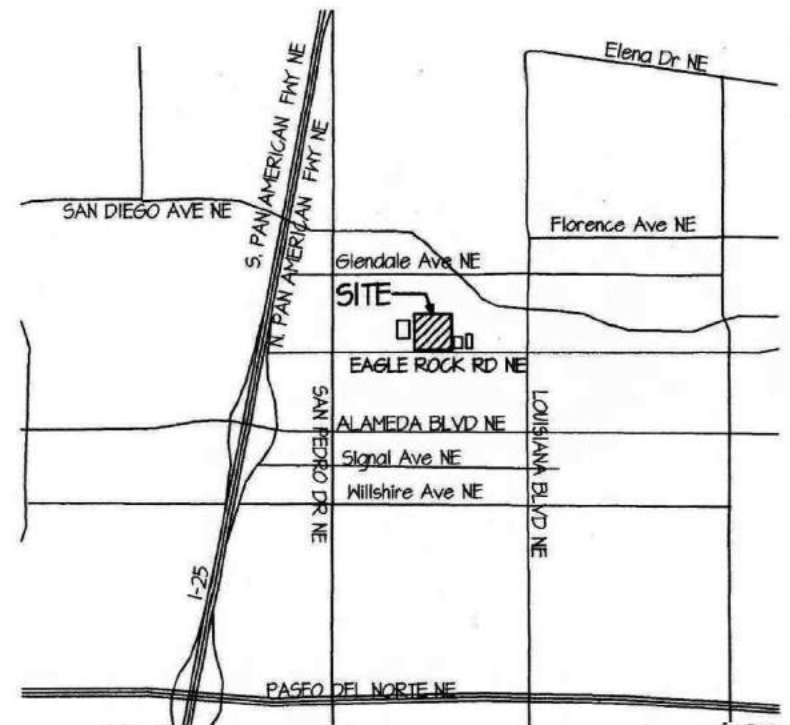
AMAFCA - date

CODE ENFORCEMENT - date

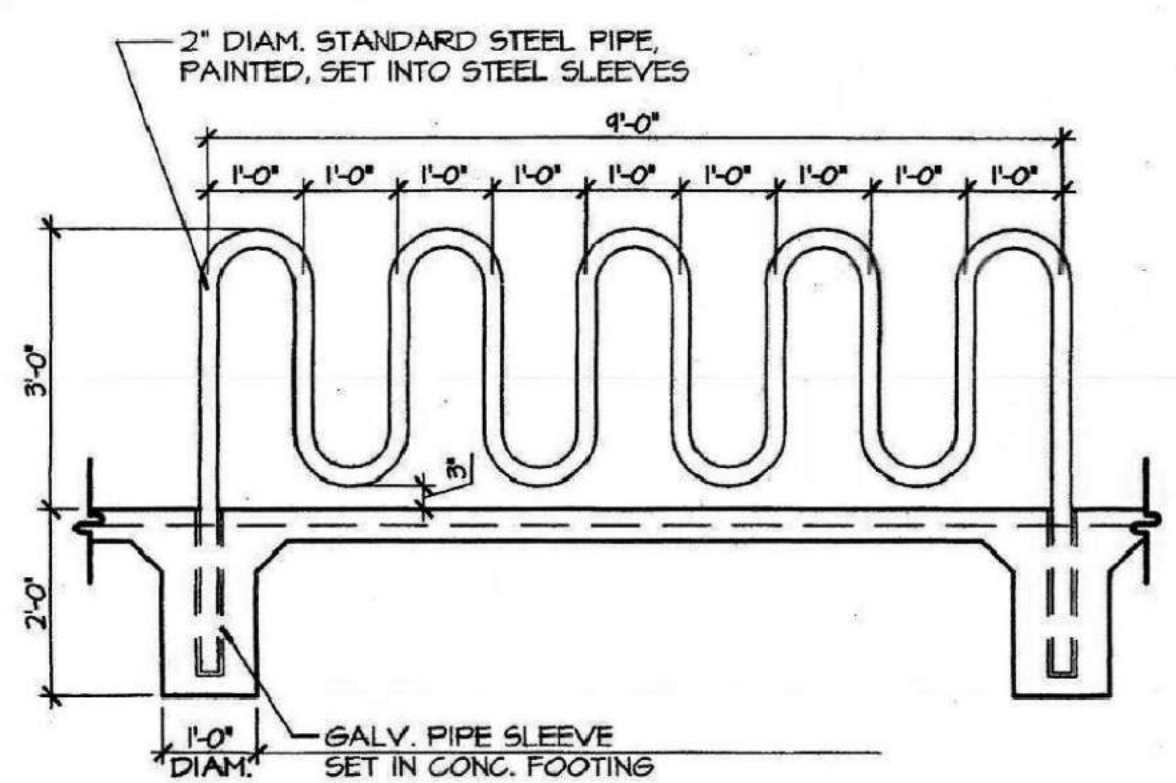
_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

