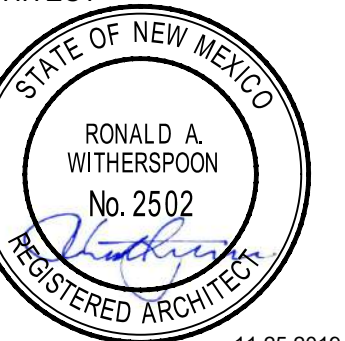


**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT



ENGINEER

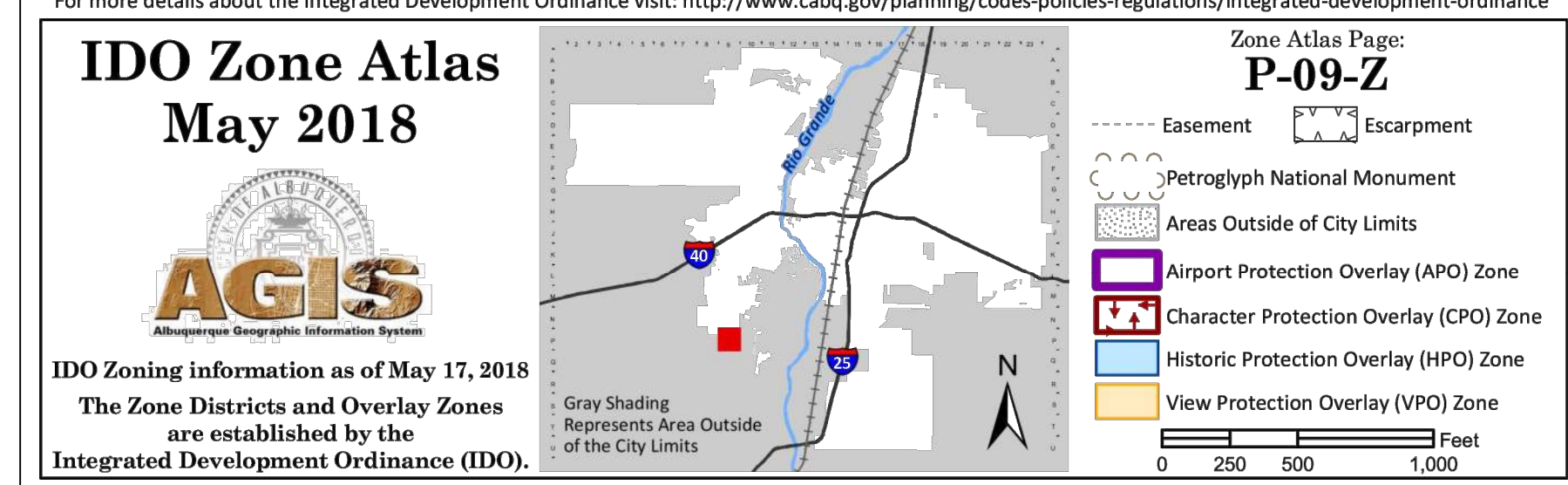
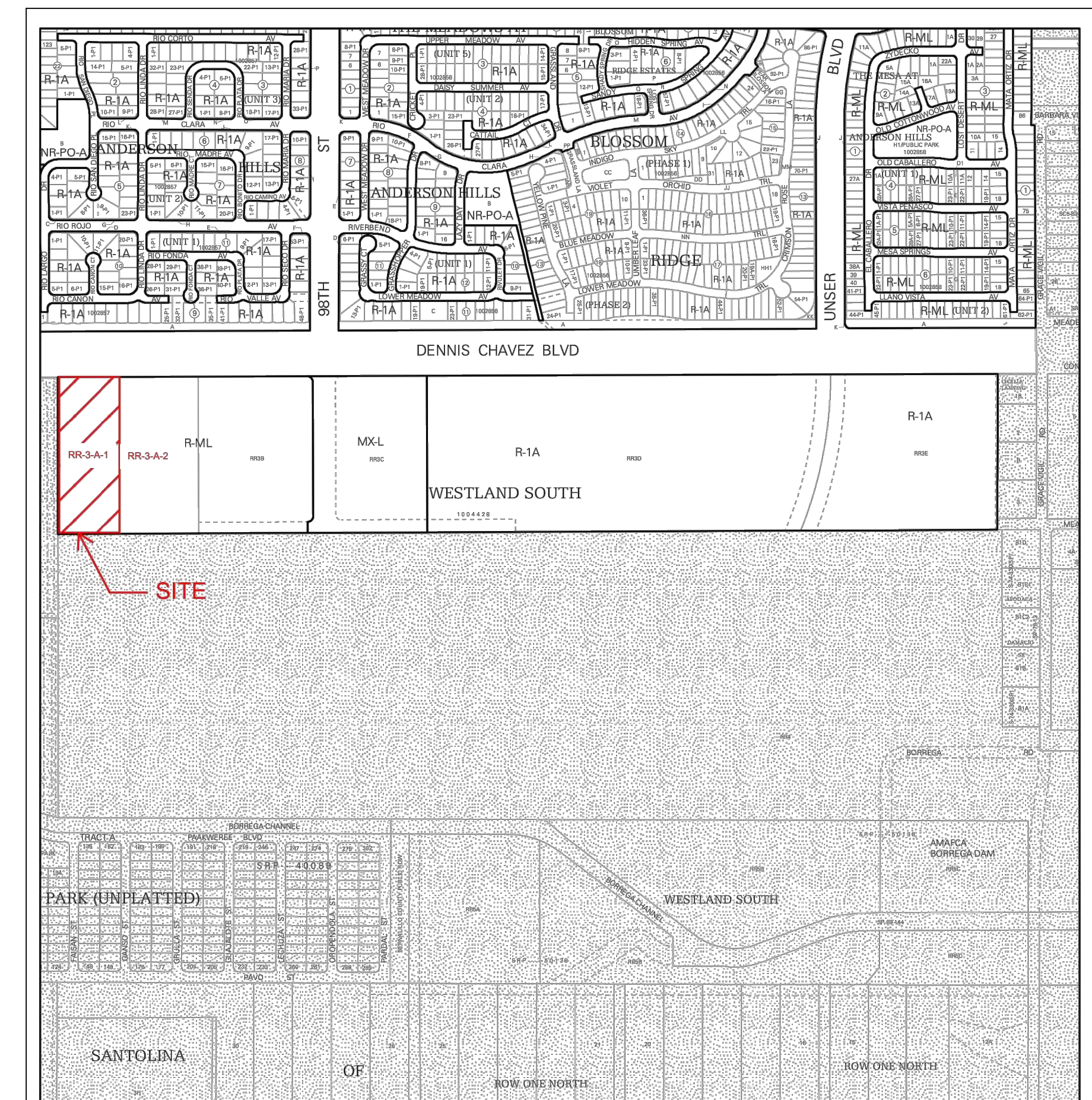
PROJECT

CEJA VISTA
 10001 CEJA VISTA ROAD SW
 ALBUQUERQUE, NEW MEXICO 87121

DRAWING INDEX

- | | |
|---------|---|
| SDP 1.1 | SITE PLAN |
| SDP 1.2 | SITE DETAILS |
| SDP 1.3 | SITE DETAILS |
| SDP 1.4 | ELECTRICAL SITE LIGHTING PLAN |
| SDP 1.5 | ELECTRICAL SITE LIGHTING PLAN |
| SDP 2.1 | LANDSCAPE PLAN |
| SDP 3.1 | DRAINAGE PLAN |
| SDP 3.2 | GRADING PLAN |
| SDP 3.3 | UTILITY PLAN |
| SDP 5.1 | EXTERIOR BUILDING ELEVATIONS |
| SDP 5.2 | EXTERIOR BUILDING ELEVATIONS |
| SDP 5.3 | EXTERIOR BUILDING ELEVATIONS |
| SDP 6.1 | APPROVED FIRE ONE FOR REFERENCE |
| SDP 6.2 | APPROVED WASTE MANAGEMENT FOR REFERENCE |

VICINITY MAP



CEJA VISTA

PROJECT TEAM

OWNER/CONTRACTOR

DGB PROPERTIES
 2164 W. PARK PLACE
 PORTLAND, OR 87205-1125
 PHONE: 505.402.0091

ARCHITECT/LANDSCAPE

DEKKER/PERICH/SABATINI, LTD.
 7601 JEFFERSON ST. NE, SUITE 100
 ALBUQUERQUE, NM 87109
 PHONE: 505.761.9700

CIVIL

HUITT-ZOLLARS INC.
 333 RIO RANCHO DR. NE SUITE 101
 RIO RANCHO, NM 87124
 505.892.5141

MECHANICAL ENGINEER

ARSED ENGINEERING GROUP, LLC.
 4700 LINCOLN RD. NE
 ALBUQUERQUE, NM 87109
 PHONE: 505.761.3100

ELECTRICAL

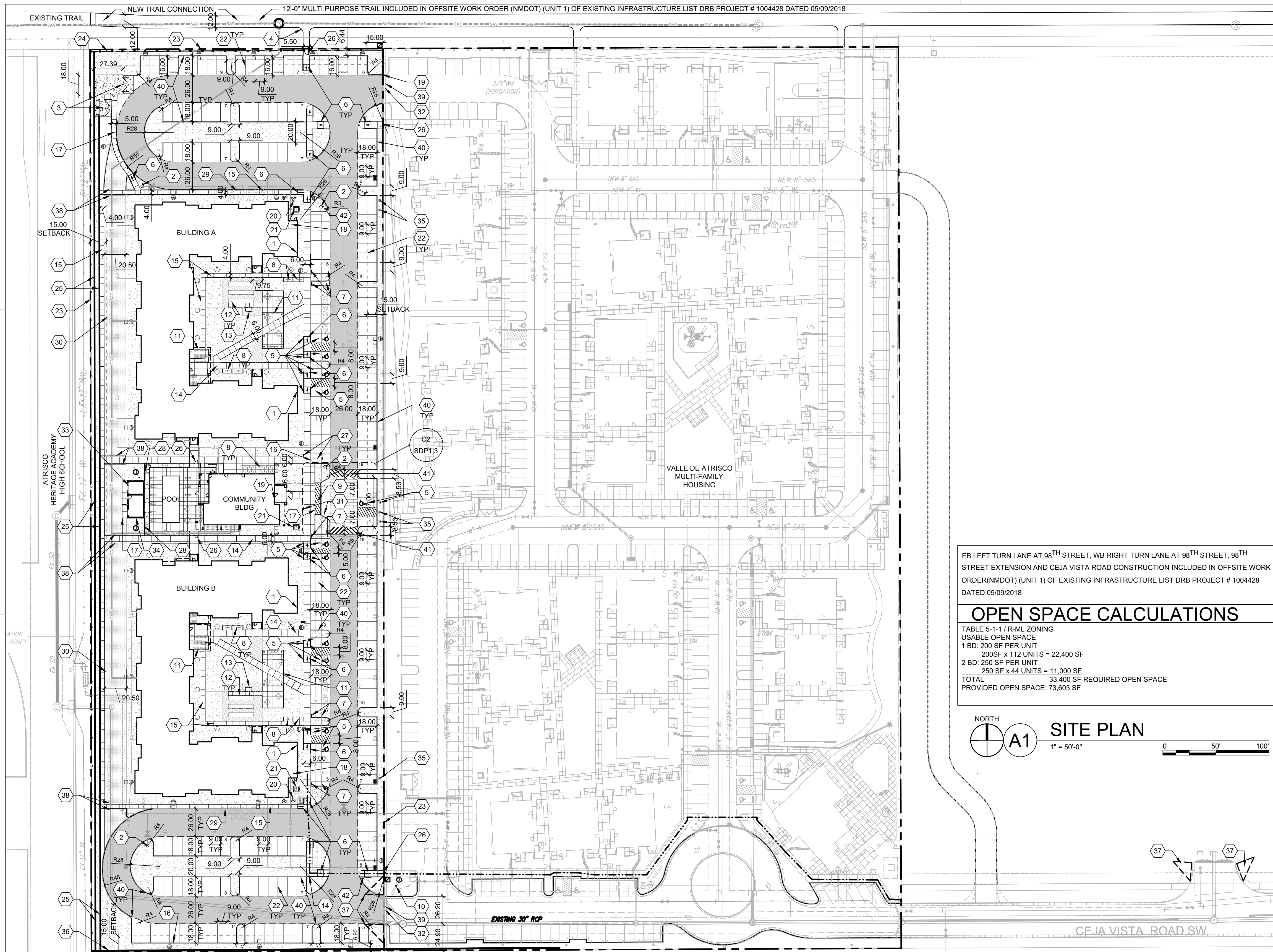
AC ENGINEERING ENTERPRISES, LLC.
 120 ALISO DR. SE
 ALBUQUERQUE, NM 87108
 PHONE: 505.842.5787

DATE 11/25/2019

PROJECT NO. 19-0019

ISSUE PURPOSE

**SDP FOR
BUILDING
PERMIT**



EB LEFT TURN LANE AT 98TH STREET, WB RIGHT TURN LANE AT 98TH STREET, 98TH STREET EXTENSION AND CEJA VISTA ROAD CONSTRUCTION INCLUDED IN OFFSITE WORK ORDER(NMDDOT) (UNIT 1) OF EXISTING INFRASTRUCTURE LIST DRB PROJECT # 1004428 DATED 05/09/2018

Table with 2 columns: Description and Value. Includes 'USABLE OPEN SPACE', '2005 SF PER UNIT', '22,400 SF', '250 SF PER UNIT', '11,000 SF', '33,400 SF', '73,603 SF'.



Approval table with columns for Department, Date, and Signature. Includes entries for Traffic Engineering, ABCWUA, Parks & Recreation, City Engineer, Environmental Health, Solid Waste Management, DRB Chairperson, and Code Enforcement.

LEGEND

- List of symbols and their corresponding descriptions: Landscape Area, Stabilized Crusher Fines, Reinforced Concrete Paving, Heavy Duty Asphalt, Base Course, Firelane Striping, Property Line, Fire Hydrant, Post Indicator Valve, Site Lighting, Raised Planting Beds, Concrete Bench, Bike Rack, Outdoor Furniture, Sidewalk Ramp, Transformer, Pool Perimeter Fence, Private Sidewalk Easement, Accessible Parking.

GENERAL SHEET NOTES

- Notes A through I regarding dimensions, site plan standards, ramps, lighting, sealant, air entrained concrete, and landscaping/signage.

SHEET KEYED NOTES

- Notes 1 through 16 regarding building identification, fire hydrant, ramp, accessible parking, ramp, motorcycle parking, bike rack, accessible aisle, monument sign, raised garden beds, potting station, concrete sidewalk, wide sidewalk, concrete curb, flush concrete sidewalk, fire riser room, fire access gate, fire department connection.

PROJECT DATA

- Project details including zoning (RML), legal description, site area (5.423 acres), building height, fire flow (4,500 GPM), hydrants, construction type (V-A), building square footages for Buildings A and B, clubhouse, and total parking spaces (125,128).

PARKING CALCULATION

- Calculation details for required parking spaces based on multi-family units, vanpool, electric vehicle charging stations, and bicycle storage.

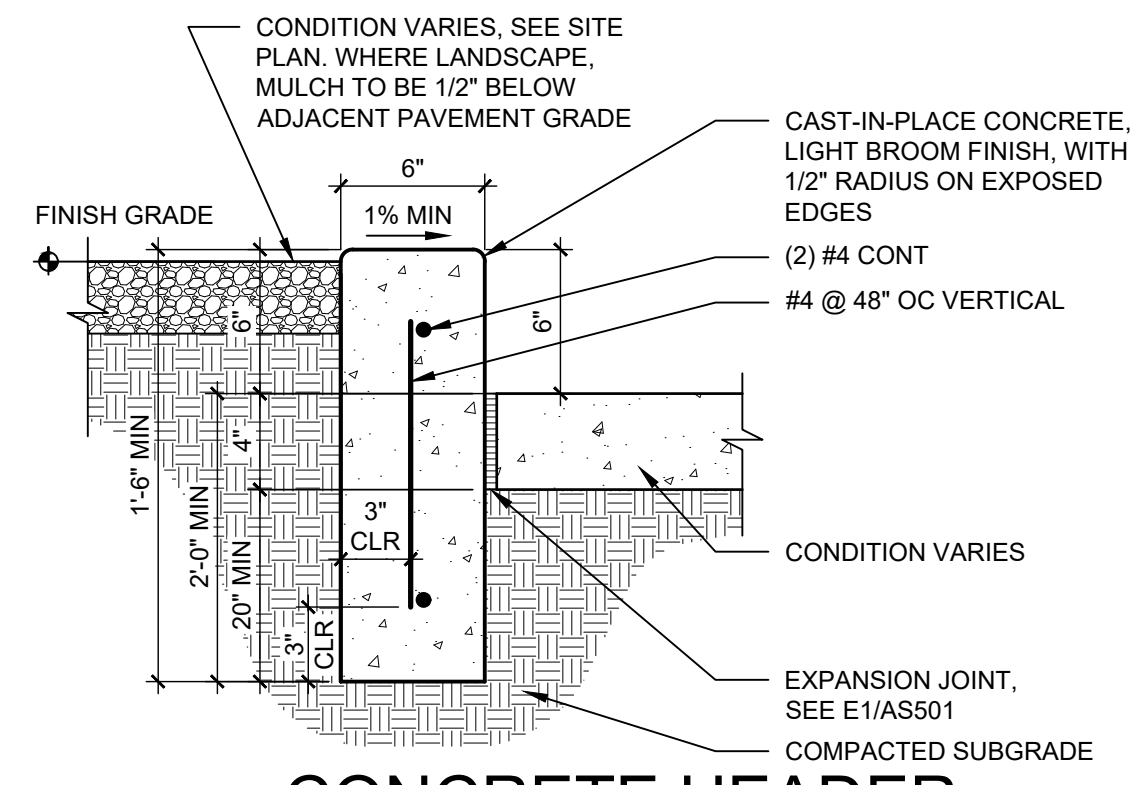
Revisions table with columns for Revision Number, Description, and Date.

Drawn and Reviewed table with columns for Role, Name, and Date.

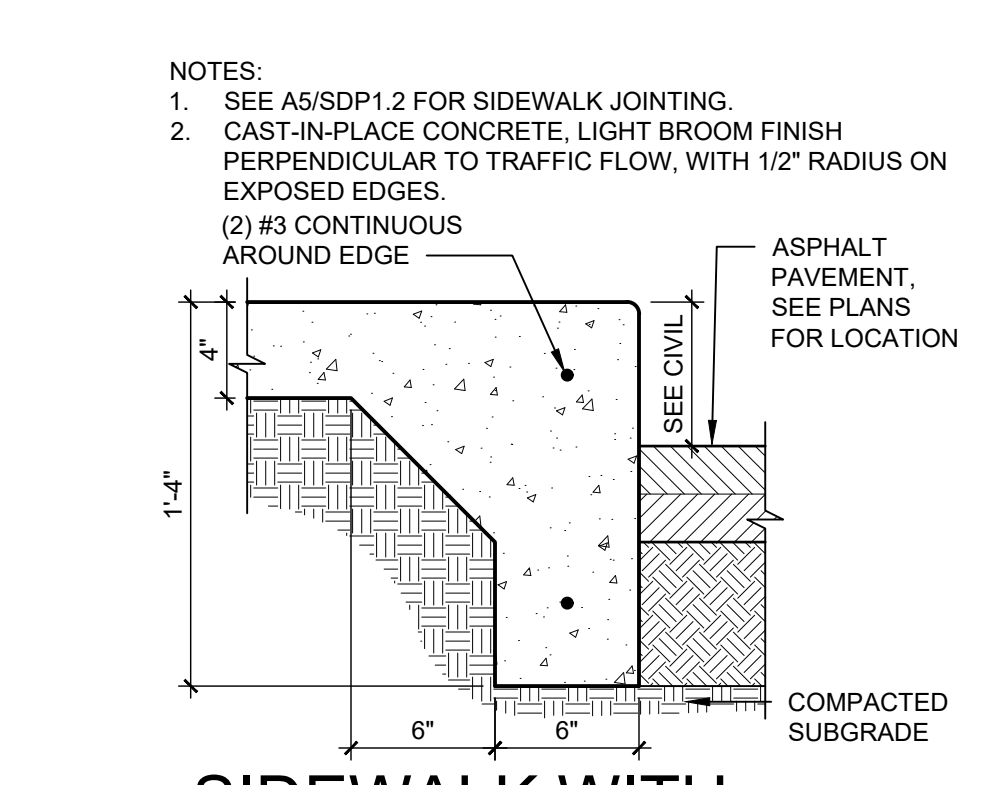
PROJECT NO. 19-0019 DRAWING NAME

SITE PLAN FOR BUILDING PERMIT

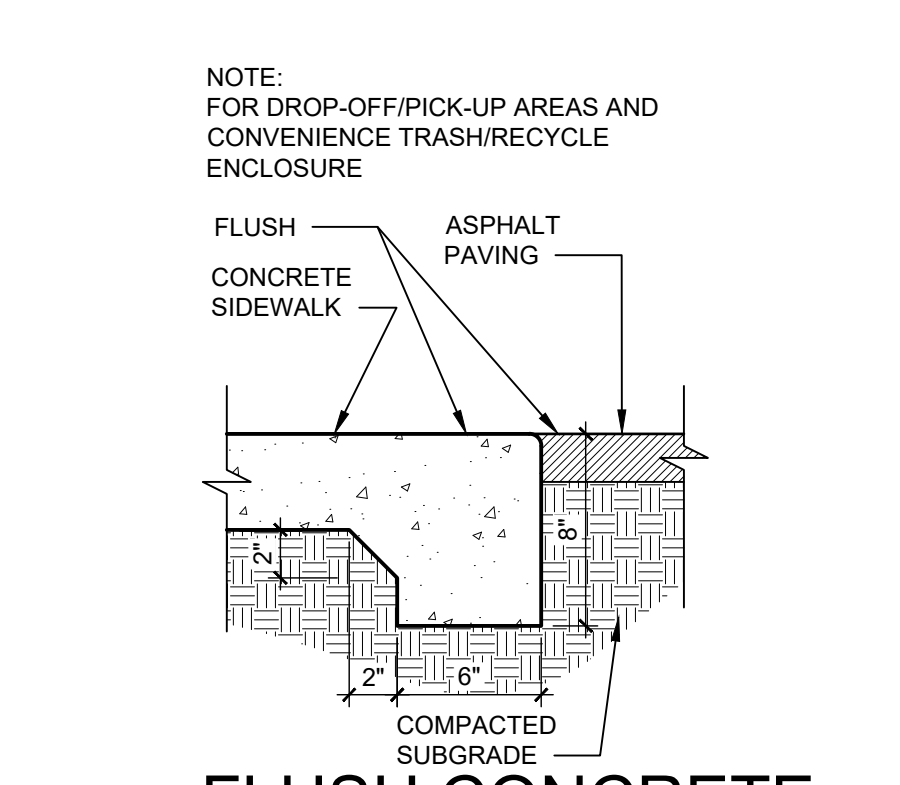
SHEET NO. SDP1.1 OF



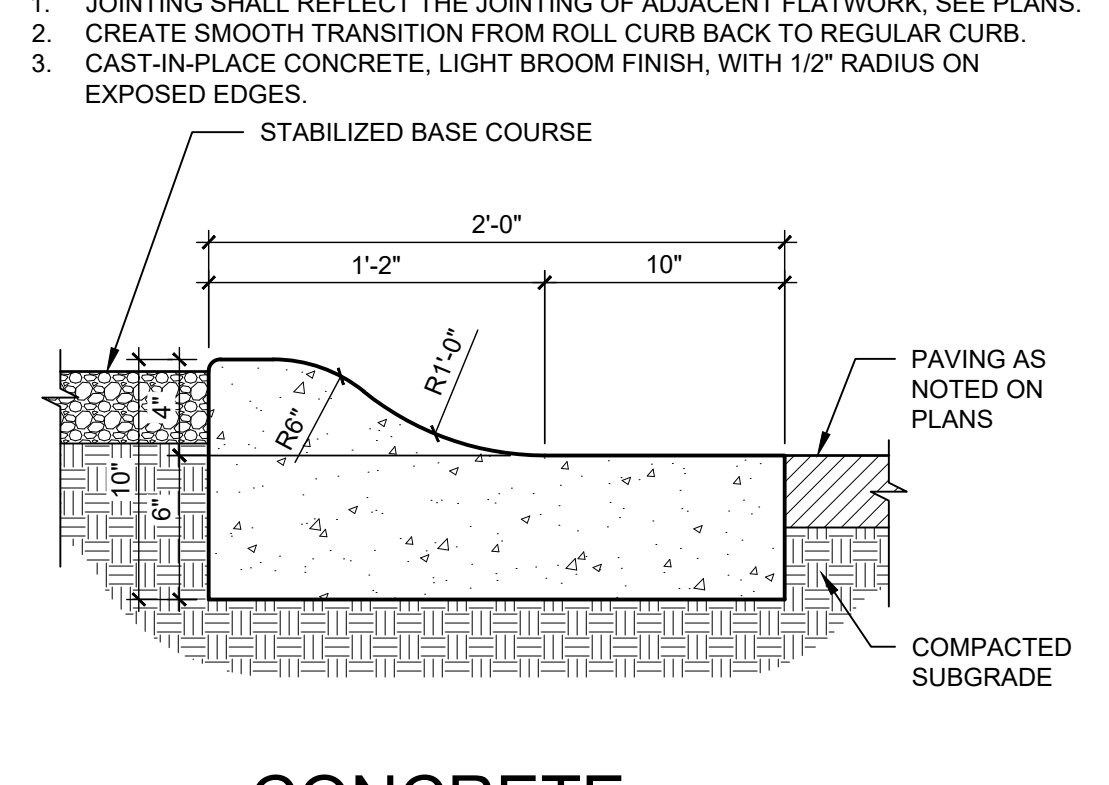
D2 CONCRETE HEADER CURB
1 1/2" = 1'-0"



