



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>SUBDIVISIONS</b>	<input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

**BRIEF DESCRIPTION OF REQUEST**

WE REQUEST DRB REVIEW FOR FINAL APPROVAL OF SITE PLAN - EPC FOR CEMETERY IMPROVEMENTS AT SUNSET MEMORIAL PARK.

**APPLICATION INFORMATION**

Applicant: CHRIS KELLER, SUNSET MEMORIAL PARK		Phone:
Address: 924 MENAUL BOULEVARD N.E.		Email: chrisk@sunset-
City: ALBUQUERQUE	State: NM	Zip: 87107 memorial.com
Professional/Agent (if any): LANE LEDBETTER, CPRA STUDIO		Phone: 303.683.5917
Address: 9635 NORTH RAMPART RANGE ROAD		Email: lledbetter@cpa
City: LITTLETON	State: CO	Zip: 80120 studio.com
Proprietary Interest in Site: PLANNING & DESIGN ONLY	List all owners: DOUGLAS FUIN	

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: TRACT 1, SUNSET MEM. PARK	Block: N/A	Unit: N/A
Subdivision/Addition: N/A	MRGCD Map No.: 36	UPC Code: N/A
Zone Atlas Page(s): H-15-Z	Existing Zoning: NR-SU	Proposed Zoning: N/A
# of Existing Lots: N/A	# of Proposed Lots: N/A	Total Area of Site (Acres): 40

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 924 MENAUL BLD NE	Between: EDITH BLVD.	and: I-25
--	----------------------	-----------

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

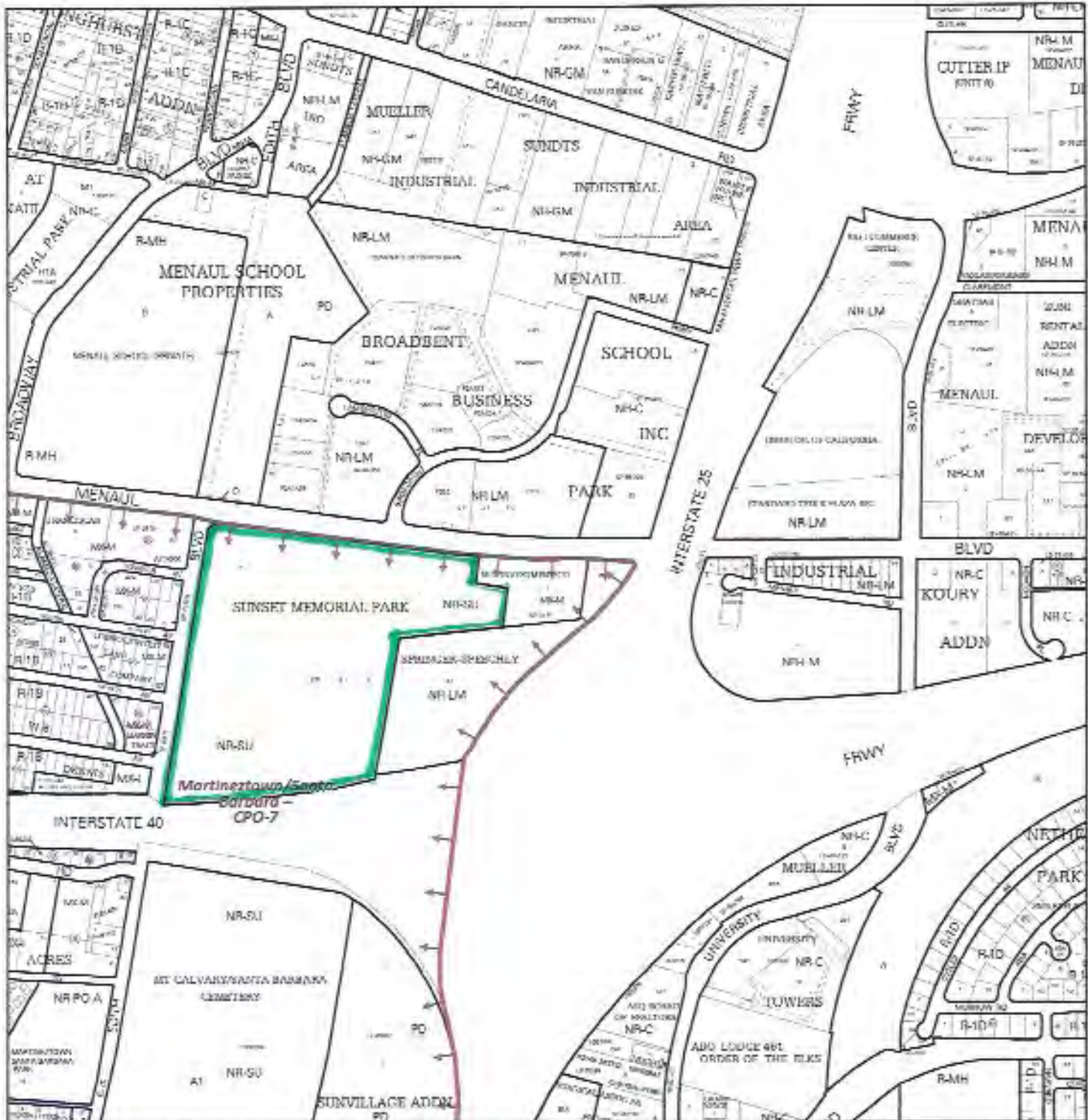
PROJECT # 2019-002807, CASE # SI-2019-00297

Signature: <i>[Signature]</i>	Date: 3.19.2020
Printed Name: LANE J. LEDBETTER	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00091	SBP	\$50			

Meeting Date: April 15, 2020	Fee Total: \$50
Staff Signature: Vanessa A Segura	Date: 4/1/2020
	Project # PR-2019-002807



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**H-15-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



Chris Keller, Executive Director  
Sunset Memorial Park  
924 Menaul Blvd NE  
Albuquerque, NM 87107

March 19, 2020

Director of Planning  
City of Albuquerque  
600 2nd Street NW  
Albuquerque, NM 87102

Dear Director,

I hereby authorize CPRA Studio LLC to act as an agent on our behalf to submit documents as part of our application for CABQ review and approval of our Master Development Plan (MDP) for Sunset Memorial Park (SMP) by the Design Review Board (DRB).

Please contact me with any questions you may have.

Respectfully,



Chris Keller

# MASTER SITE PLAN - DRB

## FINAL SIGN-OFF FOR MASTER SITE PLAN - EPC

### SUNSET MEMORIAL PARK, ALBUQUERQUE NM

#### OWNER

Sunset Memorial Park  
 924 Menaul Blvd. NE  
 Albuquerque, NM 87107  
 p: 505.345.3536  
 contact:  
 Chris Keller, Vice President

#### CEMETERY PLANNERS/LANDSCAPE ARCHITECTS

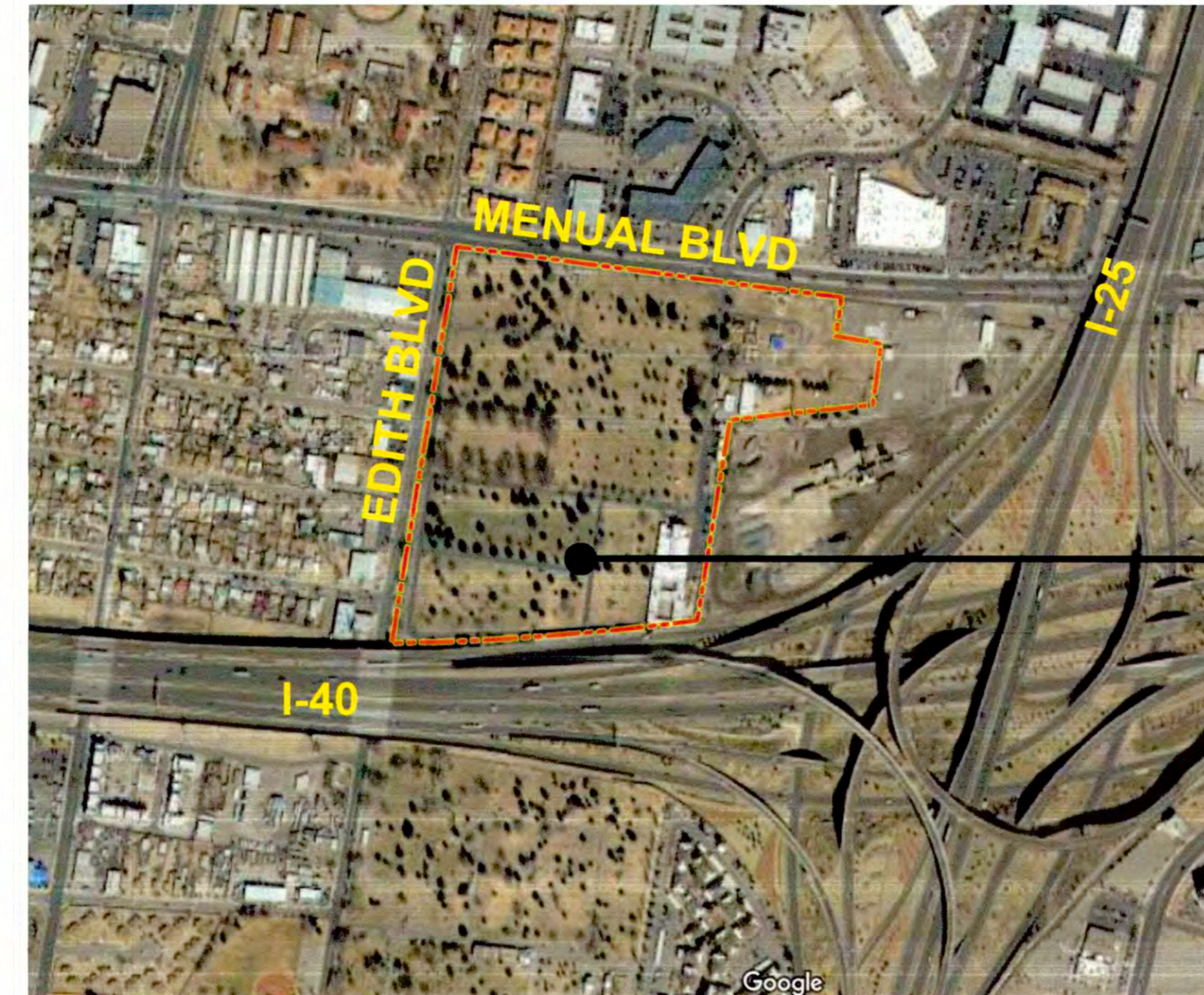
CPRA Studio, Inc.  
 (Prime)  
 9635 North Rampart Road  
 Littleton, CO 80125  
 p: 303.683.5917  
 www.cprastudio.com  
 contact:  
 Lane Ledbetter, RLA

#### CIVIL ENGINEER / SURVEYOR

High Mesa Consulting Group  
 6010 Midway Parkway Blvd. NE #B  
 Albuquerque, NM 87109  
 p: 505.345.4250  
 contacts:  
 Surveyor- Chuck Cala, PLS  
 Civil Engineer- Graeme Means, PE

#### GENERAL NOTES/CHANGES TO APPROVED MASTER SITE PLAN – EPC DOCUMENTS:

1. These Master Site Plan - DRB documents are based on previously approved Master Site Plan – EPC documents, approved October 10, 2019.
2. Changes made to these Master Site Plan documents since the EPC approval include the following:
  - a. Per CABQ Code Enforcement staff request, the Master Site Plan – DRB has been updated with a new air photo and survey base showing as-built conditions as prepared by High Mesa Consulting Group, dated 1.3.2020.
  - b. Per DRB Plan requirements, the Cover Sheet (sheet 1 of 6) has been modified to include a signature block.
  - c. Per CABQ Solid Waste Department staff request, a label has been added to the Master Site Plan – DRB Overall Plan calling out the location of the dumpster on the cemetery property.
  - d. Three exhibit sheets included as a convenience for EPC reviewers only, showing (1) Recent Developments Plan, (2) Exhibit #1 - Centennial Urn Garden Plan and Elevations, and (3) Exhibit #2 – Pueblo Esperanza Plan and Elevations, have been removed from this submittal.
  - e. Sheet notes on the Proposed Development Overall Plan have been modified to add clarity to requirements per CABQ Solid Waste, Fire Marshall, and Transportation concerns.
  - f. No other changes have been made to the Master Site Plan – DRB documents.
3. Per CABQ staff request, the previously approved Master Drainage Plan documents, which accompany these Master Site Plan – DRB documents, have been updated with an updated air photo, site survey, and drainage calculations as required. Refer to these documents for additional submittal information.
4. Future projects that are included in this site plan will go through an Administrative Amendment (AA) process.



Vicinity Map

N.T.S. ↑

#### Sheet Index:

- 1 Cover Sheet
- 2 Proposed Development – Overall Plan
- 3 Proposed Development – Enlargements, Sheet 1
- 4 Proposed Development – Enlargements, Sheet 2
- 5 Proposed Cemetery Design Guidelines
- 6 Previously Approved SDP with Amendments

SUNSET MEMORIAL PARK

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
City Engineer/Hydrology	_____	Date
Code Enforcement	_____	Date
* Environmental Health Department (conditional)	_____	Date
<i>[Signature]</i> Solid Waste Management	_____	3-23-20 Date
DRB Chairperson, Planning Department	_____	Date

SHEET 1 OF 6

3.16.20

cpa studio, llc  
 9635 north rampart range road  
 littleton, colorado 80125  
 www.cprastudio.com  
 303.683.5917



© 2019 CPRA STUDIO

**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**  
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: SUNSET MEMORIAL MASTER SITE PLAN

AGIS MAP # H-15

LEGAL DESCRIPTIONS: Tract 1, Sunset Memorial Park

     **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on 03/11/2020 (date).

  
Applicant/Agent

03/11/2020  
Date

  
Hydrology Division Representative

3/11/20  
Date

**NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL**

N/A **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)) on N/A (date).

  
Applicant/Agent

3/11/2020  
Date

  
ABCWUA Representative

3/11/20  
Date

PROJECT # 2019-002807, CASE#2019-0029

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

March 18, 2020

J. Graeme Means, P.E.  
High Mesa Consulting Group  
6010 B Midway Park Blvd NE  
Albuquerque, NM 87109

**RE: Sunset Memorial Park  
924 Menaul Blvd NE  
Revised Master Drainage Plan  
Engineer's Stamp Date: 03/09/20  
Hydrology File: H15D016**

Dear Mr. Means:

PO Box 1293

Based upon the information provided in your submittal received 03/11/2020, the Revised Master Drainage Plan is approved. Once the future projects are ready for Building Permit processing, please submit the Grading & Drainage Plan to the Hydrology Section for review.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