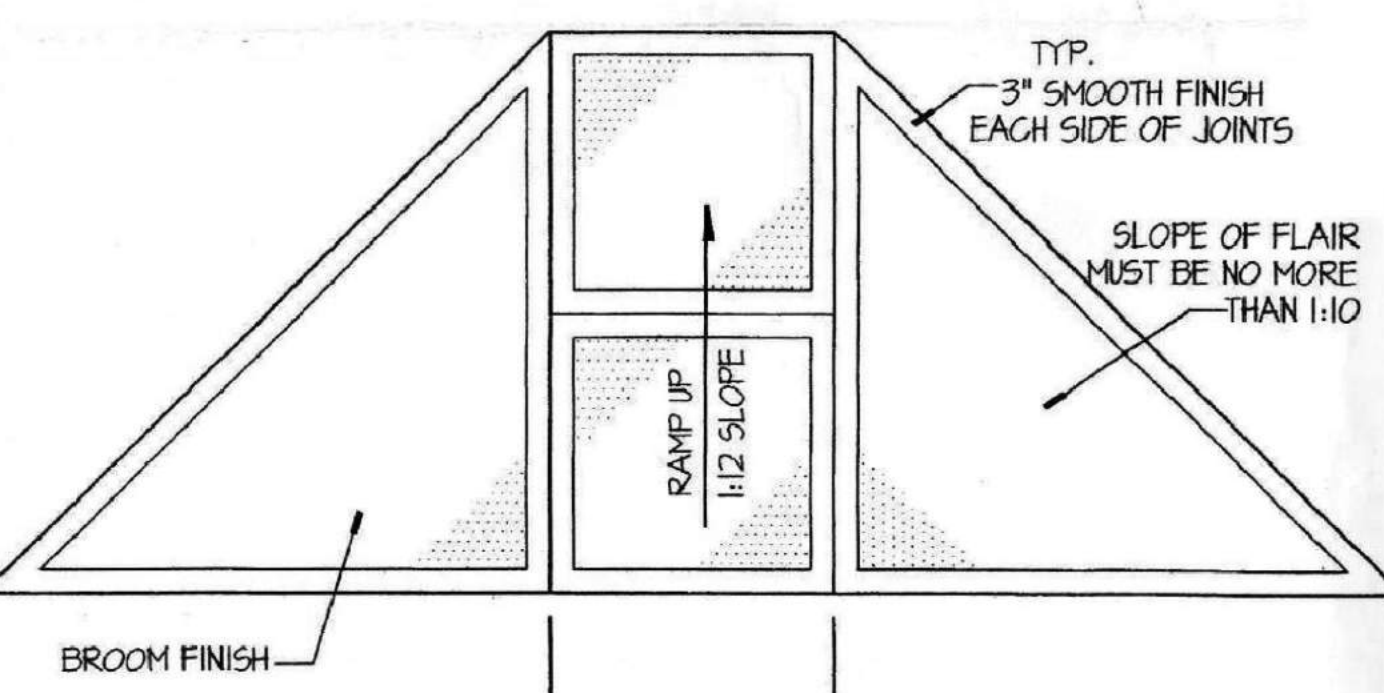
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



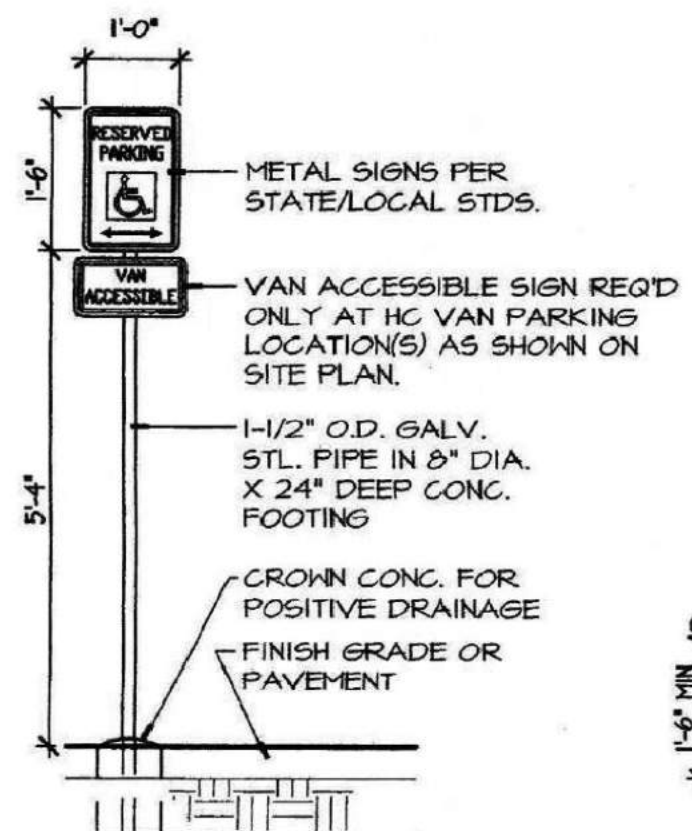
C1 VICINITY MAP
N.T.S.



