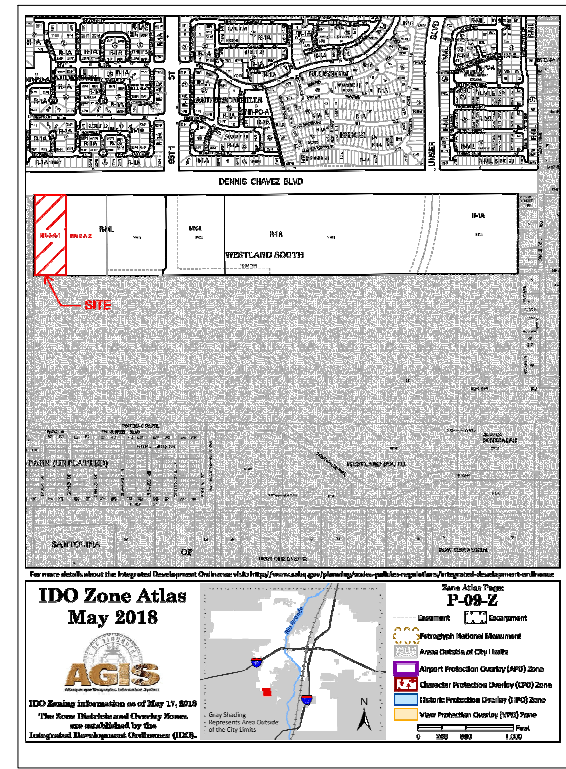


DRAWING INDEX

SDP 1.1	SITE PLAN
SDP 1.2	SITE DETAILS
SDP 1.4	ELECTRICAL SITE LIGHTING PLAN
SDP 1.5	ELECTRICAL SITE LIGHTING PLAN
SDP 2.1	LANDSCAPE PLAN
SDP 3.1	DRAINAGE PLAN
SDP 3.2	GRADING PLAN
SDP 5.1	EXTERIOR BUILDING ELEVATIONS
SDP 5.2	EXTERIOR BUILDING ELEVATIONS
SDP 5.3	EXTERIOR BUILDING ELEVATIONS
SDP 6.1	FIRE ONE

VICINITY MAP



CEJA VISTA

ENGINEER

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO 87121

PROJECT TEAM

OWNER/CONTRACTOR

DGB PROPERTIES
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ARCHITECT/LANDSCAPE

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CIVIL

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RIO RANCHO, NM 87124
505.892.5141

MECHANICAL ENGINEER

ARSED ENGINEERING GROUP,LLC
4700 LINCOLN ROAD NE
ALBUQUERQUE, NM 87109
PHONE: 505.761.3100

ELECTRICAL

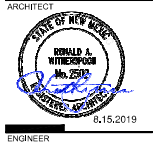
AC ENGINEERING ENTERPRISES, LLC.
120 ALISO DR. SE
ALBUQUERQUE, NM 87108
PHONE: 505.842.5787

DATE 08/16/2019

PROJECT NO. 19-0019

ISSUE PURPOSE

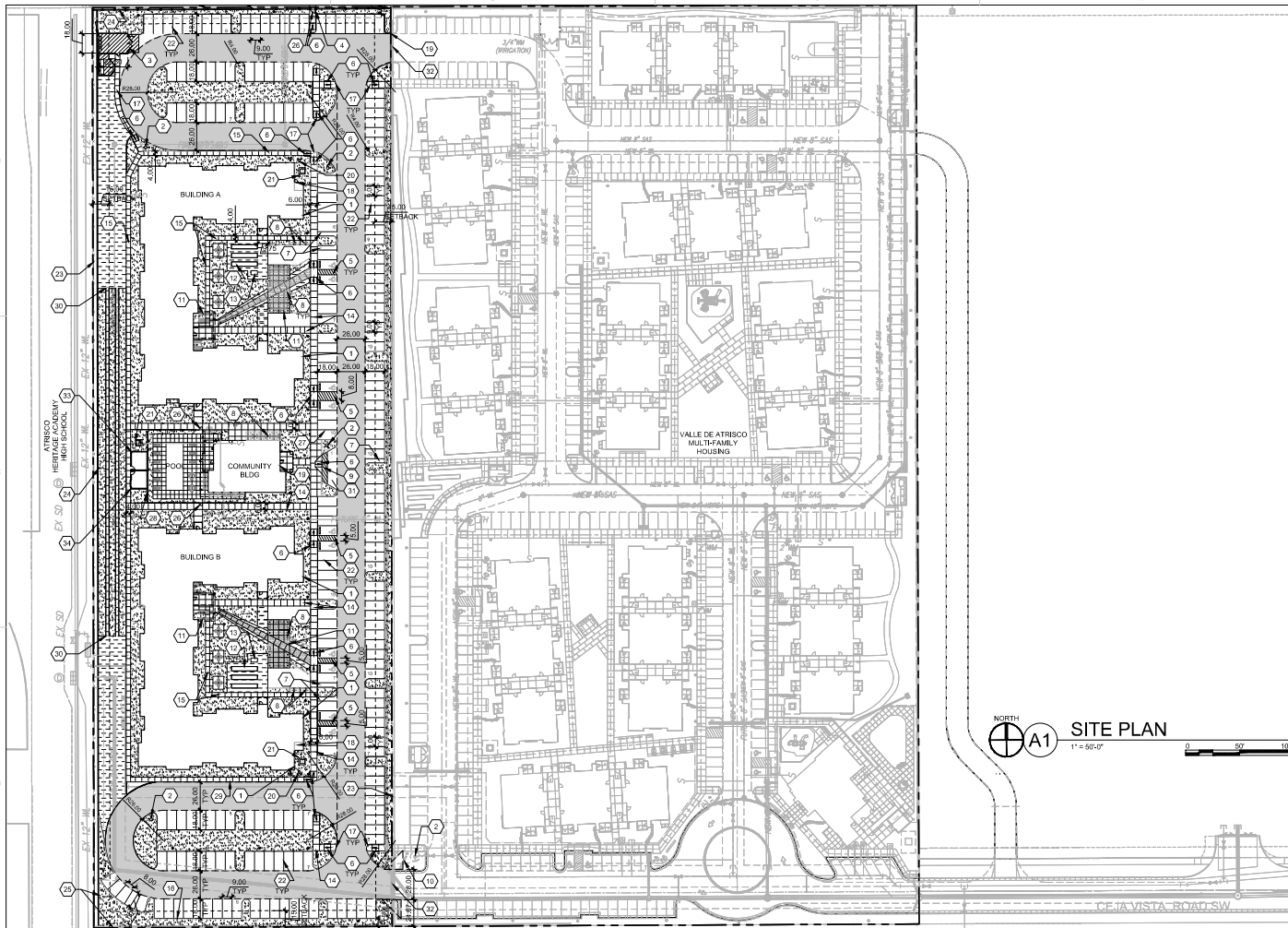
**SDP
APPLICATION**



ENGINEER

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO 87121



PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? YES NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

LEGEND	
	LANDSCAPE AREA
	STABILIZED CRUSHER FINES
	INTEGRAL COLORED CONCRETE
	REINFORCED CONCRETE PAVING
	HEAVY DUTY ASPHALT CAPABLE TO SUPPORT 75,000 LBS
	FIRELANE STRIPING MARKING FIRE ACCESS LANE
	PROPERTY LINE
	FIRE HYDRANT
	POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
	SITE LIGHTING
	RAISED PLANTING BEDS
	CONCRETE BENCH
	BIKE RACK
	OUTDOOR FURNITURE
	SIDEWALK RAMP (ARROW POINTS DOWN)
	TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER FPNW STANDARDS
	POOL PERIMETER FENCE

GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDDO) SECTION 14-15-2-A OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- PROVIDE POLARABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. 50% ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, GRADING AND DRAINAGE.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL ARE REQUIRED FROM THE CUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

