



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2019-002765

Application No. SD-2020-00218 / VA-2021-00010

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 04/07/2021 HEARING DATE OF DEFERRAL: \_\_\_\_\_

**SUBMITTAL**

**DESCRIPTION:** Plat and Infrastructure List for Subdivision Plat fo Lots 8 and 9 of Coors Pavilion has been updated

to include new easements and features per the Water Availablity Statement #210202. Filing information for easement 16

was input. Comments per the February 3rd hearing have been addressed.

CONTACT NAME: Ryan Mulhall CSI - Cartesian Surveys, Inc.

TELEPHONE: 896-3050 EMAIL: cartesianryan@gmail.com

**CSI-Cartesian Surveys Inc.**  
PO Box 44414, Rio Rancho, NM 87174  
896-3050 Fax 891-0244

April 2, 2021  
Development Review Board  
City of Albuquerque

**Re: Proposed Lots 8-A, 8-B, 8-C, 9-A, 9-B and 9-C, Coors Pavilion**

Members of the Board:

Cartesian Surveys is acting as an agent for the owner, Red Shamrock 4, LLC and requests a review of our supplemented final plat to subdivide two (2) existing Lots and create six (6) new lots. We are addressing the final plat comments from the 3<sup>rd</sup> of February 2021 by providing the updated plat, which continues to match the EPC approved site plan and wish to have the sidewalk waiver associated with this project ignored for now. Sidewalk easements have been revised and are returned onto the associated infrastructure list.

The project has received an AA approved site plan, an approved grading and drainage plan, and new to this submission an water Availability Statement 210202. The site is located at St. Josephs Dr. N.W. between Atrisco Dr. N.W. and Coors Blvd. N.W.

Comments from the final plat hearing on February 3<sup>rd</sup>, 2021 for project [2019-002765] are addressed below:

**ABCWUA**

1. **VA-2021-00010 – SIDEWALK WAIVER**
  - a. No objection.

Noted, no longer a part of this supplement

2. **SD-2020-00218 – PRELIMINARY/FINAL PLAT**
  - a. An availability statement is required prior to approval.

Noted, Availability Statement 210202 is provided with this supplement.

- b. PREVIOUS COMMENT: Currently, there is an effort to vacate an existing private sanitary sewer easement along existing Lots 1, 2, 3, 4, 5, 6 and 9. The intent is to replace this with a public sanitary sewer easement as the sanitary sewer will be public. The applicant is working on a paper document for the vacation of the private sanitary sewer easement and a paper document for the public sanitary sewer easement. Those two documents affect existing Lot 9, and therefore proposed Lot 9-A and Lot 9-B. Both the vacation document and paper

easement document need to be recorded and referenced on this plat prior to approval.

Noted, the easement vacation and granting documents have been filed and their information is reflected on the easement notes of the plat.

- c. Public waterline and sanitary sewer extensions will be required to prevent proposed Lot 8-A from being landlocked. Infrastructure requirements will be identified in the availability statement and shall be included on the infrastructure list.

Noted, Lot 8-A is provided water and SAS services by the easements discussed below.

- d. PREVIOUS COMMENT: The description of the proposed waterline on the infrastructure list indicates an alignment along the north side of proposed Lot 8-A and the southeast corner of proposed Lot 9-A, whereas the proposed easement #13 continues south along the shared property line of proposed Lot 8-A and Lot 8-B to the St. Josephs Dr. right-of-way.

Noted, the infrastructure list has been revised to address the new alignments of easements.

- e. Proposed Lot 9-A
  - i. Has access to existing public waterline that is onsite and located near the northeast corner of the property.
  - ii. Access to public sanitary sewer will be provided with the conversion of the existing sanitary sewer to public as a portion of this sanitary sewer is on this proposed property.

Noted

- f. Proposed Lot 9-B
  - i. Has access to existing public waterline onsite.
  - ii. Access to public sanitary sewer will be provided with the conversion of the existing sanitary sewer to public as a portion of this sanitary sewer is on this proposed property.

Noted, SAS conversion to public easement has been accomplished.

- g. Proposed Lot 9-C
  - i. Has access to existing public waterline onsite.
  - ii. Given that the public sanitary sewer easement that will be granted via paper document will be offset from the subject property, a private sanitary sewer easement will be required to access this public sanitary sewer easement. This is required prior to plat approval.
    - 1. The applicant indicates that the CCRs include language that allows properties to have private

- sanitary sewer services installed without a formal easement. This language shall be included on the plat.
- iii. Access to a public sanitary sewer may also be provided with the extension of a public sanitary sewer (east/west) along its southern property line.

Noted, Lot 9-C will be provided with sewer by a private sanitary sewer easement 22 as shown on the revised plat.

- h. Proposed Lot 8-A
  - i. Will not have access to public waterline. A public waterline extension is required.
  - ii. Will not have access to a public sanitary sewer line. A public sanitary sewer extension is required.

Noted, water can be provided by easement 9 and loop from easements 13 and 21, as indicated by infrastructure list. Sewer will be provided by Easement 13.

- i. Proposed Lot 8-B  
Has access to existing public waterline onsite.

Given that the public sanitary sewer easement that will be granted via paper document will be offset from the subject property, a private sanitary sewer easement will be required to access this public sanitary sewer easement. This is required prior to plat approval.

The applicant indicates that the CCRs include language that allows properties to have private sanitary sewer services installed without a formal easement. This language shall be included on the plat.

- iii. Access to a public sanitary sewer may also be provided with the extension of a public sanitary sewer along its southern and western property lines.

Noted, sewer shall be provided along easement 13 from Saint Joseph's Drive or along easement 19.

- j. If Easement #13 is to be for a public waterline and sanitary sewer, there will need to be additional offsite public sanitary sewer for this easement to connect to the public sanitary sewer that will be granted for the converted public sanitary sewer. There is a gap between the east property line of proposed Lot 9-C and the public sanitary sewer easement associated with the converted public sanitary sewer.
  - i. Response to comments referred to Detail B on Sheet 2. This detail shows easement #13 as the same width of easement #16. The dimension shows easement #13 having a width of 30', whereas the keyed note for easement #16 indicates a width of 20'. Please confirm.

Labels have been added to the detail on Sheet 2, which confirms the easement 16 matches the easement 13 width of 30 foot as labeled, where it serves to bridge easement 16 to 13. The easement not indicating easement 16 is 20 feet has been removed to avoid this confusion.

### **Code Enforcement**

**CE reviewed this project and has no objections or comments.**

Noted

### **Hydrology Section**

Hydrology has an approved Amended Master Drainage Plan with engineering stamp date 12/21/20 (G11D069).

Noted

Hydrology defers to Transportation on the sidewalk waiver.

Not a part of this supplement

Hydrology has no objection to the platting action.

Noted

### **Parks and Recreation Department**

No comments after previous reviews. No objection to request.

Noted

## **Transportation Department**

As stated in the "Major Amendment to the Site Plan", once uses are determined, a trip generation rate will be needed to make sure that overall trip generation rate does not exceed more than 10% of the original trip generation rate in the original Traffic Impact Study.

Noted

Sidewalk widths on infrastructure list should match what is shown on the plat. The plat shows 5 feet wide and the infrastructure list shows 6 feet wide.

Sidewalk on plat is now shown as a typical 5 feet unless dimensioned otherwise.

Provide sidewalk connection to right-of-way along St. Joseph's along Tract 8-A. ( A possible waiver was discussed for this based on site plan being unknown, but the sidewalk waiver request was for all of Lots 8 and 9. A waiver cannot be approved for all of the lots. Sidewalk is needed for continuity, expected pedestrian volume, and based on proposed uses of the property.)

Easement 17 for the sidewalk and the associated items in the infrastructure list now provide this connectivity.

## **Planning Department**

The subject is within the boundaries of Character Protection Overlay Zone 2- Coors Corridor

Noted

Future development must comply with the underlying zoning and the approved Site Development Plan for Subdivision

Noted

Plat requires property owner signature and all utilities

Noted

Utility and AMAFCA signatures must be obtained prior to DRB member distribution of the Plat for e-signatures

Noted

The DXF file approval email from AGIS needs to be sent to staff prior to final sign off

Noted

The infrastructure list is included

Noted, new infrastructure list is attached and was revised to reflect the provided water and sewer availability statement.

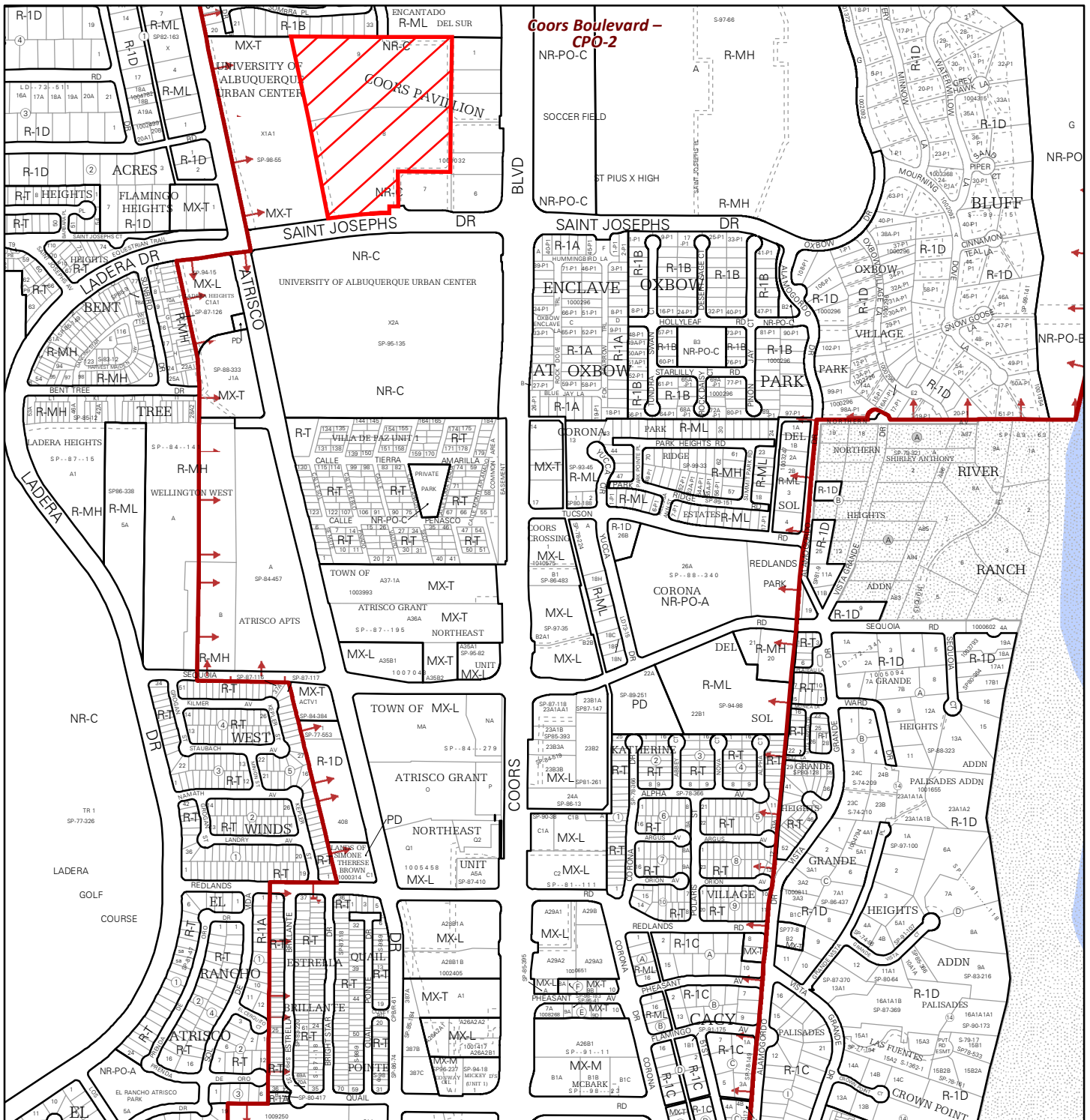
The latest Plat submittal does not feature the City Surveyor's signature (The previous version of the Plat does have the City Surveyor's signature, however). The City Surveyor's signature must be obtained on the Plat prior to DRB approval.