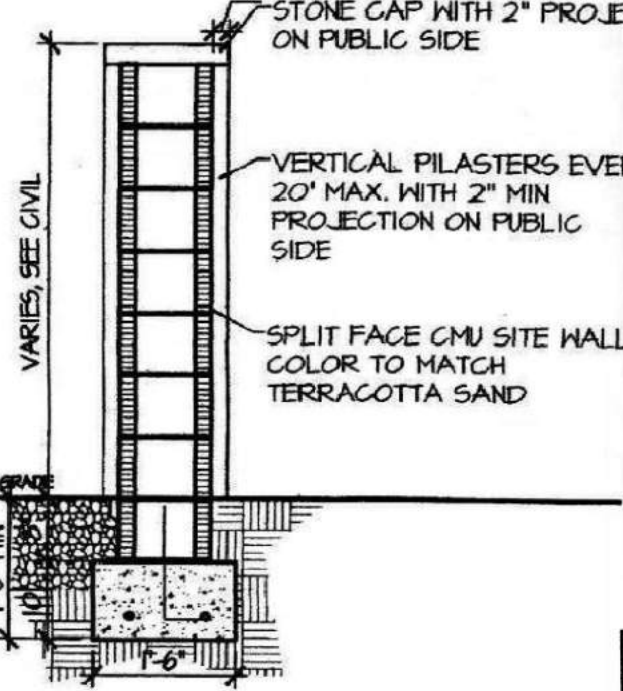
C1 BIKE RACK DETAIL
1/2"=1'-0"



B1 H.C. RAMP DETAIL
1/2"=1'-0"



A1 H.C. SIGN DETAIL
1/2"=1'-0"



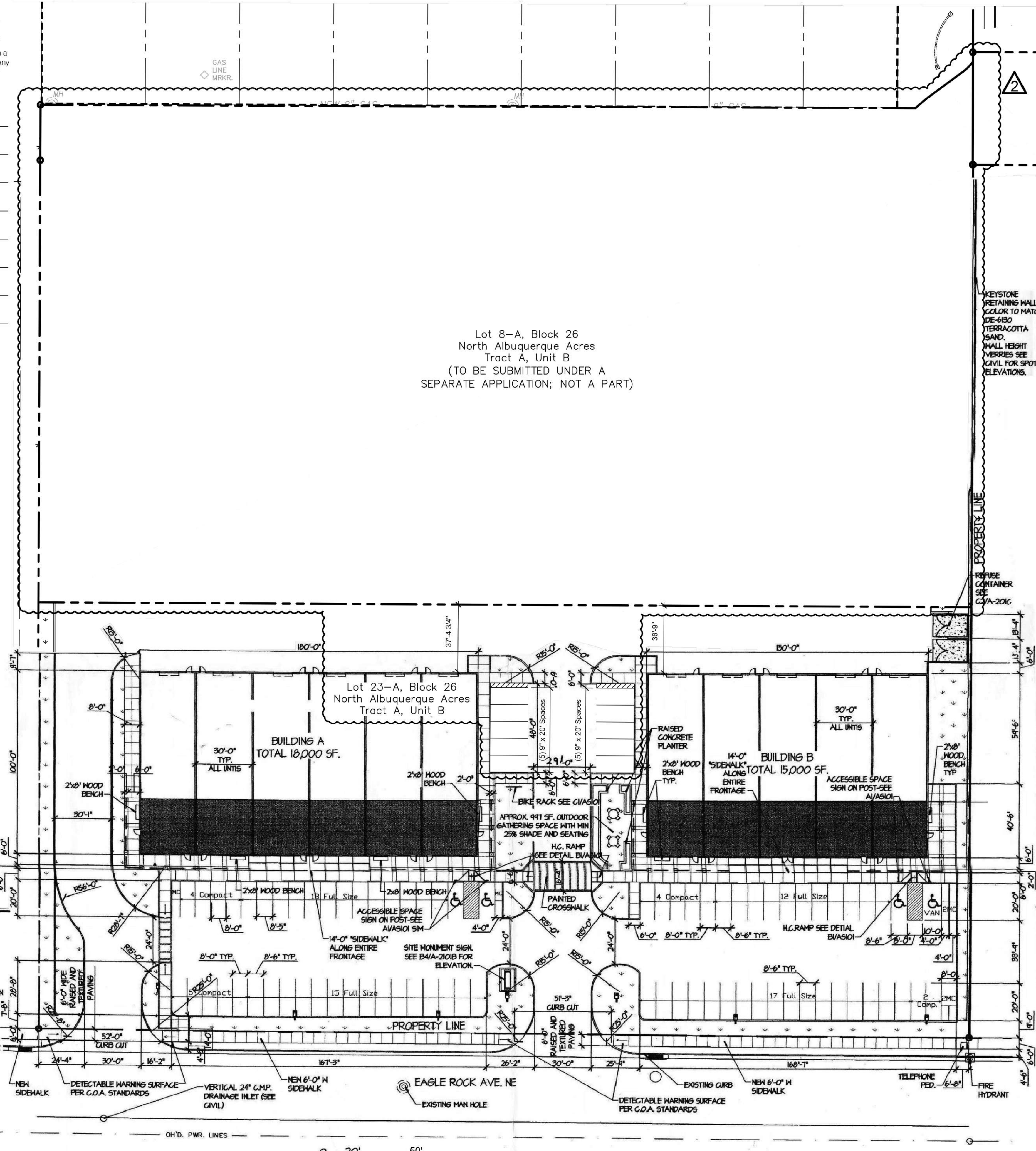
A2 SITE WALL DETAIL
1/2"=1'-0"