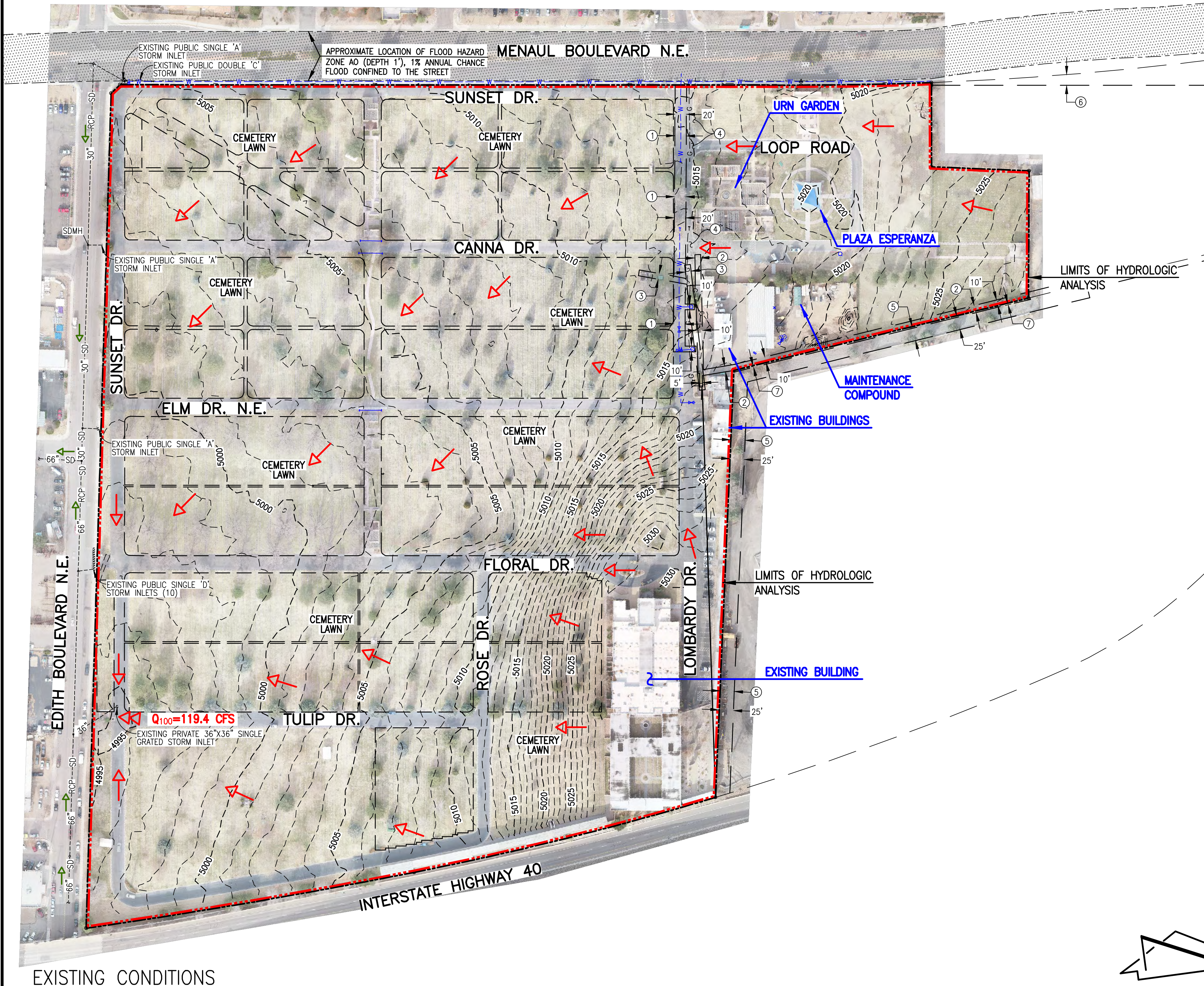
NM 87103

Sincerely,

www.cabq.gov

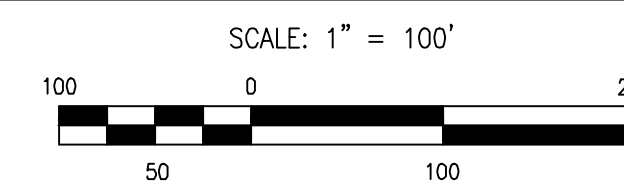
Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

File Name: P:\data\2019\2019.0572\ENGIN\20190572\_Dbaec.dwg - SHEET 1 Plot Date: 3/9/20 Plot Time: 14:39



EXISTING CONDITIONS

**SURVEY NOTE:**  
 THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN BASED UPON THE SURVEY EFFORT PREPARED BY HIGH MESA CONSULTING GROUP DATED 11/06/2013.  
 THE DIGITAL ORTHOPHOTO, CONTOUR AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE CONTROL AND UNCLASSIFIED SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184. (2019.057.1)

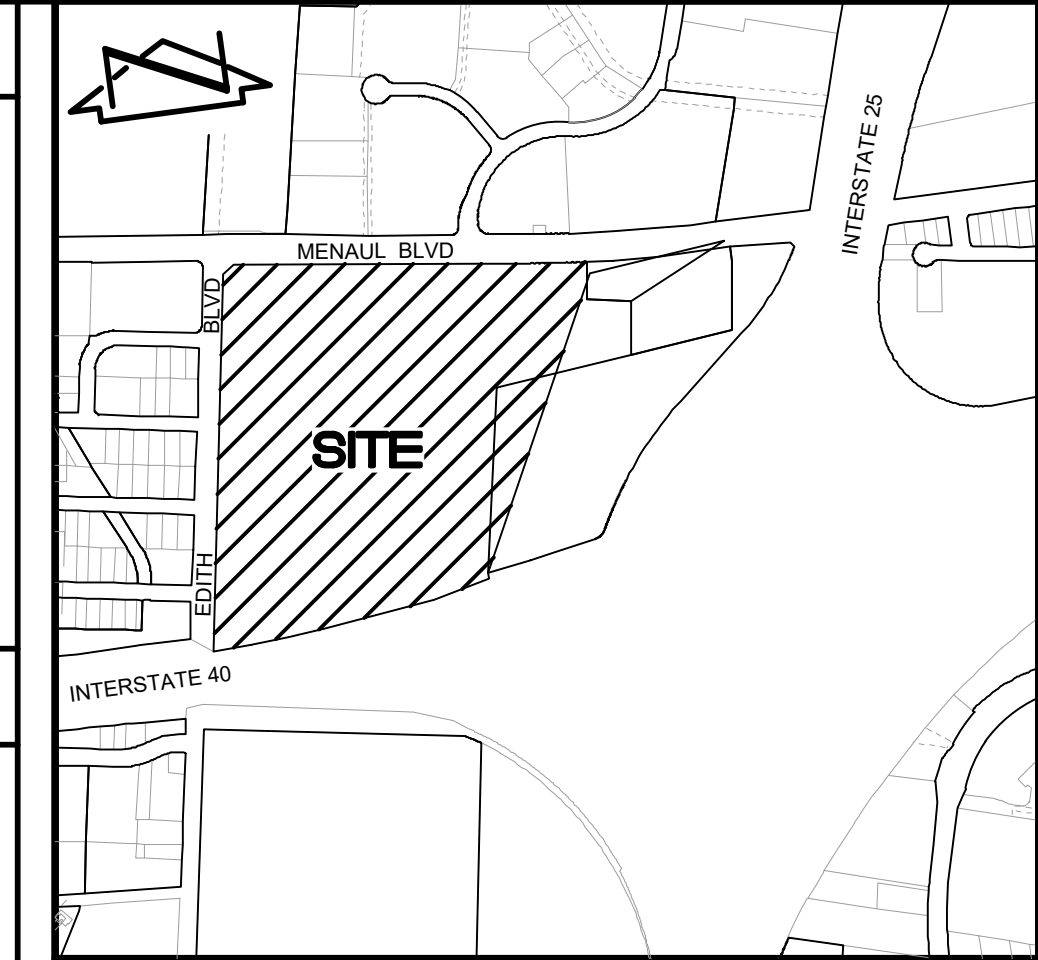


**EASEMENTS**

- ① PUBLIC WATERLINE EASEMENT AS DEPICTED ON PLAT 91C-8
- ② PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 12-22-1986, BOOK MISC. 432A, PAGE 995, DOC. #1986126348. THE NORTHERN 130' OF SAID EASEMENT BEING QUITCLAIMED BY DOCUMENT FILED 04-07-2006, BOOK A114, PAGE 9608, DOC. #2006049769 (PNM ELECTRIC) AND BY DOCUMENT FILED 04-07-2006, BOOK A114, PAGE 9609, DOC. #2006049770 (US WEST COMMUNICATIONS, INC.).
- ③ 10' PNM AND US WEST COMMUNICATIONS, INC. EASEMENT GRANTED BY DOCUMENT FILED 06-02-2000, BOOK A6, PAGE 3753, DOC. #2000053972
- ④ 5' PNM GAS SERVICES EASEMENT GRANTED BY DOCUMENT FILED 07-03-2002, BOOK A38, PAGE 5096, DOC. #2002085333, AS INSTALLED LOCATION

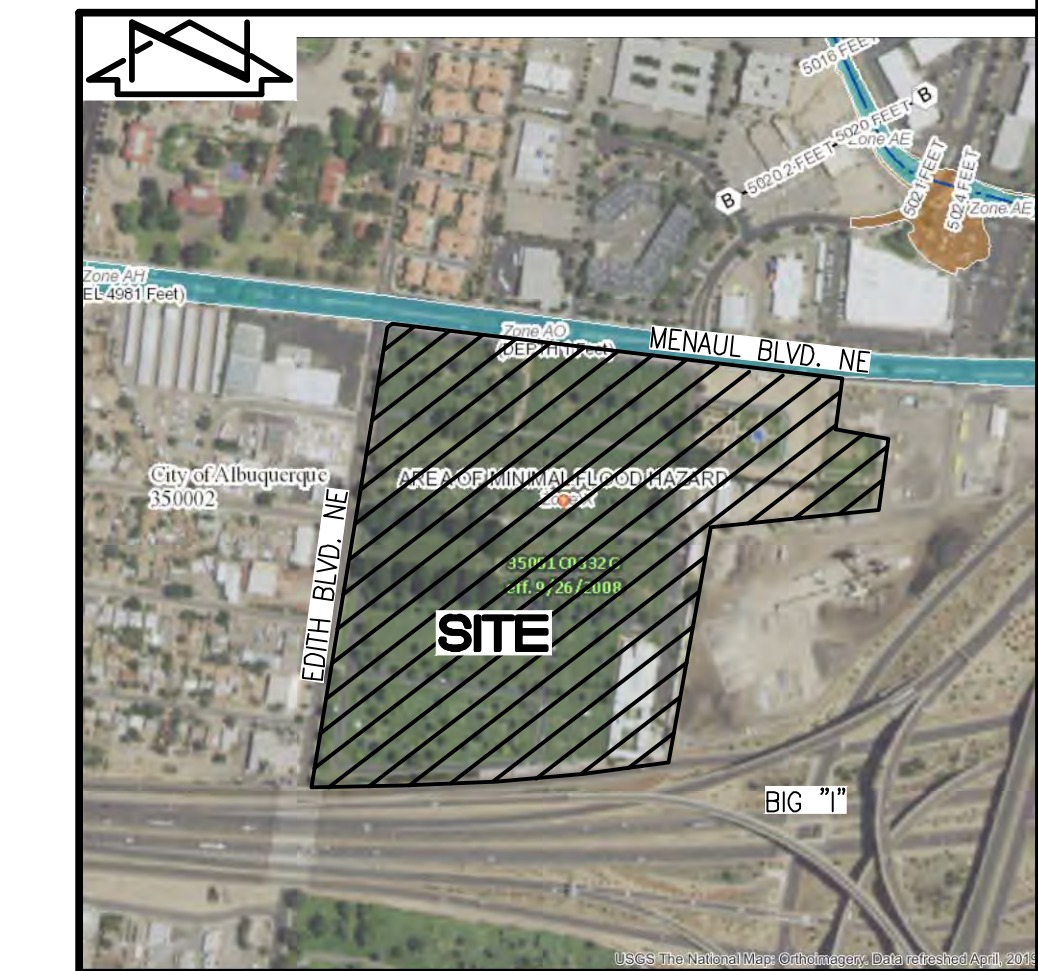
**EASEMENTS - OFFSITE**

- ⑤ 25' PLANTING SCREEN EASEMENT GRANTED BY PLAT B19-86
- ⑥ PUBLIC UTILITY EASEMENTS RESERVED BY V-78-4, PER PLAT 91C-9
- ⑦ 3' PRIVATE RETAINING WALL EASEMENT GRANTED BY DOCUMENT FILED 08-13-2003, BOOK A62, PAGE 2550, DOC. #2003142855



**VICINITY MAP**  
 SCALE: 1"=750'

H-15



**F.I.R.M.**  
 SCALE: 1"=750'

**PANEL 332 OF 825**  
 DATE 09-26-2008

**BENCHMARKS**

- PROJECT BENCHMARK - DESTROYED**  
 AN A.G.R.S. 1 3/4" ALUMINUM DISK STAMPED "ACS BM, 11-H15" EPOXYED ON TOP OF CONCRETE CURB RETURN, AT THE ENE QUADRANT OF THE INTERSECTION OF MENAUL BOULEVARD AND BROADBENT PARKWAY N.E.  
 ELEVATION = 5015.50 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #1 (T.B.M.) - DESTROYED**  
 A 60d NAIL SET IN CONCRETE SIDEWALK, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5003.84 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #2 (T.B.M.)**  
 A MAG NAIL WITH WASHER SET IN ASPHALT, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5008.79 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #3 (T.B.M.)**  
 A 60d NAIL SET IN TOP OF CONCRETE CURB, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5020.19 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #4 (T.B.M.)**  
 A MAG NAIL WITH WASHER SET IN ASPHALT, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5002.64 FEET (NAVD 1988)

**LEGEND**

- EXISTING BASIN BOUNDARY
- - - 5020 - - - EXISTING CONTOUR
- EXISTING FLOWLINE
- EXISTING FLOW DIRECTION
- EXISTING GRAPHIC POINT OF DISCHARGE

**INDEX OF DRAWINGS**

- 1 EXISTING CONDITIONS, NOTES, VICINITY MAP, FLOODPLAIN MAP, KEYED NOTES
- 2 DEVELOPED CONDITIONS
- 3 DRAINAGE PLAN AND CALCULATIONS

2019.057.2

**HIGH MESA Consulting Group**  
 6010-B Midway Park Blvd, NE - Albuquerque, New Mexico 87109  
 Phone: 505.346.4250 • Fax: 505.346.4254 • www.highmesagroup.com

**J. GRAEME MEANS**  
 (13676)  
 REGISTERED PROFESSIONAL ENGINEER  
 03-09-2020

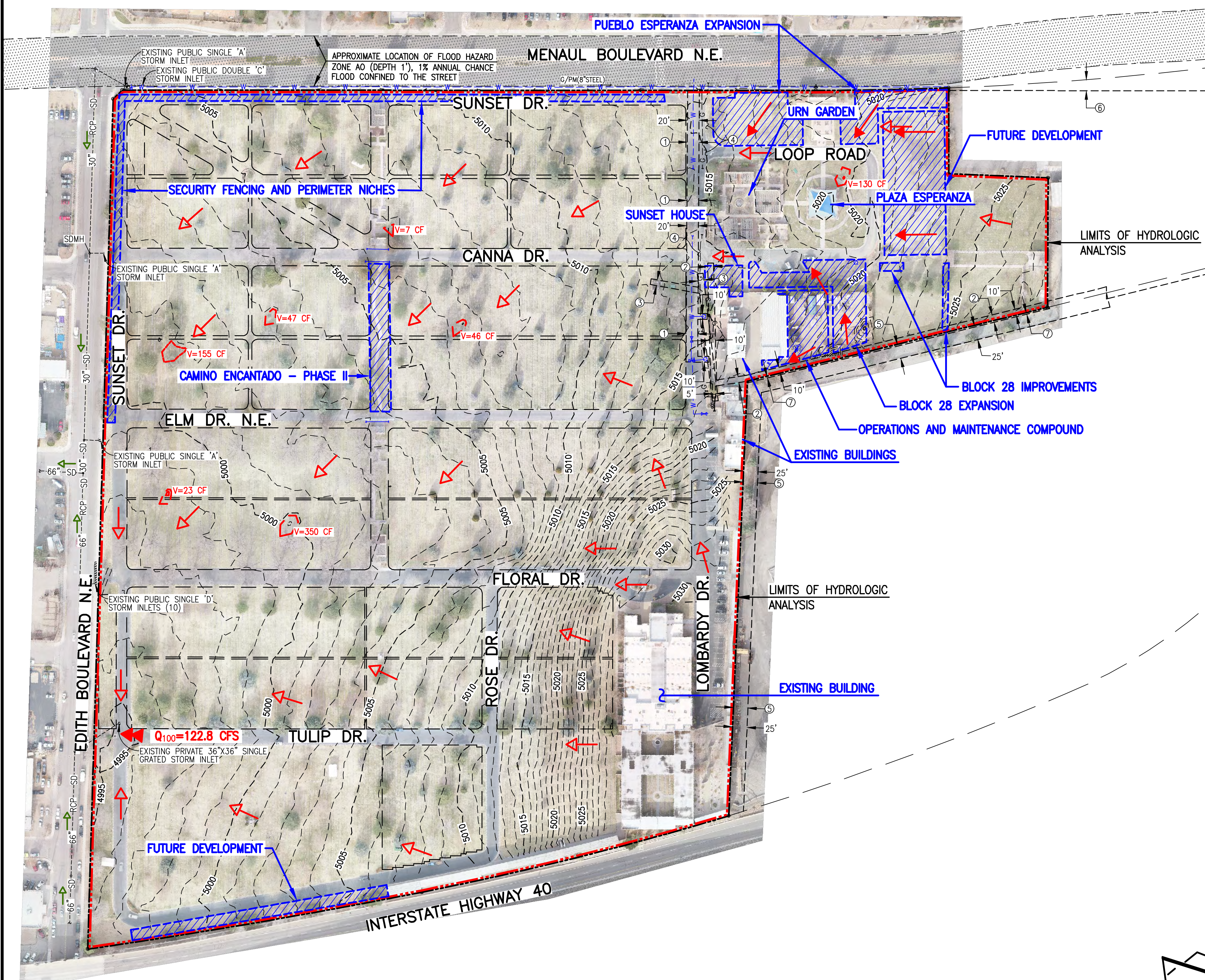
**SUNSET MEMORIAL PARK  
 MASTER DRAINAGE PLAN**

NO.	DATE	BY	REVISIONS

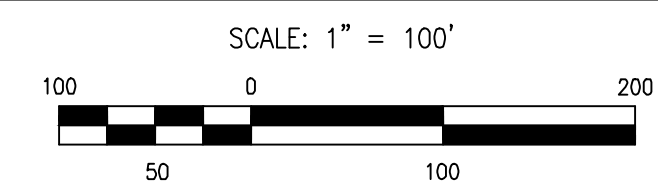
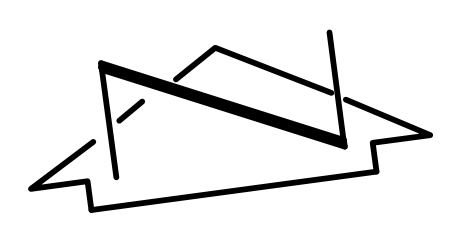
PROJECT No. 2019.057.2  
 DESIGNED BY R.J.C.  
 DRAWN BY J.Y.R.  
 APPROVED BY G.M.  
 SHEET TITLE

**EXISTING CONDITIONS**

File Name: P:\data\2019\0572\ENGIN\20190572\_Dbaec.dwg - SHEET 2 Plot Date: 3/9/20 Plot Time: 16:43



DEVELOPED CONDITIONS



**SURVEY NOTE:**  
 THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN BASED UPON THE SURVEY EFFORT PREPARED BY HIGH MESA CONSULTING GROUP DATED 11/06/2013.  
 THE DIGITAL ORTHOPHOTO, CONTOUR AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE CONTROL AND UNCLASSIFIED SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184. (2019.057.1)

**PROPOSED IMPROVEMENTS**

**CAMINO ENCANTADO PHASE II** - PROPOSED DEVELOPMENT WILL CLOSELY MATCH THE PREVIOUS PHASE OF CAMINO ESPERANZA DEVELOPMENT AND COULD INCLUDE STUCCO-WALLED COURTS WITH CREMATION NICHES AND CASKET CRYPTS, AND ASSOCIATED CREMATION PLANTERS AND GARDEN BED CREMATION INVENTORY.

