

SITE PLAN DOCUMENTATION

1 - DFT Application



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

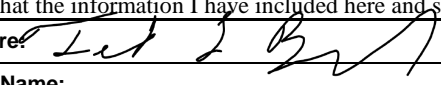
APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

2 - Form P2

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022 **SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- 4) Zone Atlas map with the entire site clearly outlined and labeled
- 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- n/a 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- 7) Infrastructure List, if required for building of public infrastructure
- 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- n/a 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- 10) Completed Site Plan Checklist
- 11) Letter of authorization from the property owner if application is submitted by an agent
- 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- n/a 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- n/a 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

n/a 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

n/a 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

X 17) Sign Posting Agreement

n/a 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

If a meeting was requested or held, copy of sign-in sheet and meeting notes

n/a 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

Office of Neighborhood Coordination notice inquiry response

Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

Proof of emailed notice to affected Neighborhood Association representatives

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

3 - Form SP

Legal Description & Location: Lot 8-A Block 8 Lands of Cosme and Leticia Jauquez - 9101 Central Ave NW

Request Description:

Hydrology:

- Sensitive Lands Analysis (5-2(C))
Grading and Drainage Plan
AMAFCA
Bernalillo County
NMDOT
MRGCD

Signature: Renee C. Brissette
Hydrology Department

Approved/NA status for each item and date: 05/29/24

Transportation:

- Traffic Circulations Layout (TCL)
Traffic Impact Study (TIS)
Neighborhood Impact Analysis (NIA)
Bernalillo County
MRCOG
NMDOT
MRGCD

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted?
Availability Statement/Serviceability Letter Number
Note: Commitment for service is required prior to application approval.

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA*)
Solid Waste Department Signature on the Plan
Fire Marshall Signature on the Plan

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Lot 8-A Block 8 Lands of Cosme and Leticia Jauquez - 9101 Central Ave NW

Request Description:

Hydrology:

- Sensitive Lands Analysis (5-2(C))
Grading and Drainage Plan
AMAFCA
Bernalillo County
NMDOT
MRGCD

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL)
Traffic Impact Study (TIS)
Neighborhood Impact Analysis (NIA)
Bernalillo County
MRCOG
NMDOT
MRGCD

Ernest Arroyo

Transportation Department

5/29/2024

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted?
Availability Statement/Serviceability Letter Number
Note: Commitment for service is required prior to application approval.

[Signature]