SHEET KEYED NOTES

- BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE IFC.
- FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL.
- TRASH COMPACTOR ENCLOSURE (7'-4" MASONRY WALL) WITH GATE. REF: C5SDP1.2.
- WALKWAY CONNECTION TO DENNIS CHAVEZ BLVD. TRAIL, A PAVED MULTI-USE TRAIL CLOSED TO AUTOMOTIVE TRAFFIC. DEVELOPER TO COORDINATE WITH NMOTD ASSISTANT TRAFFIC ENGINEER ON TRAIL CONNECTION. REF: B1SDP1.2.
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING. REF: A1SDP1.2.
- ACCESSIBLE RAMP. REF: A3SDP1.2, C2SDP1.2 & C3SDP1.2.
- MOTORCYCLE PARKING.
- BIKE RACK PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING. REF: D5SDP1.2.
- ACCESSIBLE WALK WITH STRIPING.
- MONUMENT SIGN PER IDO REQUIREMENTS. REF: D1SDP1.2 & D2SDP1.2.
- SHADE STRUCTURE.
- RAISED GARDEN BEDS.
- POTTING STATION TABLE.
- 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS. REF: B5SDP1.2.
- 4" WIDE SIDEWALK CONCRETE. REF: B6SDP1.2.
- CONCRETE CURB AND GUTTER. REF: A2SDP1.2.
- FLUSH CONCRETE SIDEWALK. REF: D4SDP1.2.
- FIRE RISER ROOM.
- FIRE ACCESS GATE & KNOX BOX (LOCATE PER FIRE ONE PLAN).
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNT OR FREE STANDING.
- ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD).
- PARKING STRIPING 4" WIDE, COLOR WHITE.

PROJECT DATA

ZONING:
R(24) RESIDENTIAL - MULTIFAMILY LOW DENSITY ZONE DISTRICT

LEGAL DESCRIPTION:
TRACT RRS-W, LOCATED ON DENNIS CHAVEZ BLVD, SW, BETWEEN 86TH ST. SW & 118TH ST. SW

TRACT AREA: 5.423 ACRES

TRACT UTILS: P-0-2

SETBACKS: FRONT 15', SIDE & STREET 10', INTERIOR 0', REAR 10'

BUILDING HEIGHT: 19'-2 1/2' (10' DEVIATION @ 24" x 36" @)

FINISHES: FULLY SPRINKLED

FIRE FLOW: 4201 GPM

HYDRANTS REQUIRED: 5 TOTAL

BUILDING OCCUPANCY: R-2, 156 APARTMENTS

CONSTRUCTION TYPE: I-4B, FULLY SPRINKLED

BUILDING SET:

BUILDING A	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	15,821 GSF
TOTAL	60,895 GSF
BUILDING B	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	15,821 GSF
TOTAL	60,895 GSF

CLUBHOUSE 3,158 GSF

TOTAL 125,128 GSF

PARKING CALCULATION (TABLE 5-4-1)

REQUIRED: MULTI-FAMILY + 1.5 (DU)
REQUIRED: 156 UNITS x 1.5 SPACES = 234 SPACES
PROVIDED CARPOOL PARKING: 1 + 4 PARKING CREDIT SPACES
PROVIDED VANPOOL PARKING: 1 + 7 PARKING CREDIT SPACES
REQUIRED: 234 SPACES + 4 CARPOOL CREDIT + 7 VANPOOL CREDIT = 232 TOTAL
PROVIDED: 223 PARKING SPACES

25% OF 223 REQUIRED PARKING MAY BE COMPACT
PROVIDED COMPACT PARKING: 5 SPACES @ 8'-0" x 15'-0"
PROVIDED STANDARD PARKING: 218 SPACES @ 8'-0" x 18'-0"

STANDARD ACCESSIBLE SPACES:
REQUIRED: 5 STANDARD SPACES & 2 VAN ACCESSIBLE
PROVIDED: 10 SPACES

BIKE PARKING: 00.25 PER UNIT
REQUIRED: 0.25 x 156 = 39
PROVIDED: 40
20% SECURED LONG TERM STORAGE: 8
EXTERIOR BIKE PARKING: 32

MOTORCYCLE PARKING
REQUIRED AND PROVIDED: 5 SPACES FOR 41-300 TOTAL PARKING SPACES
REQUIRED = 5 SPACES
PROVIDED = 5 SPACES

REVISIONS

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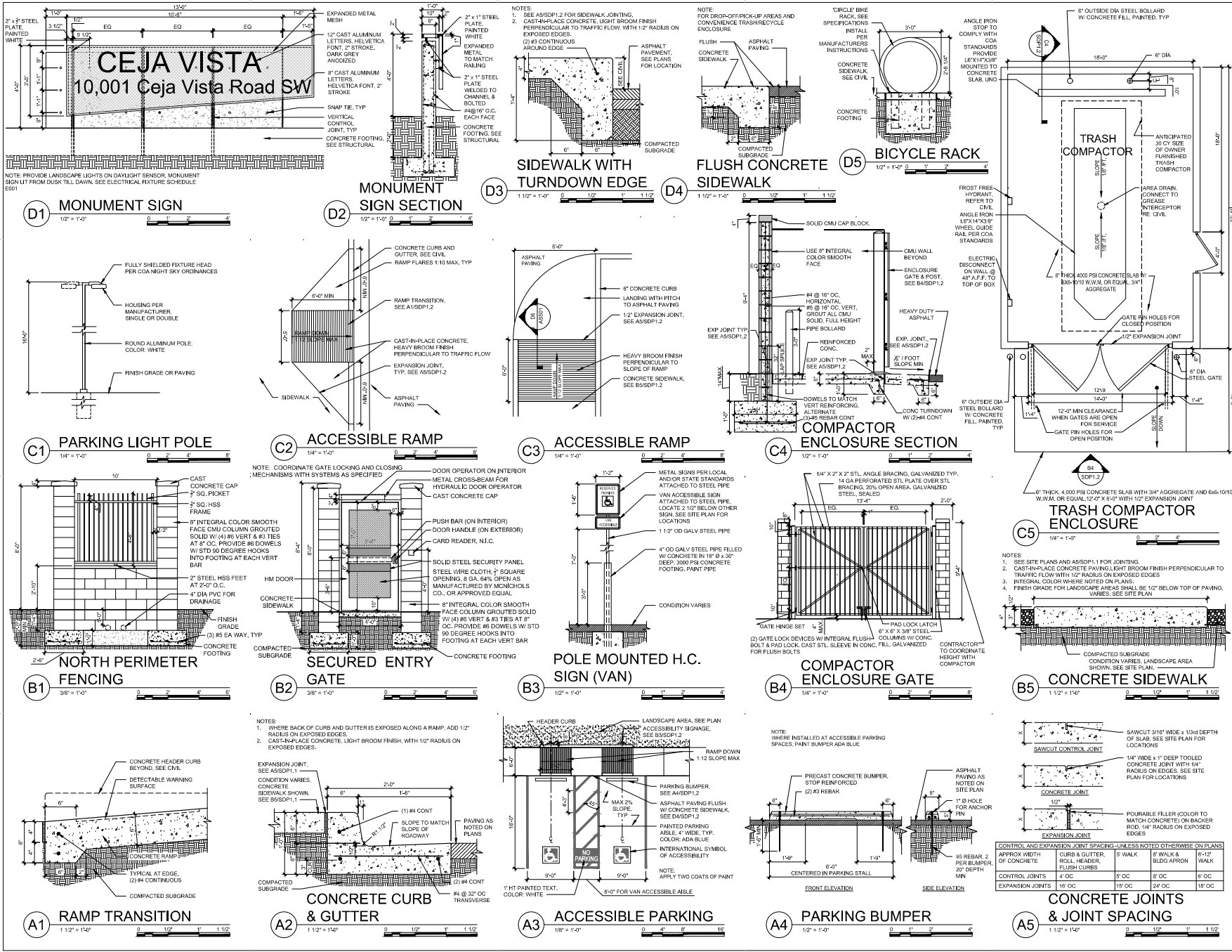
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DRAWN BY	AG, RM
REVIEWED BY	RAW, JM
DATE	08/16/2019
PROJECT NO.	19-0019
DRAWING NAME	SITE PLAN

SHEET NO.