**SECURITY FENCING AND PERIMETER NICHES** - PROPOSED DEVELOPMENT COULD INCLUDE ALTERNATING SECTIONS OF STUCCO WALL NICHE CABINETS AND METAL SECURITY FENCING ALONG PORTIONS OF MENAUL BLVD. AND EDITH BLVD. PROPOSED DEVELOPMENT WOULD REPLACE AN EXISTING WALL AND FENCE.

**OPERATIONS AND MAINTENANCE COMPOUND** - PROPOSED DEVELOPMENT COULD INCLUDE A CONSOLIDATION OF VEHICLE MANEUVERING AND OUTDOOR EQUIPMENT/MATERIAL STORAGE SPACE AND A CONSOLIDATION OF EXISTING SMALL OUTBUILDINGS AND COVERED STORAGE AREAS INTO FEWER BUILDINGS.

**BLOCK 28 IMPROVEMENTS** - PROPOSED DEVELOPMENT COULD INCLUDE MORE GRAVES ADDED IN THE AREA RECLAIMED BY OPERATIONS AND MAINTENANCE COMPOUND CONSOLIDATION (REFER TO DESCRIPTION ABOVE).

**BLOCK 28 IMPROVEMENT S-** PROPOSED DEVELOPMENTS COULD INCLUDE STUCCO WALL ENTRY FEATURE AT FRONT AND STUCCO WALL NICHE CABINETS ALONG THE EAST SIDE.

**PUEBLO ESPERANZA EXPANSION** - PROPOSED DEVELOPMENTS COULD INCLUDE ADDITIONAL MAUSOLEUM BUILDING, STUCCO WALL NICHE COURTS, PLANTER AND GARDEN BED CREMATION INVENTORY, AND ASSOCIATED LANDSCAPE PLANTINGS. IMPROVEMENTS COULD BE BUILT IN PHASES AND BE SIMILAR TO EXISTING IMPROVEMENTS.

**FUTURE DEVELOPMENT AREAS** - TWO AREAS OF FUTURE, LONG RANGE DEVELOPMENT WILL REMAIN ON PROPERTY.

**EASEMENTS**

- ① PUBLIC WATERLINE EASEMENT AS DEPICTED ON PLAT 91C-8
- ② PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 12-22-1986, BOOK MISC. 432A, PAGE 995, DOC. #1986126348. THE NORTHERN 130' OF SAID EASEMENT BEING QUITCLAIMED BY DOCUMENT FILED 04-07-2006, BOOK A114, PAGE 9608, DOC. #2006049769 (PNM ELECTRIC) AND BY DOCUMENT FILED 04-07-2006, BOOK A114, PAGE 9609, DOC. #2006049770 (US WEST COMMUNICATIONS, INC.).
- ③ 10' PNM AND US WEST COMMUNICATIONS, INC. EASEMENT GRANTED BY DOCUMENT FILED 06-02-2000, BOOK A6, PAGE 3753, DOC. #2000053972
- ④ 5' PNM GAS SERVICES EASEMENT GRANTED BY DOCUMENT FILED 07-03-2002, BOOK A38, PAGE 5096, DOC. #2002085333, AS INSTALLED LOCATION

**EASEMENTS - OFFSITE**

- ⑤ 25' PLANTING SCREEN EASEMENT GRANTED BY PLAT B19-86
- ⑥ PUBLIC UTILITY EASEMENTS RESERVED BY V-78-4, PER PLAT 91C-9
- ⑦ 3' PRIVATE RETAINING WALL EASEMENT GRANTED BY DOCUMENT FILED 08-13-2003, BOOK A62, PAGE 2550, DOC. #2003142855

**BENCHMARKS**

- PROJECT BENCHMARK - DESTROYED**  
 AN A.G.R.S. 1 3/4" ALUMINUM DISK STAMPED "ACS BM, 11-H15" EPOXYED ON TOP OF CONCRETE CURB RETURN, AT THE ENE QUADRANT OF THE INTERSECTION OF MENAUL BOULEVARD AND BROADBENT PARKWAY N.E.  
 ELEVATION = 5015.50 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #1 (T.B.M.) - DESTROYED**  
 A 60d NAIL SET IN CONCRETE SIDEWALK, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5003.84 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #2 (T.B.M.)**  
 A MAG NAIL WITH WASHER SET IN ASPHALT, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5008.79 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #3 (T.B.M.)**  
 A 60d NAIL SET IN TOP OF CONCRETE CURB, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5020.19 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #4 (T.B.M.)**  
 A MAG NAIL WITH WASHER SET IN ASPHALT, AS SHOWN ON THIS SHEET.  
 ELEVATION = 5002.64 FEET (NAVD 1988)

**LEGEND**

- EXISTING BASIN BOUNDARY
- EXISTING CONTOUR
- EXISTING FLOWLINE
- EXISTING DIRECTION OF FLOW
- EXISTING GRAPHIC POINT OF DISCHARGE
- PROPOSED BASIN BOUNDARY
- PROPOSED FLOWLINE
- PROPOSED DIRECTION OF FLOW
- PROPOSED GRAPHIC POINT OF DISCHARGE

**HIGH MESA Consulting Group**  
 6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109  
 Phone: 505.346.4250 • Fax: 505.346.4254 • www.highmesagroup.com



**SUNSET MEMORIAL PARK MASTER DRAINAGE PLAN**

NO.	DATE	BY	REVISIONS

PROJECT No. 2019.057.2  
 DESIGNED BY R.J.C.  
 DRAWN BY J.Y.R.  
 APPROVED BY G.M.  
 SHEET TITLE

**DEVELOPED CONDITIONS**

SHEET 2 OF 3

2019.057.2



DRAINAGE PLAN:

I. INTRODUCTION AND EXECUTIVE SUMMARY

THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MENAUL BLVD. NE AND EDITH BLVD. NE. AT PRESENT, THE SITE IS DEVELOPED AS A CEMETERY PARK AND RELATED USES.

THE PROPOSED DRAINAGE CONCEPT WILL BE THE CONTINUED FREE DISCHARGE OF RUNOFF VIA A COMBINATION OF EXISTING SHEET AND SHALLOW CONCENTRATED FLOW ACROSS EXISTING CEMETERY LAWN AREAS AND INTERNAL PAVED ROADS TO EDITH BLVD. NE.

THIS SUBMITTAL IS MADE FOR MASTER SITE DEVELOPMENT PLAN APPROVAL (DRB). INDIVIDUAL PROJECTS TO CONSTRUCTED IN ACCORDANCE WITH THIS MASTER DRAINAGE PLAN WILL INCLUDE DETAILED SITE-SPECIFIC GRADING AND DRAINAGE PLANS AS THEY COME IN AND WILL BE REVIEWED AND APPROVED THROUGH THE ADMINISTRATIVE AMENDMENT PROCESS.

II. PROJECT DESCRIPTION

AS SHOWN BY THE EXISTING AND DEVELOPED CONDITIONS PLANS, THE PROJECT SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST AND CONSISTS OF SEVERAL DISTINCT AREAS WITH CEMETERY-RELATED USES INCLUDING LARGE EXPANSES OF LAWN BURIAL AREAS WITH ACCESS ROADS DIVIDING THE AREA INTO BLOCKS.

THE CURRENT LEGAL DESCRIPTION OF THE SITE IS TRACT 1, SUNSET MEMORIAL PARK. AS SHOWN BY PANEL 332 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 26, 2008, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS & RESEARCH

THE FOLLOWING BACKGROUND DOCUMENTS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:

A. MASTER DRAINAGE PLAN UPDATE FOR SUNSET MEMORIAL PARK (H-15/D16), DATED 04-09-2015, PREPARED BY HIGH MESA CONSULTING GROUP THE 2014 MASTER DRAINAGE PLAN WAS AN UPDATE TO A PREVIOUSLY APPROVED 1987 MASTER DRAINAGE PLAN AND MAINTAINED EXISTING DRAINAGE PATTERNS AND FREE DISCHARGE OF RUNOFF FROM THE SITE IS ALLOWABLE TO EDITH BLVD. NE

B. A CONTROL AND UNCLASSIFIED SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184 (2019.057.1) THIS REFERENCED DOCUMENTS PROVIDES A DIGITAL ORTHOPHOTO, CONTOUR, UTILITY INFORMATION AND THE BASIS FOR THE EXISTING CONDITIONS OF THE SITE TO BE DEVELOPED IN THE PHASES LISTED BELOW.

IV. EXISTING CONDITIONS

THE EXISTING SITE IS DEVELOPED AS A CEMETERY WITH RELATED USES. AT PRESENT, THE SITE CONSISTS PRIMARILY OF TURF GRASS BURIAL PLOTS WITH INTERNAL PAVED ACCESS ROADS MAKING UP THE WESTERN AND CENTRAL PORTIONS OF THE SITE. THE EASTERN EDGE OF THE SITE CONTAINS THE EXISTING ADMINISTRATION BUILDING, RETORT, SEVERAL CRYPT BUILDINGS, MAUSOLEUM, ROSE DRIVE IMPROVEMENTS AND ROSE GARDEN.

AS ESTABLISHED BY PREVIOUS MDP UPDATE, THERE ARE NO OFFSITE FLOWS AFFECTING THIS SITE (H-15/D16).

V. DEVELOPED CONDITIONS AND PHASING

DEVELOPMENT IS PROPOSED IN SEVERAL SITE AREAS. THESE AREAS ARE LABELED IN THE DEVELOPED CONDITIONS SITE PLAN. THE DEVELOPED CONDITIONS FOR EACH AREA ARE AS FOLLOWS:

CAMINO ENCANTADO PHASE II - PROPOSED DEVELOPMENT WILL CLOSELY MATCH THE PREVIOUS PHASE OF CAMINO ESPERANZA DEVELOPMENT AND COULD INCLUDE STUCCO-WALLED COURTS WITH CREMATION NICHEs AND CASKET CRYPTS, AND ASSOCIATED CREMATION PLANTERS AND GARDEN BED CREMATION INVENTORY.

SECURITY FENCING AND PERIMETER NICHEs - PROPOSED DEVELOPMENT COULD INCLUDE ALTERNATING SECTIONS OF STUCCO WALL NICHE CABINETS AND METAL SECURITY FENCING ALONG PORTIONS OF MENAUL BLVD. AND EDITH BLVD.

OPERATIONS AND MAINTENANCE COMPOUND - PROPOSED DEVELOPMENT COULD INCLUDE A CONSOLIDATION OF VEHICLE MANEUVERING AND OUTDOOR EQUIPMENT/MATERIAL STORAGE SPACE AND A CONSOLIDATION OF EXISTING SMALL OUTBUILDINGS AND COVERED STORAGE AREAS INTO FEWER BUILDINGS.

BLOCK 28 IMPROVEMENTS - PROPOSED DEVELOPMENT COULD INCLUDE MORE GRAVES ADDED IN THE AREA RECLAIMED BY OPERATIONS AND MAINTENANCE COMPOUND CONSOLIDATION (REFER TO DESCRIPTION ABOVE).

BLOCK 28 IMPROVEMENT S- PROPOSED DEVELOPMENTS COULD INCLUDE STUCCO WALL ENTRY FEATURE AT FRONT AND STUCCO WALL NICHE CABINETS ALONG THE EAST SIDE.

PUEBLO ESPERANZA EXPANSION - PROPOSED DEVELOPMENTS COULD INCLUDE ADDITIONAL MAUSOLEUM BUILDING, STUCCO WALL NICHE COURTS, PLANTER AND GARDEN BED CREMATION INVENTORY, AND ASSOCIATED LANDSCAPE PLANTINGS. IMPROVEMENTS COULD BE BUILT IN PHASES AND BE SIMILAR TO EXISTING IMPROVEMENTS.

FUTURE DEVELOPMENT AREAS - TWO AREAS OF FUTURE, LONG RANGE DEVELOPMENT WILL REMAIN ON PROPERTY.

V. DEVELOPED CONDITIONS AND PHASING (CONTINUED)

EACH IMPROVEMENT DESCRIBED ABOVE MAY BE BUILT-OUT IN ITS ENTIRETY AS A SINGLE PROJECT, HOWEVER, IT IS RECOGNIZED THAT MARKET DEMANDS CHANGE WITH TIME THEREBY NECESSITATING RE-VISITING THE SCOPE OF IMPROVEMENTS OFFERED AND HENCE CONSTRUCTED WITHIN EACH ANTICIPATED PHASE AND ASSOCIATED PROJECT.

EACH INDIVIDUAL PROJECT WILL BE ADDRESSED BY PROJECT-SPECIFIC SUBMITTALS FOR PERMIT. THERE WILL BE NO CONSTRUCTION BASED UPON THE CONCEPTS AND THIS MASTER PLAN.

VI. EXISTING AND DEVELOPED CONDITIONS PLANS

THE EXISTING AND DEVELOPED CONDITIONS PLANS SHOW 1) EXISTING GRADES INDICATED BY FLOW ARROWS AND CONTOURS AT 1'-0" INTERVALS AS TAKEN FROM THE ABOVE REFERENCED 2019 SURVEY, 2) PROPOSED DEVELOPMENT AREAS WITH RELATED GENERAL FLOW ARROWS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS TAKEN FROM THE ABOVE REFERENCED 2019 SURVEY, AND 4) THE LIMITS OF THE PROPOSED IMPROVEMENTS AS GENERALLY DESCRIBED BY THE PRECEDING DEVELOPED CONDITIONS SECTION.

VII. CALCULATIONS

THE CALCULATIONS CONTAINED HEREON ANALYZE THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT FOR THE PROJECT SITE. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

VIII. FIRST FLUSH

THE PROPOSED NEW DEVELOPMENT AREA WILL GENERATE A FIRST FLUSH VOLUME OF 1,490 CF. THIS RUNOFF WILL BE INHERENTLY TREATED BY FLOWING ACROSS EXISTING TURF AREAS THAT DISCONNECT UPSTREAM IMPERVIOUS AREAS FROM THE EXISTING DOWNSTREAM DISCHARGE LOCATIONS.

AS PREVIOUSLY DESCRIBED, THE MAJORITY OF THE SITE RUNOFF WILL CROSS LONG EXPANSES OF TURF AREAS AS IF FLOWS ACROSS THE SITE. THIS DISCONNECTED IMPERVIOUSNESS WILL CONTINUE TO PROVIDE WATER QUALITY BENEFITS FOR THE ENTIRE SITE.