ABCWUA

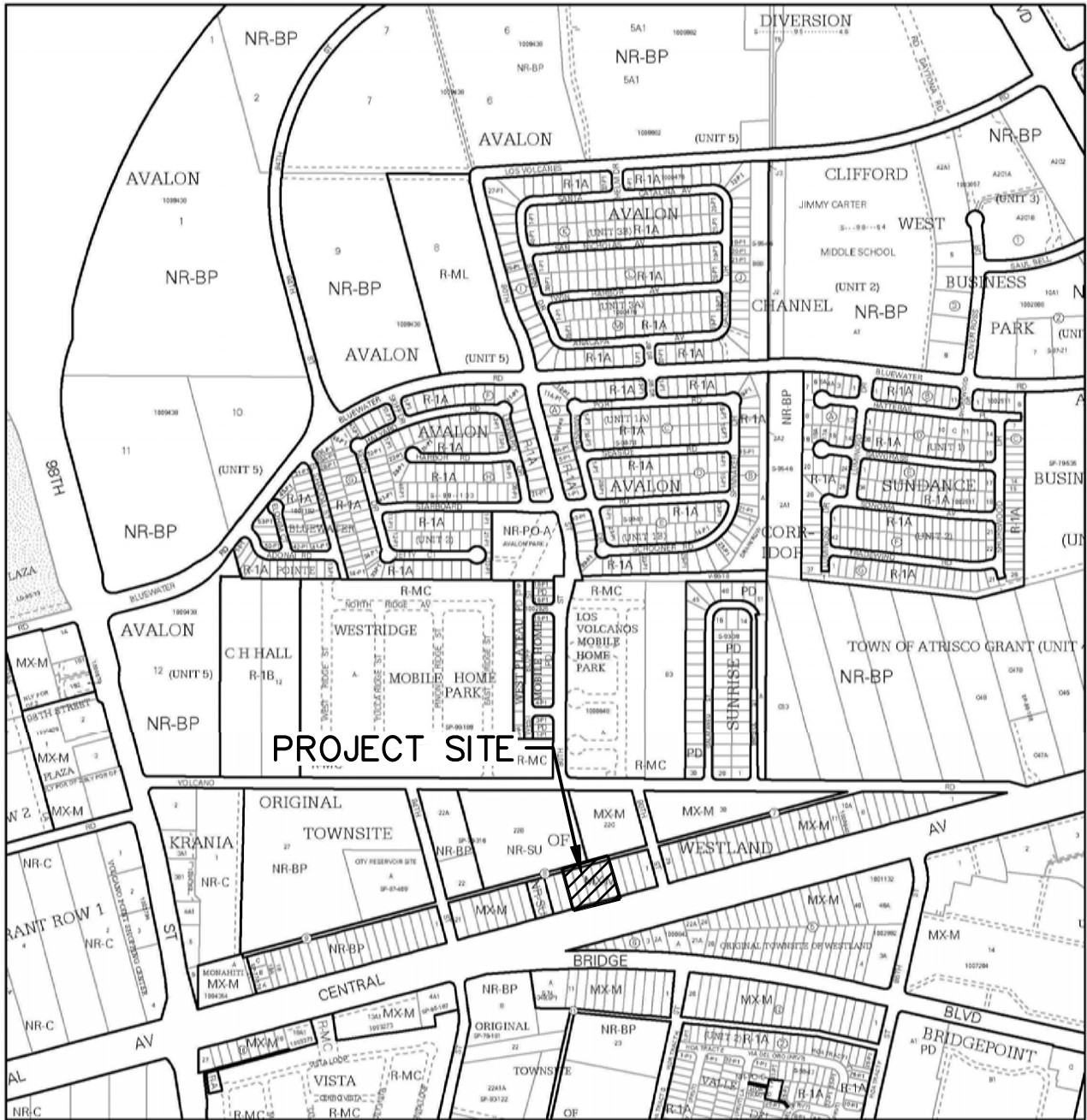
6/11/2024

Date

- Infrastructure Improvements Agreement (IIA*)
Solid Waste Department Signature on the Plan
Fire Marshall Signature on the Plan

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

4 - Zone Atlas map



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-09-Z

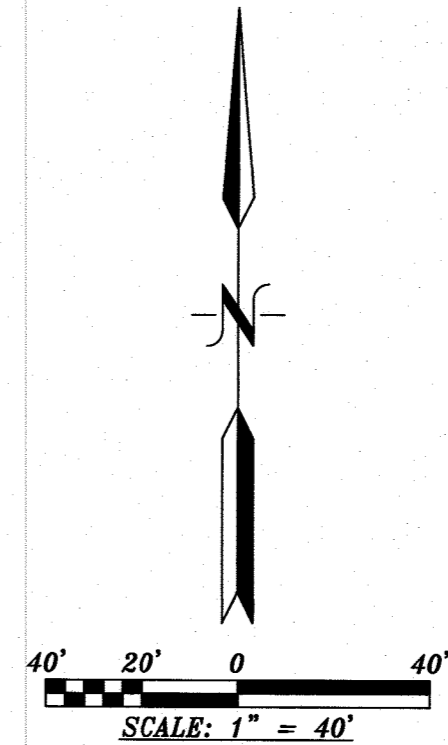
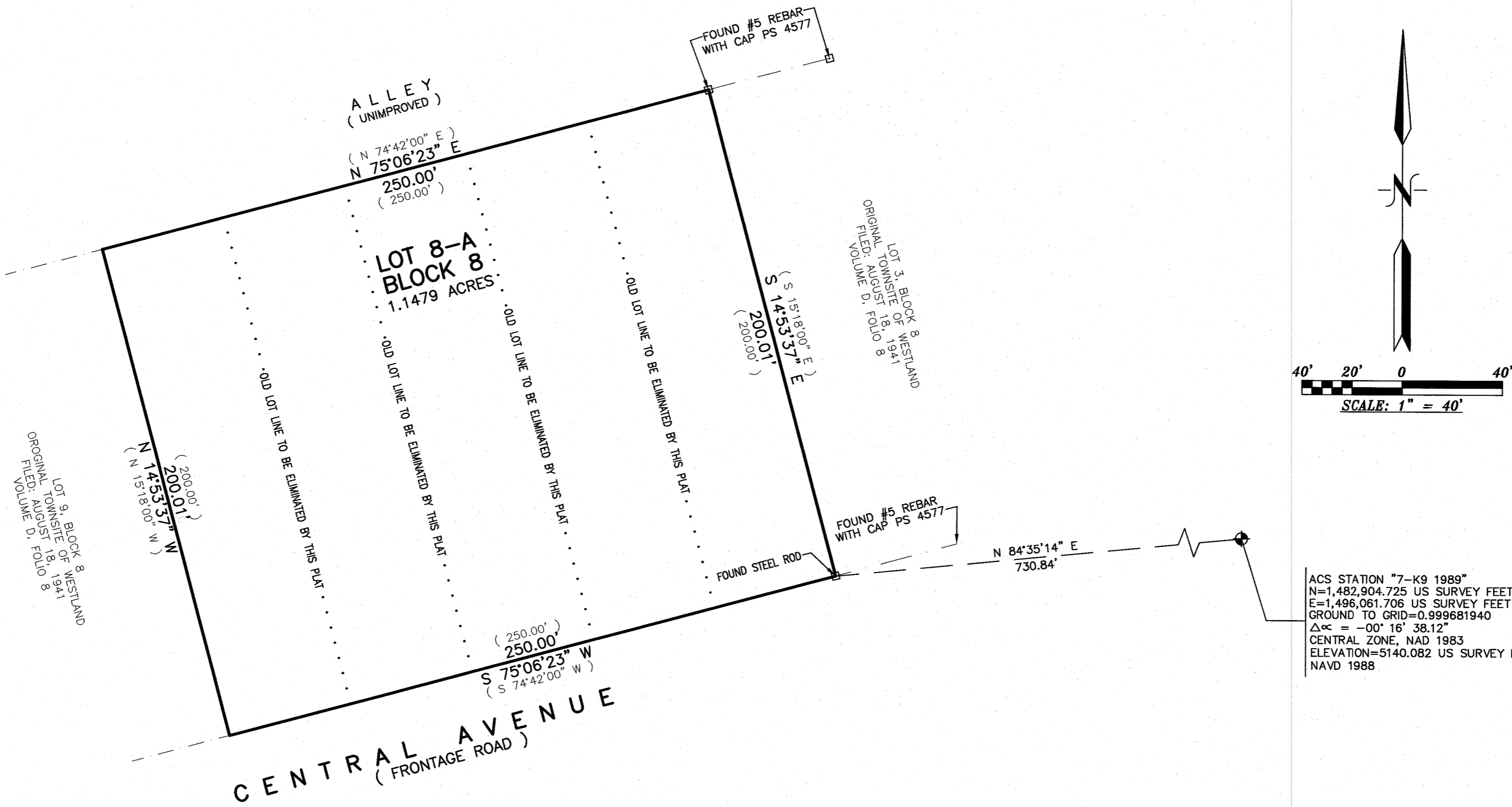
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