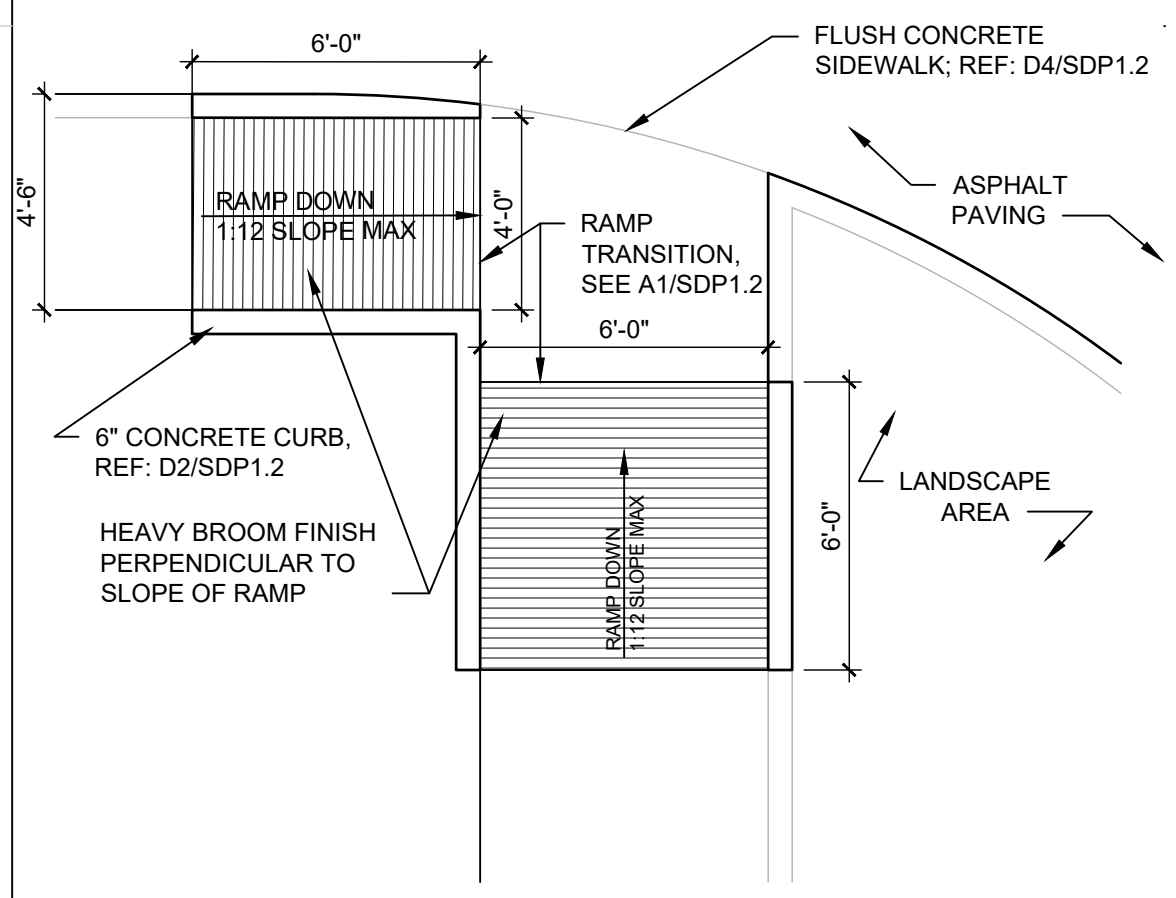
D3 SIDEWALK WITH TURNDOWN EDGE
1 1/2" = 1'-0"



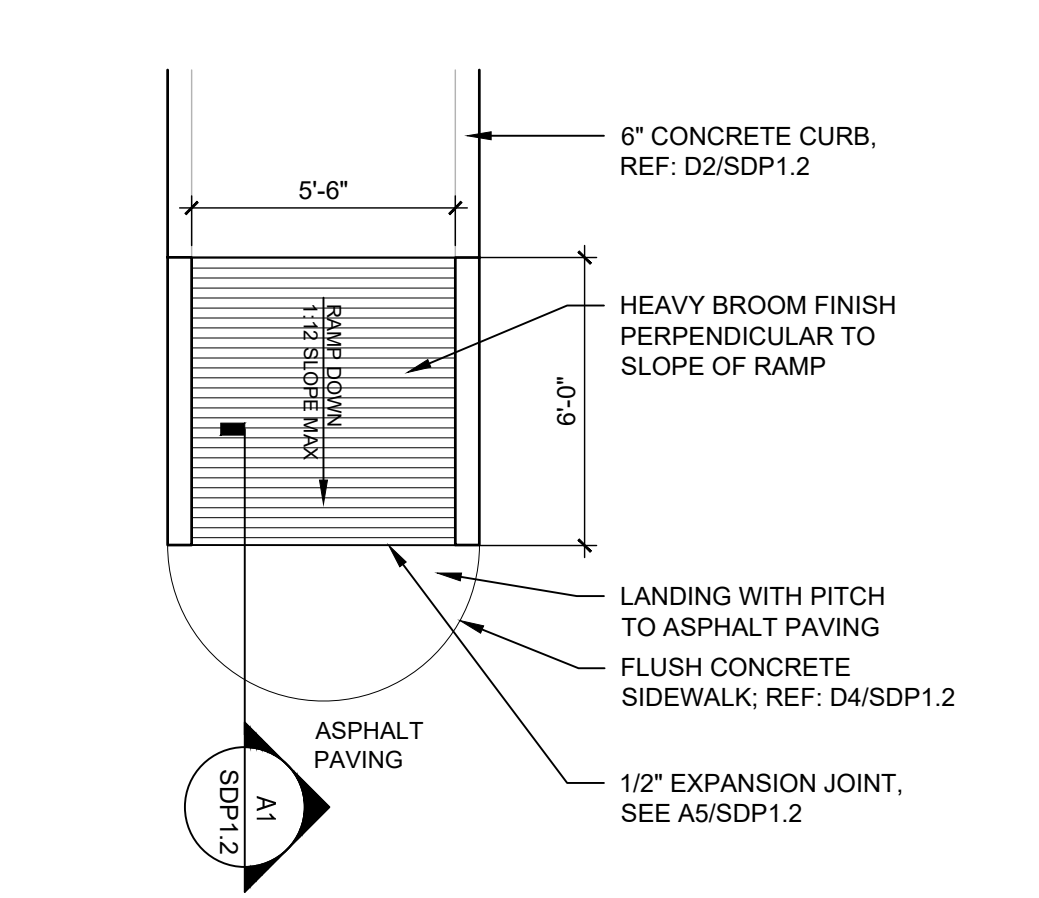
D4 FLUSH CONCRETE SIDEWALK
1 1/2" = 1'-0"



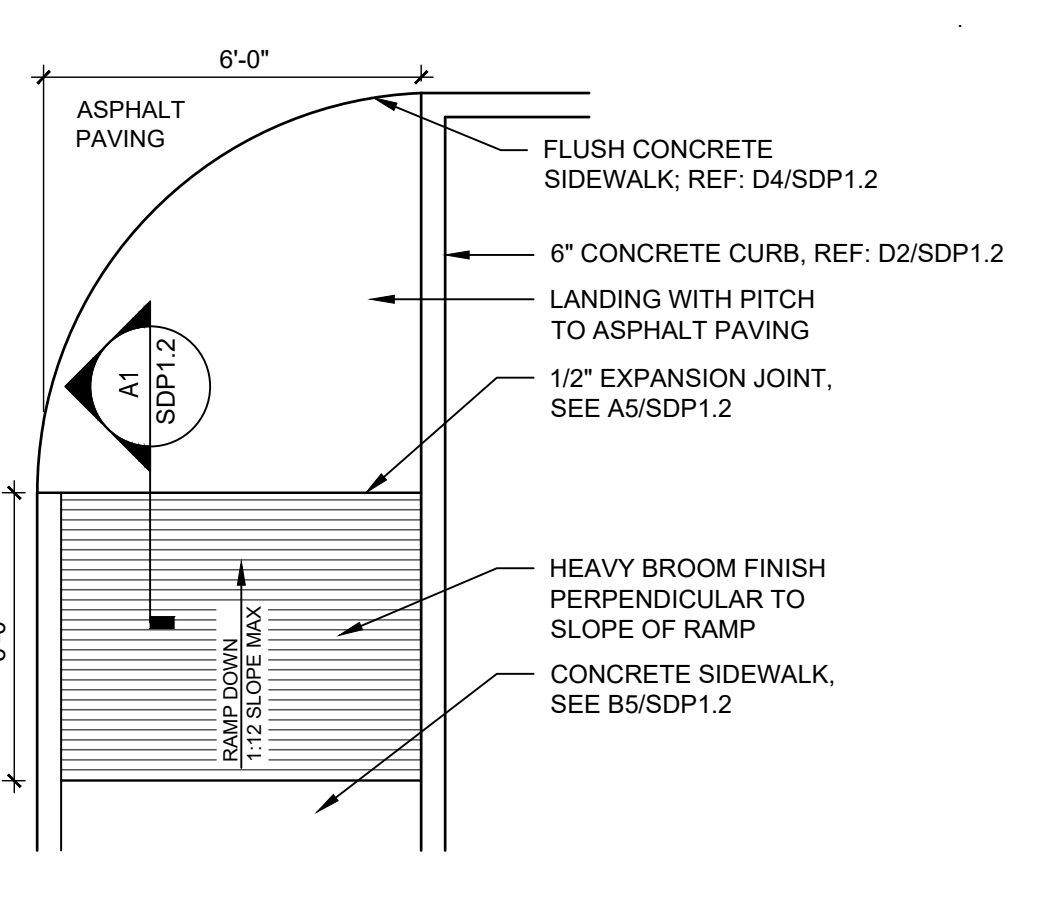
D5 CONCRETE MOUNTABLE CURB
1 1/2" = 1'-0"



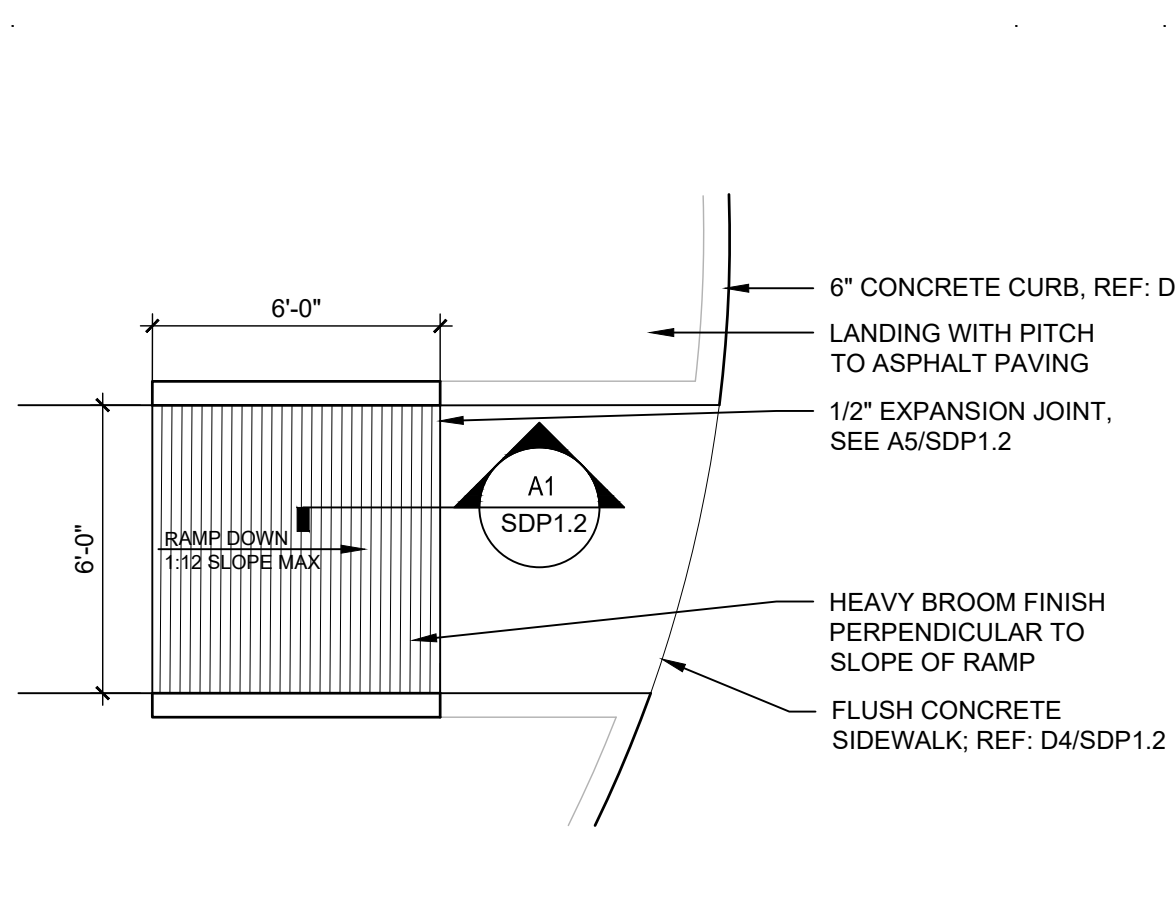
C1 ACCESSIBLE RAMP
1/4" = 1'-0"



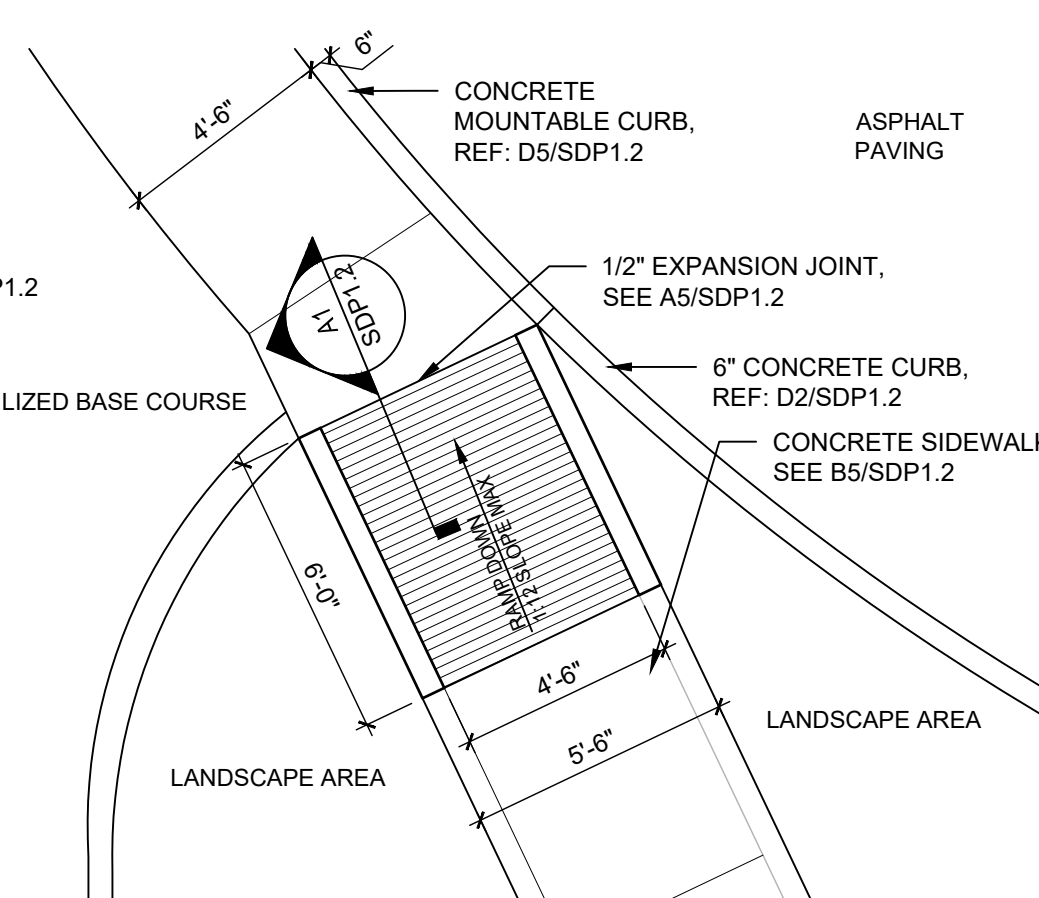
C2 ACCESSIBLE RAMP
1/4" = 1'-0"



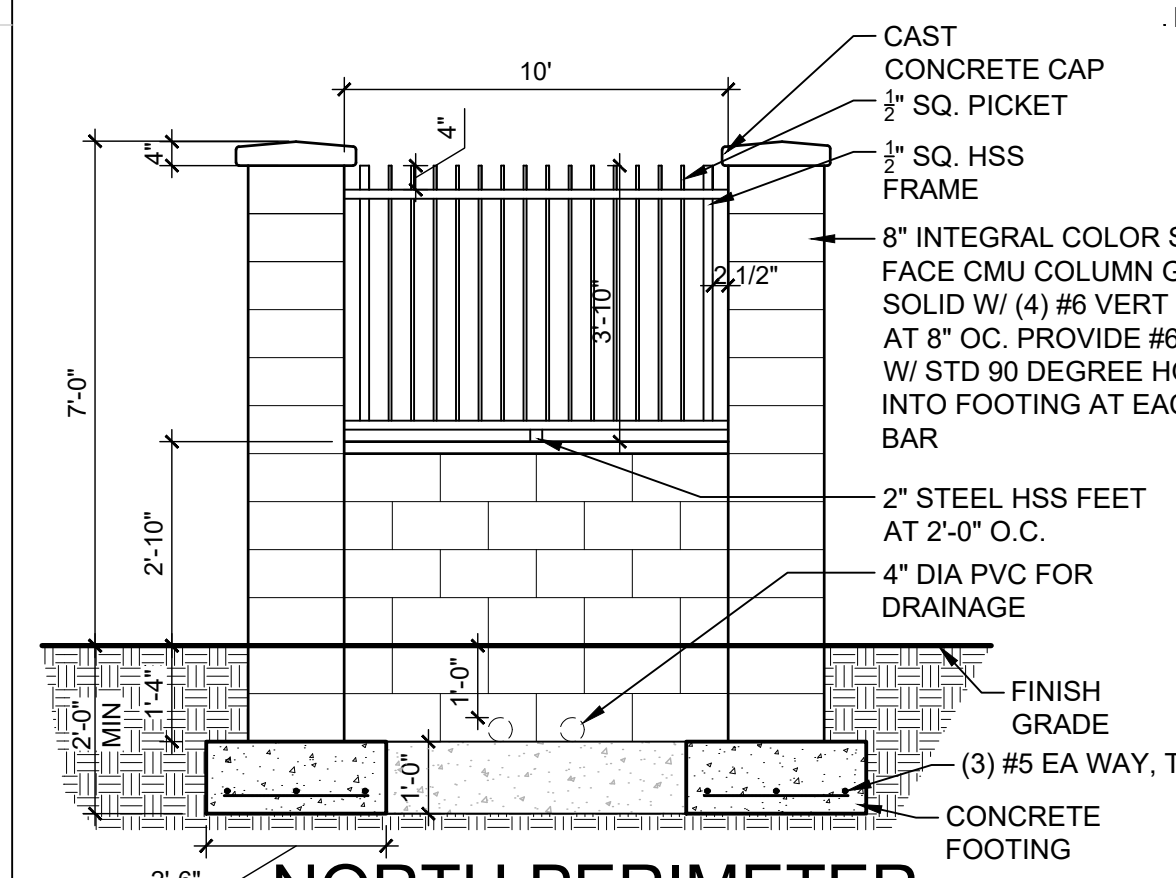
C3 ACCESSIBLE RAMP
1/4" = 1'-0"



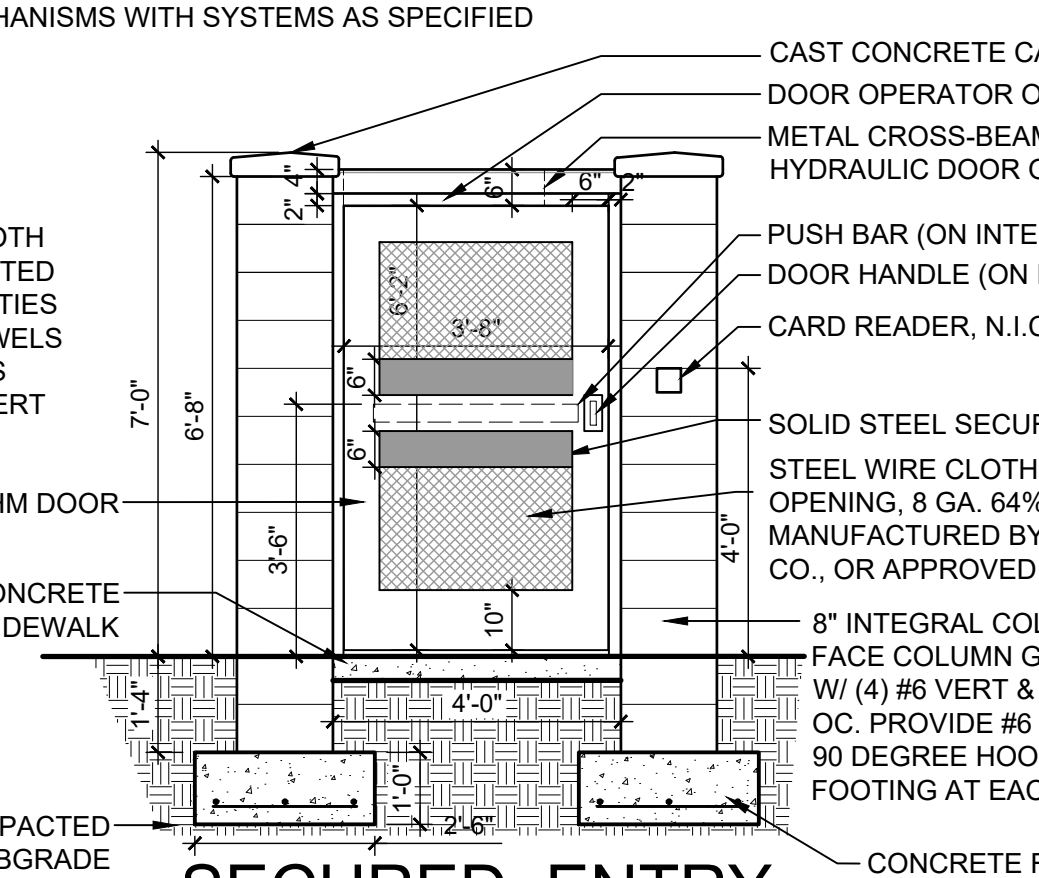
C4 ACCESSIBLE RAMP
1/4" = 1'-0"



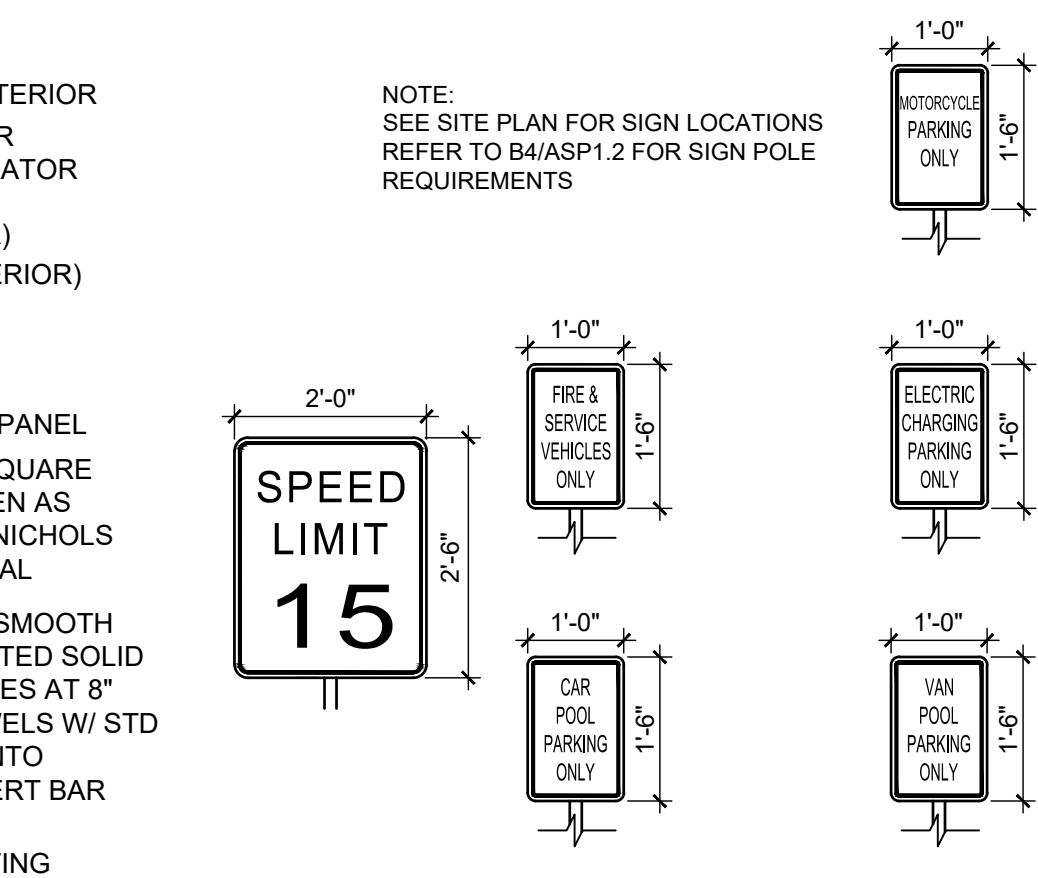
C5 ACCESSIBLE RAMP
1/4" = 1'-0"



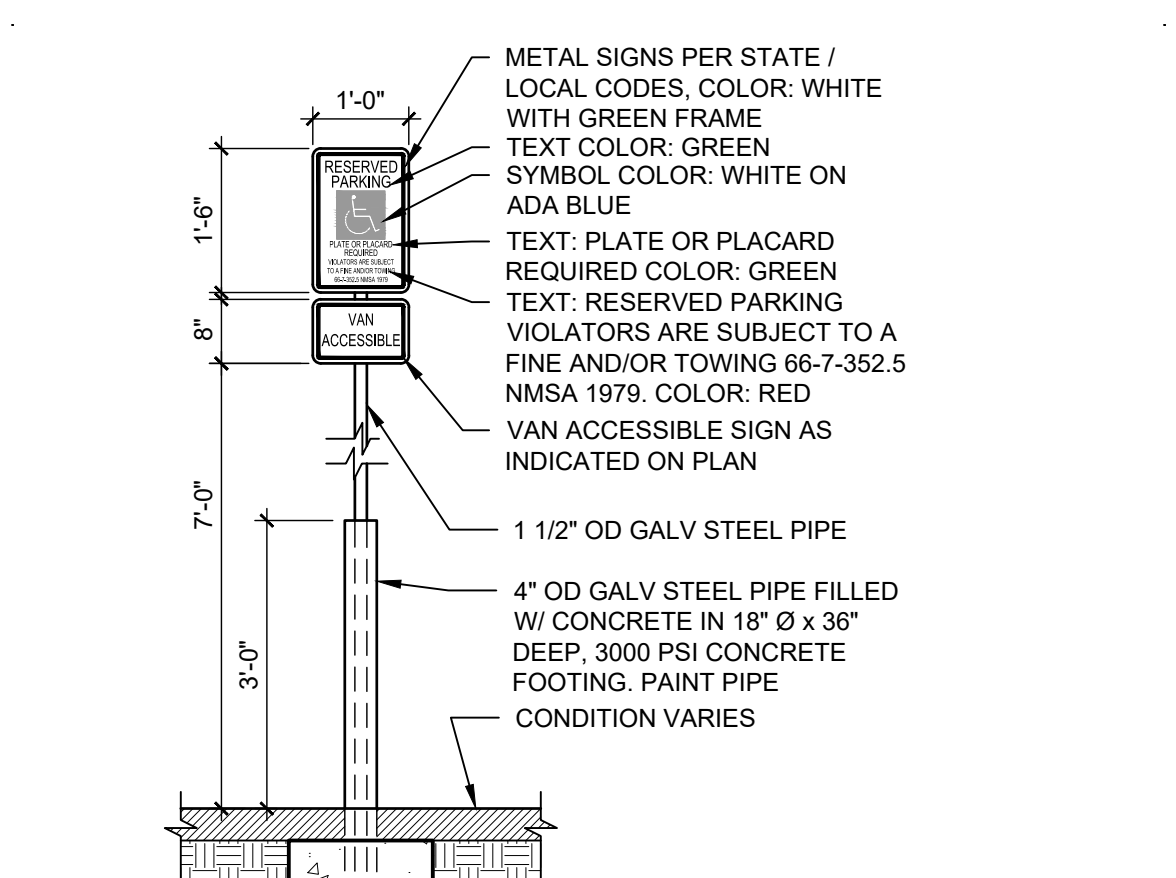
B1 NORTH PERIMETER FENCING
3/8" = 1'-0"



