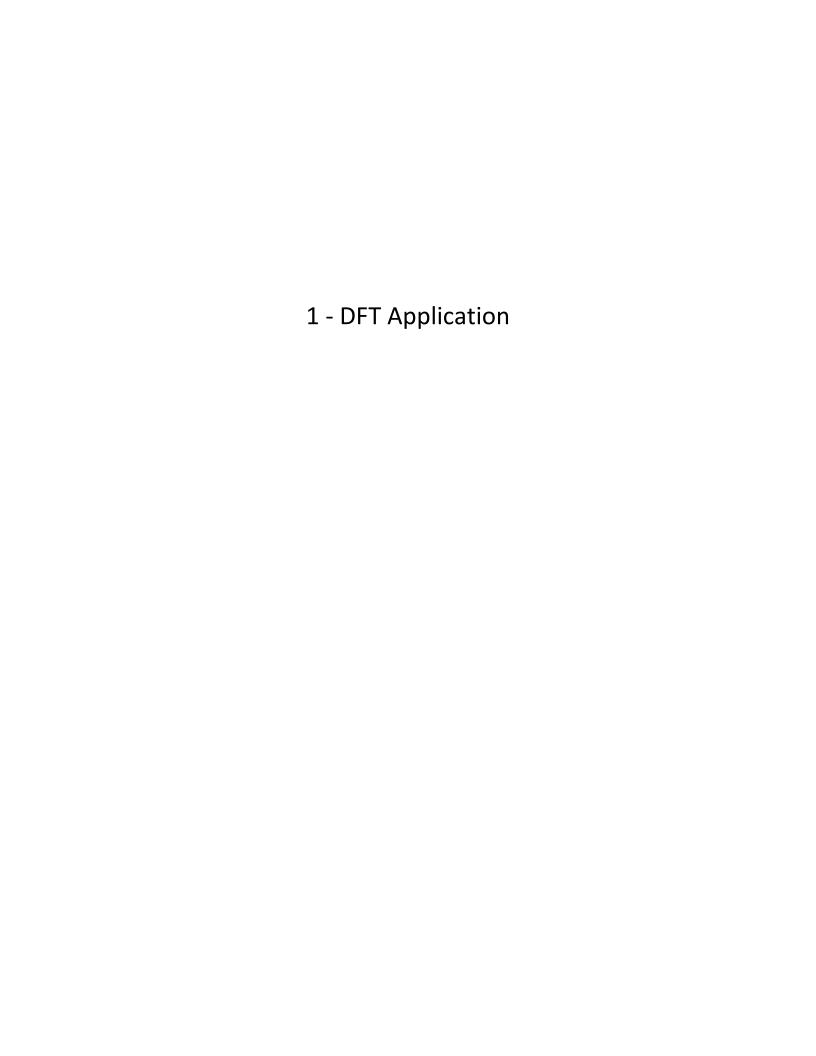
SITE PLAN DOCUMENTATION



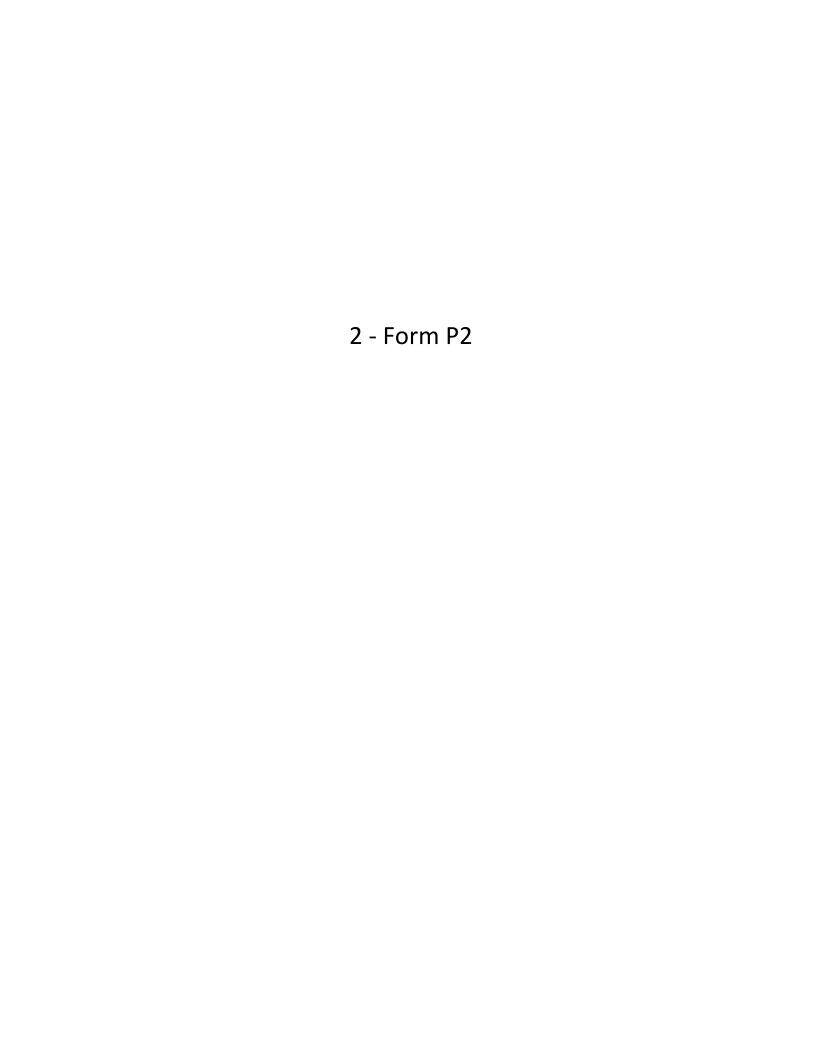




DEVELOPMENT FACILITATION TEAM (DFT) APPLICATIONS

Effective 11/16/2023

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.				
MISCELLANEOUS APPLICATION	NS	☐ Extension of Infrastructure Lis	st or IIA (Form S3)	
☐ Site Plan Administrative DFT (Forms SP & P2)		PR	E-APPLICATIONS	
☐ Final EPC Sign-off for Master Development/Site Pla	ans - EPC <i>(Form P2)</i>	☐ Sketch Plat Review and Com	ment (Form S3)	
☐ Infrastructure List or Amendment to Infrastructure L	ist (Form S3)	☐ Sketch Plan Review and Com	nment (Form S3)	
☐ Temporary Deferral of S/W (Form S3)			APPEAL	
☐ Extension of IIA: Temp. Def. of S/W (Form S3)		☐ Decision of Site Plan Administ	trative DFT (Form A)	
BRIEF DESCRIPTION OF REQUEST				
APPLICATION INFORMATION				
Applicant/Owner:			Phone:	
Address:			Email:	
City:		State:	Zip:	
Professional/Agent (if any):			Phone:	
Address:			Email:	
City:		State: Zip:		
Proprietary Interest in Site:		List <u>al</u> l owners:		
SITE INFORMATION (<u>Accuracy of the existing legal</u>	I description is crucia	I! Attach a separate sheet if nec	essary.)	
Lot or Tract No.:		Block:	Unit:	
Subdivision/Addition:	<u> </u>	MRGCD Map No.:	UPC Code:	
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning	
# of Existing Lots:	# of Proposed Lots:		Total Area of Site (Acres):	
LOCATION OF PROPERTY BY STREETS				
Site Address/Street:	Between:	and	d:	
CASE HISTORY (List any current or prior project a	nd case number(s) tha	at may be relevant to your reque	est.)	
I certify that the information I have included here and Signature.	sent in the required not /	tice was complete, true, and accur	rate to the extent of my knowledge. Date:	
Printed Name:				
Finited Name.			☐ Applicant or ☐ Agent	



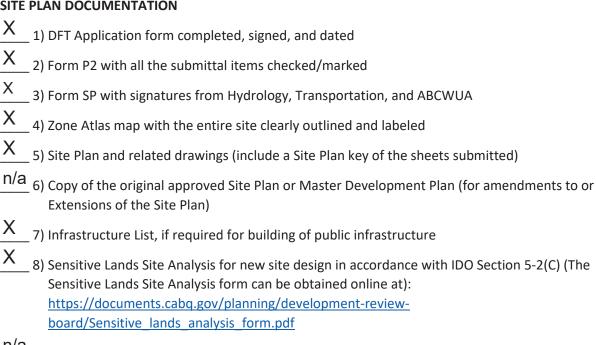
FORM P2 Page 1 of 3

FORM P2: SITE PLAN ADMINISTRATIVE - Development Facilitation Team (DFT) as of 12/25/2022

✓ SITE PLAN ADMINISTRATIVE – DFT

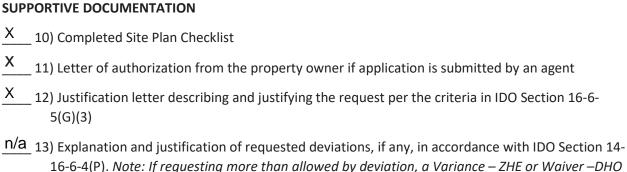
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION



 $\frac{\mathsf{n}/\mathsf{a}}{\mathsf{a}}$ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf

will be required, as applicable



n/a 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

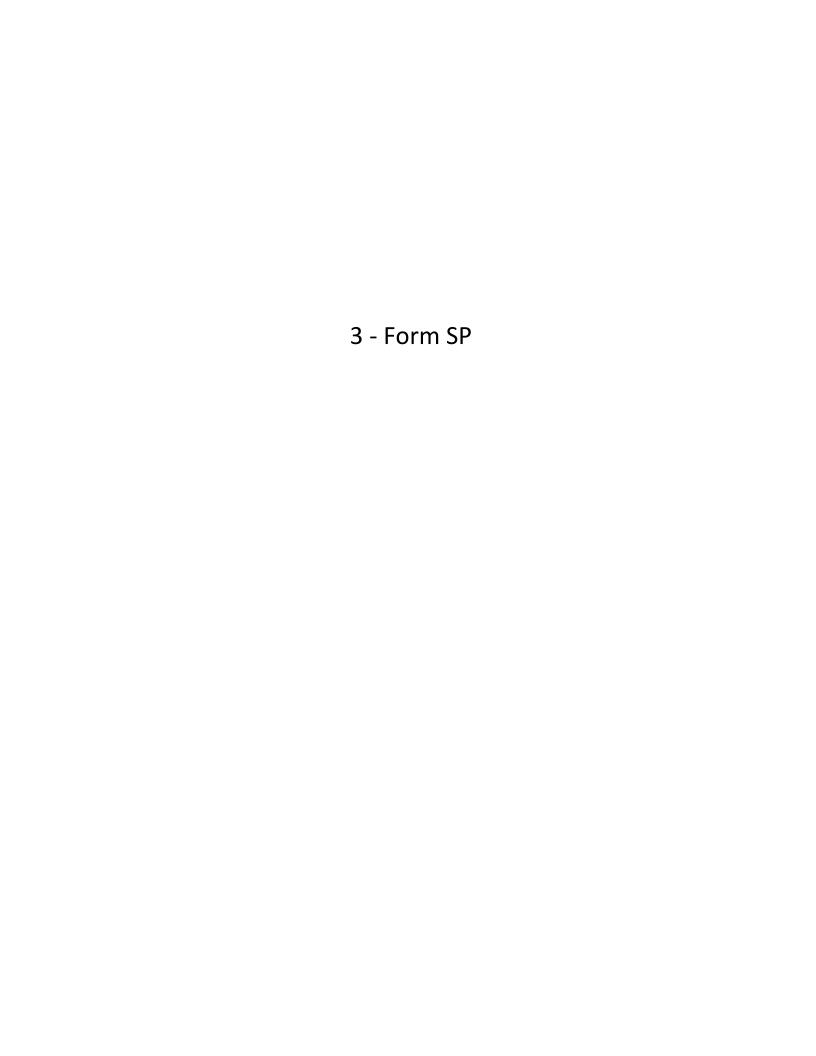
FORM P2 Page 2 of 3

n/a	_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone
n/a	16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area
PUB	LIC NOTICE DOCUMENTATION
X	_ 17) Sign Posting Agreement
n/a	18) Proof of a <u>Pre-Submittal</u> Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development
	Office of Neighborhood Coordination neighborhood meeting inquiry response
	Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
	Completed neighborhood meeting request form(s)
	If a meeting was requested or held, copy of sign-in sheet and meeting notes
n/a	19) Required Content of Notice <u>at Submittal</u> per IDO Section 14-16-6-4(K)(1) (not required for an extension)
	Office of Neighborhood Coordination notice inquiry response
	Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
	Proof of emailed notice to affected Neighborhood Association representatives

FORM P2 Page **3** of **3**

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.
1) DFT Application form completed, signed, and dated
2) Form P2 with all the submittal items checked/marked
3) Zone Atlas map with the entire site clearly outlined and labeled
4) Site Plan and related drawings
5) Infrastructure List, if require
6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
7) Letter of authorization from the property owner if application is submitted by an agent
8) Solid Waste Department signature on Site Plan
9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
10) Approved Grading and Drainage Plan
11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master

Development Plans)



