



Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

CREATE 2 TRACTS FROM 1 EXISTING TRACT

APPLICATION INFORMATION

Applicant/Owner: SUNSET MEMORIAL PARK		Phone:
Address: P.O. BOX 25063		Email:
City: ALBUQUERQUE	State: NM	Zip: 87125
Professional/Agent (if any): ARCH + PLANNING LAND USE CONSULTANTS LLC		Phone: 505.980.8365
Address: P.O. BOX 25911		Email: arch.plan@comcast.net
City: ALBUQUERQUE	State: NM	Zip: 87125
Proprietary Interest in Site:	List all owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TRACT 1	Block:	Unit:
Subdivision/Addition: SUNSET MEMORIAL PARK	MRGCD Map No.:	UPC Code: 1.015.059.150.215.314.26
Zone Atlas Page(s): H-15	Existing Zoning: NR-SU	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: 2	Total Area of Site (Acres): 39.08 ±

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 924 MENAUL NE	Between: EDITH BLVD	and: INTERSTATE 25
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR 2019.002807

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 4.26.22
Printed Name: DERRICK ARCHULETA	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Your attendance is required.

☒ SKETCH PLAT REVIEW AND COMMENT

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter describing, explaining, and justifying the request
- ☒ Scale drawing of the proposed subdivision plat
- ☒ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

☐ MAJOR SUBDIVISION FINAL PLAT APPROVAL

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ☐ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☐ Zone Atlas map with the entire site clearly outlined and labeled
- ☐ Proposed Final Plat
- ☐ Design elevations & cross sections of perimeter walls
- ☐ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer

☐ SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ☐ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☐ Zone Atlas map with the entire site clearly outlined and labeled
- ☐ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
- ☐ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ☐ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ☐ Sidewalk Exhibit and/or cross sections of proposed streets
- ☐ Proposed Infrastructure List, if applicable
- ☐ Required notice with content per IDO Section 14-16-6-4(K)
- ☐ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
- ☐ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)
- ☐ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer

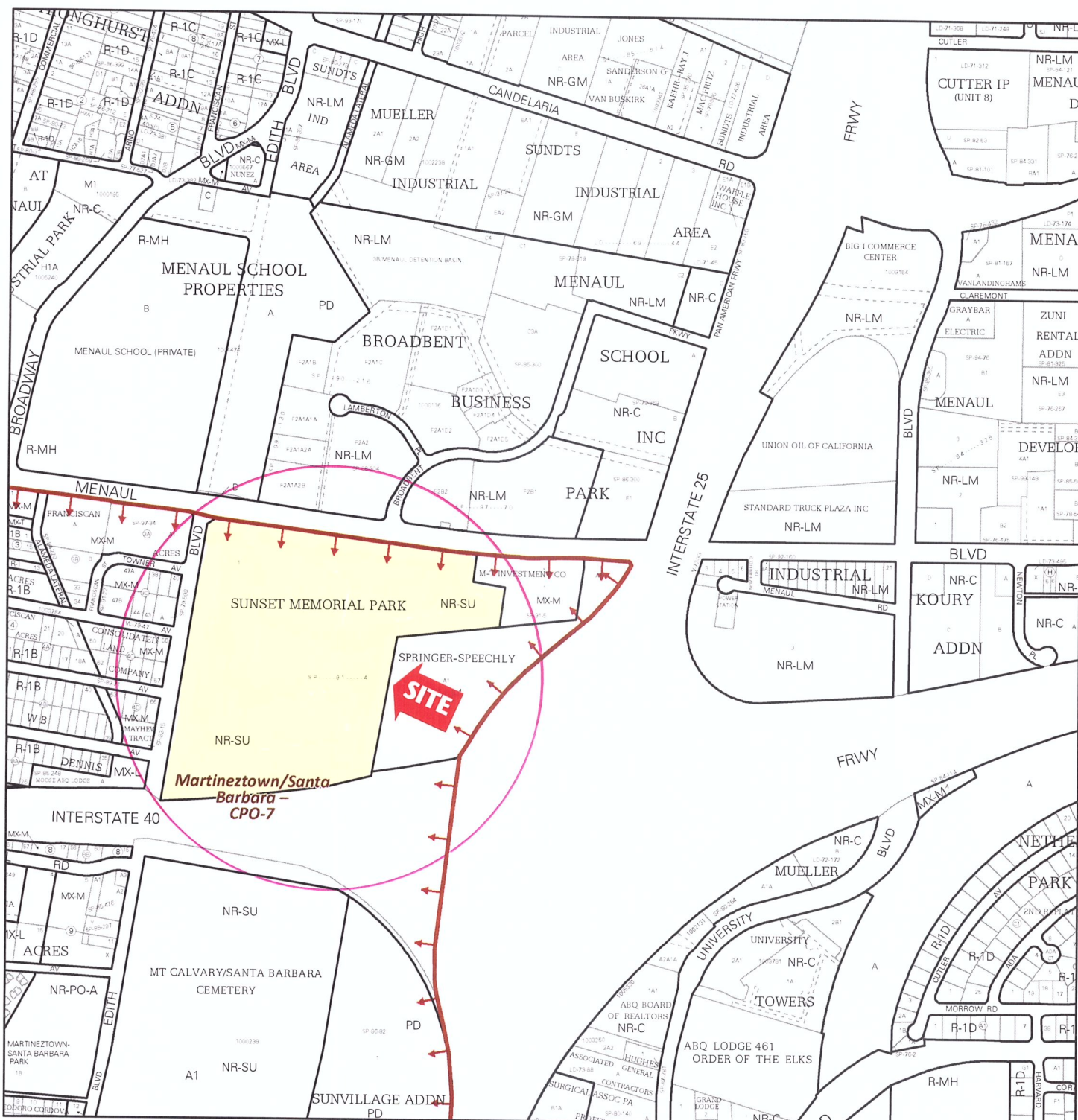
Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