THERE ARE A TOTAL OF 9 LARGE TURF AREAS WEST OF LOMBARDY DRIVE THAT RECEIVE UPSTREAM RUNOFF FROM IMPERVIOUS AREAS. THE AVERAGE SLOPE OF THESE LARGE AREAS IS 2.7%. ASSUMING THAT THE INITIAL 100 FEET OF DISTANCE TRAVELLED IS SHEET FLOW IN NATURE, THE RESULTANT TRAVEL TIME IS 0.34 HOURS OVER AN AREA OF 260,000 SQUARE FEET.

AS SHOWN BY THE CALCULATION ON THIS SHEET, THE INFILTRATION RATE FROM THE SEVERAL TURF AREAS GREATLY EXCEEDS THE FIRST FLUSH RUNOFF GENERATED FROM THESE DEVELOPED IMPROVEMENTS WHILE THE EXISTING DEPRESSIONS MANAGE THE FIRST FLUSH FROM APPROXIMATELY HALF OF THE NEW IMPERVIOUS AREAS.

IX. CONCLUSIONS

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED AS A RESULT OF THE EVALUATIONS AND ANALYSES CONTAINED HEREIN:

- 1. THE PROPOSED IMPROVEMENTS REPRESENT MODIFICATIONS TO AN EXISTING SITE WITHIN AN INFILL AREA
2. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE, OR DISCHARGE TO A DESIGNATED FLOOD HAZARD ZONE.
3. THERE IS NO ADVERSE IMPACT ON ADJACENT OR DOWNSTREAM FLOOD ZONES.
4. THERE WILL BE A MINOR INCREASE IN DEVELOPED RUNOFF GENERATED BY THE PROPOSED PHASED IMPROVEMENTS
5. THE EXISTING DRAINAGE PATTERN (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED
6. THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE PREVIOUSLY APPROVED MASTER DRAINAGE PLAN, MAINTAINING FREE DISCHARGE TO EDITH BLVD. NE
7. THE FIRST FLUSH RUNOFF GENERATED BY THE PROPOSED DEVELOPMENT AREAS SHOWN IN THIS PLAN WILL EFFECTIVELY BE TREATED BY THE EXISTING TURF AREAS THAT DISCONNECT IMPERVIOUS AREAS ONSITE BY EXISTING STORAGE AND INFILTRATION.
8. DEVELOPMENT OF THE PARK WILL PROCEED IN PHASES. THE PHASING PLAN PRESENTED HEREIN IS THE MOST RELIABLE TOOL AVAILABLE TO THE OWNER, PLANNERS, AND ENGINEER AT THIS TIME. CHANGES IN SCOPE, SEQUENCE AND PHASING TO THAT PRESENTED HEREIN WILL BE ADDRESSED BY INDIVIDUAL SITE-SPECIFIC DRAINAGE SUBMITTALS.
11. THIS PLAN SUPPORTS DRB MASTER SITE PLAN APPROVAL.
12. PHASED PROJECTS IDENTIFIED BY THIS PLAN WILL REQUIRE INDIVIDUAL SUBMITTALS TO SUPPORT ADMINISTRATIVE AMENDMENTS AND BUILDING AND/OR GRADING AND PAVING PERMIT APPROVAL.

CALCULATIONS:

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE = 2

B. P6,100 = P360 = 2.35

C. TOTAL PROJECT AREA (A\_T) = 1,702.574 SF / 39.09 AC

D. LAND TREATMENTS

1. EXISTING LAND TREATMENT

Table with 3 columns: TREATMENT, AREA (SF/AC), %

2. DEVELOPED LAND TREATMENT

Table with 3 columns: TREATMENT, AREA (SF/AC), %

II. HYDROLOGY

A. EXISTING CONDITION

a. VOLUME
E\_W = (E\_A\_A + E\_B\_A + E\_C\_A + E\_D\_A) A\_T
E\_W = ((0.00\*0.53) + (25.94\*0.78) + (0.98\*1.13) + (12.16\*2.12))/39.09 = 1.21 IN
V\_100 = (E\_W/12) A\_T = (1.21/12) 39.09 = 3.9276 AC-FT = 171.088 CF

b. PEAK DISCHARGE
Q\_p = Q\_p\_A\_A + Q\_p\_A\_B + Q\_p\_A\_C + Q\_p\_A\_D
Q\_p = Q\_100 = ((0.00\*1.56) + (25.94\*2.28) + (0.98\*3.14) + (12.16\*4.7)) = 119.4 CFS

B. DEVELOPED CONDITION

a. VOLUME
E\_W = (E\_A\_A + E\_B\_A + E\_C\_A + E\_D\_A) A\_T
E\_W = ((0.00\*0.53) + (25.12\*0.78) + (0.98\*1.13) + (12.98\*2.12))/39.09 = 1.23 IN
V\_100 = (E\_W/12) A\_T = (1.23/12) 39.09 = 4.0192 AC-FT = 175.076 CF

b. PEAK DISCHARGE
Q\_p = Q\_p\_A\_A + Q\_p\_A\_B + Q\_p\_A\_C + Q\_p\_A\_D
Q\_p = Q\_100 = ((0.00\*1.56) + (25.12\*2.28) + (0.98\*3.14) + (12.98\*4.7)) = 121.4 CFS

c. FIRST FLUSH VOLUME: NEW DEVELOPMENT AREAS ONLY FOR 0.6 EVENT OVER 6 HRS
V\_FF = ((P\_FF - I\_A\_C) \* A\_D)
V\_FF = ((0.60 - 0.10)/12) \* (0.82) = 0.0342 AC-FT = 1.490 CF

TURF AREA INFILTRATION AND STORAGE

THERE ARE 9 EXISTING PERVIOUS LAWN AREAS (TREATMENT B WITH AN ASSOCIATED INFILTRATION RATE OF 1.25 IN/HR) THAT WILL DISCONNECT IMPERVIOUS AREAS FROM THE EXISTING OUTFALL AND INFILTRATE RUNOFF FROM THE UPSTREAM IMPROVEMENTS. IN ORDER TO BE CONSERVATIVE, WE ONLY APPLIED THE INFILTRATION RATE TO THE FIRST (UPSTREAM) 100 FEET OF SHEET FLOW CONDITION.

TRAVEL TIME (NRCS CH.15 PART 630.1502 PART B) SHEET FLOW:
TRAVEL TIME = (0.007(N x L)^0.8) / ((P\_2)^0.5 x S^0.4) IN HRS

L LENGTH = 100 FT (MAX LENGTH FOR SHEET FLOW)
N, MANNINGS ROUGHNESS COEFFICIENT= 0.24 (DENSE GRASS)
P\_2, 2 YR 24 HR RAINFALL (IN) = 1.22 (NOAA ATLAS)
S, AVG. SLOPE OF LAND SURFACE (FT/FT) = 0.027

TRAVEL TIME = (0.007(0.24 x 100)^0.8) / ((1.22)^0.5 x 2.77^0.4)
TRAVEL TIME = 0.34 HRS

TOTAL AREA OF 1ST 100' OF LAWN AREAS= 260,000 SF
TOTAL INFILTRATION = 260,000 SF X (1.25 IN/HR)/12 X 0.34 HRS = 9,208 CF

TOTAL EXISTING STORAGE OF DEPRESSED VOLUMES= 758 CF
TOTAL REDUCTION/TREATMENT = 9,208 CF + 758 CF = 9,966 CF >> 1,490 CF

C. COMPARISON

a. VOLUME
delta V\_100 = 175076 - 171088 = 3,988 CF (INCREASE)

b. PEAK DISCHARGE
delta Q\_100 = 121.4 - 119.4 = 2.0 CFS (INCREASE)

File Name: P:\data\2019\2019.0572\ENGN\20190572\_Dbase.dwg - SHEET 3 Plot Date: 3/9/20 Plot Time: 16:50

HIGH MESA Consulting Group logo and contact information: 6010-B Midway Park Blvd, NE Albuquerque, New Mexico 87109

Professional Engineer seal for J. GRAEME MEANS, NEW MEXICO, 13676, 03-09-2020

SUNSET MEMORIAL PARK MASTER DRAINAGE PLAN title block with revision table

Table with 4 columns: NO., DATE, BY, REVISIONS

PROJECT No. 2019.057.2
DESIGNED BY R.J.C.
DRAWN BY J.Y.R.
APPROVED BY G.M.

DRAINAGE PLAN AND CALCULATIONS

**PROPOSED PROJECTS - Fire 1 Notes, Descriptions, and Area Calculations**

**Fire 1 Plan Notes:**

- Property vehicle entrances are shown on the plan.
- Three existing fire hydrants are located on the cemetery property: 2 are located on Lombardy Drive north of the Office and one is located on the loop drive north of the Operations and Maintenance Compound (see plan).
- All existing road widths and curve radii are per CABQ design requirements. No new roads are proposed.
- Public water main locations and sizes are shown on the plan.
- Fire Hydrant supply lines and sizes are shown on the plan.
- Water feed line to hydrant near Loop Road comes from cemetery well (800 GPM/80 PSI) and was previously approved by CABQ Fire Department.
- No proposed structures are occupiable space – all structures are classified as “U – Utility” uses and are exterior cemetery niche and crypt walls only. Construction materials are primarily poured concrete bases and walks, concrete block walls, pre-cast concrete niche and crypt cabinets, and limited amounts of viga and latilla-type wood shade structures.

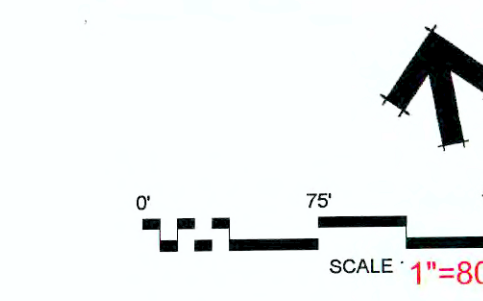
**Descriptions and Area Calculations:**

- Camino Encantado – Phase II**  
Proposed development will closely match the previous phase of Camino Esperanza development and could include additional stucco-walled courts with cremation niches and casket crypts, and associated cremation planters and garden bed cremation inventory.  
*Camino Encantado - Phase II 6,885 sf (0.16 ac)*
- Security Fencing and Perimeter Niches**  
Proposed development could include alternating sections of stucco wall niche cabinets and metal security fencing along portions of Menaul Boulevard and Edith Boulevard. Proposed development would replace an existing wall and fence.  
*Security Fencing and Perimeter Niches 2,940 sf (0.07 ac)*
- Sunset House**  
Proposed development could include landscape improvements for family use in services and receptions, including decks, patios, and ornamental plantings.  
*Sunset House 2,985 sf (0.07 ac)*
- Operations and Maintenance Compound**  
Proposed development could include a consolidation of vehicle maneuvering and outdoor equipment/material storage space and a consolidation of existing small outbuildings and covered storage areas into fewer buildings.  
*Operations and Maintenance Compound 8,156 sf (0.19 ac)*
- Block 28 Expansion**  
Proposed development could include more graves added in the area reclaimed by Operations and Maintenance Compound consolidation (refer to description above). Other improvements could include stucco wall entry features, screen fencing, and ornamental plantings.  
*Block 28 Expansion 15,318 sf (0.35 ac)*
- Block 28 Improvements**  
Proposed developments could include stucco wall entry feature at front and stucco wall niche cabinets along the east side.  
*Block 28 Improvements 922 sf (0.02 ac)*
- Pueblo Esperanza Expansion**  
Proposed developments could include additional mausoleum buildings, stucco wall niche courts, planter and garden bed cremation inventory, and associated landscape plantings. Improvements could be built in phases and be similar to the existing Phase I.  
*Pueblo Esperanza Expansion 24,405 sf (0.56 ac)*
- Future Development**  
Two areas of future, long range development will remain on the property and are not included in this submittal request for Master Plan Development (MDP).  
*Future Development 34,525 sf (0.79 ac)*

**Total Proposed Areas of Development 61,611 SF (1.42 acres)**



HYDRANT AND FIRE ACCESS  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
SOFT COPY CONSTRUCTION TYPE  
GPA R/A NUMBER OF HYDRANTS  
APPROVED/DISAPPROVED  
Lance Powell 3-9-2020  
SIGNATURE FROM MUNICIPAL CODE



SHEET 1 OF 1

**OVERALL MAP  
FIRE 1 PLAN  
PROPOSED CEMETERY DEVELOPMENT  
SUNSET MEMORIAL PARK, ALBUQUERQUE, NM**

**TOTALS:**

Total Proposed Areas of Development	61,611 SF (1.42 acres)
Total Existing Area of Cemetery	1,659,013 SF (39.0857 acres)
Total Proposed Percentage of Overall Area	3.71 %

**LEGEND:**

- EXISTING DEVELOPMENT (SINCE 2007 UNDER PREVIOUS SITE PLAN)
- PROPOSED DEVELOPMENT
- FIRE HYDRANTS
- PROPERTY LINE
- PROJECT BOUNDARY
- HYDRANT SUPPLY LINE

3.10.2020  
cpra studio, llc  
9635 north rampart range road  
littleton, colorado 80125  
www.cprastudio.com  
303.683.5917  
© 2020 CPRA STUDIO

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

October 10, 2019

Sunset Memorial Park  
924 Menaul Blvd NE  
Albuquerque, NM 87107

**Project #2019-002807**  
SI-2019-00297 –Site Plan - EPC

### LEGAL DESCRIPTION:

The above action for all or a portion of Tract 1, Plat of Tracts 1 & 2 Sunset Memorial Park, zoned NR-SU, located at 924 Menaul Blvd. NE, between Edith Blvd. NE and Interstate-25, containing approximately 40 acres. Staff Planner: Linda Rumpf

On October 10, 2019 the Environmental Planning Commission (EPC) voted to APPROVE Project 2019-002807, SI-2019-00297, a Site Plan, based on the following findings:

PO Box 1293

### FINDINGS:

- Albuquerque
- NM 87103
- www.cabq.gov
1. This request is for a site plan for an approximately 40 acre site known as Sunset Memorial Park (924 Menaul Blvd. NE).
  2. The subject site is zoned NR-SU (Non-residential – Sensitive Use Zone District). The site is an existing cemetery and the applicant proposes to further develop and consolidate their operations into a single operating location, and upgrade and update their facilities to better serve the community.
  3. The subject site is in an area that the Comprehensive Plan has designated an Area of Consistency. The subject site is adjacent to Menaul Blvd. multi-modal corridor.
  4. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
  5. The Site Plan is consistent with the ABC Comp Plan, as amended. ((6-6(H)(3)(a)), including:
    - a. Goal 4.1 Character: Enhance, protect, and preserve distinct communities.
    - b. Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities [ABC]
    - c. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design. [ABC]

**OFFICIAL NOTICE OF DECISION**

**Project #2019-002807**

**October 10, 2019**

**Page 2 of 3**

- d. **Policy 4.1.3 Placemaking:** Protect and enhance special places in the built environment that contribute to distinct identity and sense of place. [ABC]
  - e. **Policy 4.1.4 Neighborhoods:** Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality. [ABC]
  - f. **Policy 8.1.3 Economic Base:** Strengthen and diversify the economic base to help reduce reliance on government spending. [ABC]
  - g. **Policy 5.6.3 Areas of Consistency:** Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, Parks, and Major Public Open Space. [ABC]
  - h. **Policy 11.1.4 Local Heritage:** Keep local traditions and heritage alive and cultivate neighborhoods and rural areas as safe and excellent places to live and raise families. [ABC]
6. The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations. ((6-6(H)(3)(b))
  7. The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property. ((6-6(H)(3)(c))
  8. The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable. ((6-6(H)(3)(d))
  9. The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable. ((6-6(H)(3)(e))
  10. The applicant notified the following affected neighborhood organizations as required: North Valley Coalition, Martineztown Work Group, Santa Barbara Martineztown NA, and the Semillas y Raices Neighborhood Community Group. Property owners within 100 feet of the subject site were also notified, as required. There were no requests for a facilitated meeting and no opposition to this correspondence. As of this writing, Staff has not received any comments. There is no known opposition.