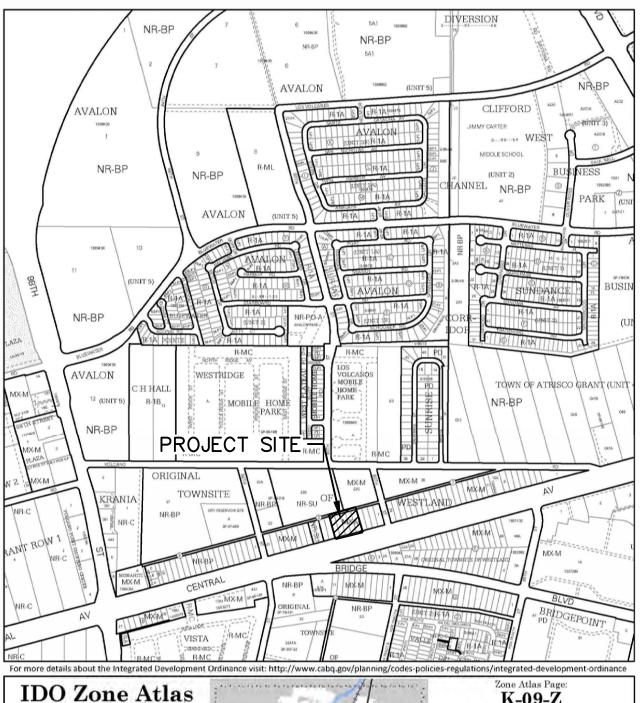
Legal Description & Location: Lot 8-A Block 8 Lands of Cosme and Leticia Jauquez - 9101 Central Ave NW Request Description: □ *Hydrology:* Sensitive Lands Analysis (5-2(C)) NA **Approved** Grading and Drainage Plan NA **Approved AMAFCA Approved** NA Bernalillo County Approved NA **NMDOT** Approved NA **MRGCD** NA Approved 05/29/24 Hydrology Department Date Transportation: Traffic Circulations Layout (TCL) **Approved** NA Traffic Impact Study (TIS) Approved NA Neighborhood Impact Analysis (NIA) Approved NA Bernalillo County Approved NA **MRCOG** Approved NA **NMDOT** NA Approved **MRGCD Approved** NA **Transportation Department** Date □ Albuquerque Bernalillo County Water Utility Authority (ABCWUA): Request for Availability submitted? NA Yes No Availability Statement/Serviceability Letter Number Note: Commitment for service is required prior to application approval. **ABCWUA** Date ☐ Infrastructure Improvements Agreement (IIA*) NA Approved □ Solid Waste Department Signature on the Plan Approved NA ☐ Fire Marshall Signature on the Plan Approved NA

^{*} Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

Legal Description & Location: Lot 8-A Block 8 Lands of Cosme and Leticia Jauquez - 9101 Central Ave NW Request Description: □ *Hydrology:* Sensitive Lands Analysis (5-2(C)) NA Approved Grading and Drainage Plan NA Approved **AMAFCA** Approved NA Bernalillo County Approved NA **NMDOT** Approved NA **MRGCD** NA Approved **Hydrology Department** Date Transportation: Traffic Circulations Layout (TCL) Approved NA Traffic Impact Study (TIS) Approved NA Neighborhood Impact Analysis (NIA) **Approved** NA Bernalillo County Approved NA **MRCOG** Approved NA **NMDOT** NA Approved **MRGCD** NA Approved Ernest armyo 5/29/2024 Transportation Department Date □ Albuquerque Bernalillo County Water Utility Authority (ABCWUA): Request for Availability submitted? x Yes NA No Availability Statement/Serviceability Letter Number 240516 Note: Commitment for service is required prior to application approval. in Gul 6/11/2024 Date Infrastructure Improvements Agreement (IIA*) NA Approved □ Solid Waste Department Signature on the Plan Approved NA ☐ Fire Marshall Signature on the Plan Approved NA

^{*} Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



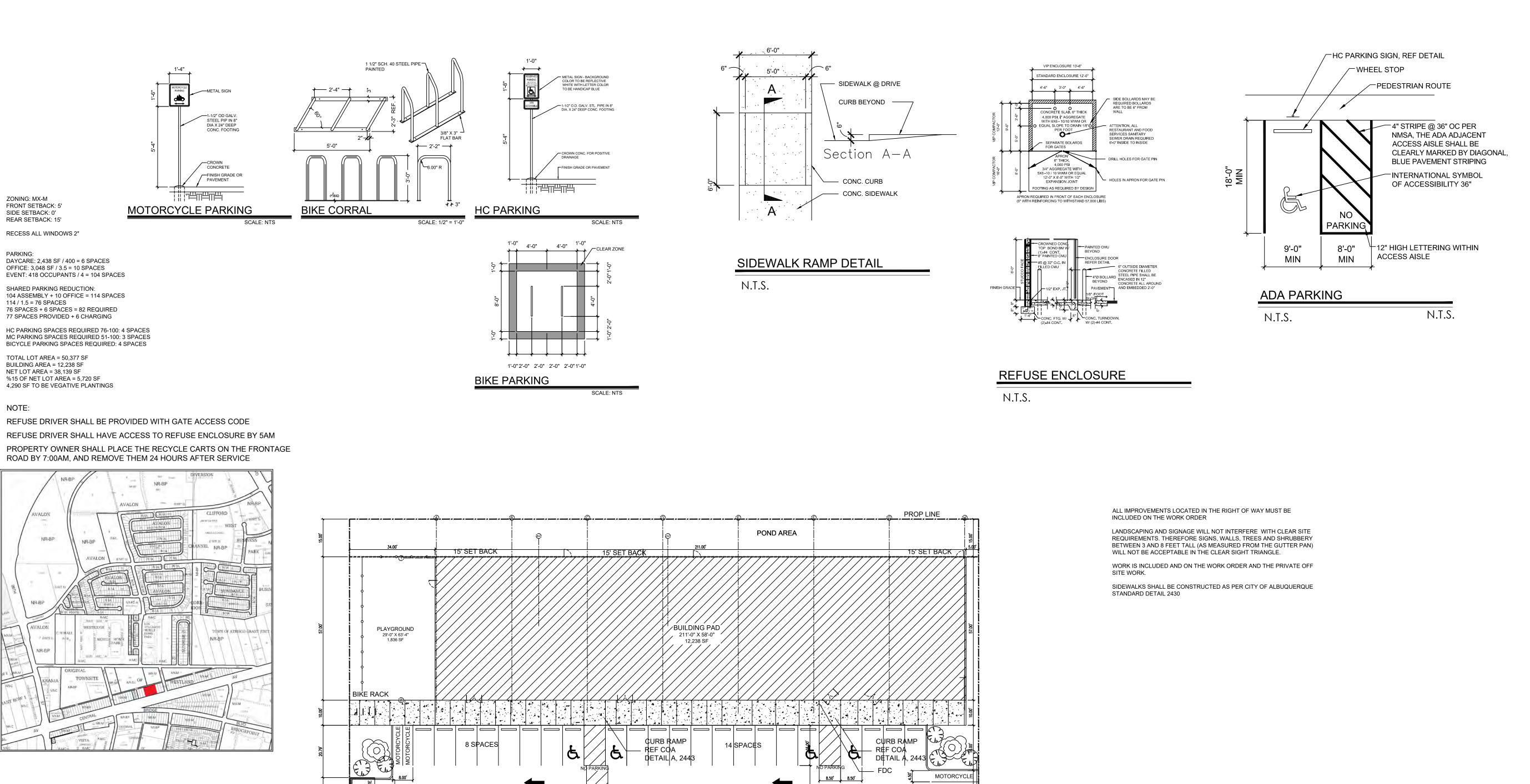


K-09-Z May 2018 Escarpment Easement Petroglyph National Monument Areas Outside of City Limits Airport Protection Overlay (APO) Zone Character Protection Overlay (CPO) Zone Historic Protection Overlay (HPO) Zone IDO Zoning information as of May 17, 2018 Gray Shading Represents Area Outside of the City Limits View Protection Overlay (VPO) Zone The Zone Districts and Overlay Zones are established by the

500

Integrated Development Ordinance (IDO).





— HEADER

4 PARALLEL SPACES

EXISTING 8"

PVC WATER LINE

└─ NEW 6FT

SIDEWALK

CURB

COA 2415C

- HEADER CURB COA 2415C PAINTED IN WHITE 3FT SCREEN WALL LANDSCAPE BUFFER _ 8" STD C&G COA 2415A PAVEMENT MARKING CLEAR SITE TRIANGLE N.T.S.

SITE DIMENSIONS PLAN

SIDEWALK

LANDSCAPE

– HEADER CURB

3FT SCREEN

COA 2415C

CURB COA 2415C

4 PARALLEL SPACES

5' SET

187.00' ROW

RAMP COA

2425B

NEW 6FT CENTRAL AVE NW DRIVEPAD -

5 SPACES



CURB COA 2415C

5' SET BACK

11 SPACES

1 SPACES

CLEAR SITE

TRIANGLE

- HEADER CURB COA 2415C

DRIVEPAD RAMP COA

2425B

It is the clents responsibility fror to or during construction to notify the architect in writing of any perceived errors or oursions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction solud reasonably be aware, writien instructions addressing such perceived perfore or oursions should reasonably be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed NEW CONSTRUCTION

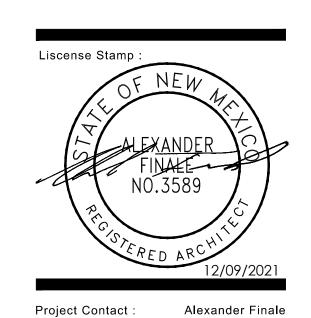
> 9101 CENTRAL **AVENUE NW**

FOR

ALBUQUERQUE **NEW MEXICO**



1020 123rd Avenue NE Lake Stevens, WA 98258 (206) 945-2588 alexfinale@msn.com



206-945-2588 alexfinale@msn.com Alexander Finale Principal In Charge: 003589 NM License No. 037793 NY License No. 025305 TX License No.

Site Plan & Details

Sheet No.

TCL

DOC# 2020024690

03/17/2020 11:41 AM Page: 2 of 2 PLAT R:\$25.00 B: 2020C P: 0035 Linda Stover, Bernalillo County PLAT OF

LOTS 4 THROUGH 8 BLOCK 8

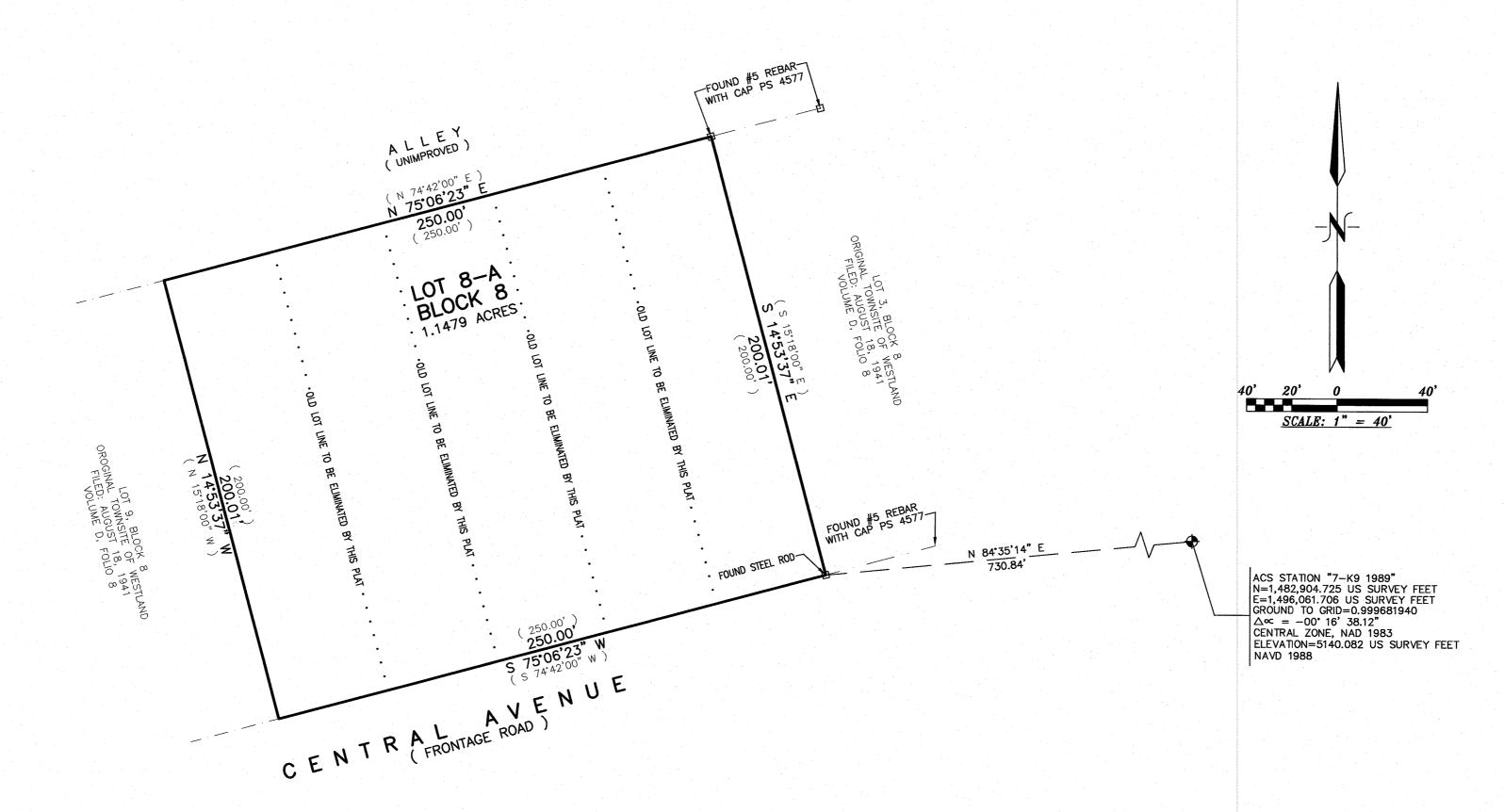
LANDS OF COSME. Y LETICIA JAQUEZ

WITHIN

TOWN OF ATRISCO GRANT

PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO
JANUARY 2020



HYDROLOGY NOTE:

BY THE RECORDING OF THIS PLAT, A CROSS LOT DRAINAGE EASEMENT IS GRANTED TO BENEFIT LOT 9, BLOCK 8, ORIGINAL TOWNSITE OF WESTLAND AND IS TO BE MAINTAINED BY SAID LOT.