Noted, city surveyor has re-signed the plat.

The latest Plat submittal does not feature the Owner's signature (the previous version of the Plat does have the Owner's signature, however). The Owner's signature must be obtained on the Plat prior to DRB approval.

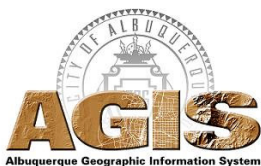
Noted, owner signature is provided on this plat supplement.

Thank you for your time and consideration.  
Ryan J. Mulhall

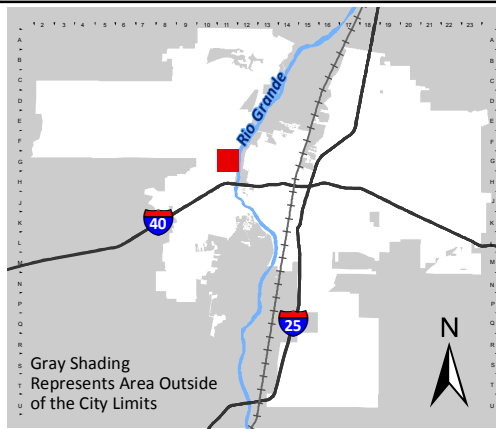


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

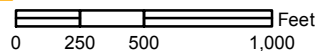


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



## Zone Atlas Page: G-11-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone







City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103  
**Planning Department**  
Deborah Stover, Director

**Richard J. Berry, Mayor**  
June 13, 2012

**Robert J. Perry, CAO**

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**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation**

**Project Number(s):** Oxbow Apartments  
**Case Number(s):**  
**Agent:**  
**Applicant:** DBG Properties LLC  
**Legal Description:** Parcel H, Oxbow Town Center  
**Zoning:** SU-3 and C-2 uses; zone change request to R-3 for multifamily housing.  
**Acreage:** 15.23 acres  
**Zone Atlas Page:** G-11

**CERTIFICATE OF NO EFFECT: Yes  No**

**CERTIFICATE OF APPROVAL: Yes  No**

**TREATMENT PLAN REVIEW:**

**DISCOVERY:**

**SUPPORTING DOCUMENTATION:**

**An Archaeological Survey of the Oxbow Town Center, 21 Acres on Albuquerque's West Side, Bernalillo County NM by Matthew J. Barbour (NMCRIS #124125, Office of Archaeological Studies MNM/DCA; Robert Dello-Russo P.I.)**

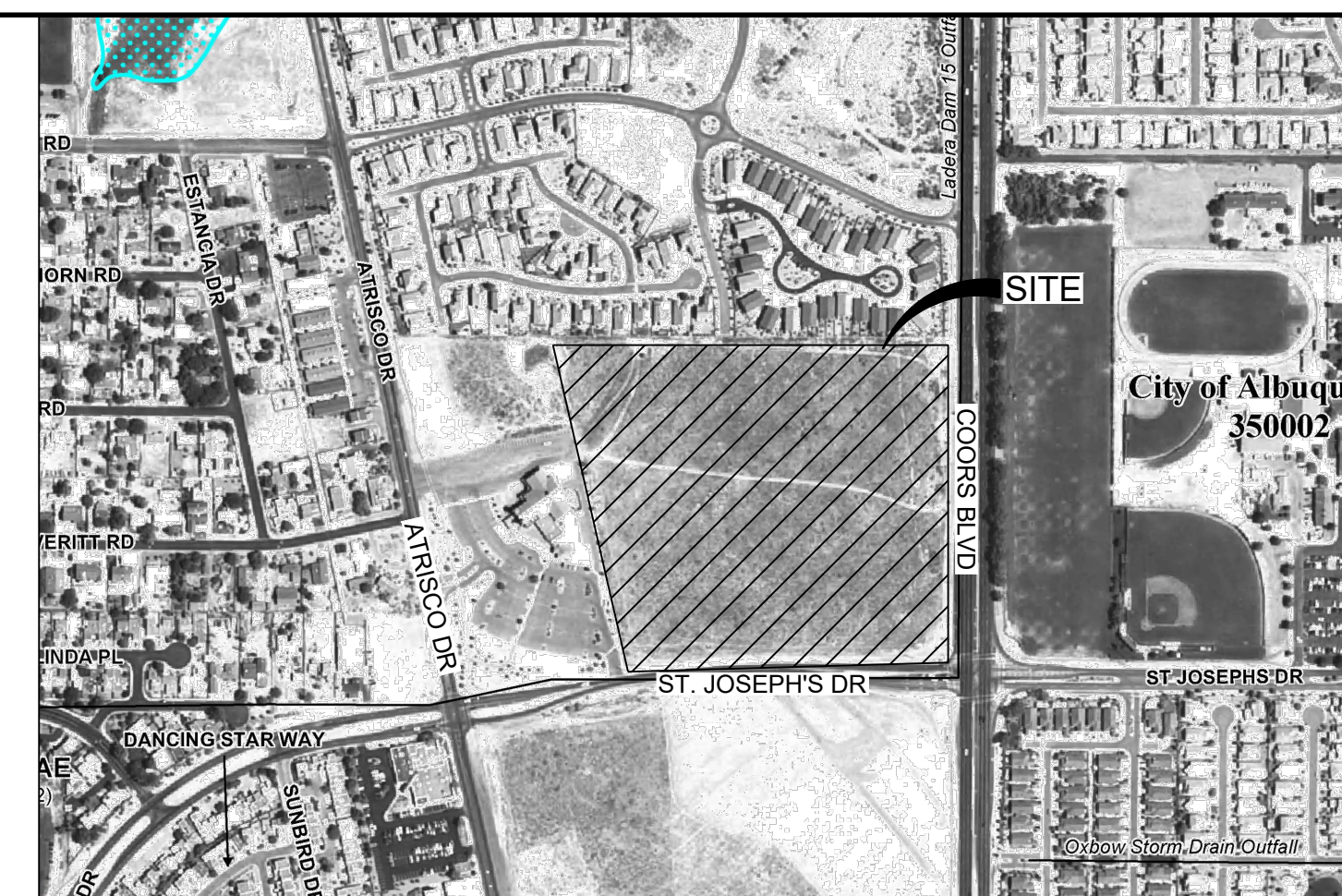
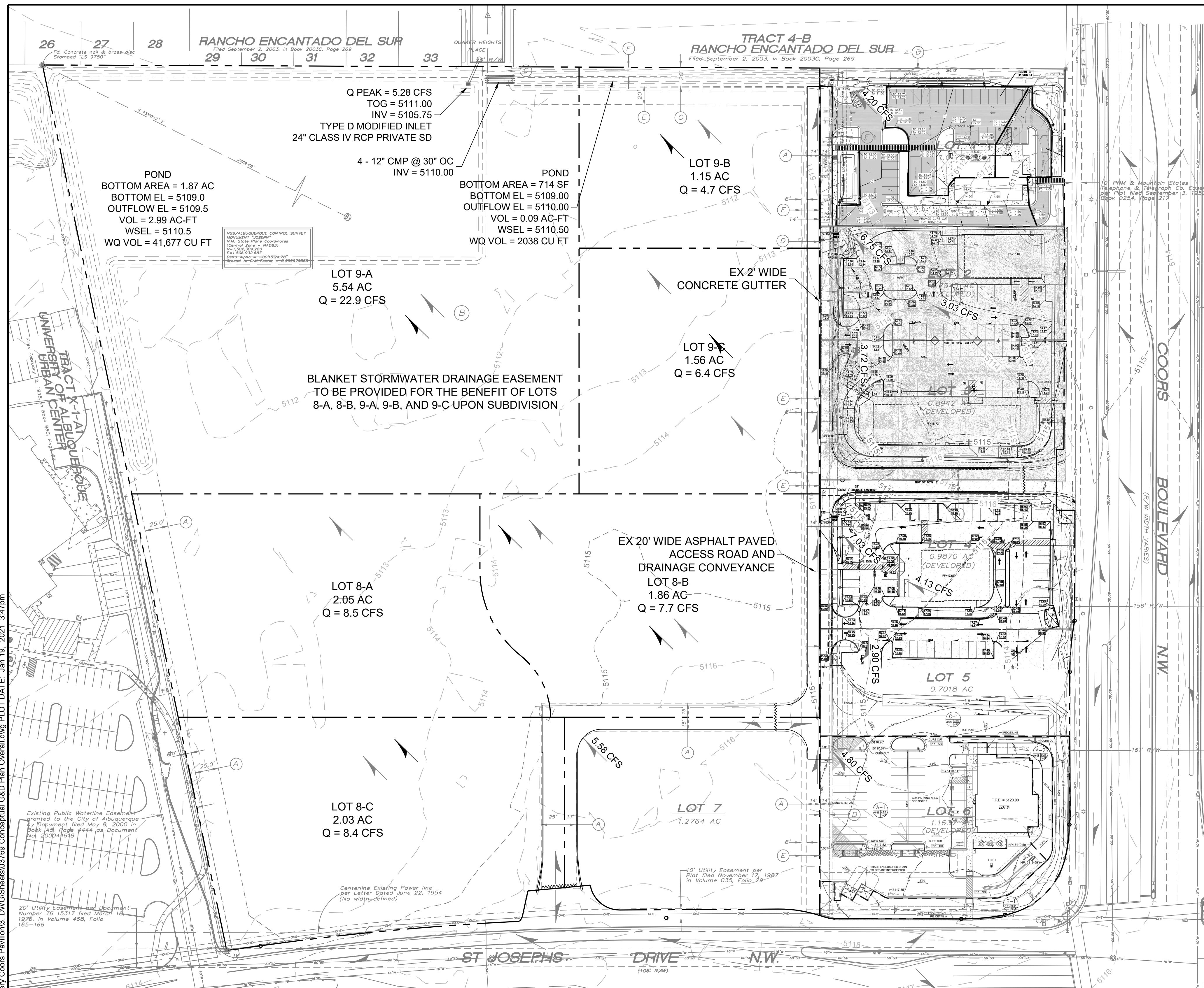
**SITE VISIT: n/a**

**RECOMMENDATION(S):**

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)***

**SUBMITTED:**

Matthew Schmader, PhD  
Superintendent, Open Space Division  
City Archaeologist



SCALE: NTS LOCATION MAP ZONE ATLAS MAP G-11-Z FEMA FIRM NUMBER 35001C0114H

**DRAINAGE SUMMARY**

**Background**  
The subject area contains Lots 8 and 9 (approximately 14.2 acres) of the approximately 21-acre Coors Pavilion, containing Lots 1-9 (being a replat of Tract X-1-A2, University of Albuquerque Urban Center). The site is located at the northwest corner of Coors Blvd. and St. Joseph's Dr. In general, the site surface drains via sheet flow from southeast to northwest. A Master Drainage Plan created by GND, LLC (2017) and approved by the City of Albuquerque encompasses the drainage requirements for Lots 1 through 9. The Master Drainage Plan allows for free discharge from the lots upon development and first flush water quality ponding is provided within the pond on Lot 9. However, each lot is encouraged to provide additional water quality ponding where possible. Calculations for the existing detention and water quality pond can be found in the Master Drainage Plan.