SDP1.1

OF

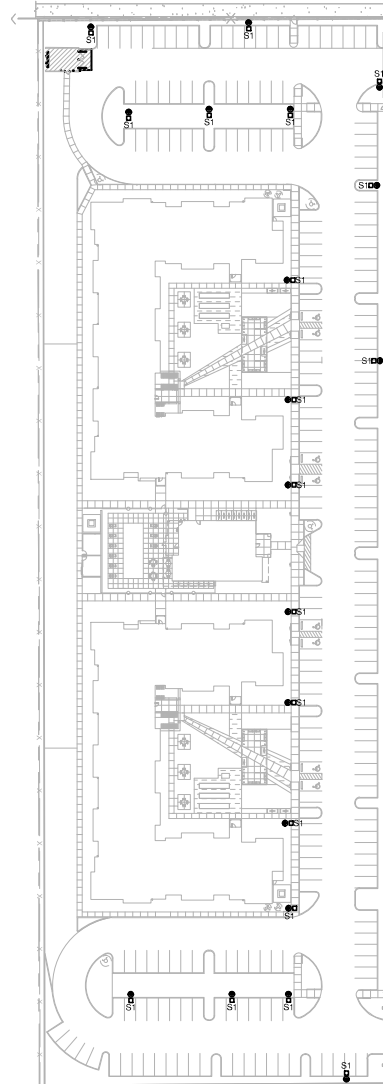


REVISIONS

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DRAWN BY AG
REVIEWED BY RAW, JM
DATE 05/16/2019
PROJECT NO. 18-0019
DRAWING NAME

**SITE
DETAILS**



A1 ELECTRICAL SITE LIGHTING PLAN
17-0017

CITY STAMP LOCATION

GENERAL SHEET NOTES

- THE CONTRACTOR SHALL COORDINATE WITH PNM (POWER), CENTURY LINK, COMMUNICATIONS TELEPHONE, AND COMCAST CABLE. CABLE TV PRIOR TO BID AND PRIOR TO ROUGH-IN OF EQUIPMENT, PADS AND UNDERGROUND CONDUIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION OF ALL TRENCHES, UTILITIES, COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR USE OF COMMON TRENCH. PROVIDE MINIMUM 18" SEPARATION BETWEEN ELECTRICAL AND COMMUNICATION CABLES. VERIFY WITH RESPECTIVE UTILITY COMPANIES AND COMPLY AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE EASEMENT RIGHTS AND LOCATION OF EASEMENTS WITH UTILITY COMPANIES.
- SPECIFIC REQUIREMENTS FOR ELECTRICAL SERVICE SHALL BE PER PUBLIC SERVICE COMPANY OR NEW MEXICO PNM RULES AND REGULATIONS AND STANDARD DRAWINGS, AND SHALL INCLUDE THE FOLLOWING:
 - PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION FOR SECONDARY RIGID. TRENCH SHALL BE MINIMUM 30" DEEP.
 - PROVIDE AND INSTALL 24" PVC CONDUIT ELBOWS 6" PAST TRANSFORMER PAD FOR PRIMARY CABLE (FURNISHED AND INSTALLED BY PNM).
 - PROVIDE AND INSTALL CONCRETE PAD FOR PAD MOUNT TRANSFORMER. FURNISHED AND INSTALLED BY PNM.
 - METERS SHALL BE SLAY TYPE PER PNM RULES AND REGULATIONS.
 - THE PRIMARY TRENCH FOR PNM PRIMARY CABLE INSTALLATION TO PROVIDED BY PNM.
 - PRIOR TO PNM INSTALLING PRIMARY CABLE, THE CONTRACTOR SHALL STAKE ALL OTHER BILLS UTILITIES INCLUDING EIGHTH WARD, FIRE PROTECTION LINES, SEWER, WATER, GAS, ETC.
 - ALL GRADES SHALL BE PLUS OR MINUS 0' OF THEIR FINAL ELEVATION PRIOR TO TRENCHING FOR UTILITIES.
- SPECIFIC REQUIREMENTS FOR TELEPHONE SERVICE SHALL BE PER CENTURY LINK COMMUNICATIONS RULES AND REGULATIONS, AND SHALL INCLUDE THE FOLLOWING:
 - PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION FOR TELEPHONE CONDUIT. TRENCH SHALL BE MINIMUM 30" DEEP. COORDINATE WITH POWER AND CABLE TV REQUIREMENTS.
 - PROVIDE MAIN POINT OF PRESENCE (MPOP) SHALL BE LOCATED AS INDICATED ON THE DRAWINGS. PROVIDE 24" X 12" X 3/4" TELEPHONE PL-WOOD BRACKETS AND 96 COPPER GROUND.
 - PROVIDE AND INSTALL ALL 8" TELEPHONE CONDUITS, ENCLOSURES, PEEBLES, ETC. ALL CONDUITS SHALL BE PVC SCHEDULE 40 AND SHALL BE PROVIDED WITH 3/16" TEST CALIBRATED PULL ROPE. ALL BENDS SHALL HAVE MINIMUM 30" RADIUS AND SHALL BE PVC COATED HEAVY GALVANIZED STEEL. NO MORE THAN TWO (2) 90 DEGREE BENDS WILL BE ALLOWED BETWEEN EQUIPMENT POINTS.
 - SERVICE ENTRANCE CONDUITS SHALL CONSIST OF TWO (2) #4 PVC CONDUITS AND SHALL BE STUBBED AT THE LOCATION AS INDICATED ON THE PLANS AND SHALL BE COORDINATED WITH CENTURY LINK.
 - CONDUITS SHALL BE TERMINATED A MINIMUM OF 6" ABOVE FINISH GRADE.
 - THE CONTRACTOR SHALL COORDINATE WITH CENTURY LINK COMMUNICATIONS PRIOR TO BID AND PRIOR TO ROUGH-IN AND SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE "COMMUNICATIONS SERVICE GUIDE".
- SPECIFIC REQUIREMENTS FOR CABLE TV SERVICES SHALL BE PER COMCAST RULES AND REGULATIONS, AND SHALL INCLUDE THE FOLLOWING:
 - PROVIDE ALL TRENCHING, BACKFILL AND COMPACTION FOR CABLE TV. TRENCH SHALL BE MINIMUM 30" DEEP. COORDINATE WITH POWER AND TELEPHONE REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE WITH COMCAST PRIOR TO BID AND PRIOR TO ROUGH-IN AND SHALL COMPLY WITH ALL RULES AND REGULATIONS OF COMCAST.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE STATE OF NEW MEXICO "MARC SHERS ENFORCEMENT ACT" AND SHALL ALSO COMPLY WITH THE "CITY OF ALBUQUERQUE LIGHTING ORDINANCES".