**CONDITIONS OF APPROVAL**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION

Project #2019-002807

October 10, 2019

Page 3 of 3

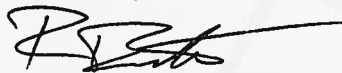
2. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are met. Upon receiving final approvals, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **OCTOBER 25, 2019**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

  
for Brennan Williams  
Planning Director

BW/LR

cc: Sunset Memorial Park, 924 Menaul Blvd. NE, ABQ, NM 87107  
Loretta Naranjo Lopez, [lnjalopez@msn.com](mailto:lnjalopez@msn.com)  
Rosalie Martinez, [rosalimartinez06@gmail.com](mailto:rosalimartinez06@gmail.com)  
Peggy Norton, [peggynorton@yahoo.com](mailto:peggynorton@yahoo.com)  
Doyle Kimbrough, [newmexmba@aol.com](mailto:newmexmba@aol.com)  
Ian Colburn, [colburn.ian@gmail.com](mailto:colburn.ian@gmail.com)  
Monique Bell, [s33dsnroots@gmail.com](mailto:s33dsnroots@gmail.com)  
Carol Krause, [ckrause@yahoo.com](mailto:ckrause@yahoo.com)  
Alan Varela, [avarela@cabq.gov](mailto:avarela@cabq.gov)



cemetery planning  
resource alliance

## Memorandum

To: Linda Rumpf, Current Planning

CC: Jolene Wolfly, DRB Chair

Date: March 30, 2020

RE: **DOCUMENT CHANGES MADE SINCE EPC APPROVAL  
MASTER SITE PLAN, SUNSET MEMORIAL PARK, SI-2019-00297 – SITE PLAN – EPC**

### Document Changes:

#### A. Site Plan

1. Per **CABQ Planning Department, Code Enforcement Division** request, an updated aerial photo base with the latest as-built site information was prepared and incorporated into the revised Master Drainage Plan and Site Plan documents to show all recent cemetery site and landscape developments. Refer to:
  - Sheets 1 and 2 of the Revised Master Drainage Plan, pages 7 and 8 of the submittal;
  - Sheets 2, 3, and 4 of the Site Plan Documents, pages 16, 17, and 18 of the submittal;
  - Sheets 2, 3, and 4 of the reduced-size Site Plan documents, pages 22, 23, and 24 of the submittal.
2. Per **CABQ Solid Waste Management Department (SWMD)** request, the Site Plan was modified to add an emergency/ temporary dumpster location during future expansion of Block 28 into area formerly by the Operations and Maintenance Compound. SWMD staff approved the revised Plan; refer to signature block on Site Plan cover sheet. Refer to:
  - The Solid Waste Department signature on Site Plan, page 4 of the submittal;
  - Sheets 2 and 3 of the Site Plan documents, pages 16 and 17 of the submittal;
  - Sheets 2 and 3 of the reduced-size Site Plan documents, pages 22 and 23 of the submittal.

#### B. Master Drainage and Grading Plan

1. Per CABQ Planning Department, Hydrology Division request, a Revised Master Drainage Plan was prepared for the Sunset Memorial Park property. A copy of this approved plan and approval letter are included in the submittal documents. Refer to:
  - Sheets 1, 2, and 3 of the Revised Master Drainage Plan, pages 7, 8, and 9 of the submittal.

#### C. Fire 1 Plan

1. Per **CABQ Fire Marshall** request, a Fire 1 Plan was prepared for review and approval as part of the DRB submittal. A signed copy of this approved plan is included in the submittal documents. Refer to:
  - Fire 1 Plan, page 10 of the submittal.

As Directed by:



Lane J. Ledbetter, ASLA RLA

3.30.2020

Date

# MASTER SITE PLAN - DRB

## FINAL SIGN-OFF FOR MASTER SITE PLAN - EPC

### SUNSET MEMORIAL PARK, ALBUQUERQUE NM

#### OWNER

Sunset Memorial Park  
 924 Menaul Blvd. NE  
 Albuquerque, NM 87107  
 p: 505.345.3536  
 contact:  
 Chris Keller, Vice President

#### CEMETERY PLANNERS/LANDSCAPE ARCHITECTS

CPRA Studio, Inc.  
 (Prime)  
 9635 North Rampart Road  
 Littleton, CO 80125  
 p: 303.683.5917  
 www.cprastudio.com  
 contact:  
 Lane Ledbetter, RLA

#### CIVIL ENGINEER / SURVEYOR

High Mesa Consulting Group  
 6010 Midway Parkway Blvd. NE #B  
 Albuquerque, NM 87109  
 p: 505.345.4250  
 contacts:  
 Surveyor- Chuck Cala, PLS  
 Civil Engineer- Graeme Means, PE

#### GENERAL NOTES/CHANGES TO APPROVED MASTER SITE PLAN – EPC DOCUMENTS:

1. These Master Site Plan - DRB documents are based on previously approved Master Site Plan – EPC documents, approved October 10, 2019.
2. Changes made to these Master Site Plan documents since the EPC approval include the following:
  - a. Per CABQ Code Enforcement staff request, the Master Site Plan – DRB has been updated with a new air photo and survey base showing as-built conditions as prepared by High Mesa Consulting Group, dated 1.3.2020.
  - b. Per DRB Plan requirements, the Cover Sheet (sheet 1 of 6) has been modified to include a signature block.
  - c. Per CABQ Solid Waste Department staff request, a label has been added to the Master Site Plan – DRB Overall Plan calling out the location of the dumpster on the cemetery property.
  - d. Three exhibit sheets included as a convenience for EPC reviewers only, showing (1) Recent Developments Plan, (2) Exhibit #1 - Centennial Urn Garden Plan and Elevations, and (3) Exhibit #2 – Pueblo Esperanza Plan and Elevations, have been removed from this submittal.
  - e. Sheet notes on the Proposed Development Overall Plan have been modified to add clarity to requirements per CABQ Solid Waste, Fire Marshall, and Transportation concerns.
  - f. No other changes have been made to the Master Site Plan – DRB documents.
3. Per CABQ staff request, the previously approved Master Drainage Plan documents, which accompany these Master Site Plan – DRB documents, have been updated with an updated air photo, site survey, and drainage calculations as required. Refer to these documents for additional submittal information.
4. Future projects that are included in this site plan will go through an Administrative Amendment (AA) process.



SUNSET MEMORIAL PARK

Vicinity Map

#### Sheet Index:

- |   |  |
|---|--|
| 1 | Cover Sheet                                  |
| 2 | Proposed Development – Overall Plan          |
| 3 | Proposed Development – Enlargements, Sheet 1 |
| 4 | Proposed Development – Enlargements, Sheet 2 |
| 5 | Proposed Cemetery Design Guidelines          |
| 6 | Previously Approved SDP with Amendments      |

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DRB SITE DEVELOPMENT PLAN APPROVAL:

_____ Traffic Engineering, Transportation Division	_____ Date
_____ ABCWUA	_____ Date
_____ Parks and Recreation Department	_____ Date
_____ City Engineer/Hydrology	_____ Date
_____ Code Enforcement	_____ Date
_____ * Environmental Health Department (conditional)	_____ Date
_____ Solid Waste Management	_____ Date
_____ DRB Chairperson, Planning Department	_____ Date

**PROPOSED PROJECTS - Notes, Descriptions, and Area Calculations**

**Site Plan Notes:**

**General:**

1. Aerial Photo used in this Site Plan was prepared in 1/2020 and shows the latest "as-built" conditions at the cemetery.
2. Development shown is proposed over the next eight (8) years.
3. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
4. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use). Existing use is for cemetery purposes only. Proposed uses will also be cemetery purposes only to add improvements to meet the burial, entombment, and inurnment needs.
5. Proposed improvements will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.

**Fire Protection:**

1. Three fire hydrants are located on the cemetery property: 2 are located on Lombardy Drive north of the Office and one is located on the loop drive north of Operations and Maintenance Compound (see plan).

**Solid Waste:**

1. A dumpster that serves the entire cemetery is located in the Operations and Maintenance Compound and is serviced by a commercial refuse hauling company (see plan).
2. Litter receptacles for pedestrian visitors will be provided in proposed expansion areas, with trash removed by staff and transferred to existing dumpster.
3. No new dumpsters will be needed in any of the proposed development areas.
4. Interim refuse location to be used for Phases 4 & 5. Existing refuse location to remain for all other phases.

**Transportation:**

1. Proposed improvements shown will be accessible from existing cemetery entries and private roads. No new entries or roads will be needed or are proposed.

**Descriptions:**

- ① **Camino Encantado – Phase II**  
Proposed development will closely match the previous phase of Camino Esperanza development and could include additional stucco-walled courts with cremation niches and casket crypts, and associated cremation planters and garden bed cremation inventory.  
**Camino Encantado - Phase II 6,885 sf (0.16 ac)**
- ② **Security Fencing and Perimeter Niches**  
Proposed development could include alternating sections of stucco wall niche cabinets and metal security fencing along portions of Menaul Boulevard and Edith Boulevard. Proposed development would replace an existing wall and fence.  
**Security Fencing and Perimeter Niches 2,940 sf (0.07 ac)**
- ③ **Sunset House**  
Proposed development could include landscape improvements for family use in services and receptions, including decks, patios, and ornamental plantings.  
**Sunset House 2,985 sf (0.07 ac)**
- ④ **Operations and Maintenance Compound**  
Proposed development could include a consolidation of vehicle maneuvering and outdoor equipment/material storage space and a consolidation of existing small outbuildings and covered storage areas into fewer buildings.  
**Operations and Maintenance Compound 8,156 sf (0.19 ac)**
- ⑤ **Block 28 Expansion**  
Proposed development could include more graves added in the area reclaimed by Operations and Maintenance Compound consolidation (refer to description above). Other improvements could include stucco wall entry features, screen fencing, and ornamental plantings.  
**Block 28 Expansion 15,318 sf (0.35 ac)**
- ⑥ **Block 28 Improvements**  
Proposed developments could include stucco wall entry feature at front and stucco wall niche cabinets along the east side.  
**Block 28 Improvements 922 sf (0.02 ac)**
- ⑦ **Pueblo Esperanza Expansion**  
Proposed developments could include additional mausoleum buildings, stucco wall niche courts, planter and garden bed cremation inventory, and associated landscape plantings. Improvements could be built in phases and be similar to the existing Phase I.  
**Pueblo Esperanza Expansion 24,405 sf (0.56 ac)**
- ⑧ **Future Development**  
Two areas of future, long range development will remain on the property and are not included in this submittal request for Master Plan Development (MDP).  
**Future Development 34,525 sf (0.79 ac)**

**Total Proposed Areas of Development 61,611 SF (1.42 acres)**

NOTE: REFER TO ENLARGEMENTS FOR ADDITIONAL INFORMATION.

OVERALL MAP

**PROPOSED DEVELOPMENT**





**MASTER SITE PLAN - DRB**

SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

**TOTALS:**

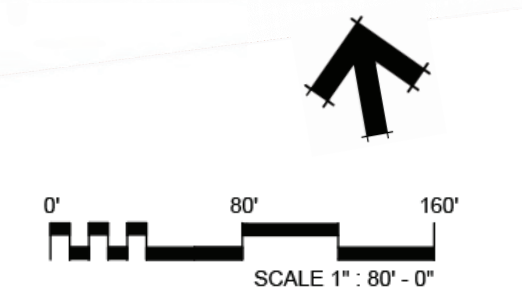
<b>Total Proposed Areas of Development</b>	61,611 SF (1.42 acres)
<b>Total Existing Area of Cemetery</b>	1,659,013 SF (39.0857 acres)
<b>Total Proposed Percentage of Overall Area</b>	3.71 %

**LEGEND:**

-  EXISTING DEVELOPMENT (SINCE 2007 UNDER PREVIOUS SITE PLAN)
-  PROPOSED DEVELOPMENT
-  PROPERTY LINE
-  PROJECT BOUNDARY



EXISTING DUMPSTER  
POTENTIAL TEMPORARY REFUSE LOCATION DURING OPERATIONS AND COMPOUND/BLOCK 28 EXPANSION (AREAS 4 & 5) RECONSTRUCTION. FINAL LOCATION TO BE DETERMINED AND APPROVED WITH THOSE PHASES.





**PROPOSED PROJECTS**

**Notes, Descriptions, and Area Calculations**

**Notes:**

1. Development shown is proposed over the next eight (8) years.
2. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
3. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use). Existing use is for cemetery purposes only. Proposed uses will also be cemetery purposes only to add improvements to meet the burial, entombment, and inurnment needs.
4. Proposed improvements will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.
5. Estimated phases are shown for Pueblo Esperanza only. Other areas T.B.D.
6. Refer to Overall Map for more information.

**Descriptions:**

**1 Pueblo Esperanza Expansion**

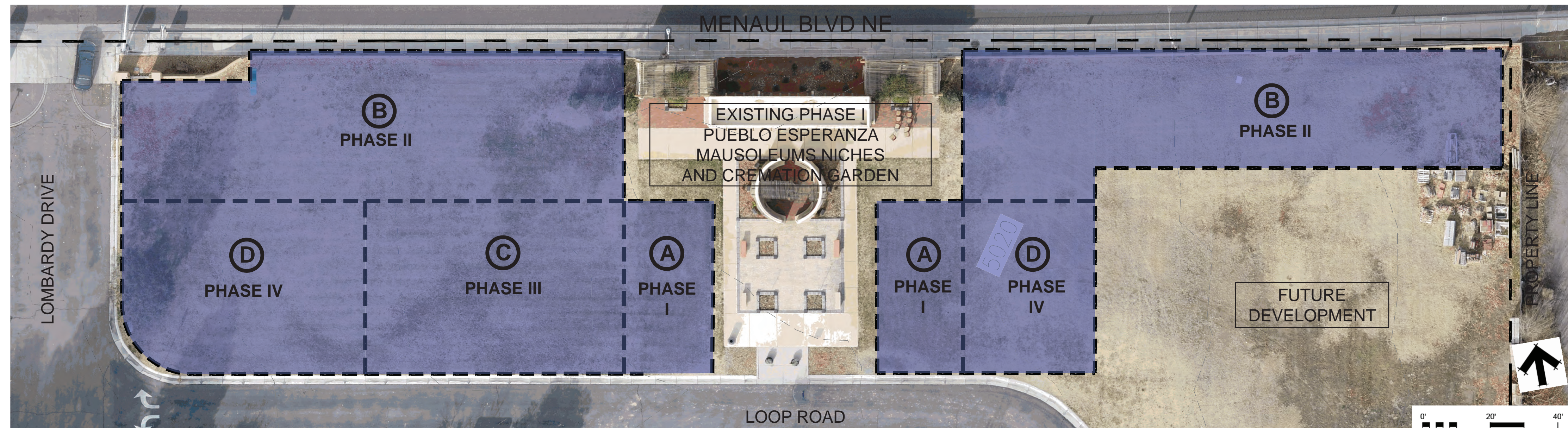
Proposed developments will include additional mausoleum buildings, stucco wall niche courts, planter and garden bed cremation inventory, and associated landscape plantings. Improvements would be built in phases and be similar to the existing Phase I.