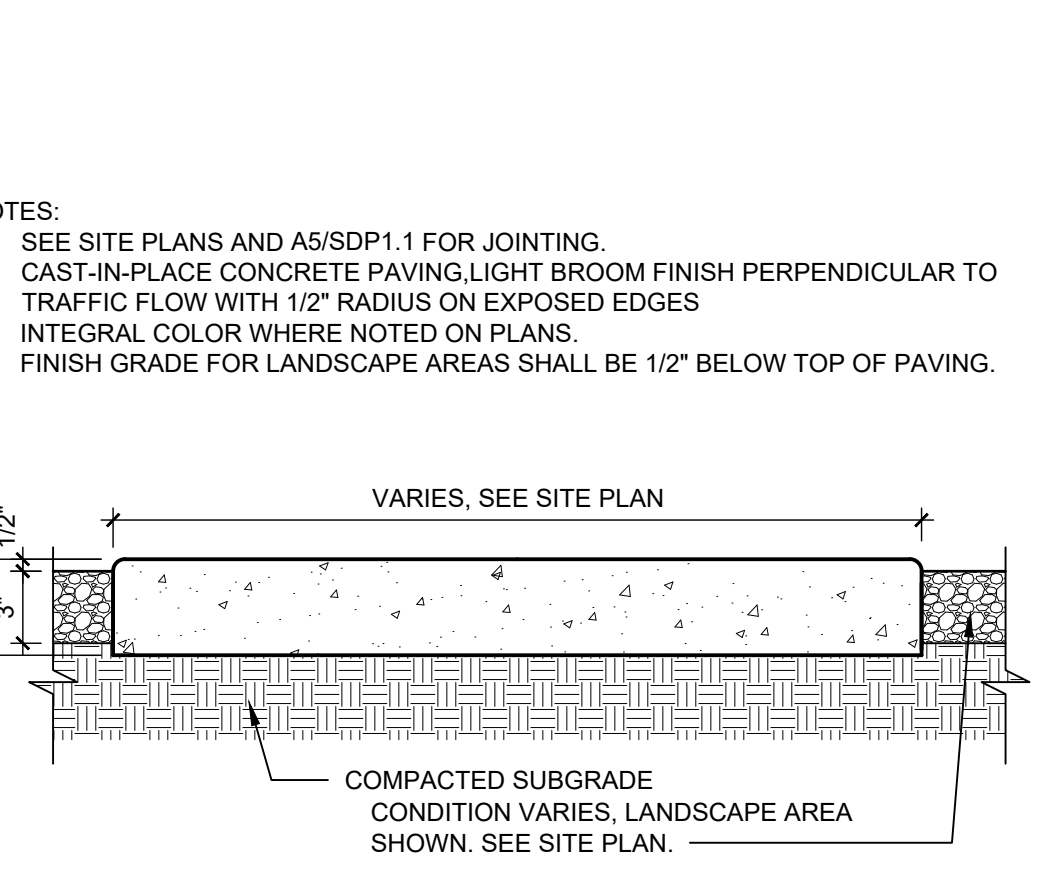
B2 SECURED ENTRY GATE
3/8" = 1'-0"



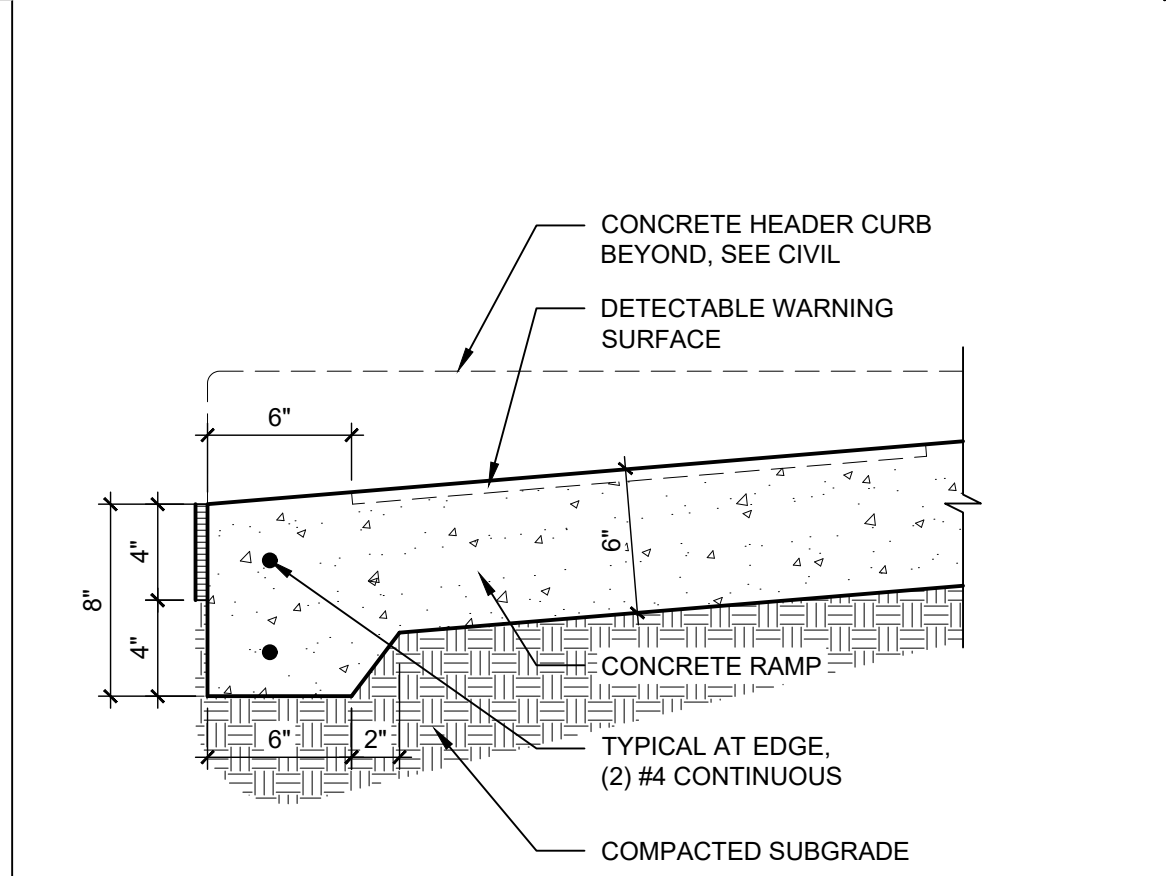
B3 TRAFFIC SIGNAGE
1/2" = 1'-0"



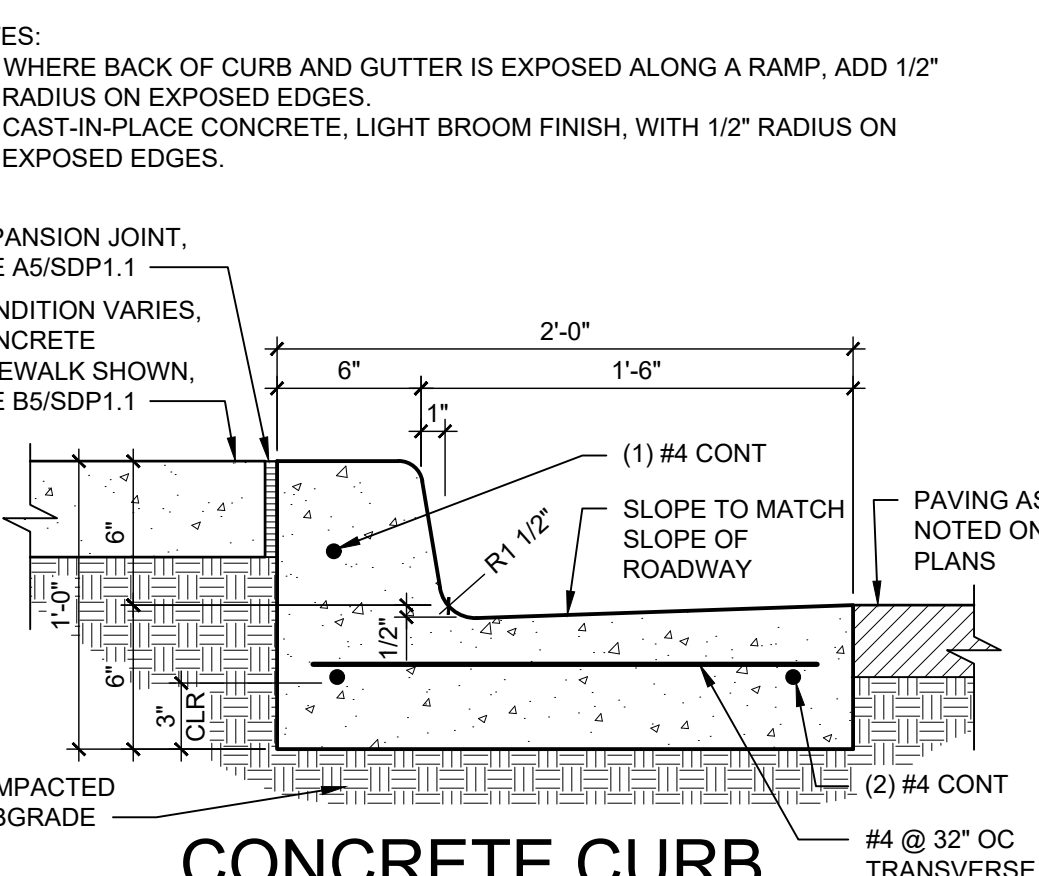
B4 POLE MOUNTED H.C. SIGN
1/2" = 1'-0"



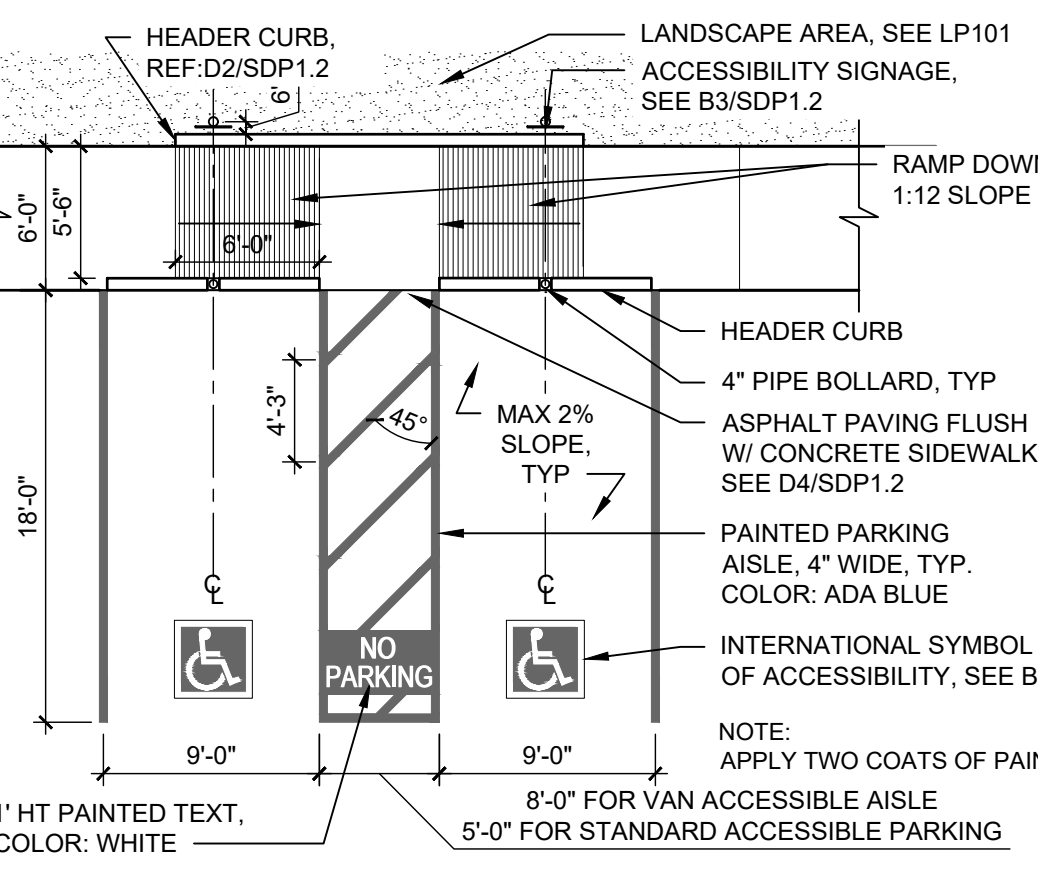
B5 CONCRETE SIDEWALK
1 1/2" = 1'-0"



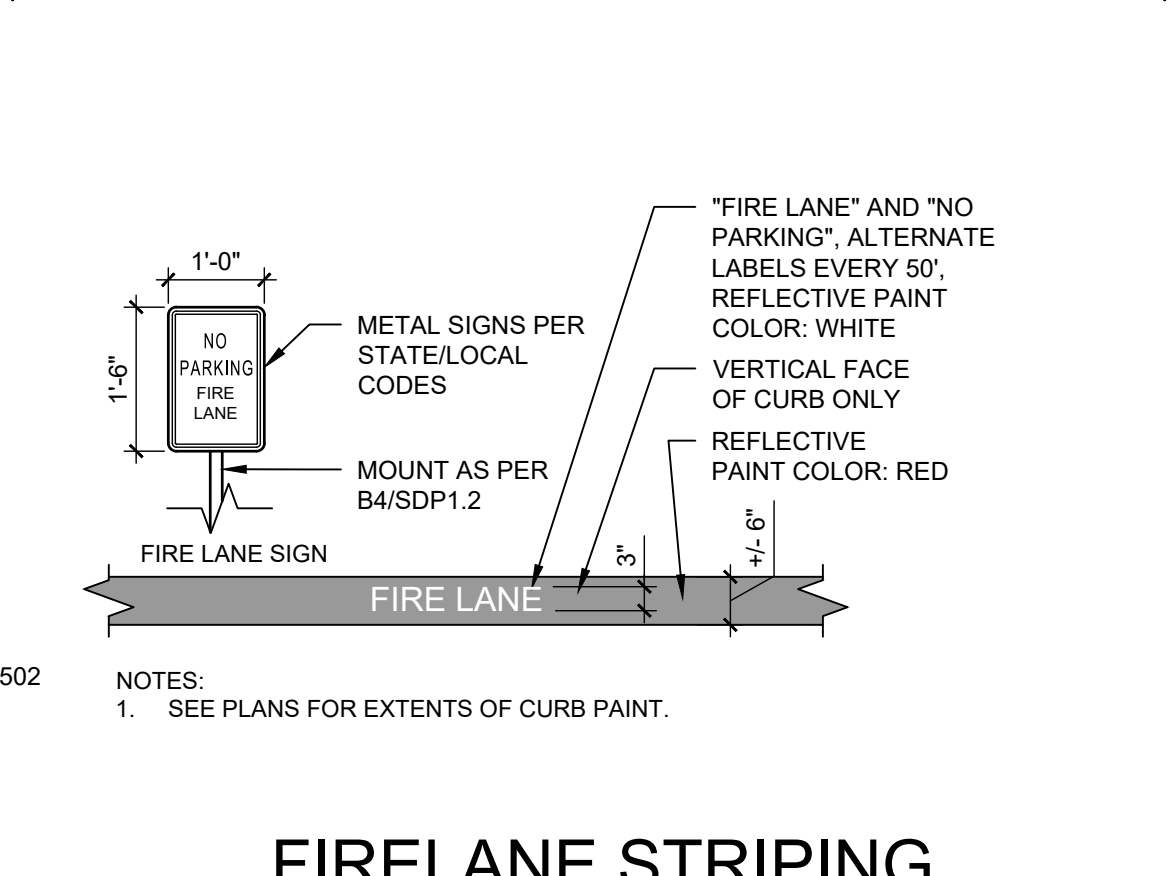
A1 RAMP TRANSITION
1 1/2" = 1'-0"



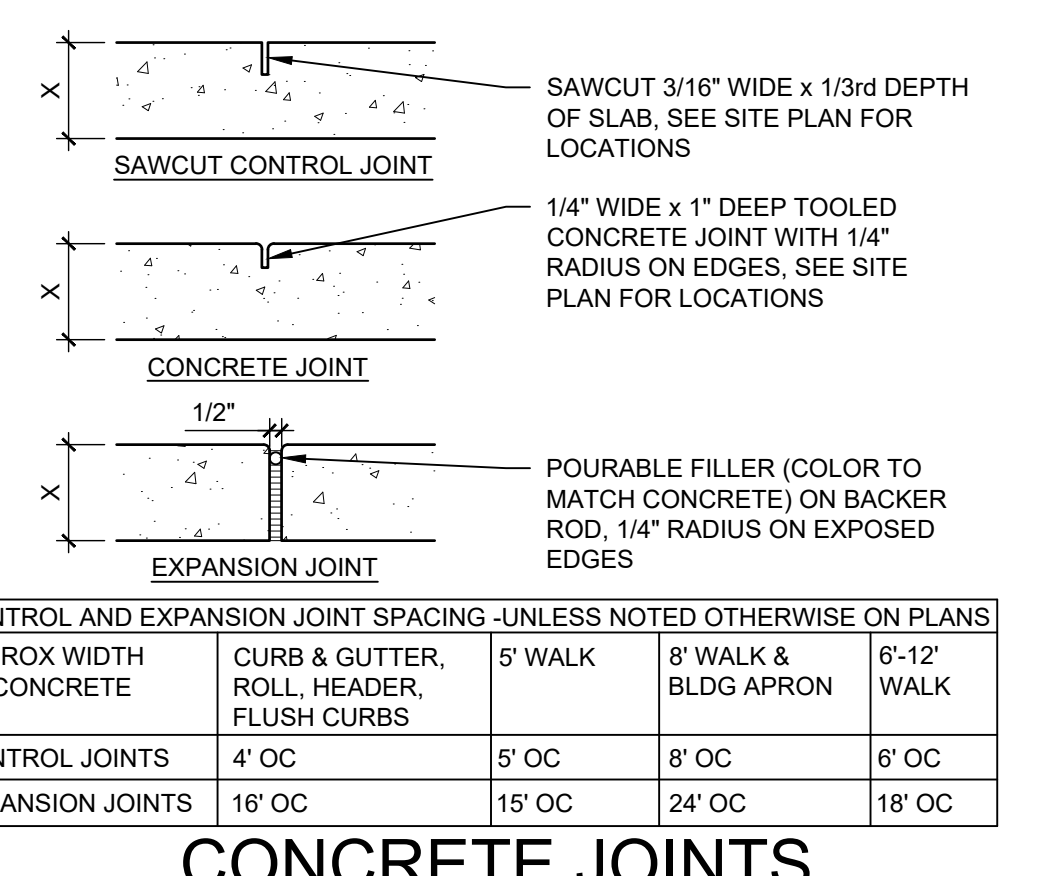
A2 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



A3 ACCESSIBLE PARKING
1/8" = 1'-0"



A4 FIRELANE STRIPING AND SIGNAGE
1/2" = 1'-0"



A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

NOTES:
1. JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK, SEE PLANS.
2. CREATE SMOOTH TRANSITION FROM ROLL CURB BACK TO REGULAR CURB.
3. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.

NOTE:
FOR DROP-OFF/PICK-UP AREAS AND CONVENIENCE TRASH/RECYCLE ENCLOSURE

NOTES:
1. SEE A5/SDP1.2 FOR SIDEWALK JOINTING.
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW, WITH 1/2" RADIUS ON EXPOSED EDGES.
(2) #3 CONTINUOUS AROUND EDGE

NOTE: COORDINATE GATE LOCKING AND CLOSING MECHANISMS WITH SYSTEMS AS SPECIFIED

NOTE:
SEE SITE PLAN FOR SIGN LOCATIONS REFER TO B4/ASP1.2 FOR SIGN POLE REQUIREMENTS

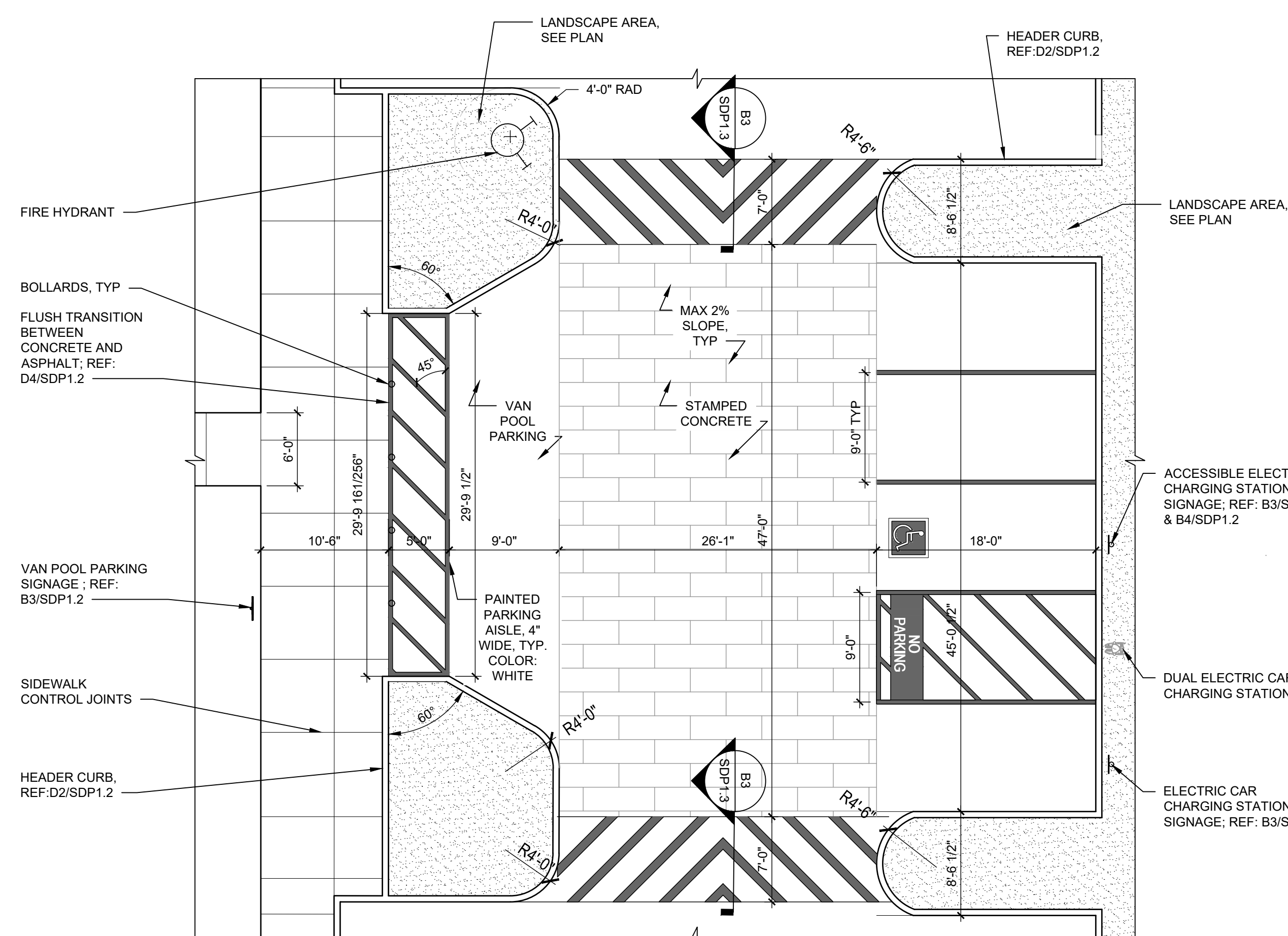
NOTES:
1. SEE SITE PLANS AND A5/SDP1.1 FOR JOINTING.
2. CAST-IN-PLACE CONCRETE PAVING LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES
3. INTEGRAL COLOR WHERE NOTED ON PLANS.
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.

| CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS | | | | |
|---|--|---------|----------------------|-------------|
| APPROX WIDTH OF CONCRETE | CURB & GUTTER, ROLL, HEADER, FLUSH CURBS | 5' WALK | 8' WALK & BLDG APRON | 6'-12' WALK |
| CONTROL JOINTS | 4' OC | 5' OC | 8' OC | 6' OC |
| EXPANSION JOINTS | 16' OC | 15' OC | 24' OC | 18' OC |