REFERENCE KEYNOTES

- PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) UTILITY COMPANY PAD MOUNTED 15KV SWITCH AND PRIMARY BY PNM.
- UNDERGROUND PNM PRIMARY BY PNM.
- PNM PAD MOUNT TRANSFORMER, REFER TO THE POWER RESER DIAGRAM ON SHEET E-501.
- NEW UNDERGROUND SECONDARY SERVICE ENTRANCE CONDUCTORS, REFER TO THE POWER RESER DIAGRAM.
- NEW GROUPED VENTING, REFER TO THE POWER RESER DIAGRAMS FOR DETAILS, SHEET E-501.
- CENTURY LINK TELEPHONE PEDESTAL, VERIFY WITH CENTURY LINK PRIOR TO ROUGH-IN. STUB TWO (2) 1/2" PL IN LOCATION OF THE PEDESTAL.
- TWO (2) 1" TELEPHONE AND ONE (1) 2" COMCAST CABLE, MINIMUM 30" BELOW FINISH GRADE. PROVIDE WITH PULL ROPE AND PROVIDE LONG SWEET ELBOWS AND BENDS. COORDINATE WITH CENTURY LINK AND COMCAST PRIOR TO ROUGH-IN.
- TELEPHONE BACKBOARD IN THE ELECTRICAL ROOM, REFER TO THE BUILDING FLOOR PLANS FOR LOCATION AND DETAILS.
- FIRE ALARM CONDUIT AND WIRE, PROVIDE MINIMUM 1" WITH WIRES AS REQUIRED. 30" BELOW FINISH GRADE. EXTEND TO THE FIRE ALARM CONTROL PANEL IN THE CLUBHOUSE.
- PROVIDE 120V CONNECTION TO THE MOTORIZED GATE. EXTEND MINIMUM #10 THRU 1/4" W (CU) BRANCH CIRCUIT IN MINIMUM .75" TO PANEL INDICATED.
- NOT USED.
- WEATHER-PROOF LAMP FOR CONNECTION TO THE FIRE ALARM TEST INDICATOR VALVE (PIV) EXTEND 1/2" WITH WIRES AS REQUIRED TO THE RESPECTIVE FIRE ALARM TEST PANEL IN THE BEST BUILDING. VERIFY LOCATION OF THE PIV IN FIELD PRIOR TO ROUGH-IN.
- GATE CONTROL PANEL, EXTEND 1" W CONTROL WIRES AS REQUIRED TO THE ACCESS CONTROL PANEL IN THE CLUBHOUSE.
- TYPICAL HOUSE PANEL SHALL BE PROVIDED AND INSTALLED AT EACH BUILDING RESPECTIVELY.

ARCHITECTURE / PLUMBING / MECHANICAL

DEKKER PERICH SABATINI

7601 JEFFERSON BLVD, SUITE 100 ALBUQUERQUE, NM 87117

505.767.5700 / 505.767.5700

ARCHITECT



ENGINEER



PROJECT

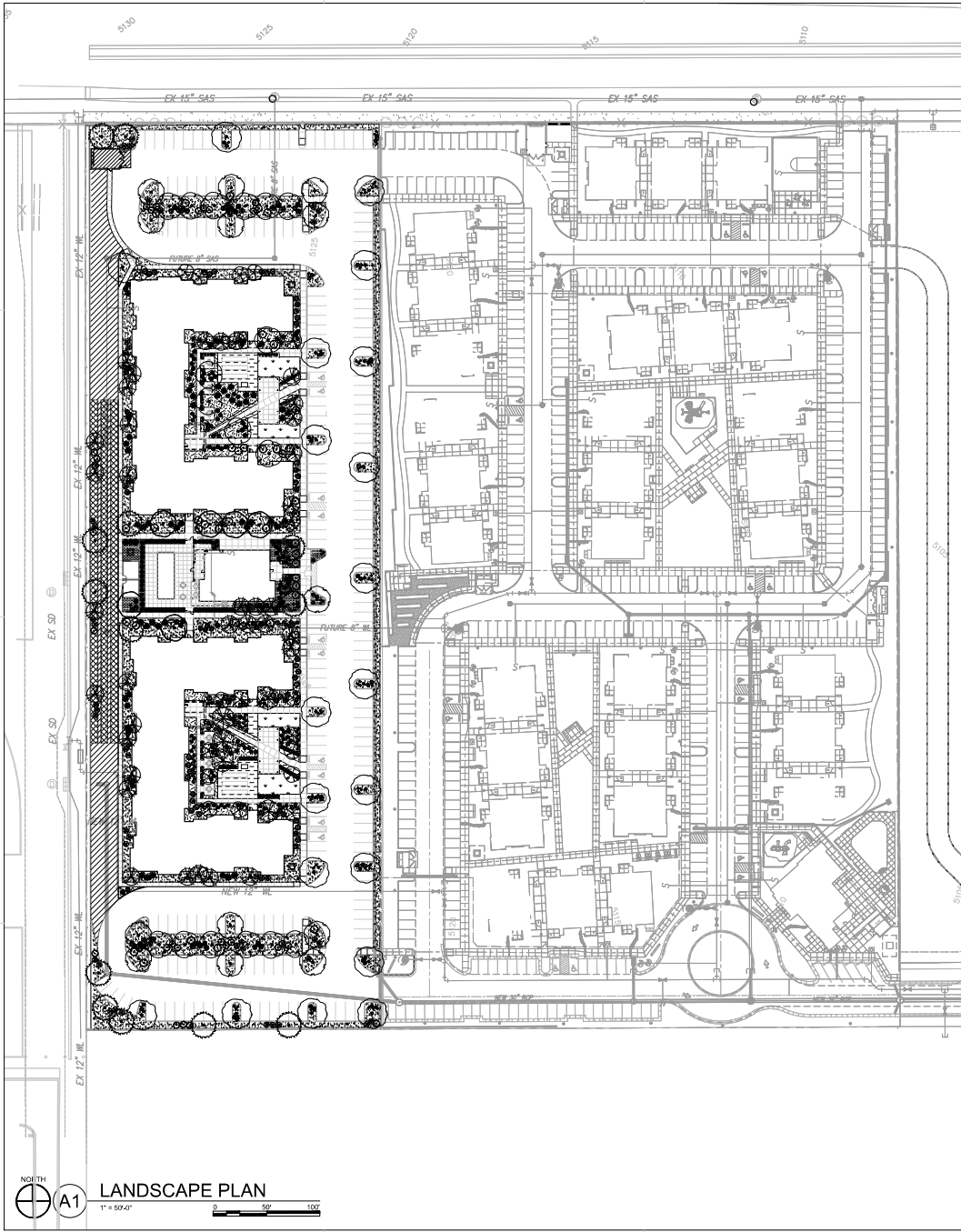
CEJA VISTA
10,001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO

- REVISIONS
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DRAWN BY: ACE
REVIEWED BY: FJT
DATE: 08/31/2017
PROJECT NO.: 17-0017
DRAWING NAME:

ELECTRICAL SITE LIGHTING PLAN

SHEET NO.
SDP 1.4



PLANTING LEGEND

TREES	COMMON NAME
	'BUBBA' DESERT WILLOW
	AUSTRIAN BLACK PINE
	CHINESE PISTACHE
	CHINKAPIN OAK
	EMERALD SUNSHINE ELM
	FRONTIER ELM
	CHASTE TREE
	GREEN VASE ZELKOVA
SHRUBS	COMMON NAME
	THOMPSON BROOM
	CHAMISA
	LENA BROOM
	TURPENTINE BUSH
	APACHE PLUME
	PROSTRATE SUMAC
	KNOCKOUT RED SALVIA
	FURMAN'S RED SALVIA
DESERT ACCENTS	COMMON NAME
	GIANT HESPERALOE
	BRAKELIGHTS RED YUCCA
	BEARGRASS
	BANANA YUCCA
	TWISTED LEAF YUCCA
ORNAMENTAL GRASSES	COMMON NAME
	'BLONDE AMBITION' BLUE GRAMA
	'KARL FOERSTER' FEATHER REED GRASS
	DEER GRASS
OTHER	
	ACCENT BOULDER

HATCH LEGEND

SYMBOL	NOTES	QTY
	2" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC	35,490 SF
	SODDED TURF - PARK BLEND IRRIGATED	2,450 SF
	SHREDDED BARK MULCH	12,270 SF
	CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC	3,500 SF
EXCLUDED FROM LANDSCAPE AREA CALCULATIONS		
	STABILIZED BASE COURSE SEE SITE PLAN	13,100 SF
	STABILIZED CRUSHER FINES SEE SITE PLAN	2,960 SF
	UNIRRIGATED NATIVE SEED MIX WITH HYDROMULCH	6,450 SF