PROJECT NUMBER: _____
Application Number: _____

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

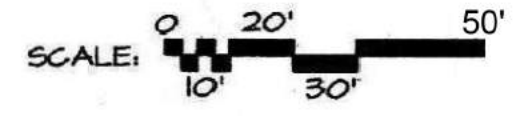
Traffic Engineering, Transportation Division	Date
ABCWIA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



Lot 8-A, Block 26
North Albuquerque Acres
Tract A, Unit B
(TO BE SUBMITTED UNDER A SEPARATE APPLICATION; NOT A PART)

ADMINISTRATIVE AMENDMENT
FILE #00282 PROJECT #002761
Increase Bldg C sf, landscape, buffer, parking adjustment, connect to Modesto Ave.
P. B. B. 10 Sept 2019
APPROVED BY _____ DATE _____

A4 DRB SITE PLAN



1"=30'

PROJECT NUMBER: 1003359
Application Number: 07DRB-70227

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:

<i>Richard D. ...</i>	9-19-07
<i>Robert ...</i>	7-19-07
<i>Christina Sandoval</i>	9/16/07
<i>Bradley B. Bingham</i>	9/19/07
<i>Angela ...</i>	9-25-07
<i>Michael ...</i>	9/19/07
<i>Blaine ...</i>	9/25/07

DRAWING INDEX

AS101	SITE PLAN FOR BUILDING PERMIT
L-1	LANDSCAPE PLAN
C-101	GRADING AND DRAINAGE PLAN
A-201A	BUILDING AND STRUCTURE ELEVATIONS A
A-201B	BUILDING AND STRUCTURE ELEVATIONS B
A-201C	BUILDING AND STRUCTURE ELEVATIONS C
C-102	SITE UTILITY PLAN

SITE / BUILDING INFORMATION

LOTS 6-10 AND 23-25 BLOCK 26, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

ZONE- SU-2 IP (INDUSTRIAL PARK)

SITE AREA = 6 ACRES

CONSTRUCTION TYPE = 2B

PARKING CALCULATIONS

BUILDINGS A&B TOTAL 11 UNITS

BUILDINGS A&B UNIT SIZE = 3,000 SF.

BUILDINGS A&B UNIT WAREHOUSE SIZE = 2,082 SF.

BUILDINGS A&B UNIT OFFICE SIZE = 918 SF.

GROSS LEASABLE AREA OFFICE SPACE = 10,098 SF.

GROSS LEASABLE AREA WAREHOUSE SPACE = 22,902 SF.

NET LEASABLE AREA = 33,000 SF.

OFFICE SPACE PARKING: 3.5 SPACES / 1,000 SF GFA = 35 SPACES REQUIRED

WAREHOUSE PARKING: NO REQUIREMENT = 0 SPACES REQUIRED

TOTAL PARKING REQUIRED: = 35 SPACES REQUIRED

TOTAL PARKING PROVIDED: = 91 SPACES PROVIDED

OFF-STREET SPACES PROVIDED = 91

COMPACT SPACES PROVIDED = 15 (16%)

NOTE: ALL COMPACT SPACES TO BE DESIGNATED WITH PAINT ON THE PAVEMENT.