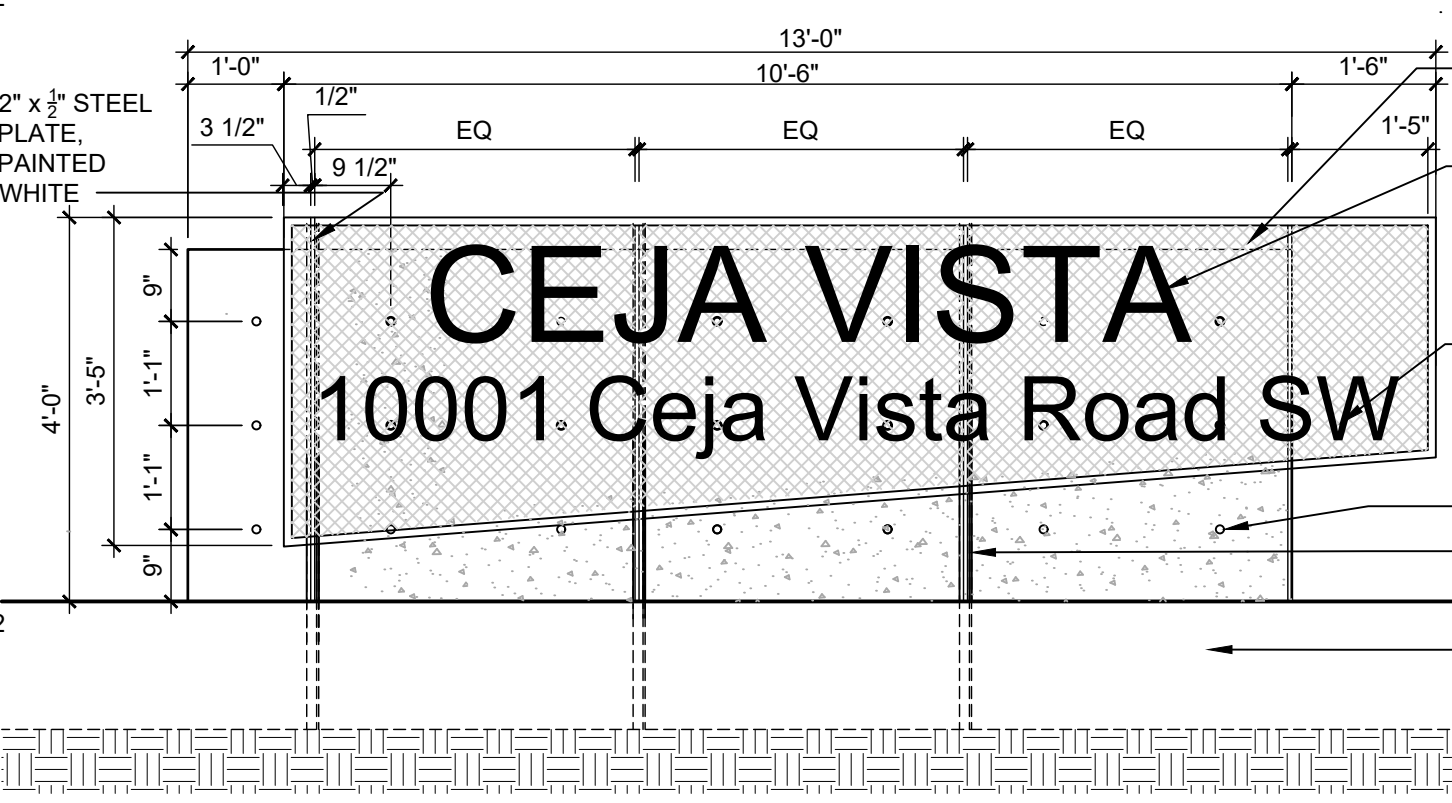
REVISIONS

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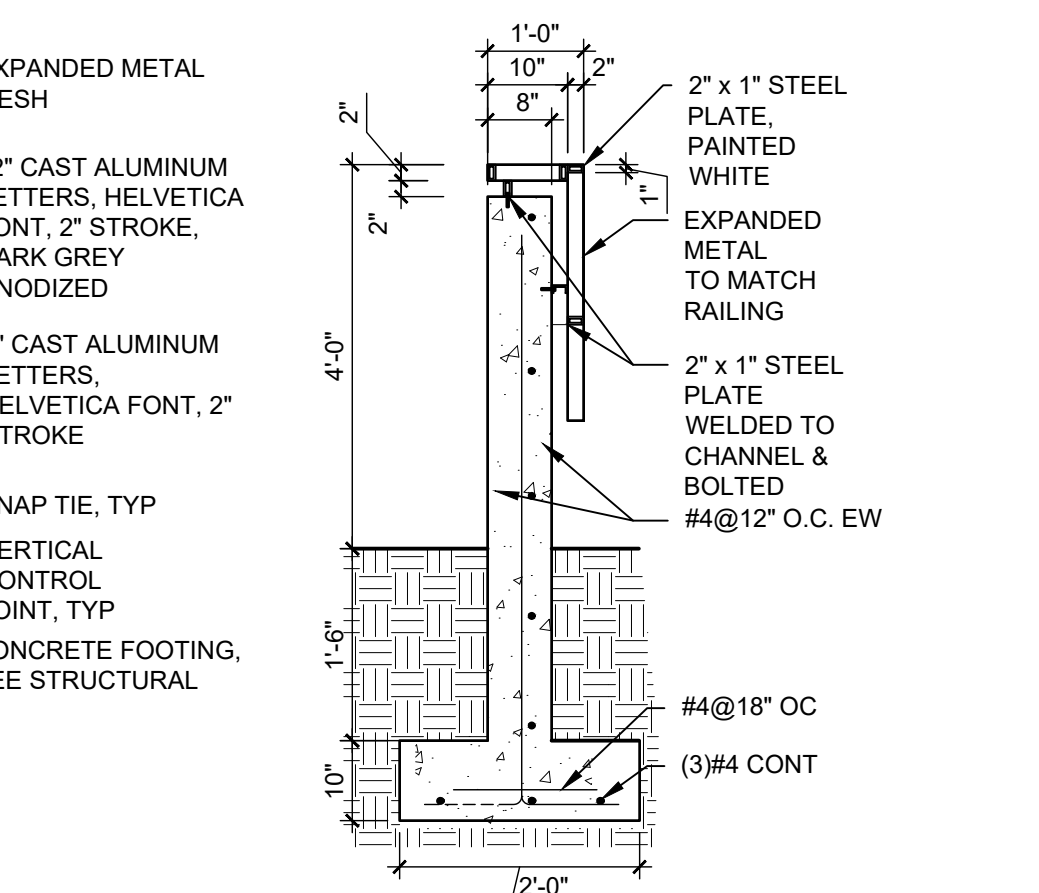
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|--------------|------------|
| DRAWN BY | AG |
| REVIEWED BY | RAW, JM |
| DATE | 11/25/2019 |
| PROJECT NO. | 19-0019 |
| DRAWING NAME | |



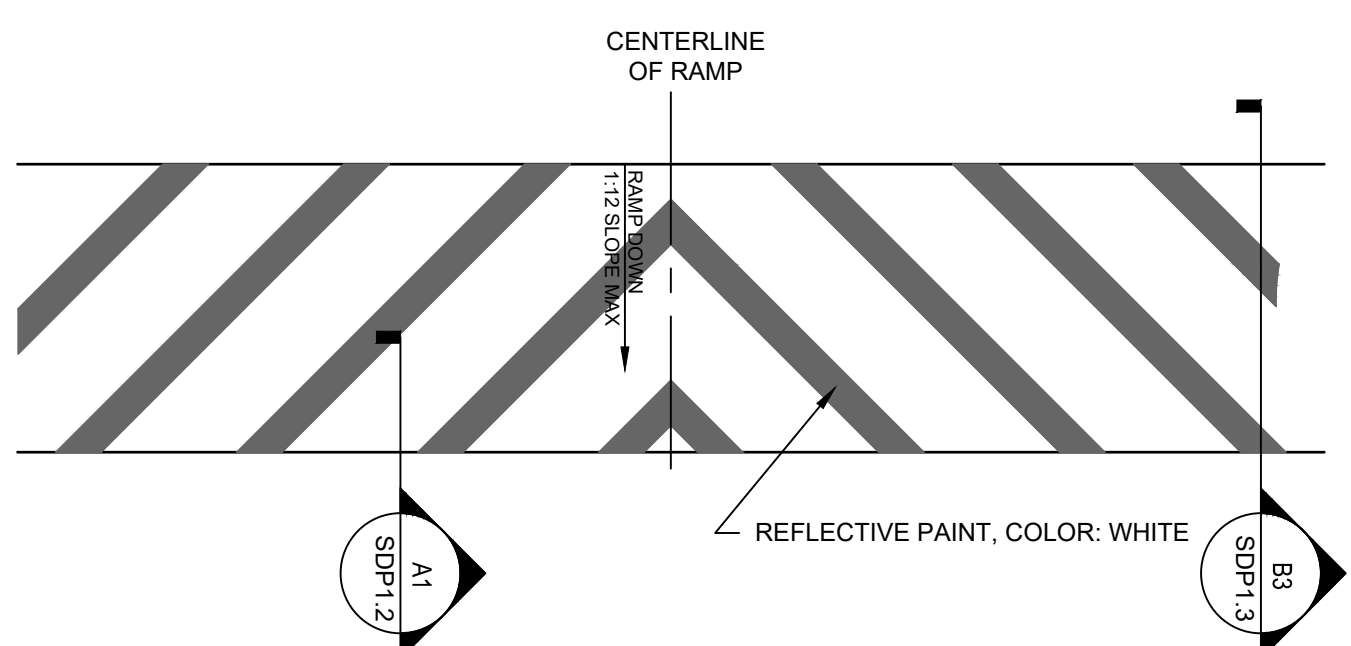
C2 RAISED PEDESTRIAN CROSSING
1/8" = 1'-0"



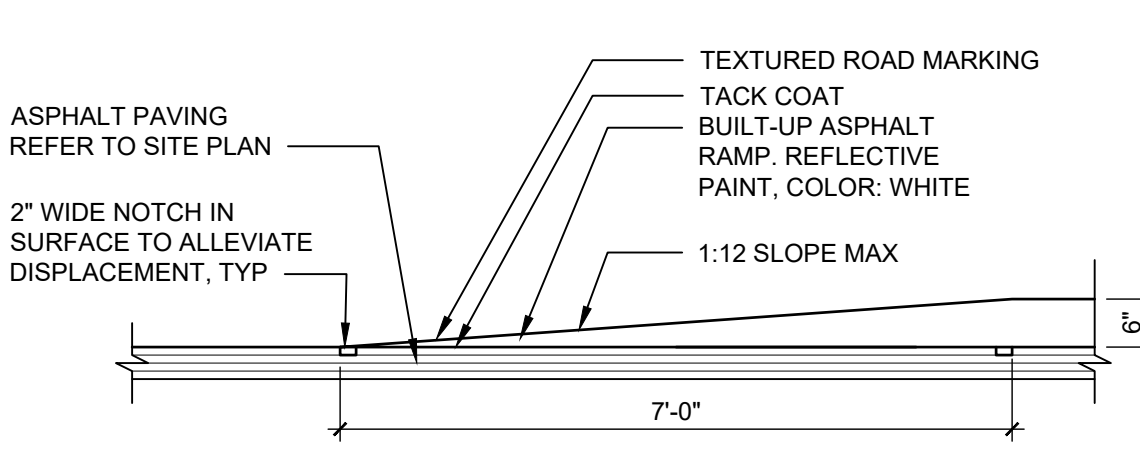
C4 MONUMENT SIGN
1/2" = 1'-0"



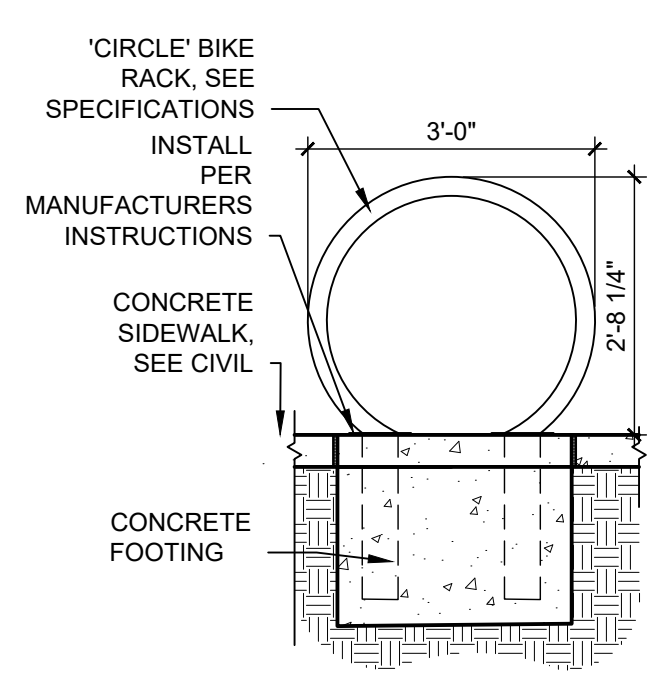
C5 MONUMENT SIGN SECTION
1/2" = 1'-0"



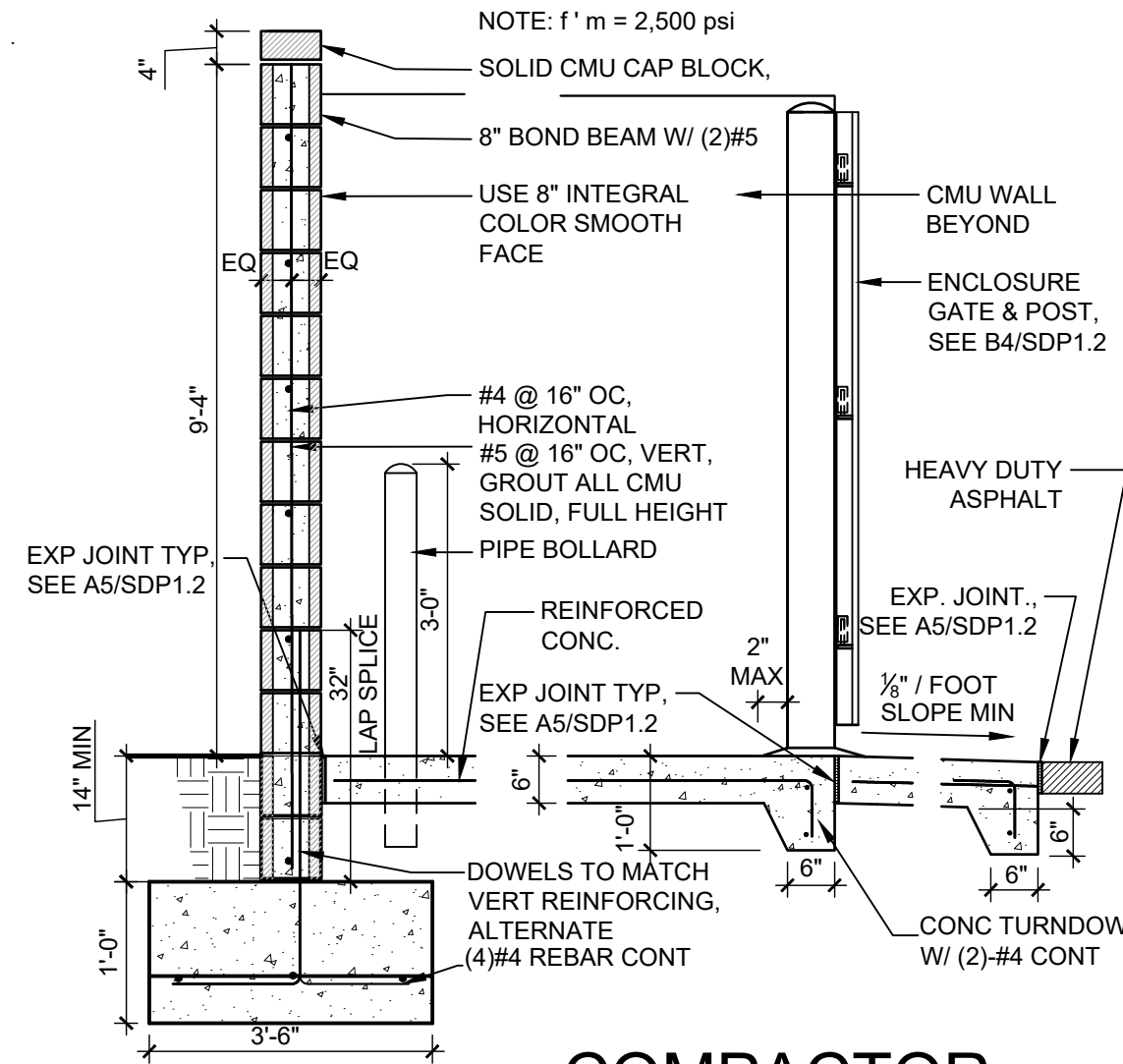
B2 RAMP STRIPING
1/4" = 1'-0"



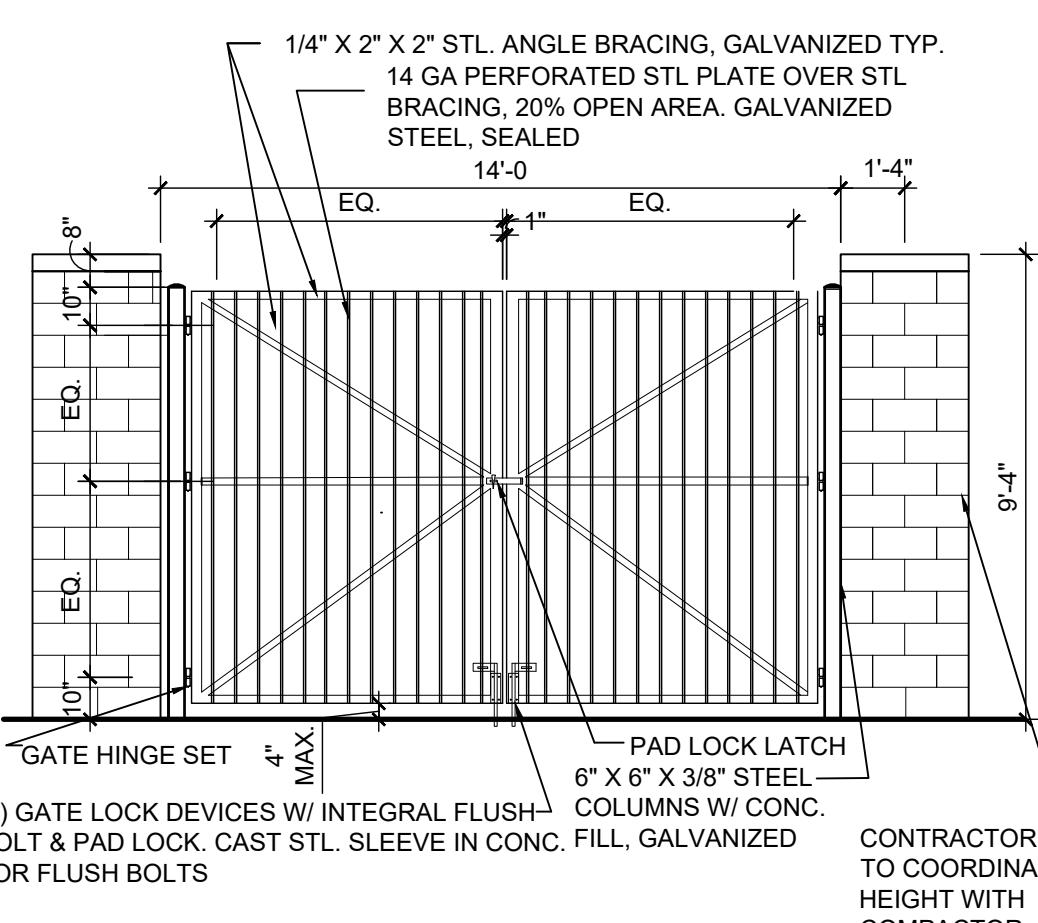
B3 ASPHALT RAMP
1/2" = 1'-0"



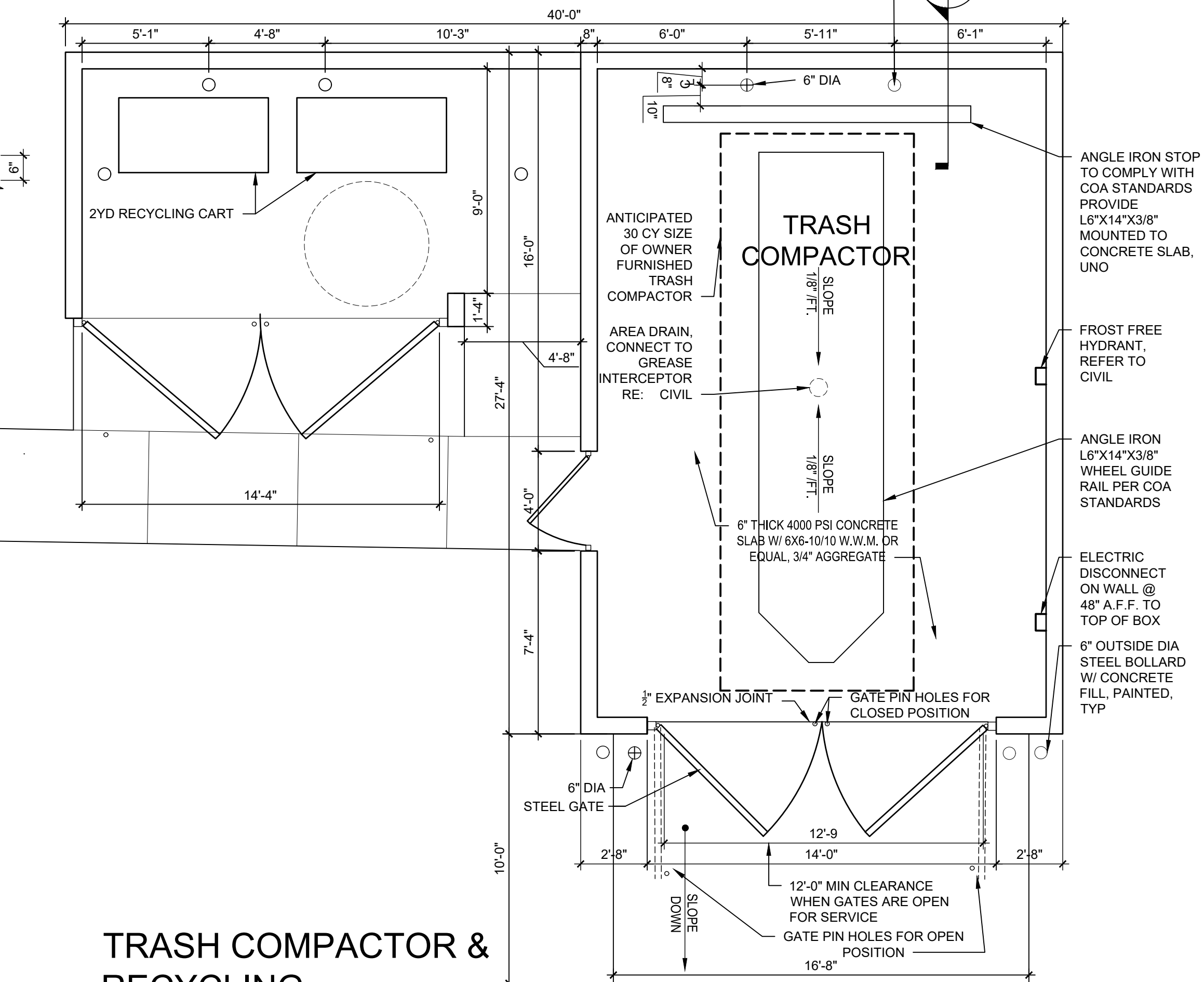
A1 BICYCLE RACK
1/2" = 1'-0"



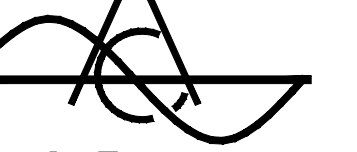
A2 COMPACTOR ENCLOSURE SECTION
1/2" = 1'-0"



A3 COMPACTOR ENCLOSURE GATE
1/4" = 1'-0"

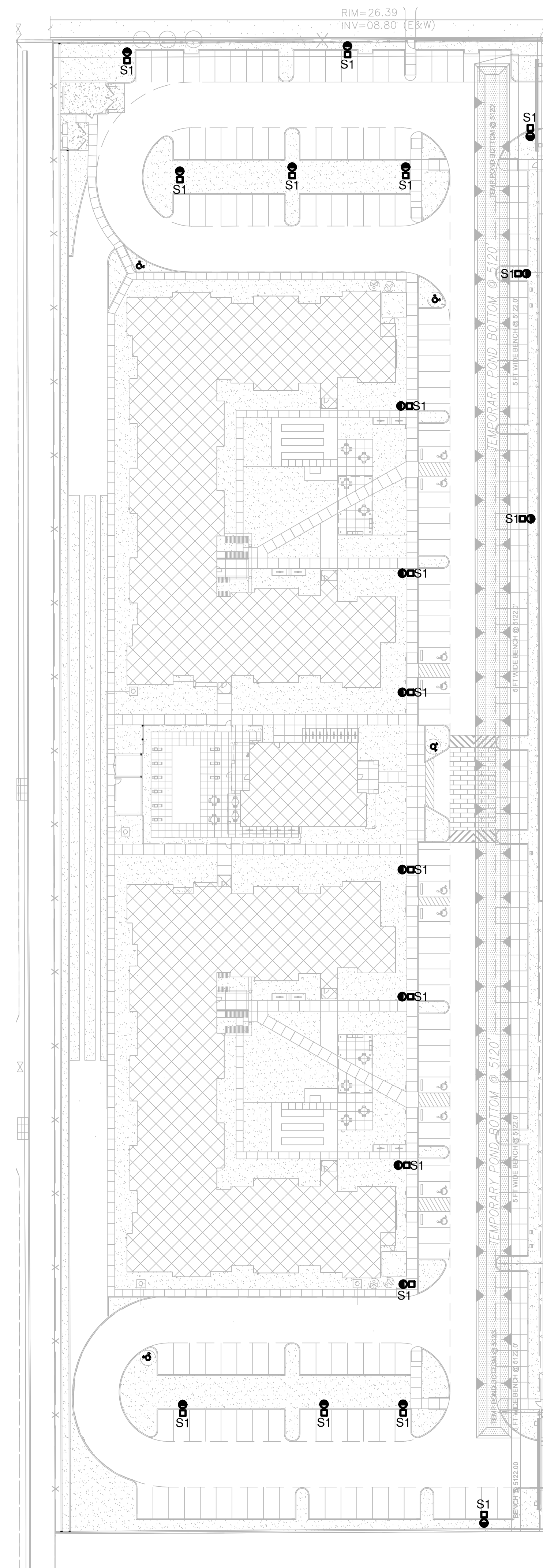


A4 TRASH COMPACTOR & RECYCLING ENCLOSURE
1/4" = 1'-0"

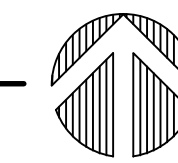


GENERAL SHEET NOTES

REFERENCE KEYNOTES



A1 ELECTRICAL SITE LIGHTING PLAN
1" = 40'-0"



REVISIONS

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DRAWN BY ACE

REVIEWED BY FJT

DATE 10/10/2019

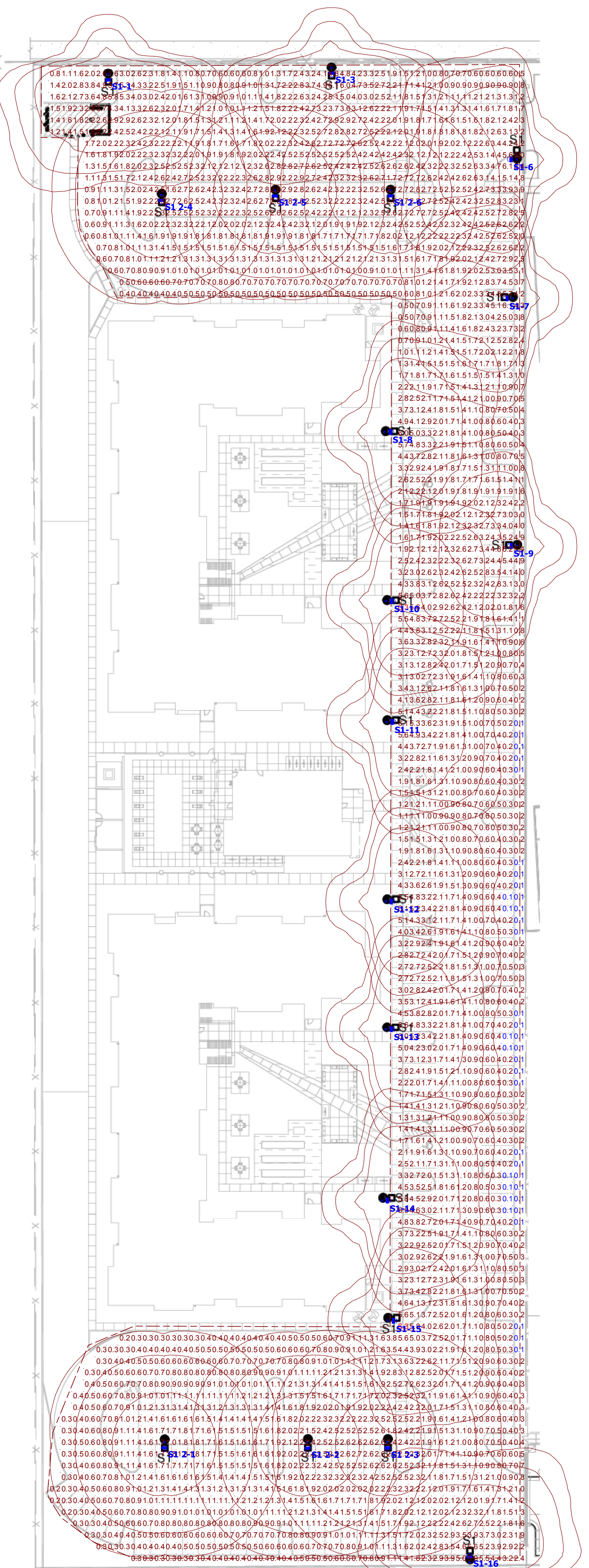
PROJECT NO. 17-0017

DRAWING NAME

**ELECTRICAL
SITE LIGHTING
PLAN**

SHEET NO.