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90-DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-54), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPE SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDINGS OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE FOOTBALL AREA AND MULCH.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE OUTER PAWL WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 54-1 OF THE I.D.O.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 9 FEET CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

IRRIGATION NOTES

- PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATERS WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 5,423 AC + 236,226 SF
 AREA OF LOT COVERED BY BUILDINGS = 44,712 SF (20,777 SF + 20,777 SF + 3,158 SF)
 NET LOT AREA = 191,514 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 28,727 SF
 PROVIDED LANDSCAPE AREA = 53,710 SF = 28%
 (see hatch legend for exclusions from landscape area)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 225 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 22 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 23 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 0 (NO STREET FRONTAGE)
 PROVIDED STREET TREES = 0

REQUIRED TREES FOR MULTIFAMILY RESIDENTIAL DEVELOPMENTS = 104 TREES
 1 TREE PER GROUND FLOOR DWELLING UNIT (52) AND 1 TREE PER SECOND-STORY UNIT (52)

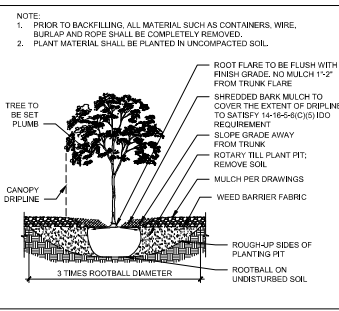
REQUIRED TREES FOR MULTIFAMILY RESIDENTIAL DEVELOPMENTS = 104 TREES

REQUIRED VEGETATIVE COVERAGE
 REQUIRED GROUND COVER = 40,382 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND PLANTS
 PROVIDED TOTAL GROUND COVER = 53,240 SF = 88%
 TREE CANOPY COVERAGE = 38,160 SF = 73% OF PROVIDED COVERAGE
 GROUND PLANT COVERAGE = 14,340 SF = 27% OF PROVIDED COVERAGE
 CALCULATION ASSUMES 300 SF PER TREE AND 20 SF PER GROUND PLANT AS AN AVERAGE OF MATURE SPREAD AND CANOPY COVERAGE
 PROPOSED TURF AREA = 2,450 SF = 4.8% OF REQUIRED LANDSCAPE AREA
 NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 38,820 SF = 73%
 TOTAL ORGANIC MULCH GROUND COVER = 14,720 SF = 27%
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

PARKING LOT EDGE LANDSCAPE
 NOT REQUIRED PER 14-16-5-6(F)(1)(a)

TREE PLANTING DETAIL



ARCHITECTURE / DESIGN / INSPIRATION



7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87110
 505.761.9700 / DKS@DEKPER.COM



ARCHITECT

ENGINEER

PROJECT

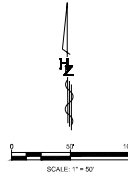
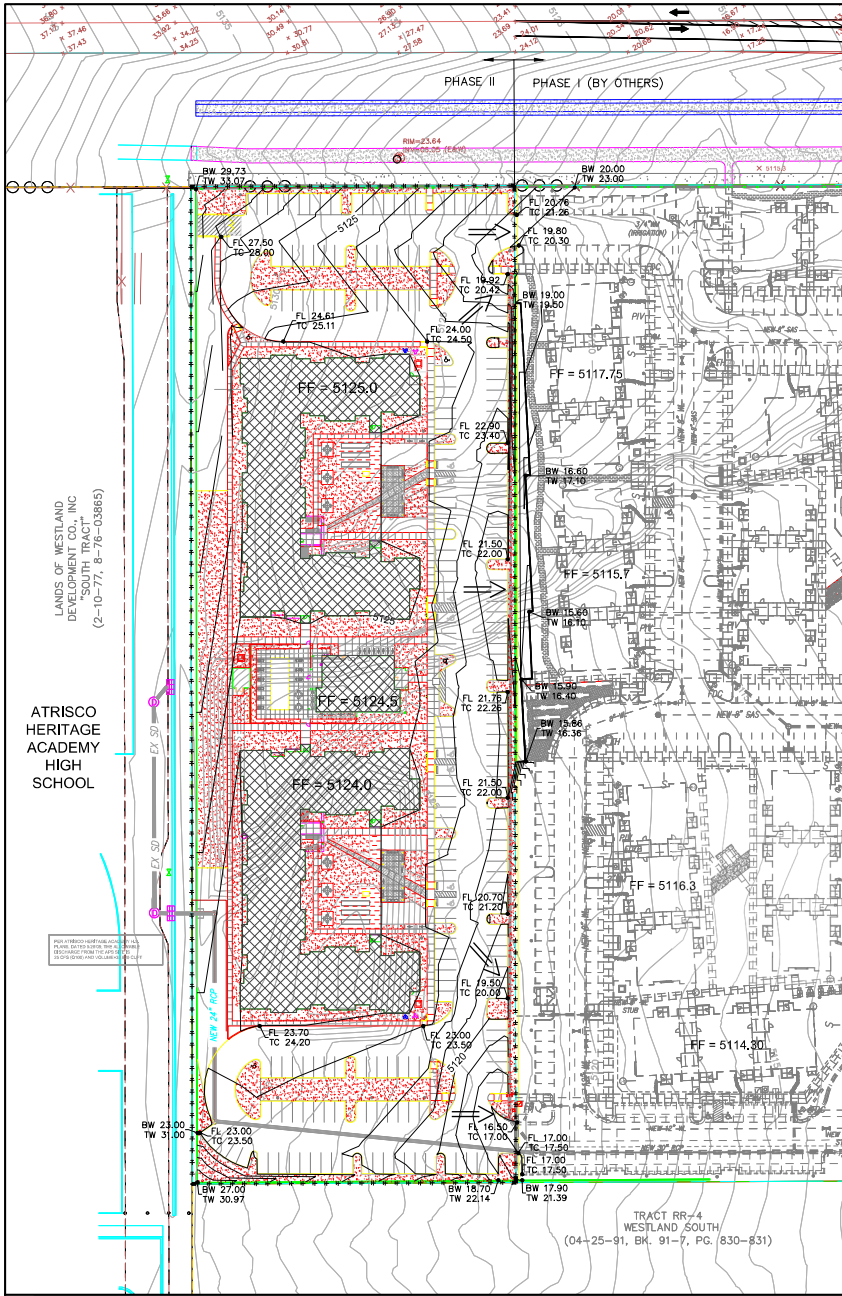
CEJA VISTA
 10 001 CEJA VISTA ROAD SW
 ALBUQUERQUE, NEW MEXICO

- REVISIONS
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DRAWN BY: JD
 REVIEWED BY: DIP/S
 DATE: 08.15.2019
 PROJECT NO.: 19-0019
 DRAWING NAME:

LANDSCAPE PLAN

SHEET NO.
SDP2.1
 OF



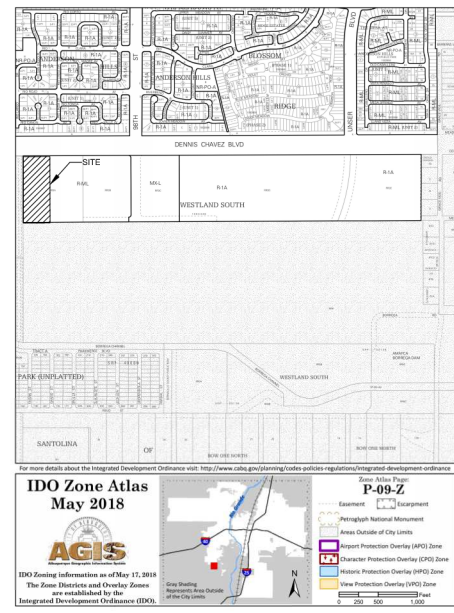
LEGEND

- DISCHARGE LOCATION
- FLOW DIRECTION
- LIMITS OF DISTURBANCE
- HIGH POINT

EROSION SEDIMENT CONTROL PLAN
SHALL BE SUBMITTED UNDER SEPARATE COVER

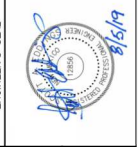
GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREIN, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL GROCES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY METING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.