☐ MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST

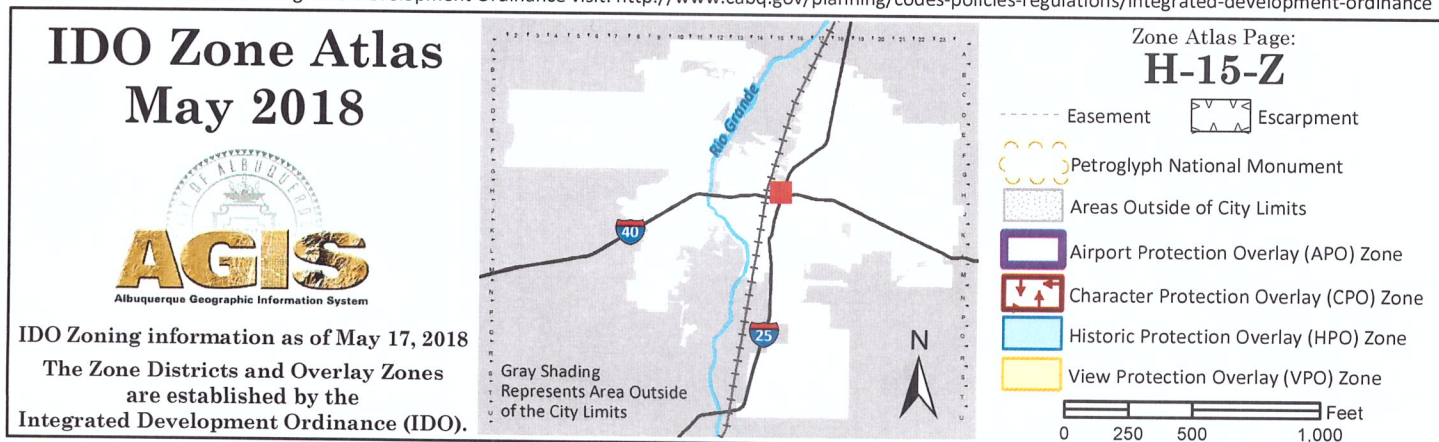
Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ☐ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☐ Zone Atlas map with the entire site clearly outlined and labeled
- ☐ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ☐ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan
- ☐ Original Preliminary Plat, Infrastructure List, and/or Grading Plan
- ☐ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>



ARCH+PLAN
LAND USE CONSULTANTS
ALBUQUERQUE NM

April 26, 2022

Jolene Wolfley, Chair
City of Albuquerque
Development Review Board
600 2nd St NW
Albuquerque NM

RE: TRACT 1, SUNSET MEMORIAL PARK

Ms. Wolfley and members of the Board:

I would like to request Sketch Plat review for a minor subdivision for the above mentioned property.

The property owner is interested in subdivision of existing Tract 1, Sunset Memorial Park into two (2) tracts. Proposed Tract 1-A at 38.1354± acres and Tract 1-B at 1.0021± acres on property zoned NR-SU (Non Residential – Sensitive Use).

Involved property is the location of a cemetery known as Sunset Memorial Park. The cemetery would like to separate the portion of the property used for pet cremations onto a separate legal lot of record, proposed Tract 1-B.

The site is governed by the Area of Consistency of the Albuquerque/Bernalillo County Comprehensive Plan within the Near North Valley Planning Area including the Martineztown/Santa Barbara Character Protection Overlay Zone.

Thank you for your time and consideration of the proposed application.