HC SPACE REQUIRED = 4

HC SPACE PROVIDED = 4

MOTORCYCLE SPACES REQUIRED = 5

MOTORCYCLE SPACES PROVIDED = 6

BIKE SPACE REQUIRED = 9 (# OF BIKES)

BIKE SPACE PROVIDED = 10 (1 RACK WITH 10 BIKE CAPACITY)

CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LEGEND

- NEW CONCRETE PER CIVIL
- ASPHALT
- LANDSCAPED AREA
- FULL CUT-OFF LIGHT POLE 15'-0" HIGH WITH 250 WATT METAL HALIDE BULB TYP.
- PROPOSED OFFICE AREA

ISSUE: BUILDING PERMIT SET

DRAWN: DMK

CHECKED: KC

DATE: 08.08.07

REVISIONS

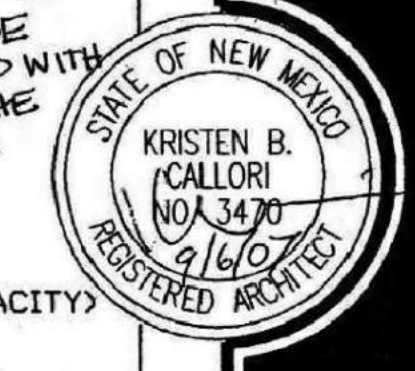
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