AS BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
MUNICIPALITY - FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	



Designed by:
HUIT-ZOLLARS
 Huit-Zollars, Inc.
 535 Rio Rancho Dr., Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 882-5141 Fax (505) 882-3259

DBG PROPERTIES, LLC

TITLE:
**CEJA VISTA APARTMENT COMPLEX PHASE II
 GRADING PLAN**

Design Review Committee	City Engineer	Mm/Ddy/Yy	Mm/Ddy/Yy
Last Update			

City Project No. _____ Zone Map No. **P-09-Z** Sheet **2** Of **2**

PRINTING: CUSTOMER'S COPY IS NOT VALID FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
605.761.9700 / DPSDESIGN.ORG



SEAL

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO 87121

SITE PLAN FOR BUILDING PERMIT

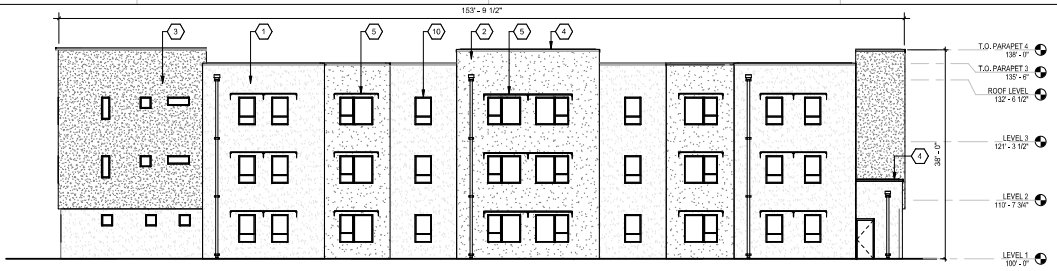
REVISIONS

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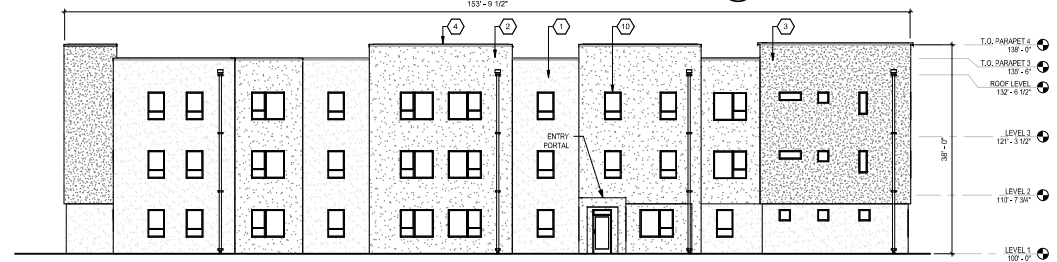
DRAWN BY: RM, AG
REVIEWED BY: RAW, JM
DATE: 08/15/2019
PROJECT NO: 16-0019

DRAWING NAME
EXTERIOR ELEVATIONS

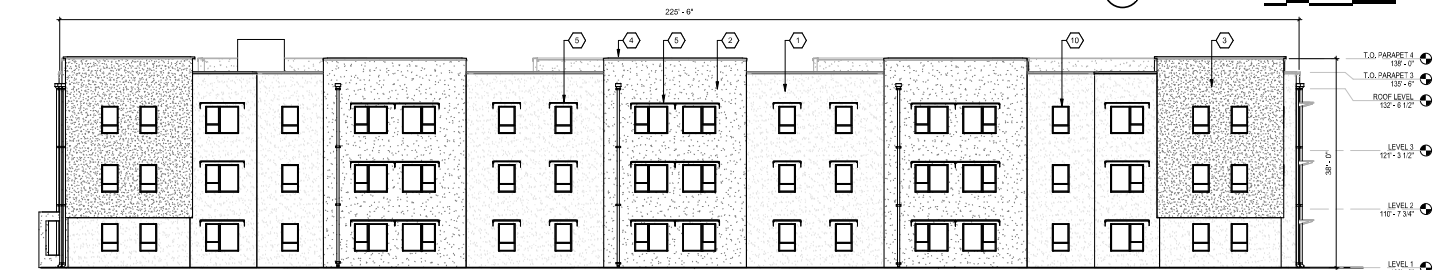
SHEET NO
SDP5.1



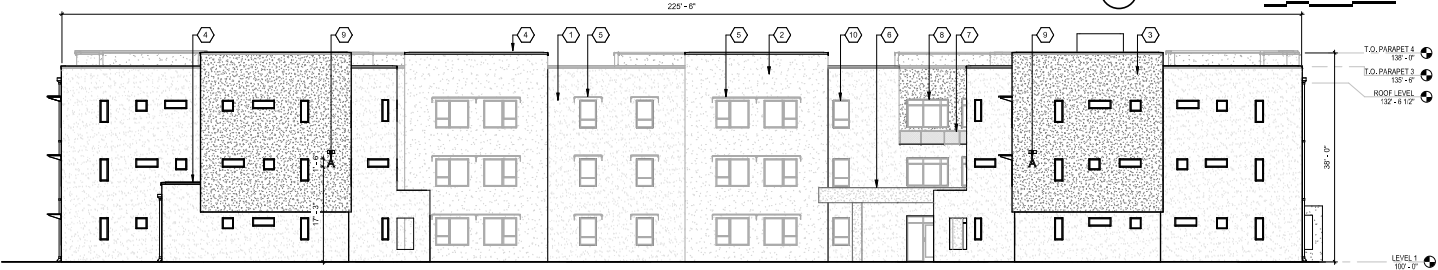
D4 SOUTH ELEVATION @ BUILDING A
332' x 1'-0"



C4 NORTH ELEVATION @ BUILDING A
332' x 1'-0"



B4 WEST ELEVATION
332' x 1'-0"



A4 EAST ELEVATION
332' x 1'-0"

GENERAL SHEET NOTES

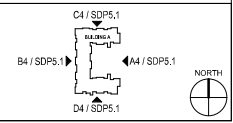
- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
- B. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 3\"/>

REFERENCE KEYNOTES

- 1. STUCCO FINISH (COLOR 1)
- 2. STUCCO FINISH (COLOR 2)
- 3. STUCCO FINISH (COLOR 3)
- 4. PREFINISHED METAL CORING
- 5. OPTIONAL WINDOW SHADE, TYP
- 6. SHADE TRUSS
- 7. GUARDRAIL AT ROOFTOP TERRACE
- 8. BRONZE ALUMINUM STOREFRONT
- 9. BUILDING IDENTIFICATION SIGNAGE
- 10. RESIDENTIAL WINDOWS
- 11. WOOD SLAT FENCE
- 12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE
- 13. ANALOG PHONE LINE
- 14. HOSE BIB

LEGEND

KEY PLAN



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PERICH
SABATINI**

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SEAL

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO 87121

SITE PLAN FOR BUILDING PERMIT

REVISIONS



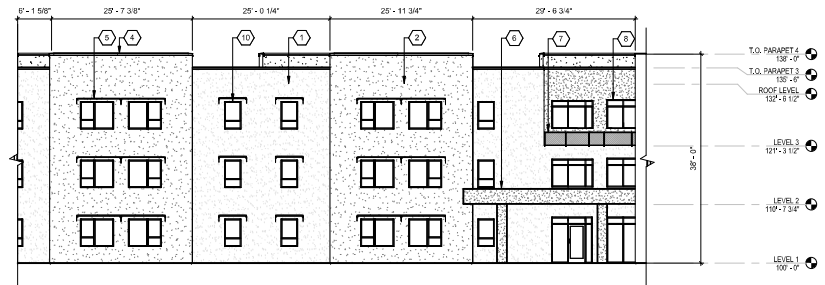
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REVIEWED BY: RAW, JM
DATE: 08/15/2019
PROJECT NO: 15-0019