- (A)** Twin-sided mausoleums at east and west sides of a plaza
- (B)** Multiple single-sided mausoleums and niche courts along Menaul Boulevard
- (C)** Large shelter, niche courts, and cremation gardens
- (D)** Single-sided mausoleums, niche courts, and cremation gardens  
*Estimated Development 24,405 SF (0.56 ac)*

**2 Sunset House / Section 28 / Maintenance Compound Improvements**

- (A) Sunset House**  
Proposed development will include landscape improvements for family use in services and receptions in the form of decks, patios, ornamental plantings, and additional parking.  
*Estimated Development 2,985 SF (0.07 acres)*
- (B) Operations and Maintenance Compound**  
Proposed development will include a reduction of vehicle maneuvering and outdoor equipment/ material storage space and a consolidation of existing small outbuildings and covered storage areas into fewer buildings.  
*Estimated Development 8,156 SF (0.19 acres)*
- (C) Block 28 Expansion**  
Proposed development will include more graves added in the area reclaimed by Operations and Maintenance Compound consolidation (refer to description above). Other improvements could include stucco wall entry features, screen fencing, ornamental plantings, additional parking and visitor facilities.  
*Estimated Development 15,318 SF (0.35 acres)*
- (D) Block 28 Improvements - Entry and Niches**  
Proposed developments will include stucco wall entry feature at

**Total Proposed Development (this sheet) 51,786 sf (1.19 ac)**



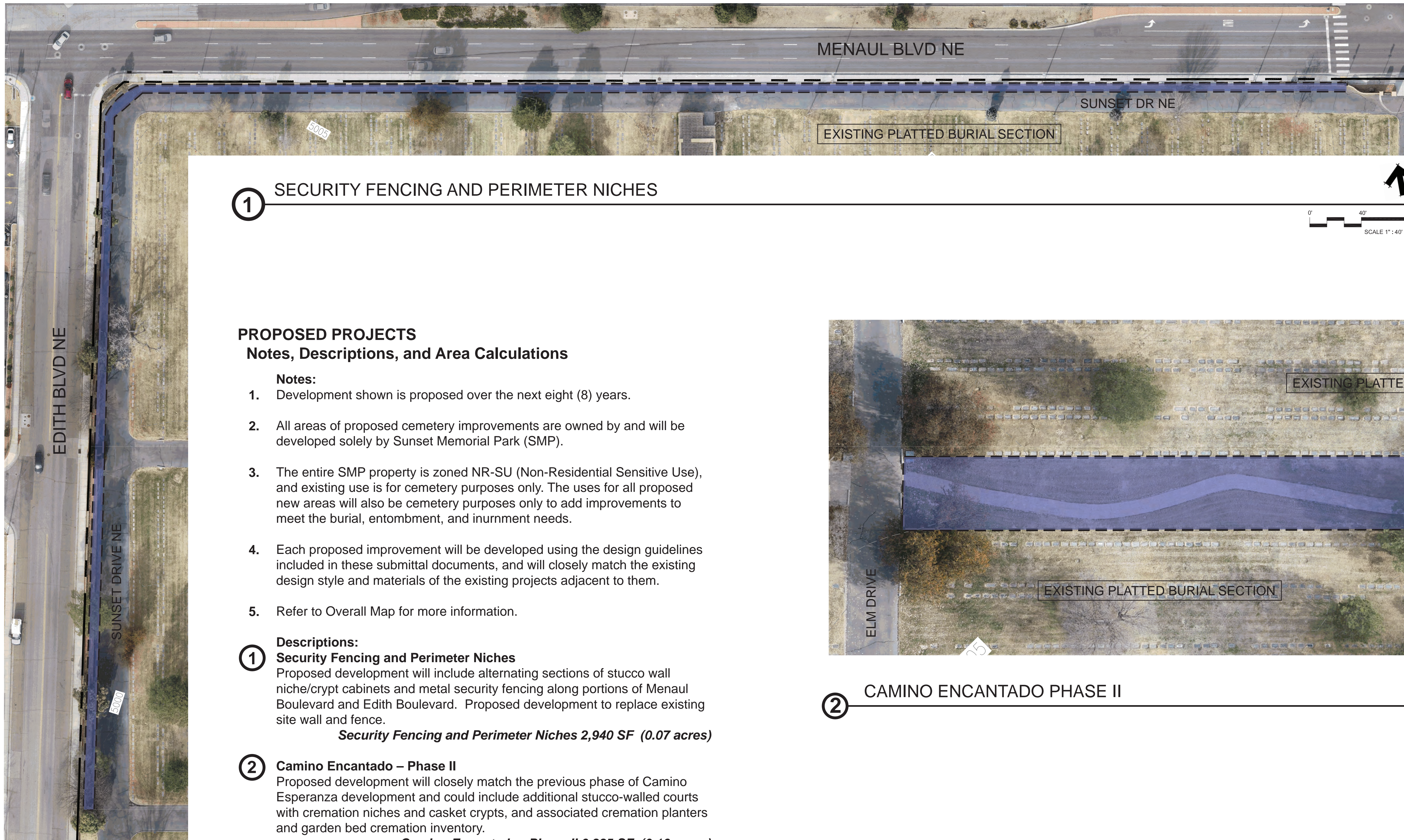
**1 PUEBLO ESPERANZA EXPANSION**



**2 SUNSET HOUSE / SECTION 28 / MAINTENANCE COMPOUND IMPROVEMENTS**

**LEGEND:**

- — — — — PROPERTY LINE
- - - - - PROJECT BOUNDARY



**1 SECURITY FENCING AND PERIMETER NICHES**

**PROPOSED PROJECTS**  
**Notes, Descriptions, and Area Calculations**

**Notes:**

1. Development shown is proposed over the next eight (8) years.
2. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
3. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use), and existing use is for cemetery purposes only. The uses for all proposed new areas will also be cemetery purposes only to add improvements to meet the burial, entombment, and inurnment needs.
4. Each proposed improvement will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.
5. Refer to Overall Map for more information.

**Descriptions:**

**1 Security Fencing and Perimeter Niches**

Proposed development will include alternating sections of stucco wall niche/crypt cabinets and metal security fencing along portions of Menaul Boulevard and Edith Boulevard. Proposed development to replace existing site wall and fence.

**Security Fencing and Perimeter Niches 2,940 SF (0.07 acres)**

**2 Camino Encantado – Phase II**

Proposed development will closely match the previous phase of Camino Esperanza development and could include additional stucco-walled courts with cremation niches and casket crypts, and associated cremation planters and garden bed cremation inventory.

**Camino Encantado - Phase II 6,885 SF (0.16 acres)**

**Total Proposed Development (this sheet) 9,825 sf (0.23 ac)**



**2 CAMINO ENCANTADO PHASE II**

**ENLARGEMENTS**

**PROPOSED DEVELOPMENT**  
**MASTER SITE PLAN - DRB**  
 SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

**LEGEND:**

- PROPERTY LINE
- PROJECT BOUNDARY



# Cemetery Design Guidelines



Submitted per requirements for:

## Master Development Plan Sunset Memorial Park 924 Menaul Boulevard NE, Albuquerque, NM

The following guidelines are intended for use in future designs of proposed site improvements listed in the Master Development Plan for Sunset Memorial Park. They include categories of design guidelines for Site Development, Buildings and Site Structures, and Landscape Development.

### I. Site Development

#### A. Land Use and Site Access

- Design of proposed site improvements shall remain solely for cemetery and funeral home type land uses, including additional grave plots, cremation gardens, mausoleums, chapels, committal shelters, staff and visitor-support buildings, roads and parking, walkways, landscaping and other elements.
- Existing vehicle and pedestrian points of access shall be maintained from historical entries on Menaul and Edith Boulevards.



View of Committal Shelter in Centennial Garden

#### B. Grading and Drainage

- Design of proposed cemetery improvements shall comply with requirements listed in the City of Albuquerque Integrated Development Ordinance (IDO) and State of New Mexico regulations.
- Unfavorable site grading and drainage issues in areas of proposed new cemetery improvements shall be identified and designs shall include remediation measures.
- To the maximum amount possible, the design of proposed cemetery improvements shall incorporate Best Management Practices (BMPs) for on-site water management, including the capture, cleaning, conveyance, storage, and percolation of precipitation.
- Where possible, natural precipitation shall be harvested for the supplemental use in irrigation of existing and proposed site plantings using lawn swales, detention and infiltration basins, built channels and spreaders, and directed downspouts on structures.
- Where needed, retaining walls shall be used to improve site conditions, with more, shorter walls and graded slopes used to minimize structural and appearance issues.

#### C. Site Signage

- No additional property signage is proposed in this Master Development Plan (MDP).
- Design of new garden identification signage within the cemetery is proposed and shall comply with regulations listed in the IDO.
- Site identification signage for proposed cemetery improvements shall be designed to match existing signage in size, proportions, materials, colors, and font types.
- The design and placement of all new site identification signage shall consider vehicular and pedestrian visibility and safety concerns.



Garden Identification Signage at Centennial Garden

### I. Site Development (continued)

#### D. Private Cemetery Roads

- No new roads are proposed in this MDP. If determined to be necessary in any future cemetery improvements, new roads shall comply with requirements of the IDO.

#### E. Cemetery Parking

- Design of proposed cemetery parking improvements shall comply with requirements listed in the IDO.
- On street parking shall be preserved to the highest amount possible when proposed new cemetery improvements are constructed.
- As cemetery improvements are made accessible parking spaces shall be located in numbers and layouts that comply with American with Disabilities Act Design Guidelines (ADA) and International Building Code (IBC) requirements.



Parking at Cemetery Office

#### F. Walks and Plazas

- Design of walks and plazas in proposed cemetery improvements shall comply with requirements listed in the IDO.
- Walkways shall be provided to ensure safe access to and through existing and proposed cemetery improvements.
- Proposed new walks shall provide access to and from the parking areas nearest to the proposed development.
- Where possible, proposed new walks shall match existing sizes and materials, including standard and colored concrete, stone or concrete unit pavers, and crusher fines (decomposed granite) paths.
- Proposed new cemetery walks shall comply with ADA and IBC requirements for sizes, curb ramps, accessible routes, maneuvering space, and other issues.



Cemetery Walks and Shelter at Plaza Esperanza

#### G. Outdoor Lighting

- Because the cemetery closes at dark, with no public activities normally scheduled, no public outdoor lighting will be provided in proposed improvements.
- If outdoor lighting is determined to be necessary in proposed cemetery improvements, it shall comply with regulations listed in the IDO and IBC.
- Site lighting for the safety of cemetery staff and security of facilities shall be provided and comply with requirements listed in the IDO and IBC.

#### H. Site Utilities

- Primary site utility service lines, including electrical, gas, water, storm and sanitary sewer, and communications, currently extend to primary buildings only. Secondary limited electrical and water services lines also extend to limited site structures and garden areas.
- Design, construction, and maintenance of all site utility improvements in proposed new developments shall comply with all requirements listed in the IDO and IBC.

#### I. Gates and Fences

- Existing vehicle gates exist along Menaul and Edith Boulevards to provide vehicle access to the cemetery. No additional gates are needed for proposed improvements.
- Ornamental fences currently exist along Menaul and Edith Boulevard.
- Design of site fencing in proposed cemetery improvements shall comply with requirements listed in the IDO.
- Design of site fencing in proposed cemetery improvements shall include colors, materials, and styles, or complement those, used in other fencing on the property.



Historic Front Gate at Menaul Boulevard

### II. Buildings and Site Structures

#### A. Buildings

- Proposed new cemetery buildings shall comply with setback distances, overall height, and/or stepping requirements listed in the IDO.
- Proposed cemetery buildings shall match or be complimentary of existing design styles, massing, and materials of existing buildings, including multi-phase developments.
- Renovated buildings shall follow the setback distance, overall height, and stepping requirements listed in the IDO.
- Proposed or renovated support buildings shall be screened from city streets and cemetery visitors using screen walls, fences, and/or plantings.



Niche Court Located Along Menaul Boulevard

#### B. Site Structures

- Proposed site structures shall comply with setback, height, and stepping requirements listed in the IDO.
- Site structures proposed in new cemetery improvements shall match or complement the design styles, massing, and materials of similar structures existing in the cemetery.



Niche Court Wall and Planting Details

#### C. Architectural Style

- Proposed new cemetery administration and support buildings shall be designed to match or be complimentary of the Pueblo Revival design style used in recent developments.
- Proposed mausoleums, niche courts and niche wall structures shall be designed to match or be complimentary of the Pueblo Revival design style used in recent developments.
- Proposed entry gates, garden walls, and related site structures shall be designed to match or be complimentary of the Pueblo Revival design style used in recent developments.
- Proposed new construction or renovations to operations and maintenance buildings shall be designed to match or be complimentary of the utilitarian style of existing buildings.
- Proposed garden planters, memorial markers, and hardscape improvements shall be designed to match or be complimentary of the site design styles used in recent developments.



Architectural Detail of Niche Courts in Centennial Garden



Shade Structure Wood Detail in Centennial Garden

#### D. Materials and Construction

- Proposed building improvements and major site structures shall include materials that match or are complimentary to those existing in nearby structures, including wood posts, corbels, vigas, latillas, and stucco materials for site walls, built-in banco seating, and niche shelves.
- Proposed site wall-related cemetery inventory improvements shall incorporate materials similar to existing inventory, including niches, crypts, granite and other stone covers, metals, ceramic panels, and custom art pieces.



Kiva Wall Detail in Pueblo Esperanza

### III. Landscape Development

#### A. Landscape Plantings

- Proposed plantings shall be selected from a proven list of natives and hardy deciduous and evergreen trees, shrubs, ornamental grasses, perennials, and seasonal annuals to enhance the existing cemetery plantings and add to the arboretum character of the cemetery.
- Proposed plantings shall incorporate native and low-water use plant species to reduce the amount of irrigation water required throughout the growing season.
- Proposed plantings shall consider visitor use patterns to create valuable shade and screen improvements from road noises and visual distractions.
- Proposed new lawn areas in cemetery improvement areas shall incorporate low-water use type turf grasses to reduce the amount of irrigation water required.
- Proposed cemetery improvements shall include the latest, most efficient irrigation system technologies available to reduce the amount of irrigation water required.
- All plantings in proposed development shall be properly installed, irrigated, and maintained using landscape maintenance industry BMPs and all requirements listed in the IDO.



Native and Drought-Hardy Plantings Used in All Gardens



Diverse Plantings Enhance Garden Interiors

#### B. Site Amenities

- Proposed cemetery improvements shall incorporate site amenities, including benches, litter receptacles, water stations, garden signage, fountains, and artwork for visitor use and enjoyment.
- Amenities shall match or be complimentary of others existing.
- Proposed cemetery improvements shall incorporate spaces to support cemetery-provided or vendor-provided amenities for services, events, or other gatherings.



Site Amenity Details at Camino Encantado

#### C. Specialty Cemetery Landscapes

- Specialty cemetery landscape improvements proposed in undeveloped areas, including grave burial sections, cremation burial plots, and cremation gardens, shall match or be complimentary of the cemetery landscape character, patterns, materials, layout, and other characteristics of those that currently exist.



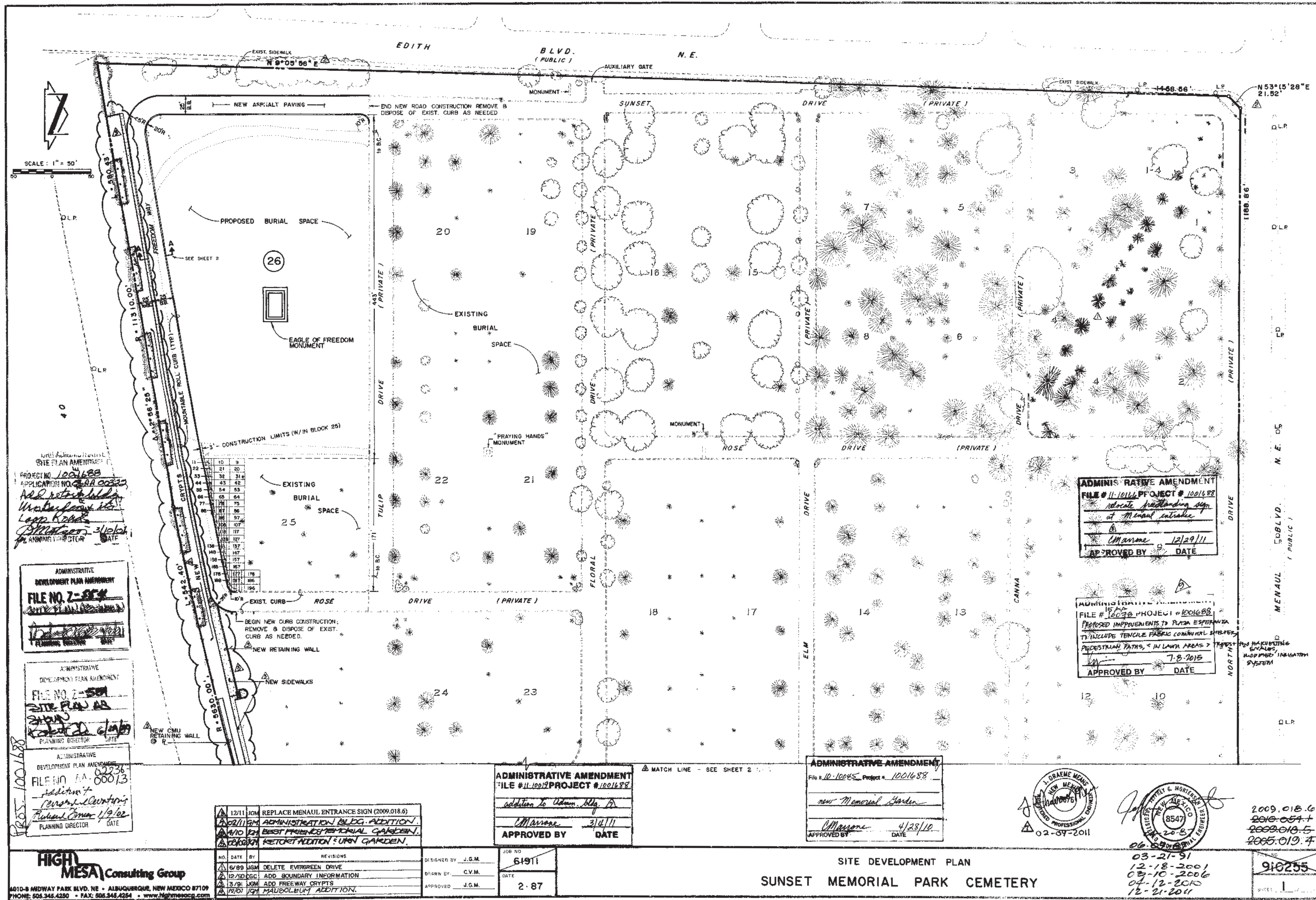
Niches and Cremation Memorials in Centennial Garden

### IV. Design Guideline Notes

#### A. General

- Sunset Memorial Park has been a sole-use cemetery with funeral home and support buildings since it opened in 1929.
- Sunset Memorial Park is registered with the State of New Mexico as an Endowed Care Cemetery and will continue to meet all regulatory requirements to maintain this standing.
- Cemetery improvements proposed in this MDP will continue the development of the property for sole-use cemetery purposes forever.
- Cemetery improvements proposed will be developed incrementally over the duration of the approval of the MDP using supplemental CABQ Site Development Plan (SDP) processes and timelines.