**Methodology**  
The referenced Master Drainage Plan provides analysis and calculations for the development of this site. The development assumptions and criteria including land treatment types and impervious areas are followed to ensure the calculations from the Master Drainage Plan are accurate with the proposed development and any water quality retention volumes are identical or greater than the Master Drainage Plan.

**Existing Conditions**  
Coors Boulevard contains a high point adjacent to Lot 5, which divides stormwater flows north and south along the road. St. Joseph's Drive contains a high point adjacent to Lot 7. Stormwater flows are diverted east and west of this high point. A church has been developed on the lot west of Coors Pavilion (Tract X-1-A1 Plat of Tracts X-1-A1 & X-1-A2 University of Albuquerque Urban Center). This site contains a detention pond at the northeast corner of the site. Stormwater flows are detained to historic conditions and discharged to the detention pond on Lot 9.

Lot 1 is undeveloped and discharges stormwater runoff as specified in the existing conditions of the Drainage Master Plan. It is in the process of being developed and future stormwater runoff will discharge per the approved "Blake's Lotaburger #75 Grading & Drainage Plan" (Hydrology #G11D069D).

Lots 2 and 3 are developed commercial uses with asphalt paved parking lots. The drainage characteristics for these lots are per the approved "Lots 2 & 3 Grading & Drainage Plan" (Hydrology #G11D069A). Lot 3 does not drain directly to the access road and instead surface drains to the northwest corner of Lot 2.

Lot 4 is a developed commercial use with asphalt paved parking lot. The drainage characteristics for this lot is per the approved "Lots 4 Grading & Drainage Plan" (Hydrology #G11D069B). The stormwater drainage discharges at the northwest corner of the lot to the access road.

Lot 5 is partially developed in support of the development of Lot 4. The stormwater drainage is conveyed to the corner of Lot 4 per the approved grading and drainage plan for Lot 4.

Lot 6 is in the process of being developed as a commercial use. The drainage characteristics for this lot is per the approved "Lot 6 Grading and Drainage Plan" (Hydrology #G11D069C).

Lot 7 is undeveloped and discharges stormwater runoff as specified in the Drainage Master Plan.

Lots 8 and 9 are undeveloped with moderately vegetated surfaces and sheet flow generally to the northwest. A stormwater drainage blanket easement exists over Lot 9 for the drainage of Lots 1-9.

The access road west of Lots 1-6 conveys the flows to a rip-rap lined swale along the northern property line. This swale then conveys the flows to the detention pond where the inlet discharges the stormwater into the storm drain to the north per the Drainage Master Plan.

**Proposed Conditions**  
Lots 8 and 9 are proposed to be subdivided into Lots 8-A, 8-B, 8-C, 9-A, 9-B, and 9-C. The existing stormwater drainage blanket easement will be applied to each lot upon subdivision. No change in drainage characteristics will occur at the time of subdivision. Upon development of these new lots, stormwater runoff can be conveyed to the existing detention pond at the northwest via the existing blanket drainage easement on Lot 9. Temporary erosion and sediment control measures shall be established so as to reduce the encumbrance on the undeveloped lots as much as possible due to clean water from developed impervious surfaces. The assumptions and conditions established by the Drainage Master Plan shall be followed upon each lot development including land treatment type for developed conditions. No changes to the existing detention pond are proposed at this time. The current AHYMO model and calculations executed for the Master Drainage Plan continue to apply. Should pond modifications be required in the future, the pond AHYMO model and pertinent hydrological calculations shall be updated.

Additionally, the access road east of Lots 8 and 9 appears to have additional capacity to convey stormwater if needed. Newly develop lots may discharge stormwater to this road provided the lot's drainage plan proves sufficient capacity in the roadway. This may be done to reduce the potential erosion on other lots or if discharging to this road is more efficient for the development.

Although the existing detention pond includes water quality treatment for the site's development per the Master Drainage Plan, best management practices shall be implemented on the lots to further decrease the site's developmental impact. These BMP's can be applied in the form of smaller, first flush water quality ponds depressed in the median landscaping throughout the lots.

**LEGEND**

- 5115 EX CONTOUR MAJOR
- 5116 EX CONTOUR MINOR
- EX FLOW ARROW
- PROP FLOW ARROW
- HIGH POINT GRADE BREAK

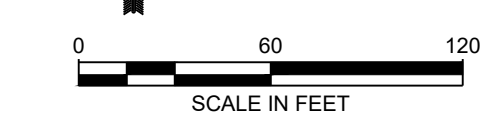
**KEYED EASEMENT NOTES**

- (A) = Private Access and Surface Drainage Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easements shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (B) = Private Blanket Drainage Easement across Lot 9 granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (C) = Private Drainage Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (D) = 10' Public Utility Easement granted by this Plat.
- (E) = 20' Public Water Easement granted to ABCWUA by this Plat.
- (F) = 10' Private Sanitary Sewer Easement for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of said owners.

**HYDROLOGIC DATA**

Proposed Lot	Area (AC)	LAND TREATMENT TYPE %				UNIT Q (CFS/AC)	Q100 (CFS)
		A	B	C	D		
8A	2.05	0	5	5	90	4.13	8.5
8B	1.86	0	5	5	90	4.13	7.7
8C	2.03	0	5	5	90	4.13	8.4
9A	5.54	0	5	5	90	4.13	22.9
9B	1.15	0	5	5	90	4.13	4.7
9C	1.56	0	5	5	90	4.13	6.4

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 01/19/21  
BY: *Renee Brissett*  
HydroTrans # G11D069



DESIGNED	DRAWN	CHECKED	DATE
JL	JL	SG	1.19.2021

RESPEC  
5871 JEFFERSON STREET SUITE 101  
ALBUQUERQUE, NM 87109  
ALBUQUERQUE NATURAL RESOURCES  
WWW.RESPEC.COM 505.253.9718

STAMP

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

PROJECT NAME: COORS PAVILION

SHEET TITLE: AMENDMENT FOR MASTER DRAINAGE PLAN

SHEET NUMBER: C-1

NAME: N:\Projects\03769 Stangerd Boque Brewery Coors Pavilion\3\_DWG\Sheets\03769 Conceptual G&D Plan Overall.dwg PLOT DATE: Jan 19, 2021 3:47pm

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 19, 2021

Jesus Lopez, P.E.  
Respec  
5971 Jefferson St. NE  
Albuquerque, NM 8710

**RE: Coors Pavilion  
Amended Master Drainage Plan  
Engineer's Stamp Date: 12/21/20  
Hydrology File: G11D069**

Dear Mr. Lopez:

Based upon the information provided in your submittal received 12/21/2020, the Amended Master Drainage Plan is approved for Grading Permit and for action by the DRB on Preliminary Plat.

PO Box 1293

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Albuquerque

NM 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

March 30, 2021

Jesus Lopez  
RESPEC  
5971 Jefferson St NE Suite 101  
Albuquerque, NM 87109

**RE: Water and Sanitary Sewer Availability Statement #210202**

**Project Name: Coors Pavilion**

**Project Address: 5801 St Josephs Dr NW & 4131 Coors Blvd NW**

**Legal Description: LT 8 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OFTRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)CONT 7.1958 AC and LT 9 PLAT OF LOTS 1 THRU 9 COORS PAVILION (BEING A REPLAT OFTRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)CONT 7.0011 AC**

**UPC: 101106018746520809 and 101106018750920808**

**Zone Atlas Map: F-11 & G-11**

Dear Mr. Lopez:

**Project Description:** The subject site is located on the northwest corner of St Joseph Dr and Coors Blvd within the municipal limits of the City of Albuquerque. The proposed development consists of approximately 14.20 acres and the property is currently zoned NR-C for Non-Residential Commercial use. The property lies within the Pressure Zone 2WR in the College trunk. The request for availability indicates plans to replat Lots 8 and 9; lot 8 into three lots and 9 into another three lots for a total of 6 lots. Development is not proposed.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution main (project #26-6223.82-17) along eastern frontage of lots 8 & 9 of Coors Pavilion
- 16-inch Concrete Cylinder distribution main (project #09-012-76) along St Joseph Dr
- Eight-inch PVC distribution main (project #26-6588.92-16) along St Joseph Dr
- Ten-inch PVC distribution main (project #26-6223.81-01) along east of 5901 Saint Joseph Dr

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC collector line (project #03-009-66) along St Joseph Dr
- Eight-inch PVC private collector line (project #26-6223.82-17) along eastern frontage of lots 8 and 9 of Coors Pavilion

**Water Service:** New metered water service to the properties can be provided contingent upon a developer funded project. The current existing infrastructure can serve lots 9-A, 9-B, 9-C, and 8-B. A public, ten-inch PVC water line exists west of lot 8-C and 8-A. If the line and public water easement is sufficiently long enough to serve lots 8-A and 8-C, this line may be used for metered potable service. The eight-inch waterline inside the Coors Pavilion site shall be extended along northern frontage of lot 8-B, eastern frontage of 8-A, the eastern frontage of 8-C and tied into the eight-inch PVC main along St Josephs to create a looped system serving Lots 8-1 and 8-C. If an easement is granted this extension may also be looped along the northern frontage of lot 7 and tied into the eight-inch PVC line inside Coors Pavilion.

**Chair**  
Steven Michael Quezada  
County of Bernalillo  
Commissioner, District 2

**Vice Chair**  
Klarissa J. Peña  
City of Albuquerque  
Councilor, District 3

Walt Benson  
County of Bernalillo  
Commissioner, District 4

Pat Davis  
City of Albuquerque  
Councilor, District 6

Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

Timothy M. Keller  
City of Albuquerque  
Mayor

Charlene Pyskoty  
County of Bernalillo  
Commissioner, District 5

**Ex-Officio Member**  
Pablo R. Rael  
Village of Los Ranchos  
Board Trustee

**Executive Director**  
Mark S. Sanchez

**Website**  
www.abcwua.org

Each lot shall have separate water services. Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

**Sanitary Sewer Service:** Sanitary sewer service can be provided contingent upon a developer funded project. The existing onsite sanitary sewer line is private, but will be transferred to the Water Authority and this section is written with the assumption that it will be a public line. The current existing infrastructure can serve lots 9-A, 9-B, 9-C, and 8-B. A sewer line would need to be constructed along the eastern frontage of lots of 8-A & 8-C and connected to the eight-inch PVC collector line along Saint Josephs Dr. The sewer line could be extended into the frontage of lot of 9-A if desired. A second option exists which would be contingent upon obtaining a public sanitary sewer easement along the western frontage of lots 8-A and 8-C and constructing a sewer line along this easement, connecting to the eight-inch PVC collector line along Saint Joseph's Dr. Further options may be feasible but were not depicted as public sewer easements on the plat documentation included for review.