DRAWING NAME

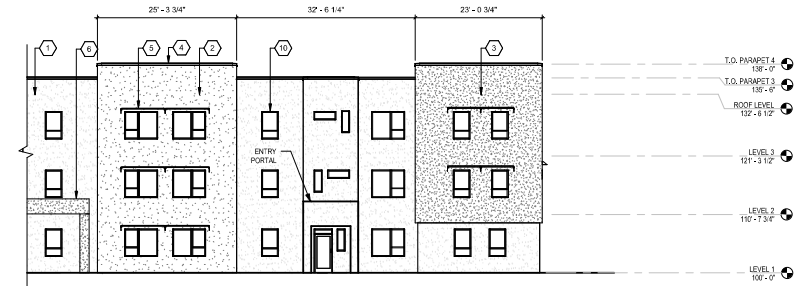
**EXTERIOR
ELEVATIONS**

SHEET NO.

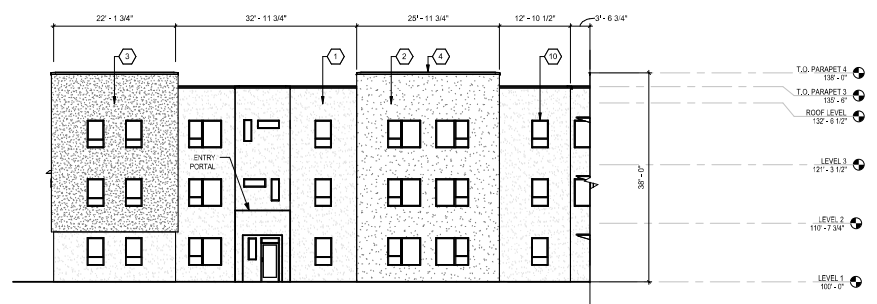
SDP5.2



3C WEST ELEVATION - COURTYARD
332' x 1'-0"



3B NORTH ELEVATION - COURTYARD
332' x 1'-0"



3A SOUTH ELEVATION - COURTYARD
332' x 1'-0"



GENERAL SHEET NOTES

- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.
- B. BUILDING IDENTIFICATION SIGNS TO BE A MINIMUM OF 3" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS, LT FROM DUSA, UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC, MOUNT AT 15'-20" ABOVE FINISHED FLOOR.

REFERENCE KEYNOTES

- 1. STUCCO FINISH (COLOR 1)
- 2. STUCCO FINISH (COLOR 2)
- 3. STUCCO FINISH (COLOR 3)
- 4. PREFINISHED METAL COPING
- 5. OPTIONAL WINDOW SHADE, TYP
- 6. SHADE TRELLIS
- 7. GUARDRAIL AT ROOFTOP TERRACE
- 8. BRONZE ALUMINUM STOREFRONT
- 9. BUILDING IDENTIFICATION SIGNAGE
- 10. RESIDENTIAL WINDOWS
- 11. WOOD SLAT FENCE
- 12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE
- 13. ANALYSIS PHONE LINE
- 14. HOSE BIB

LEGEND

KEY PLAN

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PERICH
SABATINI**

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SEAL

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO 87121

SITE PLAN FOR BUILDING PERMIT

REVISIONS



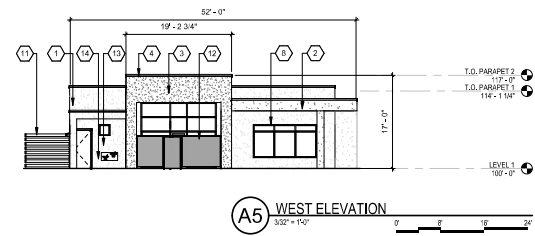
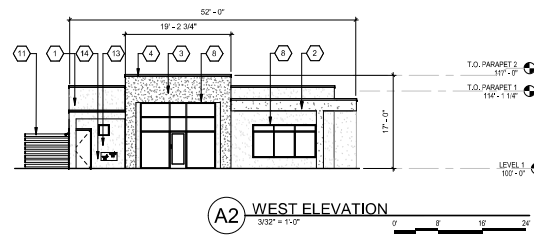
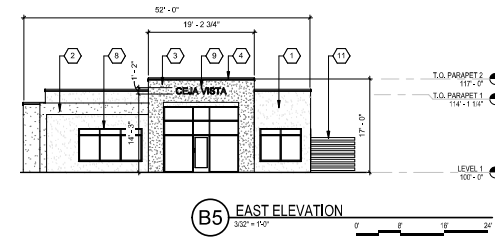
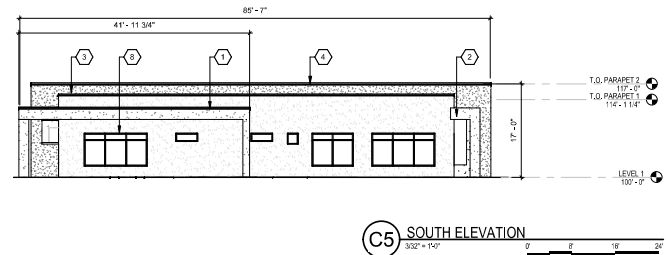
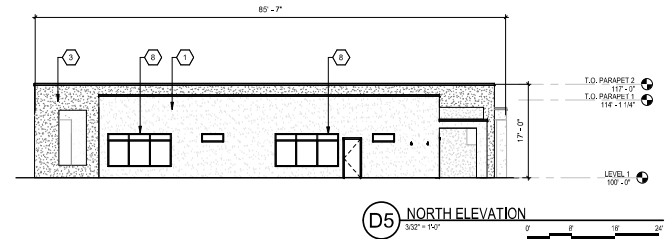
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REVIEWED BY	RAW, JM
DATE	08/15/2019
PROJECT NO.	15-0019

DRAWING NAME

**EXTERIOR
ELEVATIONS**

SHEET NO.

SDP.5.3



GENERAL SHEET NOTES

- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
- B. BUILDING IDENTIFICATION SIGNS TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC, MOUNT AT 15'-0" ABOVE FINISHED FLOOR.

REFERENCE KEYNOTES

- 1. STUCCO FINISH (COLOR 1)
- 2. STUCCO FINISH (COLOR 2)
- 3. STUCCO FINISH (COLOR 3)
- 4. PREFINISHED METAL CORING
- 5. OPTIONAL WINDOW SHADE, TYP
- 6. SHADE TRELLE
- 7. GUARDRAIL AT ROOFTOP TERRACE
- 8. BRONZE ALUMINUM STOREFRONT
- 9. BUILDING IDENTIFICATION SIGNAGE
- 10. RESIDENTIAL WINDOWS
- 11. WOOD SLAT FENCE
- 12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE
- 13. ANALOG PHONE LINE
- 14. HOSE BIB

LEGEND

KEY PLAN

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GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DM STANDARDS
- B. DIMENSIONS ARE TO FACE OF CURB OR WALL, ON EDGE OF PAVEMENT UNLESS OTHERWISE NOTED OTHERWISE
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE
- E. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, ADA STANDARDS & REGULATIONS
- F. ALL PARKING SPACES AT 8'-0" X 18'-0" UNID
- G. DESIGN WILL COMPLY WITH 2008 INTERNATIONAL FIRE CODE APPROXIM 8.CAD.
- H. ALL RADII ALONG FIRE LANE SHALL BE 20'-0"
- I. CLUBHOUSE AND CAR ACCESS GATES WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS
- J. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- K. FDS SHALL BE WITHIN 100 FEET OF A FIREBOX
- L. SLOPES WILL NOT EXCEED 1% IN GRADE FOR FIRE ACCESS ROADS
- M. ALL FIRE ACCESS LANES SHALL HAVE AN APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