SDP 1.4



A1 ELECTRICAL SITE LIGHTING PLAN
1" = 40'-0"

Plan View

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|-------------------|--------------------|---|------|--------------|------------------------|-----------------|-------------------|---------|
| | S1 | 13 | Lithonia Lighting | RSX1 LED P2 40K R4 | RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R4 Distribution | | 1 | RSX1_LED_P2_40K_R4.iex | 9972 | 1 | 72.95 |
| | S1 2 | 6 | Lithonia Lighting | RSX1 LED P2 40K R5 | RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R5 Distribution | | 1 | RSX1_LED_P2_40K_R5.iex | 10106 | 1 | 72.95 |

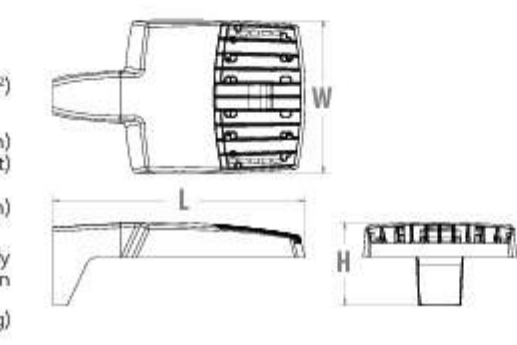
| Statistics | | | | | | |
|-------------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| PARKING LOT GRADE LEVEL | + | 1.7 fc | 6.3 fc | 0.1 fc | 63.0:1 | 17.0:1 |

Note
1. ALL FIXTURES MOUNTED ON A 16' POLE, ON A 2.5' BASE FOR A TOTAL MOUNTING HEIGHT OF 18.5'



RSX1 LED Area Luminaire

Specifications
EPA (ft²/ft³): 0.57 ft² (0.05 m³)
Length: 21.8" (55.4 cm) (SPA mount)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.4 cm) Arm
Weight (max): 25.0 lbs (11.3 kg)



Color Number _____
Size _____
Age _____

Introduction
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.
The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor and an adjustable integral slip-fitter are also available.

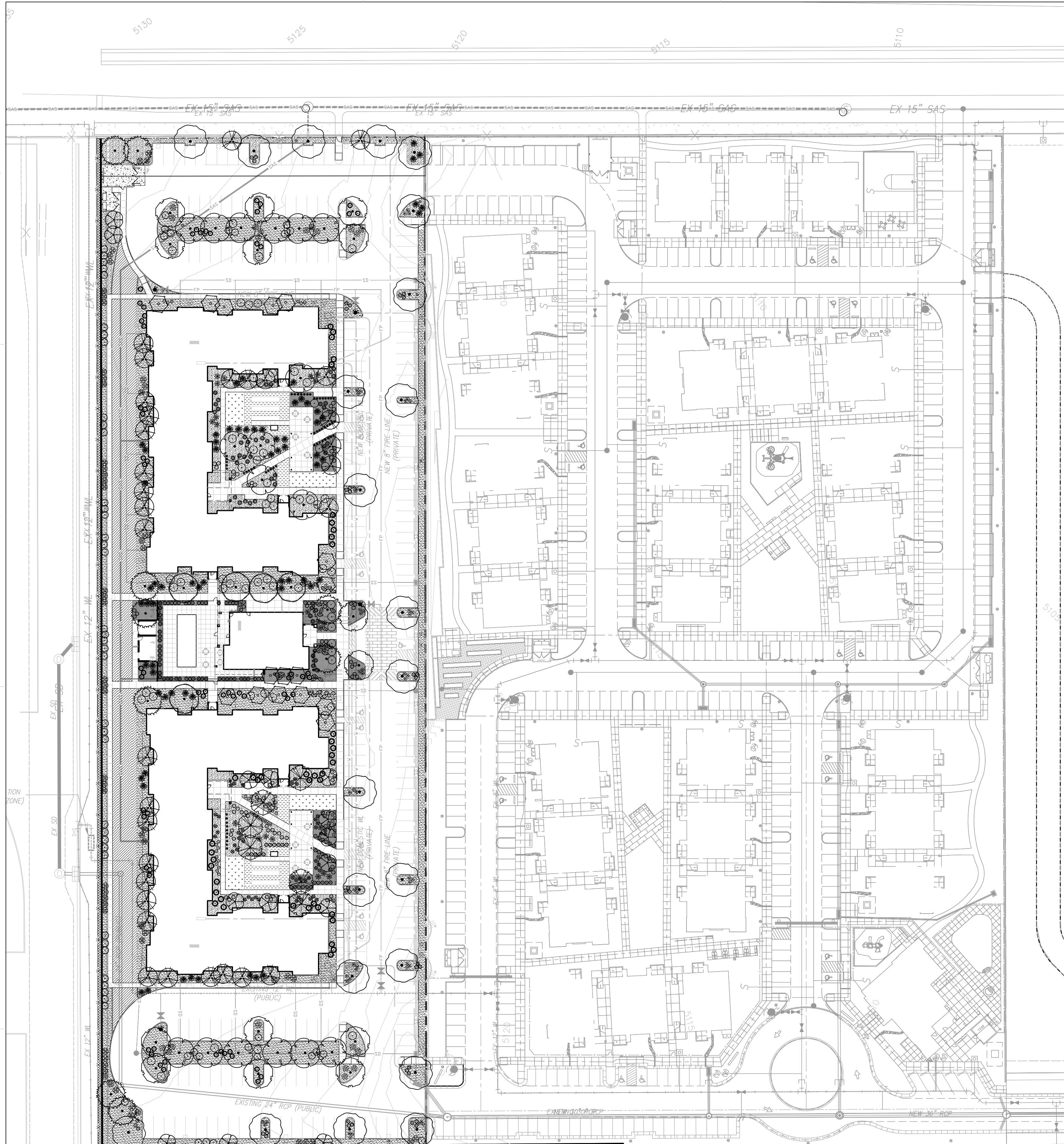
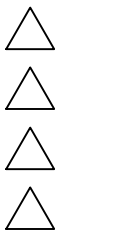
Ordering Information EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

| Series | Performance Package | Color Temperature | Distribution | Voltage | Mounting |
|----------|---------------------|-------------------|------------------------|--|--|
| RSX1 LED | P1 | 30K 3000K | R3 Type 3 Wide | MVOLT (120V-277V) ¹ | SPA Square pole mounting (Min. 1.0" for 1" at 90°, Min. 1.5" for 2, 3, 4 at 90°) |
| | P2 | 40K 4000K | R4 Type 4 Wide | MVOLT (147V-480V) ¹ | RPA Round pole mounting (1.2" min. pole for 1.2, 3 or 4 at 90°) |
| | P3 | 50K 5000K | R5 Type 5 Wide | (see specific voltage for options on table) | MA Mast arm adaptor (fits 2-3/8" OD horizontal mast) |
| | P4 | | AR Automatic/Free flow | 208 ¹ 277 ¹ 240 ¹ 480 ¹ | IS Adjustable slipfitter (fits 2-3/8" OD mast) ¹ WPA Wall bracket |

| Options | Shipped/Installed | Finish |
|--|---|--|
| HS Haze-side shield | Shipped/Installed *Standard Sensors Controls (factory default settings, see table page 5) PRS Motion/ambient sensor for 8-20' mounting heights ^{1, 2, 3} PEX Photoconductive (photo) adjustable ^{1, 2} PER3 Smart-wire mesh-lock receptacle only (no controls) ^{1, 4, 5} CE34 Cordless entry 3/4" (19) Qty 2 SF Single fuse (120, 277, 347) ¹ DF Double fuse (120, 240, 480) ¹ SP200V 200V surge protector (UL94 standard) H40 H40-4000-4000 DMG 0-10V dimming sensor pulled outside fixture (sensor with an external control, ordered separately) | DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWNXD White DDBXD Tinted/Dark Bronze DBLXD Tinted/Dark Bronze DNAXD Tinted/Natural Aluminum DWNXD Tinted/White |
| IGS External glass shield | *Networked Sensors Controls NL NAR2 High-RS precision 2" ^{1, 2} PRM Networked, B-Level motion/ambient sensor (for use with NAR2) ^{1, 2, 3, 4, 5} | |
| IGV External glass (w/ 300° around light aperture) | | |
| IS Bird spikes ¹ | | |

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8001 • www.lithonia.com
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...CEJA VISTA SITE LIGHTING...



PLANTING LEGEND

| TREES | COMMON NAME |
|-------|-----------------------|
| | 'BUBBA' DESERT WILLOW |
| | NEW MEXICO OLIVE |
| | AUSTRIAN BLACK PINE |
| | CHINESE PISTACHE |
| | CHINKAPIN OAK |
| | EMERALD SUNSHINE ELM |
| | FRONTIER ELM |
| | CHASTE TREE |
| | GREEN VASE ZELKOVA |
| | THOMPSON BROOM |
| | CHAMISA |
| | LENA BROOM |
| | TURPENTINE BUSH |
| | APACHE PLUME |
| | PROSTRATE SUMAC |
| | KNOCKOUT ROSE |
| | FURMAN'S RED SALVIA |
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GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

IRRIGATION NOTES

- PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 5.423 AC = 236,226 SF
 AREA OF LOT COVERED BY BUILDINGS = 44,712 SF (20,777 SF + 20,777 SF + 3,158 SF)
 NET LOT AREA = 191,514 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 28,727 SF
 PROVIDED LANDSCAPE AREA = 58,800 SF = 31%
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 218 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 22 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 22 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9 placed at 30' on center (271' of street frontage)
 PROVIDED STREET TREES = 9

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 104 TREES
 1 TREE PER GROUND FLOOR DWELLING UNIT (52) AND 1 TREE PER SECOND-STORY UNIT (52)
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 104 TREES

REQUIRED VEGETATIVE COVERAGE
 REQUIRED GROUND COVERAGE = 44,100 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND PLANTS
 PROVIDED TOTAL GROUND COVERAGE = 57,780 SF = 98%
 TREE CANOPY COVERAGE = 40,500 SF = 70% OF PROVIDED COVERAGE
 GROUND PLANT COVERAGE = 17,280 SF = 30% OF PROVIDED COVERAGE
 CALCULATION ASSUMES 300 SF PER TREE AND 20 SF PER GROUND PLANT AS AN AVERAGE OF MATURE SPREAD AND CANOPY COVERAGE
 PROPOSED TURF AREA = 1,920 SF = 7% OF REQUIRED LANDSCAPE AREA
 NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF

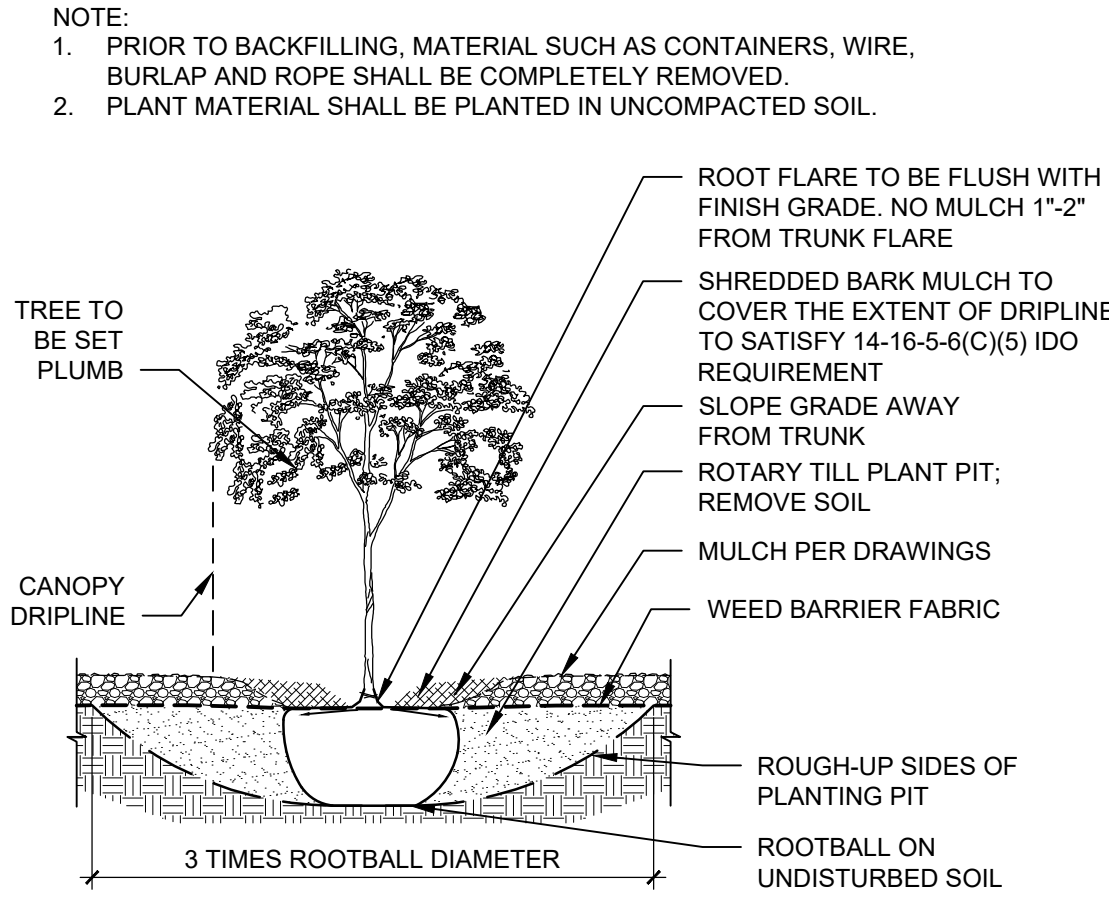
GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 44,340 SF = 75%
 TOTAL ORGANIC MULCH GROUND COVER = 14,460 SF = 25%
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

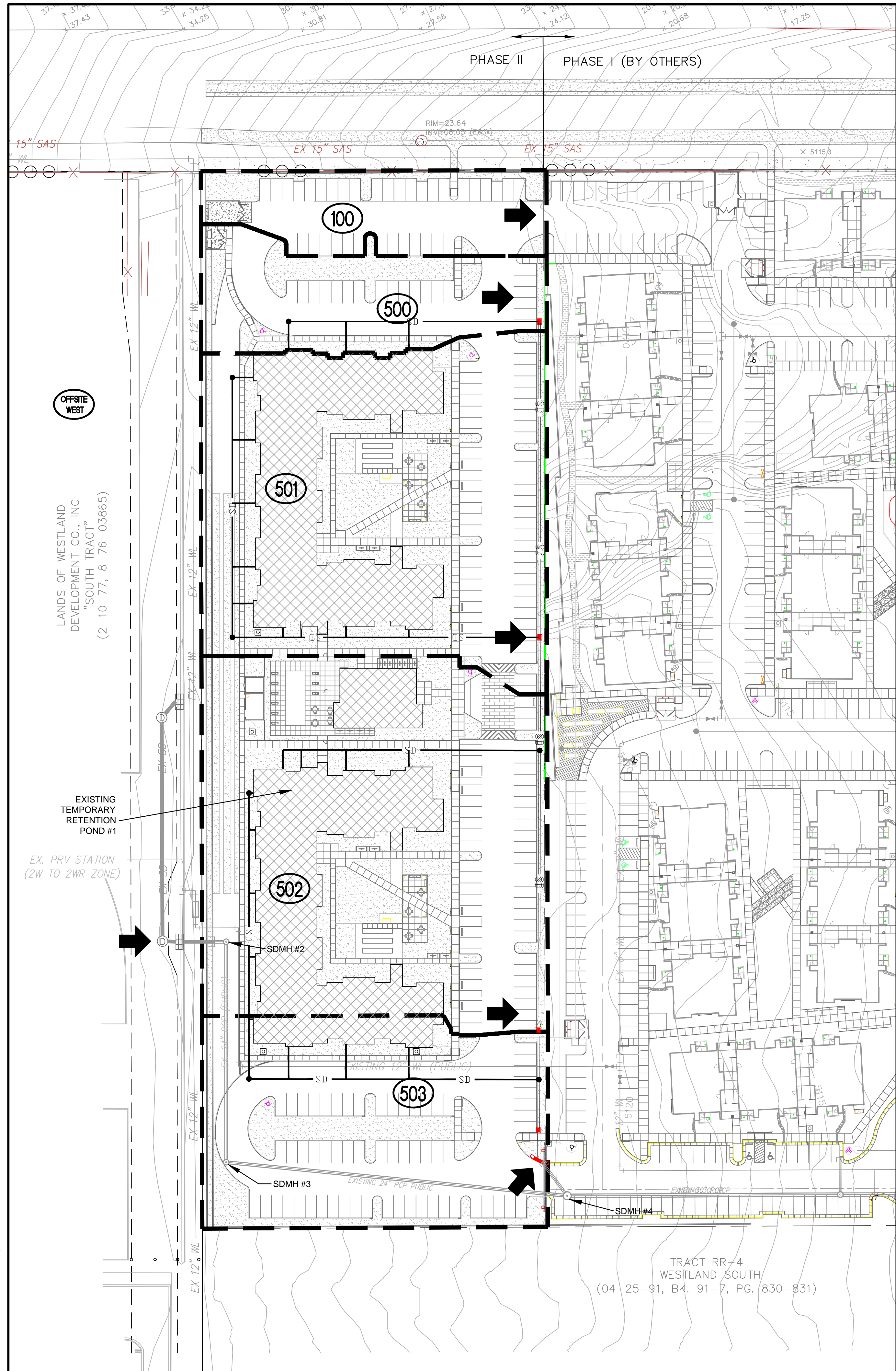
PARKING LOT EDGE LANDSCAPE
 NOT REQUIRED PER 14-16-5-6(F)(1)(c)

HATCH LEGEND

| SYMBOL | NOTES | QTY |
|---|--|-----------|
| | 3/4" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC | 35,370 SF |
| | SODDED TURF - PARK BLEND IRRIGATED | 1,920 SF |
| | SHREDDED BARK MULCH | 12,540 SF |
| | CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC | 8,970 SF |
| EXCLUDED FROM LANDSCAPE AREA CALCULATIONS | | |
| | COMPACTED BASE COURSE SEE SITE PLAN | 12,425 SF |
| | STABILIZED CRUSHER FINES SEE SITE PLAN | 1,975 SF |
| | UNIRRIGATED NATIVE SEED MIX WITH HYDROMULCH | 2,540 SF |

TREE PLANTING DETAIL





DRAINAGE PLAN:

LEGAL DESCRIPTION: TRACT RR3A1 PLAT FOR WESTLAND SOUTH
 SITE AREA: 5.4 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FIRM MAP DATED AUGUST 16, 2012 (MAP NUMBER 35001C0338H) INDICATES THAT THE SITE IS AN AREA OF MINIMAL FLOOD HAZARD (ZONE X).

EXISTING DRAINAGE CONDITIONS:

THE SITE HAS NOT BEEN PREVIOUSLY DEVELOPED. THE EXISTING LAND SLOPES FROM WEST TO EAST AT APPROXIMATELY 3%. THE ATRISCO HERITAGE ACADEMY HIGH SCHOOL TO THE WEST OF THE SITE IS ALLOWED TO DISCHARGE ONTO THIS SITE UNTIL A STORM DRAIN CONNECTION OUTFALL IS BUILT. IN THE MEANTIME, THE EXISTING TEMPORARY RETENTION POND #1 WAS BUILT TO MITIGATE THE OFFSITE FLOW FROM THE HIGH SCHOOL SITE.

THIS DRAINAGE PLAN REFERENCES THE "VALLE DE ATRISCO APARTMENT DEVELOPMENT DRAINAGE MANAGEMENT PLAN" BY MARK GOODWIN & ASSOCIATES, DATED SEPTEMBER 2018. THE DRAINAGE MANAGEMENT PLAN COMPLETED HYDROLOGIC AND HYDRAULIC ANALYSIS FOR THIS SITE AND THE ADJACENT CONNECTING SITE TO THE EAST. DEVELOPED FLOWRATES FOR THIS SITE ARE OBTAINED DIRECTLY FROM THE DRAINAGE MANAGEMENT PLAN. IN ADDITION, THE STORM DRAIN SYSTEM DESIGN FOR THIS SITE HAS BEEN DESIGNED WITH THE DRAINAGE MANAGEMENT PLAN.

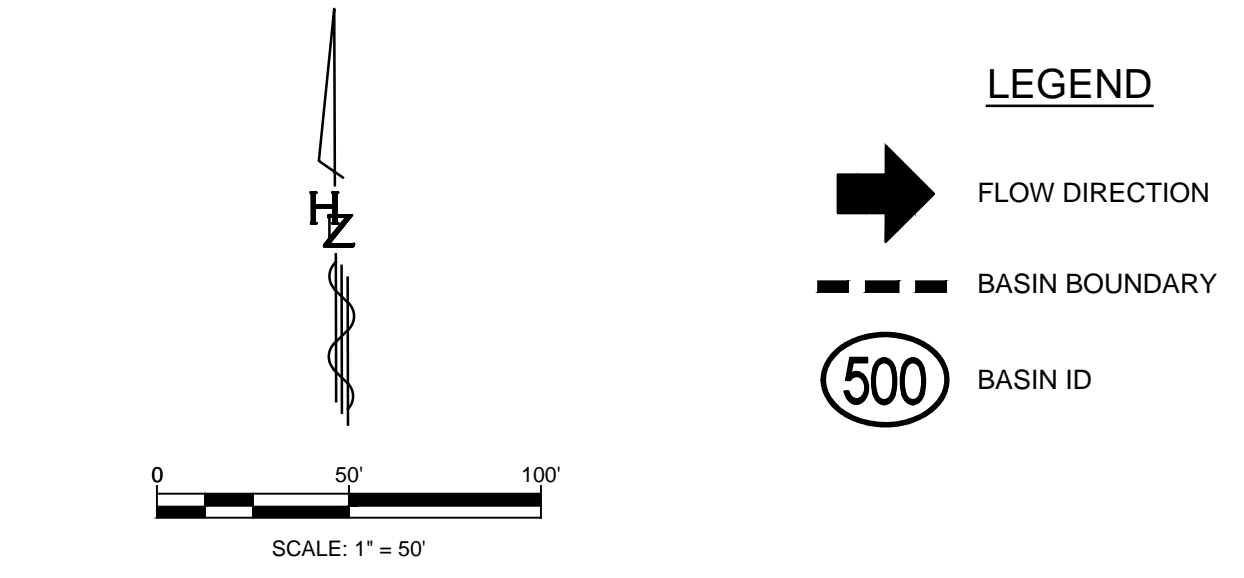
THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH THE HYDROLOGIC AND HYDRAULIC CRITERIA IN SECTION 22 OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL. THE 100-YEAR DESIGN STORM IS USED FOR BOTH UNDEVELOPED AND DEVELOPED CONDITIONS.

DEVELOPED DRAINAGE CONDITIONS:

THIS SITE (PHASE II) AND THE ADJACENT CONNECTING SITE TO THE EAST (PHASE I) WILL BE DEVELOPED INTO AN APARTMENT COMPLEX. AS DETERMINED BY THE DRAINAGE MANAGEMENT PLAN, THIS SITE WILL ACCEPT 25 CFS OF OFFSITE FLOW FROM THE HIGH SCHOOL SITE VIA AN ONSITE DRAIN SYSTEM AND PHASE II WILL DISCHARGE ONSITE DEVELOPED FLOW INTO THE STORM DRAIN WHICH CONNECTS TO PHASE I.