**Fire Protection:** From the request for availability the instantaneous fire flow requirements for the project are 3,750 gallons-per-minute for (3) hydrants. As modeled using InfoWater™ computer software, the fire flow can be met. Flow was taken at a single node between 4111 & 4101 Coors Blvd (Lots 2 & 3 of Coors Pavilion). Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. Fire lines shall connect to 8" PVC along eastern frontage of lots 8 & 9 of Coors Pavilion or extended water lines.

Engineer is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority.

All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

**Easements:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum

width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

**Pro Rata:** Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction** of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

**Costs and Fees:** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is requested and authorized.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps (2)  
f/ Availability Statement 210202

# 210202 - Water



## Legend

Project Location

Valve

Hydrant

## Pipe

### SUBTYPE

Distribution Line

Hydrant Leg

0 405 810 Feet

--- General Map Keyed Notes

1 --- Proposed Waterline Extension

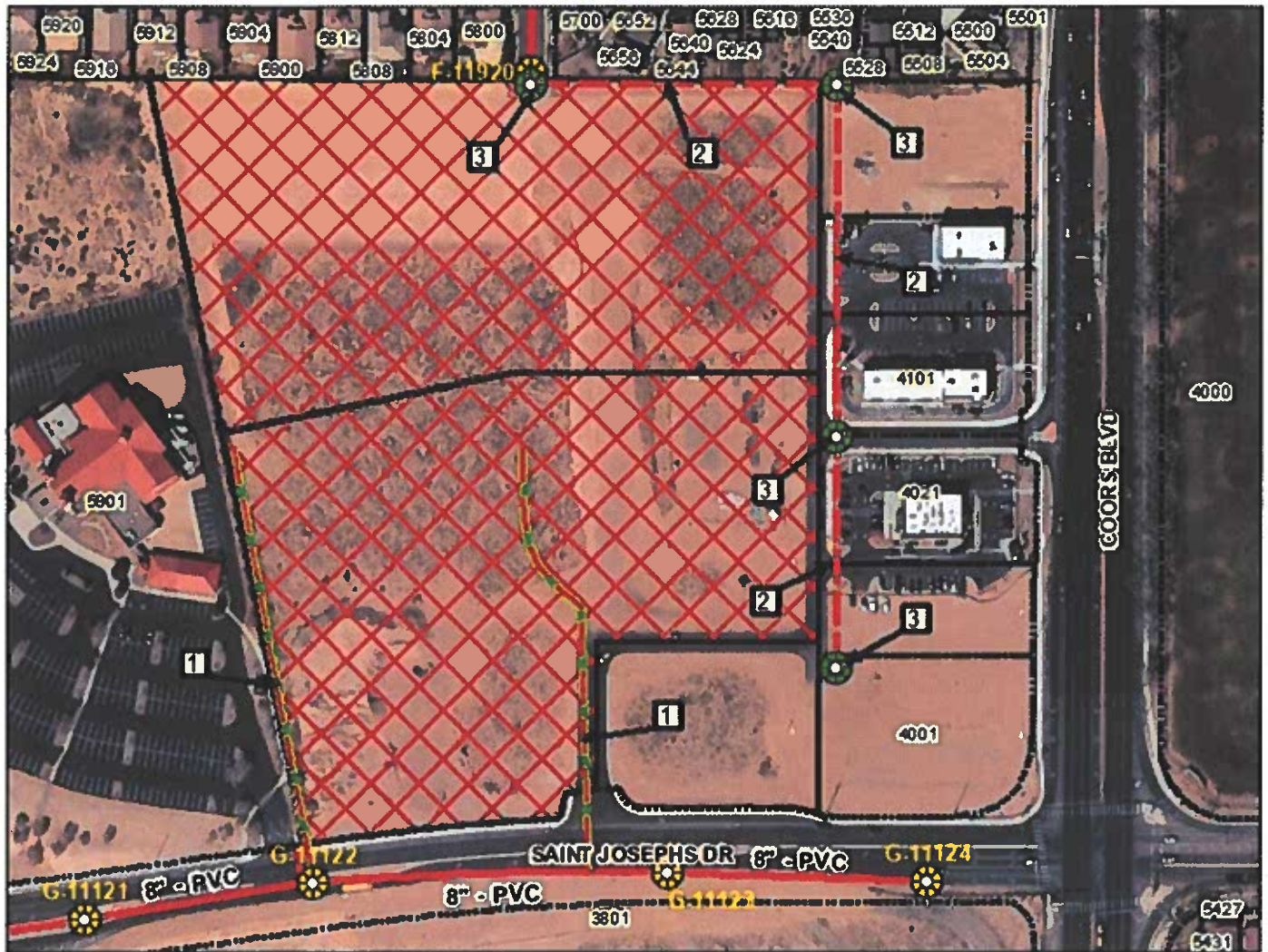
2 --- Option To Loop Waterline North of Lot 7

--- Fire Flow Analysis Points

1 --- Analysis Point



# 210202 - Sanitary Sewer



## Legend

Project Location

Sewer Manhole

### Sewer Pipe

#### SUBTYPE

COLLECTOR

0 405 810 Feet



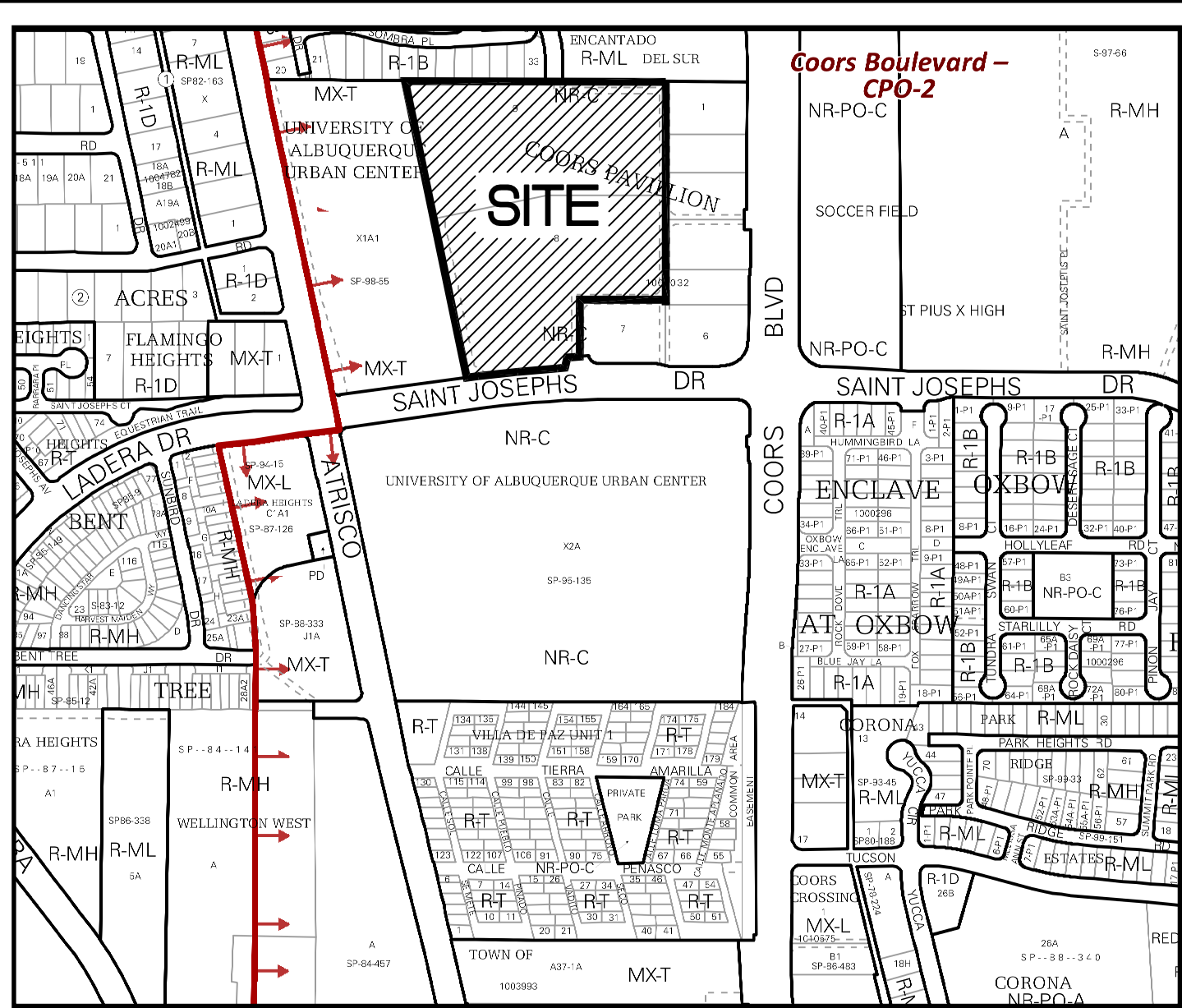
--- General Map Keyed Notes

1 --- Proposed Sewer Extension

2 --- Existing Private Sewerline To Be Made Public

3 --- Existing Private Manholes To Be Made Public





Vicinity Map - Zone Atlas G-11-Z

N.T.S.

**Indexing Information**

Projected Section 2, Township 10 North, Range 2 East, N.M.P.M. within the Town of Albuquerque Grant  
 Subdivision: Coors Pavilion  
 Owner: Red Shamrock 4, LLC  
 UPC #: 101106018746520809 (Lot 8)  
 101106018750920808 (Lot 9)

**Treasurer's Certificate**

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND  
 PAID ON UPC # 101106018746520809  
 101106018750920808  
 PROPERTY OWNER OF RECORD  
 BERNALILLO COUNTY TREASURER'S OFFICE

**Plat for  
 Lots 8-A, 8-B, 8-C, 9-A,  
 9-B and 9-C  
 Coors Pavilion  
 Being Comprised of  
 Lots 8 and 9  
 Coors Pavilion  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 March 2021**

**Purpose of Plat**

1. SUBDIVIDE AS SHOWN HEREON.
2. GRANT EASEMENTS AS SHOWN HEREON.

**Subdivision Data**

GROSS ACREAGE. . . . . 14.1982 ACRES  
 ZONE ATLAS PAGE NO. . . . . G-11-Z  
 NUMBER OF EXISTING LOTS. . . . . 2  
 NUMBER OF LOTS CREATED. . . . . 6  
 MILES OF FULL-WIDTH STREETS. . . . . 0.0000 MILES  
 MILES OF HALF-WIDTH STREETS. . . . . 0.0000 MILES  
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE. . . . . 0.0000 ACRES  
 DATE OF SURVEY. . . . . OCTOBER 2020

**Notes**

1. FIELD SURVEY PERFORMED IN JULY 2019.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. LOT LINES TO BE ELIMINATED SHOWN HEREON AS . . . . .

**Legal Description**

LOTS NUMBERED EIGHT (8) AND NINE (9), OF COORS PAVILION, WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRIME MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 11, 2017 IN MAP BOOK 2017C, FOLIO 42.