SHEET KEYED NOTES

1. PROPERTY LINE
2. FIRE DEPARTMENT ACCESS - SECONDARY ACCESS POINT
3. FIRE LANE 20' WIDTH STANDARD OF HOUSE
4. FIRE HYDRANT
5. FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNT OR FREE STANDING
6. GATE ENTRY PULLBOX
7. KNOX BOX LOCATION
8. FIRE RISER ROOM 7'-6" X 8'-0"
9. FIRE ACCESS ONLY DATE WITH FIRE DEPARTMENT ACCESS SIGN AND KNOX BOX
10. MINIMUM SIGN WITH APPROVED ADDRESS IDENTIFICATION PER REQUIREMENTS IN SECTION 605 OF THE 2008 IFC
11. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 605 OF THE 2008 IFC
12. EASEMENT FIRE LANE 20'-0" WIDE
13. RETAINING WALL
14. TRANSFORMER
15. POET INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
16. FLUSH CONCRETE SIDEWALK
17. DRIVABLE GRAVEL FOR FIRE ACCESS ROAD
18. DRIVABLE LANDSCAPE
19. FLUSH TRANSITION BETWEEN ASPHALT AND DRIVABLE GRAVEL
20. FLUSH TRANSITION BETWEEN DRIVABLE GRAVEL AND LANDSCAPE

SITE DATA

SITE ADDRESS: DENNIS CHAVEZ AND 98TH STREET SW ALBUQUERQUE, NM 87121
LEGAL DESCRIPTION: TRACT RR-3-A-1, LOCATED ON DENNIS CHAVEZ BLVD. SW, BETWEEN 98TH ST. SW & 118TH ST. SW
ACRES: 5.423 ACRES
ZONE ATLAS: P-08-1
ZONING SUMMARY: (DR-1) RESIDENTIAL - MULTI-FAMILY HIGH DENSITY ZONE DISTRICT
CONSTRUCTION TYPE: V/A
BUILDING HEIGHT: 38'-0"
SPRINKLERED: FULLY SPRINKLERED
FIRE FLOW: 4,500 GPM
HYDRANTS REQUIRED: 05

BUILDING DATA

BUILDING TYPE A	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	25,396 GSF
THIRD LEVEL	19,012 GSF
TOTAL	65,185 GSF
FIRE FLOW	4,500 GPM

BUILDING TYPE B	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	25,396 GSF
THIRD LEVEL	19,913 GSF
TOTAL	66,086 GSF
FIRE FLOW	4,500 GPM

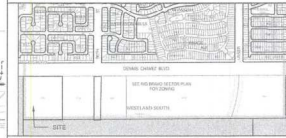
CLUB HOUSE	
LEVEL 1	3,158 GSF
FIRE FLOW	1,300 GPM

TOTAL BUILDING AREA: 125,129 GSF
LARGEST SF SPACE: CLUB HOUSE COMMUNITY ROOM 809 GSF

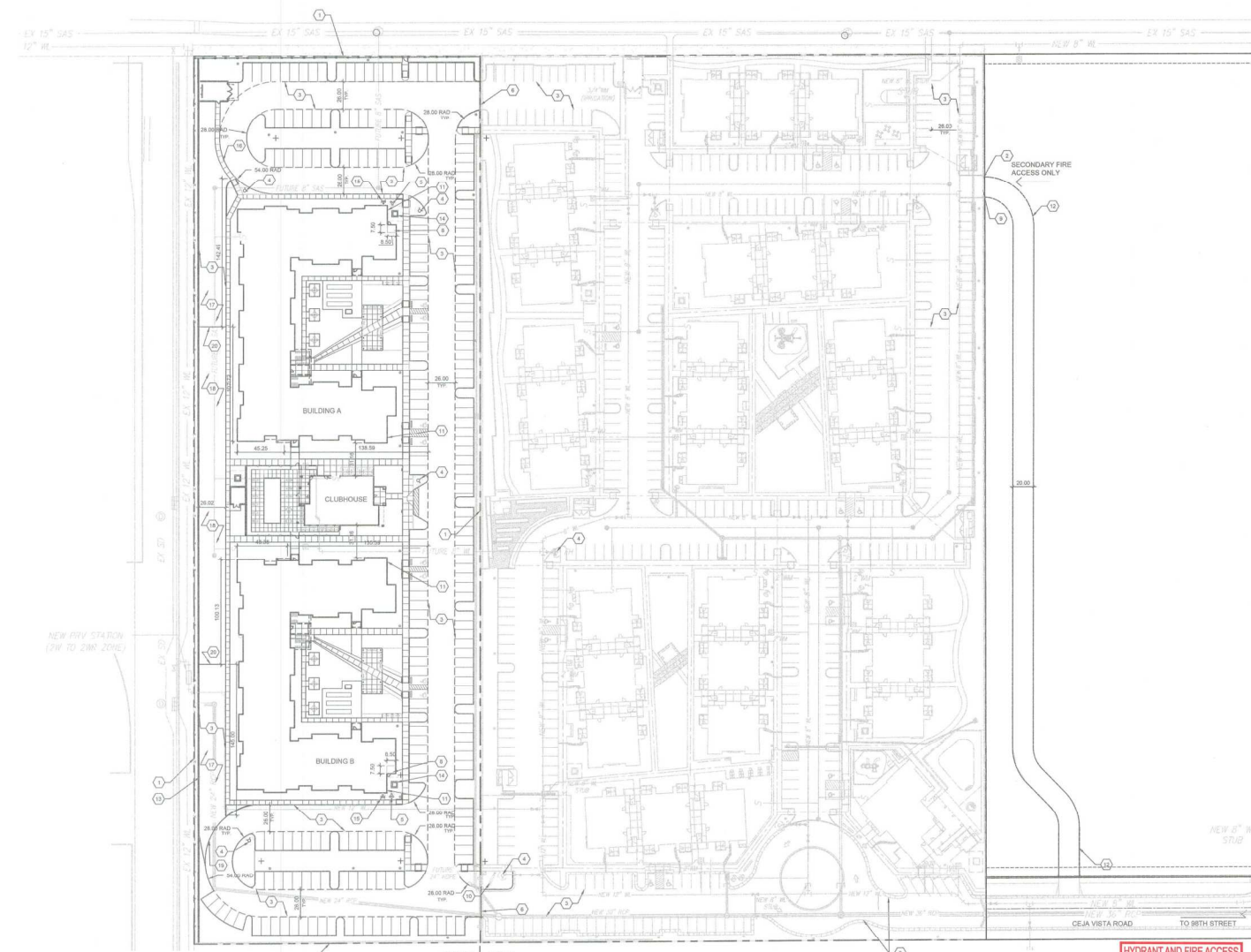
LEGEND

- PAINTED DIRECTIONAL ARROWS
- FH ◀ FIRE HYDRANT, RE: CONCEPTUAL UTILITY PLAN
- FDC ▲ FIRE DEPARTMENT CONNECTION, RE: CONCEPTUAL UTILITY PLAN
- PV ▶ POET INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- C ◻ COMPACT PARKING @ 8'-0" X 15'-0"

VICINITY MAP



A5 VICINITY MAP



A1 FIRE ONE PLAN
 1" = 50'-0"
 NORTH

HYDRANT AND FIRE ACCESS
 ALBUQUERQUE FIRE MARSHAL'S OFFICE
 PLANS CHECKING DIVISION
 505 262-5222 CONSTRUCTION TYPE A
 505 262-5222 NUMBER OF HYDRANTS: 5
APPROVED / DISAPPROVED
 12/20/19 12/20/19
 SIGNATURE / MARK NUMBER / DATE

2872-19