ABCWUA NOTE:

1: EXISTING SANITARY SEWER INFRASTRUCTURE MAY NOT BE CONSTRUCTED OR SIZED TO ADEQUATELY SERVE POTENTIAL FUTURE DEVELOPMENT. IMPROVEMENT OR UPSIZING OF EXISTING PUBLIC INFRASTRUCTURE MAY BE REQUIRED AS A CONDITION OF FUTURE DEVELOPMENT. APPROVAL

2: THE INSTALLATION OF PUBLIC WATERLINE MAY BE REQUIRED AS A CONDITION OF FUTURE DEVELOPMENT APPROVAL, ONCE THE WATER SERVICE, AND FIRE PROTECTION REQUIREMENTS OF ANY DEVELOPMENT IS KNOWN.

TRANSPORTATION DEVELOPMENT NOTE:

THE INSTALLATION OF PUBLIC CURB, GUTTER AND SIDEWALKS AND ANY PAVED ALLEYWAY IMPROVEMENTS MAY BE REQUIRED AS A CONDITION OF FUTURE DEVELOPMENT APPROVAL, ONCE THE CURB, GUTTER AND SIDEWALK REQUIREMENTS OF ANY FUTURE DEVELOPMENT IS KNOWN LAND USE WILL BE USED AS A DETERMINATION FOR MAKING DECISIONS ON INFRASTRUCTURE NEEDS.

HARRIS SURVEYING, INC.
1308 CIELO VISTA DEL SUR, NW
CORRALES, NEW MEXICO 87048

PHONE: (505) 250–2273 E-MAIL: harrissurveying51**©**gmail.com





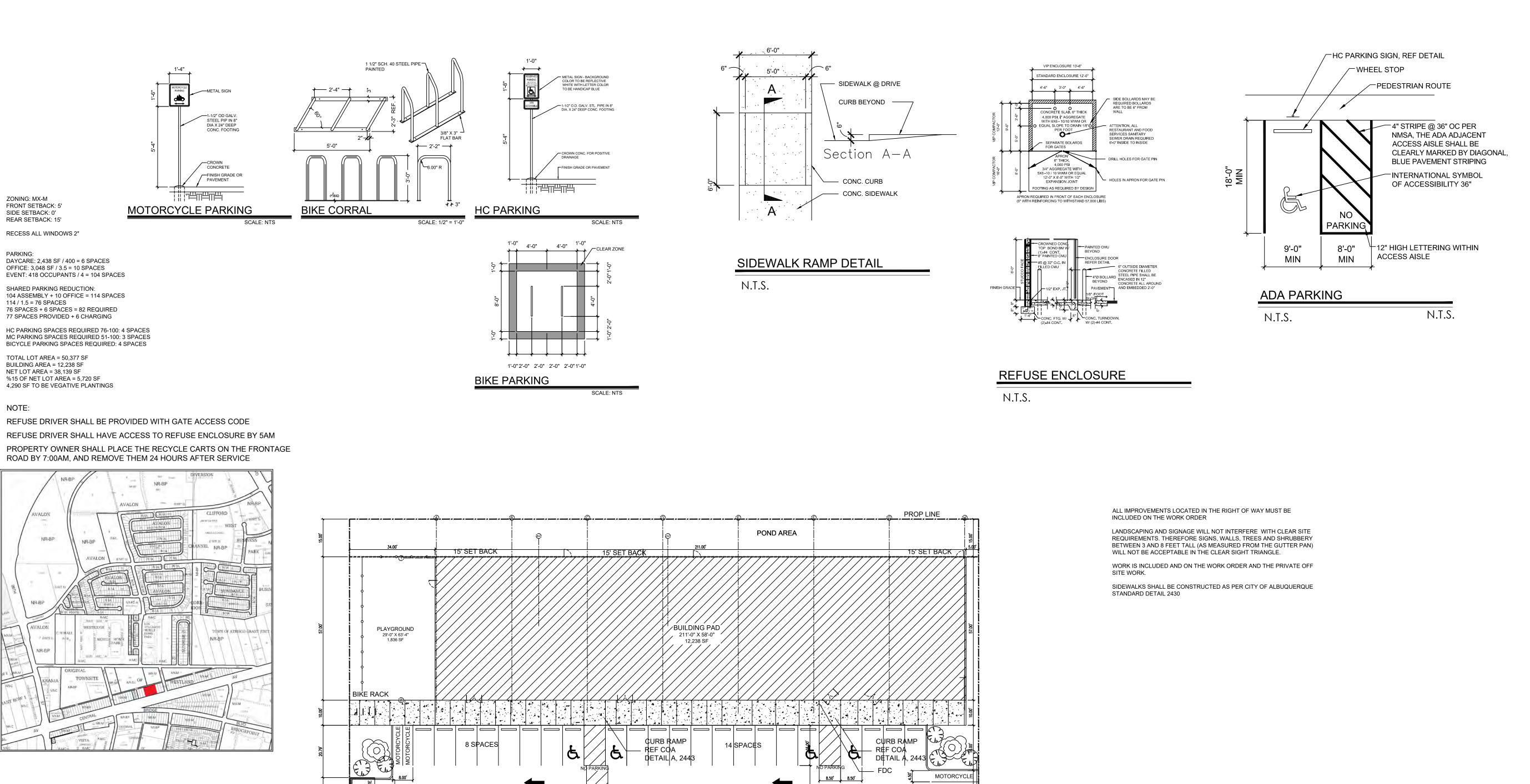
City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:	Hydrology File #
City Address, UPC, OR Parcel:	
Applicant/Agent:	Contact:
	Phone:
Email:	
Applicant/Owner:	Contact:
	Phone:
Email:	
	s Site Plan Approval & ADMIN SITE is one that does not need it.)
TYPE OF DEVELOPMENT: PLAT	(#of lots) RESIDENCE
DFT S	ITE ADMIN SITE
RE-SUBMITTAL: YES NO	
DEDARTMENT. TO ANCHORTA	TION HYDROLOGY/DRAINAGE
DEPARTMENT: TRANSPORTAT	ION HYDROLOGY/DRAINAGE
Check all that apply under Both the Type of	of Submittal and the Type of Approval Sought:
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
ENGINEER/ARCHITECT CERTIFICAT	ION BUILDING PERMIT APPROVAL
PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DFT APPROVAL
GRADING & DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
DRAINAGE REPORT	FINAL PLAT APPROVAL
DRAINAGE MASTER PLAN	SITE PLAN FOR BLDG PERMIT DFT
CLOMR/LOMR	APPROVAL
TRAFFIC CIRCULATION LAYOUT (T	CL) SIA/RELEASE OF FINANCIAL GUARANTEE
ADMINISTRATIVE	FOUNDATION PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT FO APPROVAL	OR DFT GRADING PERMIT APPROVAL
TRAFFIC IMPACT STUDY (TIS)	SO-19 APPROVAL
STREET LIGHT LAYOUT	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	GRADING PAD CERTIFICATION
	WORK ORDER APPROVAL
	CLOMR/LOMR
	OTHER (SPECIFY)
ATE CHEMITTED.	

This is a TCL resubmittal at the request of Zoning. The parking calculations changed and an additional HC parking stall was added.



— HEADER

4 PARALLEL SPACES

EXISTING 8"

PVC WATER LINE

└─ NEW 6FT

SIDEWALK

CURB

COA 2415C

- HEADER CURB COA 2415C PAINTED IN WHITE 3FT SCREEN WALL LANDSCAPE BUFFER _ 8" STD C&G COA 2415A PAVEMENT MARKING CLEAR SITE TRIANGLE N.T.S.

SITE DIMENSIONS PLAN

SIDEWALK

LANDSCAPE

– HEADER CURB

3FT SCREEN

COA 2415C

CURB COA 2415C

4 PARALLEL SPACES

5' SET

187.00' ROW

RAMP COA

2425B

NEW 6FT CENTRAL AVE NW DRIVEPAD -

5 SPACES



CURB COA 2415C

5' SET BACK

11 SPACES

1 SPACES

CLEAR SITE

TRIANGLE

- HEADER CURB COA 2415C

DRIVEPAD RAMP COA

2425B

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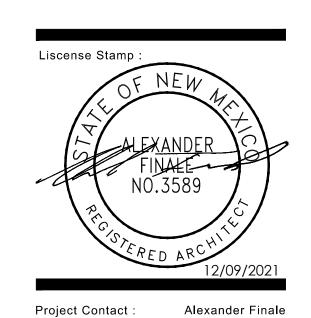
> 9101 CENTRAL **AVENUE NW**

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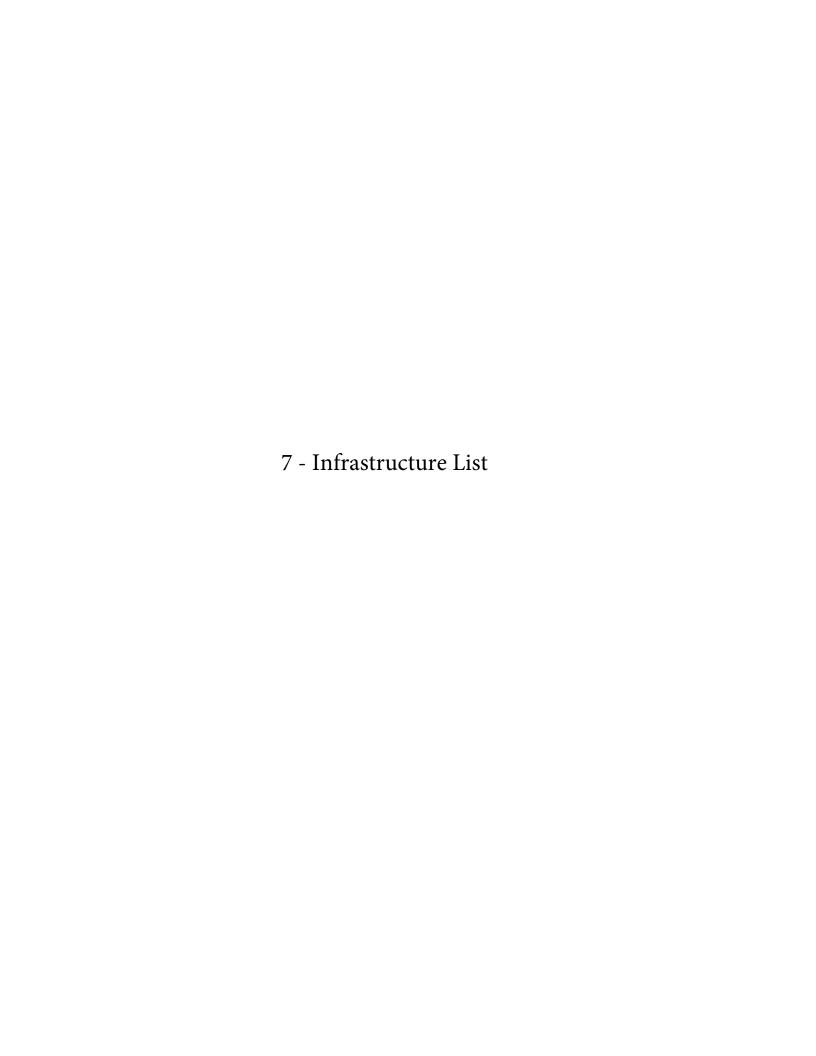


206-945-2588 alexfinale@msn.com Alexander Finale Principal In Charge: 003589 NM License No. 037793 NY License No. 025305 TX License No.

Site Plan & Details

Sheet No.