**Public Utility Easements**

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
  - B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
  - C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
  - D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**Project Number:** PR-2019-002765

**Application Number:** SD-2020-00218

**Plat Approvals:**

- Rodriguez Fuentes Mar 16, 2021
- PNM Electric Services
- Abdul Bhuiyan Mar 16, 2021
- Qwest Corp. d/b/a CenturyLink QC Mar 16, 2021
- Jeff Edvanko Mar 16, 2021
- New Mexico Gas Company Mar 17, 2021
- Mike Mortus Mar 17, 2021
- Comcast

**City Approvals:**

Loren N. Risenhoover P.S. Apr 2, 2021  
 City Surveyor

- Traffic Engineer
- ABCWUA
- Code Enforcement
- AMAFCA
- City Engineer
- Parks and Recreation
- DRB Chairperson, Planning Department

**Surveyor's Certificate**

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr. 4/2/2021  
 Will Plotner Jr. date  
 N.M.R.P.S. No. 14271



**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896 - 3050 Fax (505) 891 - 0244  
 wplotnerjr@gmail.com

**Documents**

1. PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 11, 2017 IN BOOK 2017C, PAGE 42.
2. SPECIAL WARRANTY DEED FOR TRACT X-1-A2 (NOW LOTS 1-9), COORS PAVILION FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 2, 2017, AS DOC. NO. 2017019228.

**Solar Collection Note**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**Easement Notes**

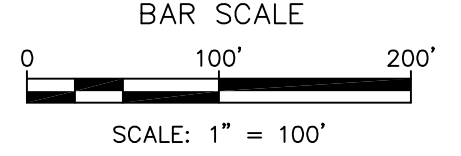
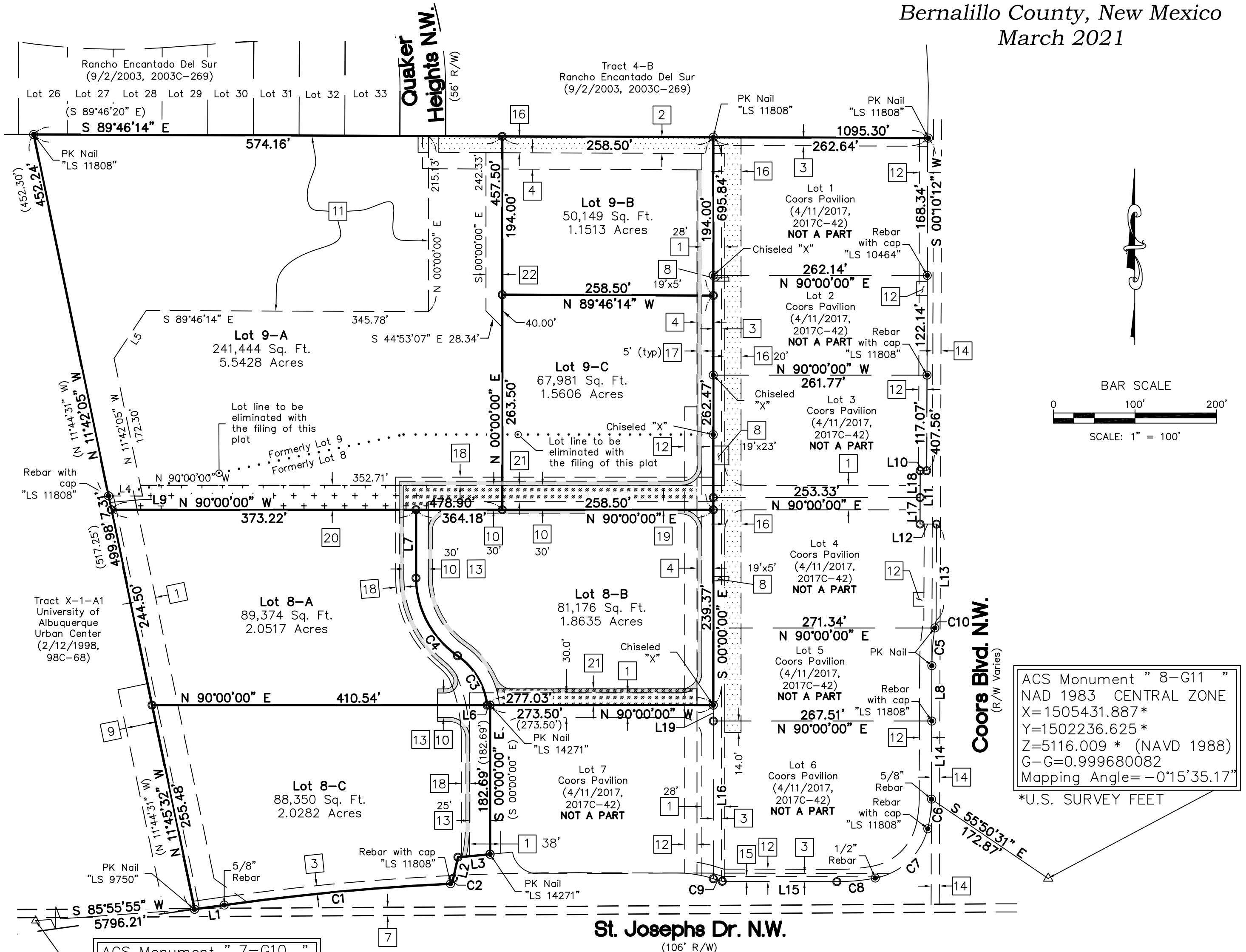
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- \* [2] EXISTING 20' PRIVATE DRAINAGE EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [3] EXISTING 10' PUBLIC UTILITY EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [4] EXISTING 20' PUBLIC WATER EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [5] INTENTIONALLY OMITTED
- [6] INTENTIONALLY OMITTED
- [7] EXISTING 20' UTILITY EASEMENT (3/18/1976, BK. 468, PG. 165-166, DOC. NO. 4915317) AND AS SHOWN ON PLAT (4/11/2017, BK. 2017C, PG. 42)
- [8] EXISTING PUBLIC WATER METER EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [9] EXISTING 37' PUBLIC WATERLINE EASEMENT (5/8/2000, BK. A5, PG. 4444 AS DOC. NO. 20044618) AS SHOWN ON PLAT (4/11/2017, BK. 2017C, PG. 42)
- [10] 30' INGRESS/EGRESS EASEMENT-ACCESS DRIVEWAY GRANTED WITH THE FILING OF THIS PLAT BENEFITING THE OWNERS OF LOTS 1-7, 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C TO BE MAINTAINED BY THE UNDERLYING OWNER OF EACH TRACT PURSUANT TO THE PROVISIONS CONTAINED IN THE DECLARATION OF ECR RECORDED ON DECEMBER 13, 2016 AS DOC. NO. 2016116329 AND AS AMENDED BY FIRST AMENDMENT TO DECLARATION OF ECR RECORDED SEPTEMBER 25, 2019 AS DOC. NO. 2019081522.
- [11] EXISTING PRIVATE DRAINAGE POND EASEMENT, BENEFITING LOTS 1-7, 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C TO BE MAINTAINED AS "COMMON USE AREA" BY ALL THE OWNERS PURSUANT TO THE PROVISIONS CONTAINED IN THE DECLARATION OF ECR RECORDED ON DECEMBER 13, 2016 AS DOC. NO. 2016116329 AND AS AMENDED BY FIRST AMENDMENT TO DECLARATION OF ECR RECORDED SEPTEMBER 25, 2019 AS DOC. NO. 2019081522. THE LOCATION AND DESIGN OF THIS PRIVATE DRAINAGE POND EASEMENT, MAY BE AMENDED PURSUANT TO THE TERMS CONTAINED IN THE DECLARATION OF SAID ECR.
- [12] EXISTING 15' PNM EASEMENT (1/30/2018, AS DOC. NO. 2018009029)
- [13] PUBLIC WATER AND SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO ABCWUA. SEE SHEET 3 FOR DETAIL.
- [14] EXISTING 10' PNM & MOUNTAIN STATES TELEPHONE & TELEGRAPH CO. EASEMENT (09/03/1953, BK. D254, PG. 217)
- [15] EXISTING 6' PUBLIC ROADWAY EASEMENT FOR LOT 6 (09/17/19, AS DOC. NO. 2019078636)
- \*\* [16] EXISTING PUBLIC SEWER EASEMENT TO ABCWUA (03/23/2021, DOCUMENT NO. 2021034015) NOTE: A 10' PRIVATE SEWER EASEMENT WAS LOCATED IN THE SAME APPROXIMATE LOCATION AND WAS VACATED AND FILED ON 03/23/2021, AS DOCUMENT NO. 2021034014. SHOWN HEREON AS [Pattern]
- [17] PRIVATE SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT, BENEFITING LOTS 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C, MAINTAINED BY THE INDIVIDUAL OWNERS OF EACH LOT, SHOWN HEREON AS [Pattern]
- [18] 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT. SEE SHEET 3 FOR DETAIL.
- [19] 10' PRIVATE SANITARY SEWER EASEMENT BENEFITING LOT 8-B TO BE MAINTAINED BY THE SAME, GRANTED WITH THE FILING OF THIS PLAT
- [20] PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT. BENEFITING LOTS 1-7, 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C, TO BE MAINTAINED BY THE SAME. SHOWN HEREON AS [Pattern]
- [21] 20' PUBLIC WATER EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO ABCWUA. SHOWN HEREON AS [Pattern]
- [22] 20' PRIVATE SANITARY SEWER EASEMENT BENEFITING AND MAINTAINED BY THE OWNER OF LOT 9-C, GRANTED WITH THE FILING OF THIS PLAT.

\* BENEFITING AND FOR USE OF THE OWNERS OF LOT 1 THRU 9, COORS PAVILION. MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF SAID LOTS 1 THRU 9, COORS PAVILION AS FURTHER DEFINED IN THE RECORDED "DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS".

\*\* THE PUBLIC SEWER EASEMENT WAS ESTABLISHED OVER AN EXISTING PRIVATE SANITARY SEWER EASEMENT THAT WAS VACATED ON 03/23/2021 AS DOCUMENT NO. 2021034014.

THE PROPERTIES (LOTS 1-7, 8A, 8B, 8C, 9A, 9B AND 9C) ARE SUBJECT TO THE COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AS REFLECTED IN THE "FIRST AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS & RESTRICTIONS 'COORS PAVILION'" FILED IN THE OFFICE OF THE COUNTY CLERK'S OFFICE OF BERNALILLO COUNTY NEW MEXICO ON 9/25/2019 AS DOCUMENT 2019081522. SAID DECLARATION PROVIDES FOR ASSURANCES THAT FUTURE PRIVATE UTILITY EASEMENTS SHALL BE GRANTED FOR AND ACROSS SAID LOTS INCLUDING PRIVATE SEWER EASEMENTS TO THE PUBLIC SEWER EASEMENT AS SHOWN HERE ON AS EASEMENT [16].