FIRST FLUSH VOLUME = 5.4 ACRES (0.34") = 6665 CF
 THIS VOLUME WILL BE PROVIDED BY OFFSITE OUTFALL POND BUILT WITH THE "VALLE DE ATRISCO APARTMENT DEVELOPMENT DRAINAGE MANAGEMENT PLAN".

| CEJA VISTA APARTMENT COMPLEX PHASE II BASIN SUMMARY | | | |
|---|--|-------------------|----------------|
| BASIN ID | DESCRIPTION OF FLOW DIRECTION | ALLOWABLE Q (CFS) | ACTUAL Q (CFS) |
| OFFSITE WEST | Allowable discharge from high school site enters onsite storm drain system at SDMH#2 | 25.00 | 25.00 |
| 100 | Onsite basin surface flows east toward Phase I | 1.85 | 1.57 |
| 500 | Onsite basins surface flow east and are intercepted by drainage inlets into the onsite storm drain system and flows toward SDMH #4 | 2.55 | 2.01 |
| 501 | | 6.20 | 6.37 |
| 502 | | 6.96 | 7.23 |
| 503 | | 3.76 | 3.54 |
| TOTAL Q AT KEY POINT #2 = | | 19.47 | 19.15 |
| 503A | Landscape basins behind curb and in parking island are retained onsite and do not contribute to storm drain flow | N/A | 0.63 |
| TOTAL Q AT SDMH #4 = | | 44.47 | 44.15 |



Inlet Worksheet (Sump Condition)

Objective: Design a Type C or Type D Inlet in Sump Condition for a 100-year flow

- Inlet to collect peak flow amount before overtopping headwall.
- Grate Dimensions: 35.5 x 18.5 ft. Net dimensions of open area of a single grate: 18.5 x 18.5 ft. (Total Area less Area of Bars)
- Calculate Orifice and Weir Flow into Grate at Design Depth

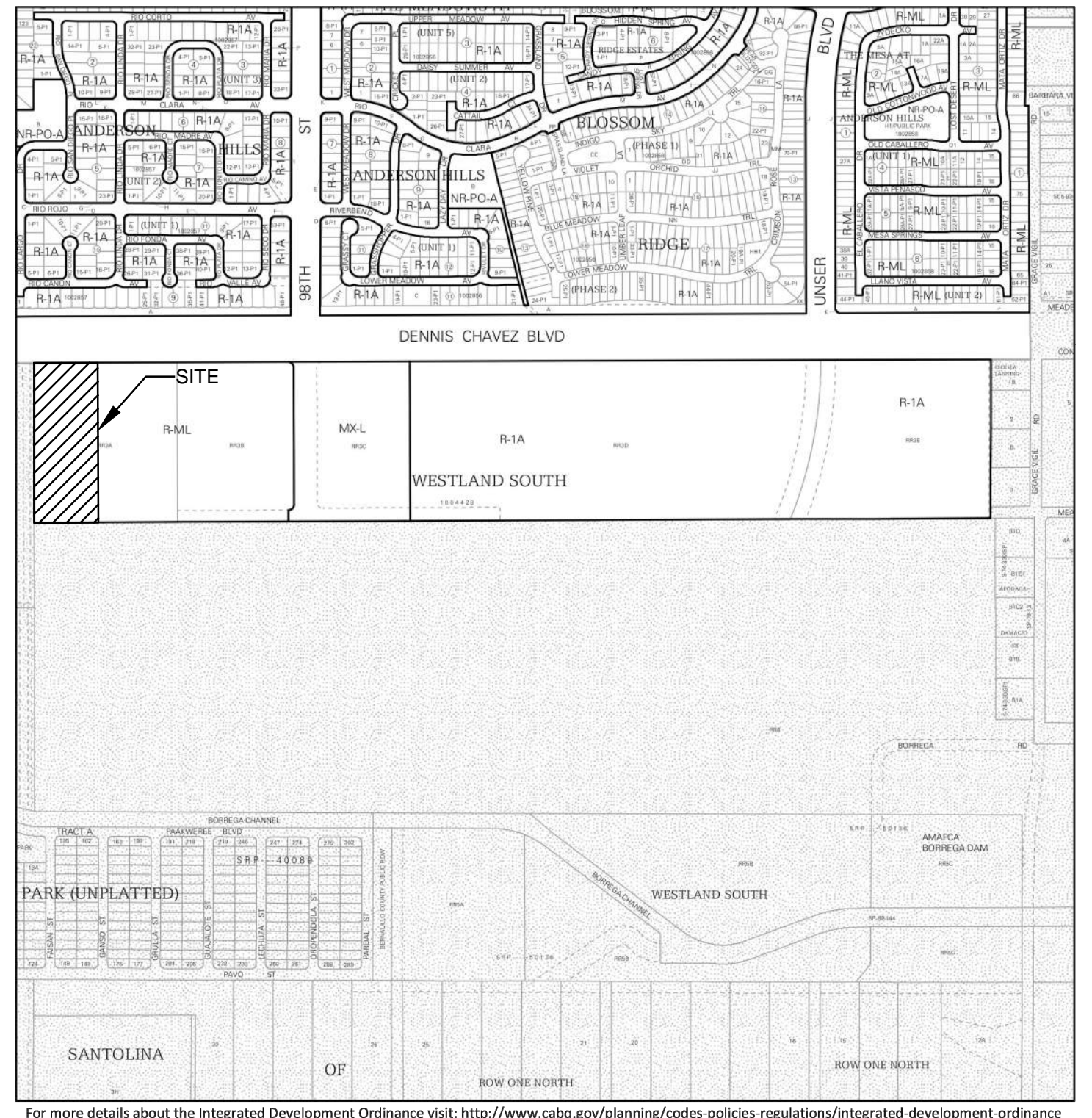
| Orifice Equation | Weir Equation |
|--|---|
| Where $Q = 0.6 \times A \times (2 \times g \times h)^{1/2}$ | Where $Q = 2.85 \times P \times H^{3/2}$ |
| A = 4.6 sq. ft. g = 32.2 ft/sec h = 0.5 ft | P = 9.0 ft H = 0.5 ft |
| Therefore Q = 15.5 cfs | Therefore Q = 16.9 cfs |

 Orifice Equation controls
 Grate Capacity = 15.5 cfs
- Apply 25% Clogging Factor to determine allowable design flow into inlet

| | |
|-------------|--------|
| 15.5 x 0.75 | 12 cfs |
|-------------|--------|

 Therefore Capacity of Single CID Inlet in Sump Condition = 12 cfs
 Capacity of Double CID Inlet in Sump Condition = 23 cfs

*Grate Capacities do not account for curb opening inflow. Therefore, inlet capacities are the same for Type C and Type D inlets.



IDO Zone Atlas May 2018

P-09-Z

AGIS

IDO Zoning information as of May 17, 2018. The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

National Flood Hazard Layer FIRMette

FEMA

Legend: Shows symbols for 0.2% Annual Chance Flood Hazard, 1% Annual Chance Flood Hazard, 1% Annual Chance Flood Hazard with Average Depth less than one foot, etc.

City of Albuquerque 350002

Bernalillo County 350001

SCALE: 1" = 1,000'

| AS BUILT INFORMATION | |
|------------------------|------|
| CONTRACTOR | DATE |
| INSPECTOR'S NAME | DATE |
| FIELD CHECK BY | DATE |
| VERIFICATION BY | DATE |
| CORRECTED BY | DATE |
| MICRO-FILM INFORMATION | |
| RECORDED BY | DATE |
| NO. | |

ENGINEER'S SEAL

| SURVEY INFORMATION | |
|--------------------|------|
| FIELD NOTES | DATE |
| BY | DATE |
| NO. | |

| REVISIONS | |
|-------------|------------|
| NO. | DATE |
| REMARKS | DATE |
| DESIGN | DATE |
| BY | DATE |
| DRAWN BY: | PROJ #: |
| DWG NAME: | R311035-01 |
| CHECKED BY: | |

Designed By:

HUITT-ZOLLARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Dr. NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

DBG PROPERTIES, LLC

TITLE: CEJA VISTA APARTMENT COMPLEX PHASE II DRAINAGE PLAN

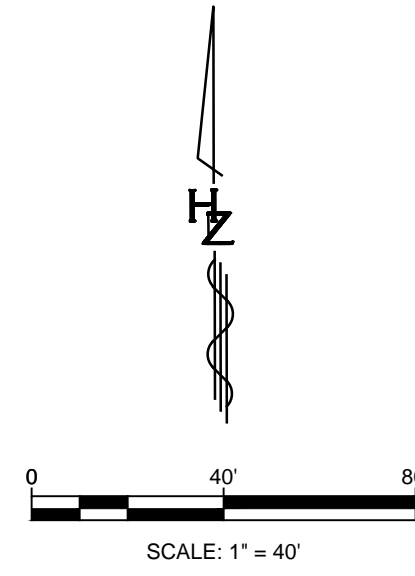
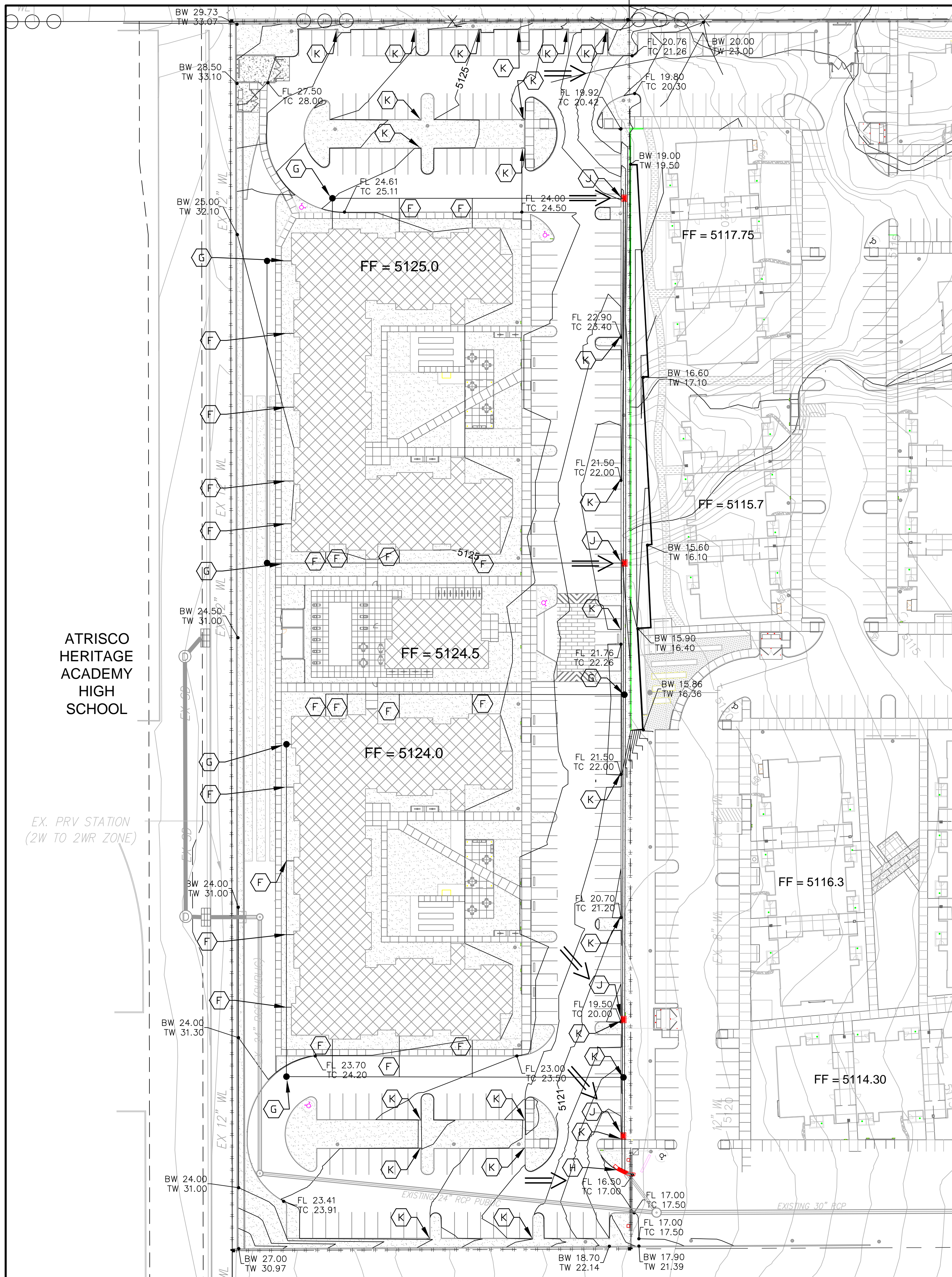
| Design Review Committee | City Engineer | Mo./Day/Yr. | Mo./Day/Yr. |
|-------------------------|---------------|-------------|-------------|
| | | | |

City Project No. _____ Zone Map No. P-09-Z Sheet _____

SDP 3.1

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- LEGEND**
- DISCHARGE LOCATION
 - FLOW DIRECTION
 - LIMITS OF DISTURBANCE
 - HIGH POINT

- KEYED NOTES**
- (F) INSTALL 1 - 12" x 6" HDPE TEE WITH SINGLE CLEANOUT
 - (G) INSTALL 4' SD MANHOLE PER NMAPWA STD. DWG. 2101
 - (H) INSTALL TRIPLE GRATE TYPE C STORM INLET PER NMAPWA STD. DWG. 2205
 - (J) INSTALL DOUBLE GRATE TYPE D STORM INLET PER NMAPWA STD. DWG. 2206
 - (K) INSTALL 2' WIDE CURB OPENING

For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

Zone Atlas Page: P-09-Z

AGIS
Albuquerque Geographic Information System

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- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 feet

EROSION SEDIMENT CONTROL PLAN
SHALL BE SUBMITTED UNDER SEPARATE COVER

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Designed By:
HUITT-ZOLLARS
Huit-Zollars, Inc. Rio Rancho
333 Rio Rancho Dr. NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

| | | | |
|---|---------------|-------------|-------------|
| DBG PROPERTIES, LLC | | | |
| TITLE: CEJA VISTA APARTMENT COMPLEX PHASE II GRADING PLAN | | | |
| Design Review Committee | City Engineer | Mo./Day/Yr. | Mo./Day/Yr. |
| Last Update | | | |
| City Project No. | Zone Map No. | Sheet | |
| | P-09-Z | SDP 3.2 | |

| AS BUILT INFORMATION | |
|------------------------|------|
| CONTRACTOR | DATE |
| INSPECTOR'S NAME | DATE |
| FIELD CHECK BY | DATE |
| VERIFICATION BY | DATE |
| ADJUSTED BY | DATE |
| MICRO-FILM INFORMATION | |
| RECORDED BY | DATE |
| NO. | |

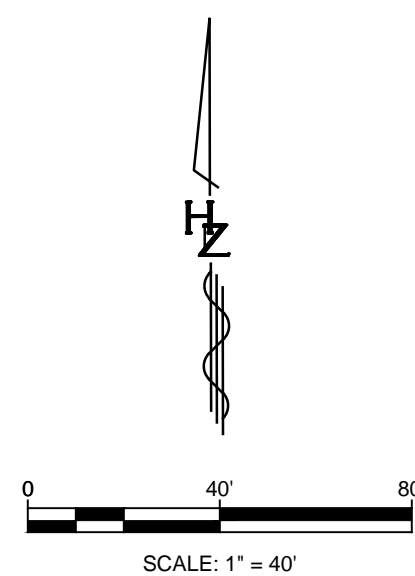
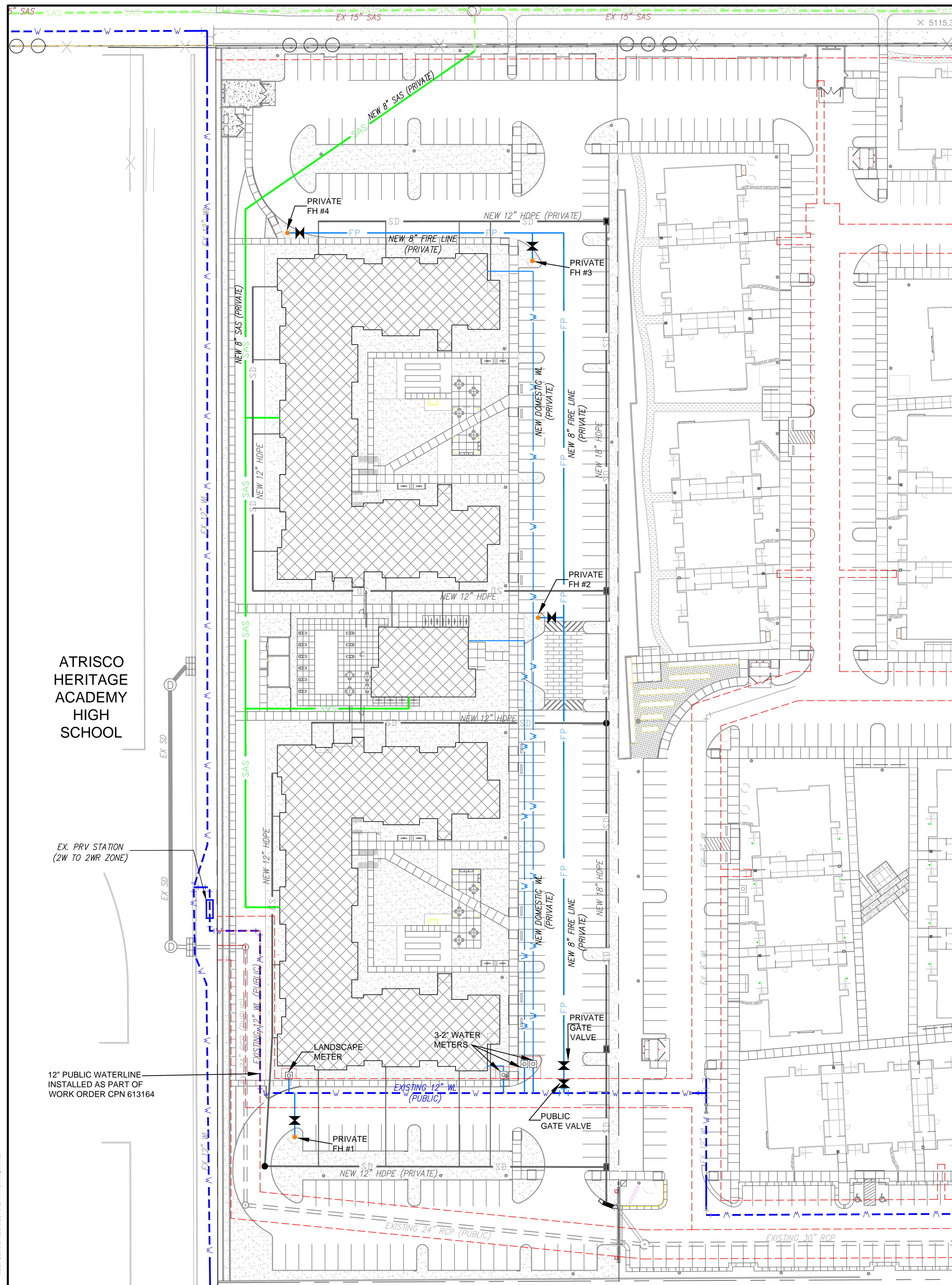
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| GEOGRAPHIC POSITION IN FEET (NAD83) | DATE |
| NM STATE PLANE COORDINATES (CENTRAL ZONE) | DATE |
| ELEVATION IN FEET (NAVD88) = 5129.396 | DATE |

| SURVEY INFORMATION | |
|--------------------|------|
| FIELD NOTES | DATE |
| NO. | BY |

ENGINEER'S SEAL

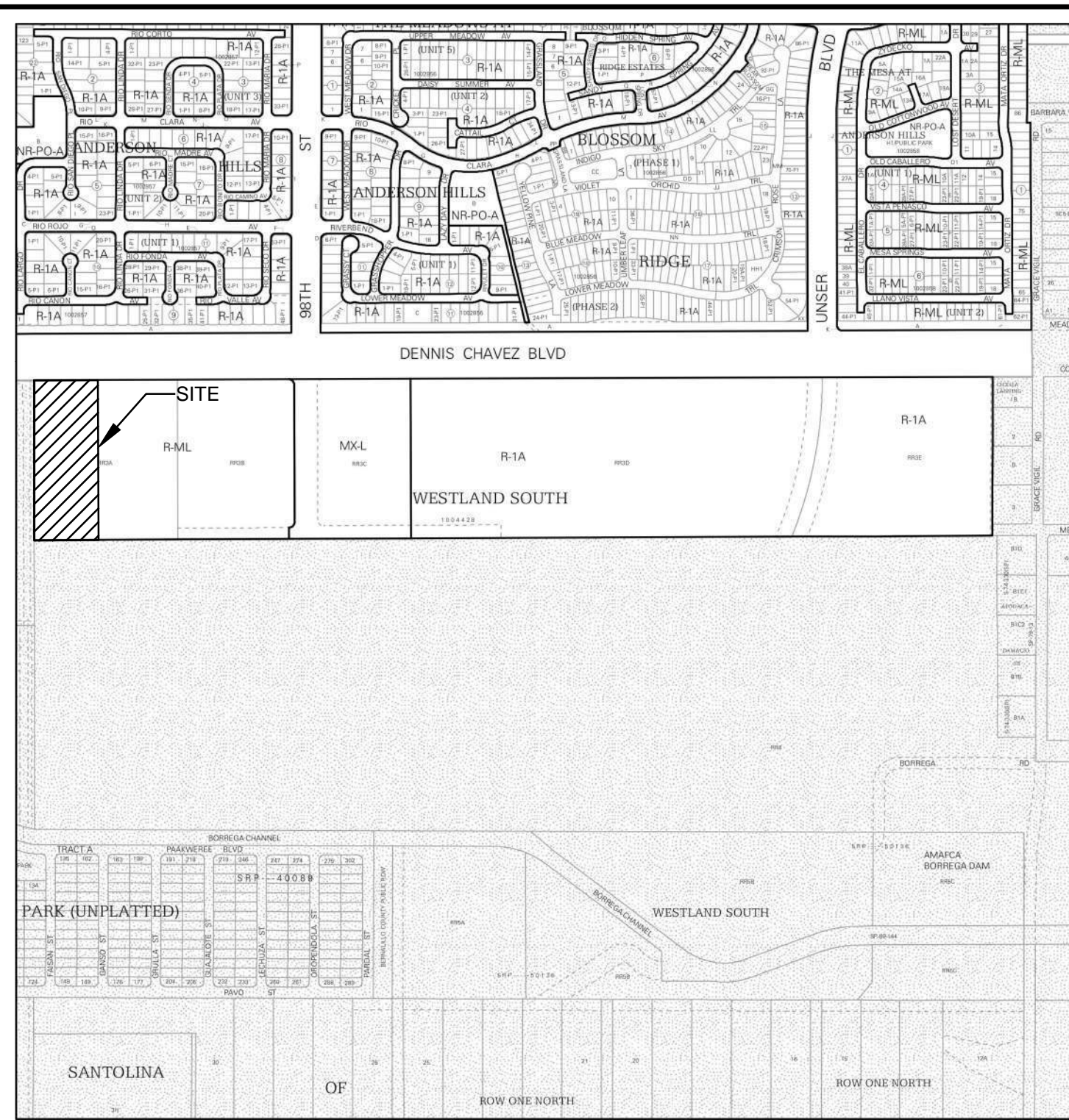
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| | | DESIGN | |
| DESIGNED BY: | DATE: | DATE: | DATE: |
| DWG NAME: | PROJ #: | R311035-01 | |
| CHECKED BY: | DATE: | | |

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 HUITT-ZOLLARS, Inc. - AutoCAD/CEA VISTA.DWG
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LEGEND

| | |
|--|-----------------------------------|
| | NEW PRIVATE STORM DRAIN |
| | NEW PRIVATE SANITARY SEWER |
| | NEW PRIVATE FIRE LINE |
| | NEW PRIVATE DOMESTIC SERVICE LINE |
| | EXISTING PUBLIC SANITARY SEWER |
| | EXISTING PRIVATE SANITARY SEWER |
| | EXISTING PUBLIC WATER LINE |
| | EXISTING PUBLIC UTILITY EASEMENT |
| | PROPOSED PUBLIC UTILITY EASEMENT |



IDO Zone Atlas
May 2018

AGIS
ArcGIS
Geographic Information System

Zone Atlas Page: P-09-Z

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 - Escarpment
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AS BUILT INFORMATION

| CONTRACTOR | DATE |
|------------|------|
| | |

BENCH MARKS

| CONTRACTOR | DATE |
|------------|------|
| | |

INSPECTOR'S FIELD VERIFICATION

| DATE | BY |
|------|----|
| | |

MICRO-FILM INFORMATION

| DATE | BY |
|------|----|
| | |

SURVEY INFORMATION

| FIELD NOTES | DATE | BY |
|-------------|------|----|
| | | |

ENGINEER'S SEAL

Designed By:
HUITT-ZOLLARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Dr. NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

DBG PROPERTIES, LLC

TITLE: **CEJA VISTA APARTMENT COMPLEX PHASE II DRB UTILITY PLAN**

| Design Review Committee | City Engineer | Mo./Day/Yr. | Mo./Day/Yr. |
|-------------------------|---------------|-------------|-------------|
| | | | |

City Project No. _____ Zone Map No. **P-09-Z** Sheet **SDP 3.3**

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT



SEAL

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NM 87121

50% DESIGN DEVELOPMENT

REVISIONS

- △
- △
- △
- △
- △

DRAWN BY RM, AG

REVIEWED BY RAW, JM

DATE 11/25/2019

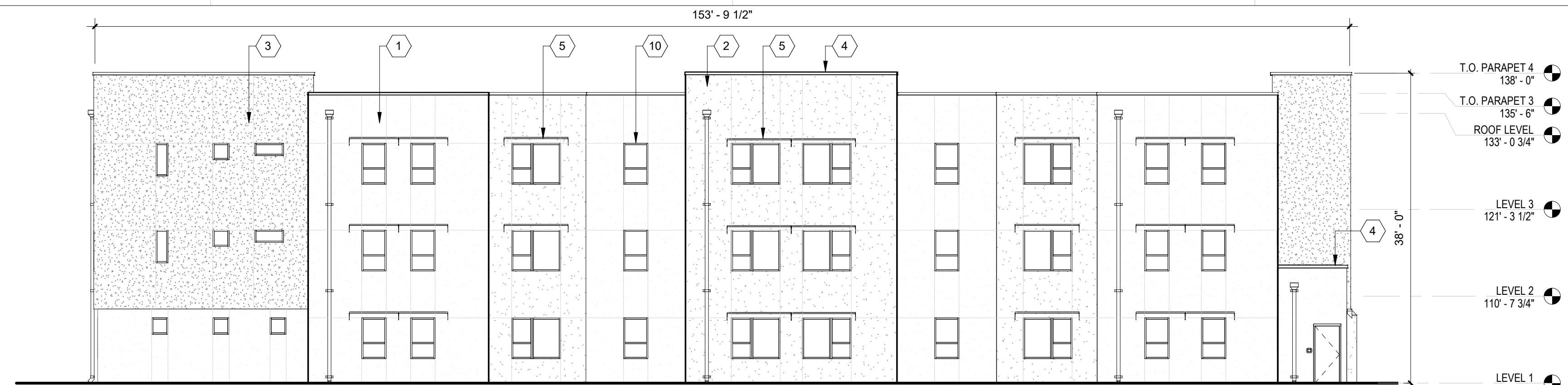
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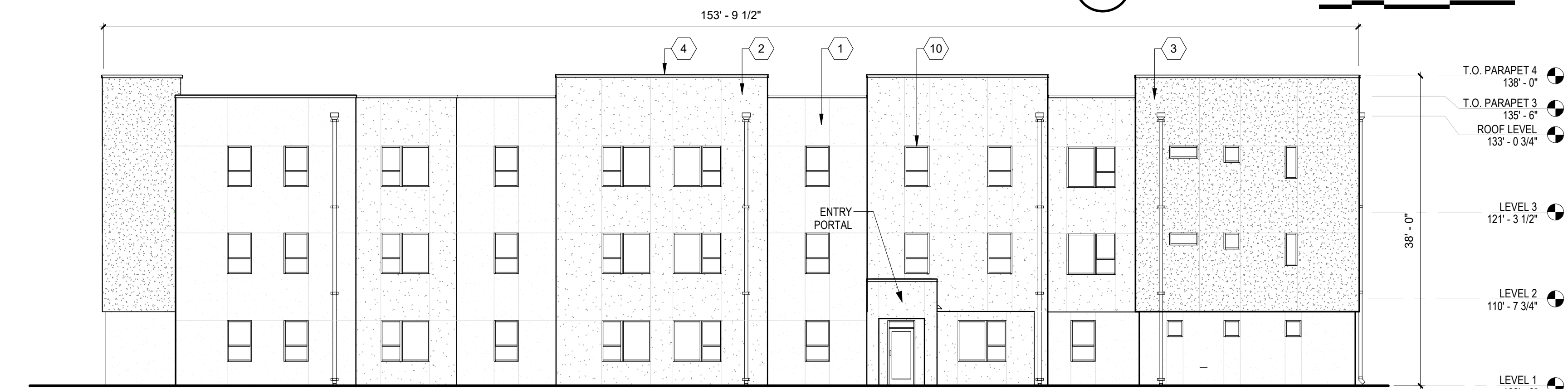
**EXTERIOR
ELEVATIONS**