TCL

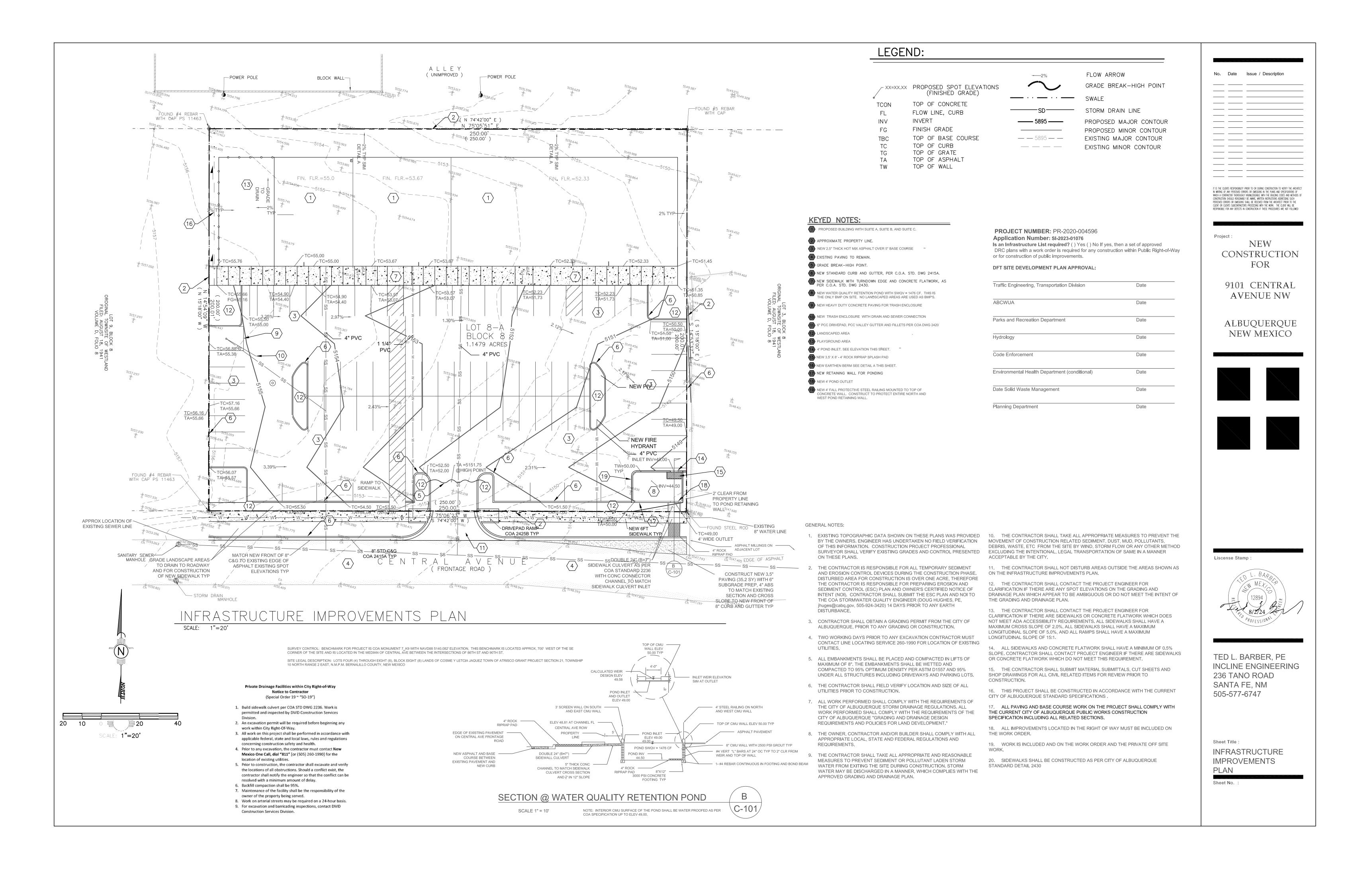


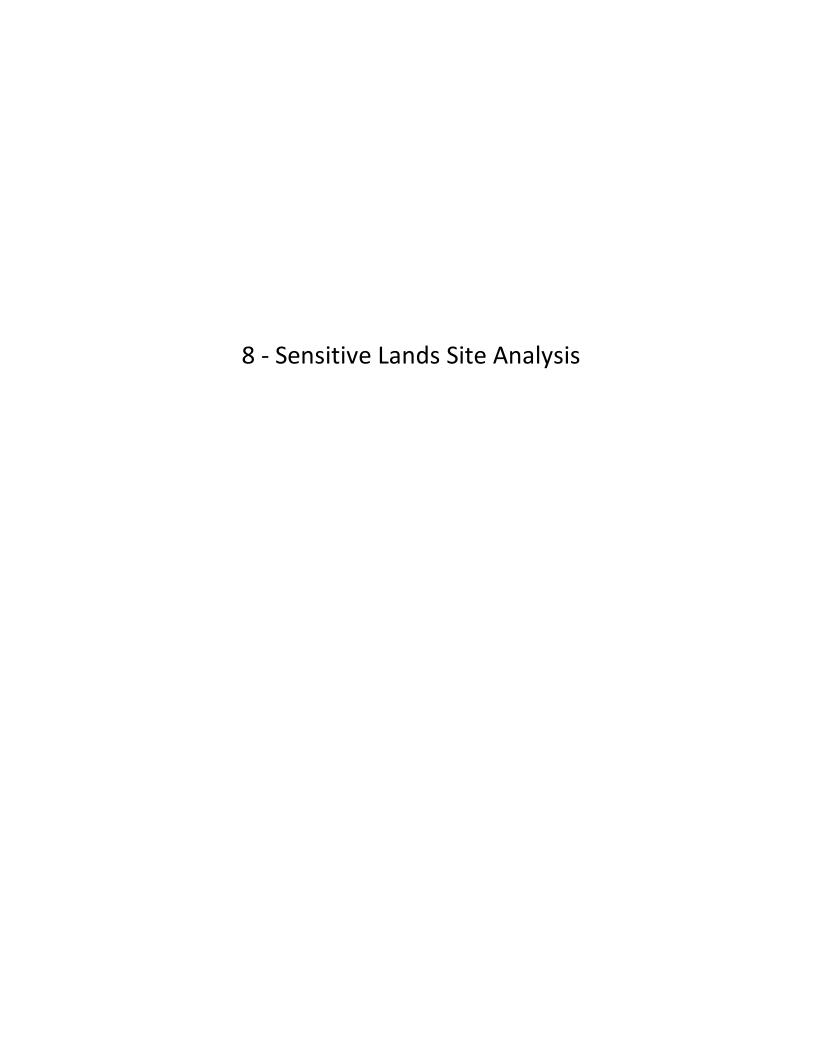
Current DRC	FIGURE 12 Date Submitted:				itted:				
Project Number	er:						ite Plan Appro		
	INFRASTRUCTURE LIST			Date Prelimin	•				
				(Rev. 2-16-18)		Date Prelim	ninary Plat Exp		
				EXHIBIT "A"				No.:	
				IMPROVEMENTS AGREE		DF	RB Application	No.:	
			DEVELOPMENT REVIEW BOAR	D (D.R.B.) REQUIRED INFI	RASTRUCTURE LIST				
				& Event Center 9101 Cent					
			PROPOSED NAME OF PL	AT AND/OR SITE DEVELO	PPMENT PLAN				
				8 LANDS OF COSME AND RIPTION PRIOR TO PLATE					
and/or in the re items in the lis portions of the administrativel	eview of the constru ting and related fina financial guarantee	uction drawings, if ancial guarantee. es. All such revisi unforeseen items	structure required to be constructed or finan the DRC Chair determines that appurtenan Likewise, if the DRC Chair determines that ons require approval by the DRC Chair, the which arise during construction which are n	nt items and/or unforeseen it appurtenant or non-essentia User Department and agen	ems have not been included al items can be deleted from t/owner. If such approvals a	in the infrastructure listing the listing, those items made obtained, these revision	ng, the DRC C may be deleted ons to the listir	hair may inclu Las well as th ng will be inco	ide those e related orporated
F1	0	0:	T	Landon	F	- .		truction Cer	
Financially Guaranteed	Constructed Under	Size C&G, SW	Type of Improvement 8" PCC CURB & GUTTER, 6' PCC	Location CENTRAL AVE	From SW PROP CORNER	To SE PROP CORNER	Priv Inspector	rate P.E.	City Cnst Engineer
DRC#	DRC #	196'	SIDEWALK, MINOR PAVING, DRIVE	FRONTAGE RD	OWNTROL CONTINUE	SETTION SOMMER	пороско.		Liigiilooi
			PAD, SIDEWALK CULVERT, RIPRAP				/		
			@ 250' PROJECT FRONTAGE ONLY						
		PUBLIC WATE	RLINE IMPROVEMENTS	CENTRAL AVE					
			WATER SERVICE	FRONTAGE RD			/	/	/
		PUBLIC SEWE	R IMPROVEMENTS SEWER SERVICE	CENTRAL AVE FRONTAGE RD			,	,	,
		DOCK MILLOU		FRUNTAGE RD	CW PROP CORNER	CE DDOD CODNED			
		ROCK MULCH			SW PROP CORNER	SE PROP CORNER			
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PAGE ____ OF ____

Financially	Constructed	1						ruction Cer	
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DRC#	DRC#						Inspector	P.E.	Engineer
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Guaranteed DRC #							Constructio	n Certification
DRC#	Under	Size	Type of Improvement	Location	From	То	Private	City Cnst
	DRC#						Inspector P.	E. Engineer
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		_						
							1	/
		_			Approval of Creditable I	tems:	Approval of Credit	table Items:
					Impact Fee Admistrator	Signature Date	City User Dept. S	ignature Dat
		Mark a strate to 1	and the state of t	NOTES	alasa a lamidhda a lambha an			
		If the site is I	ocated in a floodplain, then the financi			proved by FEMA.		
1			Street lig	hts per City rquirements.	•			
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2								
3								
AG	ENT / OWNER			DEVELOPMENT F	REVIEW BOARD MEMBER AP	PROVALS		
,								
	D L BARBEF	₹						
N	NAME (print)		DRB CH	AIR - date	PARKS	8 & RECREATION -	date	
N.	AME (print)							
	FIRM		TRANSPORTATION	DEVELOPMENT - date		AMAFCA - date		
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Lit		DATE		EVIEW COMMITTEE REV		AGEN	NT /OWNER	
Lit	/12/24 REVISION	DATE	DESIGN R	EVIEW COMMITTEE REV	/ISIONS PARTMENT	AGEN	NT /OWNER	
Let		DATE		EVIEW COMMITTEE REV		AGEN	NT /OWNER	





Attn: COA DRB

Re: Daycare & Event Center 9101 Central Ave NW

SENSITIVE LANDS ANALYSIS

The following letter describes sensitive lands (ref. §14-16-5-2 of the IDO). This analysis was conducted and signed by myself as a professional civil engineer. Inspection video available upon request.

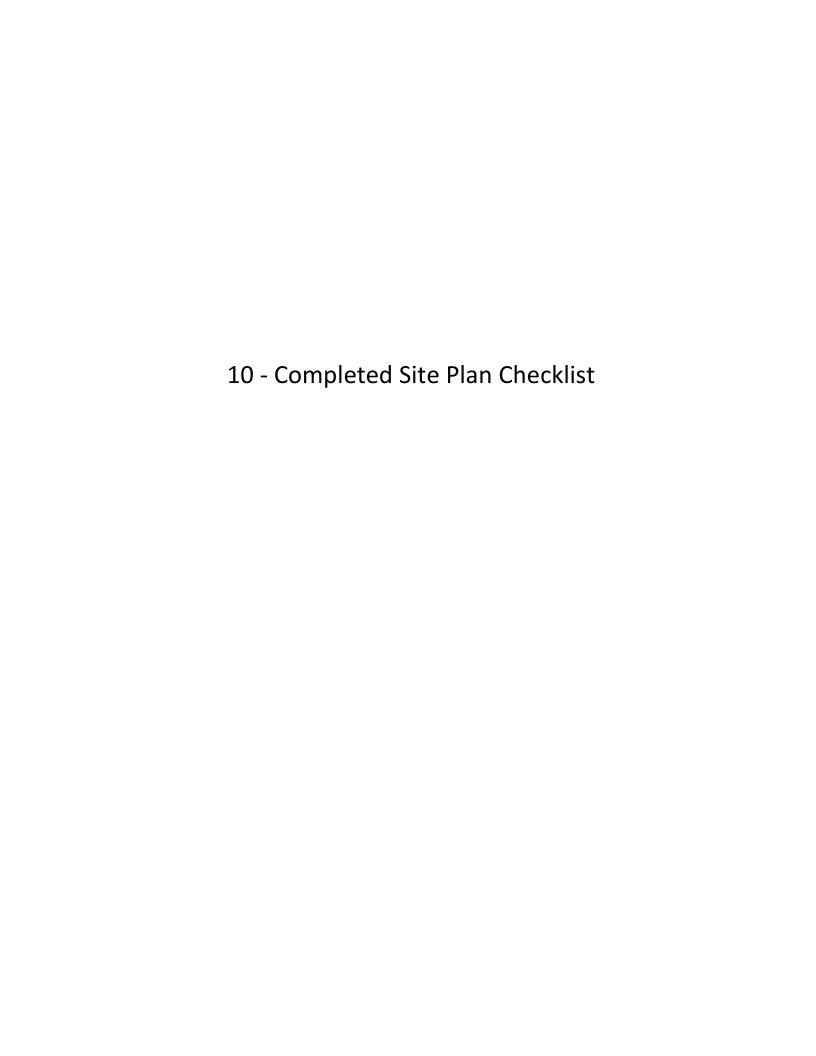
	MAP			
FEATURE	LOCATION	PHOTOS	DIMENSIONS	OTHER DETAILS
Floodplains and flood hazard areas				Feature does not exist on site
Steep slopes				Feature does not exist on site
Unstable soils				Feature does not exist on site
Wetlands (constant supply of water)				Feature does not exist on site
Arroyos				Feature does not exist on site
Irrigation facilities				
(acequias)				Feature does not exist on site
Escarpment				Feature does not exist on site
Rock outcroppings				Feature does not exist on site
Large stands of mature trees				Feature does not exist on site
				Feature does not exist on site,
Archeological sites				site is less than 5 acre

Conclusion: No sensitive lands exist on this site located at 9101 Central Ave NW.