SHEET 5 OF 6



PROJECT NO. 1001688  
 APPLICATION NO. 000133  
 Add retaining wall  
 Update site plan  
 Loop Road  
 Planning Director DATE

ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 FILE NO. 2-554  
 Planning Director DATE

ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 FILE NO. 2-551  
 SITE PLAN AS SHOWN  
 Planning Director DATE

ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 FILE NO. AA-00013  
 Addition to Cemetery  
 Planning Director DATE

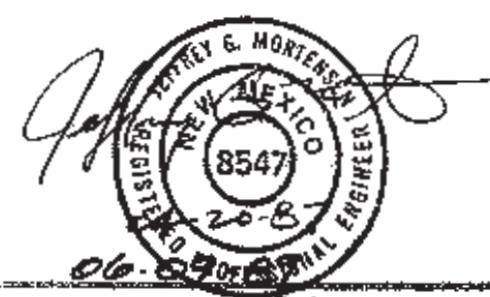
NO.	DATE	BY	REVISIONS
12/11	JOM		REPLACE MENAUL ENTRANCE SIGN (2009.018.6)
02/11	GM		ADMINISTRATION BLDG. ADDITION
11/10	JOM		BEST PRESENCE MEMORIAL GARDEN
08/09	JOM		RETICULT ADDITION TO URN GARDEN
09/09	JGM		DELETE EVERGREEN DRIVE
12/09	DGC		ADD BOUNDARY INFORMATION
3/9	JGM		ADD FREEWAY CRYPTS
10/01	JGM		MAUDSLURF ADDITION

ADMINISTRATIVE AMENDMENT  
 FILE # 11-10019 PROJECT # 1001688  
 Addition to Urban Bldg. A  
 Approved by *Marrone* DATE 3/4/11

ADMINISTRATIVE AMENDMENT  
 File # 10-10045 Project # 1001688  
 new Memorial Garden  
 Approved by *Marrone* DATE 4/23/10

ADMINISTRATIVE AMENDMENT  
 FILE # 11-10111 PROJECT # 1001688  
 relocate freestanding sign at Menaul entrance  
 Approved by *Marrone* DATE 12/29/11

ADMINISTRATIVE AMENDMENT  
 FILE # 10070 PROJECT # 1001688  
 PROPOSED IMPROVEMENTS TO PLAZA ESPERANZA TO INCLUDE TENSILE FABRIC CONTINUAL SHELTER, PEDESTRIAN PATHS, & IN LAWN AREAS  
 Approved by *Marrone* DATE 7-8-2015



2009.018.6  
 2010.054.1  
 2009.018.5  
 2005.019.4

**HIGH MESA Consulting Group**  
 4010-B MIDWAY BLVD. N.E. • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesa.com

DESIGNED BY: J.G.M.  
 DRAWN BY: C.V.M.  
 APPROVED BY: J.G.M.  
 JOB NO. 61911  
 DATE 2-87

DATE 2-87

SITE DEVELOPMENT PLAN  
 SUNSET MEMORIAL PARK CEMETERY

03-21-91  
 12-18-2001  
 03-10-2006  
 04-12-2010  
 12-21-2011

910255  
 SHEET 6 OF 6

PREVIOUSLY APPROVED SDP WITH ADMENDMENTS  
 EXISTING DEVELOPMENT  
 MASTER SITE PLAN - DRB  
 SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

2.2020

# MASTER SITE PLAN - DRB FINAL SIGN-OFF FOR MASTER SITE PLAN - EPC SUNSET MEMORIAL PARK, ALBUQUERQUE NM

## OWNER

Sunset Memorial Park  
924 Menaul Blvd. NE  
Albuquerque, NM 87107  
p: 505.345.3538  
contact:  
Chris Keller, Vice President

## CEMETERY PLANNERS/LANDSCAPE ARCHITECTS

CPRA Studio, Inc.  
(Prime)  
9635 North Rampart Road  
Littleton, CO 80125  
p: 303.683.6917  
www.cprastudio.com  
contact:  
Lane Ledbetter, RLA

## CIVIL ENGINEER / SURVEYOR

High Mesa Consulting Group  
6010 Midway Parkway Blvd. NE #B  
Albuquerque, NM 87109  
p: 505.345.4250  
contacts:  
Surveyor- Chuck Cala, PLS  
Civil Engineer- Graeme Means, PE

## GENERAL NOTES/CHANGES TO APPROVED MASTER SITE PLAN - EPC DOCUMENTS:

- These Master Site Plan - DRB documents are based on previously approved Master Site Plan - EPC documents, approved October 10, 2019.
- Changes made to these Master Site Plan documents since the EPC approval include the following:
  - Per CABQ Code Enforcement staff request, the Master Site Plan - DRB has been updated with a new air photo and survey base showing as-built conditions as prepared by High Mesa Consulting Group, dated 1.3.2020.
  - Per DRB Plan requirements, the Cover Sheet (sheet 1 of 6) has been modified to include a signature block.
  - Per CABQ Solid Waste Department staff request, a label has been added to the Master Site Plan - DRB Overall Plan calling out the location of the dumpster on the cemetery property.
  - Three exhibit sheets included as a convenience for EPC reviewers only, showing (1) Recent Developments Plan, (2) Exhibit #1 - Centennial Urn Garden Plan and Elevations, and (3) Exhibit #2 - Pueblo Esperanza Plan and Elevations, have been removed from this submittal.
  - Sheet notes on the Proposed Development Overall Plan have been modified to add clarity to requirements per CABQ Solid Waste, Fire Marshal, and Transportation concerns.
  - No other changes have been made to the Master Site Plan - DRB documents.
  - Per CABQ staff request, the previously approved Master Drainage Plan documents, which accompany these Master Site Plan - DRB documents, have been updated with an updated air photo, site survey, and drainage calculations as required. Refer to these documents for additional submittal information.
- Future projects that are included in this site plan will go through an Administrative Amendment (AA) process.



Vicinity Map

## Sheet Index:

- |   |  |
|---|--|
| 1 | Cover Sheet                                  |
| 2 | Proposed Development - Overall Plan          |
| 3 | Proposed Development - Enlargements, Sheet 1 |
| 4 | Proposed Development - Enlargements, Sheet 2 |
| 5 | Proposed Cemetery Design Guidelines          |
| 6 | Previously Approved SDP with Amendments      |

## SUNSET MEMORIAL PARK

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure list required? ( ) Yes ( ) No ( ) Yes, then a set of approved DRB plans with a work order is required for construction within Public Right-of-Way or for construction of public improvements.

## DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABQVUA	Date
Parks and Recreation Department	Date
City Engineering/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**PROPOSED PROJECTS - Notes, Descriptions, and Area Calculations**

**Site Plan Notes:**

1. Aerial photo used in this Site Plan was prepared in 1/2020 and shows the latest "as-built" conditions at the cemetery.
2. Development shown is proposed over the next eight (8) years.
3. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
4. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use). Existing use is for cemetery entombment, and instrument needs.
5. Proposed improvements will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.

**Fire Protection:**

1. Three fire hydrants are located on the cemetery property: 2 are located on Lombardy Drive north of the Office and one is located on the loop drive north of Operations and Maintenance Compound (see plan).

**Solid Waste:**

1. A dumpster that serves the entire cemetery is located in the Operations and Maintenance Compound and is serviced by a commercial refuse hauling company (see plan).
2. Litter receptacles for pedestrian visitors will be provided in proposed expansion areas, with trash removed by staff and transferred to existing dumpster.
3. No new dumpsters will be needed in any of the proposed development areas.

**Transportation:**

1. In-lotim refuse location to be used for Phases 4 & 5. Existing refuse location to remain for all other phases.
- Proposed improvements shown will be accessible from existing cemetery entries and private roads. No new entries or roads will be needed or are proposed.

**Descriptions:**

1. **Camino Encantado - Phase II**  
Proposed development will closely match the previous phase of Camino Esperanza development and could include additional stucco-walled courts with cremation niches and casket crypts, and associated cremation planters and garden bed cremation inventory.  
*Camino Encantado - Phase II 6,985 sf (0.16 ac)*
2. **Security Fencing and Perimeter Niches**  
Proposed development could include alternating sections of stucco wall niche cabinets and metal security fencing along portions of Menaul Boulevard and Edith Boulevard. Proposed development would replace an existing wall and fence.  
*Security Fencing and Perimeter Niches 2,940 sf (0.07 ac)*
3. **Sunset House**  
Proposed development could include landscape improvements for family use in services and reception, including decks, patios, and ornamental plantings.  
*Sunset House 2,988 sf (0.07 ac)*
4. **Operations and Maintenance Compound**  
Proposed development could include a consolidation of vehicle maneuvering and outdoor equipment material storage space and a consolidation of existing small outbuildings and covered storage areas into fewer buildings.  
*Operations and Maintenance Compound 8,156 sf (0.19 ac)*
5. **Block 28 Expansion**  
Proposed development could include more graves added in the area reclaimed by Operations and Maintenance Compound consolidation (refer to description above). Other improvements could include stucco wall entry features, screen fencing, and ornamental plantings.  
*Block 28 Expansion 15,318 sf (0.36 ac)*
6. **Block 28 Improvements**  
Proposed developments could include stucco wall entry features at front and stucco wall niche cabinets along the east side.  
*Block 28 Improvements 922 sf (0.02 ac)*
7. **Pueblo Esperanza Expansion**  
Proposed developments could include additional mausoleum buildings, stucco wall niche courts, planter and garden bed cremation inventory, and associated landscape plantings. Improvements could be built in phases and be similar to the existing Phase I.  
*Pueblo Esperanza Expansion 24,406 sf (0.56 ac)*
8. **Future Development**  
Two areas of future, long range development will remain on the property and are not included in this submittal request for Master Plan Development (MDP).  
*Future Development 34,526 sf (0.79 ac)*





Total Proposed Areas of Development 61,611 SF (1.42 acres)

**OVERALL MAP  
PROPOSED DEVELOPMENT  
MASTER SITE PLAN - DRB  
SUNSET MEMORIAL PARK, ALBUQUERQUE, NM**

**TOTALS:**

Total Proposed Areas of Development	61,611 SF (1.42 acres)
Total Existing Area of Cemetery	1,659,013 SF (38.0857 acres)
Total Proposed Percentage of Overall Area	3.71 %

**LEGEND:**

-  EXISTING DEVELOPMENT (SINCE 2007 UNDER PREVIOUS SITE PLAN)
-  PROPOSED DEVELOPMENT
-  PROPERTY LINE
-  PROJECT BOUNDARY

DATE: 03/12/2020  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 DATE: 03/12/2020  
 PROJECT: SUNSET MEMORIAL PARK  
 SHEET: 2 OF 6



312.2020  
 CORA STUDIOS



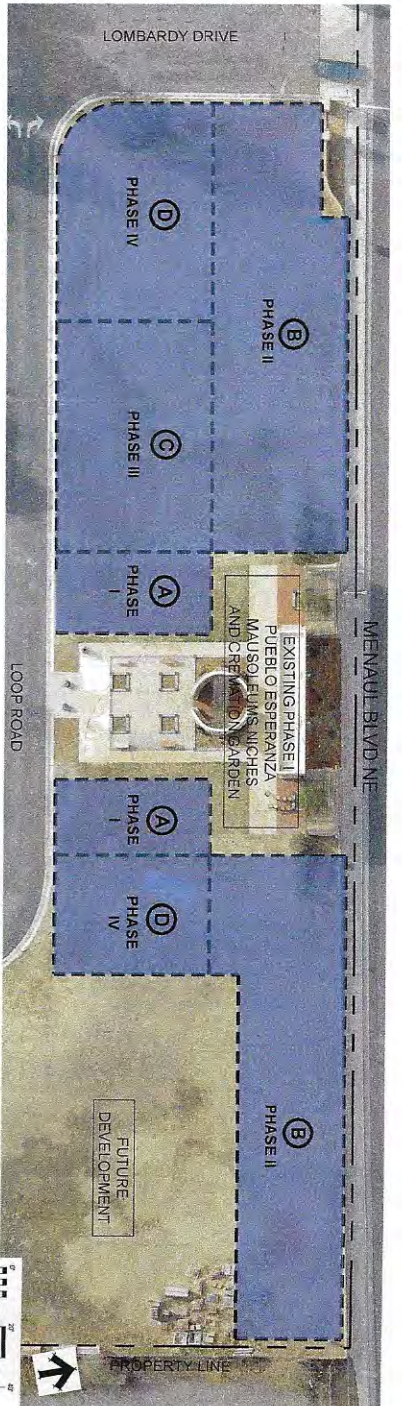
**PROPOSED PROJECTS**  
Notes, Descriptions, and Area Calculations

**Notes:**

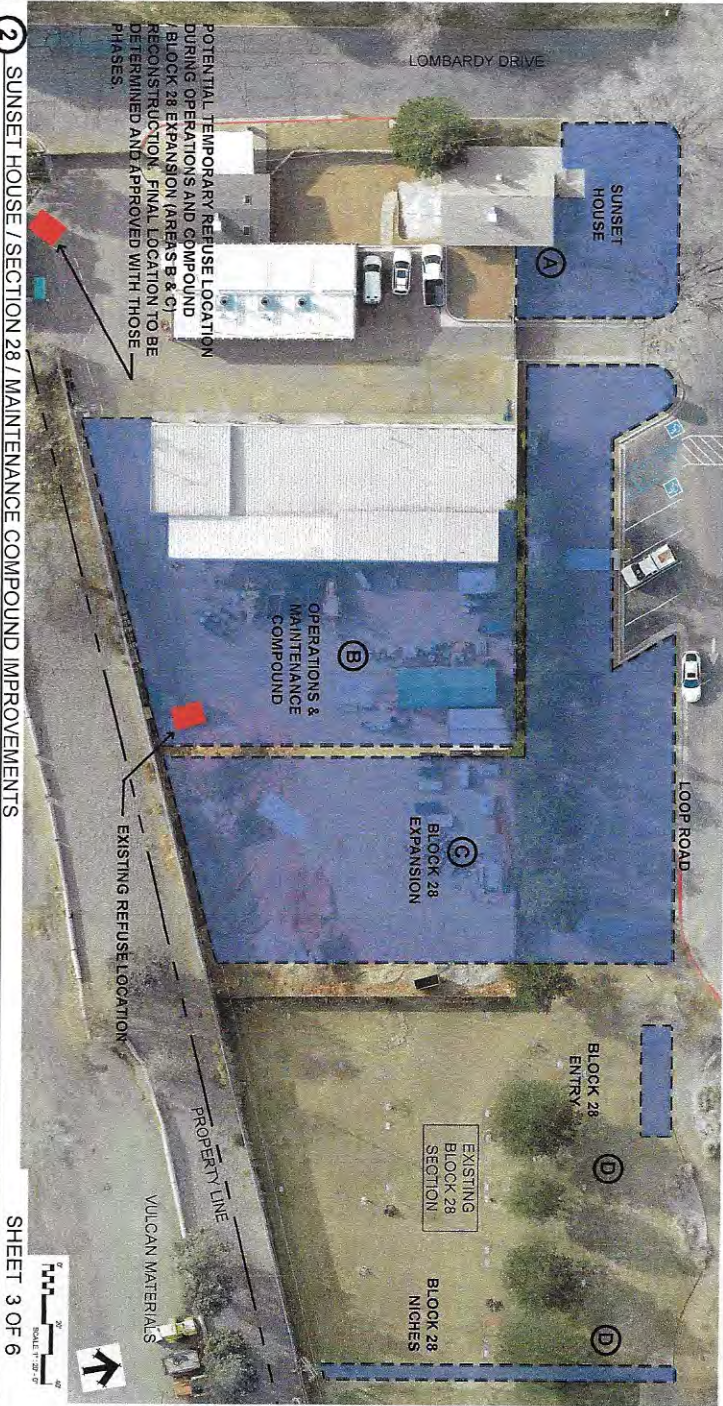
1. Development shown is proposed over the next eight (8) years.
2. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
3. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use). Existing use is for cemetery purposes only. Proposed uses will also be cemetery purposes only to add improvements to meet the burial, entombment, and inurnment needs.
4. Proposed improvements will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.
5. Estimated phases are shown for Pueblo Esperanza only. Other areas T.B.D.
6. Refer to Overall Map for more information.