0720
AS101
or XX



EDI NYN VNC IARMOINCS ENTAL
142 TRUMAN STREET NE
ALBUQUERQUE, NM 87108
TEL: 505.242.2861 FAX: 505.242.2862

EAGLE ROCK BUSINESS CENTER
6401 EAGLE ROCK AVE NW
ALBUQUERQUE, NM, 87113



1003359

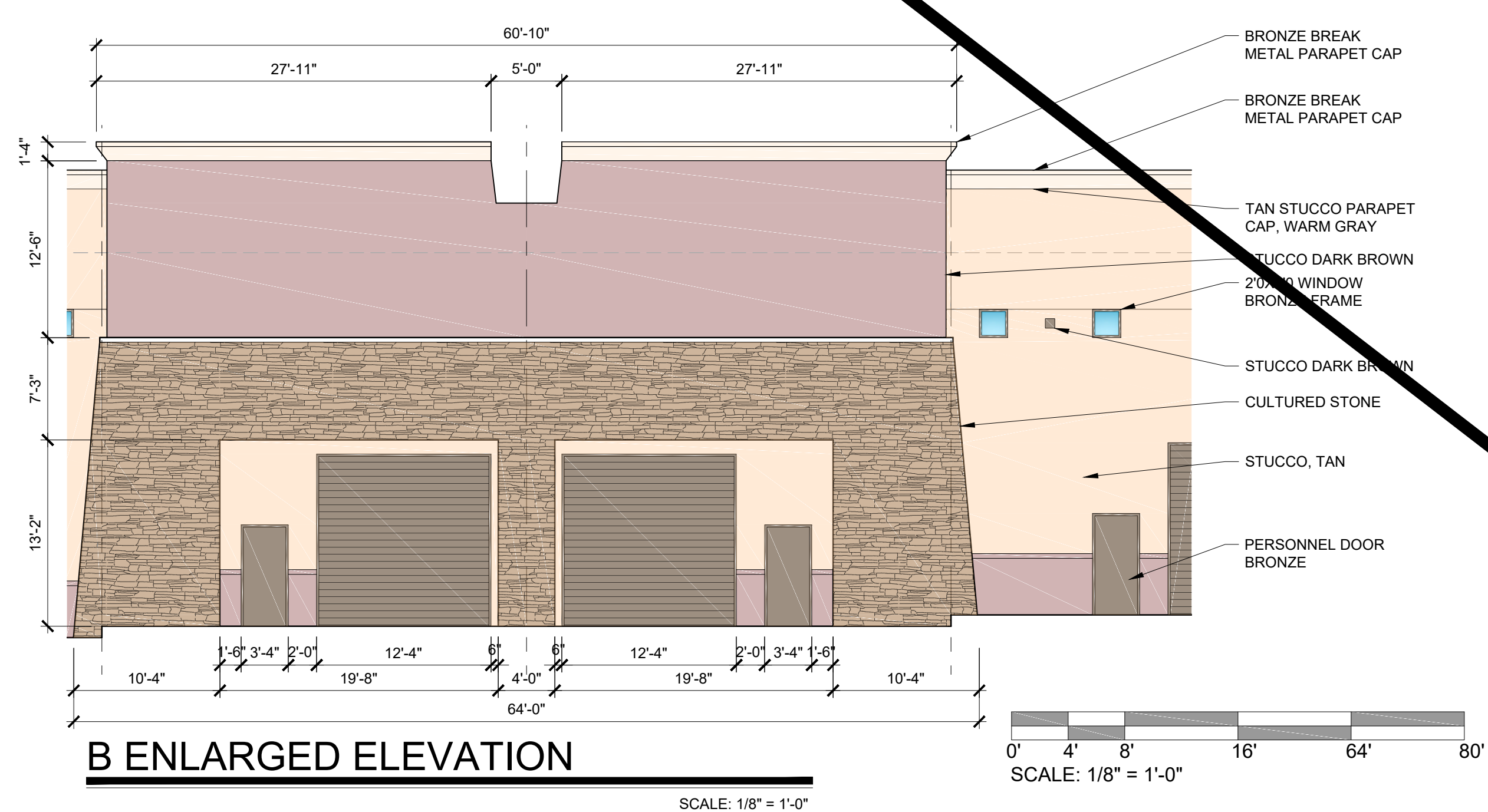
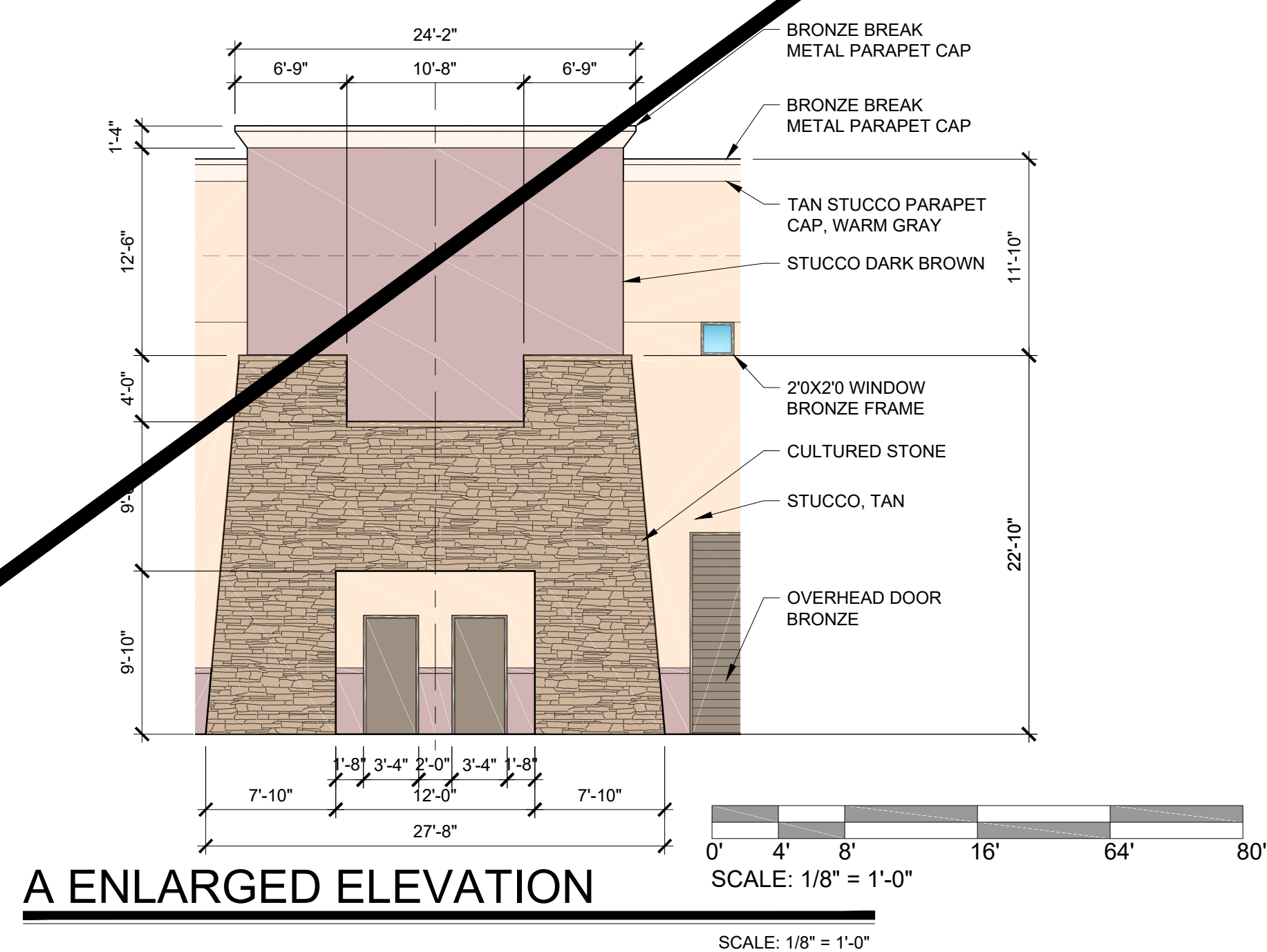
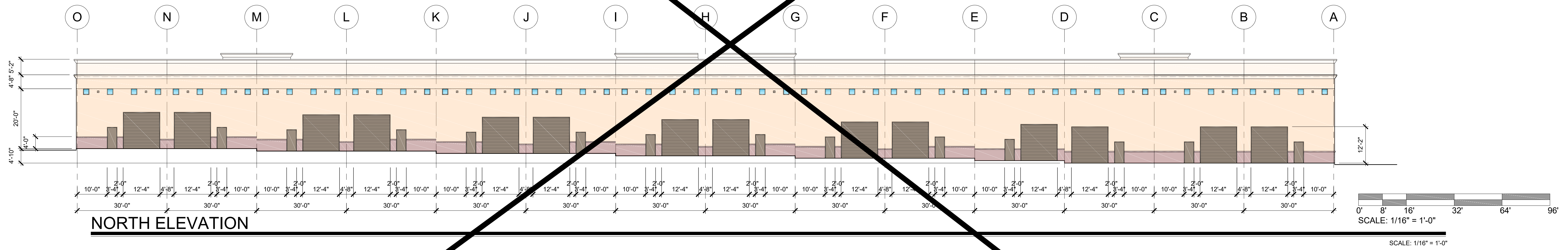
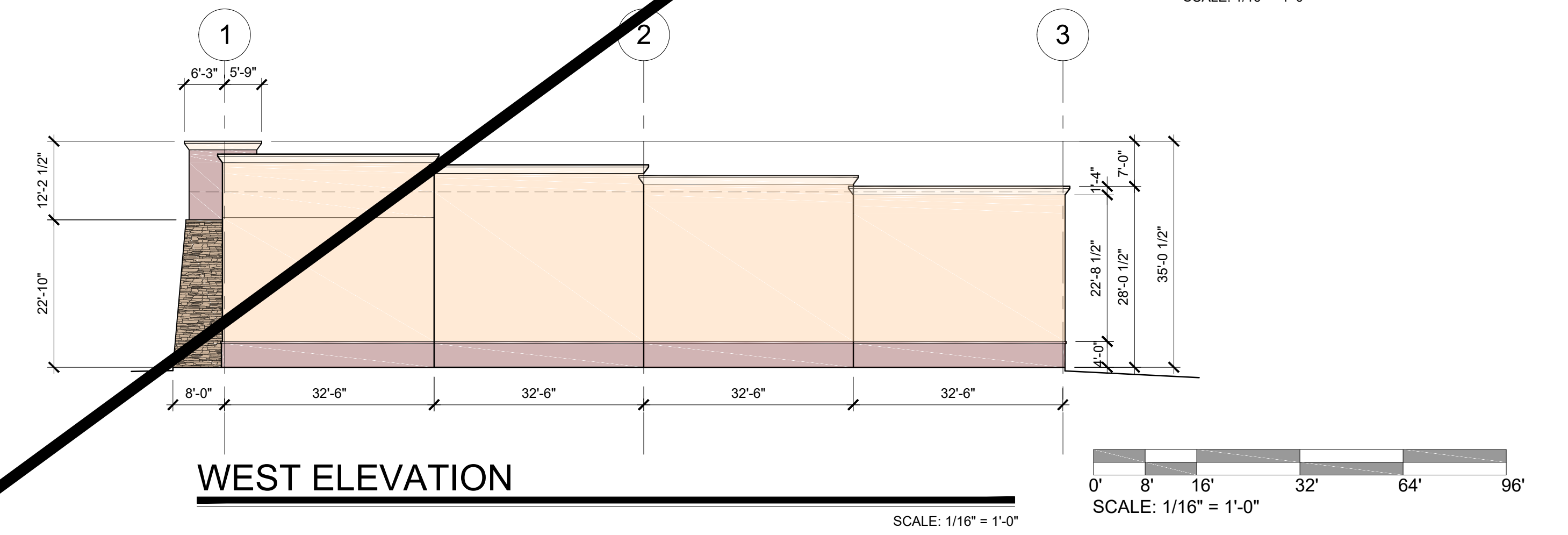
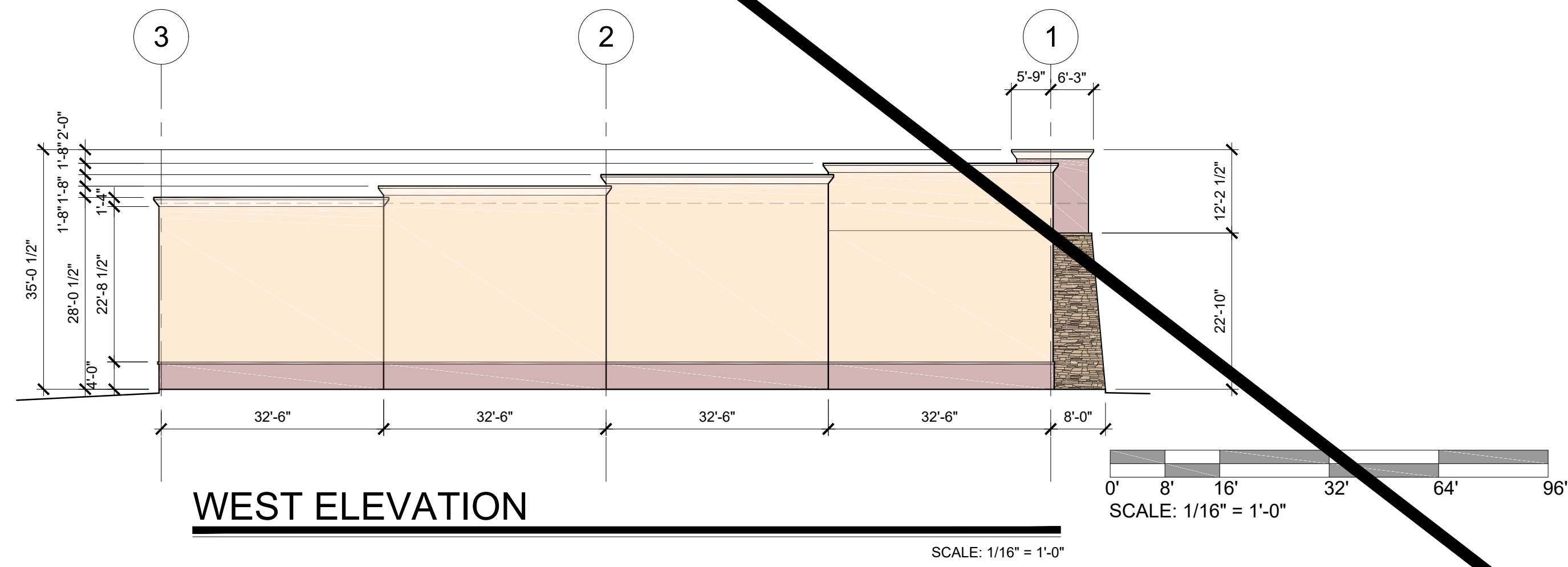
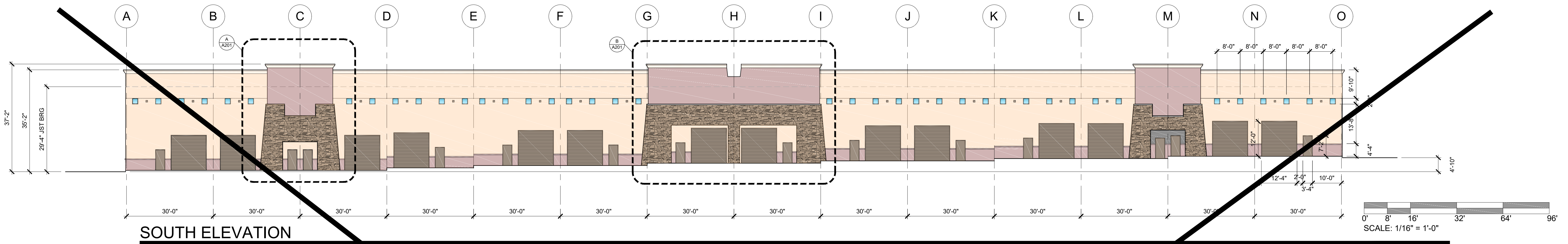
These drawings shall not be reproduced without the written permission and consent of EDI.

The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public. Recommendation made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.

Angela ... 9-25-07
Albuquerque Environmental Health Department

Administrative Amendment (8/16/2019): Warehouse Building C square footage increased by 4,680 square feet; parking spaces have decreased by 14 spaces; a drive connection has been made to Modesto Avenue in the north east corner of the property, and the landscape buffer along the north edge of the property has been updated.

Amendment (2/26/2021): Lot 8-A removed from Site Plan. Lot 8-A to be submitted under a separate application with the two adjacent lots to the east.



Administrative Amendment (8/15/2019): Revised Building C Facade.
 Amendment (2/26/2021): Remove Sheet A-201D.

SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS
 4419 4th St NW STE 8
 ALBUQUERQUE, NM 87107
 505.491.7575

EAGLE ROCK BUSINESS CENTER
 6501 EAGLE ROCK AVE NE
 ALBUQUERQUE NM, 87113

BUILDING C ELEVATIONS

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-201D
DATE	8/15/19