5 - Site Plan

PLAT OF
LOTS 4 THROUGH 8
BLOCK 8
LANDS OF COSME. Y LETICIA JAQUEZ
 WITHIN
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY 2020



HYDROLOGY NOTE:

BY THE RECORDING OF THIS PLAT, A CROSS LOT DRAINAGE EASEMENT IS GRANTED TO BENEFIT LOT 9, BLOCK 8, ORIGINAL TOWNSITE OF WESTLAND AND IS TO BE MAINTAINED BY SAID LOT.

ABCWA NOTE:

- 1: EXISTING SANITARY SEWER INFRASTRUCTURE MAY NOT BE CONSTRUCTED OR SIZED TO ADEQUATELY SERVE POTENTIAL FUTURE DEVELOPMENT. IMPROVEMENT OR UPSIZING OF EXISTING PUBLIC INFRASTRUCTURE MAY BE REQUIRED AS A CONDITION OF FUTURE DEVELOPMENT APPROVAL.
- 2: THE INSTALLATION OF PUBLIC WATERLINE MAY BE REQUIRED AS A CONDITION OF FUTURE DEVELOPMENT APPROVAL, ONCE THE WATER SERVICE, AND FIRE PROTECTION REQUIREMENTS OF ANY DEVELOPMENT IS KNOWN.

TRANSPORTATION DEVELOPMENT NOTE:

THE INSTALLATION OF PUBLIC CURB, GUTTER AND SIDEWALKS AND ANY PAVED ALLEYWAY IMPROVEMENTS MAY BE REQUIRED AS A CONDITION OF FUTURE DEVELOPMENT APPROVAL, ONCE THE CURB, GUTTER AND SIDEWALK REQUIREMENTS OF ANY FUTURE DEVELOPMENT IS KNOWN. LAND USE WILL BE USED AS A DETERMINATION FOR MAKING DECISIONS ON INFRASTRUCTURE NEEDS.

6 - Approved Site Plan



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____

This is a TCL resubmittal at the request of Zoning. The parking calculations changed and an additional HC parking stall was added.