**Descriptions:**

1. **Pueblo Esperanza Expansion**  
Proposed developments will include additional mausoleum buildings, stucco wall niche courts, planter and garden bed cremation inventory, and associated landscape plantings. Improvements would be built in phases and be similar to the existing Phase I.
  - (A) Twin-sided mausoleums at east and west sides of a plaza
  - (B) Multiple single-sided mausoleums and niche courts along Menaul Boulevard
  - (C) Large shelter, niche courts, and cremation gardens
  - (D) Single-sided mausoleums, niche courts, and cremation gardens  
*Estimated Development 24,405 SF (0.56 ac)*
2. **Sunset House / Section 28 / Maintenance Compound Improvements**
  - (A) **Sunset House**  
Proposed development will include landscape improvements for family use in services and receptions in the form of decks, patios, ornamental plantings, and additional parking.  
*Estimated Development 2,985 SF (0.07 acres)*
  - (B) **Operations and Maintenance Compound**  
Proposed development will include a reduction of vehicle maneuvering and outdoor equipment/material storage space and a consolidation of existing small outbuildings and covered storage areas into fewer buildings.  
*Estimated Development 8,156 SF (0.19 acres)*
  - (C) **Block 28 Expansion**  
Proposed development will include more graves added in the area reclaimed by Operations and Maintenance Compound consolidation (refer to description above). Other improvements could include stucco wall entry features, screen fencing, ornamental plantings, additional parking and visitor facilities.  
*Estimated Development 15,318 SF (0.35 acres)*
  - (D) **Block 28 Improvements - Entry and Niches**  
Proposed developments will include stucco wall entry feature at



1 PUEBLO ESPERANZA EXPANSION

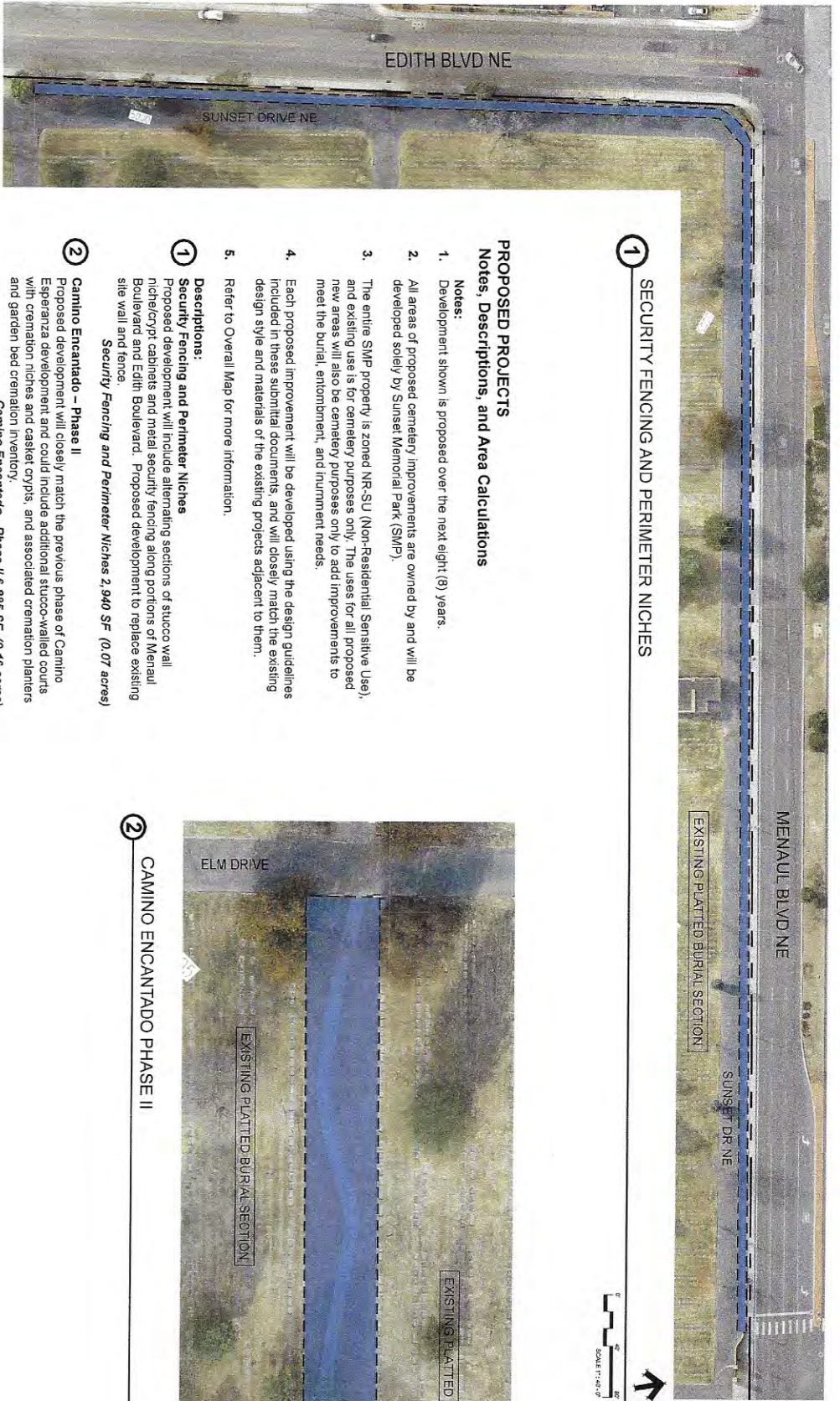


2 SUNSET HOUSE / SECTION 28 / MAINTENANCE COMPOUND IMPROVEMENTS

3.14.2020  
SHEET 3 OF 6

**ENLARGEMENTS - SHEETS 1**  
**PROPOSED DEVELOPMENT**  
**MASTER SITE PLAN - DRB**  
SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

**LEGEND:**  
--- PROPERTY LINE  
- - - PROJECT BOUNDARY



**1 SECURITY FENCING AND PERIMETER NICHES**

**PROPOSED PROJECTS**  
**Notes, Descriptions, and Area Calculations**

**Notes:**

1. Development shown is proposed over the next eight (8) years.
2. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
3. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use), and existing use is for cemetery purposes only. The uses for all proposed new areas will also be cemetery purposes only to add improvements to meet the burial, entombment, and inurnment needs.
4. Each proposed improvement will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.
5. Refer to Overall Map for more information.

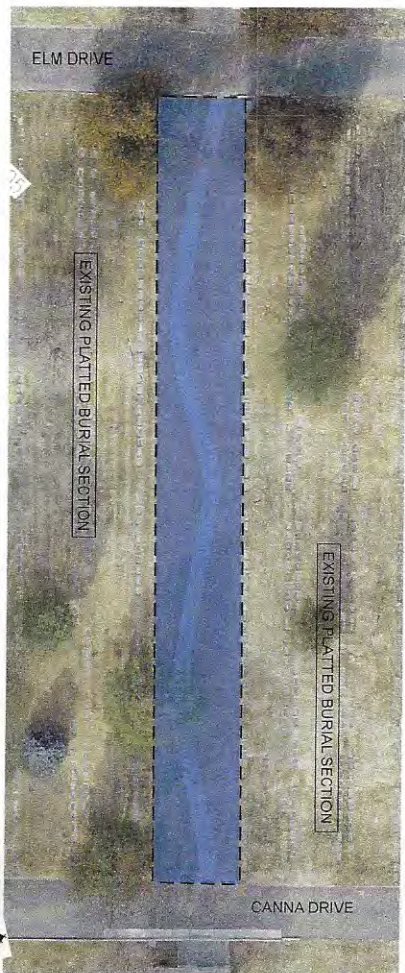
**Descriptions:**

- 1 Security Fencing and Perimeter Niches**  
 Proposed development will include alternating sections of stucco wall niche/crypt cabinets and metal security fencing along portions of Menaul Boulevard and Edith Boulevard. Proposed development to replace existing site wall and fence.  
*Security Fencing and Perimeter Niches 2,940 SF (0.07 acres)*

- 2 Camino Encantado - Phase II**  
 Proposed development will closely match the previous phase of Camino Esperanza development and could include additional stucco-walled courts with cremation niches and casket crypts, and associated cremation planters and garden bed cremation inventory.  
*Camino Encantado - Phase II 6,885 SF (0.16 acres)*

**Total Proposed Development (this sheet) 9,825 sf (0.23 ac)**

**2 CAMINO ENCANTADO PHASE II**



**LEGEND:**  
 PROPERTY LINE  
 PROJECT BOUNDARY



# Cemetery Design Guidelines



## Submitted per requirements for Master Development Plan Sunset Memorial Park 924 Menaul Boulevard NE, Albuquerque, NM

The following guidelines are intended for use in future designs of proposed site improvements listed in the Master Development Plan for Sunset Memorial Park. They include categories of design guidelines for Site Development, Buildings and Site Structures, and Landscapes.

### I. Site Development

#### A. Land Use and Site Access

1. Design of proposed site improvements shall include all site uses, including additional grave pits, cremation gardens, memorials, chapels, commercial shelters, staff and visitor-support buildings, roads and parking, walkways, landscaping and other elements.
2. Existing vehicle and pedestrian points of access shall be maintained from historical eras on Menaul and Edith Boulevards.



View of Cemetery Building (Current Design)

#### B. Grading and Drainage

1. Design of proposed cemetery improvements shall comply with requirements listed in Mexico regulations.
2. Unfavorable site grading and drainage issues in areas of proposed new cemetery improvements shall be identified and designs shall include remediation measures.
3. To the maximum amount possible, the design of proposed cemetery improvements shall incorporate Best Management Practices (BMPs) for on-site water management.
4. Where possible, natural erosion control practices, such as retention of precipitation, infiltration basins, built channels and spreaders, and directed downspouts on structures.
5. Where needed, retaining walls shall be used to improve site conditions, with horizontal and vertical drainage systems used to minimize structural and appearance issues.

#### C. Site Signage

1. No additional property signage is proposed in this Master Development Plan (MDP).
2. Design of new garden identification signage shall comply with regulations listed in the IDO.
3. Site identification signage for proposed cemetery improvements shall be designed to match existing signage in size, proportions, materials, colors, and font types.
4. The design and placement of all new site identification signage shall consider vehicular and pedestrian visibility and safety concerns.



Garden Identification Signage at Cemetery Garden

### II. Buildings and Site Structures

#### D. Private Cemetery Roads

1. No new roads are proposed in this MDP. (determined to be necessary) in any future cemetery improvements, new roads shall comply with requirements of the IDO.

#### E. Cemetery Parking

1. Design of proposed cemetery parking improvements shall comply with requirements listed in the IDO.
2. On street parking shall be preserved to the highest amount possible when proposed new cemetery improvements are constructed.
3. Cemetery parking shall be designed to include parking spaces that comply with Americans with Disabilities Act Design Guidelines (ADA) and International Building Code (IBC) requirements.



Parking at Cemetery Office

#### F. Walks and Plazas

1. Design of walks and plazas in proposed cemetery improvements shall comply with requirements listed in the IDO.
2. Walkways shall be provided to ensure safe cemetery improvements.
3. Proposed new walks shall provide access to and from the parking areas nearest to the proposed development.
4. Where possible, proposed new walks shall be paved with ADA and IBC requirements for materials and include concrete slope (including decomposed granite) paths.
5. Proposed new cemetery walks shall comply with ADA and IBC requirements for sizes, curb ramps, accessible routes, maneuvering space, and other issues.



Cemetery Walks and Stairs at Plaza Esplanada

#### G. Outdoor Lighting

1. Because the cemetery closes at dusk, with no public activities normally scheduled, no public outdoor lighting will be provided in proposed improvements.
2. All lighting regulations listed in the IDO and IBC shall apply for the safety of cemetery staff and security of facilities shall be provided and comply with requirements listed in the IDO and IBC.

#### H. Site Utilities

1. Primary site utility service lines, including electrical, gas, water, storm and sanitary sewer, and communications, currently extend to primary buildings only. Secondary limited electrical and water service lines also extend to limited site structures and garden areas.
2. Design, construction, and maintenance of all site utility improvements in proposed new developments shall comply with all requirements listed in the IDO and IBC.

#### I. Gates and Fences

1. Existing vehicle gates exist along Menaul and Edith Boulevards.
2. Ornamental fences currently exist along Menaul and Edith Boulevards.
3. Design of site fencing in proposed cemetery improvements shall comply with requirements listed in the IDO.
4. Design of site fencing in proposed cemetery improvements shall include colors, materials, and styles, or complement those used in other fencing on the property.



Historic Front Gate at Menaul Boulevard

### III. Landscape Development

#### A. Buildings

1. Proposed new cemetery buildings shall comply with setback distances, overall height, and/or stepping requirements listed in the IDO.
2. Proposed cemetery buildings shall match or be complementary of existing design styles, including multi-phase developments.
3. Renewed buildings shall follow the setback distance, overall height, and stepping requirements listed in the IDO.
4. Proposed or renewed support buildings shall be screened from city streets and cemetery walks using screen walls, fences, and/or plantings.

#### B. Site Structures

1. Proposed site structures shall comply with setback, height, and stepping requirements listed in the IDO.
2. Site structures proposed in new cemetery improvements shall be complementary of the design styles, materials, and materials of similar structures existing in the cemetery.

#### C. Architectural Style

1. Proposed new cemetery administration and support buildings shall be designed to match or be complementary of the Pueblo Revival design style used in recent developments.
2. Proposed mausoleums, niche courts and mato or be complementary of the Pueblo Revival design style used in recent developments.
3. Proposed entry gates, garden walks, and raised site structures shall be designed to match or be complementary of the Pueblo Revival design style used in recent developments.
4. Proposed new construction or renovations to operations and maintenance buildings shall be designed to match or be complementary of the Pueblo Revival design style used in recent developments.
5. Proposed garden lanterns, memorial markers, and landscape improvements shall be designed to match or be complementary of the site design styles used in recent developments.

#### D. Materials and Construction

1. Proposed building improvements and major site structures shall include materials that are complementary of existing structures, including wood, stone, brick, tile, and masonry materials for site walls, built-in barndo seating, and niche shelves.
2. Proposed site walkway/cemetery inventory improvements shall include materials, including stone, granite and other stone covers, metals, ceramic panels, and outdoor art pieces.



New Chapel Located Along Menaul Boulevard



Male Court Wall and Stairs Details



Architectural Details of Stone Courts in Cemetery Garden



Stone Structure Wood Detail in Cemetery Garden



New Chapel Located Along Menaul Boulevard

### IV. Design Guideline Notes

#### A. General

1. Sunset Memorial Park has been a sole-use cemetery with funeral home and support buildings since it opened in 1925.
2. Sunset Memorial Park is registered with the State of New Mexico as an Endowed Care Cemetery and will continue to meet all regulatory requirements to maintain the standing property for public use as proposed in this MDP will continue the development of the cemetery.
3. Cemetery improvements proposed in this MDP will continue the development of the cemetery, including the development of the approved of the MDP using supplemental C/ABG Site Development Plan (SDP) processes and timelines.

#### B. Site Amenities

1. Proposed cemetery improvements shall include site amenities, including benches, litter receptacles, water stations, garden signage, fountains, and artwork for complementary of others existing.
2. Amenities shall be designed to match or be complementary of others existing.
3. Proposed cemetery improvements shall include site amenities, including benches, litter receptacles, water stations, garden signage, fountains, and artwork for complementary of others existing.
4. Proposed cemetery improvements shall include site amenities, including benches, litter receptacles, water stations, garden signage, fountains, and artwork for complementary of others existing.
5. Proposed cemetery improvements shall include site amenities, including benches, litter receptacles, water stations, garden signage, fountains, and artwork for complementary of others existing.
6. All parking in proposed development shall be using landscape maintenance industry BMPs and all requirements listed in the IDO.

#### C. Specialty Cemetery Landscapes

1. Specialty cemetery landscape improvements proposed in undeveloped areas, including grave burial sections, cremation burial plots, and cremation gardens, shall match or be complementary of the cemetery landscape character, patterns, materials, layout, and other characteristics of those that currently exist.



Water and Design/Planting Plan for Plaza at Cemetery



Design Planting Entrance Garden Walkways



Site Amenities Details at Cemetery Entrance



Stone and Cemetery Amenities in Cemetery Garden