Sincerely,



Derrick Archuleta, MCRP
Principal

TRACTS 1 AND 2 SUNSET MEMORIAL PARK
PROJECTED SECTION
CITY OF ALBUQUERQUE, NEW MEXICO
APRIL 2022



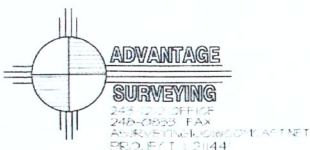
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAN ARE GRANTED FOR THE COMMON AND JOINT USE OF

- A PUBLIC SERVICE SUPPLY OF NEW MEXICO, PPM, A NEW MEXICO CORPORATION (PPM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND LINES FOR THE TRANSMISSION OF ELECTRICITY. THE SUPPLY OF THE FOLLOWING REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES:
 NEW MEXICO ELECTRIC SUPPLY COMPANY, A NEW MEXICO CORPORATION (NEMCO) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS PIPES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
 NEW MEXICO CABLE SUPPLY COMPANY, A NEW MEXICO CORPORATION (NEMCO) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICE.
 NEW MEXICO CABLE SUPPLY COMPANY, A NEW MEXICO CORPORATION (NEMCO) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICE.

[illegible]

IN APPROVING THIS PLAT PUBLIC SERVICE COMPANY OF NEW MEXICO (PSNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PSNM AND NMGC DO NOT HAVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY DEEDS, EASEMENTS OR OTHER DOCUMENTS AND WHICH ARE NOT SHOWN ON THIS PLAT.

Public Service Company of New Mexico (PSCN)	DAI
Quest Corporation (QCOM)	DAI
Comcast Cable	DAI
New Mexico Gas Company (NMGAS)	DAI

[illegible][illegible]

SURVEYED AND REPLATED AS SHOWN HEREON AND NOW TO BE DESIGNATED AS TRACT 1A AND 1B, SAGE, COMMERCIAL PARK WITH THE CONSENT OF AND IN ACCORDANCE WITH THE DESIRES AND WISHES OF THE UNDERSIGNED OWNERS, THE UNDERSIGNED HAVE REPRESENTED THEMSELVES TO HAVE COMPLETE AND POSSESSORY TITLE IN FREE AND CLEAR AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss. I, _____, Clerk of the County of Bernalillo, State of New Mexico, do hereby certify that the foregoing is a true and correct copy of the original as the same appears from the records of said County.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022.

MY COMMISSION EXPIRES:

SUBMISSION DATA NOTES

[illegible]

THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) TRACTS FROM ONE (1) EXISTING TRACT

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPL NO. _____

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURERS' OFFICE

1. A GRADING AND DRAINAGE PLAN PREPARED BY A NEW MEXICO REGISTERED ENGINEER MAY BE REQUIRED WITH FUTURE DEVELOPMENT OF THESE LOTS.
2. FUTURE DRAINAGE MUST NOT BE INCREASED OR DECREASED BY DEVELOPMENT OF THESE LOTS.
3. LOTS MUST ACCEPT HISTORICAL STORMWATER RUNOFF FROM ADJACENT ROADWAYS AND PROPERTIES.
4. NO MASS SITE GRADING, CLEARING OR GROUNDING IS ALLOWED WITHOUT AN APPROVED GRADING AND DRAINAGE PLAN.

APPLICATION NO.

DRS CHAIRPERSON: PLANNING DEPARTMENT DAT

CITY SURVEYOR (3A)

REAL PROPERTY DIVISION DAS

ENVIRONMENTAL HEALTH DEPARTMENT

TRANSPORTATION ENGINEERING

PARKS & RECREATION DEPARTMENT

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LOS ANGELES DOMINICKA HAS QUALIFIED TO BE A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO DOMINICKA CERTIFIES THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY HER OR UNDER HER SUPERVISION SHOW ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO HER BY THE OWNERS AND/OR THE PROPRIETORS OF THE SURVEYED PROPERTY. DOMINICKA CERTIFIES THAT SHE HAS CONDUCTED A REASONABLE INVESTIGATION AND MEETS THE MINIMUM REQUIREMENTS FOR DOCUMENTATION AND SURVEYS OF THE PERSONAL IDENTITY SURVEYORS ORDINANCE AND FURTHER MEETS THE MINIMUM STANDARDS OF THE SURVEYORS IN THE STATE OF NEW MEXICO. EFFECTIVE NOVEMBER 1, 2014 AND NOVEMBER 1, 2017 DOMINICKA HAS MET ALL CONTINUING EDUCATION REQUIREMENTS AND BELIEVES THIS PLAT IS TRUE AND CORRECT TO THE BEST OF HER KNOWLEDGE AND BELIEF.

4/22/2022
DATE