**Plat for  
Lots 8-A, 8-B, 8-C, 9-A,  
9-B and 9-C  
Coors Pavilion  
Being Comprised of  
Lots 8 and 9  
Coors Pavilion  
City of Albuquerque  
Bernalillo County, New Mexico  
March 2021**



**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (4/11/2017, BK. 2017C, PG. 42)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED

ACS Monument " 7-G10 "  
NAD 1983 CENTRAL ZONE  
X=1498606.697\*  
Y=1501787.741 \*  
Z=5159.487 \* (NAVD 1988)  
G-G=0.999680173  
Mapping Angle=-0°16'22.41"  
\*U.S. SURVEY FEET

ACS Monument " 8-G11 "  
NAD 1983 CENTRAL ZONE  
X=1505431.887\*  
Y=1502236.625\*  
Z=5116.009 \* (NAVD 1988)  
G-G=0.999680082  
Mapping Angle=-0°15'35.17"  
\*U.S. SURVEY FEET

**CSI-CARTESIAN SURVEYS INC.**

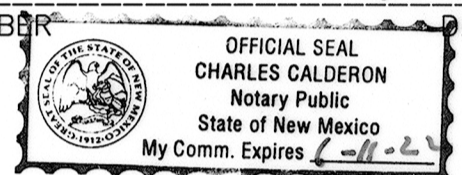
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896 - 3050 Fax (505) 891 - 0244  
wplotnerjr@gmail.com

Plat for  
 Lots 8-A, 8-B, 8-C, 9-A,  
 9-B and 9-C  
 Coors Pavilion  
 Being Comprised of  
 Lots 8 and 9  
 Coors Pavilion  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 March 2021

**Free Consent**

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF AND GRANT ALL EASEMENTS AS SHOWN HEREON. EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E.. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

*[Signature]*  
 JOSHUA SKARSGARD, MANAGING MEMBER  
 RED SHAMROCK 4, LLC  
 DATE April 2, 2021



STATE OF NEW MEXICO }  
 COUNTY OF Sandoval }

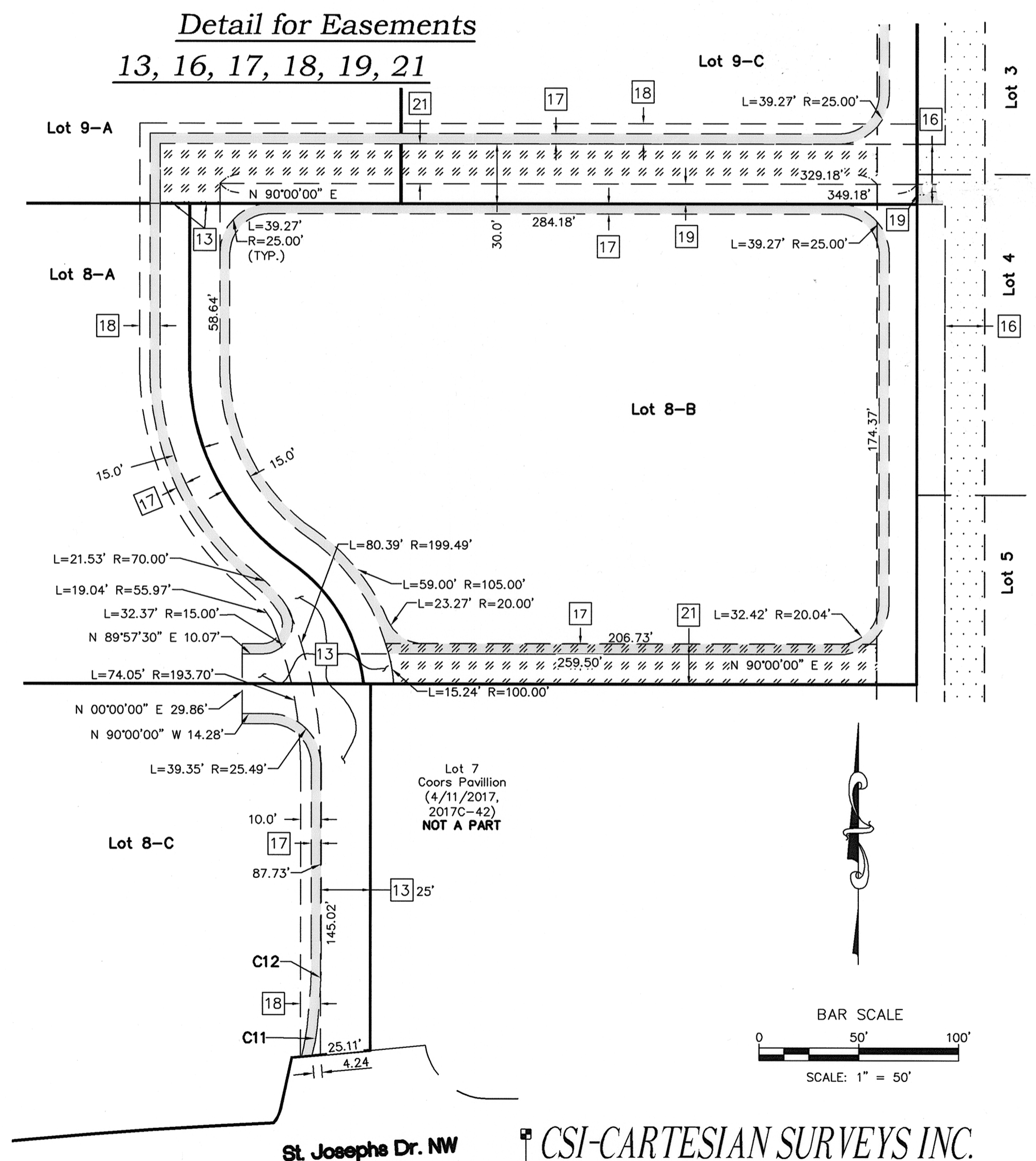
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 2nd April, 2021  
 BY: JOSHUA SKARSGARD, MANAGING MEMBER, RED SHAMROCK 4, LLC

By: *[Signature]*  
 NOTARY PUBLIC

MY COMMISSION EXPIRES June 11, 2022

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	278.74' (278.73')	3053.00' (3053.00')	51°3'52"	278.64'	S 84°36'47" W
C2	7.60' (7.60')	15.00' (15.00')	29°01'18"	7.52'	S 26°43'08" W
C3	72.84'	85.00'	49°05'52"	70.63'	N 30°59'18" W
C4	112.12'	117.00'	54°54'22"	107.88'	S 28°05'03" E
C5	46.33'	307.00'	8°38'50"	46.29'	S 04°29'37" W
C6	36.50'	150.00'	13°56'31"	36.41'	N 07°08'03" E
C7	93.35'	82.00'	65°13'34"	88.39'	N 46°43'41" E
C8	47.29'	250.00'	10°50'17"	47.22'	N 84°45'41" E
C9	11.42'	140.00'	4°40'20"	11.41'	S 73°49'09" E
C10	9.15'	307.00'	1°42'30"	9.15'	S 09°40'17" W
C11	13.81'	105.00'	7°32'16"	13.80'	N 10°19'37" E
C12	44.19'	300.60'	8°25'20"	44.15'	N 02°39'16" E

Line #	Direction	Length (ft)
L1	S 81°59'51" W (S 81°59'51" W)	36.65' (36.65')
L2	S 12°12'29" W (S 12°12'29" W)	26.39' (26.39')
L3	S 84°41'06" W (S 84°41'06" W)	39.52' (39.52')
L4	N 33°51'33" E	70.65'
L5	N 90°00'00" E	3.53'
L6	N 00°00'00" E	83.64'
L7	S 00°10'24" W	67.85'
L8	N 11°45'32" W	17.33'
L9	S 89°49'48" E	8.00'
L10	N 00°10'12" E	65.37'
L11	N 89°49'48" W	20.19'
L12	N 00°15'49" E	118.27'
L13	S 00°10'03" W	95.80'
L14	N 89°49'11" W	140.37'
L15	S 00°00'00" E	193.20'
L16	S 00°10'12" W	32.49'
L17	N 00°10'12" E	32.89'
L18	N 00°00'00" E	19.47'



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 wplotnerjr@gmail.com

**Easement Notes**

- \* [1] EXISTING PRIVATE ACCESS AND SURFACE DRAINAGE EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- \* [2] EXISTING 20' PRIVATE DRAINAGE EASEMENT (4/11/2017, BK. 2017C, PG. 42)
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- [6] INTENTIONALLY OMITTED
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- [17] PRIVATE SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT, BENEFITING LOTS 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C, MAINTAINED BY THE INDIVIDUAL OWNERS OF EACH LOT, SHOWN HEREON AS [Symbol]
- [18] 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT. SEE SHEET 3 FOR DETAIL.
- [19] 10' PRIVATE SANITARY SEWER EASEMENT BENEFITING LOT 8-B TO BE MAINTAINED BY THE SAME, GRANTED WITH THE FILING OF THIS PLAT
- [20] PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT. BENEFITING LOTS 1-7, 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C, TO BE MAINTAINED BY THE SAME. SHOWN HEREON AS [Symbol]
- [21] 20' PUBLIC WATER EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO ABCWUA. SHOWN HEREON AS [Symbol]
- [22] 20' PRIVATE SANITARY SEWER EASEMENT BENEFITING AND MAINTAINED BY THE OWNER OF LOT 9-C, GRANTED WITH THE FILING OF THIS PLAT.

\* BENEFITING AND FOR USE OF THE OWNERS OF LOT 1 THRU 9, COORS PAVILION. MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF SAID LOTS 1 THRU 9, COORS PAVILION AS FURTHER DEFINED IN THE RECORDED "DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS".

\*\* THE PUBLIC SEWER EASEMENT WAS ESTABLISHED OVER AN EXISTING PRIVATE SANITARY SEWER EASEMENT THAT WAS VACATED ON 03/23/2021 AS DOCUMENT NO. 2021034014.