Ted L. Barber



SUPPORTIVE DOCUMENTATION



Project #: _		Application #:
Department. that are not s VPO or if loca	Because development prop specified here. Also there mated in DT-UC-MS or PT are	e completeness of site plans submitted for review by the Planning posals vary in type and scale, there may be submittal requirements hay additional requirements if a site is located in CPO, HPO, and/or eas. See the IDO or AGIS for boundaries. Nonetheless, applicants are ittal. Certification as specified below is required.
PECIFIED IN TH ROVISIONALLY EJECTION OF T DELAY OF ONE	IIS CHECKLIST IS PROVIDED	
•	ets shall be composed of the he Planning Department):	following plan sheets (unless otherwise approved in writing prior to
1. 2. 3. 4. 5. 6.	Site Plan (including utilities Landscaping Plan Grading and Drainage Plan Utility Plan Building and Structure Ele Previously approved Deve	n
	,	mat must be organized in the above manner.
include all che Non-applicab on the Checkl NOTE: There	ecklist items on their site pla le items must be labeled "N ist. may be addition informatio	num information necessary for each plan element. The Applicant must an drawings and confirm inclusion by checking off the items below. A." Each non-applicable designation must be explained by notation n required if site is located with a CPO, VPO or HPO and/or any other
special areas	as defined by the IDO.	
		ection 14-16-6-4(O), they must be clearly labelled on the site plan ication letter made with the submittal.
SHEET #1	- SITE PLAN	
A. General	Information	
1. 2.	Date of drawing and/or la Scale: 1.0 acre or less 1.0 - 5.0 acres Over 5 acres Over 20 acres	1" = 10' 1" = 20' 1" = 50'

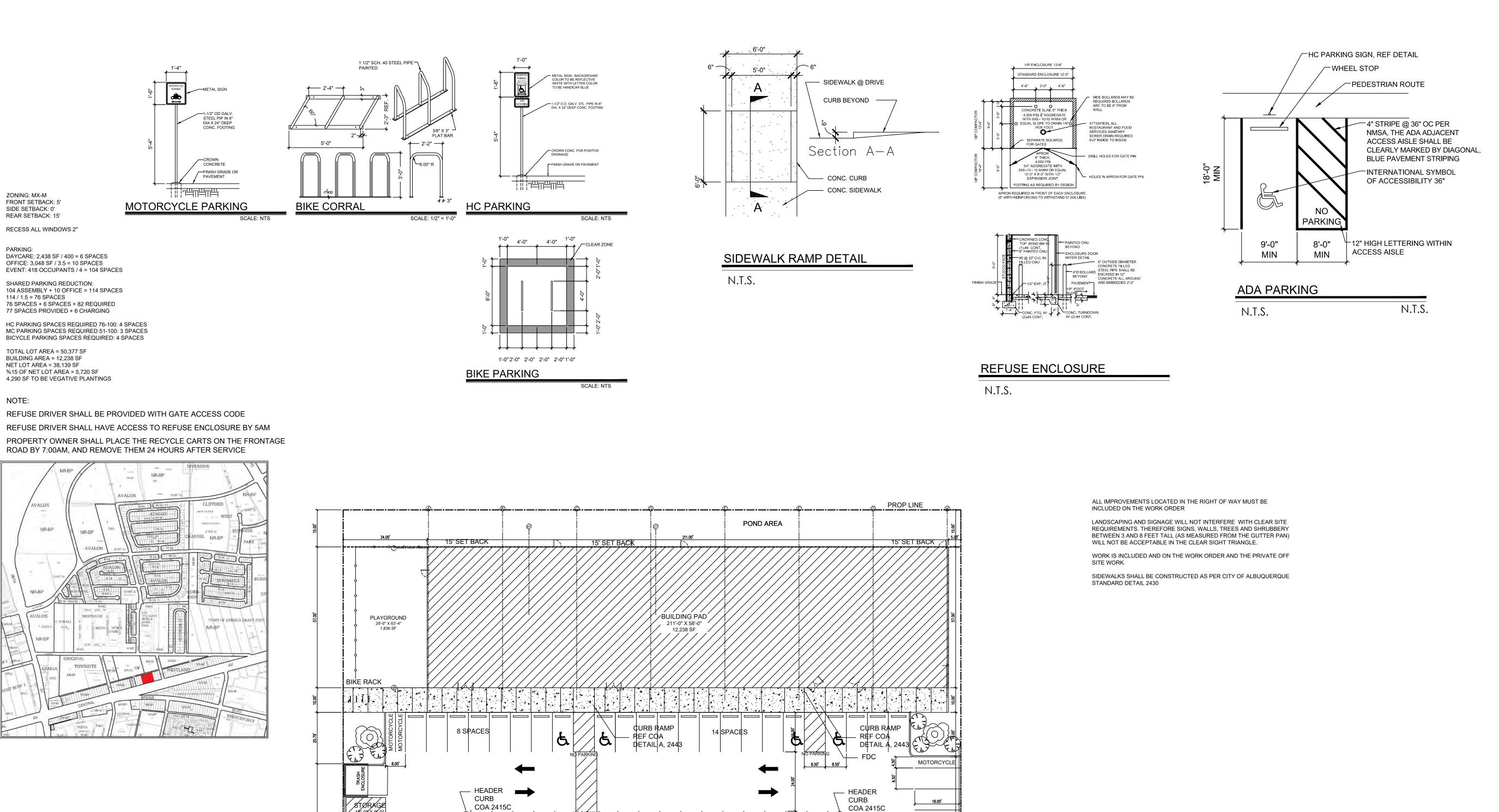
	3. 4. 5. 6. 7. 8. 9.	North arrow Legend Scaled vicinity map Property lines (clearly identify) Existing and proposed easements (identify each) Phases of development, if applicable
B.	Propose	d Development
1.	Structu	ral
	A B C D E F G H I J K.	Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures Square footage of each structure Proposed use of each structure Signs (freestanding) and other improvements Walls, fences, and screening: indicate height, length, color and materials Dimensions of all principal site elements or typical dimensions Loading facilities Site lighting (indicate height & fixture type) Indicate structures within 20 feet of site Elevation drawing of refuse container and enclosure, if applicable. Existing zoning/land use of all abutting properties
2.	Parking	, Loading and Internal Circulation
	A.	Parking layout with spaces numbered per aisle and totaled. 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces 3. On street parking spaces
	B.	Bicycle parking & facilities 1. Bicycle racks – location and detail 2. Other bicycle facilities, if applicable
	C.	 Vehicular Circulation (Refer to DPM and IDO)
	D.	Pedestrian Circulation 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

	 Location and dimension of drive aisle crossings, including paving treatment 3. Location and description of amenities, including patios, benches, tables, etc.
E.	Off-Street Loading
	1. Location and dimensions of all off-street loading areas
F.	Vehicle Stacking and Drive-Through or Drive-Up Facilities
3. Streets	and Circulation
	Locate and identify adjacent public and private streets and alleys.
<u> </u>	Identify Alternate transportation facilities within site or adjacent to site
4. Phasin	g
A.	Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.
SHEET #2 -	LANDSCAPING PLAN
	 Scale - must be same as scale on sheet #1 - Site plan Bar Scale North Arrow Property Lines Existing and proposed easements Identify nature of ground cover materials A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.) B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.) C. Ponding areas either for drainage or landscaping/recreational use

 A. Existing, indicating whether it is to preserved or removed. B. Proposed, to be established for general landscaping. C. Proposed, to be established for screening/buffering. 8. Describe irrigation system – Phase I & II 9. Planting Beds, indicating square footage of each bed 	
9. Planting Beds, indicating square footage of each bed	
10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage a percentage.	ınd
11. Responsibility for Maintenance (statement)	
12. Landscaped area requirement; square footage and percent (specify clearly on plan)	
13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, footage and percent (specify clearly on plan) 13. Planting outron well detail.	square
14. Planting or tree well detail 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 in	nch
caliper or larger will be counted)	icii
16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements	
17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material	
A. General Information	
1. Scale - must be same as Sheet #1 - Site Plan	
2. Bar Scale 3. North Arrow	
4. Property Lines	
5. Existing and proposed easements	
5. Existing and proposed easements	
5. Existing and proposed easements 6. Building footprints	
 5. Existing and proposed easements 6. Building footprints 7. Location of Retaining walls B. Grading Information 1. On the plan sheet, provide a narrative description of existing site topography, propose 	d
5. Existing and proposed easements 6. Building footprints 7. Location of Retaining walls B. Grading Information	
 5. Existing and proposed easements 6. Building footprints 7. Location of Retaining walls B. Grading Information 1. On the plan sheet, provide a narrative description of existing site topography, propose grading improvements and topography within 100 feet of the site. 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (easements) 	
 5. Existing and proposed easements 6. Building footprints 7. Location of Retaining walls B. Grading Information 1. On the plan sheet, provide a narrative description of existing site topography, propose grading improvements and topography within 100 feet of the site. 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (easend proposed) and points of maximum cut or fill exceeding 1 foot. 	

SHEET #4- UTILITY PLAN

 pr	 A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan) B. Distribution lines C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions. D. Existing water, sewer, storm drainage facilities (public and/or private). E. Proposed water, sewer, storm drainage facilities (public and/or private) F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to roposed buildings and structures must be clearly shown.
A. General I	nformation
A. B. C.	Scale Bar Scale Detailed Building Elevations for each facade1. Identify facade orientation2. Dimensions of facade elements, including overall height and width3. Location, material and colors of windows, doors and framing4. Materials and colors of all building elements and structures5. Location and dimensions of mechanical equipment (roof and/or ground mounted)
B. Building I	Mounted Signage
- - -	 Site location(s) Sign elevations to scale Dimensions, including height and width Sign face area - dimensions and square footage clearly indicated Lighting Materials and colors for sign face and structural elements. List the sign restrictions per the IDO



COA 2415C

4 PARALLEL SPACES

└─ NEW 6FT

SIDEWALK

EXISTING 8"

PVC WATER LINE

Liscense Stamp:

It is the clents responsibility fror to or during construction to notify the architect in writing of any perceived errors or oursions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction solud reasonably be aware, writien instructions addressing such perceived perfore or oursions should reasonably be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed

NEW

CONSTRUCTION

FOR

9101 CENTRAL

AVENUE NW

ALBUQUERQUE

NEW MEXICO

ALEXANDER

FINALE

ARCHITECT

1020 123rd Avenue NE Lake Stevens, WA 98258

(206) 945-2588 alexfinale@msn.com

Alexander Finale Project Contact : 206-945-2588 alexfinale@msn.com Alexander Finale Principal In Charge: 003589 NM License No. 037793 NY License No.

025305

Site Plan & Details

TX License No.

Sheet No. TCL

SITE DIMENSIONS PLAN

187.00' ROW

RAMP COA

2425B

4 PARALLEL SPACES

5' SET

NEW 6FT CENTRAL AVE NW DRIVEPAD -

5 SPACES

– HEADER CURB

3FT SCREEN

SIDEWALK

LANDSCAPE

COA 2415C



5' SET BACK

CURB COA 2415C

11 SPACES

1 SPACES

CLEAR SITE

TRIANGLE

- HEADER CURB COA 2415C

DRIVEPAD RAMP COA

2425B



PAVEMENT MARKING

N.T.S.

- HEADER CURB COA 2415C

3FT SCREEN

LANDSCAPE BUFFER

WALL

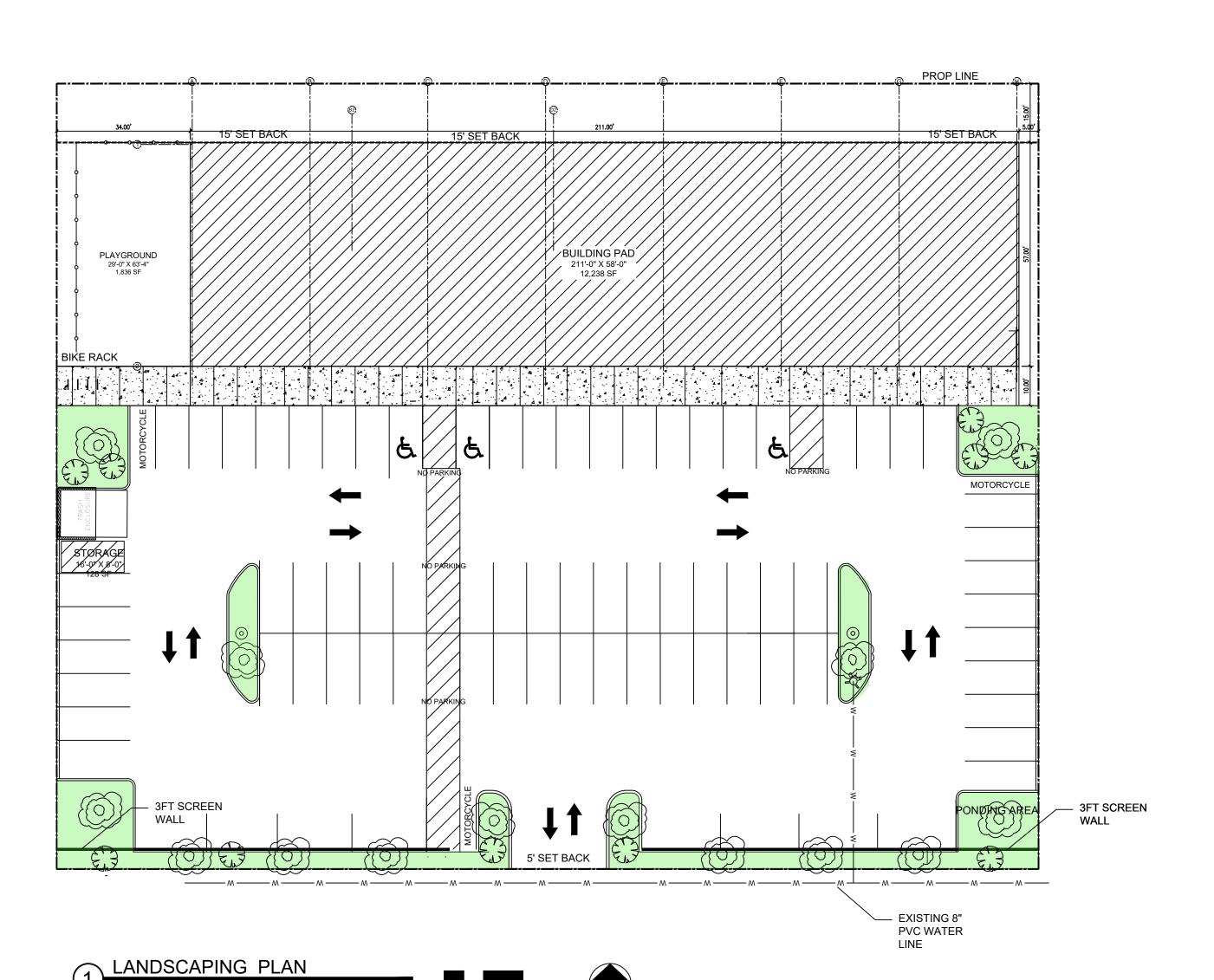
_ 8" STD C&G

COA 2415A

CLEAR SITE TRIANGLE

LANDSCAPING NOTES:

- 1. COMPACT SOIL BELOW ROOT-BALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL SHALL BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- 2. PRIOR TO BACKFILLING TREE OR SHRUB, ALL WIRE, ROPE, AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT. PRIOR TO BACKFILLING THE TREE, ALL BURLAP, WIRE AND ROPE SHALL BE CUT AWAY FROM THE ROOTBALL. REFERENCE DETAIL 12 ON SHEET C4 FOR TREE PLANTING DETAIL AND DETAIL 13 ON SHEET C4 FOR SHRUB PLANTING DETAIL.
- 3. ALL PLANTERS SHALL BE EXCAVATED TO A 2'7" DEPTH. SOIL SHALL BE REPLACED WITH THE SPECIFIED PLANTING
- 4. PLANT BEDDING PLANTS IN MIXED CLUSTERS OF COLOR WITH PLANTS @ 2'-0" O.C. PROVIDE EQUAL NUMBER OF
- 5. 1" DEPTH FINE MULCH DRESSING IN ALL PLANTING BEDS AND PLANTERS.
- 6. MULTI-TRUNK TREES TO HAVE ALL MAJOR LEADERS STAKED OR SUPPORTED.
- 7. ALL WIRE TO WRAP A MIN. OF 5 TIMES AROUND ITSELF.
- 8. 15 GAL. & 24" BOX (SMALL CALIPER) TO HAVE DOUBLE TIES BETWEEN STAKES. 24" OR LARGER TO HAVE SINGLE TIE BETWEEN STAKES.
- 9. LANDSCAPING GRAVEL TO BE 1" OVER "SANTA FE BROWN".
- 10. ALL IRRIGATION TRENCHES TO BE PUDDLED AND COMPACTED TO THE SAME DENSITY AS THE UNDISTURBED ADJACENT SOIL. CONTRACTOR TO BE RESPONSIBLE FOR DAMAGE TO UNDERGROUND UTILITIES CAUSED BY EXECUTION OF CONTRACT.
- 11. CONTRACTOR SHALL REFER TO AND COORDINATE IRRIGATION SYSTEM INSTALLATION WITH PLANT LOCATIONS.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- 13. CONTRACTOR SHALL PROVIDE AND INSTALL RAIN AND FREEZE SENSOR IN VANDAL RESISTANT ENCLOSURE. INSTALL BYPASS SENSORS FOR ALL RAIN SENSORS.
- 14. INSTALL TWO EXTRA CONTROL WIRES FROM EACH CONTROLLER ALONG ENTIRE LENGTH OF IRRIGATION MAINLINE WITH VALVES OPERATED BY THAT ZONE.
- 15. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASE.
- 16. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST.
- 17. CONTRACTOR IS RESPONSIBLE FOR FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE
- 18. THE CONTRACTOR IS RESPONSIBLE FOR FOR FULLY MAINTAINING ALL PLANTING, PLANTING AREAS AND TURF UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- 19. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- 20. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS
- ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 21. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. 22. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF DURANGO WATER CONSERVATION LANDSCAPING
- AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. 23. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- 24. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERUQE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
- 25. PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
- 26. SFBROWN GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.
- 27. IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.
- 28. RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO
- 29. POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE
- 30. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.
- 31. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 32. FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



A - ARIZONA ASH - CHRYSOTHAMUS NAUSEOSUS - 2" CALIPER @ 6" ABOVE GRADE C - CHAMISA - CHRYSOTHAMUS NAUSEOSUS - 5 GAL

SB - SPANISH BROOM - CYSTIUS PURGANS - 5 GAL

GRAVEL MULCH

NOTE: CLEAR SIGHT TRIANGLE SHALL BE MAINTAINED AT ALL EXITS OF PARKING AREA AND STREET INTERSECTIONS

MX-M ZONING

50,000 SF TOTAL SITE AREA: 12,238 SF BUILDING = 37,762 SF NET LOT AREA =

LANDSCAPING 37,762 X 0.15 = 5,664 SF REQUIRED =

LANDSCAPING PROVIDED = 3,251 SF

PARKING = 28,212 SF SIDEWALKS = 2,443 SF It is the cuents responsibility fror to or during construction to notify the architect in writing of any perceived errors or omssions in the plans and specifications of IN WAITING OF ANY PERCURUL BROWS OR CHASSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THRORUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONMELY BE AWARE, WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR CHASSIONS SHALL BE RECEIVED FROM THE ARCHTECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTORS PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR MAY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

NEW CONSTRUCTION FOR

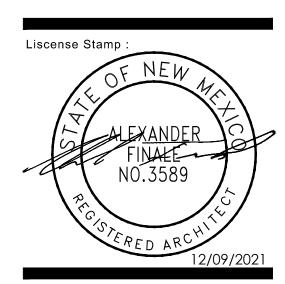
9101 CENTRAL **AVENUE NW**

ALBUQUERQUE **NEW MEXICO**





1020 123rd Avenue NE Lake Stevens, WA 98258 (206) 945-2588 alexfinale@msn.com



Alexander Finale Project Contact : 206-945-2588 E-Mail: alexfinale@msn.com Alexander Finale Principal In Charge: 003589 NM License No. 037793 NY License No. 025305 TX License No.

Sheet Title: landscaping Plan & Details

KEYED NOTES:

PLAN)

COUPLER

A. FINISH GRADE

E. LATERAL PIPE.

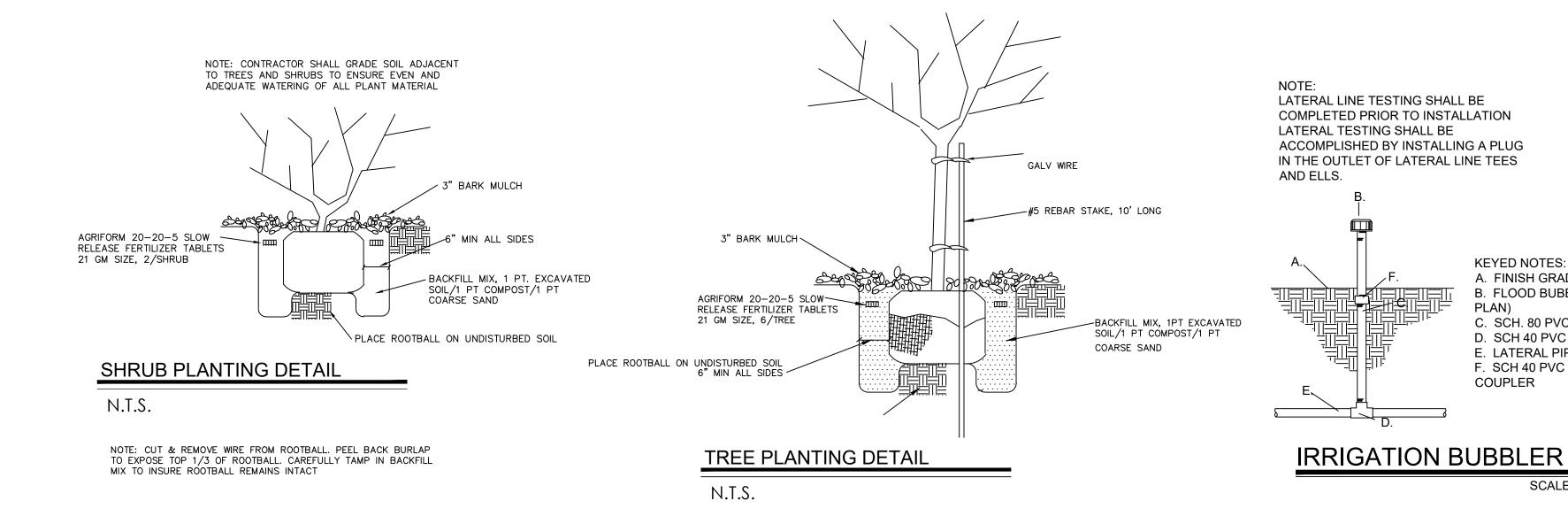
B. FLOOD BUBBLER (SEE

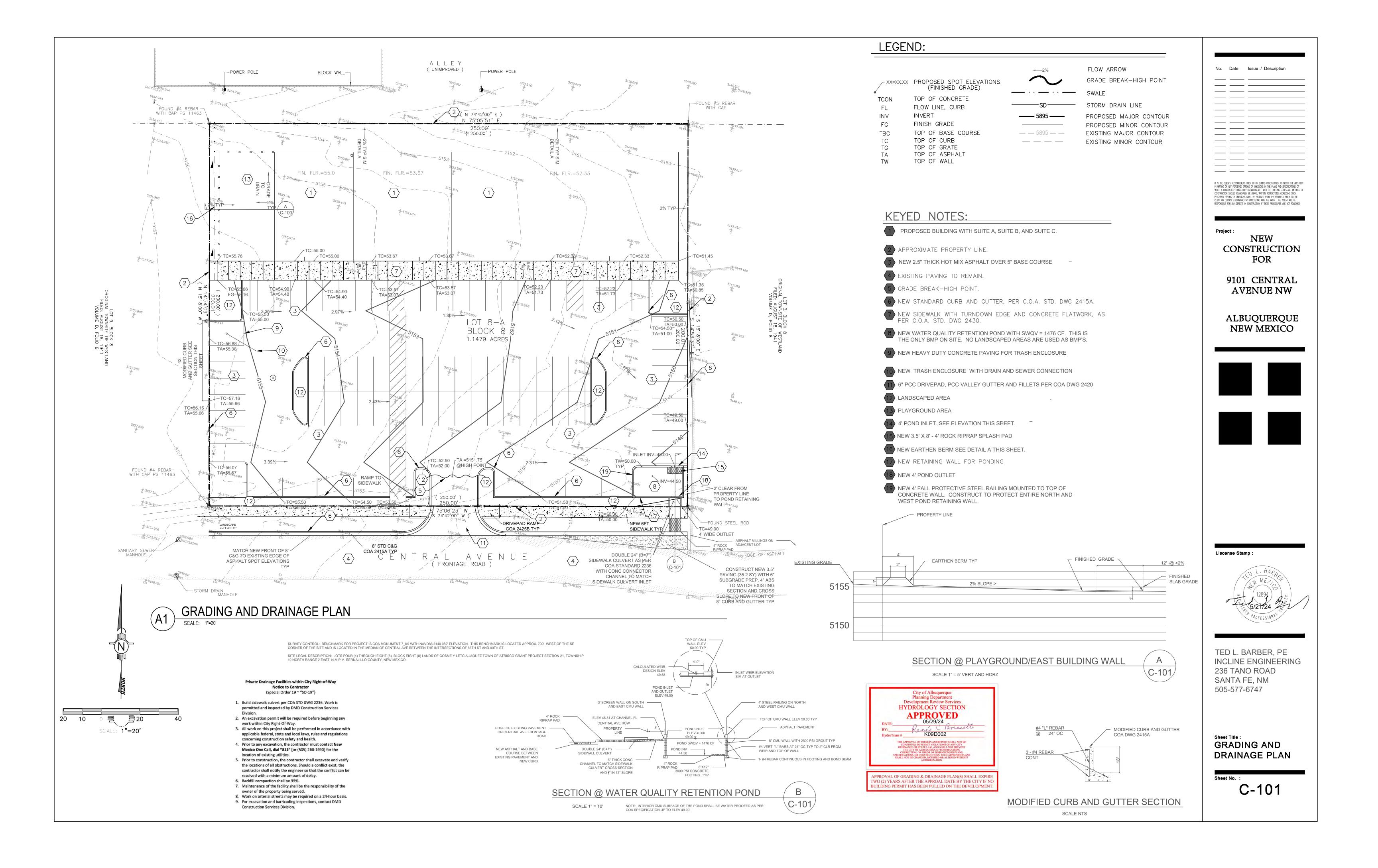
C. SCH. 80 PVC NIPPLE. D. SCH 40 PVC TEE.