SHEET NO

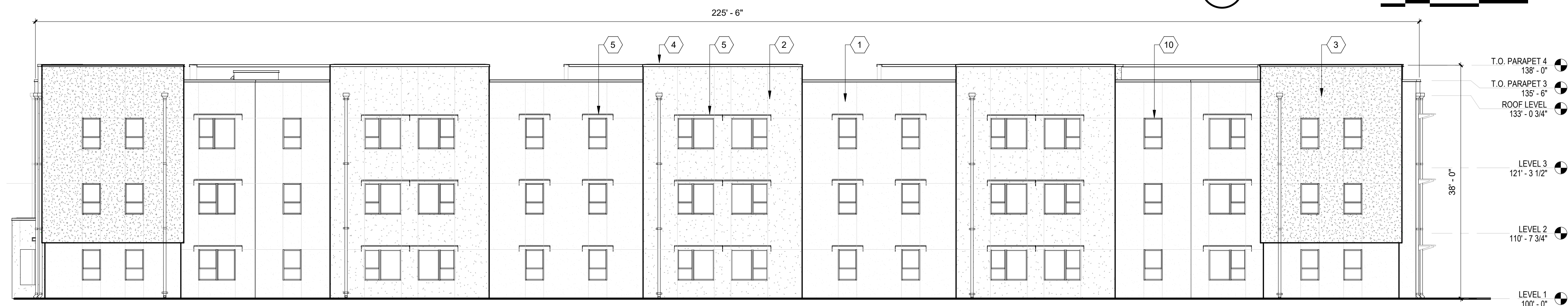
SDP5.1



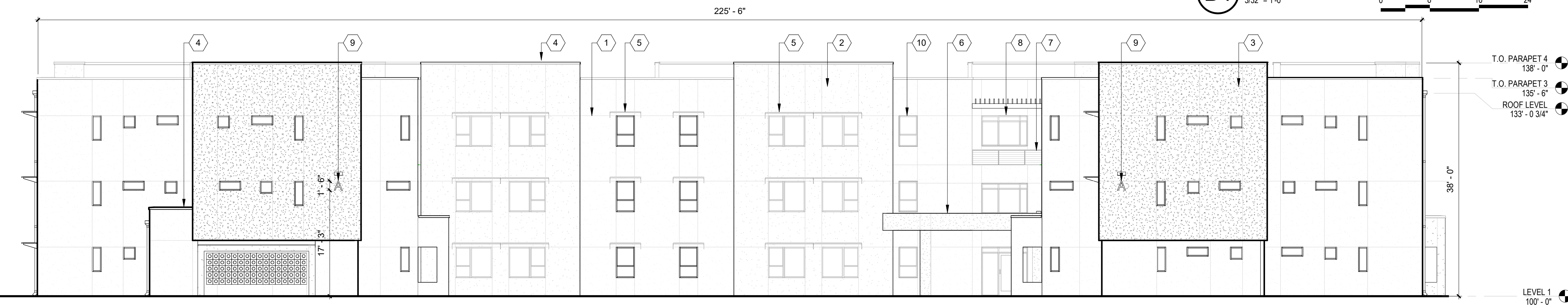
D4 SOUTH ELEVATION @ BUILDING A
3/32" = 1'-0"



C4 NORTH ELEVATION @ BUILDING A
3/32" = 1'-0"



B4 WEST ELEVATION
3/32" = 1'-0"



A4 EAST ELEVATION
3/32" = 1'-0"

GENERAL SHEET NOTES

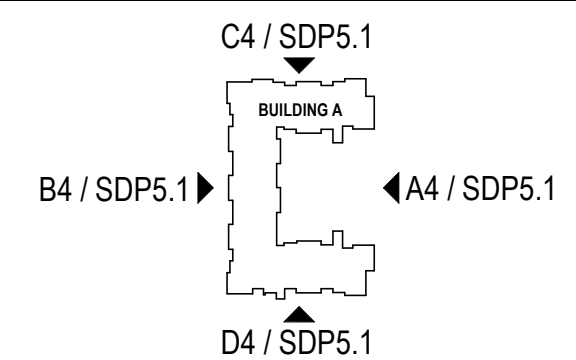
- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
- B. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISHED FLOOR.

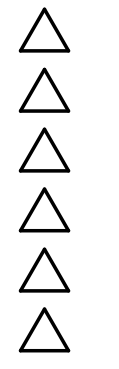
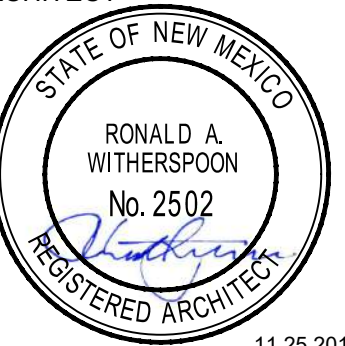
REFERENCE KEYNOTES

- 1. STUCCO FINISH (COLOR 1)
- 2. STUCCO FINISH (COLOR 2)
- 3. STUCCO FINISH (COLOR 3)
- 4. PREFINISHED METAL COPING
- 5. OPTIONAL WINDOW SHADE, TYP
- 6. SHADE TRELLIS
- 7. GUARDRAIL AT ROOFTOP TERRACE
- 8. BRONZE ALUMINUM STOREFRONT
- 9. BUILDING IDENTIFICATION SIGNAGE
- 10. RESIDENTIAL WINDOWS
- 11. WOOD SLAT FENCE
- 12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE
- 13. ANALOG PHONE LINE
- 14. HOSE BIB

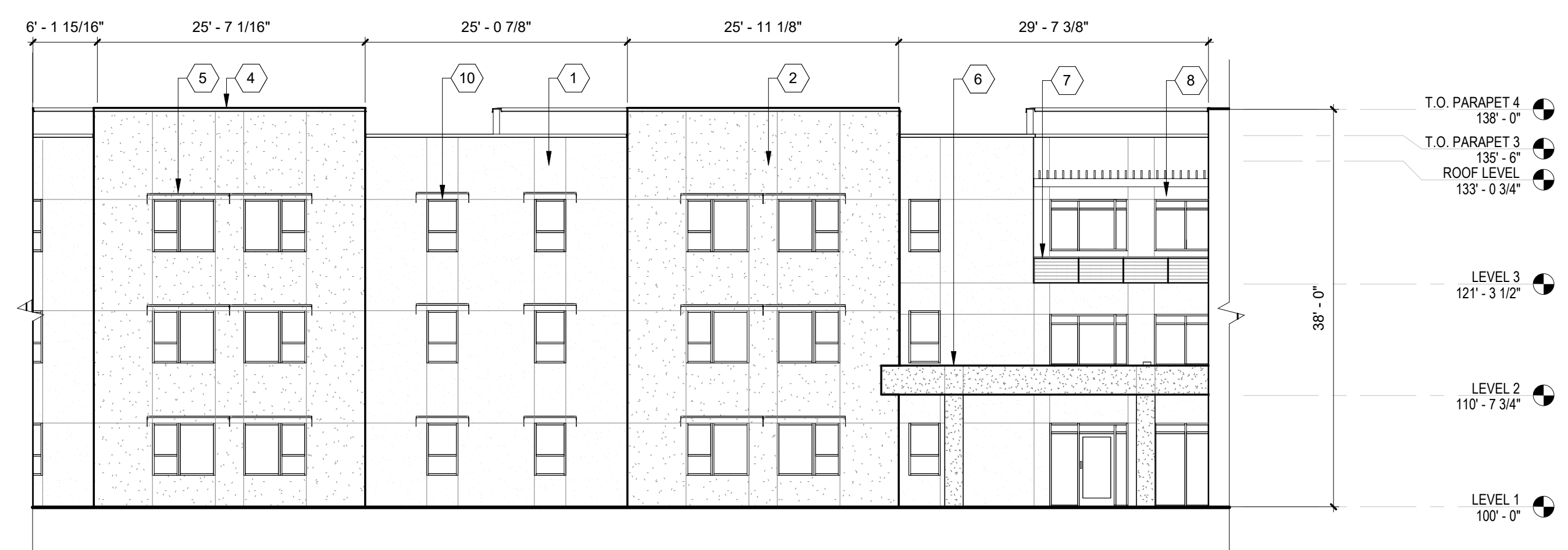
LEGEND

KEY PLAN

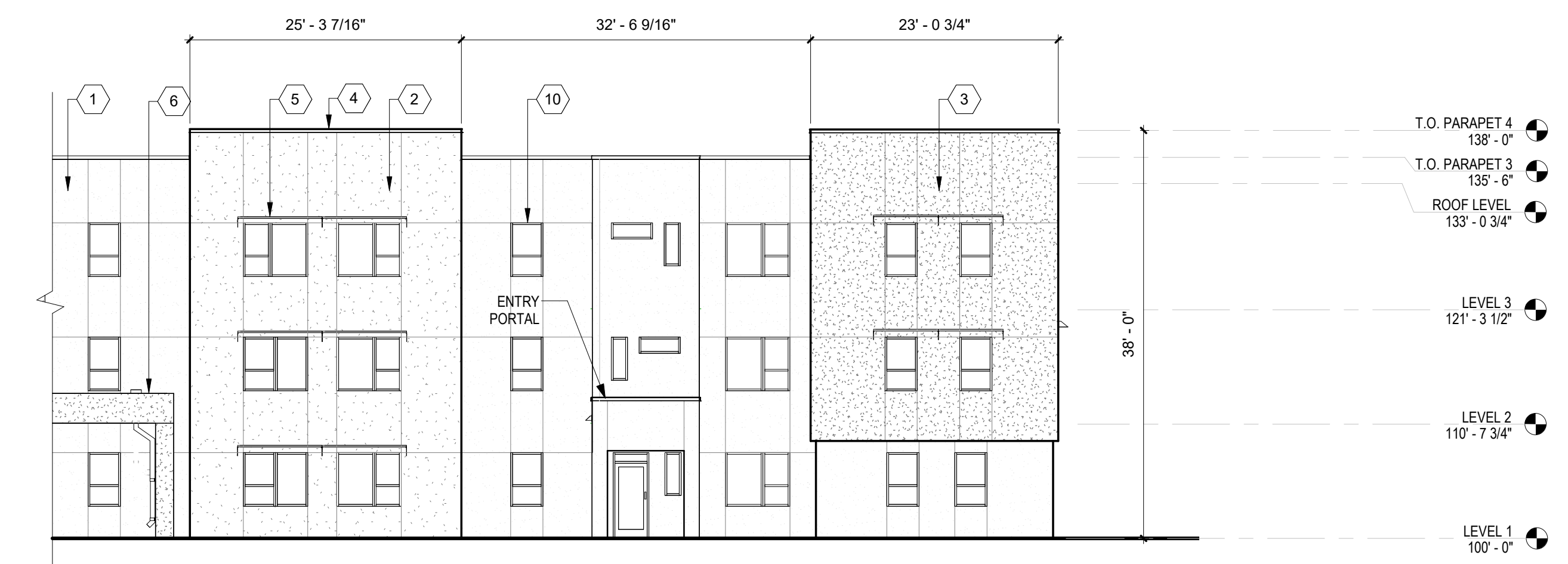




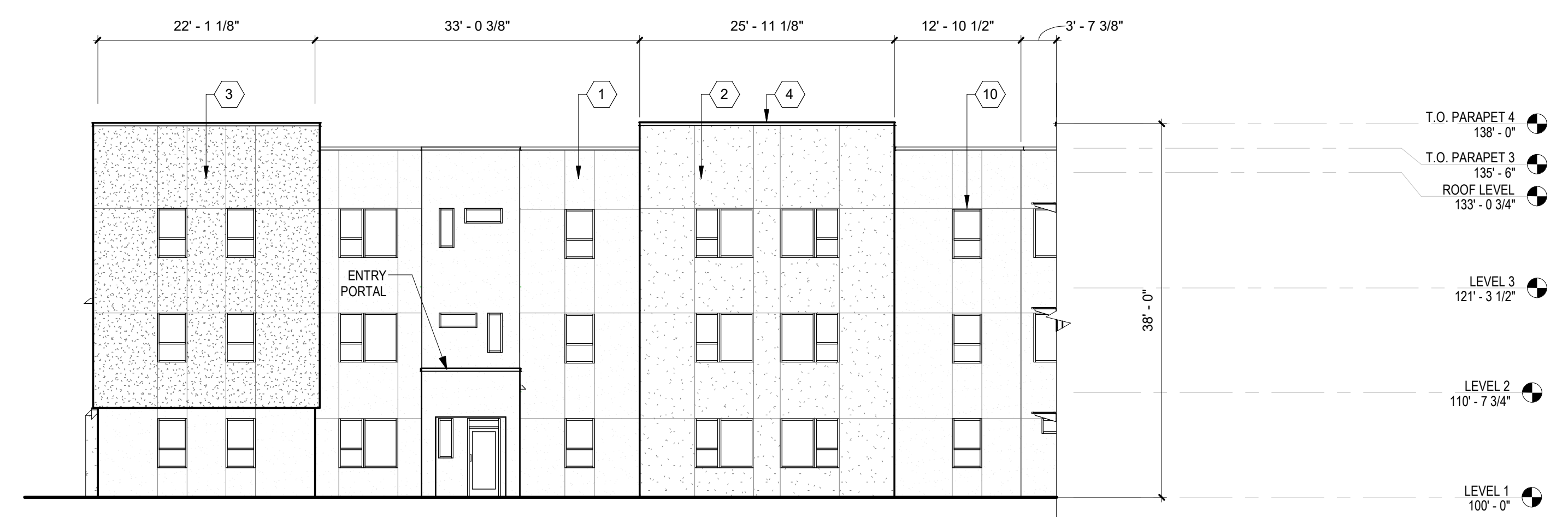
| | |
|-------------|------------|
| DRAWN BY | AG |
| REVIEWED BY | RAW, JM |
| DATE | 11/25/2019 |
| PROJECT NO: | 19-0019 |



3C WEST ELEVATION - COURTYARD
3/32" = 1'-0"



3B NORTH ELEVATION - COURTYARD
3/32" = 1'-0"



3A SOUTH ELEVATION - COURTYARD
3/32" = 1'-0"

GENERAL SHEET NOTES

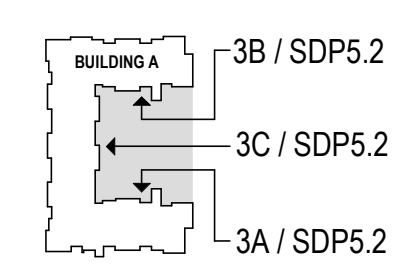
- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
- B. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISHED FLOOR.

REFERENCE KEYNOTES

- | | |
|---------------------------------|---|
| 1. STUCCO FINISH (COLOR 1) | 8. BRONZE ALUMINUM STOREFRONT |
| 2. STUCCO FINISH (COLOR 2) | 9. BUILDING IDENTIFICATION SIGNAGE |
| 3. STUCCO FINISH (COLOR 3) | 10. RESIDENTIAL WINDOWS |
| 4. PREFINISHED METAL COPING | 11. WOOD SLAT FENCE |
| 5. OPTIONAL WINDOW SHADE, TYP | 12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE |
| 6. SHADE TRELLIS | 13. ANALOG PHONE LINE |
| 7. GUARDRAIL AT ROOFTOP TERRACE | 14. HOSE BIB |

LEGEND

KEY PLAN



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT



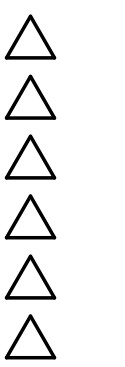
SEAL

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NM 87121

50% DESIGN DEVELOPMENT

REVISIONS



DRAWN BY RM, AG

REVIEWED BY RAW, JM

DATE 11/25/2019

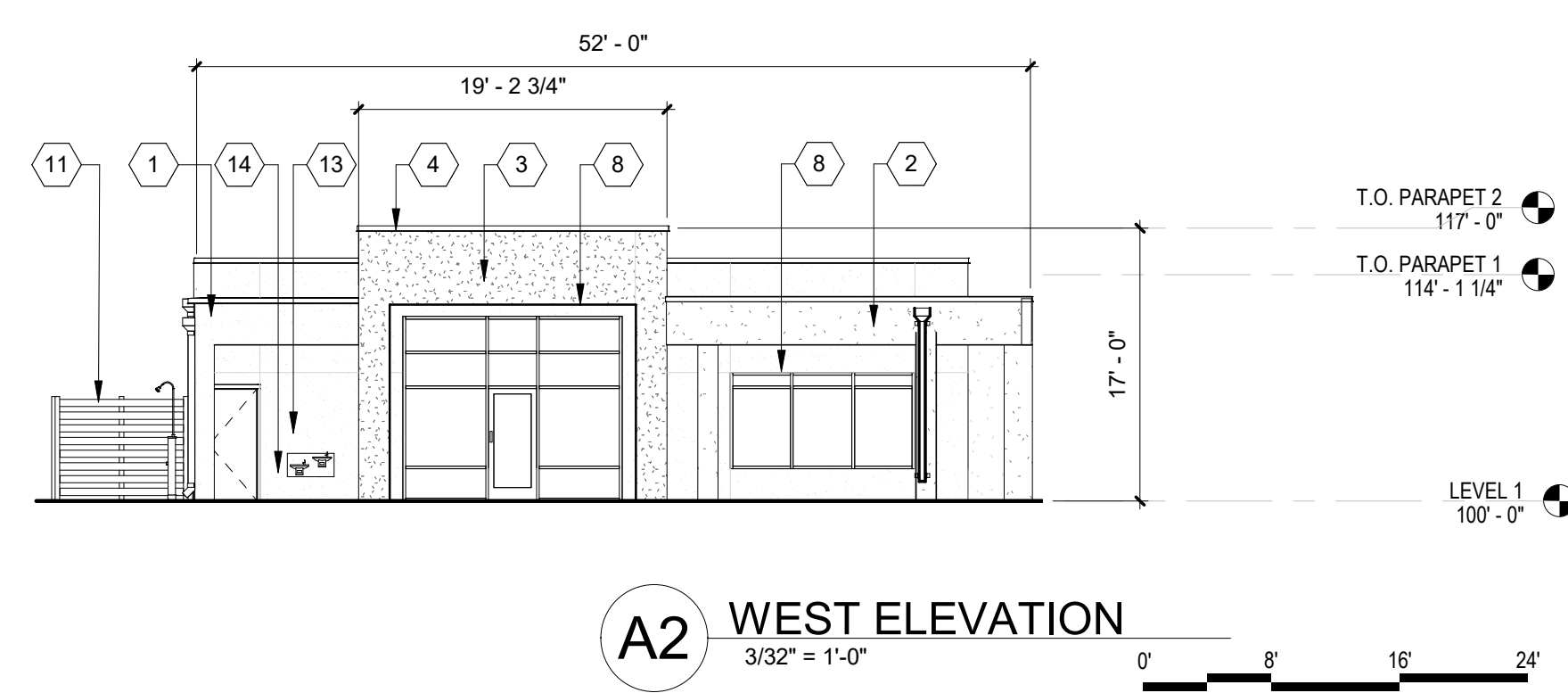
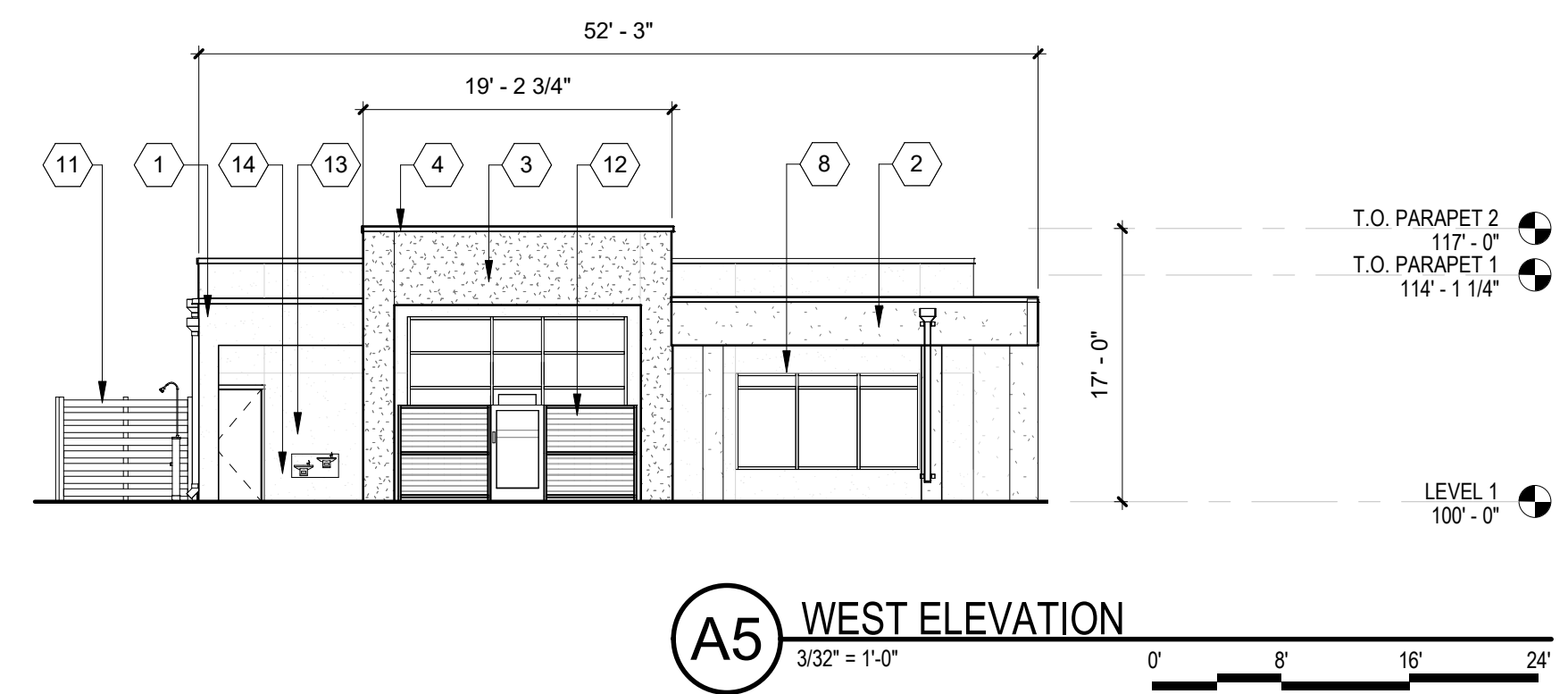
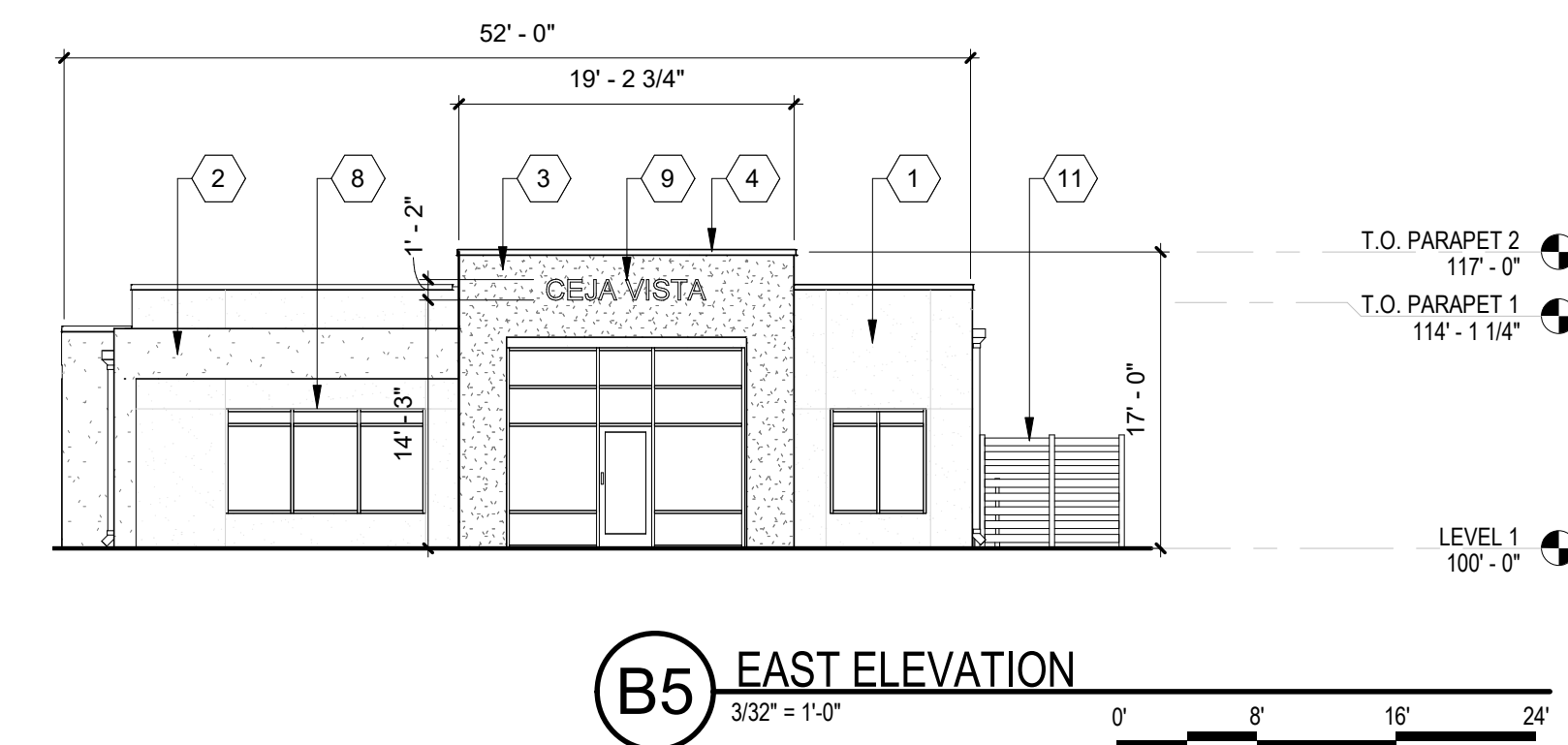
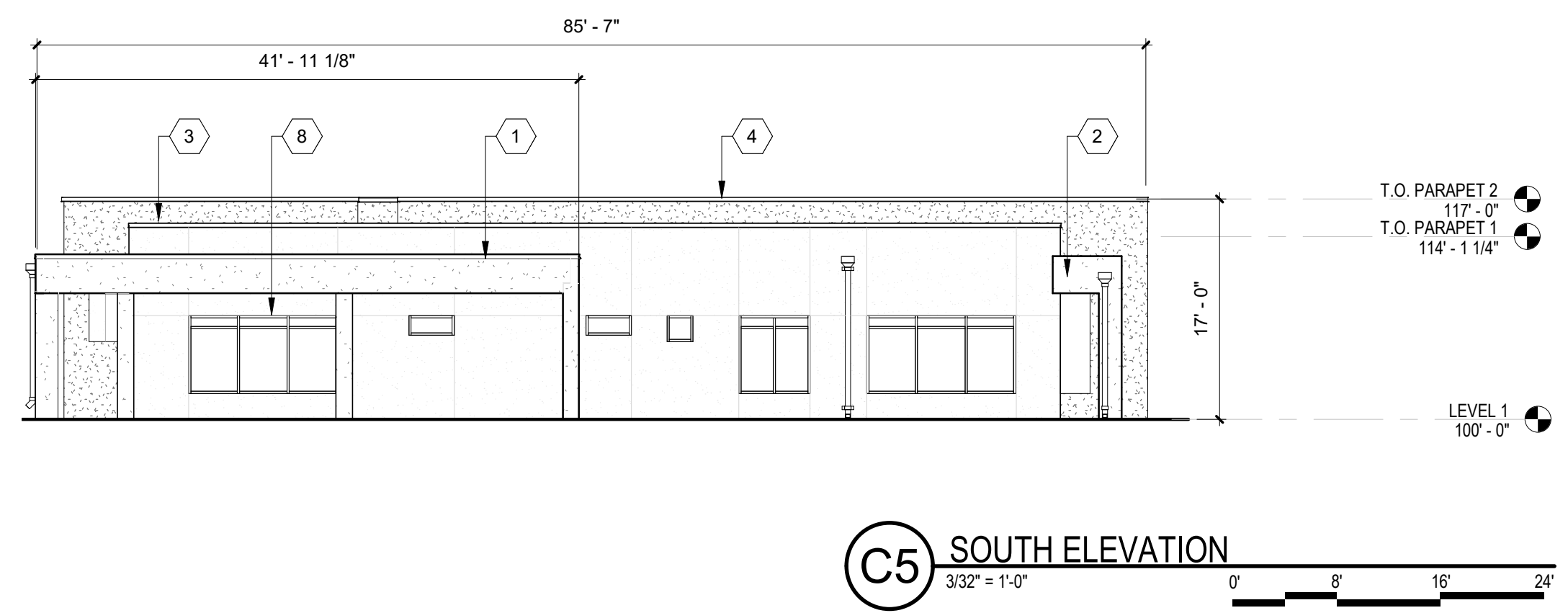
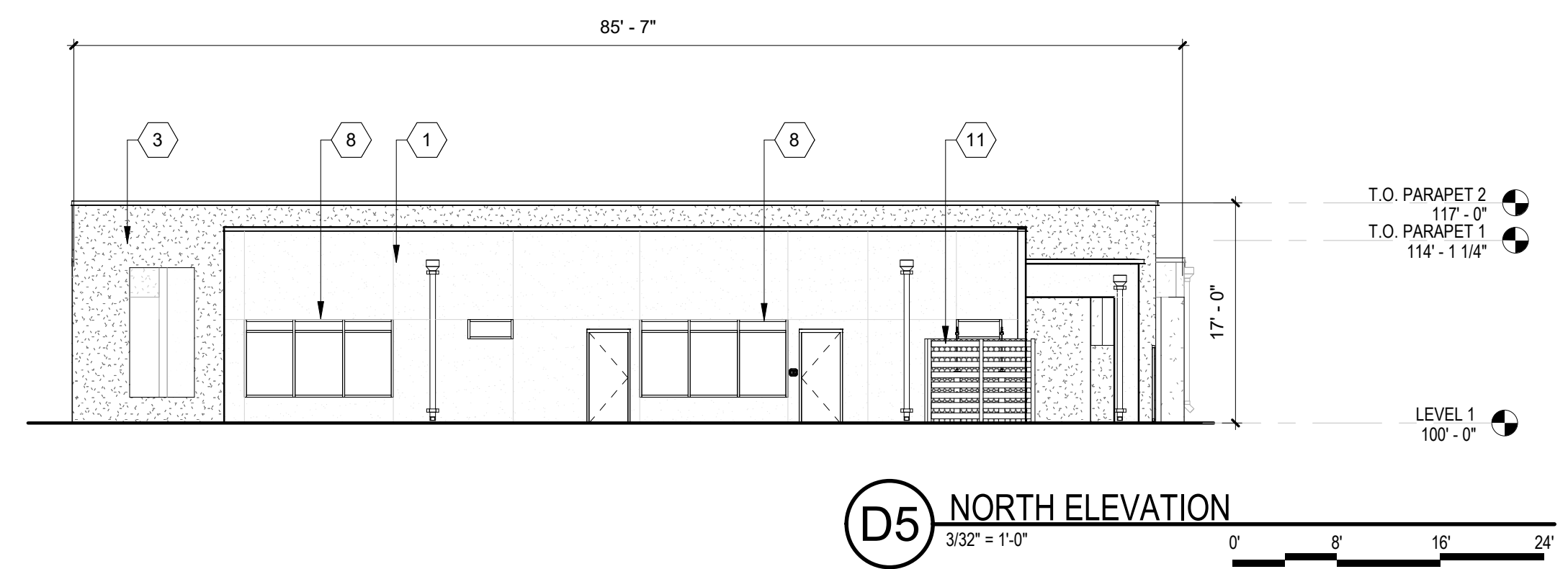
PROJECT NO: 19-0019