7 - Infrastructure List

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Daycare & Event Center 9101 Central Ave NW
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOT 8-A BLOCK 8 LANDS OF COSME AND LETICIA JAQUEZ
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
DRC # <input type="text"/>	DRC # <input type="text"/>	C&G, SW 196'	8" PCC CURB & GUTTER, 6' PCC SIDEWALK, MINOR PAVING, DRIVE PAD, SIDEWALK CULVERT, RIPRAP @ 250' PROJECT FRONTAGE ONLY	CENTRAL AVE FRONTAGE RD	SW PROP CORNER	SE PROP CORNER	/	/	/
<input type="text"/>	<input type="text"/>		PUBLIC WATERLINE IMPROVEMENTS WATER SERVICE	CENTRAL AVE FRONTAGE RD			/	/	/
<input type="text"/>	<input type="text"/>		PUBLIC SEWER IMPROVEMENTS SEWER SERVICE	CENTRAL AVE FRONTAGE RD			/	/	/
<input type="text"/>	<input type="text"/>		ROCK MULCH		SW PROP CORNER	SE PROP CORNER	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____


AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

TED L BARBER
NAME (print)

NAME (print)
FIRM

INCLINE ENGINEERING
SIGNATURE - date


6/12/24

_____ DRB CHAIR - date

_____ PARKS & RECREATION - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ AMAFCA - date

_____ UTILITY DEVELOPMENT - date

_____ CODE ENFORCEMENT - date

_____ CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

8 - Sensitive Lands Site Analysis

June 18, 2024

Attn: COA DRB

Re: **Daycare & Event Center 9101 Central Ave NW**

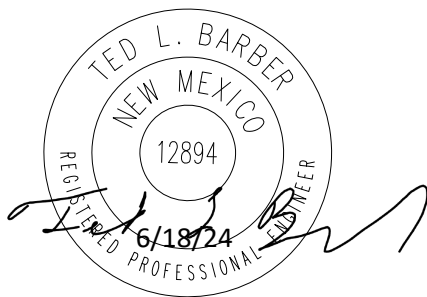
SENSITIVE LANDS ANALYSIS

The following letter describes sensitive lands (ref. §14-16-5-2 of the IDO). This analysis was conducted and signed by myself as a professional civil engineer. Inspection video available upon request.

FEATURE	MAP LOCATION	PHOTOS	DIMENSIONS	OTHER DETAILS
Floodplains and flood hazard areas				Feature does not exist on site
Steep slopes				Feature does not exist on site
Unstable soils				Feature does not exist on site
Wetlands (constant supply of water)				Feature does not exist on site
Arroyos				Feature does not exist on site
Irrigation facilities (acequias)				Feature does not exist on site
Escarpment				Feature does not exist on site
Rock outcroppings				Feature does not exist on site
Large stands of mature trees				Feature does not exist on site
Archeological sites				Feature does not exist on site, site is less than 5 acre

Conclusion: No sensitive lands exist on this site located at 9101 Central Ave NW.

Ted L. Barber



SUPPORTIVE DOCUMENTATION


10 - Completed Site Plan Checklist

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ___ 1. Date of drawing and/or last revision
- ___ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- ___ 2. Location and dimension of drive aisle crossings, including paving treatment
- ___ 3. Location and description of amenities, including patios, benches, tables, etc.

- ___ E. Off-Street Loading
 - ___ 1. Location and dimensions of all off-street loading areas

- ___ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ___ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ___ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ___ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ___ A. Locate and identify adjacent public and private streets and alleys.
 - ___ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ___ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ___ 3. Location of traffic signs and signals related to the functioning of the proposal
 - ___ 4. Identify existing and proposed medians and median cuts
 - ___ 5. Sidewalk widths and locations, existing and proposed
 - ___ 6. Location of street lights
 - ___ 7. Show and dimension clear sight triangle at each site access point
 - ___ 8. Show location of all existing driveways fronting and near the subject site.

- ___ B. Identify Alternate transportation facilities within site or adjacent to site
 - ___ 1. Bikeways and bike-related facilities
 - ___ 2. Pedestrian trails and linkages
 - ___ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- ___ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- ___ 1. Scale - must be same as scale on sheet #1 - Site plan
- ___ 2. Bar Scale
- ___ 3. North Arrow
- ___ 4. Property Lines
- ___ 5. Existing and proposed easements
- ___ 6. Identify nature of ground cover materials
 - ___ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ___ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ___ C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

11 – Letter of Authorization

To Whom it may concern:

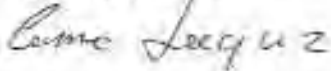
May 10, 2024

Please find this letter as authorization for Ted L. Barber, PE, of Incline Engineering, to act on behalf of ourselves, Cosme Jaquez and Leticia Jaquez, to obtain approval of the City of Albuquerque Development Facilitation Team (DFT) application and related documents for 9101 Central Ave NW - Daycare & Event Center 9101 Central Ave NW commercial development.