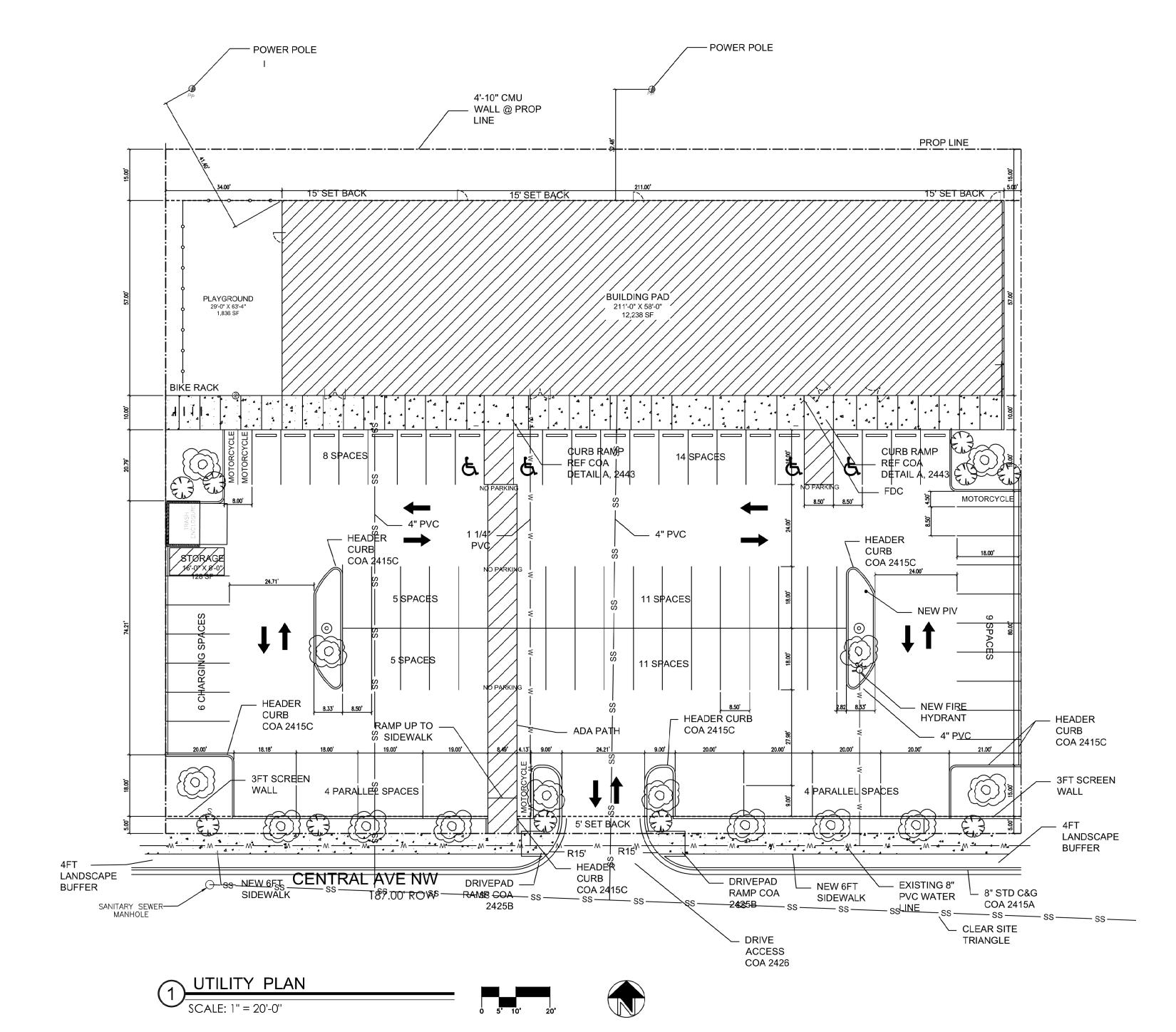
F. SCH 40 PVC THREADED

SCALE: NTS

L-100







GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION, AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

4. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK

WITHIN CITY RIGHT-OF-WAY. 5. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO

STANDARD SPECIFICATIONS SECTION 4.4. 6. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES, CONTRACTOR SHALL THEN EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL THEN COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED. ANY DAMAGE CAUSED BY FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY EXISTING UTILITIES IS THE FULL RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL

UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED. . CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED ON THE PLANS.

AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE. 10. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS

SHOWN. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING ANY SUCH COSTS

11. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

<u>TRANSPORTATION</u>

OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY. CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT

THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK. 4. CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE RVALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE

PAVEMENT SECTION CAN BE MODIFIED. 5. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES, FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.

6. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM. CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING # 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.

OTHER NOTES

1. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P. 2. WHEN DISTURBING MORE THAN ¾ ACRES, CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. IN ADVANCE OF CONSTRUCTION, CONTRACTOR SHALL DETERMINE IF OVERHEAD UTILITY

LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.

4. PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING, UNDERGROUND UTILITY LINES

WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS. CONTRACTOR IS TO SUPPORT, PROTECT, AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT

(IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTÍLITY OWNER. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY. 8. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE

9. ALL EXISTING SIGNS. MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR. 10. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE ARRANGED BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR COSTS

ASSOCIATED WITH OBTAINING A DISPOSAL SITE AND HAUL THERETO.

11. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT (505) 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC

PRESERVATION OFFICER (SHPO) AT 827-6320. 12. IF DISTURBING PCC PAVEMENT FOR ART LANES: CONTRACTOR SHALL CONTACT ABQ TRANSIT DEPARTMENT AT LEAST TWO WEEKS PRIOR TO DISTURBING THE PCC PAVEMENT ASSOCIATED WITH THE ART LANES. CONTACT INFO: ROLANDO SUAREZ, PH. 505.205.3444 (RSUAREZ@CABQ.GOV) OR SHAUN GIBSON, PH. 505.250.5269 (SGIBSON@CABQ.GOV).

WATER AND SEWER

1. ALL WORK REGARDING PUBLIC WATER AND PUBLIC SANITARY SEWER INFRASTRUCTURE DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL. EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, BE CONSTRUCTED IN ACCORDANCE WITH WATER AUTHORITY STANDARD SPECIFICATIONS. PLANS SHALL FOLLOW THE MOST CURRENT UPDATE WHICH CAN BE FOUND ONLINE AT http://www.abcwua.org/For_Builders.aspx

NOT USED ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE WATER AUTHORITY PRETREATMENT ENGINEER (pretreatment@abcwua.org or (505)289-3419) FOR INSPECTION TO ENSURE THE COMPLIANCE WITH THE INDUSTRIAL PRETREATMENT PROGRAM. METERED SERVICE AND INPLACE SEWER DISCHARGE PERMITS WILL BE ONLY BE ISSUED UPON APPROVED INSTALLATION OF THE REQUIREMENTS.

5. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE WATER AUTHORITY CROSS CONNECTION SECTION(backflow@abcwua.org or 505-289-3454) TO ENSURE THE PROPER IMPROVEMENTS ARE IN PLACE FOR THE TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE FOR THE WATER SYSTEM. 6. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE

APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.

7. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX 8. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6"-48"), SEE THE ABCWUA APPROVED PRODUCTS LIST (Approved-Products-List-April-2021-Signed.pdf (abowd.org)) FOR A COMPREHENSIVE LIST OF MATERIALS AND MANUFACTURERS. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE. 10. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING. EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET. WHERE STREET STATIONING SHALL GOVERN. 11. ALL PROPOSED SANITARY SEWER SLOPES SHALL BE VERIFIED DURING CONSTRUCTION TO

MEET THE APPROVED DESIGN. AS-BUILT SLOPES SHALL BE RECORDED FOR EACH LINE 12. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM

DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465. 13. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO THE ABCWUA

STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL INSTALL A 4"X 4"X5" POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE. 14. TRACER WIRE, INCLUDING TEST STATIONS SHALL BE INCLUDED FOR ALL PUBLIC WATER, SEWER MAINS AND WATER SERVICES IN ACCORDANCE WITH WATER AUTHORITY DETAILS DWG 2190 AND DWG 2191.

15. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDROSTATIC TEST PLANS CONFORMING WITH AWWA C600 TO THE WUA INSPECTORS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS. DISINFECTION AND VERIFICATION TEST PLAN CONFORMING WITH AWWA 651 WILL BE REQUIRED CONCURRENTLY. 16. AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN

PIPE OR STRUCTURE 17. ALL DESIGNS AND CONSTRUCTION OF ANY UNDERGROUND UTILITIES SHALL COMPLY WITH ADMINISTRATIVE INSTRUCTION NO. 9 FOR WORK NEARBY OR AFFECTING SAN JUAN CHAMA TRANSMISSION LINES AND APPURTENANCES. INFORMATION SHALL BE PROVIDED TO THE WATER AUTHORITY ONE (1) MONTH IN ADVANCE OF THE CONSTRUCTION START DATE.

FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM

INFORMATION CAN BE FOUND AT HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX 18. ALL WATER AND SANITARY SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED UTILIZING MATERIALS LISTED IN THE APPROVED PRODUCTS LIST AND BE CONSTRUCTED PER THE MOST CURRENT WATER AUTHORITY STANDARD DETAILS AND SPECIFICATIONS. MATERIAL SUBMITTALS SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR THE WATER AUTHORITY ENGINEER TO REVIEW PRIOR TO THE START OF CONSTRUCTION. INFORMATION CAN BE FOUND

AT HTTP://WWW.ABCWUA.ORG/FOR_BUILDERS.ASPX 19. CONTRACTOR SHALL COMPLY WITH NEW MEXICO ONE-CALL LAW. IF AN UNDERGROUND FACILITY IS DAMAGED DURING CONSTRUCTION, STOP CONSTRUCTION, CALL 911 (IF APPROPRIATE), NOTIFY THE UNDERGROUND FACILITY OPERATOR (UFO) IMMEDIATELY, AND CALL 811 TO REPORT THE DAMAGE. DAMAGE MAY INCLUDE NICKS, DENTS, GOUGES, CUTS, SCRAPES OR SCRATCHES TO THE COATING, INSULATING JACKET, OR TRACER WIRE. FOR ABCWUA WATER AND SANITARY SEWER INFRASTRUCTURE, ALL EMERGENCY RESPONSES ARE INITIATED BY A CALL TO DISPATCH AT 842-9287. NOTE THAT THERE ARE SPECIFIC RESPONSE AND DOCUMENTATION REQUIREMENTS SHOULD A SANITARY SEWER FACILITY BE DAMAGED THAT RESULTS IN A SANITARY SEWER OVERFLOW (SSO). 20. ALL WORK PERFORMED ON PRIVATELY OWNED SEWER LINE AND SERVICE LINES MUST BE

INSPECTED BY THE CITY OF ALBUQUERQUE'S CODE ADMINISTRATION DIVISION OR BERNALILLO CODE ADMINISTRATION. IN ORDER THAT INSPECTION BY THE CITY PLANNING DEPARTMENT, CODE ADMINISTRATION DIVISION, PLUMBING SECTION CAN BE EFFICIENTLY HANDLED, WITH A MINIMUM LOSS OF TIME TO CONTRACTOR, THE FOLLOWING SHALL BE NOTED: INSPECTION ARRANGEMENTS FOR A SEWER SERVICE LINE SHALL BE MADE BY TH CONTRACTOR CALLING THE CITY OF ALBUQUERQUE, CODE ADMINISTRATION DIVISION, PLUMBING SECTION. INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 8:00 A.M. AND 12:00 NOON WILL BE INSPECTED THE SAME AFTERNOON. INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 1:00 P.M. AND 5:00 P.M. WILL BE INSPECTED THE FOLLOWING MORNING, EXCEPT IN CASES OF EMERGENCY.

NATURAL GAS, TELEPHONE/INTERNET, AND ELECTRIC UTILITIES

NATURAL GAS, TELEPHONE/INTERNET, AND ELECTRIC SERVICE TO THE NEW FACILITY SHALL BE RUN IN A COMMON TRENCH WITHIN THE PROPERTY LIMITS IN A TRENCH AS APPROPRIATE AND APPROVED BY THE UTILITY. CONNECTIONS TO UTILITIES ON CENTRAL AVE FRONTAGE ROAD SHALL BE CONSTRUCTED FOR THESE UTILITIES. ANY PERMITTING FOR THIS CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

It is the clients responsibility pror to or during construction to notify the architect in writing of any perceived errors or omssions in the plans and specifications of Construction should reasonably be aware. Written instructions addressing such PERCEIVED EFRORS OR OMSSIONS SHALL BE RECEIVED FROM THE ARCHTECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTORS PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

Project

NEW CONSTRUCTION FOR

9101 CENTRAL AVENUE NW

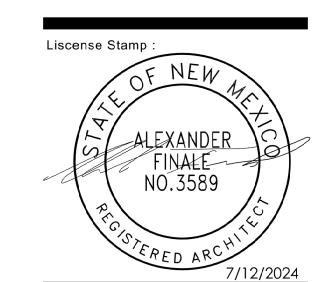
ALBUQUERQUE NEW MEXICO





1020 123rd Avenue NE Lake Stevens, WA 98258 (206) 945-2588 alexfinale@msn.com

ARCHITECT



206-945-2588 Fax E-Mail alexfinale@msn.com

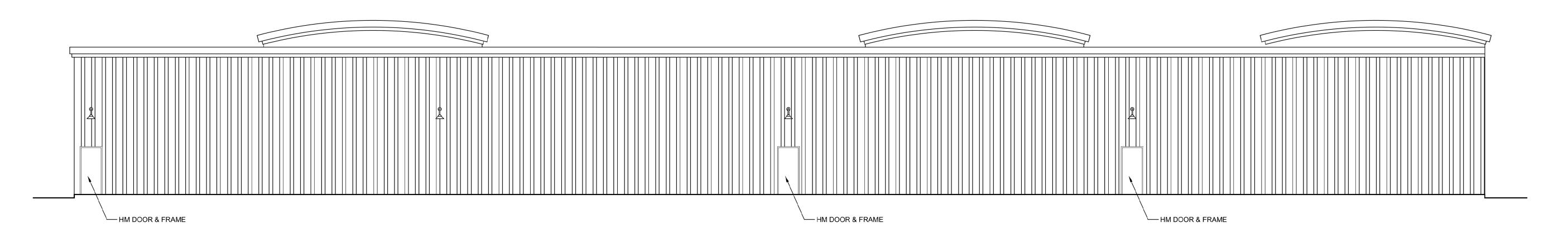
Alexander Finale

Alexander Finale Principal In Charge: NM License No. 003589 037793 NY License No. 025305 TX License No.