DRAWING NAME

**EXTERIOR
ELEVATIONS**

SHEET NO

SDP5.3



| GENERAL SHEET NOTES | REFERENCE KEYNOTES | LEGEND | KEY PLAN |
|--|---|--------|----------|
| <p>A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE</p> <p>B. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISHED FLOOR.</p> | <p>1. STUCCO FINISH (COLOR 1)</p> <p>2. STUCCO FINISH (COLOR 2)</p> <p>3. STUCCO FINISH (COLOR 3)</p> <p>4. PREFINISHED METAL COPING</p> <p>5. OPTIONAL WINDOW SHADE, TYP</p> <p>6. SHADE TRELLIS</p> <p>7. GUARDRAIL AT ROOFTOP TERRACE</p> <p>8. BRONZE ALUMINUM STOREFRONT</p> <p>9. BUILDING IDENTIFICATION SIGNAGE</p> <p>10. RESIDENTIAL WINDOWS</p> <p>11. WOOD SLAT FENCE</p> <p>12. POOL ENCLOSURE FENCE AND GATE TO MEET POOL BARRIER REQUIREMENT PER CODE</p> <p>13. ANALOG PHONE LINE</p> <p>14. HOSE BIB</p> | | |

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GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
- B. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE
- E. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- F. ALL PARKING SPACES AT 9'-0" X 18'-0" UNO
- G. DESIGN WILL COMPLY WITH 2009 INTERNATIONAL FIRE CODE APPENDIX B,C&D
- H. ALL RADII ALONG FIRE LANE SHALL BE 28'-0"
- I. CLUBHOUSE AND CARD ACCESS GATES WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS
- J. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- K. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT
- L. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- M. ALL FIRE ACCESS LANES SHALL HAVE AN APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

SHEET KEYED NOTES

- 1. PROPERTY LINE
- 2. FIRE DEPARTMENT ACCESS - SECONDARY ACCESS POINT
- 3. FIRE LANE, 26' WIDTH STANDARD, 28' RADIUS
- 4. FIRE HYDRANT
- 5. FIRE DEPARTMENT CONNECTION(FDC) WALL MOUNT OR FREE STANDING
- 6. GATE ENTRY PADPOST
- 7. KNOX BOX LOCATION
- 8. FIRE RISER ROOM, 7'-6" X 8'-0"
- 9. FIRE ACCESS ONLY GATE WITH FIRE DEPARTMENT ACCESS SIGN AND KNOX BOX
- 10. MONUMENT SIGN WITH APPROVED ADDRESS IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC.
- 11. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC.
- 12. EASEMENT FIRE LANE, 20'-0" WIDE
- 13. RETAINING WALL
- 14. TRANSFORMER
- 15. POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- 16. FLUSH CONCRETE SIDEWALK
- 17. DRIVABLE GRAVEL FOR FIRE ACCESS ROAD
- 18. DRIVABLE LANDSCAPE
- 19. FLUSH TRANSITION BETWEEN ASPHALT AND DRIVABLE GRAVEL
- 20. FLUSH TRANSITION BETWEEN DRIVABLE GRAVEL AND LANDSCAPE
- 21. FIRE LANE, 20' WIDTH, 28' RADIUS

SITE DATA

SITE ADDRESS: DENNIS CHAVEZ AND 98TH STREET SW
ALBUQUERQUE, NM SW 87121
LEGAL DESCRIPTION: TRACT RR-3A-1, LOCATED ON DENNIS CHAVEZ BLVD, SW, BETWEEN 98TH ST. SW & 118TH ST. SW
ACRES: 5.423 ACRES
ZONE ATLAS: P-09-2
ZONING SUMMARY: (RM-L) RESIDENTIAL - MULTI-FAMILY HIGH DENSITY ZONE DISTRICT
CONSTRUCTION TYPE: V/A
BUILDING HEIGHT: 38'-6"
SPRINKLERED: FULLY SPRINKLERED
FIRE FLOW: 4,500 GPM
HYDRANTS REQUIRED: 05

BUILDING DATA

| BUILDING TYPE A: | |
|------------------|------------|
| FIRST LEVEL | 20,777 GSF |
| SECOND LEVEL | 20,296 GSF |
| THIRD LEVEL | 19,912 GSF |
| TOTAL | 60,985 GSF |
| FIRE FLOW | 4,500 GPM |

| BUILDING TYPE B: | |
|------------------|------------|
| FIRST LEVEL | 20,777 GSF |
| SECOND LEVEL | 20,296 GSF |
| THIRD LEVEL | 19,912 GSF |
| TOTAL | 60,985 GSF |
| FIRE FLOW | 4,500 GPM |

BUILDING TOTAL: 121,970 GSF

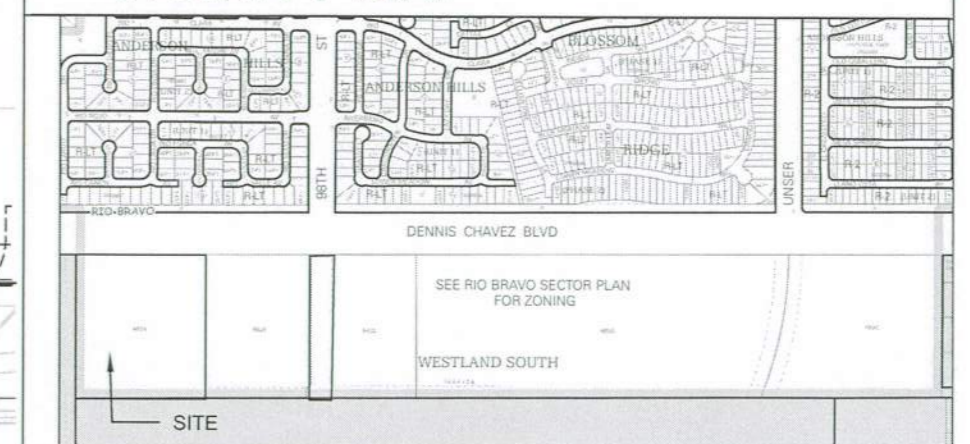
| CLUB HOUSE: | |
|-------------|-----------|
| LEVEL 1 | 3,158 GSF |
| FIRE FLOW | 1,500 GPM |

TOTAL BUILDING AREA: 125,128 GSF
LARGEST SF SPACE- CLUB HOUSE COMMUNITY ROOM 800 GSF

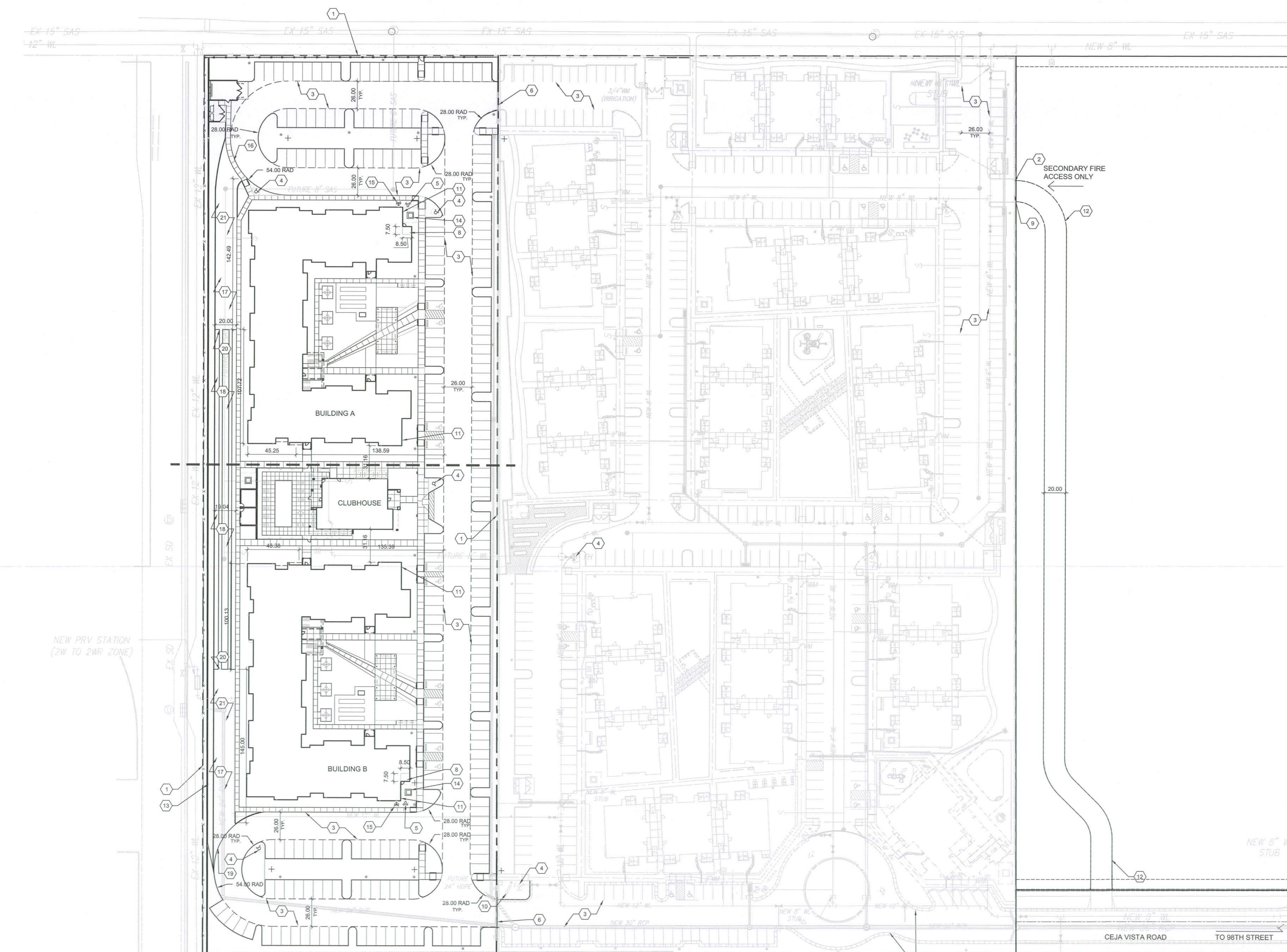
LEGEND

- PAINTED DIRECTIONAL ARROWS
- FH ⊕ FIRE HYDRANT, RE: CONCEPTUAL UTILITY PLAN
- FDC ⊕ FIRE DEPARTMENT CONNECTION, RE: CONCEPTUAL UTILITY PLAN
- PIV ⊕ POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- C ⊕ COMPACT PARKING @ 8'-0" X 15'-0"

VICINITY MAP



A5 VICINITY MAP
NTS



A1 FIRE ONE PLAN
1" = 50'-0"
0 50' 100'
NORTH

HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOP: 60985 CONSTRUCTION TYPE: A
GPM: 2250 NUMBER OF HYDRANT: 2
APPROVED-DISAPPROVED
DATE: 9/3/19
SIGNATURE: [Signature]
2872-19 Rev. 500

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

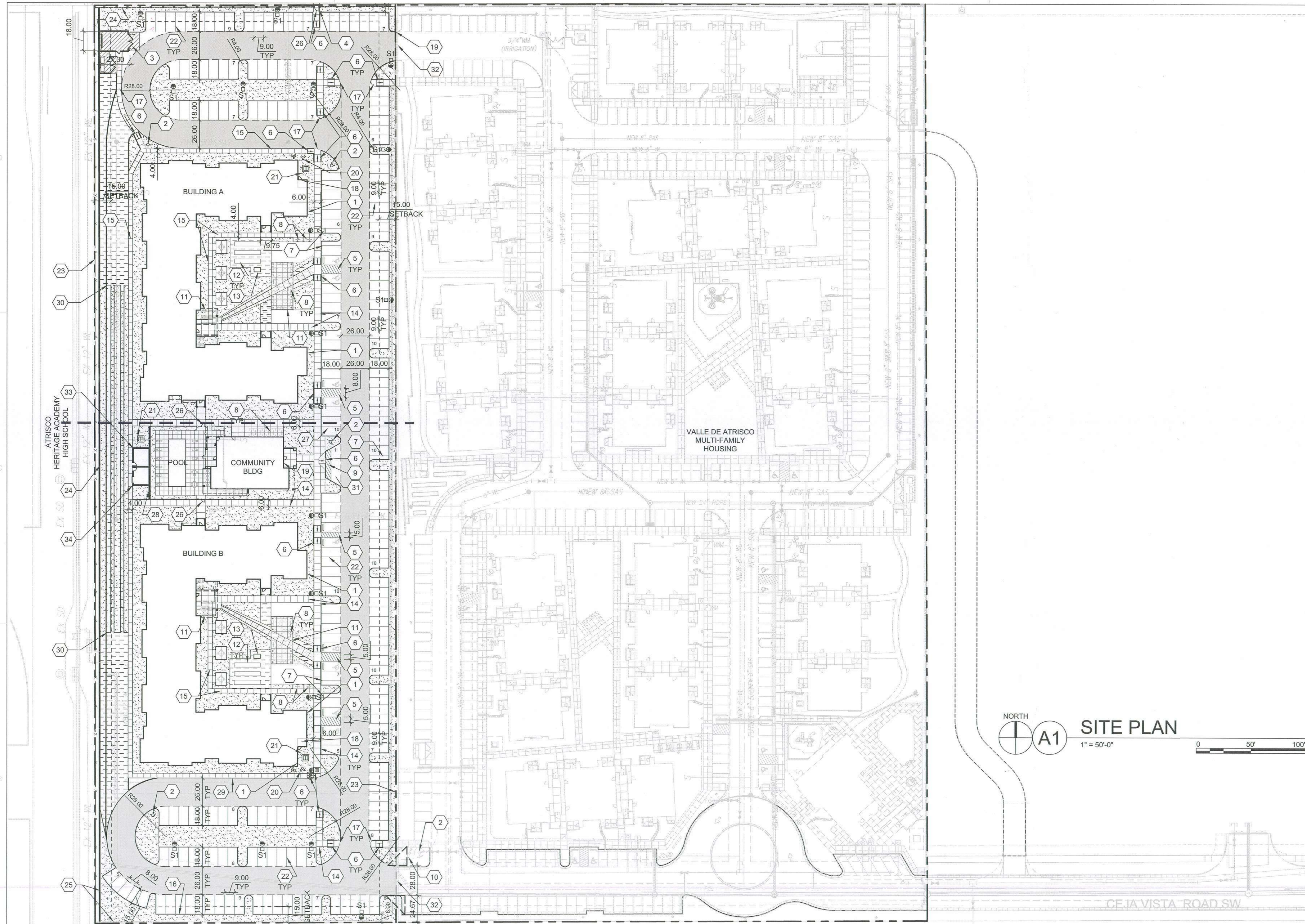
505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO 87121



NORTH
A1 SITE PLAN
1" = 50'-0"
0 50' 100'

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-B OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- G. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, GRADING AND DRAINAGE.
- H. SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- I. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

SHEET KEYED NOTES

- 1. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC
- 2. FIRE HYDRANT, PAINT SAFETY ORANGE, SEE CIVIL
- 3. TRASH COMPACTOR ENCLOSURE (7'-4" MASONRY WALL) WITH GATE, REF: C5/SDP1.2
- 4. WALKWAY CONNECTION TO DENNIS CHAVEZ BLVD. TRAIL, A PAVED MULTI-USE TRAIL, CLOSED TO AUTOMOTIVE TRAFFIC. DEVELOPER TO COORDINATE WITH NMDOT ASSISTANT TRAFFIC ENGINEER ON TRAIL CONNECTION; REF: B2/SDP1.2
- 5. ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2
- 6. ACCESSIBLE RAMP, REF: A3/SDP1.2, C2/SDP1.2 & C3/SDP1.2
- 7. MOTORCYCLE PARKING
- 8. BIKE RACK/PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: D5/SDP1.2
- 9. ACCESSIBLE AISLE WITH STRIPING
- 10. MONUMENT SIGN PER IDO REQUIREMENTS, REF: D1/SDP1.2 & D2/SDP1.2
- 11. SHADE STRUCTURE
- 12. RAISED GARDEN BEDS
- 13. POTTING STATION TABLE
- 14. 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B5/SDP1.2
- 15. 4" WIDE SIDEWALK CONCRETE, REF: B5/SDP1.2
- 16. CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
- 17. FLUSH CONCRETE SIDEWALK, REF: D4/SDP1.2
- 18. FIRE RISER ROOM
- 19. FIRE ACCESS GATE & KNOX BOX (LOCATE PER FIRE ONE PLAN)
- 20. FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNT OR FREE STANDING
- 21. ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)
- 22. PARKING STRIPING 4" WIDE, COLOR WHITE

PROJECT DATA

ZONING:
(RM-L) RESIDENTIAL - MULTI-FAMILY LOW DENSITY ZONE DISTRICT

LEGAL DESCRIPTION:
TRACT RR-3-A-1, LOCATED ON DENNIS CHAVEZ BLVD. SW, BETWEEN 98TH ST. SW & 118TH ST. SW

SITE AREA: 5.423 ACRES
ZONE ATLAS: P-09-Z
SETBACKS: FRONT= 15', SIDE= STREET 10', INTERIOR= 5', REAR= 15'

BUILDING HEIGHT: 35'-0"+10% DEVIATION @ 3'-0" = 38'-0"
SPRINKLED: FULLY SPRINKLED
FIRE FLOW: 4,500 GPM
HYDRANTS REQUIRED: 5 TOTAL

BUILDING OCCUPANCY: R-2, 156 APARTMENTS
CONSTRUCTION TYPE: V-B, FULLY SPRINKLED

| BUILDING A | |
|--------------|------------|
| FIRST LEVEL | 20,777 GSF |
| SECOND LEVEL | 20,296 GSF |
| THIRD LEVEL | 19,912 GSF |
| TOTAL | 60,985 GSF |
| BUILDING B | |
| FIRST LEVEL | 20,777 GSF |
| SECOND LEVEL | 20,296 GSF |
| THIRD LEVEL | 19,912 GSF |
| TOTAL | 60,985 GSF |

CLUBHOUSE: 3,158 GSF

TOTAL: 125,128 GSF

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED: MULTI FAMILY = 1.5 / DU
REQUIRED: 156 UNITS x 1.5 SPACES = 234 SPACES
PROVIDED CARPOOL PARKING: 1 = 4 PARKING CREDIT SPACES
PROVIDED VAN/POOL PARKING: 1 = 7 PARKING CREDIT SPACES
REQUIRED: 234 SPACES - 4 CARPOOL CREDIT - 7 VAN/POOL CREDIT = 223 TOTAL
PROVIDED: 223 PARKING SPACES

25% OF 223 REQUIRED PARKING MAY BE COMPACT
PROVIDED COMPACT PARKING: 5 SPACES @ 8'-0" x 15'-0"
REQUIRED STANDARD PARKING: 218 SPACES @ 9'-0" x 18'-0"
PROVIDED: 10 SPACES

STANDARD ACCESSIBLE SPACES:
REQUIRED: 8 STANDARD SPACES & 2 VAN ACCESSIBLE
PROVIDED: 10 SPACES

BIKE PARKING: 00.25 PER UNIT
REQUIRED: 0.25 x 156 = 39
PROVIDED: 40
20% SECURED LONG TERM STORAGE: 8
EXTERIOR BIKE PARKING: 32

MOTORCYCLE PARKING
REQUIRED AND PROVIDED = 5 SPACES FOR 51-300 TOTAL PARKING SPACES
REQUIRED = 5 SPACES
PROVIDED = 5 SPACES

| | |
|--|--------------|
| PROJECT NO. | |
| APPLICATION NO. | |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. | |
| DRB SITE DEVELOPMENT PLAN APPROVAL: | |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE: |
| ABCWUA | DATE: |
| PARKS & RECREATION DEPARTMENT | DATE: |
| CITY ENGINEER/HYDROLOGY | DATE: |
| ENVIRONMENTAL HEALTH (CONDITIONAL) | DATE: |
| SOLID WASTE MANAGEMENT | DATE: 9-3-19 |
| DRB CHAIRPERSON, PLANNING DEPT. | DATE: |
| CODE ENFORCEMENT | DATE: |

LEGEND

| | |
|--|--|
| | LANDSCAPE AREA |
| | STABILIZED CRUSHER FINES |
| | INTEGRAL COLORED CONCRETE |
| | REINFORCED CONCRETE PAVING |
| | HEAVY DUTY ASPHALT CAPABLE TO SUPPORT 75,000 LBS |
| | FIRELANE STRIPING MARKING FIRE ACCESS LANE |
| | PROPERTY LINE |
| | FIRE HYDRANT |
| | POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN |
| | SITE LIGHTING |
| | RAISED PLANTING BEDS |
| | CONCRETE BENCH |
| | BIKE RACK |
| | OUTDOOR FURNITURE |
| | SIDEWALK RAMP (ARROW POINTS DOWN) |
| | TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS |
| | POOL PERIMETER FENCE |

REVISIONS

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|---|--|
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| △ | |

DRAWN BY AG, RM
REVIEWED BY RAW, JM
DATE 08/16/2019
PROJECT NO. 19-0019
DRAWING NAME SITE PLAN
SHEET NO. SDP1.1 OF