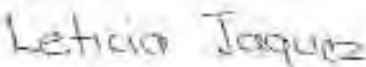
Thank you,

Respectfully,

Cosme Jaquez



Leticia Jaquez



12 – Justification Letter – IDO Section 16-6-5(5)(3)

July 22, 2024

Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: 9101 Central Ave NW, Site Development Plan for Building Permit

Dear Chairperson Wolfley:

Ted Barber, agent for Cosme Jaquez requests approval of a Major Amendment to Site Plan DFT for the above referenced site.

Site location and history

The project site is located on the north side of a frontage road to Central Ave between 90th St and 94th St. The site is bordered on the north by the undeveloped land. All adjoining properties are zoned NR-BP. This site is vacant land and has had no development in the past.

Site Orientation and Pedestrian Circulation

The front of the building faces Central Ave. Pedestrian accessibility will be available to all adjacent public streets. Vehicular access to the site will be from the frontage road south of the site.

Traffic Impact and On-Site Parking

The proposed site plan meets the parking required for the proposed structure by combining the existing on-site parking with existing leased parking to the south. Handicap parking and motorcycle parking are provided in accordance with the IDO requirements.

Drainage and Landscaping

The existing topography is relatively flat and no significant new drainage is required as part of this project. This project will provide curb, gutter and sidewalk to an otherwise undeveloped street frontage.

Only native grasses and small native bushes exist on site. The plan is land scape the proposed building site with various trees and rock mulch.

Elevations

The proposed building elevations are to have a stucco finish. The maximum height of the proposed structure is 26'.

Neighborhood Meeting

An invitation to the meeting sent in 2022 and one invitee declined the meeting via email. There were no attendees other than the Agent/Project Architect at the proposed 2022 meeting. See the attached public notice posting.

Also, the Office of Neighborhood Coordination indicated in a May 24, 2024 email that "there are **NO** neighborhood associations to notify".

Summary

We are requesting approval of the proposed Major Amendment to Site Plan DRB. The proposed project furthers numerous policies of applicable plans and provides for an increase in services and employment opportunities for area residents. The proposed changes comply with the IDO if it were applied to this site. The proposed plan amendment promotes the efficient use of public facilities by providing services within the city's core and does not require expansion of public utilities and infrastructure. The plan amendment promotes health, safety and general welfare by redeveloping a structure that was vacant for years into a vibrant community space that promotes the arts.

If you have any questions or need additional information regarding this project, please do not hesitate to contact me.

Respectfully,

A handwritten signature in black ink, appearing to read "Ted L. Barber". The signature is fluid and cursive, with a large, sweeping flourish at the end.

Ted L. Barber, PE
505-577-6747

PUBLIC NOTICE DOCUMENTATION

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

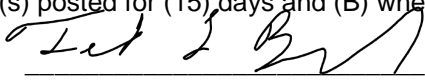
4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



Ted L. Barber (Applicant or Agent)

8/13/24

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

FW: 9101 Central Ave NW_Public Notice Inquiry Sheet Submission

Office of Neighborhood Coordination <onc@cabq.gov>

Tue 8/13/2024 12:07 PM

To:'inclineengineering@gmail.com' <inclineengineering@gmail.com>

Dear Applicant:

As of August 13, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: Ted Barber <inclineengineering@gmail.com>

Sent: Tuesday, August 13, 2024 11:56 AM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Re: 9101 Central Ave NW_Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Suzie,

I need this updated since it has been a long time since you checked on this for me. Please see the email below.

Ted L. Barber
505-577-6747

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Wednesday, May 22, 2024 4:32 PM
To: inclineengineering@gmail.com <inclineengineering@gmail.com>
Subject: 9101 Central Ave NW_Public Notice Inquiry Sheet Submission

Dear Applicant:

As of May 22, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office
E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Wednesday, May 22, 2024 11:43 AM
To: Office of Neighborhood Coordination <inclineengineering@gmail.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Development Hearing Officer

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Ted L Barber

Telephone Number

5055776747

Email Address

inclineengineering@gmail.com

Company Name

Incline Engineering

Company Address

236 Tano Road

City

Santa Fe

State

NM

ZIP

87506

Legal description of the subject site for this project:

Lot 8-A Block 8 LANDS OF COSME. Y LETICIA JAQUEZ

Physical address of subject site:

9101 Central Ave NW

Subject site cross streets:

90th Street and 94th Street

Other subject site identifiers:

This site is located on the following zone atlas page:

K-09-Z

Captcha

x