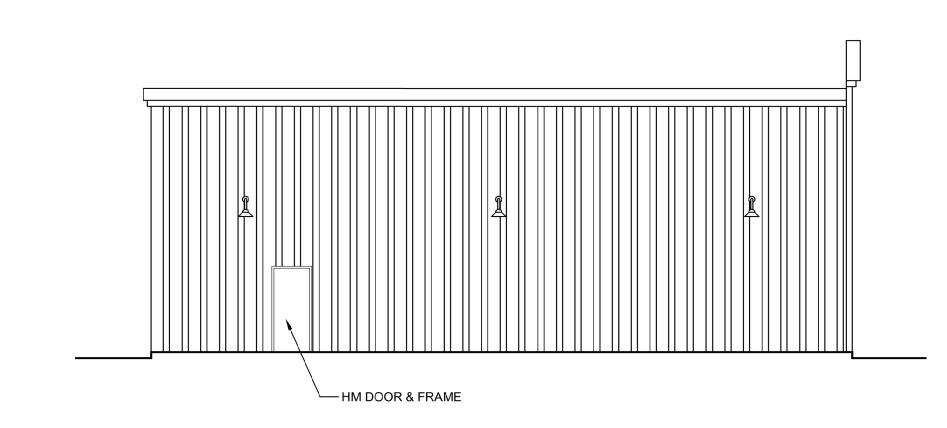
> Sheet Title: **Utility Plan**

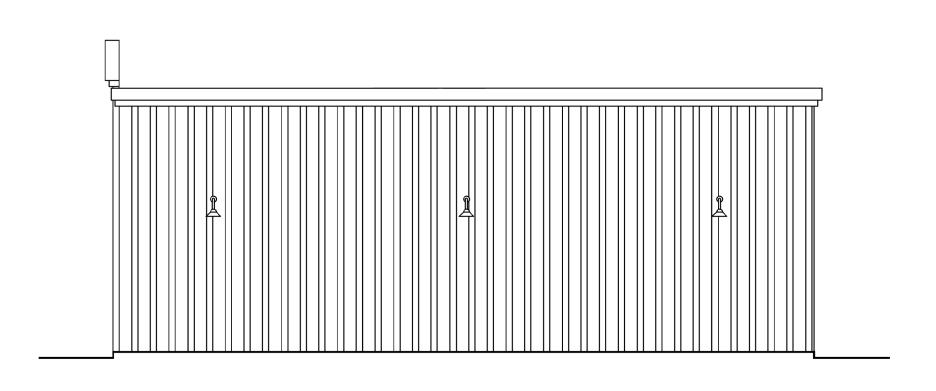
Project Contact

Sheet No. :



WEST ELEVATION SCALE: 1/8" = 1'-0"

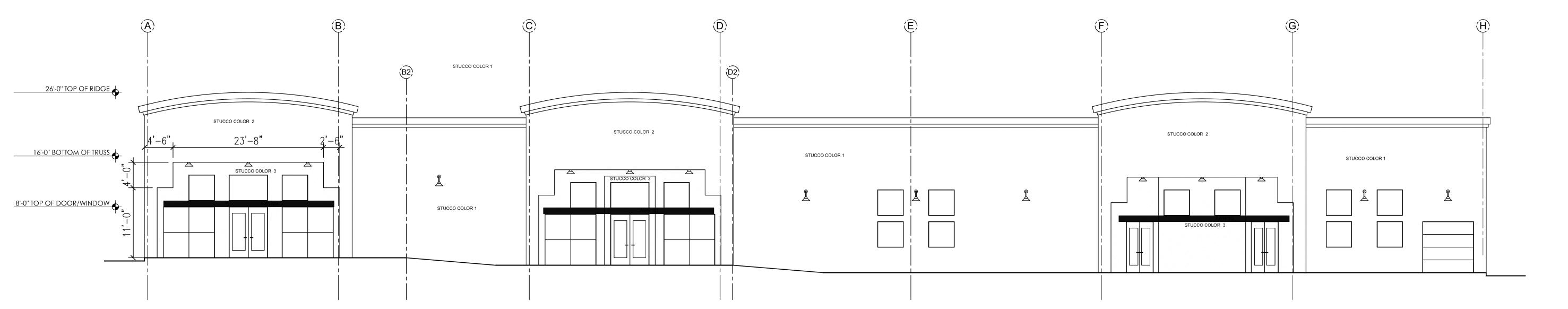




2 WEST ELEVATION

SCALE: 1/8" = 1'-0"

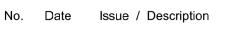




30UTH ELEVATION

SCALE: 1/8" = 1'-0"





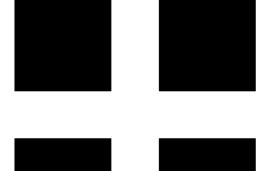
It is the cuents responsibility prior to or during construction to notify the architect in writing of any percencil errors or caissions in the plans and specifications of which a contractor thoroughly knowledgeale with the bulding codes and weihods of construction should reasonably ee aware, written instructions addressing such perceived berofs or conssons shall be received from the architect fror to the cuent or cuents subcontractors proceding with the work. The cuent will be responsible for any defects in construction if these procedures are not followed

Droinat

NEW CONSTRUCTION FOR

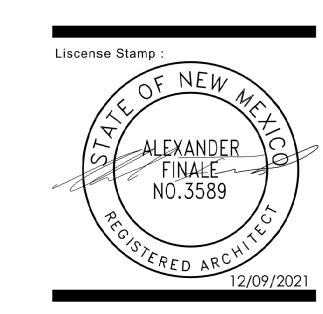
9101 CENTRAL AVENUE NW

ALBUQUERQUE New Mexico





1020 123rd Avenue NE Lake Stevens, WA 98258 (206) 945-2588 alexfinale@msn.com



Project Contact: Alexander Finale

Phone: 206-945-2588

Fax:

E-Mail: alexfinale@msn.com

Principal In Charge: Alexander Fina

Principal In Charge: Alexander Finale

NM License No.: 003589

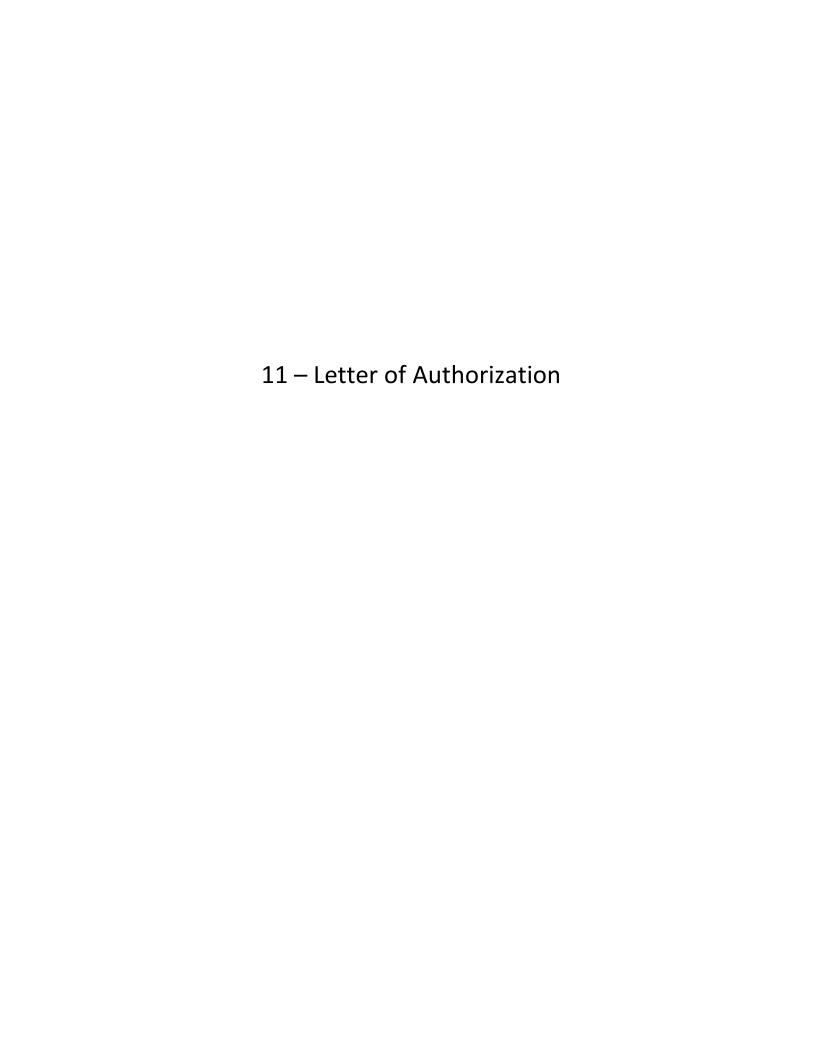
NY License No.: 037793

TX License No. :
Sheet Title :

Exterior Elevations

Sheet No

A-202



Please find this letter as authorization for Ted L. Barber, PE, of Incline Engineering, to act on behalf of ourselves, Cosme Jaquez and Leticia Jaquez, to obtain approval of the City of Albuquerque Development. Facilitation Team (DFT) application and related documents for 9101 Central Ave NW - Daycare & Event Center 9101 Central Ave NW commercial development.

Thank you,

Respectfully,

Cosme Jaquez

Leticia Jaquez

12 – Justification Letter – IDO Section 16-6-5(5)(3)

July 22, 2024

Jolene Wolfley, Chair Development Review Board City of Albuquerque PO Box 1293 Albuquerque, NM 87103

RE: 9101 Central Ave NW, Site Development Plan for Building Permit

Dear Chairperson Wolfley:

Ted Barber, agent for Cosme Jaquez requests approval of a Major Amendment to Site Plan DFT for the above referenced site.

Site location and history

The project site is located on the north side of a frontage road to Central Ave between 90th St and 94th St. The site is bordered on the north by the undeveloped land. All adjoining properties are zoned NR-BP. This site is vacant land and has had no development in the past.

Site Orientation and Pedestrian Circulation

The front of the building faces Central Ave. Pedestrian accessibility will be available to all adjacent public streets. Vehicular access to the site will be from the frontage road south of the site.

Traffic Impact and On-Site Parking

The proposed site plan meets the parking required for the proposed structure by combining the existing on-site parking with existing leased parking to the south. Handicap parking and motorcycle parking are provided in accordance with the IDO requirements.

Drainage and Landscaping

The existing topography is relatively flat and no significant new drainage is required as part of this project. This project will provide curb, gutter and sidewalk to an otherwise undeveloped street frontage.

Only native grasses and small native bushes exist on site. The plan is land scape the proposed building site with various trees and rock mulch.

Elevations

The proposed building elevations are to have a stucco finish. The maximum height of the proposed structure is 26'.

Neighborhood Meeting

An invitation to the meeting sent in 2022 and one invitee declined the meeting via email. There were no attendees other than the Agent/Project Architect at the proposed 2022 meeting. See the attached public notice posting.

Also, the Office of Neighborhood Coordination indicated in a May 24, 2024 email that "there are **NO** neighborhood associations to notify".

Summary

We are requesting approval of the proposed Major Amendment to Site Plan DRB. The proposed project furthers numerous policies of applicable plans and provides for an increase in services and employment opportunities for area residents. The proposed changes comply with the IDO if it were applied to this site. The proposed plan amendment promotes the efficient use of public facilities by providing services within the city's core and does not require expansion of public utilities and infrastructure. The plan amendment promotes health, safety and general welfare by redeveloping a structure that was vacant for years into a vibrant community space that promotes the arts.

If you have any questions or need additional information regarding this project, please do not hesitate to contact me.

Respectfully,

Ted L. Barber, PE 505-577-6747

PUBLIC NOTICE DOCUMENTATION

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4.	TIME				
Signs mus	t be post	ed from	To		
5. REMOVAL					
	A. B.	<u> </u>	noved before the initial heari oved within five (5) days afte	•	
				ont Counter Staff. I understand be located. I am being given a c	
		ed L. Barber	(Applicant or Agent)	8/13/24 (Date)	
I issued	sign	s for this application, $\ \ _$	(Date)	(Staff Member)	
		PROJEC	T NUMBER:		

FW: 9101 Central Ave NW_Public Notice Inquiry Sheet Submission

Office of Neighborhood Coordination <onc@cabq.gov>

Tue 8/13/2024 12:07 PM

To:'inclineengineering@gmail.com' <inclineengineering@gmail.com>

Dear Applicant:

As of August 13, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: https://www.cabq.gov/planning/online-planning-permitting-applications with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque (505) 768-3334 Office

E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

From: Ted Barber <inclineengineering@gmail.com>

Sent: Tuesday, August 13, 2024 11:56 AM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Re: 9101 Central Ave NW Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Suzie.

I need this updated since it has been a long time since you checked on this for me. Please see the email below.

Ted L. Barber 505-577-6747

From: Office of Neighborhood Coordination < onc@cabq.gov>

Sent: Wednesday, May 22, 2024 4:32 PM

To: <u>inclineengineering@gmail.com</u> < <u>inclineengineering@gmail.com</u> > **Subject:** 9101 Central Ave NW_Public Notice Inquiry Sheet Submission

Dear Applicant:

As of May 22, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this email from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: https://www.cabq.gov/planning/online-planning-permitting-applications with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque (505) 768-3334 Office

E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov < webmaster@cabq.gov >

Sent: Wednesday, May 22, 2024 11:43 AM

To: Office of Neighborhood Coordination < inclineengineering@gmail.com >

Cc: Office of Neighborhood Coordination < onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabg.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Development Hearing Officer

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Ted L Barber

Telephone Number

```
5055776747
Email Address
        inclineengineering@gmail.com
Company Name
        Incline Engineering
Company Address
        236 Tano Road
City
        Santa Fe
State
        NM
ZIP
        87506
Legal description of the subject site for this project:
        Lot 8-A Block 8 LANDS OF COSME. Y LETICIA JAQUEZ
Physical address of subject site:
        9101 Central Ave NW
Subject site cross streets:
        90th Street and 94th Street
Other subject site identifiers:
This site is located on the following zone atlas page:
        K-09-Z
Captcha
```

X