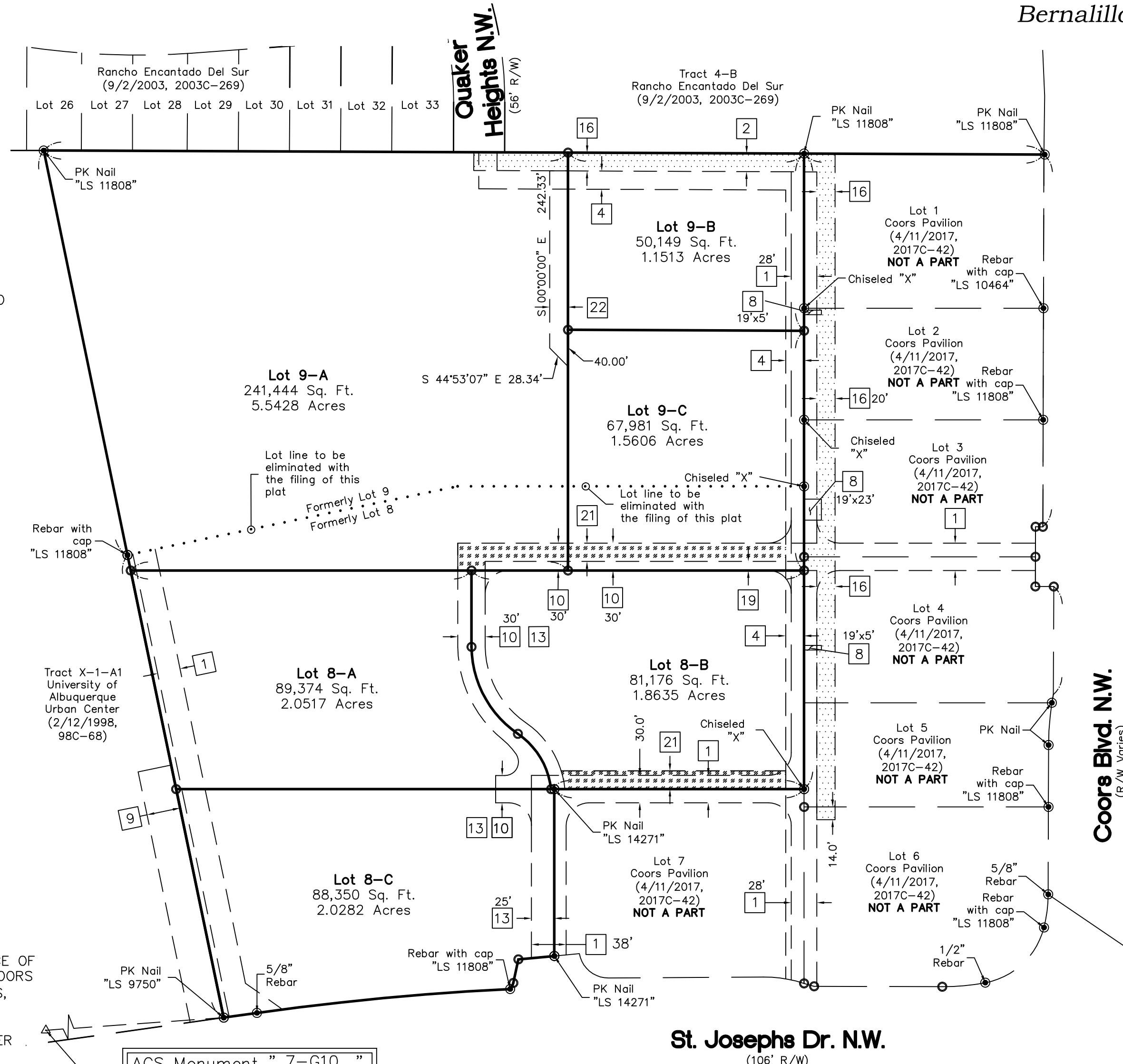
THE PROPERTIES (LOTS 1-7, 8A, 8B, 8C, 9A, 9B AND 9C) ARE SUBJECT TO THE COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AS REFLECTED IN THE "FIRST AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS & RESTRICTIONS 'COORS PAVILION'" FILED IN THE OFFICE OF THE COUNTY CLERK'S OFFICE OF BERNALILLO COUNTY NEW MEXICO ON 9/25/2019 AS DOCUMENT 2019081522. SAID DECLARATION PROVIDES FOR ASSURANCES THAT FUTURE PRIVATE UTILITY EASEMENTS SHALL BE GRANTED FOR AND ACROSS SAID LOTS INCLUDING PRIVATE SEWER EASEMENTS TO THE PUBLIC SEWER EASEMENT AS SHOWN HERE ON AS EASEMENT [16].

**THIS SHEET IS TO SHOW THE ACCESS EASEMENTS AND ABCWUA EASEMENTS TO REFLECT HOW THEY RELATE.**

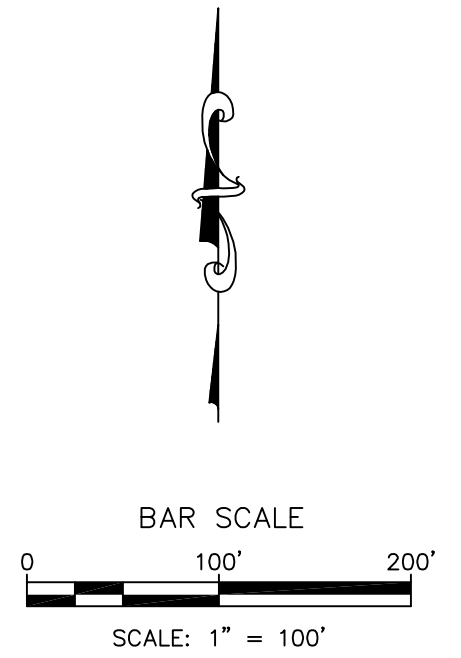
**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (4/11/2017, BK. 2017C, PG. 42)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED

**Detail of Easements 1, 4, 8, 9, 10, 13, 16, 19, 21, and 22**



**Plat for  
Lots 8-A, 8-B, 8-C, 9-A,  
9-B and 9-C  
Coors Pavilion  
Being Comprised of  
Lots 8 and 9  
Coors Pavilion  
City of Albuquerque  
Bernalillo County, New Mexico  
March 2021**



ACS Monument " 7-G10 "  
NAD 1983 CENTRAL ZONE  
X=1498606.697\*  
Y=1501787.741 \*  
Z=5159.487 \* (NAVD 1988)  
G-G=0.999680173  
Mapping Angle=-0°16'22.41"  
\*U.S. SURVEY FEET

ACS Monument " 8-G11 "  
NAD 1983 CENTRAL ZONE  
X=1505431.887\*  
Y=1502236.625 \*  
Z=5116.009 \* (NAVD 1988)  
G-G=0.999680082  
Mapping Angle=-0°15'35.17"  
\*U.S. SURVEY FEET

**St. Josephs Dr. N.W.**  
(106' R/W)

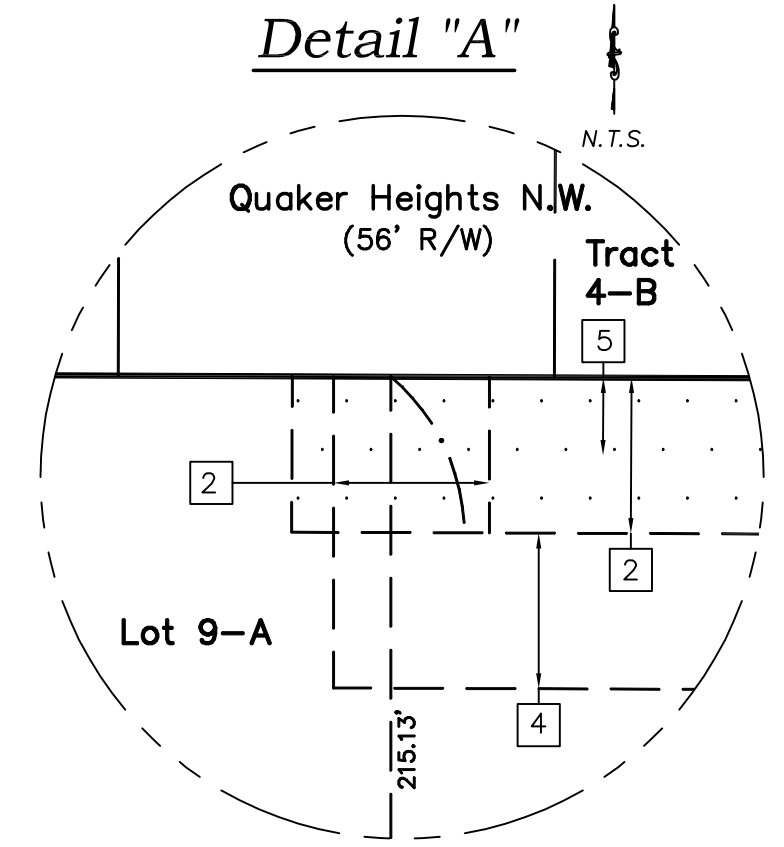
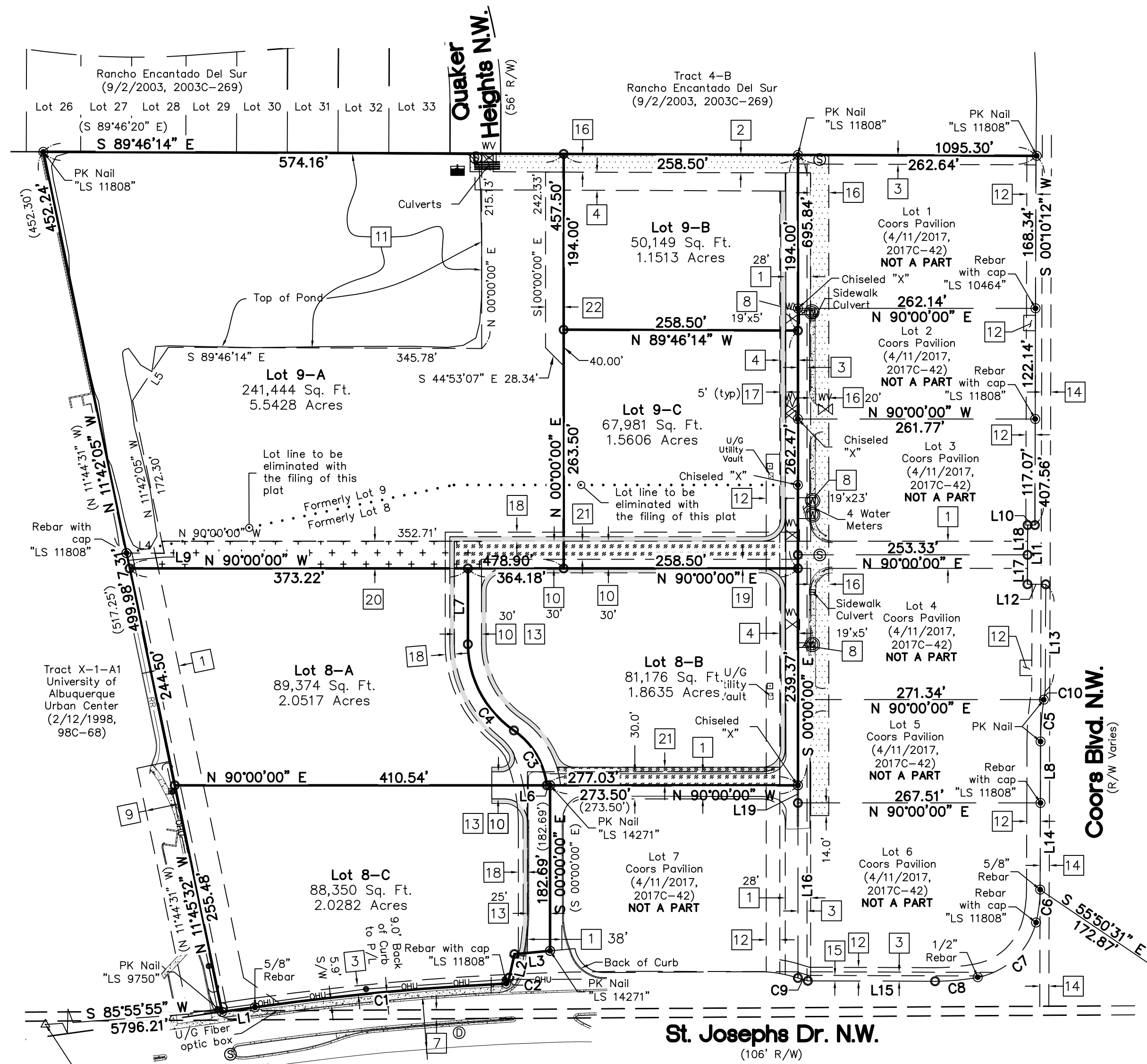
**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
wplotnerjr@gmail.com

**Site Sketch for  
Lots 8-A, 8-B, 8-C,  
9-A, 9-B and 9-C  
Coors Pavilion  
Being Comprised of  
Lots 8, and 9  
Coors Pavilion  
City of Albuquerque  
Bernalillo County, New Mexico  
April 2020**

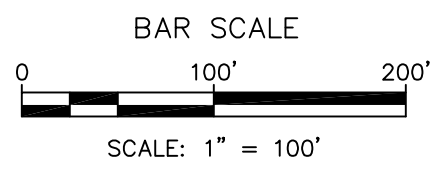
**Legend**

N 90°00'00" E (N 90°00'00" E)	MEASURED BEARINGS AND DISTANCES RECORD BEARINGS AND DISTANCES PER PLAT (4/11/2017, BK. 2017C, PG. 42)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
▭	CONCRETE
▨	BLOCK WALL
—RR—	RAILROAD TIES
—OHU—	OVERHEAD UTILITY LINE
•	UTILITY POLE
↗	ANCHOR
WV	WATER VALVE
⊗	WATER METER
⊙	MANHOLE
—OR—	SIGN
■	STORM DRAIN INLET
□	UTILITY PEDESTAL



ACS Monument "8-G11"  
NAD 1983 CENTRAL ZONE  
X=1505431.887\*  
Y=1502236.625\*  
Z=5116.009\* (NAVD 1988)  
G-G=0.999680082  
Mapping Angle=-0°15'35.17"  
\*U.S. SURVEY FEET

ACS Monument "7-G10"  
NAD 1983 CENTRAL ZONE  
X=1498606.697\*  
Y=1501787.741\*  
Z=5159.487\* (NAVD 1988)  
G-G=0.999680173  
Mapping Angle=-0°16'22.41"  
\*U.S. SURVEY FEET

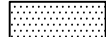

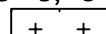
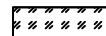


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**Site Sketch for  
Lots 8-A, 8-B, 8-C 9-A,  
9-B and 9-C  
Coors Pavilion  
Being Comprised of  
Lots 8 and 9  
Coors Pavilion  
City of Albuquerque  
Bernalillo County, New Mexico  
April 2020**

**Easement Notes**

- \* [1] EXISTING PRIVATE ACCESS AND SURFACE DRAINAGE EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- \* [2] EXISTING 20' PRIVATE DRAINAGE EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [3] EXISTING 10' PUBLIC UTILITY EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [4] EXISTING 20' PUBLIC WATER EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [5] INTENTIONALLY OMITTED
- [6] INTENTIONALLY OMITTED
- [7] EXISTING 20' UTILITY EASEMENT (3/18/1976, BK. 468, PG. 165-166, DOC. NO. 4915317) AND AS SHOWN ON PLAT (4/11/2017, BK. 2017C, PG. 42)
- [8] EXISTING PUBLIC WATER METER EASEMENT (4/11/2017, BK. 2017C, PG. 42)
- [9] EXISTING 37' PUBLIC WATERLINE EASEMENT (5/8/2000, BK. A5, PG. 4444 AS DOC. NO. 20044618) AS SHOWN ON PLAT (4/11/2017, BK. 2017C, PG. 42)
- [10] 30' INGRESS/EGRESS EASEMENT-ACCESS DRIVEWAY GRANTED WITH THE FILING OF THIS PLAT BENEFITING THE OWNERS OF LOTS 1-7, 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C TO BE MAINTAINED BY THE UNDERLYING OWNER OF EACH TRACT PURSUANT TO THE PROVISIONS CONTAINED IN THE DECLARATION OF ECR RECORDED ON DECEMBER 13, 2016 AS DOC. NO. 2016116329 AND AS AMENDED BY FIRST AMENDMENT TO DECLARATION OF ECR RECORDED SEPTEMBER 25, 2019 AS DOC. NO. 2019081522.
- [11] EXISTING PRIVATE DRAINAGE POND EASEMENT, BENEFITING LOTS 1-7, 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C TO BE MAINTAINED AS "COMMON USE AREA" BY ALL THE OWNERS PURSUANT TO THE PROVISIONS CONTAINED IN THE DECLARATION OF ECR RECORDED ON DECEMBER 13, 2016 AS DOC. NO. 2016116329 AND AS AMENDED BY FIRST AMENDMENT TO DECLARATION OF ECR RECORDED SEPTEMBER 25, 2019 AS DOC. NO. 2019081522. THE LOCATION AND DESIGN OF THIS PRIVATE DRAINAGE POND EASEMENT, MAY BE AMENDED PURSUANT TO THE TERMS CONTAINED IN THE DECLARATION OF SAID ECR.
- [12] EXISTING 15' PNM EASEMENT (1/30/2018, AS DOC. NO. 2018009029)
- [13] PUBLIC WATER AND SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO ABCWUA. SEE SHEET 3 FOR DETAIL.
- [14] EXISTING 10' PNM & MOUNTAIN STATES TELEPHONE & TELEGRAPH CO. EASEMENT (09/03/1953, BK. D254, PG. 217)
- [15] EXISTING 6' PUBLIC ROADWAY EASEMENT FOR LOT 6 (09/17/19, AS DOC. NO. 2019078636)
- [16] EXISTING PUBLIC SEWER EASEMENT TO ABCWUA (03/23/2021, DOCUMENT NO. 2021034015) NOTE: A 10' PRIVATE SEWER EASEMENT WAS LOCATED IN THE SAME APPROXIMATE LOCATION AND WAS VACATED AND FILED ON 03/23/2021, AS DOCUMENT NO. 2021034014. SHOWN HEREON AS 
- [17] PRIVATE SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT, BENEFITING LOTS 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C, MAINTAINED BY THE INDIVIDUAL OWNERS OF EACH LOT, SHOWN HEREON AS 
- [18] 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT. SEE SHEET 3 FOR DETAIL.
- [19] 10' PRIVATE SANITARY SEWER EASEMENT BENEFITING LOT 8-B TO BE MAINTAINED BY THE SAME, GRANTED WITH THE FILING OF THIS PLAT
- [20] PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT. BENEFITING LOTS 1-7, 8-A, 8-B, 8-C, 9-A, 9-B, AND 9-C, TO BE MAINTAINED BY THE SAME. SHOWN HEREON AS 
- [21] 20' PUBLIC WATER EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO ABCWUA. SHOWN HEREON AS 
- [22] 20' PRIVATE SANITARY SEWER EASEMENT BENEFITING AND MAINTAINED BY THE OWNER OF LOT 9-C, GRANTED WITH THE FILING OF THIS PLAT.

\* BENEFITING AND FOR USE OF THE OWNERS OF LOT 1 THRU 9, COORS PAVILION. MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF SAID LOTS 1 THRU 9, COORS PAVILION AS FURTHER DEFINED IN THE RECORDED "DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS".

\*\* THE PUBLIC SEWER EASEMENT WAS ESTABLISHED OVER AN EXISTING PRIVATE SANITARY SEWER EASEMENT THAT WAS VACATED ON 03/23/2021 AS DOCUMENT NO. 2021034014.

THE PROPERTIES (LOTS 1-7, 8A, 8B, 8C, 9A, 9B AND 9C) ARE SUBJECT TO THE COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AS REFLECTED IN THE "FIRST AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS & RESTRICTIONS 'COORS PAVILION'" FILED IN THE OFFICE OF THE COUNTY CLERK'S OFFICE OF BERNALILLO COUNTY NEW MEXICO ON 9/25/2019 AS DOCUMENT 2019081522. SAID DECLARATION PROVIDES FOR ASSURANCES THAT FUTURE PRIVATE UTILITY EASEMENTS SHALL BE GRANTED FOR AND ACROSS SAID LOTS INCLUDING PRIVATE SEWER EASEMENTS TO THE PUBLIC SEWER EASEMENT AS SHOWN HERE ON AS EASEMENT [16].

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	278.74' (278.73')	3053.00' (3053.00')	5'13'52"	278.64'	S 84'36'47" W
C2	7.60' (7.60')	15.00' (15.00')	29'01'18"	7.52'	S 26'43'08" W
C3	72.84'	85.00'	49'05'52"	70.63'	N 30'59'18" W
C4	112.12'	117.00'	54'54'22"	107.88'	S 28'05'03" E
C5	46.33'	307.00'	8'38'50"	46.29'	S 04'29'37" W
C6	36.50'	150.00'	13'56'31"	36.41'	N 07'08'03" E
C7	93.35'	82.00'	65'13'34"	88.39'	N 46'43'41" E
C8	47.29'	250.00'	10'50'17"	47.22'	N 84'45'41" E
C9	11.42'	140.00'	4'40'20"	11.41'	S 73'49'09" E
C10	9.15'	307.00'	1'42'30"	9.15'	S 09'40'17" W
C11	13.81'	105.00'	7'32'16"	13.80'	N 10'19'37" E
C12	44.19'	300.60'	8'25'20"	44.15'	N 02'39'16" E

Line Table		
Line #	Direction	Length (ft)
L1	S 81'59'51" W (S 81'59'51" W)	36.65' (36.65')
L2	S 12'12'29" W (S 12'12'29" W)	26.39' (26.39')
L3	S 84'41'06" W (S 84'41'06" W)	39.52' (39.52')
L5	N 33'51'33" E	70.65'
L6	N 90'00'00" E	3.53'
L7	N 00'00'00" E	83.64'
L8	S 00'10'24" W	67.85'
L9	N 11'45'32" W	17.33'
L10	S 89'49'48" E	8.00'
L11	N 00'10'12" E	65.37'
L12	N 89'49'48" W	20.19'
L13	N 00'15'49" E	118.27'
L14	S 00'10'03" W	95.80'
L15	N 89'49'11" W	140.37'
L16	S 00'00'00" E	193.20'
L17	S 00'10'12" W	32.49'
L18	N 00'10'12" E	32.89'
L19	S 00'00'00" E	19.47'

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: March 31, 2021

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: 2019-002765  
DRB Application No.: \_\_\_\_\_

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**LOTS 8-A, 8-B, 9-A, 9-B, AND 9-C COORS PAVILION  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS 8 & 9 COORS PAVILION, CITY OF ALBUQUERQUE, NM  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24' WIDTH	ASPHALT PAVED PRIVATE ACCESS (640 FT)	WEST AND NORTH OF LOT 8-B	SW CORNER OF LOT 8-B	NE CORNER OF LOT 8-B	/	/	/
<input type="text"/>	<input type="text"/>	920 LF	8" WL	N, W, and S of Lot 8-B	NE CORNER OF LOT 8-B	SE CORNER OF LOT 8-B	/	/	/
<input type="text"/>	<input type="text"/>	1652 LF	5' WIDTH SIDEWALK	LOTS 8A, 8B, 9A, 9B, 9C	NE CORNER LOT 9- C	EAST OF LOT 8A,	/	/	/
<input type="text"/>	<input type="text"/>	300 LF	8" SAS COLLECTOR	EAST OF LOTS 8A, 8C	ST JOSEPH'S DR	SE CORNER 8A	/	/	/
<input type="text"/>	<input type="text"/>	2-4' DIA.	SAS MANHOLE	ST JOSEPH'S CONNECTION & TERMINUS			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**Jesus Lopez**  
NAME (print)

---

**RESPEC**  
FIRM



3/31/2021  
SIGNATURE - date

\_\_\_\_\_ DRB CHAIR - date

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_ UTILITY DEVELOPMENT - date

\_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ PARKS & RECREATION - date

\_\_\_\_\_ AMAFCA - date

\_\_\_\_\_ CODE ENFORCEMENT - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER