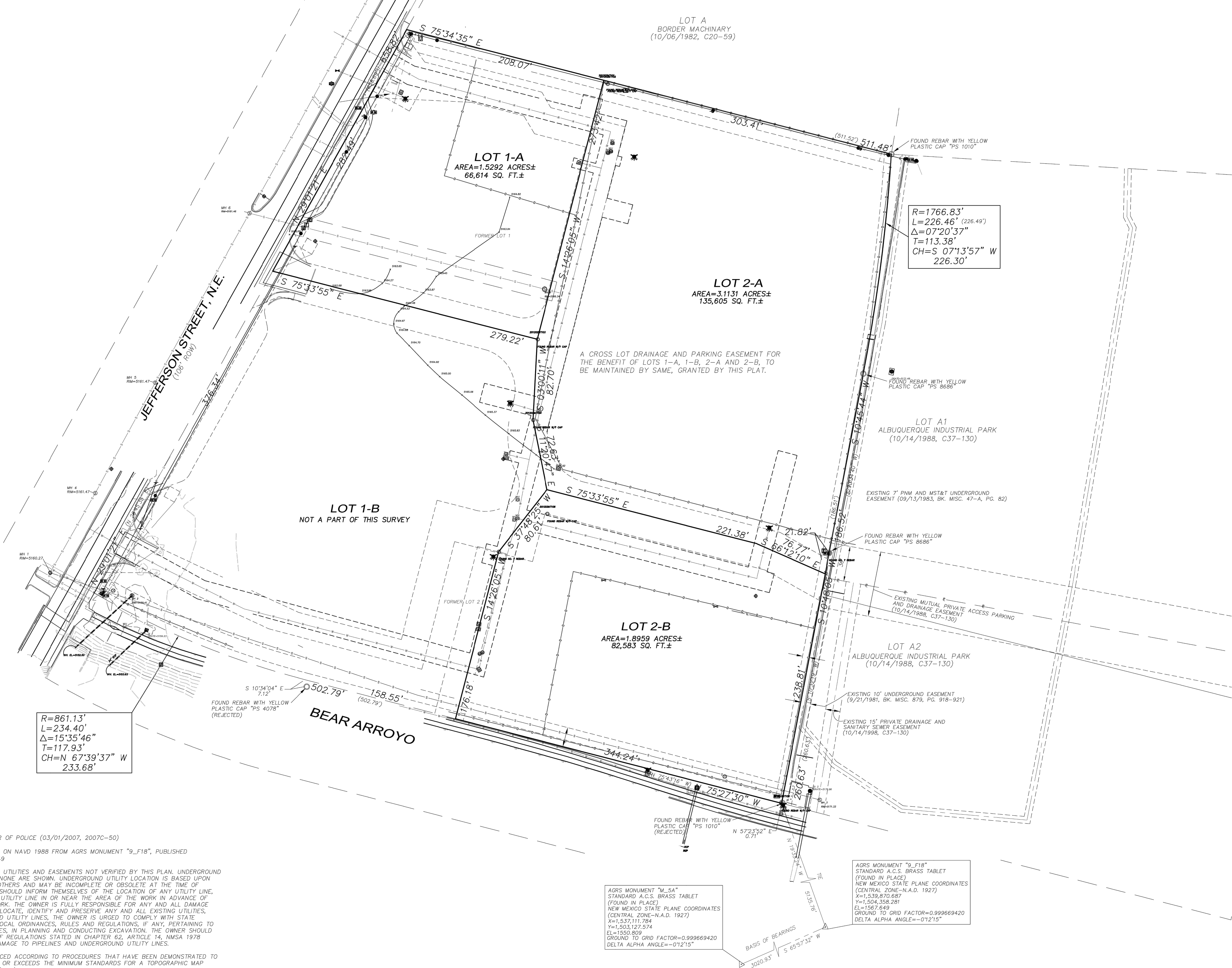
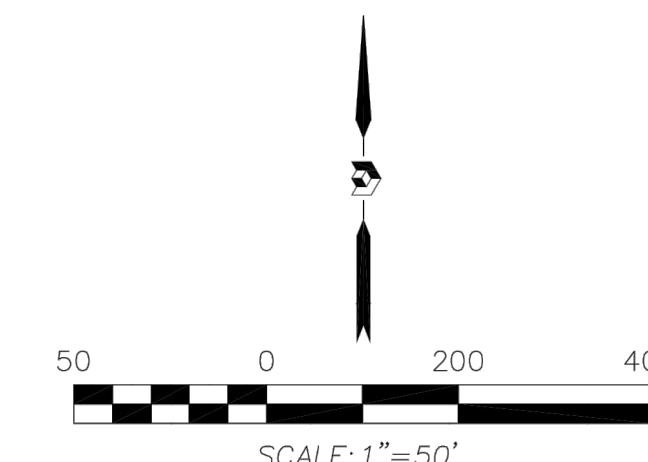






**THIS IS NOT A BOUNDARY SURVEY**  
**APPARENT LOT LINES AND PROPERTY CORNERS**  
**ARE SHOWN FOR ORIENTATION ONLY**

Topographic Survey of  
 Portion of Lots 1-A and 1-B, and all of Lots 2-A & 2-B  
**Fraternal Order of Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 December 2020



MH NO. 1 TYPE: SAS MATERIAL: UNABLE TO DETERMINE IN FIELD  RW EL. = 5160.27 N-INV. EL. = 5149.77 NE-INV. EL. = 5153.03 S-INV. EL. = 5149.54	MH NO. 2 TYPE: SD MATERIAL: UNABLE TO DETERMINE IN FIELD  RW EL. = 5159.41 NE-INV. EL. = 5155.97 NW-INV. EL. = 5151.77 S-INV. EL. = 5149.54
MH NO. 3 TYPE: SAS MATERIAL: PVC  RW EL. = 5171.33 INV. EL. = 5166.90	MH NO. 4 TYPE: SAS MATERIAL: UNABLE TO DETERMINE IN FIELD  RW EL. = 5159.41 NE-INV. EL. = 5155.97 NW-INV. EL. = 5151.77 S-INV. EL. = 5152.60
MH NO. 5 TYPE: SAS MATERIAL: UNABLE TO DETERMINE IN FIELD  RW EL. = 5161.47 INV. EL. = UNABLE TO OPEN	MH NO. 6 TYPE: SAS MATERIAL: UNABLE TO DETERMINE IN FIELD  RW EL. = 5161.46 N-INV. EL. = 5153.26 NE-INV. EL. = 5151.77 S-INV. EL. = 5153.30
MH NO. 7 TYPE: SAS MATERIAL: UNABLE TO DETERMINE IN FIELD  RW EL. = 5160.12 N-INV. EL. = 5152.19 S-INV. EL. = 5152.17 INV. EL. =	MH NO. 8 TYPE: SAS MATERIAL: UNABLE TO DETERMINE IN FIELD  RW EL. = 5156.34 E-INV. EL. = 5156.46 W-INV. EL. = 5156.39
DI NO. 1 TYPE: MEDIAN MATERIAL: RCP  GRATE EL. = 5159.23 S-INV. EL. = 5151.43	DI NO. 2 TYPE: MEDIAN MATERIAL: RCP  GRATE EL. = 5172.82 S-INV. EL. = 5165.57
DI NO. 3 TYPE: SD MATERIAL: UNABLE TO DETERMINE IN FIELD  GRATE EL. = 5170.98 N-INV. EL. = 5164.26 S-INV. EL. = 5164.21	

**Notes**

- PLAT REFERENCES:  
 A. FRATERNAL ORDER OF POLICE (03/01/2007, 2007C-50)
- ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "9\_F18", PUBLISHED ELEVATION (FEET) = 1567.649
- LOCATION OF UNDERGROUND UTILITIES AND EASEMENTS NOT VERIFIED BY THIS PLAN. UNDERGROUND UTILITIES MAY EXIST WHERE NONE ARE SHOWN. UNDERGROUND UTILITY LOCATION IS BASED UPON INFORMATION PROVIDED BY OTHERS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE OWNER SHOULD INFORM THEMSELVES OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE OWNER IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE OWNER IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE OWNER SHOULD MAKE THEMSELVES AWARE OF REGULATIONS STATED IN CHAPTER 62, ARTICLE 14, NMSA 1978 RELATING TO EXCAVATION DAMAGE TO PIPELINES AND UNDERGROUND UTILITY LINES.
- THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF 1"=50' WITH A CONTOUR INTERVAL OF ONE FOOT.
- NM ONE CALL TICKET NUMBER:

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW MEXICO, LICENSE NUMBER 11993, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY WAS PREPARED BY ME BY FIELD SURVEYS USING GPS RTK MEASUREMENTS BASED ON ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM (AGRS) MONUMENTS. ELEVATIONS BASED ON AGRS MONUMENT "9\_F18" (NAVD 1988). THIS SURVEY MEETS THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS. THIS IS NOT A BOUNDARY SURVEY.

LARRY W. MEDRANO DATE  
 N.M.P.S. No. 11993  
 DIGITAL SIGNATURE IS INVALID WITHOUT DIGITAL CERTIFICATION



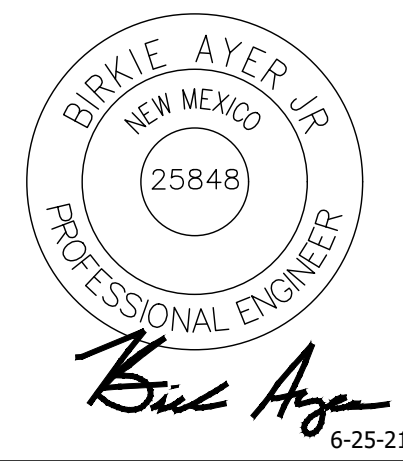
<b>COORDINATE AND DIMENSION INFORMATION</b> STATE PLANE ZONE: NM-C GRID: STANDARD HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88 ROTATION ANGLE: 0° 00' 00.00" MATCHES DRAWING UNITS CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM (AGRS) MONUMENT "9_F18" (NAVD 1988) COMPASS BEARING FACTOR: GROUND TO GROUND: 1.000332329906 GROUND TO GRID: 0.999667780500		<b>PLSS INFORMATION</b> LAND GRANT: ELENA GALLEGOS SECTION: 26 TOWNSHIP: 11 NORTH RANGE: 03 EAST MERIDIAN: NMMP CITY: ALBUQUERQUE COUNTY: BERNALILLO STATE: NM UPR: 101706235713540112		<b>PROPERTY INFORMATION</b> PROPERTY OWNER: GROUP 1 REALTY INC SUBDIVISION NAME: FRATERNAL ORDER OF POLICE ADDITION ADDRESS: 5900 JEFFERSON ST NE SECOND ADDRESS:		<b>PROJECT INFORMATION</b> SHEET NO.: 204145T SHEET NUMBER: 1 OF 1 DRAWN BY: JL CHECKED BY: LM DATE OF SURVEY: 7/27/2020	
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OFFICE LOCATION:  
 9200 San Mateo Boulevard, NE  
 Albuquerque, NM 87113  
 505.856.5700 PHONE  
 505.856.7000 FAX

EXISTING CONDITIONS FROM SURVEY PROVIDED BY PRECISION SURVEYS, INC.

AYER DESIGN GROUP  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnson Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
**SANDIA COLLISION CENTER**  
 5900 JEFFERSON STREET NE  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**EXISTING CONDITIONS PLAN**

PROJECT #	2020-1	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
#1	FOR PERMIT	4/2/21
	DRB COMMENTS	6/25/21

C00.1



**DEMOLITION NOTES**

1. PLANS MUST BE APPROVED. PRECONSTRUCTION MEETING NEEDS TO BE HELD AND THE PERMIT NEEDS TO BE ISSUED PRIOR TO ANY DEMOLITION ACTIVITIES.
2. DEMOLITION IN AREAS INDICATED SHALL CONSIST OF COMPLETE REMOVAL OF EXISTING IMPROVEMENTS.
3. ALL EXISTING FEATURES NOTED FOR DEMOLITION OR REMOVAL SHALL BE LEGALLY DISPOSED OF OFF-SITE.
4. ELECTRICAL OR GAS UTILITY SERVICES TO BE REMOVED SHALL BE REMOVED AND RELOCATED (AS INDICATED) BY THE UTILITY PROVIDER. CONTRACTOR SHALL SCHEDULE AND COORDINATE THIS WORK WITH THE APPROPRIATE SERVICE PROVIDER. ALL SERVICES SHOULD BE INSTALLED PRIOR TO THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURBS AND GUTTERS, OR INSTALLED OTHER PERMANENT FEATURES. PARKING LOT LIGHTING PLAN TO BE COORDINATED WITH UTILITY PROVIDER DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR ANY EXISTING WATER AND SEWER SERVICE RELOCATION. CONTRACTOR TO COORDINATE ANY RELOCATION WITH OWNERS REPRESENTATIVE ON-SITE.
6. ANY EXCAVATION MUST BE FILLED IN AND TAMPED AT THE CONCLUSION OF EACH WORK PERIOD, AND EQUIPMENT AND SUPPLIES RETURNED TO THE CONSTRUCTION STAGING AREA.
7. ALL MATERIALS AND CONSTRUCTION SHALL REMAIN WITHIN THE BOUNDARIES OF THE CONSTRUCTION FENCING. IF NECESSARY, CONSTRUCTION FENCING WHICH IS REMOVED TO FACILITATE ACCESS BY THE CONTRACTOR FOR CONSTRUCTION MUST BE REPLACED AT THE END OF EACH WORK PERIOD TO DIRECT PEDESTRIAN TRAFFIC AWAY FROM HAZARDOUS AREAS.
8. REMOVE EXISTING CONCRETE (WHERE REQUIRED) TO FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE FOR NEW CONSTRUCTION.
9. SAW CUT EXISTING CONCRETE AT LIMITS OF CONSTRUCTION TO OBTAIN A CLEAN EDGE.
10. CONTRACTOR SHALL RESTORE THE LAY DOWN AND STAGING AREA TO ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE OWNER, PRIOR TO DEMOBILIZATION AT THE CONCLUSION OF THE PROJECT.
11. DEMOLITION, AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE FACILITIES SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES ARE REMOVED AND NEW STRUCTURES AND PIPING ARE IMMEDIATELY PUT INTO SERVICE. CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE DOES NOT REMAIN OUT OF SERVICE FOR LONGER THAN 12 HOURS AT A TIME. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE DURING CONSTRUCTION.

 HATCHED AREAS REPRESENT AREA TO BE DEMOLISHED.

**GENERAL NOTES**

1. ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
2. CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
5. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
6. ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
7. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
8. GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
10. BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
11. BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
12. WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
13. ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEQ APPROVED LANDFILL.
14. CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO MMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
15. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
16. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
17. CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
18. ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
19. CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
20. TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
21. ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE, AND MMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
22. CONTRACTOR SHALL MAINTAIN ONE ACCESS DRIVE INTO SITE FROM JEFFERSON STREET NE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
23. ADJACENT BMY SERVICE DRIVES AND CIRCULATION SHALL BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
24. REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.

LOT A  
BORDER MACHINERY  
(10/06/1982, C20-59)

LOT 1-A  
AREA=1.5292 ACRES±  
66,614 SQ. FT.±

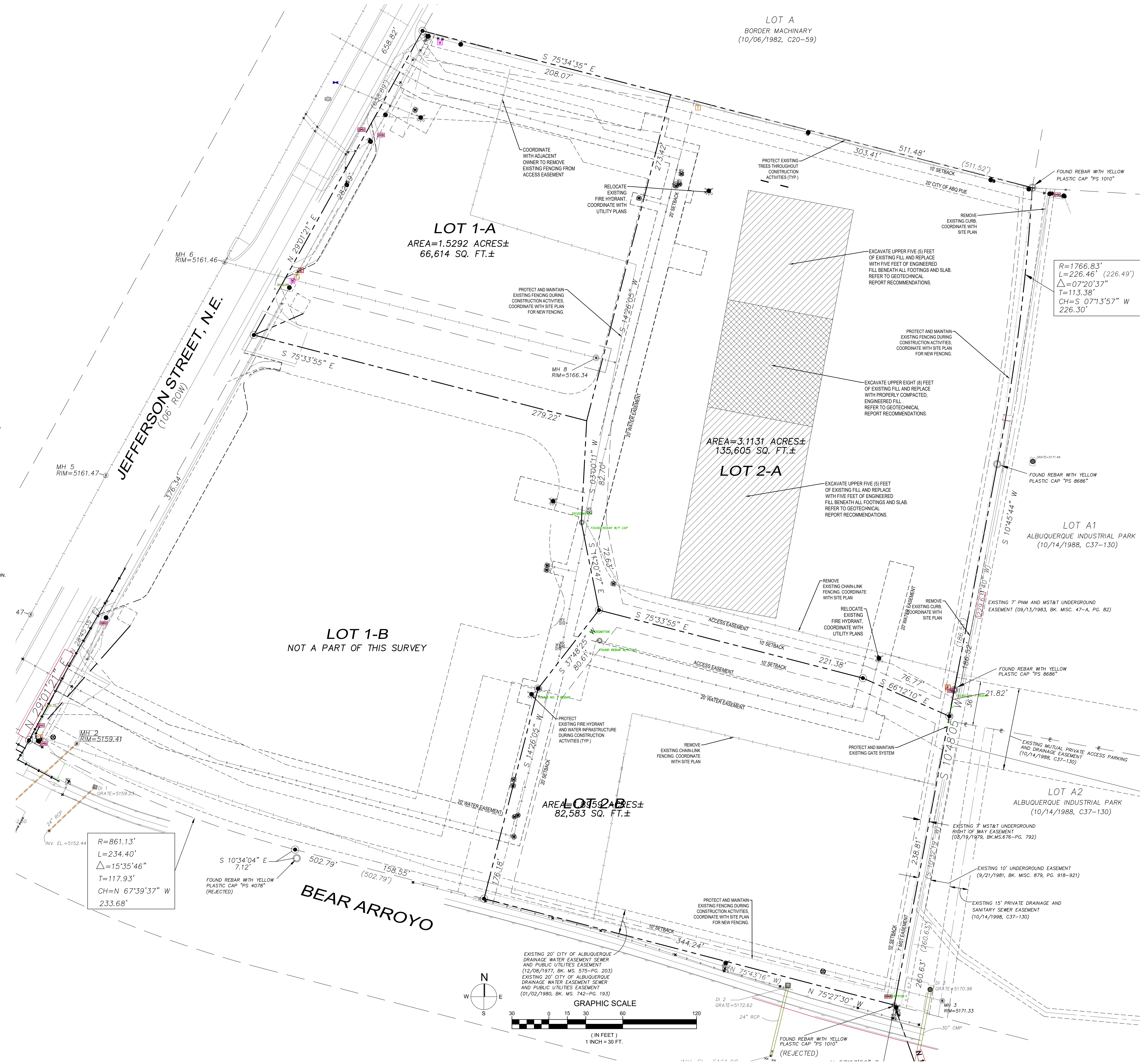
LOT 2-A  
AREA=3.1131 ACRES±  
135,605 SQ. FT.±

LOT 1-B  
NOT A PART OF THIS SURVEY

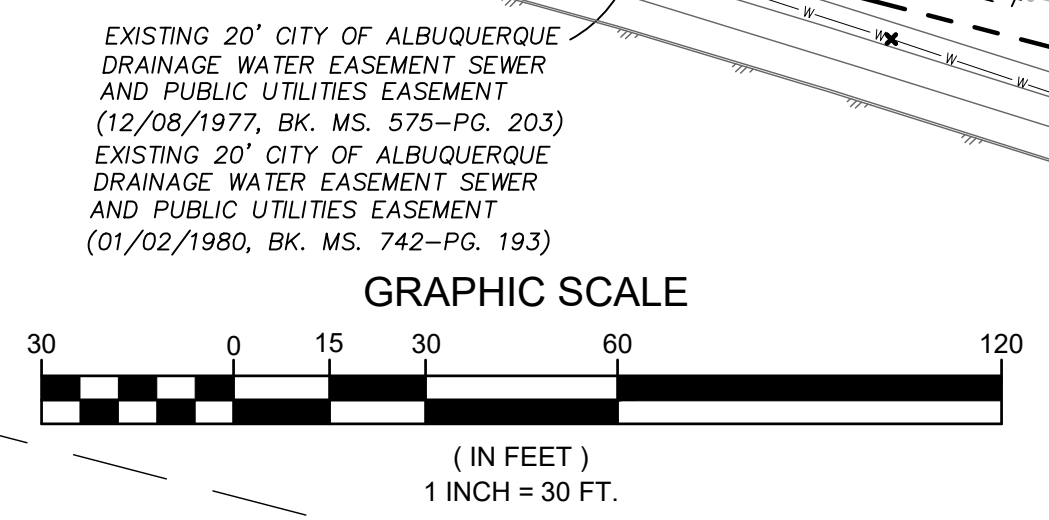
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AREA=0.9522 ACRES±  
82,583 SQ. FT.±

LOT A1  
ALBUQUERQUE INDUSTRIAL PARK  
(10/14/1988, C37-130)

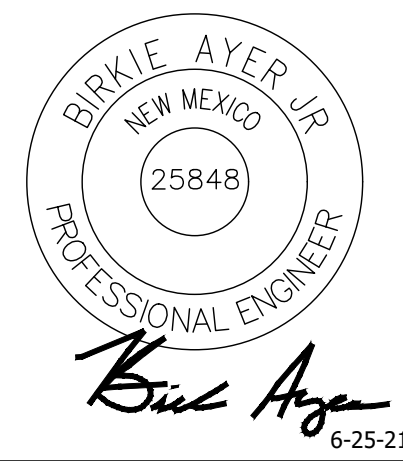
LOT A2  
ALBUQUERQUE INDUSTRIAL PARK  
(10/14/1988, C37-130)



R=861.13'  
L=234.40'  
Δ=15°35'46"  
T=117.93'  
CH=N 67°39'37" W  
233.68'



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
**SANDIA COLLISION CENTER**  
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**DEMOLITION PLAN**

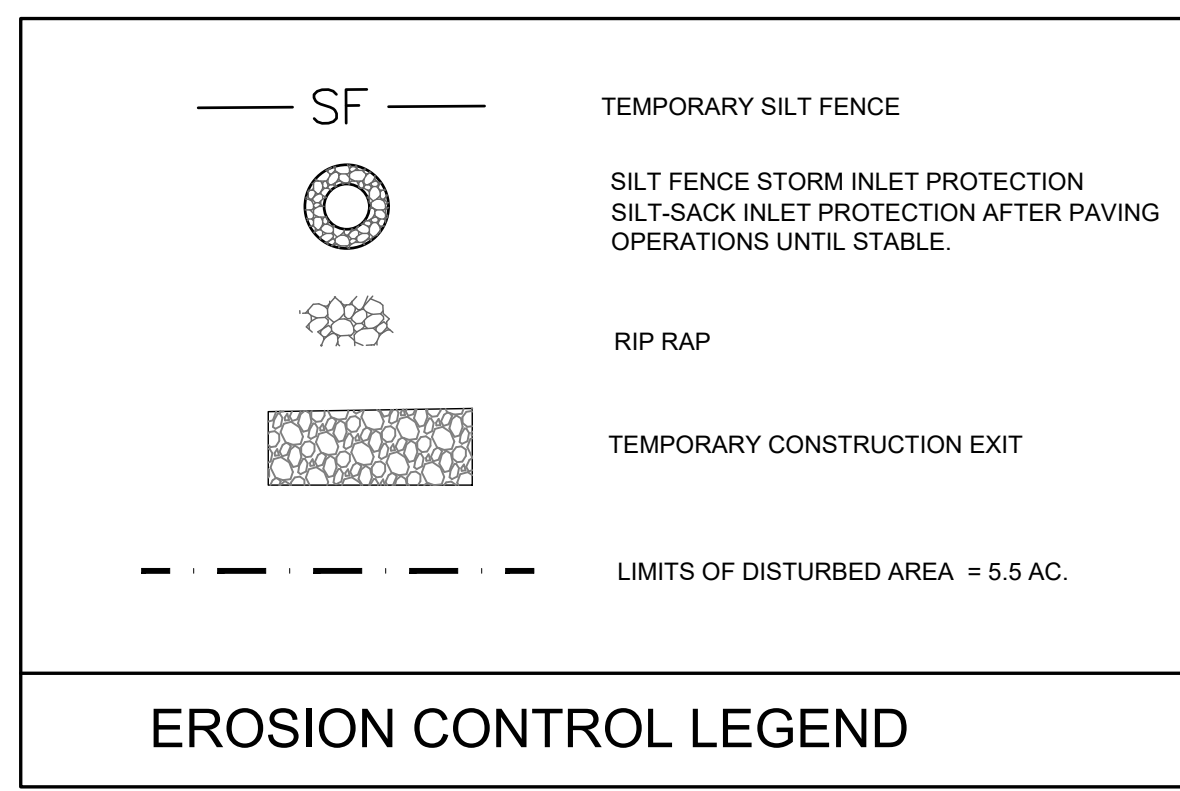
NO	ISSUE/REVISION	DATE
	FOR PERMIT	4/2/21
#1	DRB COMMENTS	6/25/21

**C01.0**



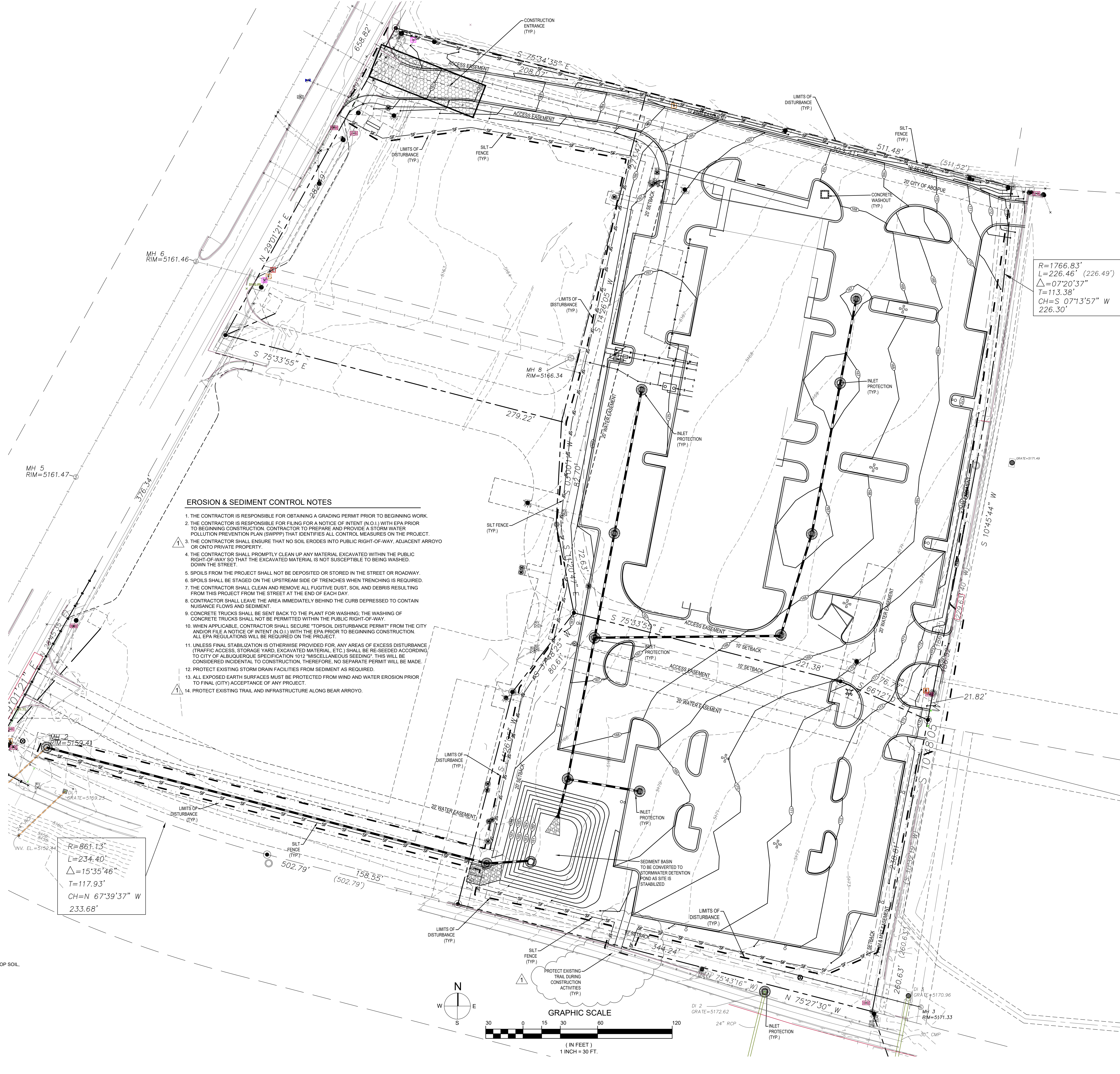






- BEST MANAGEMENT PRACTICES**
- STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
  - DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY, LOT DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLES ENTRANCE AND EXITS, ACTIONS TAKEN AND INSPECTOR'S NAME.
  - CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE.
  - COPY OF SWPPP SHALL BE KEPT ON SITE.
  - PERIMETER MUST RETAIN THE SWPPPS NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF THE PROJECT.
  - WASTE MATERIALS  
ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS SHALL BE COLLECTED AND STORED IN A SECURED LOADED METAL DUMPSTER. NO CONSTRUCTION MATERIAL SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH HAULED TO A LICENSED LANDFILL.
  - HAZARDOUS WASTE  
AT A MINIMUM ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION AND CURING COMPOUNDS AND ADDITIVES. IN EVENT OF SPILL, WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPARTMENT AND NED.
  - SANITARY WATER  
ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - SPILL PREVENTION  
THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.  
10.00 HOUSEKEEPING  
A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.  
B. NEATLY STORE MATERIAL ON-SITE IN A SECURED MANNER.  
C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER.  
D. DO NOT MIX SUBSTANCES WITH ANOTHER UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.  
E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING OF THE CONTAINER.  
FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL.
  - HAZARDOUS CONDITIONS PRACTICES TO REDUCE RISK  
A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE.  
B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS).  
C. DISPOSE OF SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - PETROLEUM PRODUCTS  
PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
  - SPILL CONTROL PRACTICES  
A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURE.  
B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.  
C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.  
D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN.  
E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY.  
F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING.
  - MAINTENANCE AND INSPECTION PROCEDURES  
ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE. BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTION OF THE SITE SHALL BE KEPT ON SITE.
  - REMARKS  
DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

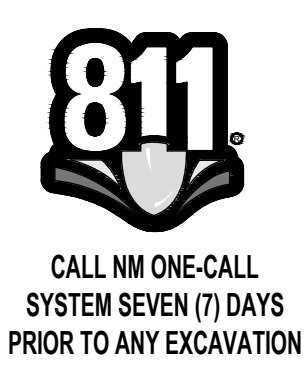
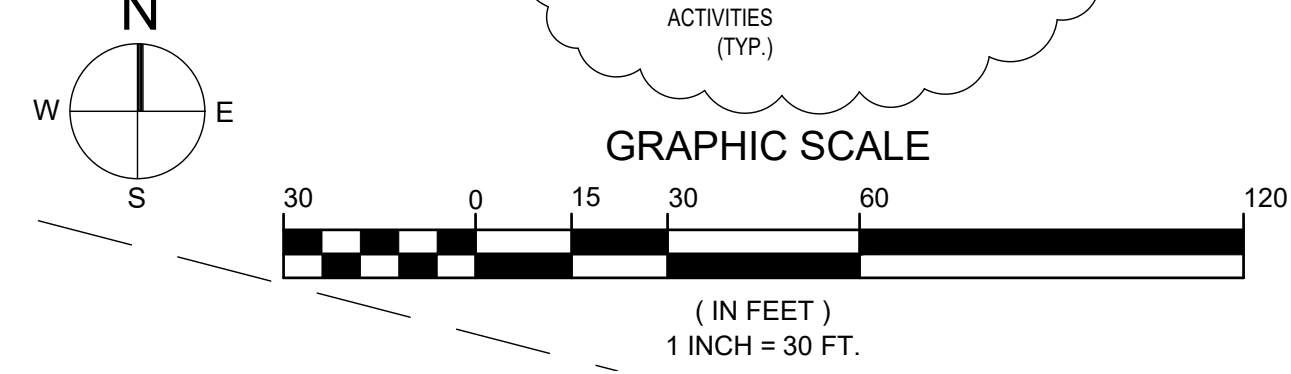
- EROSION CONTROL NOTES**
- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED DAILY UNTIL THE SLOPE IS BROUGHT TO GRADE.
  - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
    - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
    - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
  - ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY SEVEN (7) DAYS & WITHIN 24 HRS AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF (0.5) INCH. IF SITE INSPECTIONS IDENTIFY BMPs THAT ARE DAMAGED OR NOT OPERATING EFFECTIVELY, MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICABLE OR AS REASONABLY POSSIBLE AND BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE.
  - PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
  - ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
  - THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
  - TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
  - ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
  - LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
  - CONCRETE TRUCKS SHALL NOT TYPICALLY BE WASHED OUT ON SITE. SMALL CONCRETE TRUCK WASHOUT BE LIMITED ON SITE. COORDINATE LOCATION AND BARRS WITH SITE INSPECTOR.
    - DO NOT DISPOSE OF CONCRETE TRUCK WASHOUT WASTE BY DUMPING INTO A SANITARY SEWER, STORM DRAIN OR ONTO SOIL OR PAVEMENT THAT CARRIES STORM WATER RUNOFF.
    - THE WASHOUT FROM CONCRETE TRUCKS SHOULD BE DISPOSED OF INTO:
      - A DESIGNATED AREA THAT WILL LATER BE BACKFILLED (SLURRY PIT)
      - AN AREA WHERE THE CONCRETE WASH CAN HARDEN AND THEN BE DISPOSSED OF AS SOLID WASTE.
      - A LOCATION WHICH IS NOT SUBJECT TO WATER RUNOFF, AND MORE THAN 50 FEET AWAY FROM A STORM DRAIN, OPEN DITCH OR RECEIVING WATER WAY.
    - PUMP EXCESS CONCRETE IN CONCRETE PUMP BACK INTO CONCRETE MIXER TRUCK.
    - CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSSED OFF-SITE.
  - ALL CHEMICAL SPILLS, OIL SPILLS, OR FISH KILLS MUST BE REPORTED TO NEW MEXICO ENVIRONMENTAL DEPARTMENT AT 855-827-9329.
  - TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION WORKERS AND SITE VISITORS IN ACCORDANCE WITH 2006 INTERNATIONAL PLUMBING CODE GENERAL REGULATIONS, SECTION 311. PORTABLE FACILITIES SHALL BE PLACED ON LEVEL GROUND AND AWAY FROM STORM DRAINAGE SYSTEMS (DITCHES, CATCH BASINS, ETC.) DISPOSAL AND HANDLING OF SANITARY WASTE MUST COMPLY WITH ODEO REQUIREMENTS.
  - FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4"-6" OF CLEAN TOP SOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.
  - CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING PREPARATION OF A SWPPP AND NOI. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, AND NOI TO CITY OF ALBUQUERQUE AND KEEP ON SITE UNTIL CONSTRUCTION COMPLETION.



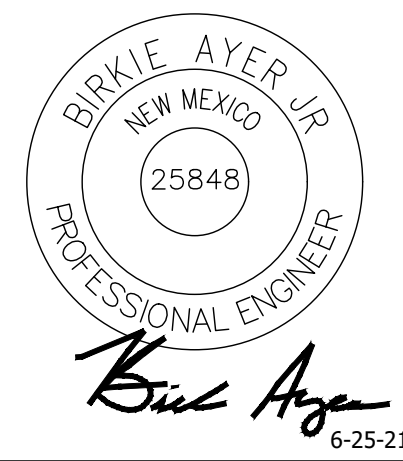
- EROSION & SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR FILING FOR A NOTICE OF INTENT (NOI) WITH EPA PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO PREPARE AND PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT IDENTIFIES ALL CONTROL MEASURES ON THE PROJECT.
  - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES INTO PUBLIC RIGHT-OF-WAY, ADJACENT ARROYO OR ONTO PRIVATE PROPERTY.
  - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
  - SPOILS FROM THE PROJECT SHALL NOT BE DEPOSITED OR STORED IN THE STREET OR ROADWAY.
  - SPOILS SHALL BE STAGED ON THE UPSTREAM SIDE OF TRENCHES WHEN TRENCHING IS REQUIRED.
  - THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT FROM THE STREET AT THE END OF EACH DAY.
  - CONTRACTOR SHALL LEAVE THE AREA IMMEDIATELY BEHIND THE CURB DEPRESSED TO CONTAIN NUISANCE FLOWS AND SEDIMENT.
  - CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING. THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.
  - WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (NOI) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT.
  - UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDDED ACCORDING TO CITY OF ALBUQUERQUE SPECIFICATION 1012 "MISCELLANEOUS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PERMIT WILL BE MADE.
  - PROTECT EXISTING STORM DRAIN FACILITIES FROM SEDIMENT AS REQUIRED.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
  - PROTECT EXISTING TRAIL AND INFRASTRUCTURE ALONG BEAR ARROYO.

$R=1766.83'$   
 $L=226.46'$  (226.49')  
 $\Delta=07^{\circ}20'37''$   
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**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnson Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
**SANDIA COLLISION CENTER**

5900 JEFFERSON STREET NE  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**EROSION CONTROL PLAN**

NO	ISSUE/REVISION	DATE
#1	FOR PERMIT	4/2/21
#1	DRB COMMENTS	6/25/21

PROJECT #	2020-1
DRAWN BY	CC
CHECKED BY	BA

**C03.0**



**GRADING NOTES**

CONTRACTOR TO PROVIDE AS-BUILTS FOR ALL PRIVATE DETENTION, WATER QUALITY FACILITIES AND STORM DRAIN SYSTEMS. AS-BUILTS TO BE FIELD SURVEYED AND SEALED BY LICENSED SURVEYOR.

CONCRETE TRUCKS SHALL NOT TYPICALLY BE WASHED OUT ON SITE. SHOULD CONCRETE TRUCK WASHOUT BE PERMITTED ON SITE, COORDINATE LOCATION AND BMP'S WITH SITE INSPECTOR.  
 A. DO NOT DISPOSE OF CONCRETE TRUCK WASHOUT WASTE BY DUMPING INTO A SANITARY SEWER, STORM DRAIN OR ONTO SOIL OR PAVEMENT THAT CARRIES STORM WATER RUNOFF.

B. THE WASHOUT FROM CONCRETE TRUCKS SHOULD BE DISPOSED OF INTO:  
 - A DESIGNATED AREA THAT WILL LATER BE BACKFILLED (SLURRY PIT)  
 - AN AREA WHERE THE CONCRETE WASH CAN HARDEN AND THEN BE DISPOSED OF AS SOLID WASTE  
 - A LOCATION WHICH IS NOT SUBJECT TO WATER RUNOFF, AND MORE THAN 50 FEET AWAY FROM  
 - A STORM DRAIN, OPEN DITCH OR RECEIVING WATER WAY.

C. PUMP EXCESS CONCRETE IN CONCRETE PUMP BACK INTO CONCRETE MIXER TRUCK.  
 D. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.

TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION WORKERS AND SITE VISITORS IN ACCORDANCE WITH 2006 INTERNATIONAL PLUMBING CODE GENERAL REGULATIONS, SECTION 311. PORTABLE FACILITIES SHALL BE PLACED ON LEVEL GROUND AND AWAY FROM STORM DRAINAGE SYSTEMS (DITCHES, CATCH BASINS, ETC.) DISPOSAL AND HANDLING OF SANITARY WASTE MUST COMPLY WITH TCEG REQUIREMENTS.

FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4"-6" OF CLEAN TOP SOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.

SPOT GRADES SHOWN ARE FINISHED SURFACE ELEVATIONS. CONTRACTOR MUST MAKE ALLOWANCE FOR PAVEMENT THICKNESS.

WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, THE TOP 12" SHALL BE CONSTRUCTED FROM BRICK OR BLOCK TO ALLOW ADJUSTMENTS TO FINAL GRADE.

WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, NO WAFFLE WALL BOXES OR KNOCK OUT PANELS WILL BE ALLOWED.

M.E.G. = MATCH EXISTING GRADE

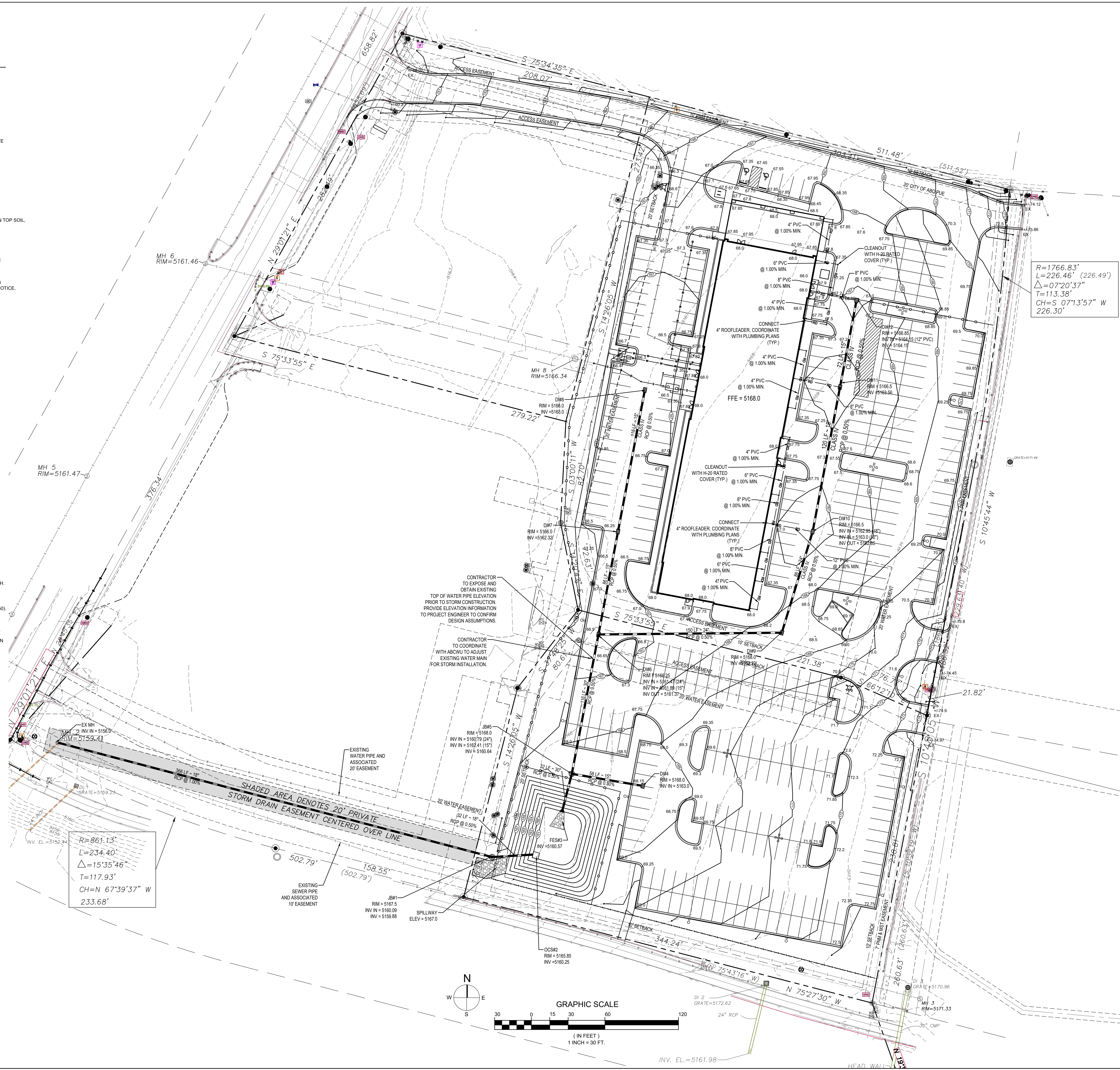
CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING PREPARATION OF A SWPPP AND FILING NOI. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, AND NOI TO CITY OF ALBUQUERQUE AND KEEP ON SITE UNTIL CONSTRUCTION COMPLETION.

**EROSION & SEDIMENT CONTROL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR FILING FOR A NOTICE OF INTENT (NOI) WITH EPA PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO PREPARE AND PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT IDENTIFIES ALL CONTROL MEASURES ON THE PROJECT.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES INTO PUBLIC RIGHT-OF-WAY OR ONTO
4. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
5. SPOILS FROM THE PROJECT SHALL NOT BE DEPOSITED OR STORED IN THE STREET OR ROADWAY.
6. SPOILS SHALL BE STAGED ON THE UPSTREAM SIDE OF TRENCHES WHEN TRENCHING IS REQUIRED.
7. THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT FROM THE STREET AT THE END OF EACH DAY.
8. CONTRACTOR SHALL LEAVE THE AREA IMMEDIATELY BEHIND THE CURB DEPRESSED TO CONTAIN NUISANCE FLOWS AND SEDIMENT.
9. CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING; THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.
10. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (NOI) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT.
11. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC) SHALL BE RE-SEEDING ACCORDING TO CITY OF ALBUQUERQUE SPECIFICATION 1012 "MISCELLANEOUS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PERMIT WILL BE MADE.
12. PROTECT EXISTING STORM DRAIN FACILITIES FROM SEDIMENT AS REQUIRED.
13. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CONSTRUCTION NOTES**

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 200E020450). UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. ALL LANDSCAPE AND PAVED AREAS ADJACENT TO THE BUILDING SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE.

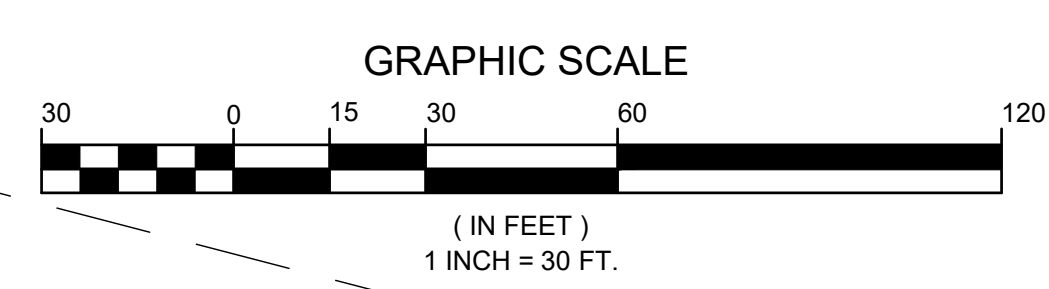
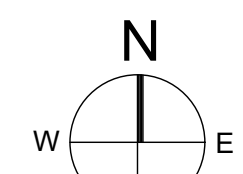


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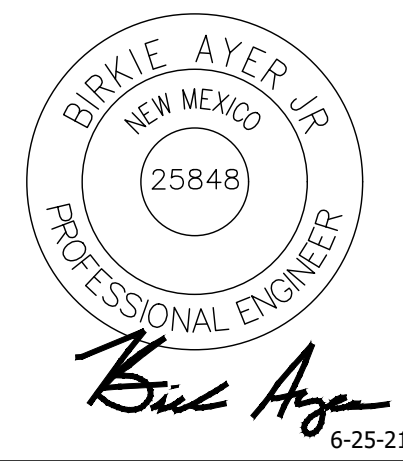
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CONTRACTOR TO EXPOSE AND OBTAIN EXISTING TOP OF WATER PIPE ELEVATION PRIOR TO STORM CONSTRUCTION. PROVIDE ELEVATION INFORMATION TO PROJECT ENGINEER TO CONFIRM DESIGN ASSUMPTIONS.

CONTRACTOR TO COORDINATE WITH ABOVE TO ADJUST EXISTING WATER MAIN FOR STORM INSTALLATION.



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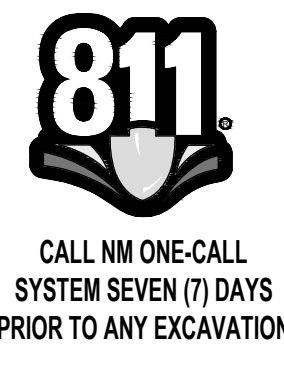
PROJECT NAME:

**SANDIA COLLISION CENTER**

5900 JEFFERSON STREET NE  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**GRADING PLAN**

PROJECT #	2020-1	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
#1	DRB COMMENTS	6/25/21



**C04.0**



**WATER NOTES**

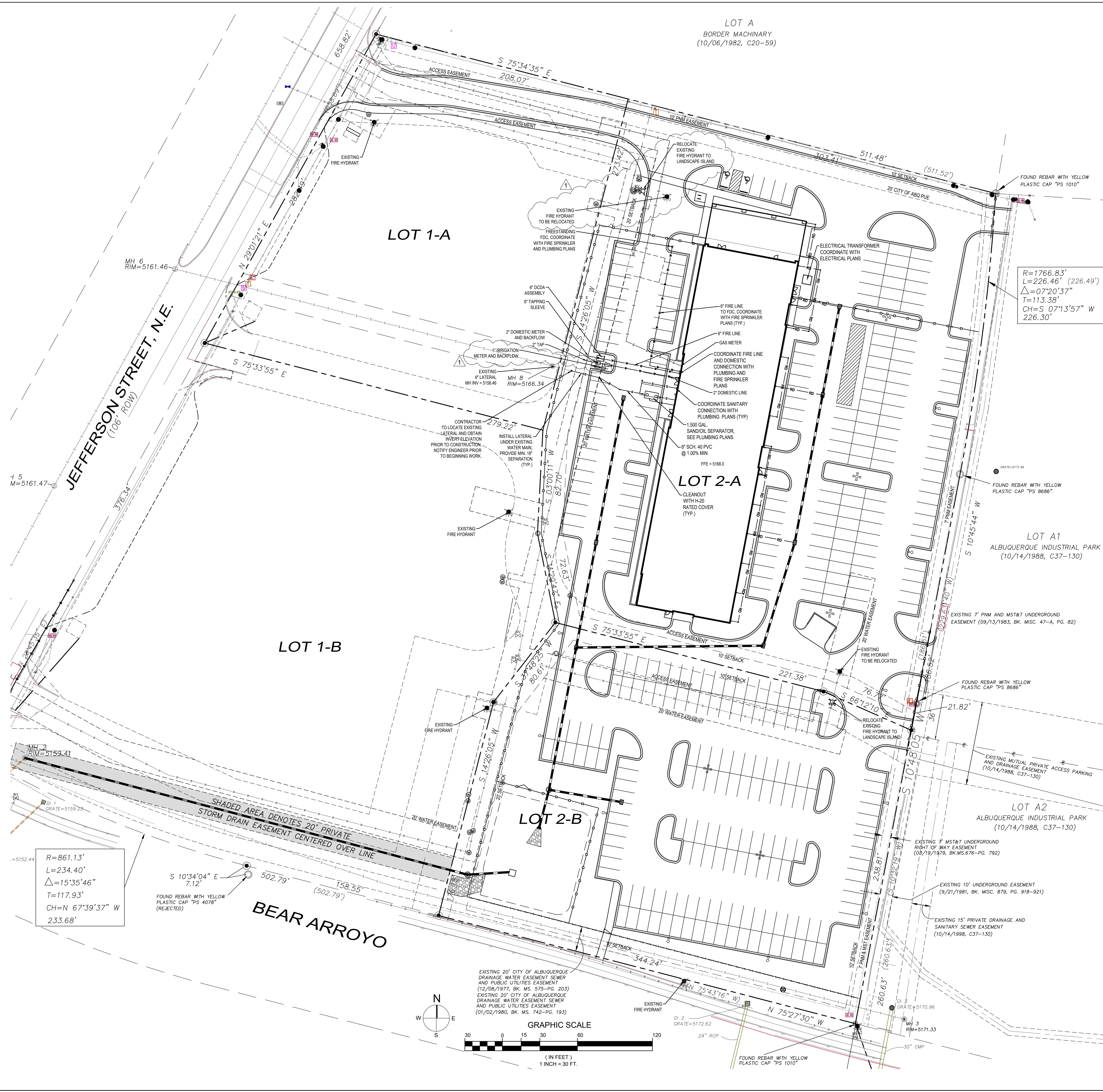
1. ALL NEW PUBLIC WATER MAIN IS TO BE 8" DIP UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO FIELD VERIFY SIZE AND TYPE OF EXISTING LINES AT THE POINTS PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF DISCREPANCIES EXIST.
3. 2 INCH DOMESTIC WATER SERVICE TO BE TYPE K COPPER.
4. ALL SERVICES ARE TO BE LOCATED ON THE USER SIDE OF SIDEWALKS.
5. CONTRACTOR TO INSTALL COATED 14 GAUGE SOLID COPPER TRACER WIRE FOR ALL PVC WATERLINES. TRACER WIRE SHALL MAKE A MIN. 2' LOOP UP & OUT OF VALVE BOX TOP.
6. ALL DUCTILE IRON WATER PIPE TO HAVE MECHANICAL JOINT FITTINGS.
7. WATER FITTINGS FOR SERVICES TO HAVE A MINIMUM WORKING PRESSURE OF 150 PSI.
8. PIPE DEFLECTION AT EACH JOINT IS NOT TO EXCEED PIPE MANUFACTURER'S RECOMMENDATIONS. WHERE RELOCATION DEFLECTION EXCEEDS THE RECOMMENDATIONS, MAKE THE DEFLECTION OVER MULTIPLE PIPE JOINTS.
9. MAINTAIN 12" MINIMUM CLEARANCE BETWEEN WATER & STORM DRAIN PIPES. CENTER A 20' LENGTH OF DI WATER PIPE ON THE STORM DRAIN PIPE AT ALL CROSSINGS.
10. SEE DETAIL SHEET FOR TYPICAL SEWER LINE CROSSINGS.
11. ALL WATER WORK, PLANS & MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF ABCWUA UTILITIES AND THE CITY OF ALBUQUERQUE.
12. WATER & SANITARY SEWER SEPARATION SHALL BE 10 FT. (CLEAR) IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
13. WATER FEES AS APPLICABLE ARE TO BE PAID TO ABCWUA.

**SEWER NOTES**

1. ALL SANITARY SEWER SERVICES ARE TO BE SCHEDULE 40 PVC.
2. STONE BEDDING IS REQUIRED FOR ALL PVC SEWER PIPE.
3. ALL SEWER SERVICES ARE TO BE LOCATED AS INDICATED ON THE PLANS AND 10' FROM WATER SERVICE UNLESS NOTED OTHERWISE.
4. PLEASE NOTE ALL CLEANOUTS HAVE NOT BEEN INDICATED ON THE PLAN. CLEANOUTS SHALL BE LOCATED PER THE INTERNATIONAL PLUMBING CODE CURRENT VERSION AND THE STANDARDS AND SPECIFICATIONS OF EL PASO WATER UTILITIES AND THE CITY OF EL PASO.
5. DRAIN OR FUTURE OUTLETS WHICH ARE AT AN ELEVATION LOWER THAN THE TOP OF THE NEAREST DOWNSTREAM SANITARY SEWER MANHOLE SHALL BE PROTECTED FROM SEWAGE BACKUP WITH THE INSTALLATION OF A BACKFLOW PREVENTION DEVICE.
6. ALL SEWER WORK, PLANS & MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF ABCWUA UTILITIES AND THE CITY OF ALBUQUERQUE.
7. ALL NEW MANHOLES IN FLOOD PLAIN ARE REQUIRED TO BE SEALED AND VENTED.
8. SEWER FEES AS APPLICABLE ARE TO BE PAID TO ABCWUA.
9. THE CONTRACTOR, PRIOR TO POURING THE BUILDING SLAB AND FOUNDATION, SHALL VERIFY THE ACCESSIBILITY OF THE SANITARY SEWER SERVICE AND OBTAIN CONFIRMATION FROM THE DESIGN ENGINEER REGARDING SANITARY SEWER SERVICE FUNCTIONALITY.

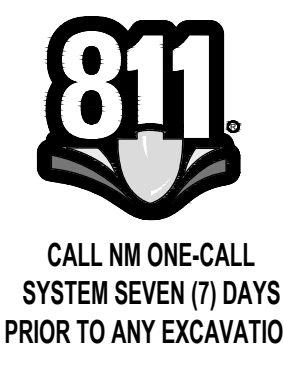
**GENERAL NOTES**

1. ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM CONTROL DEVICES FOR STREETS & HIGHWAYS".
2. CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL CHARGE TO THE OWNER.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
5. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
6. ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
7. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
8. GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
10. BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
11. BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
12. WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
13. ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEE APPROVED LANDFILL.
14. CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
15. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
16. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
17. CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
18. ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
19. CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
20. TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
21. ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
22. CONTRACTOR SHALL MAINTAIN ONE ACCESS DRIVE INTO SITE FROM JEFFERSON STREET NE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
23. ADJACENT BMW SERVICE DRIVES AND CIRCULATION SHALL BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
24. REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.



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PROJECT NAME:  
**SANDIA COLLISION CENTER**  
 5900 JEFFERSON STREET NE  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**UTILITY PLAN**

NO	ISSUE/REVISION	DATE
	FOR PERMIT	4/2/21
#1	DRB COMMENTS	6/25/21

PROJECT #	2020-1
DRAWN BY	CC
CHECKED BY	BA

**C05.0**



**LANDSCAPE NOTES**

1. ALL DISTURBED AREAS NOT SPECIFIED AS LANDSCAPE AREA OR HARDSCAPE TO BE MULCHED WITH ROCK MULCH
2. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION. NOTIFY ENGINEER/ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
3. SEE SHEET C07.0 FOR LANDSCAPE DETAILS AND SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGE TO EXISTING UTILITIES THAT MAY OCCUR.
5. CONTRACTOR TO PROVIDE IRRIGATION PLAN TO ENGINEER/ARCHITECT FOR REVIEW AND APPROVAL.
6. COORDINATE LANDSCAPE INSTALLATION WITH IRRIGATION CONSTRUCTION.
7. ENSURE FINAL GRADES IN LANDSCAPED AND GRASSED AREAS PROVIDE POSITIVE DRAINAGE.
8. FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4" OF UNCOMPACTED, CLEAN TOPSOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.
9. ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
10. SOIL REQUIRED FOR PLANTING MIXES SHALL BE PROVIDED BY THE CONTRACTOR WHO SHALL LOAD, HAUL, MIX AND DISTRIBUTE ALL TOPSOIL AND AMENDMENTS SUCH AS ORGANICS, HUMUS, COMPOSTED MATERIAL OR NATIVE MATERIAL AS REQUIRED.
11. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS. LOOSEN COMPACTED SOIL TO MINIMUM 24" DEPTH AND PROVIDE SOIL AMENDMENTS MIXED INTO THE TOP 18" MINIMUM OR FOR UNCOMPACTED AREAS, AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS.
12. PLANTING MIX SHALL BE NATURAL, FERTILE AGRICULTURAL TOPSOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT MAY BE DEVELOPED BY AMENDING THE EXISTING SOIL OR REMOVING THE EXISTING SOIL AND REPLACING WITH NEW SOIL. IT SHALL BE FREE OF STONES AND OTHER LIVE PLANTS OR THEIR ROOTS, STICKS AND/OR ANY OTHER OTHER THAN FRIABLE SOIL.
13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY FIELD ADJUSTMENTS REQUIRED TO AVOID DRAINAGE PATTERNS OR STRUCTURES, UTILITIES, UNDERGROUND OR OVERHEAD OR RELOCATIONS OF PROPOSED VEGETATION BECAUSE OF SITE CONDITIONS.
14. STONE MULCH TO BE 3/4" GRANITE "GREY ROCK" AT A DEPTH OF 3"-4", OR APPROVED EQUAL.
15. WOOD MULCH TO BE ORGANIC WOOD OR BARK MULCH AT A DEPTH OF 3"-4", OR APPROVED EQUAL.
16. INSTALL METAL EDGING, OR APPROVED EQUAL, BETWEEN AREAS OF STONE AND WOOD MULCH.
17. SANDIA COLLISION CENTER OWNER WILL BE RESPONSIBLE FOR MAINTAINING LANDSCAPING AND ASSOCIATED IRRIGATION SYSTEMS DURING CONSTRUCTION PROJECT IS COMPLETED.

**PLANTING LEGEND & SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	QUERCUS FUSIFORMIS	ESCAPMENT LIVE OAK	PER PLAN	2" CAL.
	ULMUS PARVIFOLIA	LACEBARK ELM	PER PLAN	2" CAL.
	CERCIS RENIFORMIS	OKLAHOMA RED BUD	PER PLAN	1.5" CAL.
	RHUS VIRENS	EVERGREEN SUMAC	PER PLAN	3 GAL.
	ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	PER PLAN	3 GAL.
	ARTEMISIA BIGELOVII	BIGELOW'S SAGE	PER PLAN	1 GAL.
	MUHLENBERGIA RIGIDA	PURPLE MUHLY	PER PLAN	1 GAL.

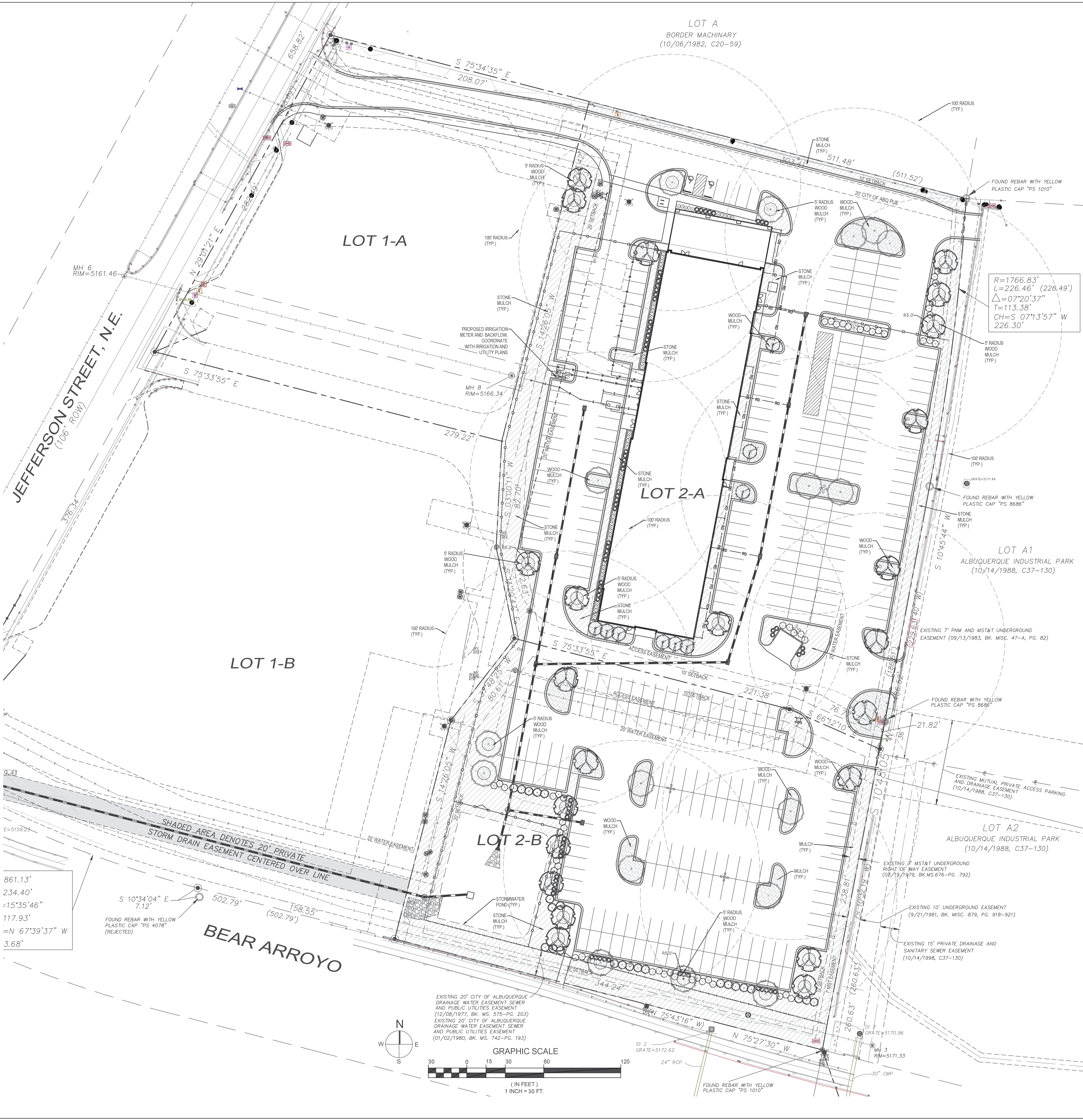
- 3/4" GRANITE GRAVEL MULCH
- HARDWOOD DOUBLE HAMMERED MULCH

**LANDSCAPE REQUIREMENTS**

LANDSCAPE AREA REQUIREMENTS:	LANDSCAPE AREA PROVIDED:
LOT 2-A: 135,605 SF TOTAL BUILDING FOOTPRINT = 22,733 SF NET LOT AREA: 135,605 SF - 22,733 SF = 112,872 SF REQUIRED LANDSCAPE AREA = 15% OF NET LOT AREA 112,872 SF X 15% = 16,930.8 SF LANDSCAPE AREA PROVIDED = 17,329 SF	LOT 2-B: 82,583 SF NET LOT AREA: 82,583 SF REQUIRED LANDSCAPE AREA = 15% OF NET LOT AREA 82,583 SF X 15% = 12,387.45 SF LANDSCAPE AREA PROVIDED = 12,513 SF
INTERNAL PARKING LOT LANDSCAPE REQUIREMENTS:	INTERNAL PARKING LOT LANDSCAPE REQUIREMENTS:
LOT 2-A PARKING AREA: 82,582 SF REQ. PARKING LANDSCAPE AREA = 15% OF PARKING AREA 82,582 SF X 15% = 12,387 SF REQUIRED LANDSCAPE AREA PROVIDED = 12,625 SF	LOT 2-B PARKING AREA: 51,401 SF REQ. PARKING LANDSCAPE AREA = 15% OF PARKING AREA 51,401 SF X 15% = 7,710 SF REQUIRED LANDSCAPE AREA PROVIDED = 9,828 SF
TREE REQUIREMENTS	TREE REQUIREMENTS
1 TREE PER 10 PARKING SPACES LOT 2-A PARKING SPACES = 189 SPACES 189 SPACES / 10 = 18.9 TREES REQUIRED 21 TREES PROVIDED	1 TREE PER 10 PARKING SPACES LOT 2-B PARKING SPACES = 158 SPACES 158 SPACES / 10 = 15.8 TREES REQUIRED 19 TREES PROVIDED

**GENERAL NOTES**

1. ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS"
2. CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
5. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
6. ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
7. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
8. GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
10. BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
11. BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
12. WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
13. ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEO APPROVED LANDFILL.
14. CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
15. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
16. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
17. CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
18. ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
19. CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
20. TRANSITION PROPOSED CONCRETE CURBS, PAVEMENT AND SIDEWALK INTO EXISTING CURBS, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWELED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
21. ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
22. CONTRACTOR SHALL MAINTAIN ONE ACCESS DRIVE INTO SITE FROM JEFFERSON STREET NE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
23. ADJACENT BMW SERVICE DRIVES AND CIRCULATION SHALL BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
24. REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.

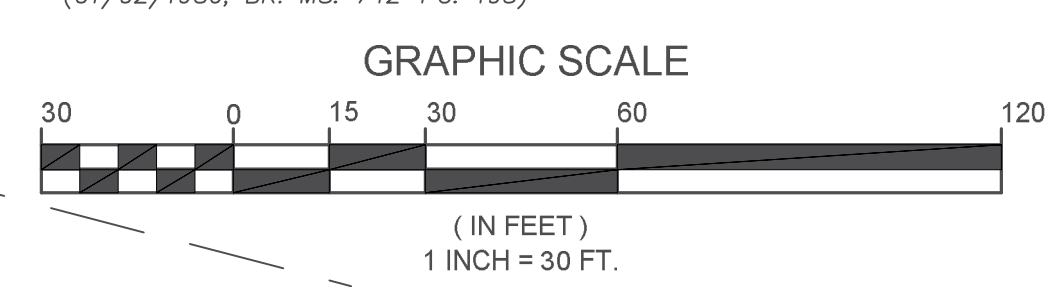


LOT A  
BORDER MACHINERY  
(10/06/1982, C20-59)

R=1766.83'  
L=226.46' (226.49')  
Δ=07°20'37"  
T=113.38'  
CH=S 07°13'57" W  
226.30'

JEFFERSON STREET, N.E.  
(106' ROW)

BEAR ARROYO  
SHADED AREA DENOTES 20' PRIVATE STORM DRAIN EASEMENT CENTERED OVER LINE



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
**SANDIA COLLISION CENTER**  
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**LANDSCAPE PLAN**

NO.	ISSUE/REVISION	DATE
#1	DRB COMMENTS	6/25/21

PROJECT #	2020-1
DRAWN BY	CC
CHECKED BY	BA

**C06.0**



# PLANTING SPECIFICATIONS

## GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE NEW MEXICO DEPARTMENT OF AGRICULTURE AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE NEW MEXICO DEPARTMENT OF AGRICULTURE OR THE NEW MEXICO STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

## PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPED PLANTS:**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRUING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.**
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.**
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.**
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8, MOISTURE CONTENT 55 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10 DECEMBER/MS/NM, NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.**
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).**
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.**
- I. WEED FABRIC: 5 OZ. WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).**
- J. TREE STAKING AND GUYING**
- STAKES: 6 LONG GREEN METAL T-POSTS.
  - GUY AND TIE WIRE: ASTM A641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- K. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.**
- L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.**

## METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
    - CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - AMMONIUM PHOSPHATE 16-20-0 - 15 LBS PER 1,000 S.F.
      - AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
      - AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
      - IRON SULFATE - 2 LBS. PER CU. YD.
  - CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
  - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.

## B. GENERAL PLANTING

- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES:
  - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (45) ABOVE THE AVERAGE GRADE AT THE TRUNK.
  - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

## C. TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
- SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- BACKFILL THE TREE HOLES UTILIZING THE EXISTING TOPSOIL, FROM ON-SITE. ROCKS LARGER THAN 1" DIA AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
- THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
  - 1"-2" TREES: TWO STAKES PER TREE
  - 2-1/2"-4" TREES: THREE STAKES PER TREE
  - TREES OVER 4" CALIPER: GUY AS NEEDED
  - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

## D. SHRUB, PERENNIAL AND GROUND COVER PLANTING

- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
- INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
- WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

## E. HYDROMULCHING

- TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
  - WINTER MIX (OCTOBER 1 - MARCH 31)
    - 50# CELLULOSE FIBER MULCH
    - 2# UNHULLED BERMUDA SEED
    - 2# ANNUAL RYE SEED
    - 5# 15-15-15 WATER SOLUBLE FERTILIZER
  - SUMMER MIX (APRIL 1 - SEPTEMBER 30)
    - 50# CELLULOSE FIBER MULCH
    - 2# HULLED BERMUDA SEED
    - 1# 15-15-15 WATER SOLUBLE FERTILIZER

## F. CLEAN UP

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- REMOVE LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

## G. INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

## H. LANDSCAPE MAINTENANCE

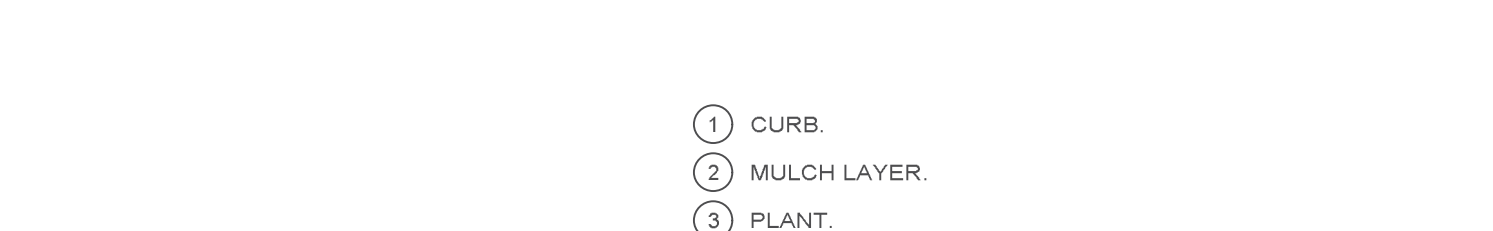
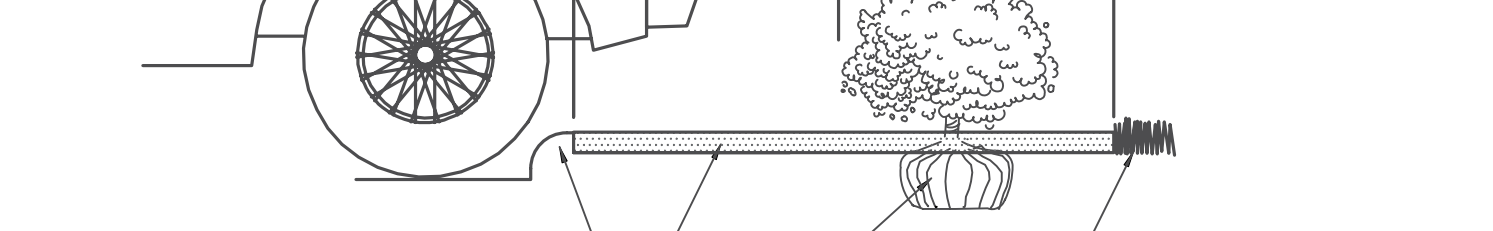
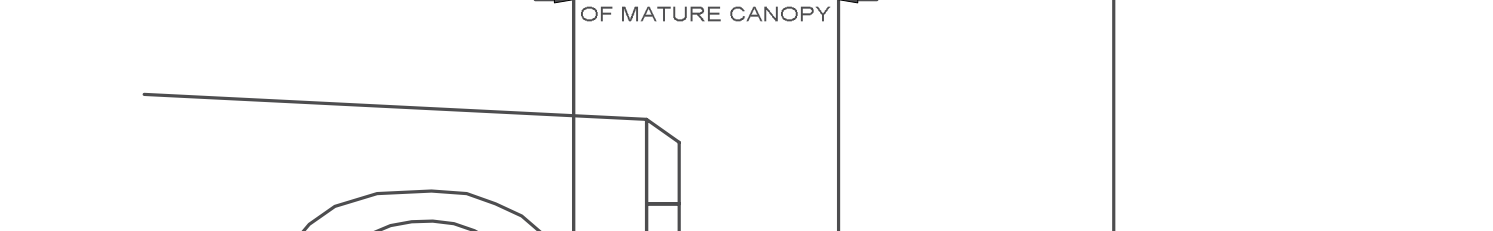
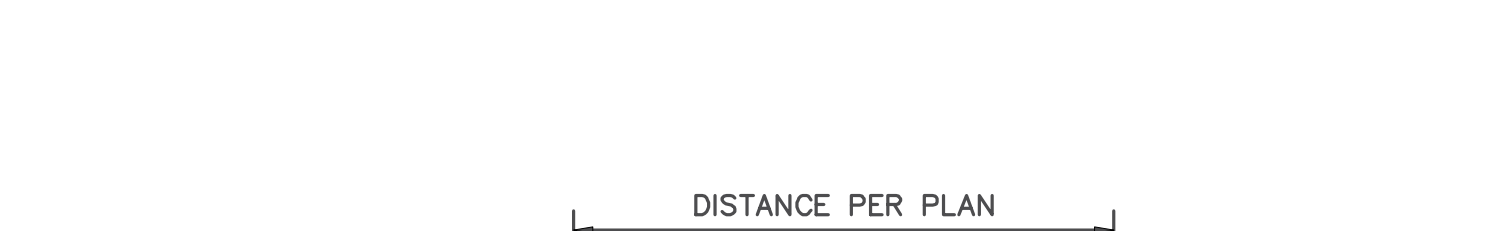
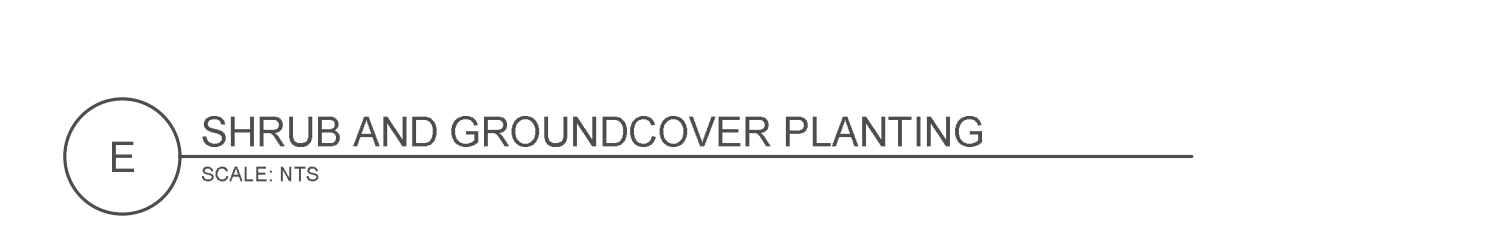
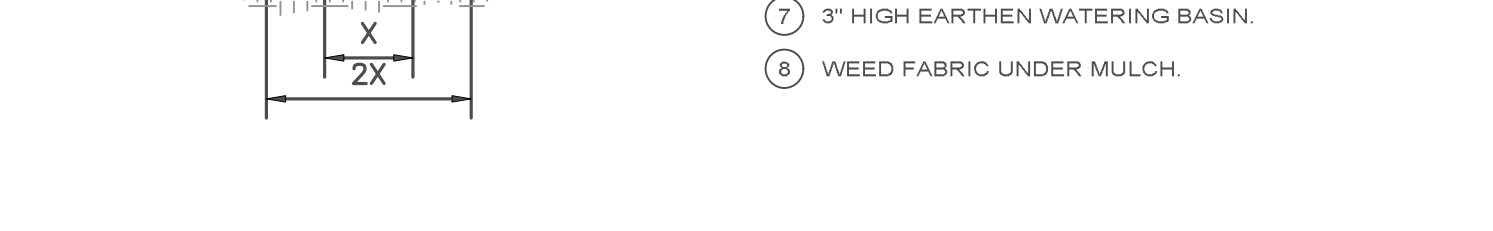
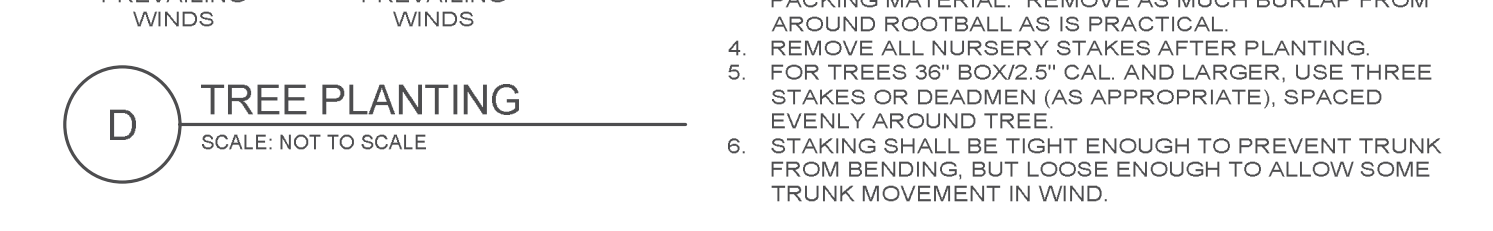
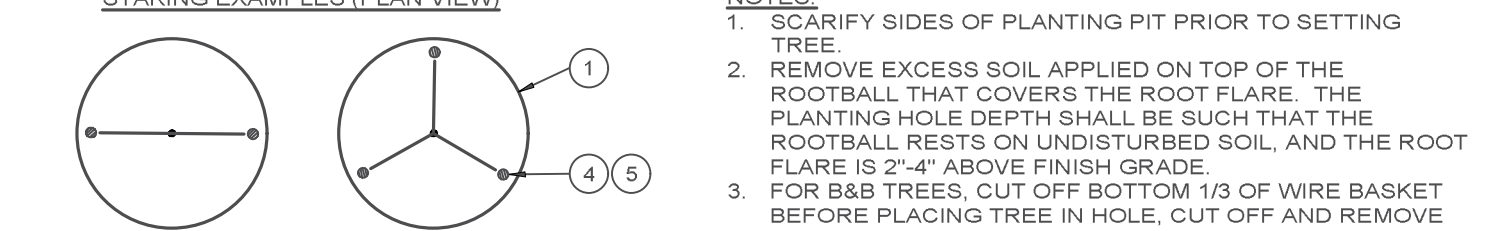
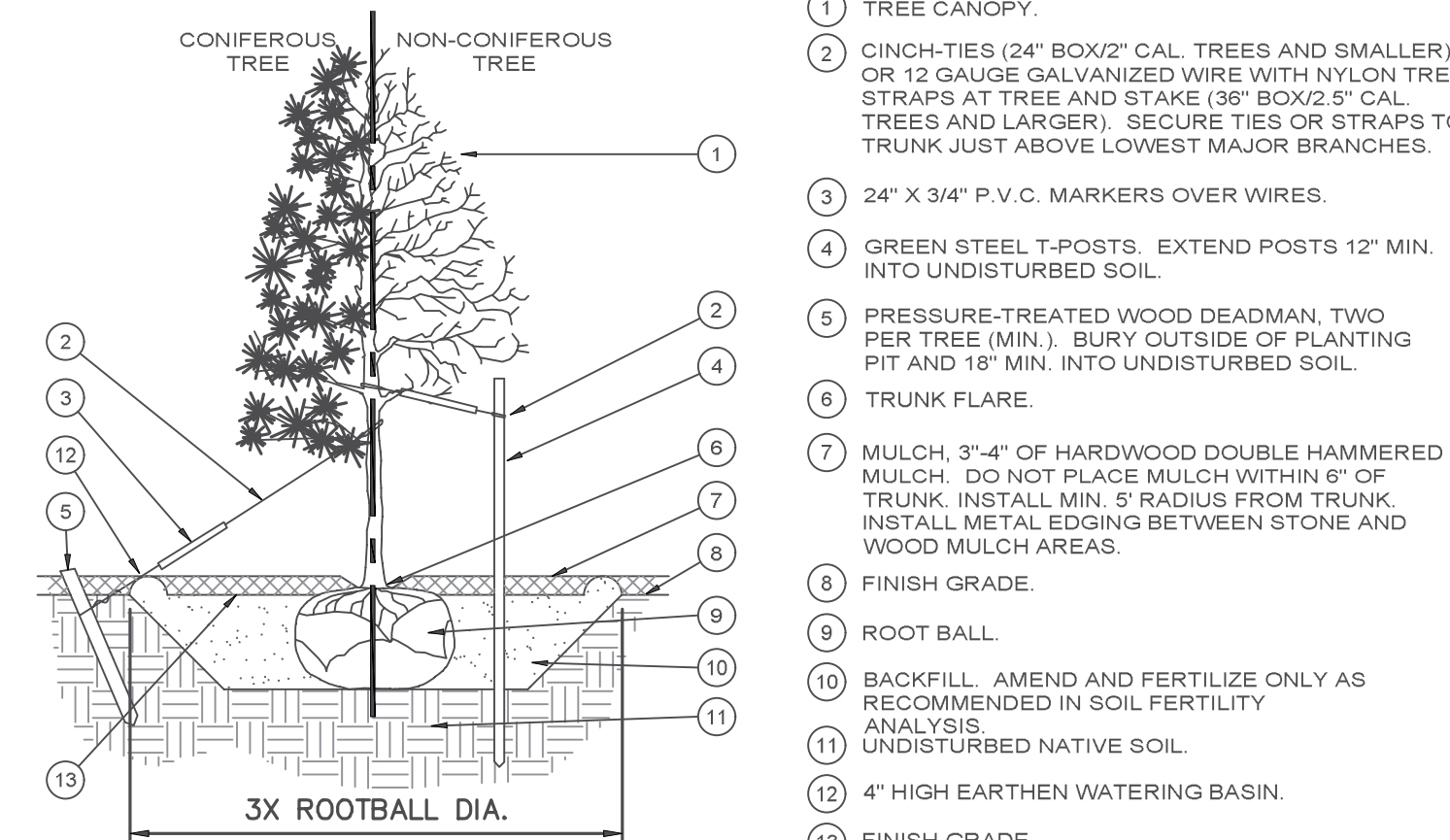
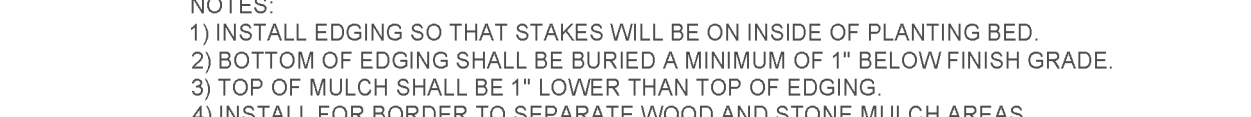
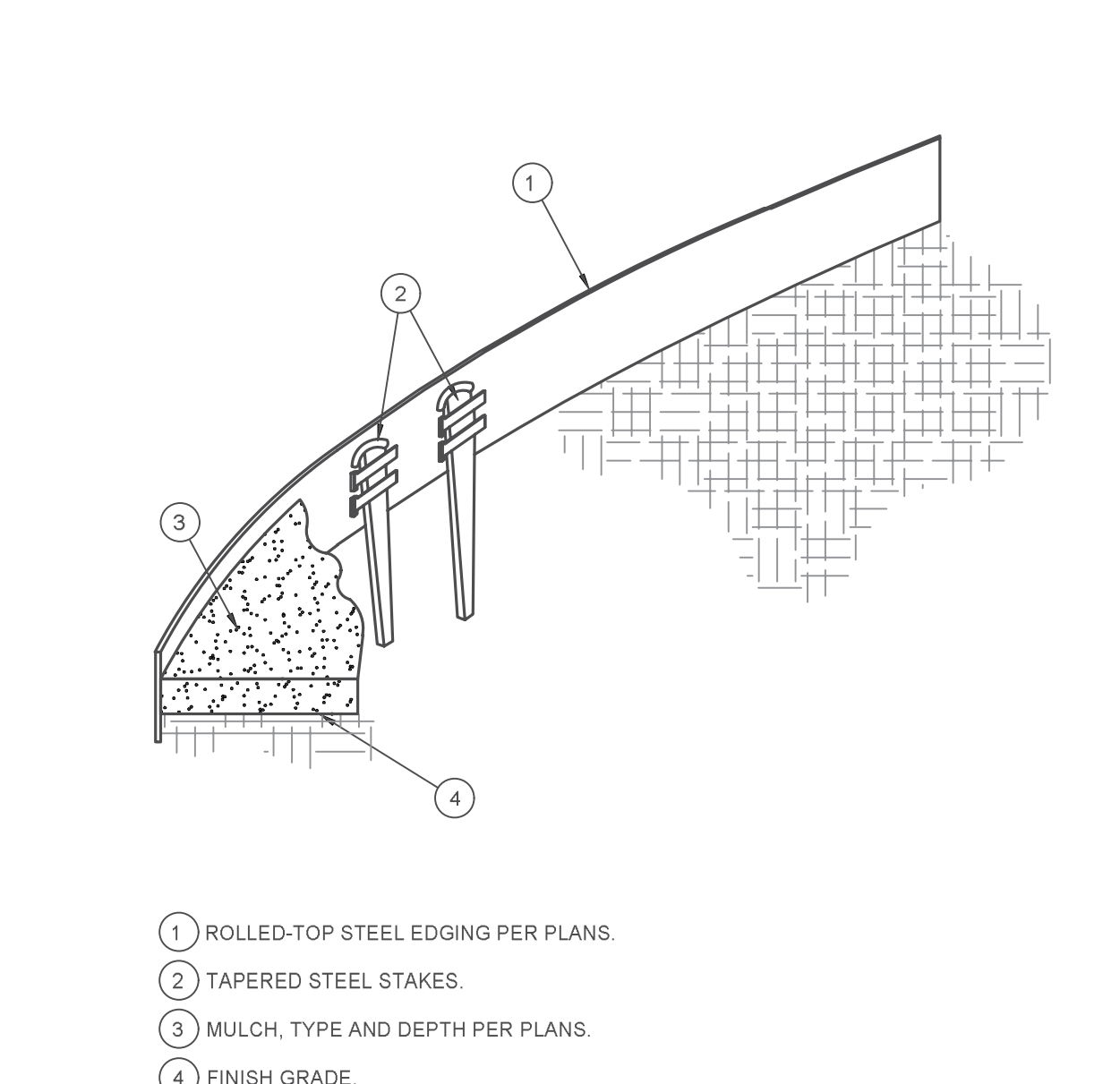
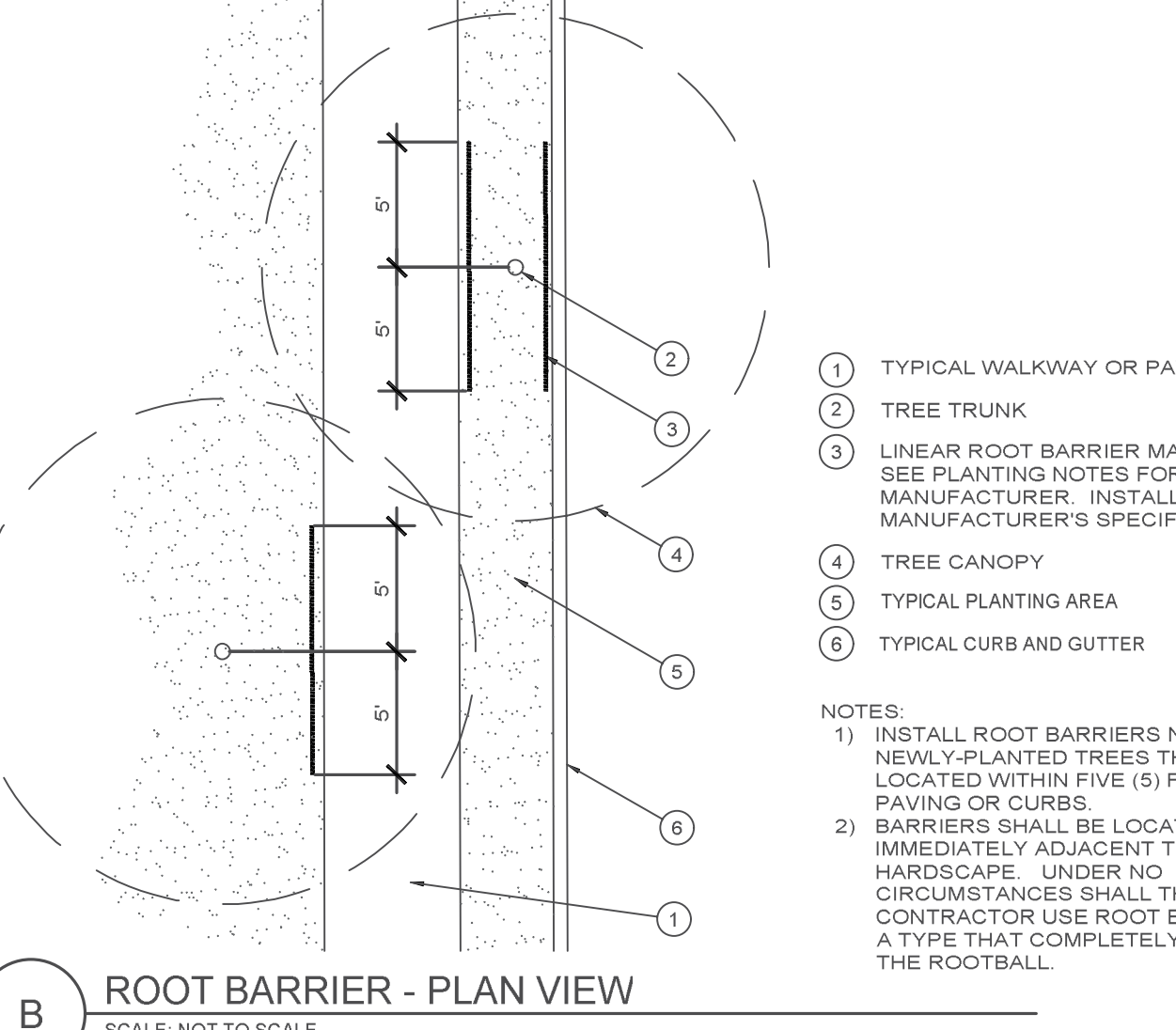
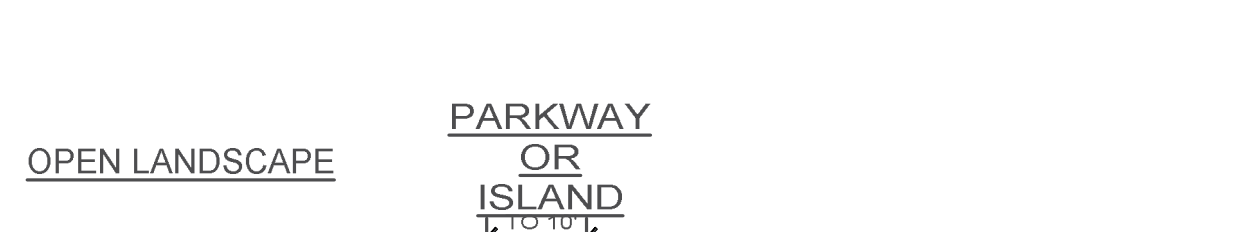
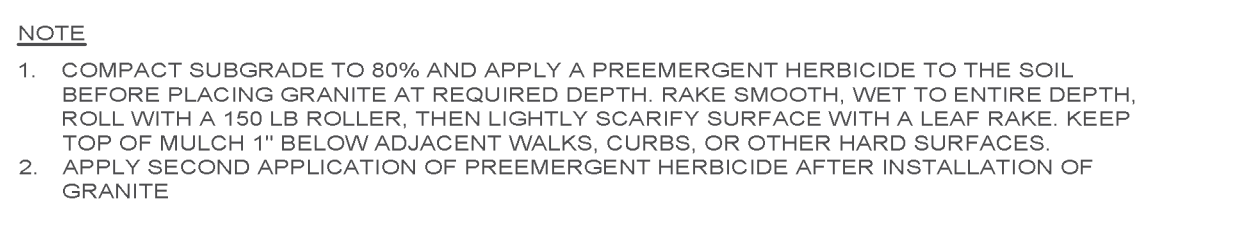
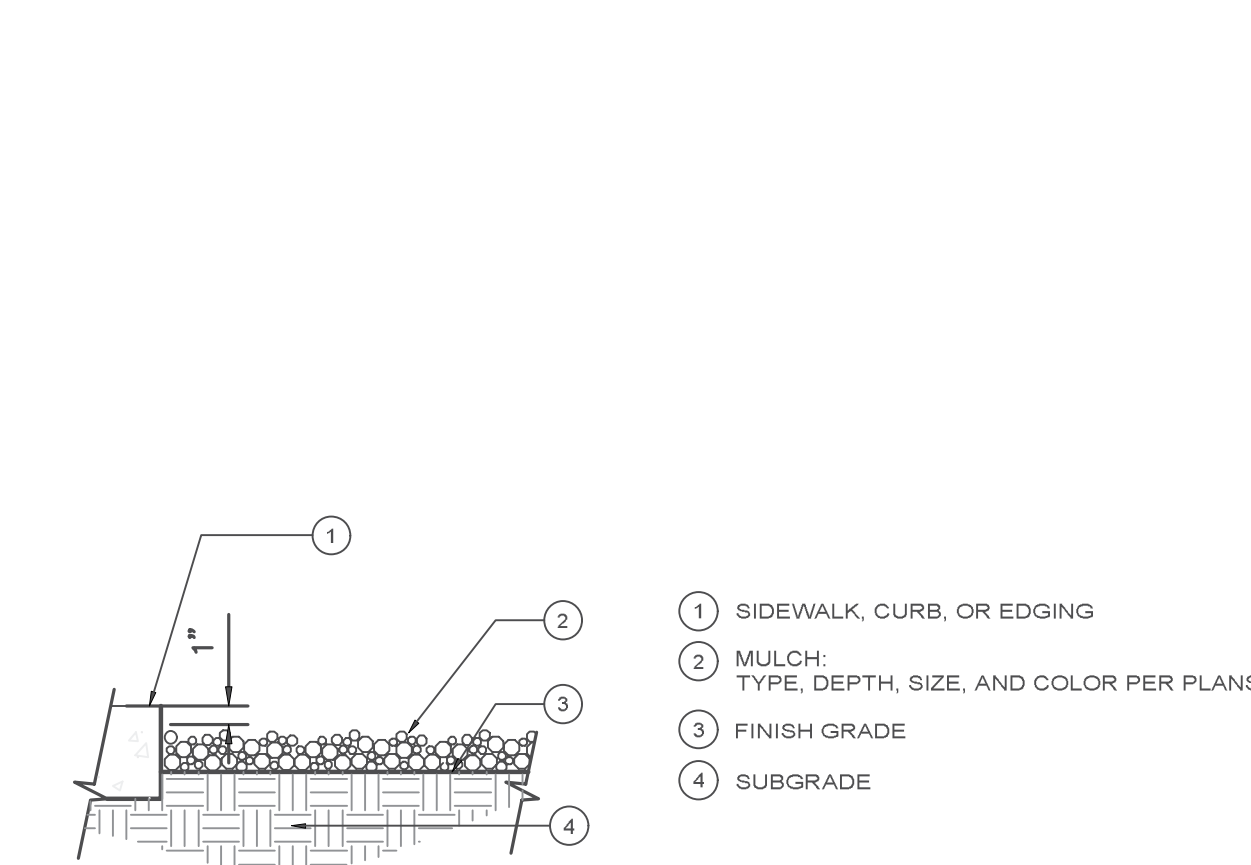
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

## I. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED TO THE SATISFACTION OF THE OWNER, OR OTHER DAMAGE BY HUMAN ACTIONS.

## J. RECORD DRAWINGS

- PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858

STATE OF NEW MEXICO  
REGISTERED LANDSCAPE ARCHITECT  
CHRISTOPHER M. ROSE  
551  
06/25/2021

PROJECT NAME:

**SANDIA COLLISION CENTER**

5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

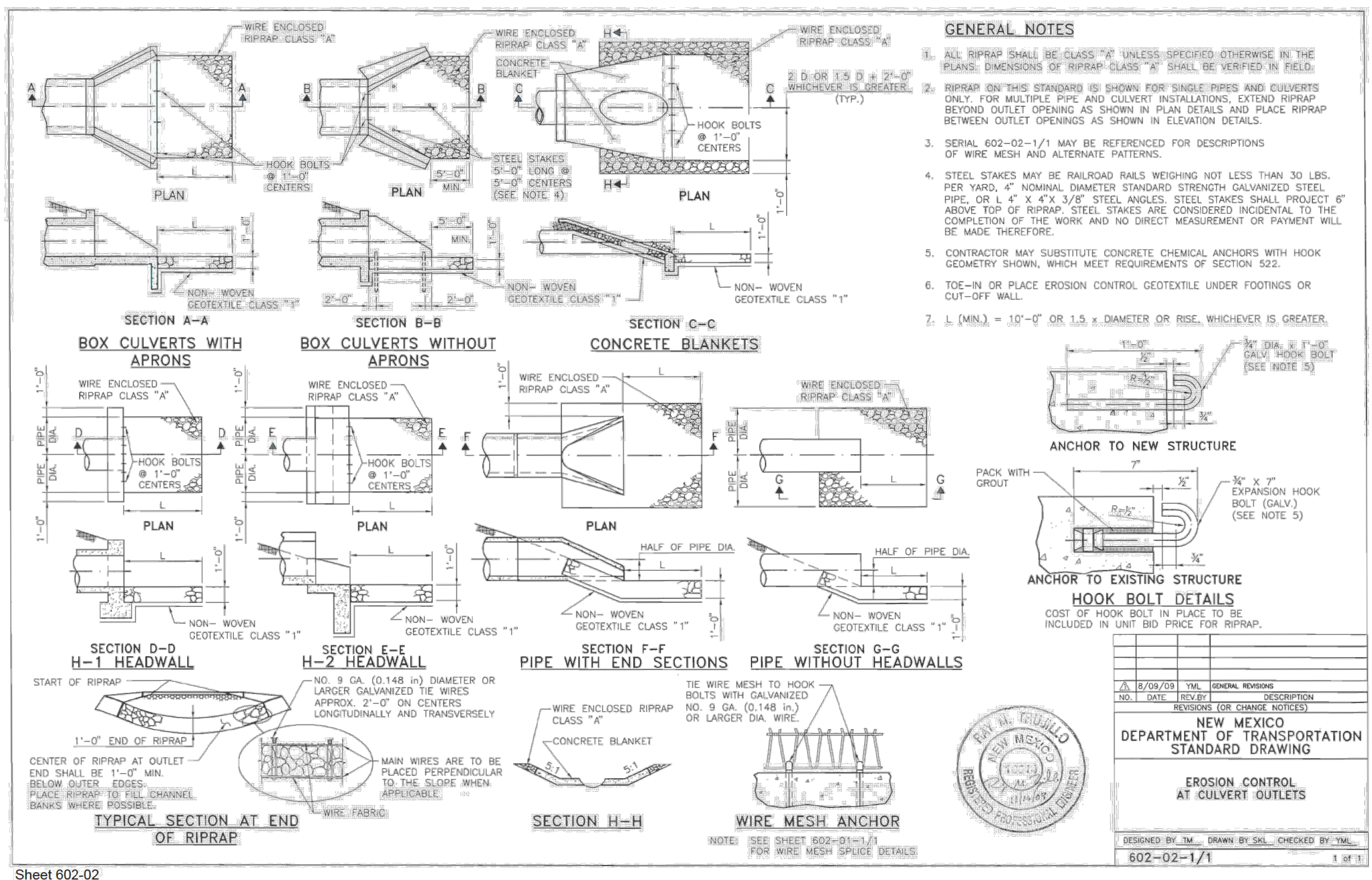
SHEET DESCRIPTION:  
**LANDSCAPE DETAILS**

PROJECT #	2020-1
DRAWN BY	CC
CHECKED BY	BA
NO	ISSUE/REVISION
	FOR PERMIT
#1	DRB COMMENTS

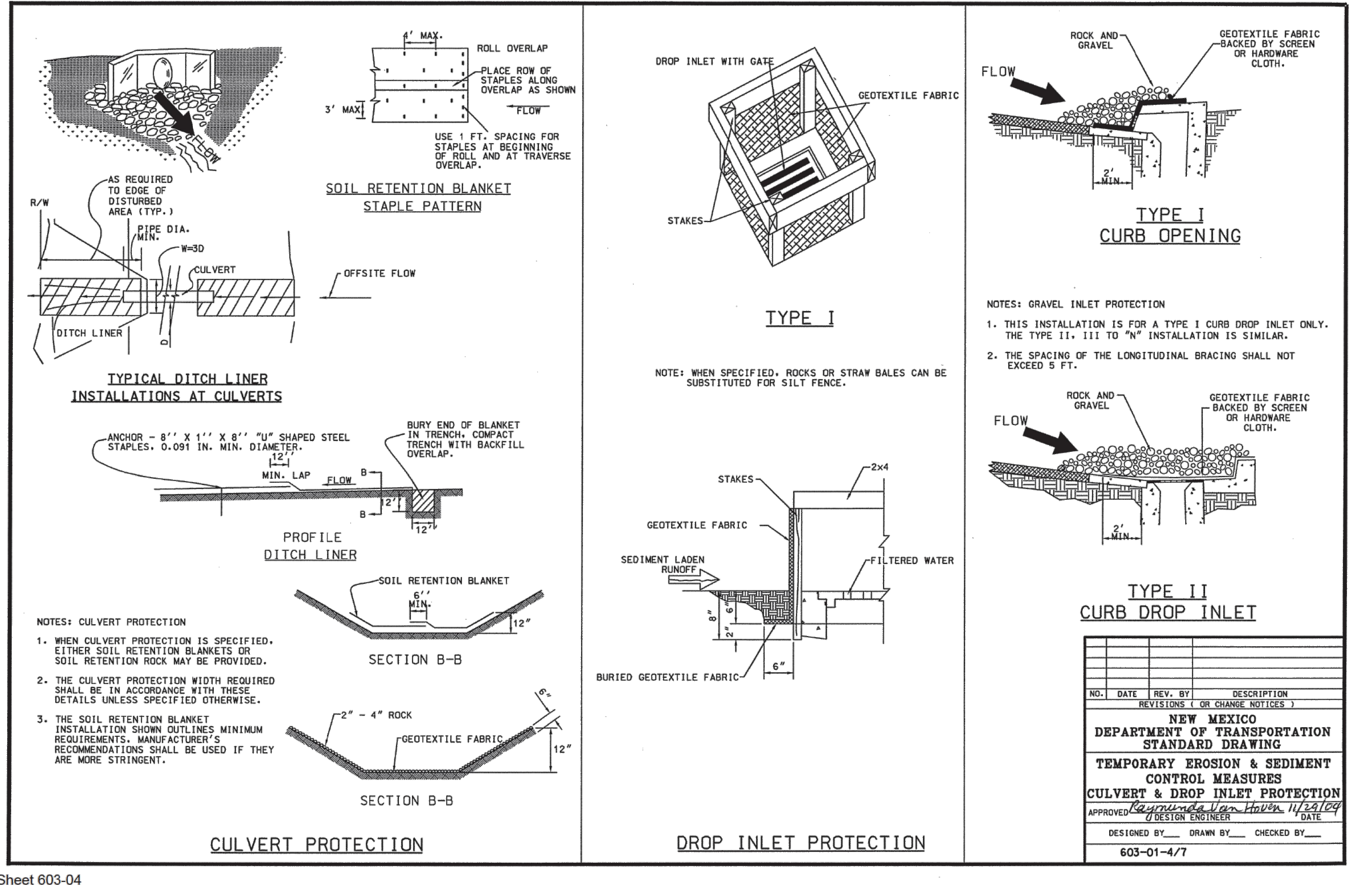
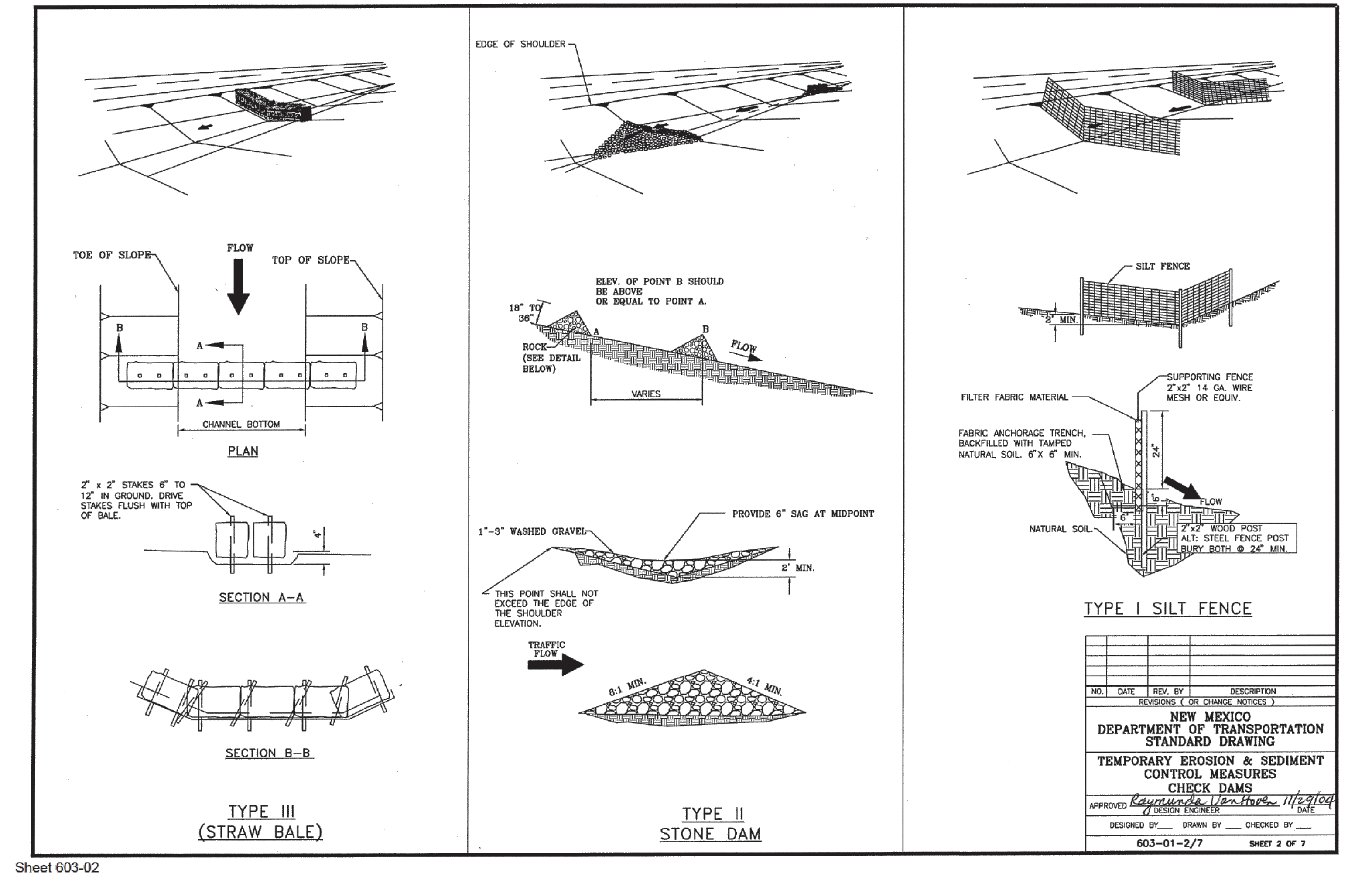
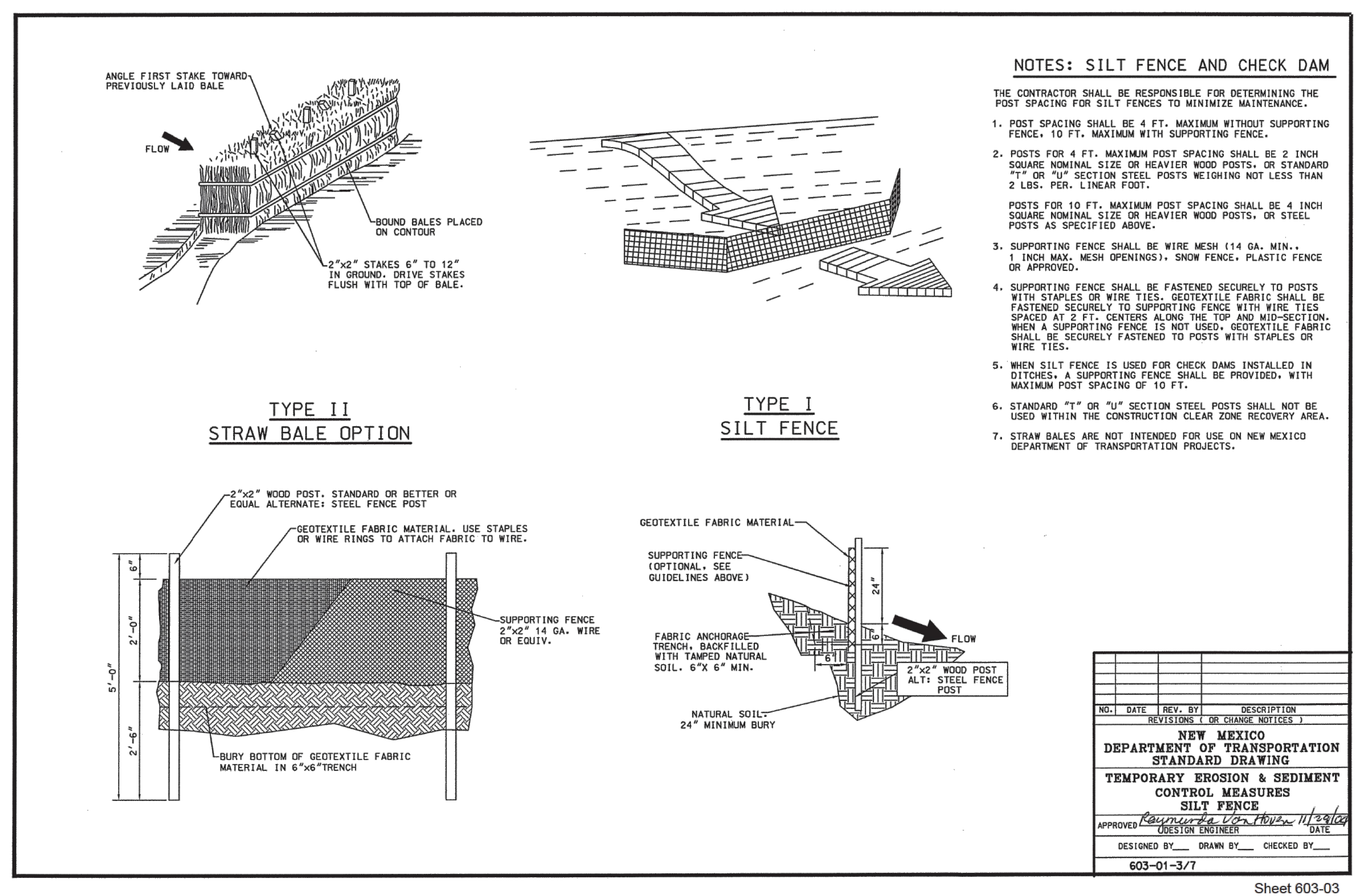
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	4/2/21
	6/25/21

**C07.0**





Sheet 602-02



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858

**BIRKIE AYER JR.**  
NEW MEXICO  
25848  
PROFESSIONAL ENGINEER  
*Birke Ayer*  
6-25-21

PROJECT NAME:  
**SANDIA COLLISION CENTER**

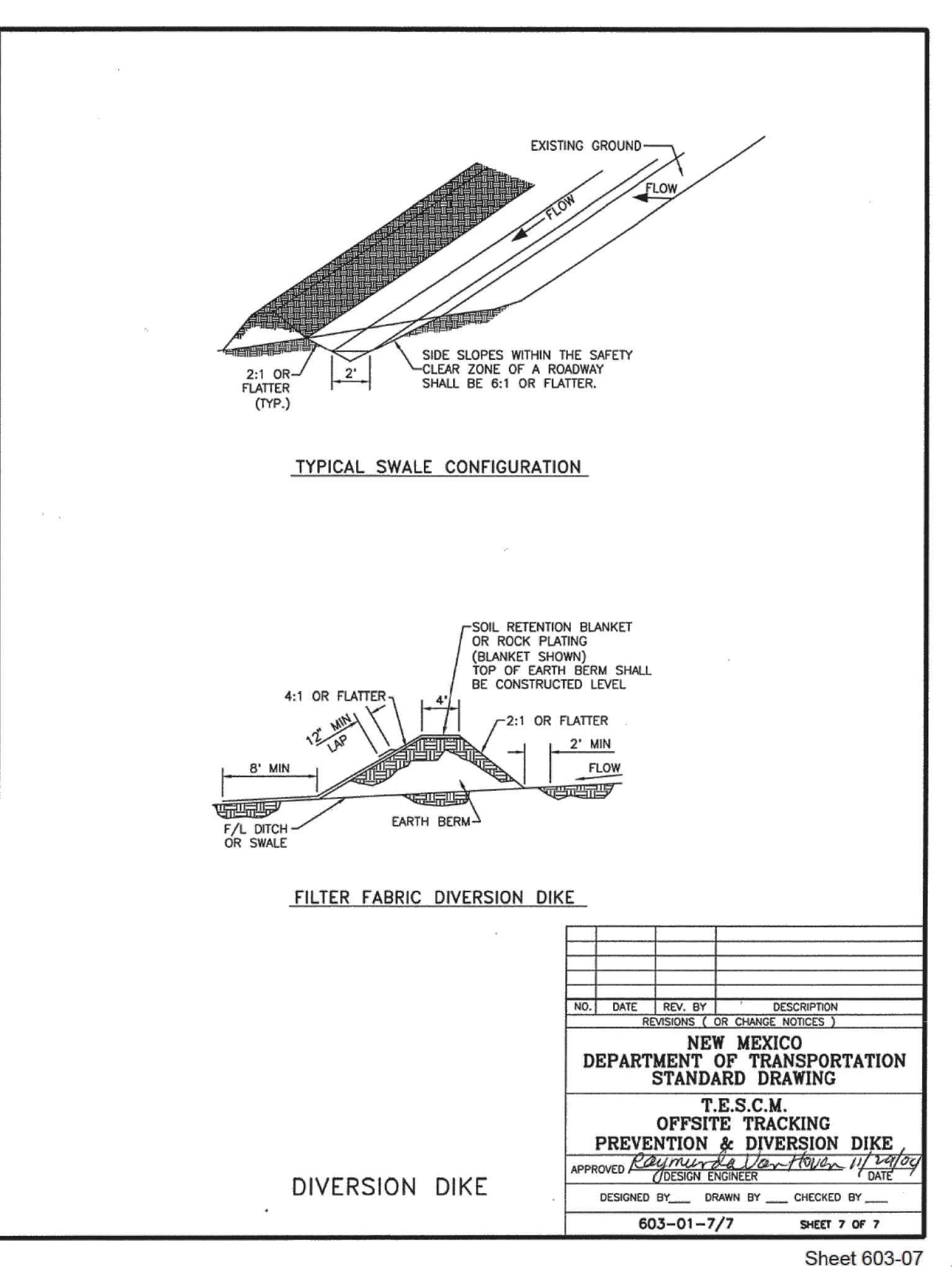
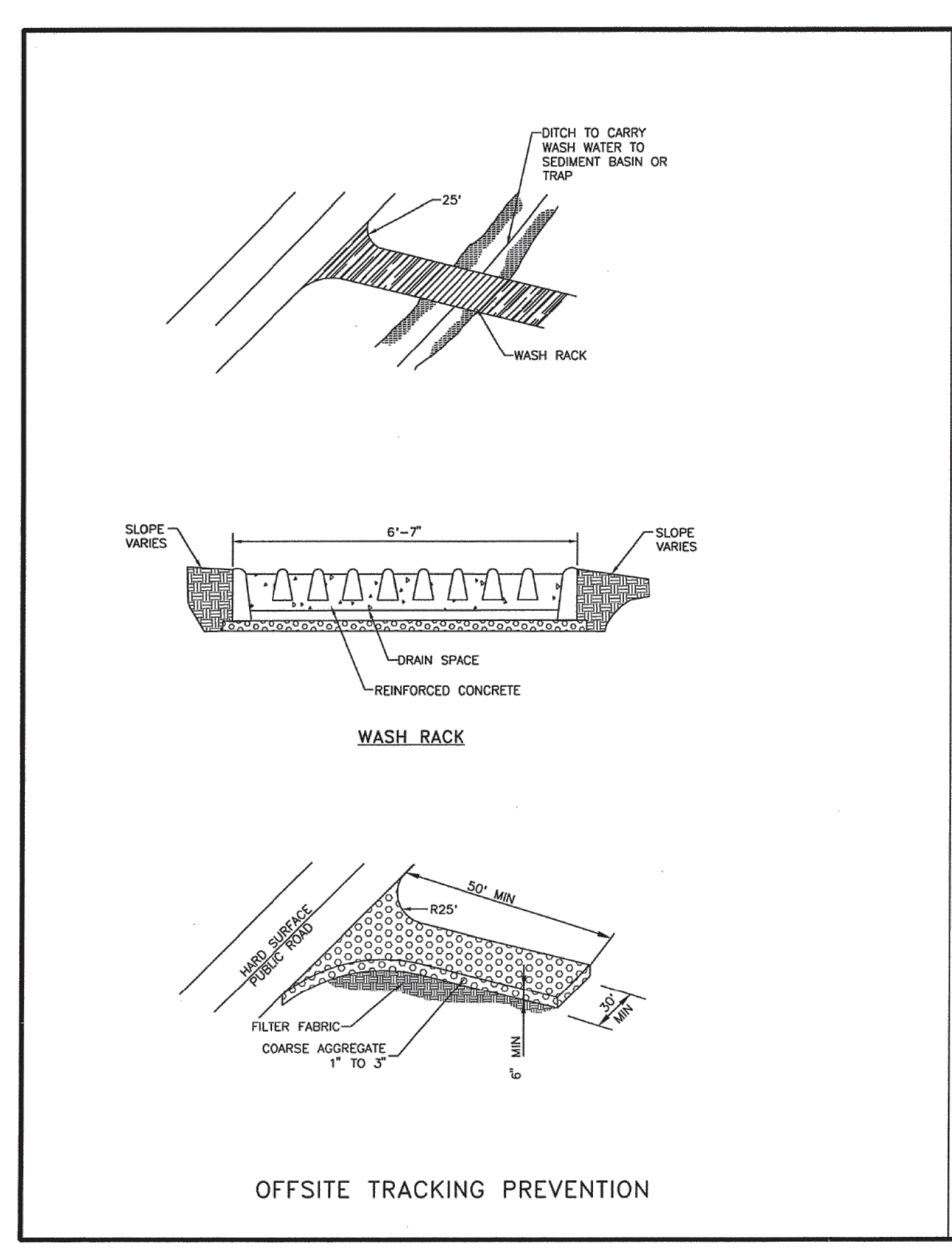
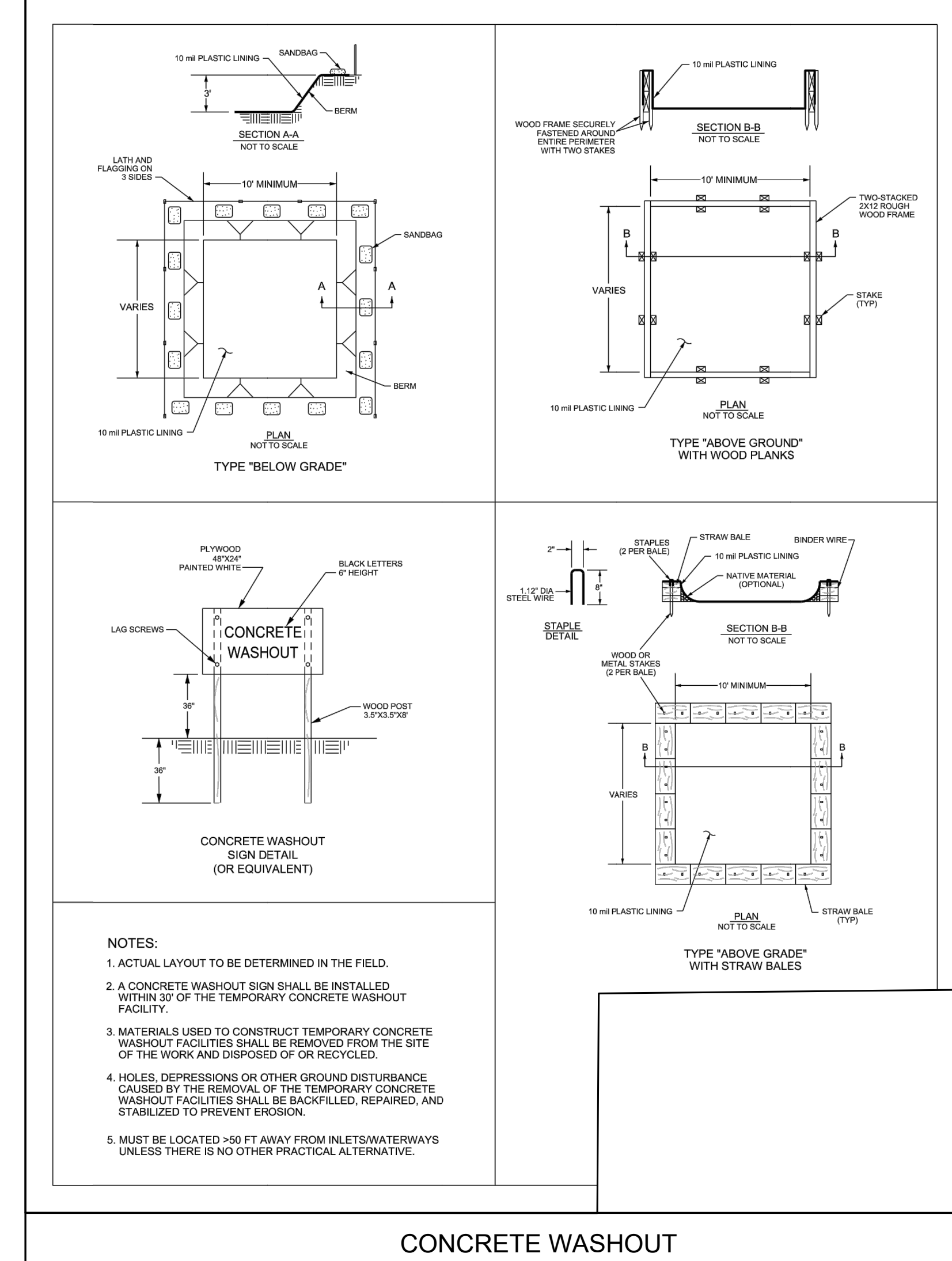
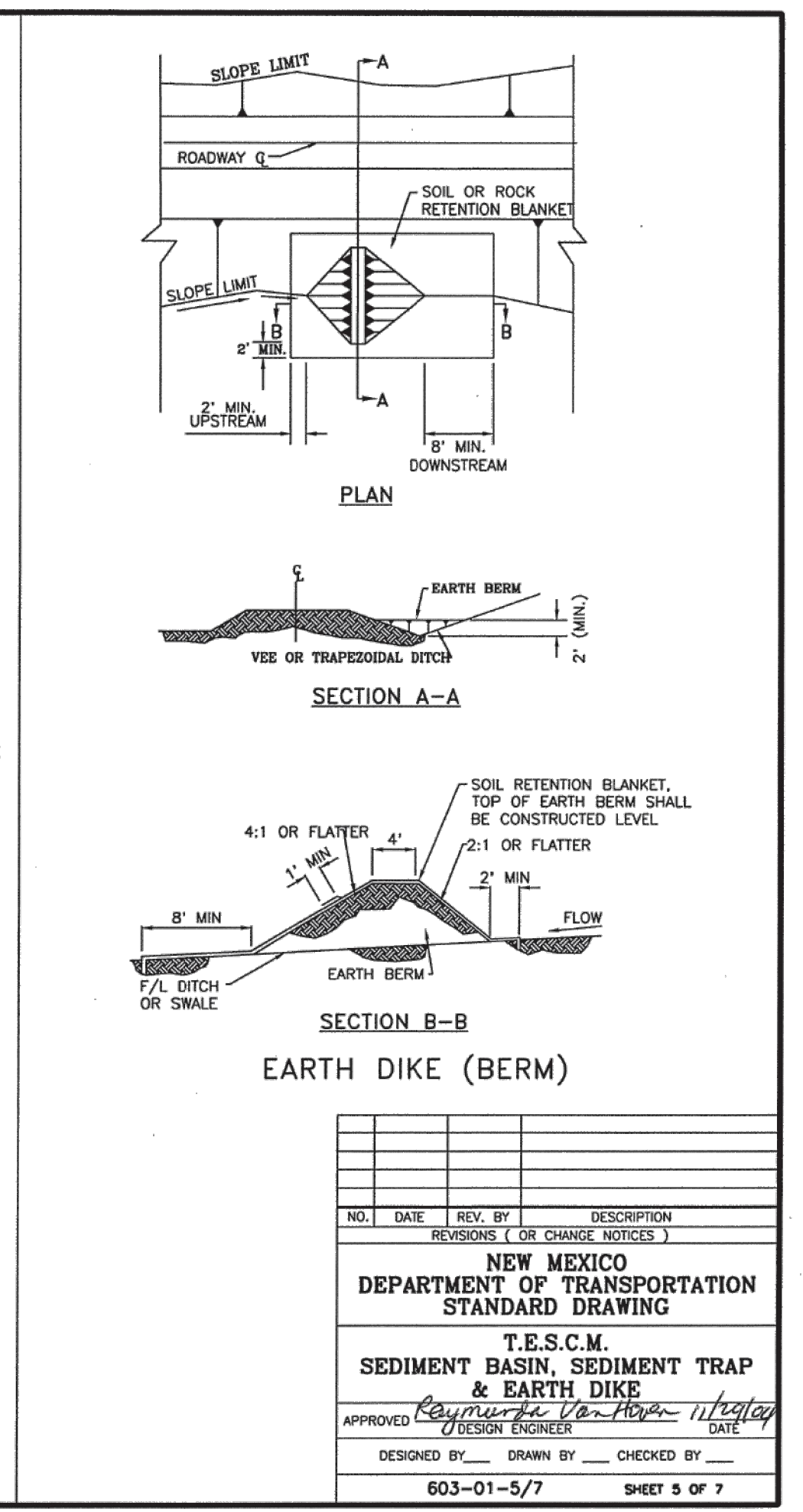
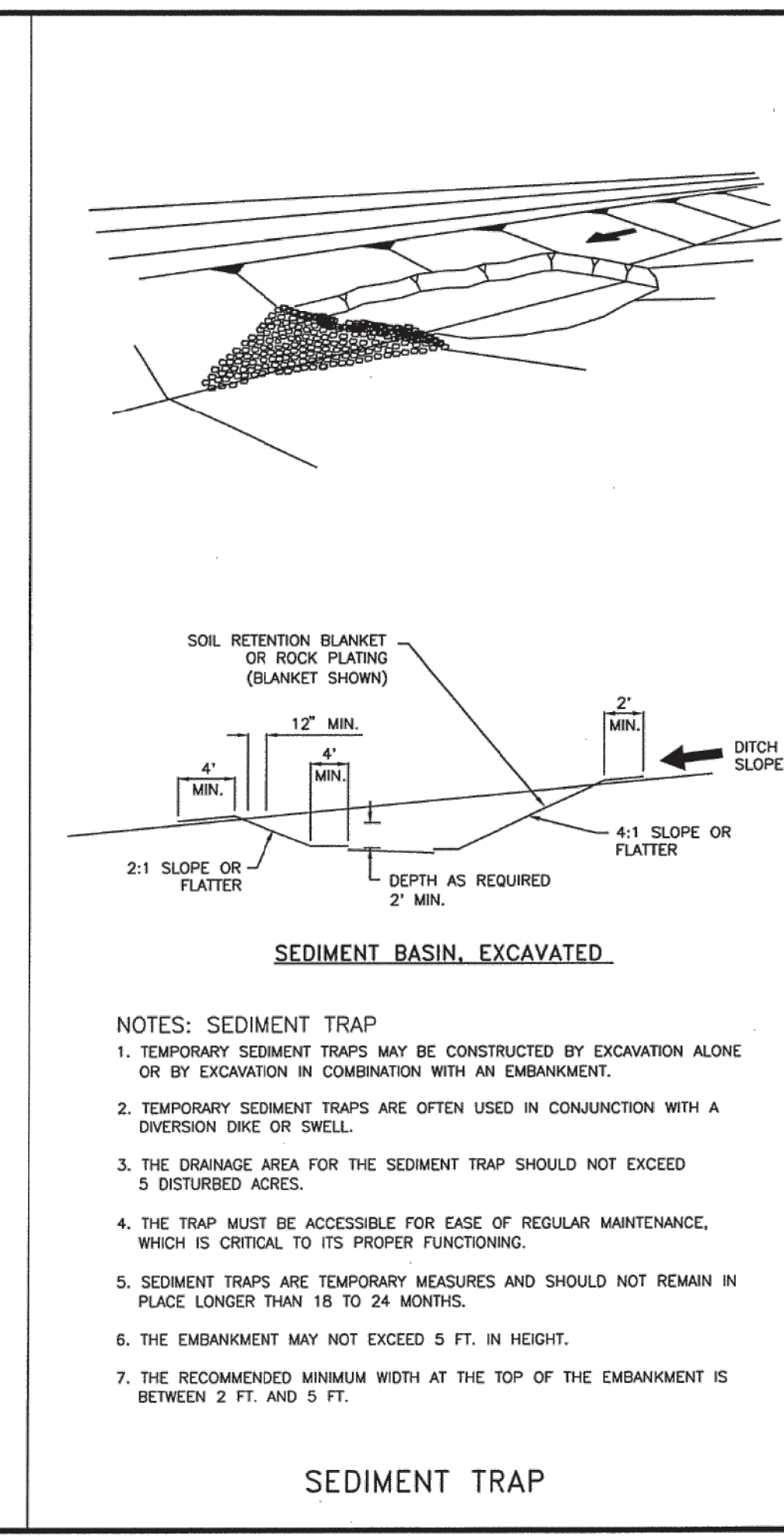
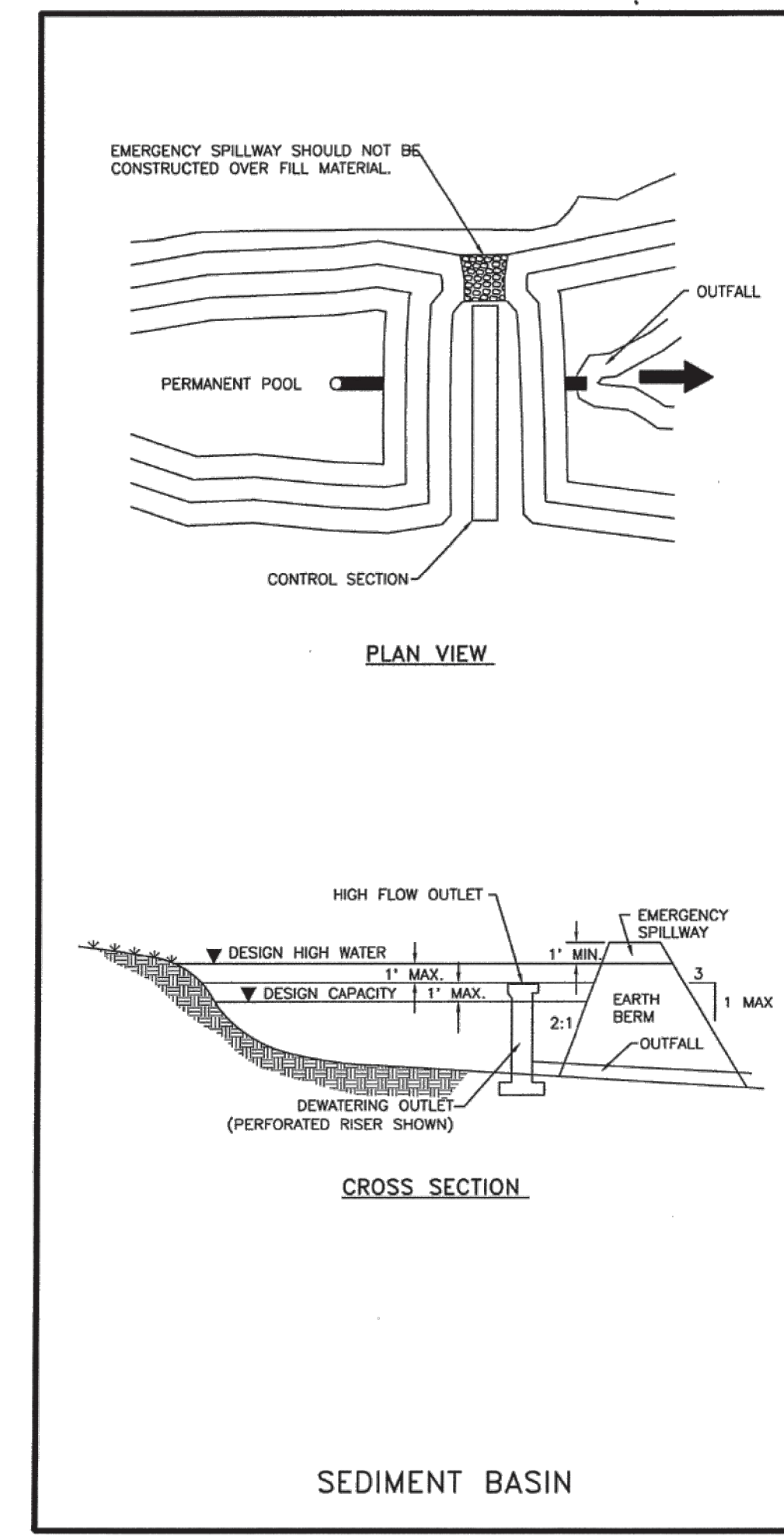
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**EROSION CONTROL DETAILS**

PROJECT # 2020-1  
DRAWN BY CC  
CHECKED BY BA  
NO. ISSUE/REVISION DATE  
#1 DRB COMMENTS 6/25/21

**C08.0**





**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
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Phone: 803-328-5858

**BIRKIE AYER JR.**  
NEW MEXICO  
25848  
PROFESSIONAL ENGINEER  
*Birke Ayer*  
6-25-21

PROJECT NAME:  
**SANDIA COLLISION CENTER**

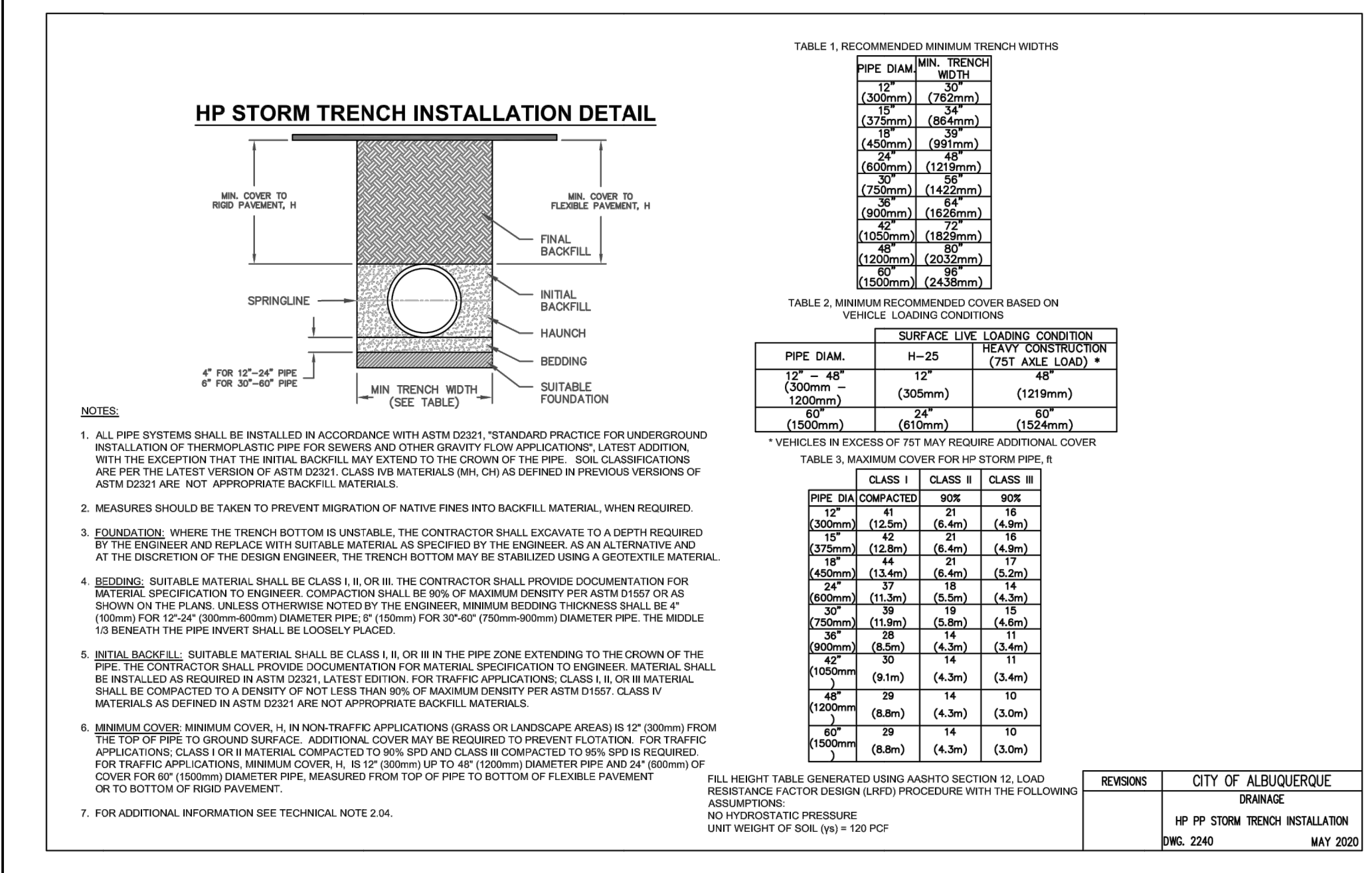
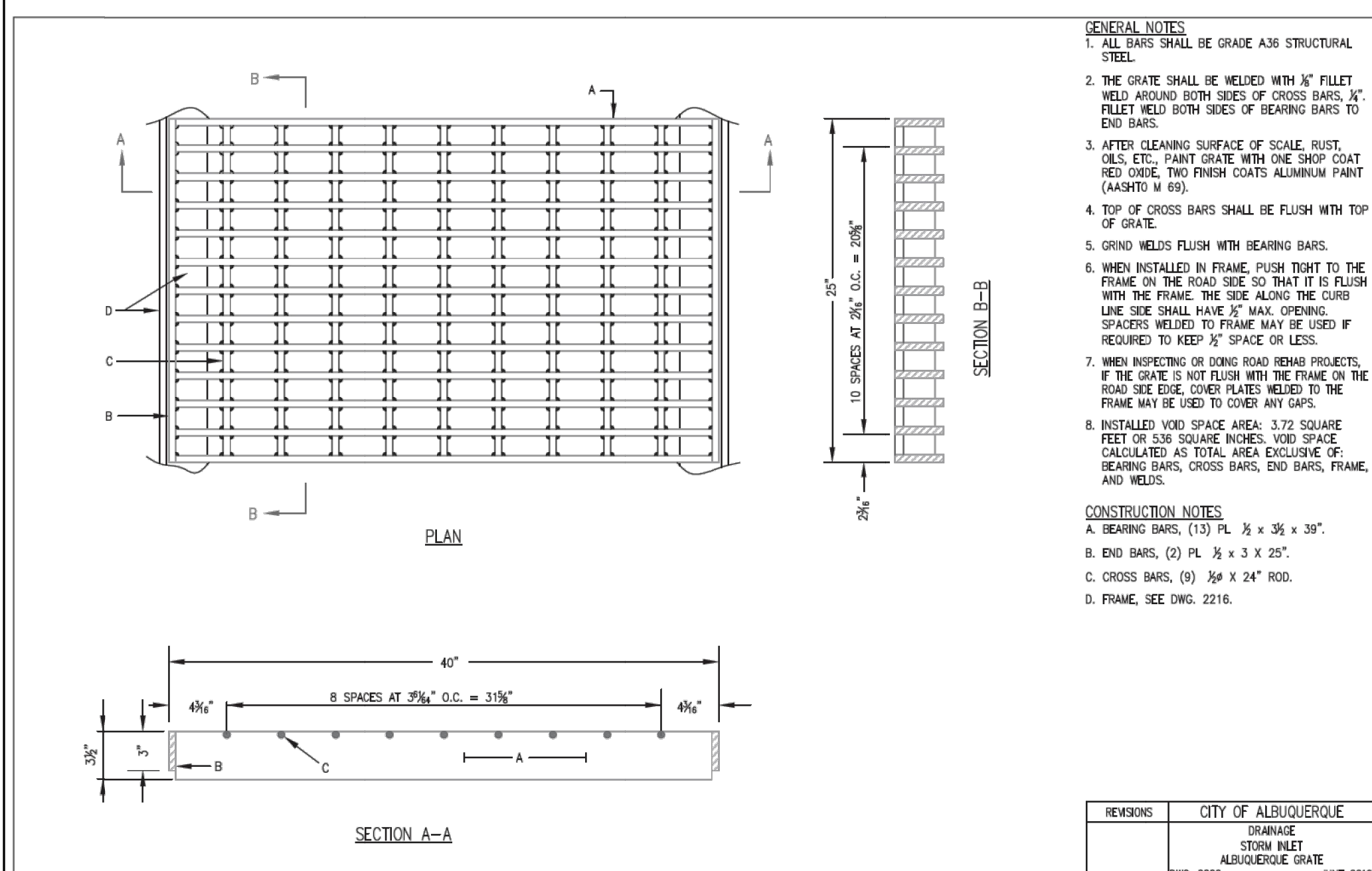
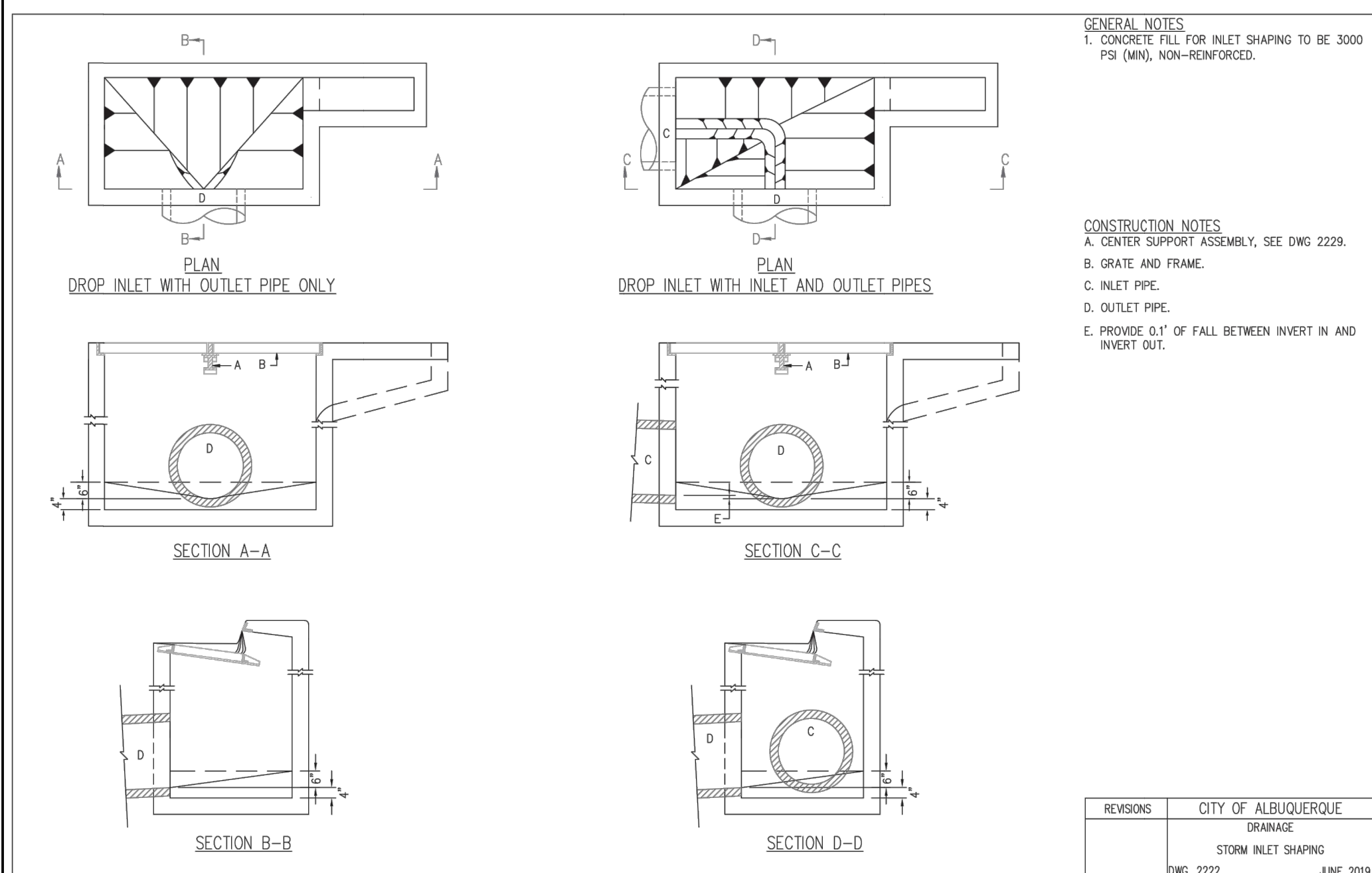
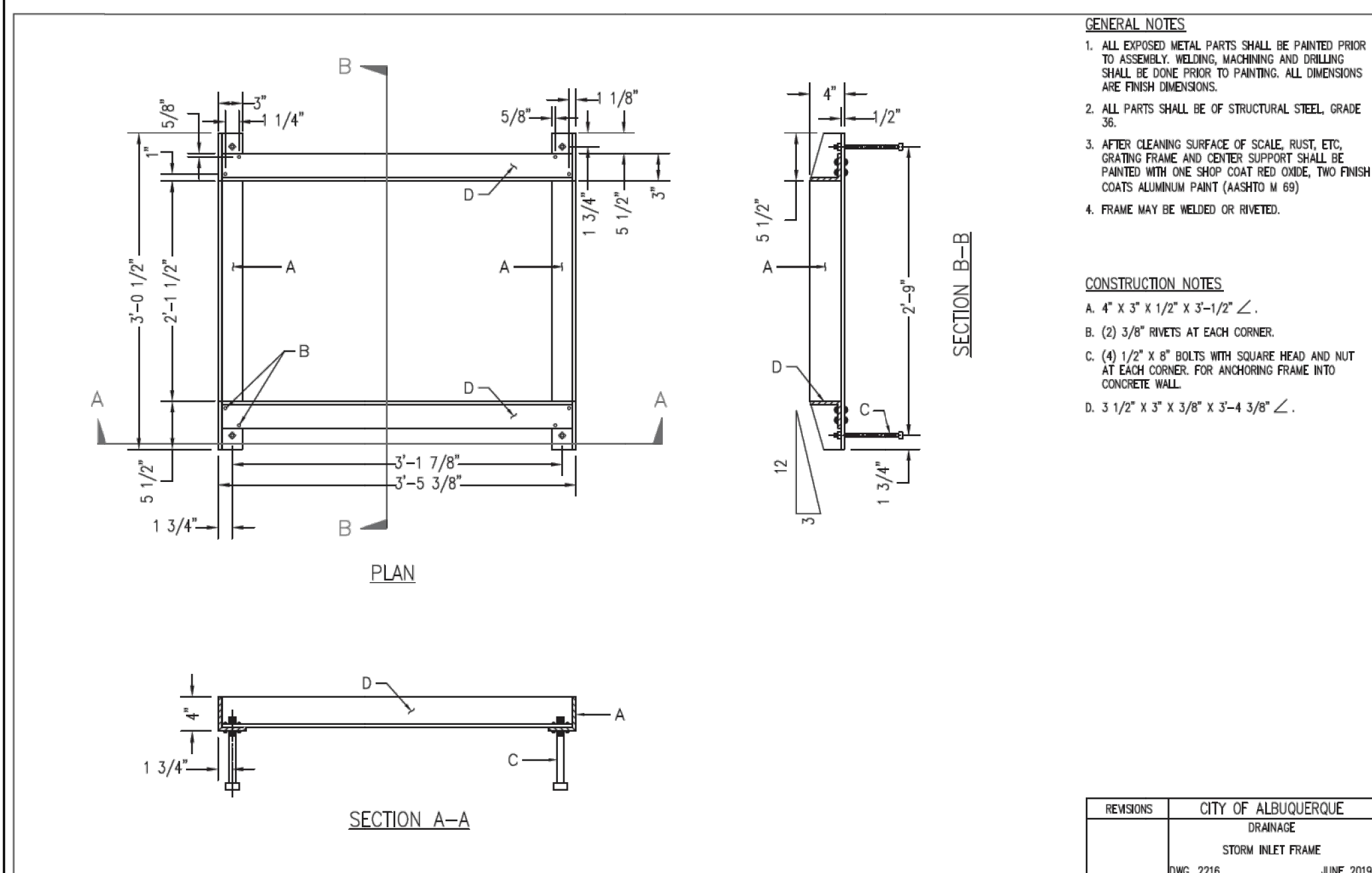
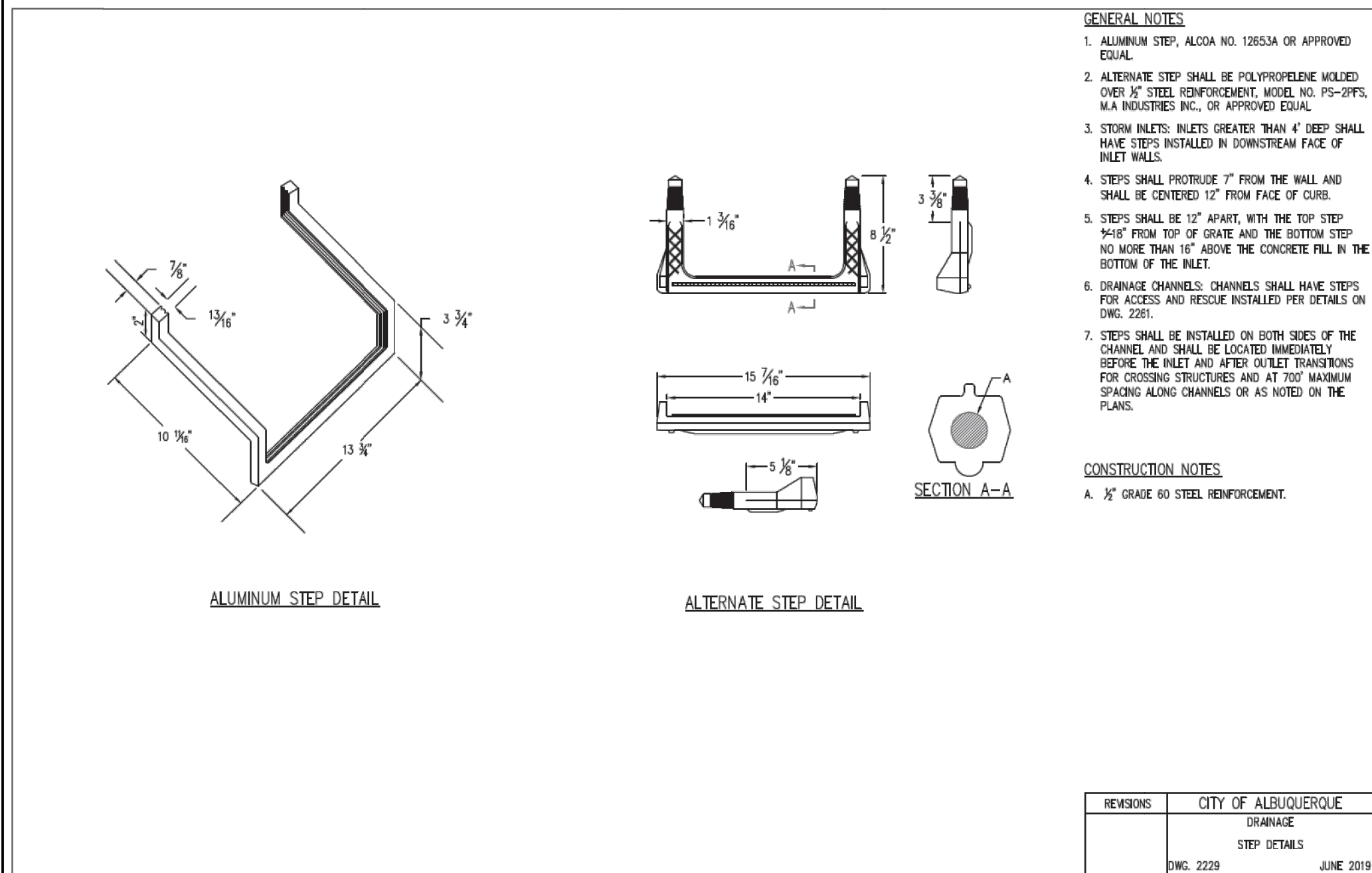
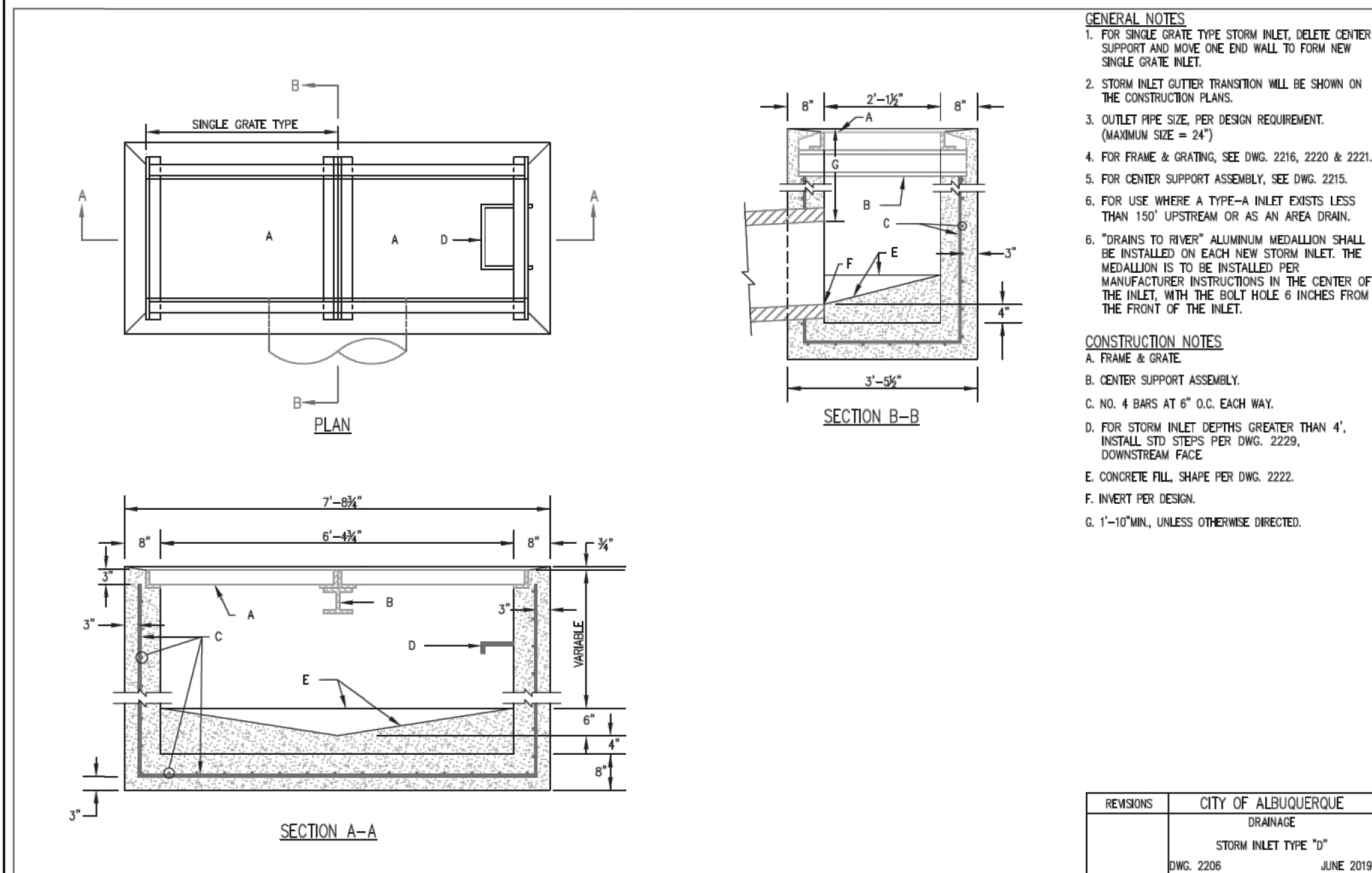
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**EROSION CONTROL DETAILS**

PROJECT #	2020-1	
DRAWN BY	CC	
CHECKED BY	BA	
NO.	ISSUE/REVISION	DATE
	FOR PERMIT	4/2/21
#1	DRB COMMENTS	6/25/21

**C08.1**







**GENERAL MAINTENANCE PROCEDURES:**

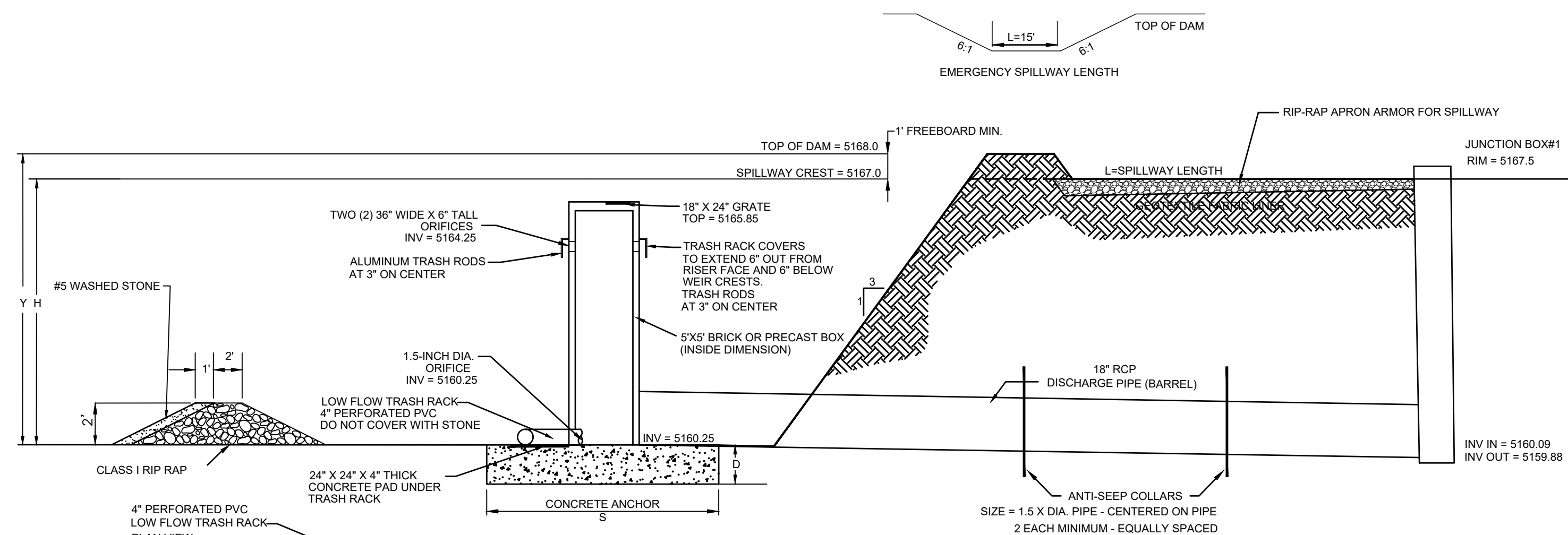
1. NEVER WASH OFF PAVED SURFACES WITH WATER, AS POLLUTANTS SUCH AS TRASH, GREASE, GASOLINE, DETERGENTS, AND METALS CAN COME IN CONTACT WITH THE WATER AND CREATE POLLUTED RUNOFF.
  2. MAINTAIN A DEBRIS-FREE PARKING AREA BY DAILY COLLECTION AND SWEEPING. NEVER DISPOSE OF DEBRIS INTO THE GUTTER/STORM WATER SYSTEM.
  3. USE RAGS OR ABSORBENTS TO CLEAN UP LEAKS OR SPILLS IMMEDIATELY.
  4. MATERIALS USED FOR SPILL CLEAN UP SHOULD BE STORED IN CLOSED, LABELED CONTAINERS AND DISPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
  5. READ AND FOLLOW LABEL DIRECTIONS ON ALL PESTICIDES AND HERBICIDES. AVOID USING ON CLOUDY OR WINDY DAYS.
- DO NOT USE AROUND ANY WATERWAYS, DITCHES, STORM SYSTEMS, OR ANY WATER CONVEYANCE SYSTEMS. USE NON TOXIC ALTERNATIVES WHEN POSSIBLE.

**DAILY INSPECTIONS:**

1. COLLECT AND SWEEP UP LITTER AND DEBRIS IN BOTH PAVED AND GRASSED AREAS. SPECIAL CARE SHOULD BE TAKEN AROUND OUTDOOR TRASH BINS, DUMPSTERS, CURB GUTTERS, AIR/WATER SUPPLY UNITS AND VACUUM AREAS AS THEY ARE AREAS PRONE TO DEBRIS AND LITTER.
2. INSPECT ALL VEHICLES IN LOT TO DETERMINE IF ANY SPILLS OR LEAKS HAVE OCCURRED, AND CLEAN UP ANY LEAKS OR SPILLS IMMEDIATELY.
3. COLLECT AND DISPOSE OF ALL PET REFUSE AND DEBRIS IN PAVED, LANDSCAPED AND GRASSED AREAS. DISPOSE OF DEBRIS INTO CONTAINER OR TRASH RECEPTACLE, DO NOT WASH DEBRIS INTO STORM SYSTEM.

**GENERAL POND MAINTENANCE PROCEDURES:**

1. INSPECT MONTHLY OR AFTER EVERY RAINFALL EVENT OF 1" OR GREATER, WHICHEVER COMES FIRST.
  - A. REMOVE DEBRIS FROM OUTLET STRUCTURE AND POND.
  - B. CHECK AND CLEAR THE LOW FLOW ORIFICE OF ANY OBSTRUCTIONS.
  - C. CHECK THE POND SIDE SLOPES, REMOVE TRASH & REPAIR ERODED AREAS BEFORE THE NEXT RAIN.
  - D. IF THE POND IS OPERATED WITH A VEGETATIVE FILTER, CHECK FOR SEDIMENT ACCUMULATION, EROSION AND PROPER OPERATION OF FLOW SPREADER MECHANISM. REPAIR AS NECESSARY.
  - E. KEEP GRASS MOWED, REMOVE ANY TREES OR WOODY VEGETATION ON EMBANKMENT
2. QUARTERLY
  - A. INSPECT THE COLLECTION SYSTEM (IE: CATCH BASINS, PIPING, SWALES) FOR PROPER FUNCTIONING. CLEAR ACCUMULATED TRASH FROM BASIN BOTTOMS, AND CHECK PIPING FOR OBSTRUCTIONS.
  - B. CHECK POND INLET FOR UNDERCUTTING, REPLACE AND REPAIR BROKEN PIPES.
  - C. RESEED GRASSED SWALES, INCLUDING THE VEGETATED FILTER, IF APPLICABLE, TWICE A YEAR AS NECESSARY. REPAIR ERODED AREAS IMMEDIATELY.
3. EVERY SIX MONTHS
  - A. REMOVE ACCUMULATED SEDIMENT FROM THE BOTTOM OF THE OUTLET STRUCTURE.
  - B. CHECK THE POND DEPTH AT VARIOUS POINTS IN THE POND. IF DEPTH IS REDUCED TO 75% OF ORIGINAL DEPTH, SEDIMENT SHALL BE REMOVED TO AT LEAST THE ORIGINAL DESIGN DEPTH.



DATA BLOCK  
FOR EXTENDED DETENTION

FOND NO.	RISER DIAMETER	BARREL DIAMETER	BARREL SLOPE	D	S	Y	H
1	5' X 5'	18 in	0.50 %	1.0 FT.	6 FT.	7.75 FT.	6.75 FT.

- NOTES:**
1. RISER STRUCTURE TO BE PRE-CAST CONCRETE STRUCTURE.
  2. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
  3. PROVIDE TRASH RACKS OVER ORIFICES ON OUTLET STRUCTURE. (MAX. 3" DIAMETER OPENING ON TRASH RACK)
  4. OUTLET STRUCTURE TO BE CONSTRUCTED WITH STEPS.

**GENERAL NOTES:**

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL. THE BASIN AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVERSIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE BEING CONSTRUCTED. SPILLWAYS SHOULD NOT BE CONSTRUCTED THROUGH FILL SECTIONS. ALL SPILLWAYS SHOULD BE LINED AND/OR RIPRAPPED.
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO DEPTH SHOWN ON STANDARD. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
4. THE TRAP SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY.
5. CONSTRUCTION OPERATION SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
6. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER, UNLESS CERTIFIED BY REGISTERED GEOTECHNICAL ENGINEER.
7. SEDIMENT BASIN EMBANKMENTS SHOULD BE PROVIDED WITH EROSION CONTROL AND STABILIZATION.
8. CLEANOUT STAKES SHALL BE PLACED IN ALL SEDIMENT BASINS AT THE LOW POINT IN THE BASIN. THE STAKES SHALL BE MARKED SHOWING THE HALF FULL, CLEANOUT POINT, OF THE BASIN.
9. SAFETY FENCING 3' HIGH SHOULD BE PLACED AROUND ALL SEDIMENT BASINS.
10. THE BERM ON SEDIMENT BASINS SHALL BE SEEDED ONCE FINAL GRADE HAS BEEN REACHED.
11. WASHED STONE AND WIRE BAKING SHALL BE USED WITH SILT FENCE WHENEVER SILT FENCE IS PLACE AT THE TOE OF A SLOPE 10' VERTICAL OR ALONG ANY CHANNEL OR WATER COURSE WHERE 50' OF BUFFER IS NOT PROVIDED.

**A. RESULTS SUMMARY**

REQUIRED WQV: **220,384 SF \* 0.42 in/12 IN/FT = 7713 CF**  
(includes basin A and basin B)

PROVIDED WQV: **@ WSE 5164.25 = 7782 CF**  
 100-YR WSE: **5165.39**  
 100-YEAR VOLUME STORED: **11,924 CF**  
 Freeboard at 100 to spillway **5167-5165.39 1.61 feet**  
 Freeboard at 100 to top of berm **5168-5165.39 2.61 feet**

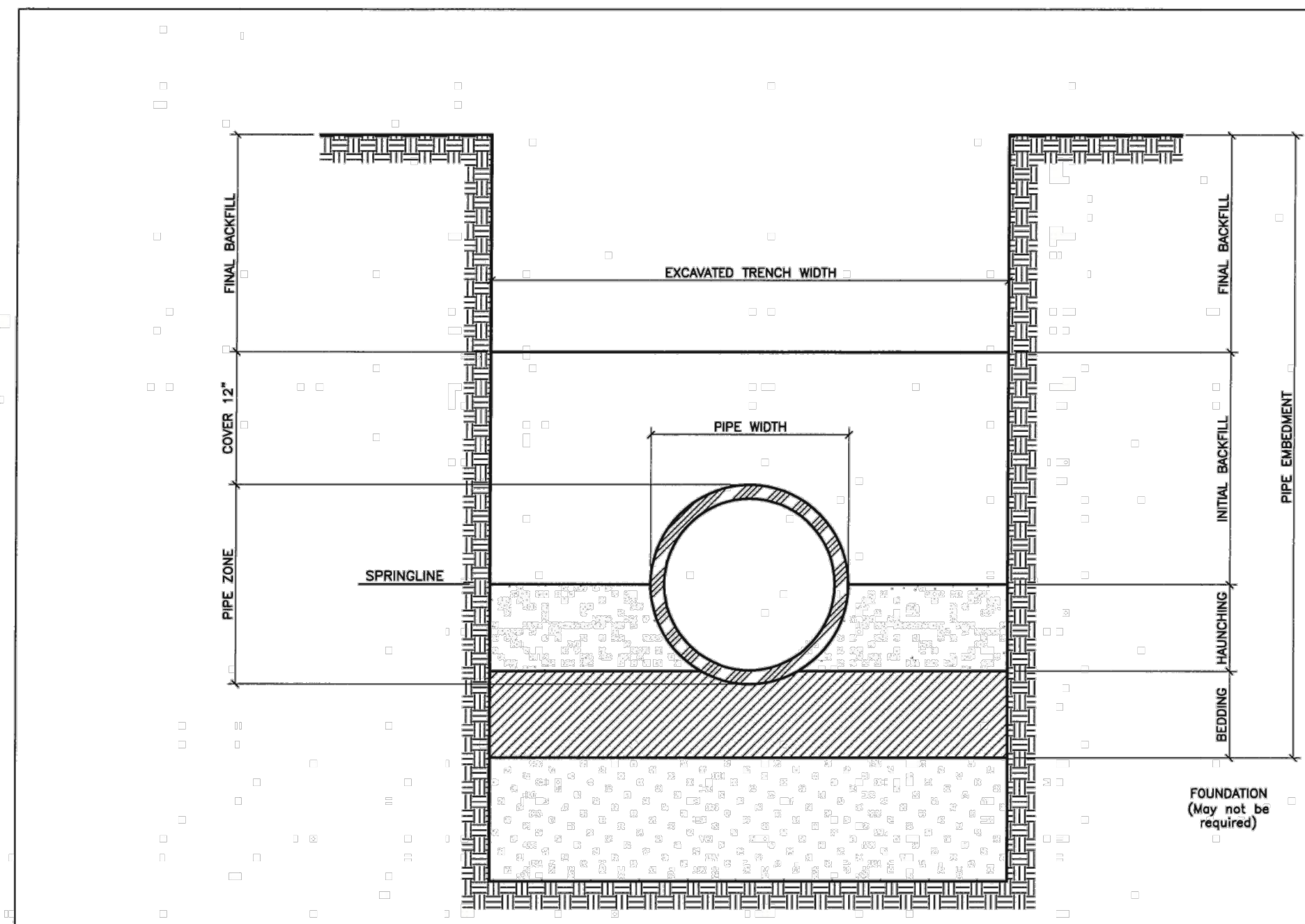


PROJECT NAME:  
**SANDIA COLLISION CENTER**  
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**STORM DETAILS**

PROJECT #	2020-1	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	4/2/21
#1	DRB COMMENTS	6/25/21

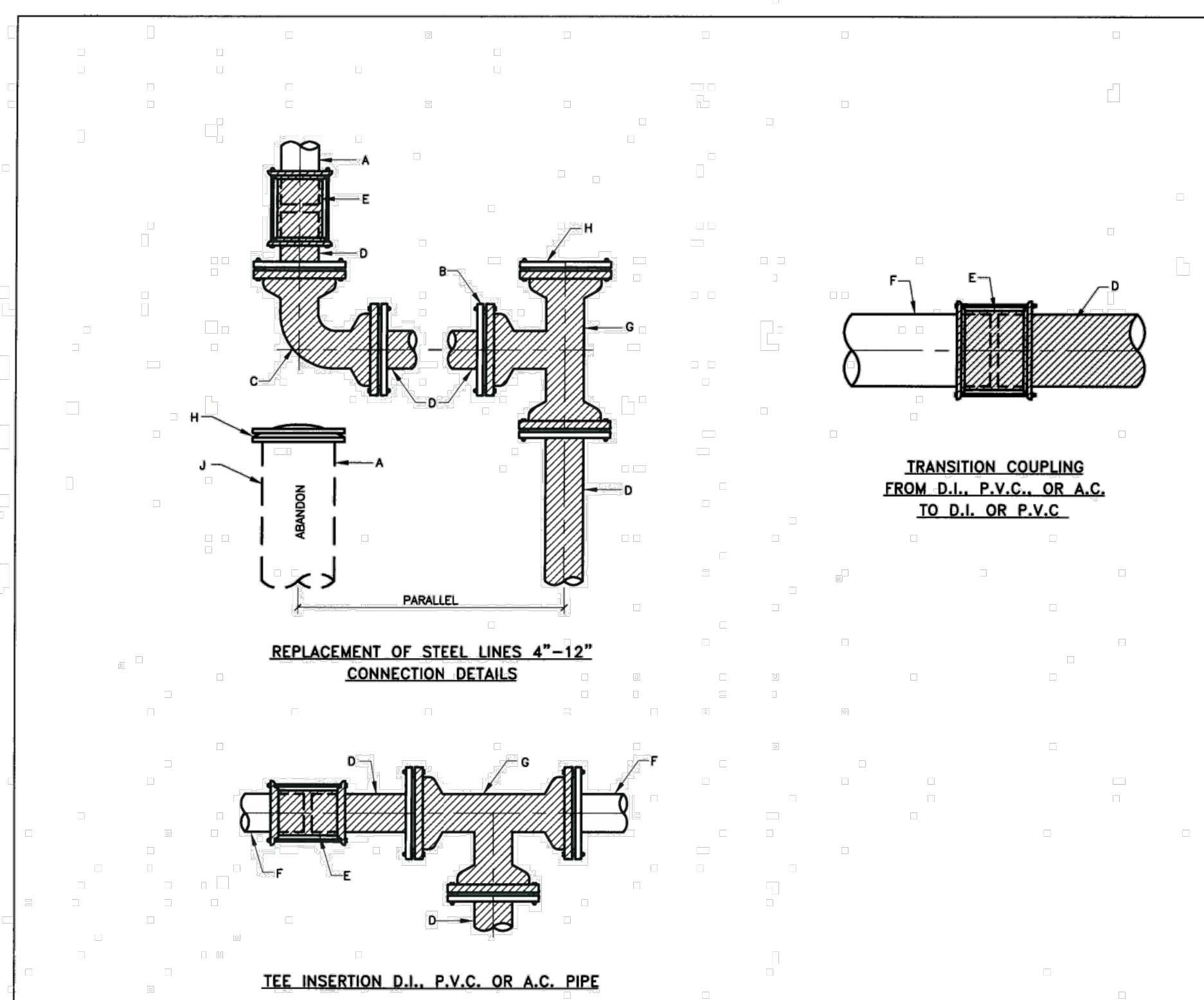




**GENERAL NOTES**

1. MECHANICAL TAMPERS SHALL NOT BE USED IN THE INITIAL BACKFILL REGION FOR FLEXIBLE PIPE. WHEN FLEXIBLE PIPE IS USED, CONTRACTOR SHALL PRIOR TO THE START OF CONSTRUCTION, PROVIDE THE PROPOSED COMPACTION METHOD IN THE INITIAL BACKFILL REGION TO THE WATER AUTHORITY FOR APPROVAL.
2. MINIMUM CLASS "C" BEDDING WILL BE USED.
3. ALL COMPACTION WILL BE TO SOX OF THE STANDARD PROCTOR.

REVISIONS	WATER AUTHORITY
	WATER PIPE TRENCH TERMINOLOGY
DWG. 2315	JANUARY 2011



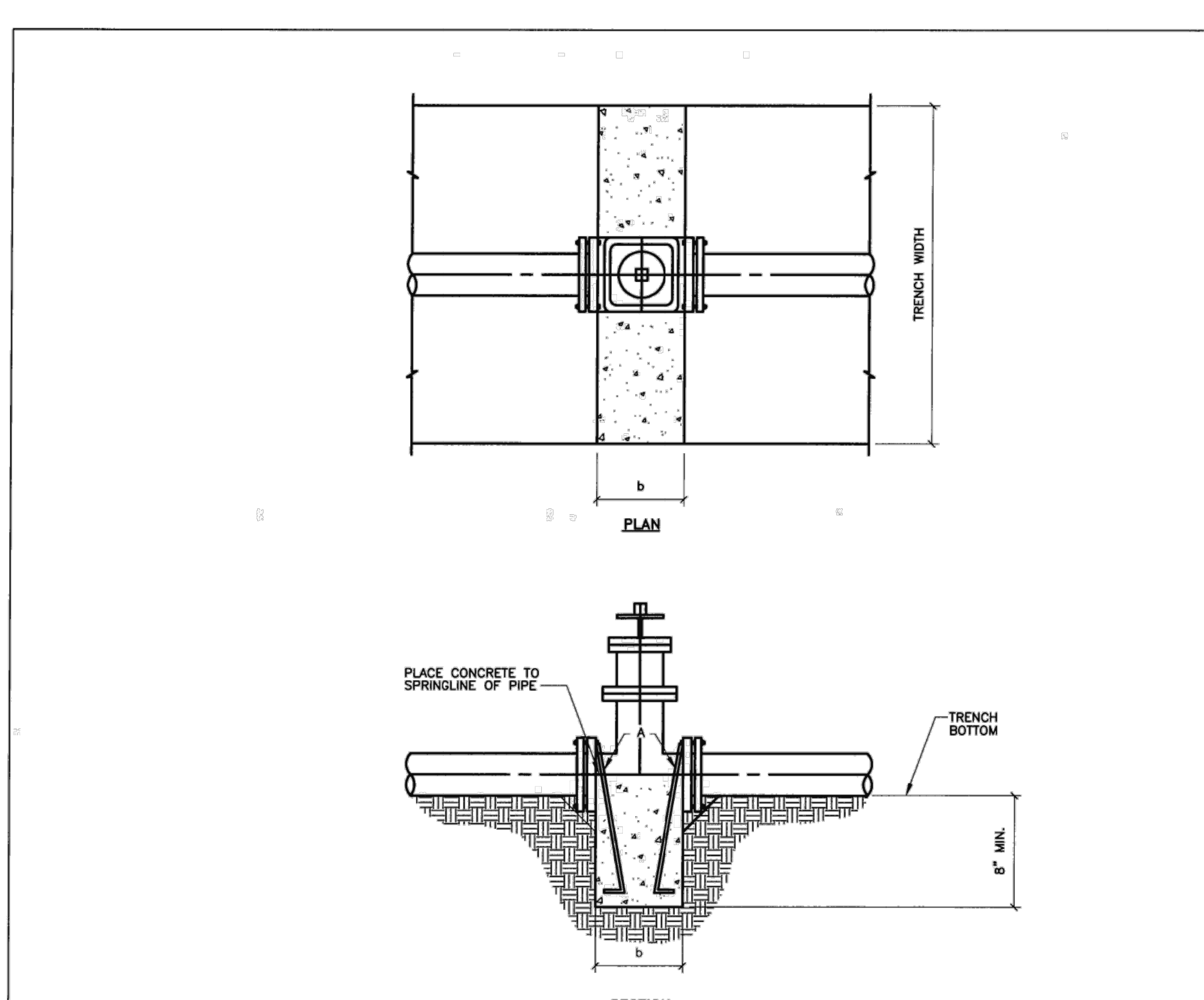
**GENERAL NOTES**

1. ALL NEW PIPE AND FITTINGS SHALL BE PROVIDED WITH THRUST CONTROL.
2. THRUST CONTROL SHALL BE BY RESTRAINED JOINTS ONLY UNLESS DIRECTED OTHERWISE BY ENGINEER.
3. ENDS ARE REQUIRED AT VALVES, TEES, FLANGED OUTLETS (ON CONCRETE CYLINDER PIPES), AND CAPPED OR PLUGGED ENDS. SEE SPECIFICATION SECTION 170 FOR LOCATIONS.

**CONSTRUCTION NOTES**

- A. EXISTING STEEL PIPE.
- B. REDUCE AT TEE, IF EXISTING LINE IS SMALLER THAN NEW LINE.
- C. M.J., C.I. ELBOW WITH JOINT RESTRAINT.
- D. NEW D.I. OR P.V.C. WITH VALVE AS DIRECTED.
- E. RESTRAINED TRANSITION COUPLING FOR A.C. RESTRAINED SOLID SLEEVE FOR D.I., C.I. AND P.V.C.
- F. EXISTING D.I., C.I., P.V.C. OR A.C., IF A.C., USE GASKETS APPROVED BY ENGINEER OR AS APPROVED ON THE CURRENT WATER AUTHORITY APPROVED PRODUCTS LIST.
- G. M.J. D.I. TEE WITH JOINT RESTRAINT.
- H. M.J., C.I. PLUG OR CAP WITH JOINT RESTRAINT.
- J. REMOVE AT LEAST 10' OF PIPE TO BE ABANDONED AND CAP OR PLUG.

REVISIONS	WATER AUTHORITY
	WATER WATERLINE CONNECTION DETAILS
DWG. 2301	JANUARY 2011

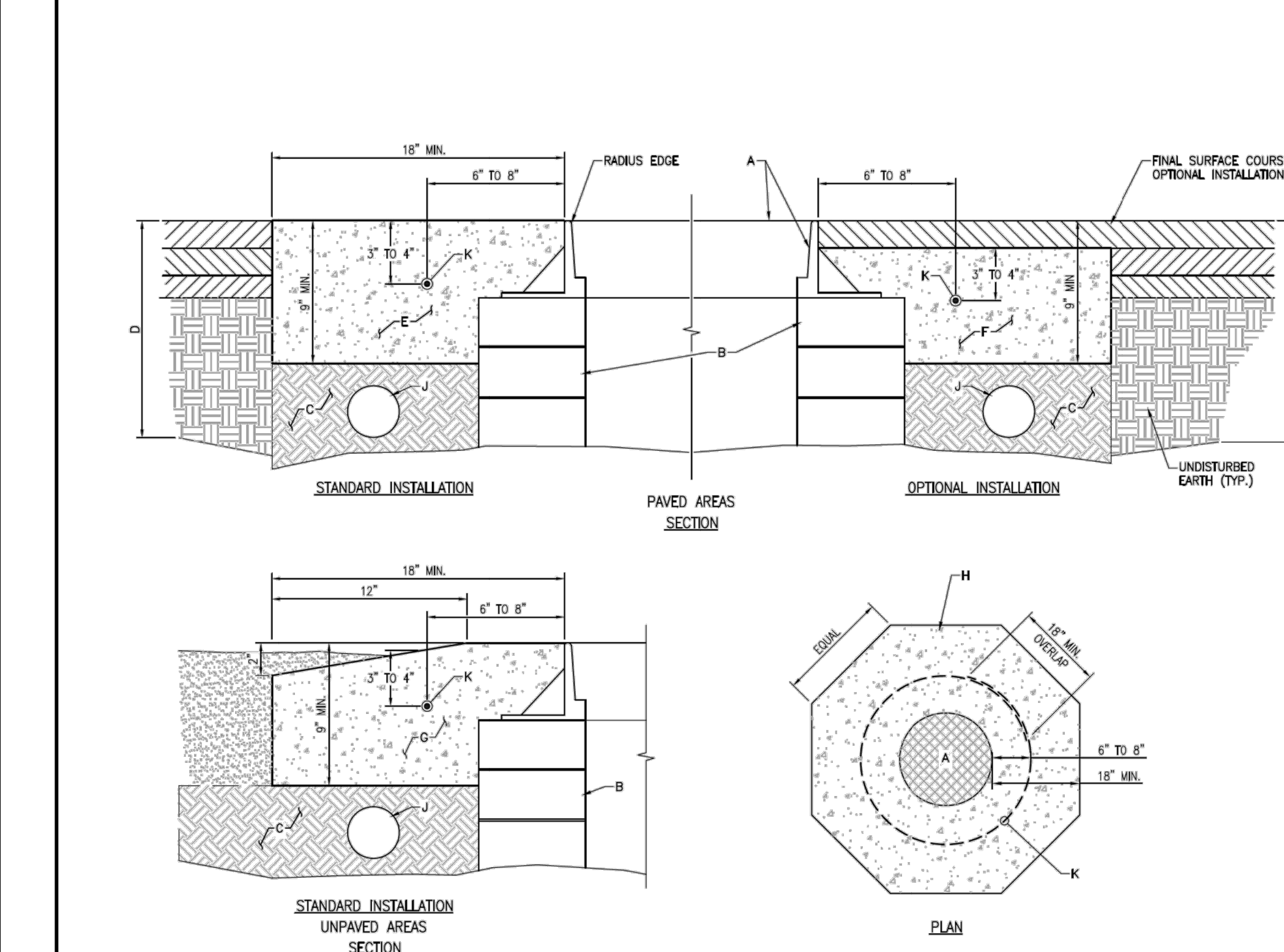


**GENERAL NOTES**

1. THE ENGINEER SHALL PROVIDE DESIGN FOR ALL VALVES GREATER THAN 12" AND BUTTERFLY VALVES.
2. ALL THRUST CONTROL BY RESTRAINED JOINTS ONLY UNLESS OTHERWISE DIRECTED BY ENGINEER.
3. USE FOR VALVE INSERTION INTO EXISTING LINES ONLY.
4. CONCRETE USED FOR VALVE ANCHORAGE PER SEC. 101 HYDRAULIC STRUCTURAL CONCRETE, F<sub>cu</sub>=3000 PSI @ 28 DAYS.
5. ALL JOINTS ARE TO BE MECHANICALLY RESTRAINED. THE MINIMUM RESTRAINED JOINT LENGTH SHALL BE 5 FEET ON EITHER SIDE OF THE VALVE.
6. NOT NEEDED FOR E-Z VALVE OR OTHER VALVE INSERTION THAT DOES NOT CUT THROUGH THE ENTIRE SECTION OF PIPE.
7. BEFORE THE WORK WILL BE ACCEPTED, WATER VALVE GPS COORDINATES SHALL BE PROVIDED ON THE RECORD DRAWING. GPS COORDINATES OBTAINED BY PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL BE SHOWN AT THE VALVE OPERATING HUB. USE THE NAD 1983 NM STATE PLANE CENTRAL ZONE FOR X AND Y COORDINATES AND NAD 1988 FOR Z COORDINATE.

PIPE SIZE	DNL	b
6"	8"	
8"	9"	
10"	10"	
12"	10"	

REVISIONS	WATER AUTHORITY
	WATER WATER VALVE INSERTION ANCHORAGE
DWG. 2333	JANUARY 2011



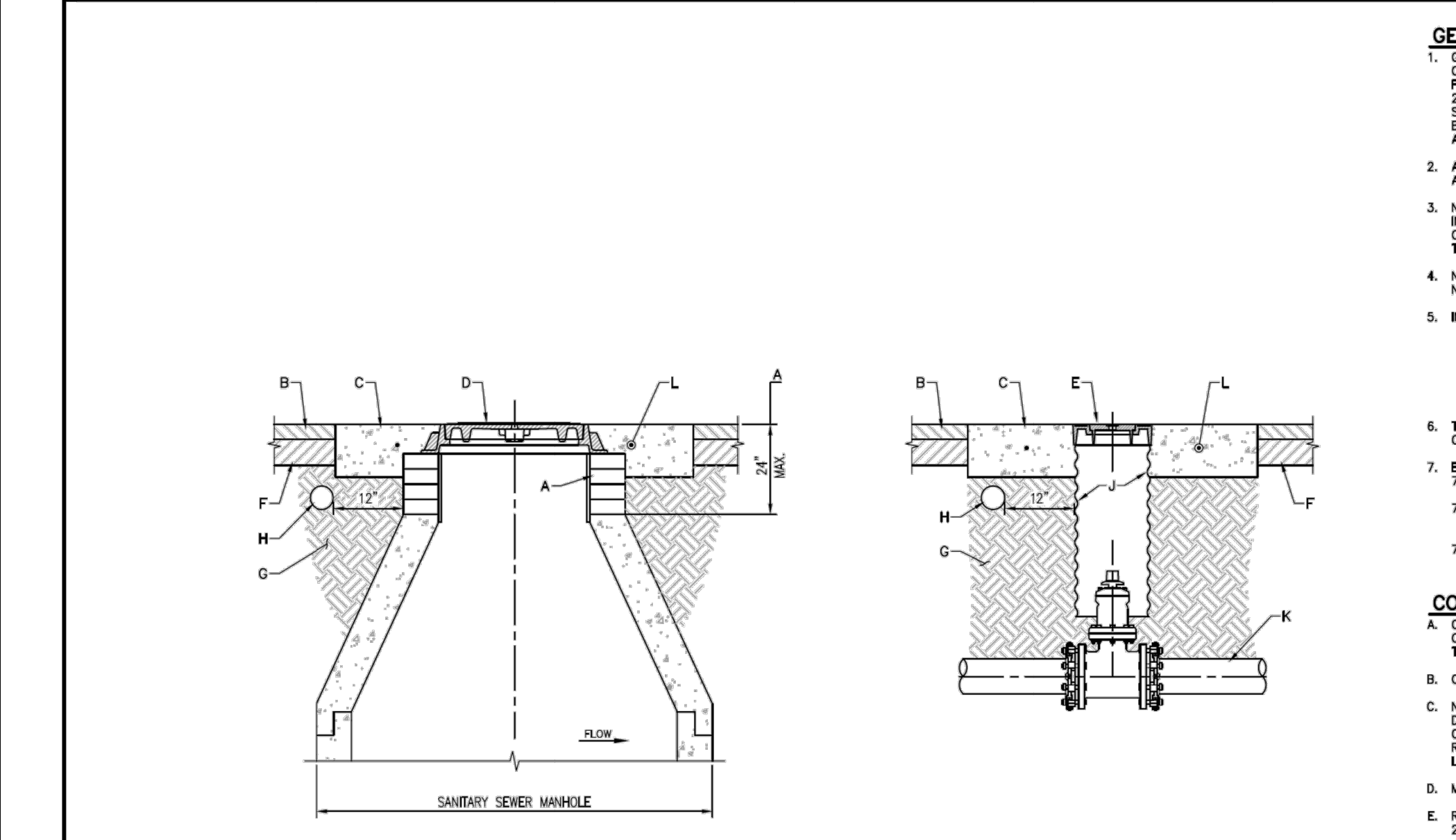
**GENERAL NOTES**

1. ALL MATERIALS MUST COMPLY WITH THE CURRENT WATER AUTHORITY OR CITY APPROVED PRODUCTS LIST.
2. CONCRETE COLLAR SHALL BE PORTLAND CEMENT CONCRETE (F<sub>c</sub> = 4000 PSI).

**CONSTRUCTION NOTES**

- A. MANHOLE OR VALVE FRAME AND COVER. SEE WATER AUTHORITY STANDARD DRAWINGS 2109, 2128, 2310, 2328, 2330, 2335, AND 2350.
- B. INSTALL CONCRETE ADJUSTMENT RINGS OR CONCRETE BRICKS FOR MANHOLES. INITIAL PRECASTER COATED STEEL CORRUGATED METAL PIPE (CMP) FOR VALVE BOXES. SEE STANDARD DRAWING 2460 FOR CONSTRUCTION.
- C. 12" SUBGRADE, SIDE COMPACTION (ASTM).
- D. PAVING SECTION PER APPROVED DRAWINGS.
- E. CONCRETE COLLAR IN PAVED AREAS. TYPICAL INSTALLATION.
- F. CONCRETE COLLAR IN UNPAVED AREAS WITH ASPHALT CAP. TO BE USED WHEN VALVES FOR IN PLACE OR AS DIRECTED BY THE ENGINEER. WATER AUTHORITY APPROVAL MUST BE OBTAINED PRIOR TO INSTALLATION ON SANITARY SEWER AND/OR WATER APPLICATIONS.
- G. CONCRETE COLLAR IN UNPAVED AREAS. SET RING 1" ABOVE GROUND AND SLOPE CONCRETE DOWN AS SHOWN TO 1" BELOW GRADE.
- H. SANITARY SEWER MANHOLE INSTALLATIONS SHALL HAVE CONCRETE COLLAR STAMPED WITH LINE SIZE AND FLOW DIRECTION. MANHOLE PRECASTER COATED STEEL CORRUGATED METAL PIPE (CMP) FOR VALVE BOXES. SEE STANDARD DRAWING 2181 FOR FORCE MAIN SEWER VALVE INSTALLATIONS, AND STANDARD DRAWING 2328 FOR WATER VALVE INSTALLATIONS.
- I. ELECTRONIC MARKER DEVICE (EMD) REQUIRED FOR ALL SANITARY SEWER VALVES AND MANHOLES, AND WATER VALVES. SEE STANDARD SPECIFICATION SECTION 170.
- K. #4 REBAR FEMED INTO HUB, DIMS 3" TO 4" IN CONCRETE, AND INSTALL 6" TO 8" FROM EDGE OF MANHOLE FRAME OR VALVE BOX RING. PROVIDE 12" MIN. OVERLAP AS SHOWN.

REVISIONS	WATER AUTHORITY & CITY OF ALBUQUERQUE
	MANHOLE/VALVE CONCRETE COLLAR DETAIL
JAN. 2013 JAN. 2015 MAY 2019	AUG. 2019
DWG. 2461	



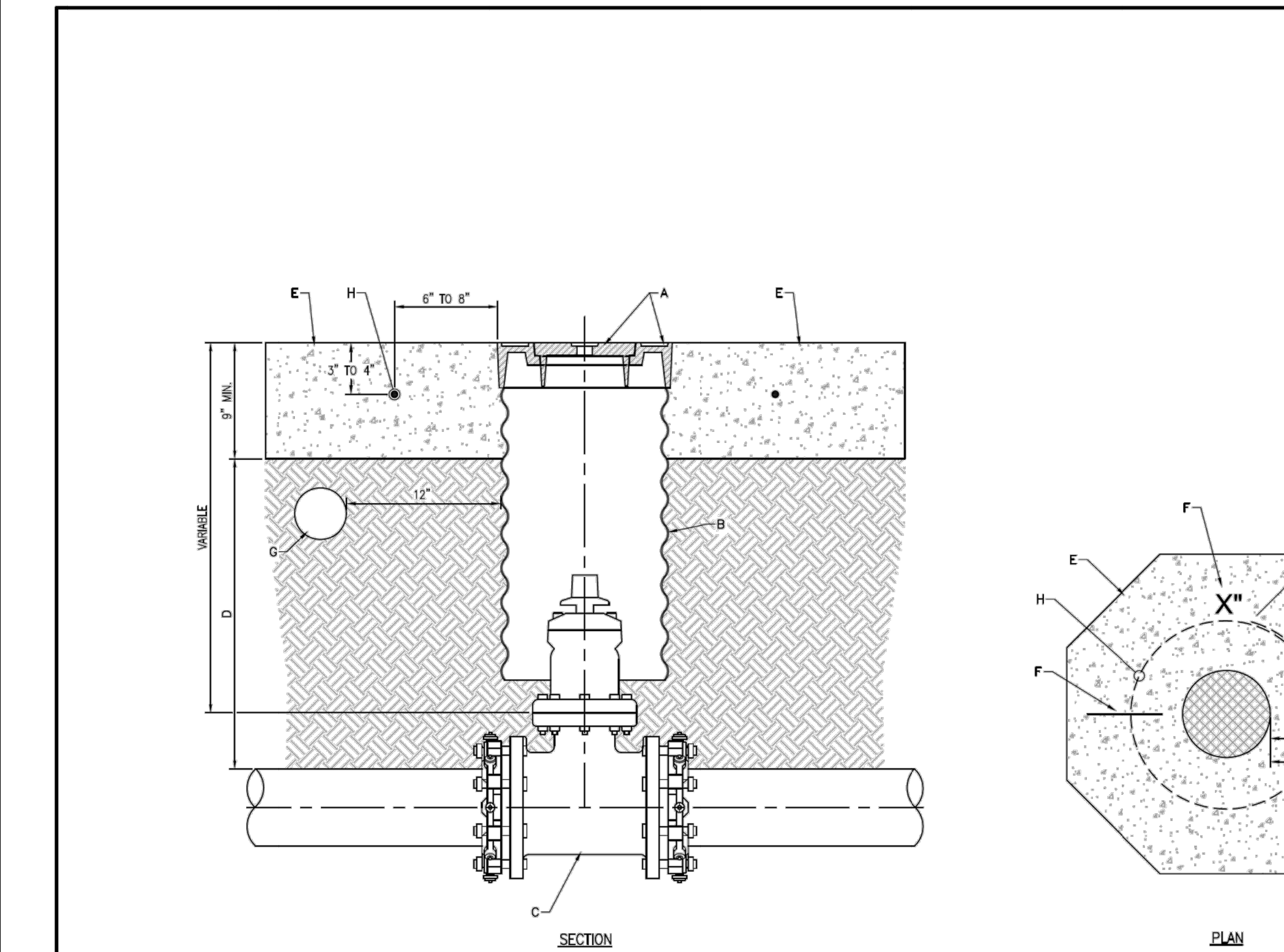
**GENERAL NOTES**

1. UNDER ADJUSTMENTS OF MANHOLE FRAME AND COVER SHALL BE MADE BY ADJUSTING CONCRETE BRICK COURSES OR CONCRETE ADJUSTMENT RINGS. UNDER THE FRAME ADJUSTMENT (RING BRICKS) MAY BE MADE TO A MAXIMUM HEIGHT OF 24". IF ADJUSTMENTS REQUIRE GREATER THAN A 2" ADJUSTMENT, THE CONE SHALL BE REMOVED, THE MANHOLE RECAST AND CONE REPLACED. ANY BRICKS USED MUST BE CONCRETE. STEEL ADJUSTMENT RINGS AND GROUT ARE NOT ACCEPTABLE TO USE FOR HEIGHT ADJUSTMENT.
2. ALL MATERIALS MUST COMPLY WITH THE CURRENT WATER AUTHORITY OR CITY APPROVED PRODUCTS LIST.
3. NEW RINGS AND COVERS, REMOVAL AND REPLACEMENT OF CONCRETE COLLARS, INSTALLATION OF RINGS, AND THE INSTALLATION OF NEW POLYMER COATED CORRUGATED METAL PIPE FOR VALVE BOXES, SHALL BE CONSIDERED INCIDENTAL TO THE ADJUSTMENT PAY ITEM.
4. NEW RINGS AND COVERS WILL BE REQUIRED IF CURRENT RINGS AND COVERS DO NOT MEET CURRENT STANDARD SPECIFICATIONS.
5. INSTALLATION MUST COMPLY WITH THE FOLLOWING STANDARD DRAWINGS:
  - S.1. 2109 - SANITARY SEWER MANHOLE COVERS
  - S.2. 2210 - STORM MANHOLE COVERS
  - S.3. 2328 - INCH/1/2 INCH COVER VALVE RINGS AND COVERS
  - S.4. 2310 - WATER MANHOLE COVERS
  - S.5. 2329 - WATER INLET AND COVERS
  - S.6. 2329 - FIRE LINE RINGS AND COVERS
6. TO ENSURE THE SPECIFIED QUALITY OF CASTINGS WILL BE GUARANTEED, ONLY CASTINGS MANUFACTURED IN THE UNITED STATES OF AMERICA WILL BE ACCEPTABLE.
7. ELECTRONIC MARKER DEVICE (EMD) PLACEMENT MUST COMPLY WITH THE FOLLOWING:
  - 7.1. SANITARY SEWER MANHOLE. EMD SHALL BE PLACED 1 FOOT UPSTREAM OF THE MANHOLE OVER THE MANHOLE.
  - 7.2. WATER VALVE AND SANITARY VALVE COVERS - EMD SHALL BE PLACED 1 FOOT NORTH OR WEST (DEPENDENT ON LINE DIRECTION) OF THE VALVE OVER THE VALVE MANHOLE OR VALVE COVER MANHOLE.
  - 7.3. STORM DRAIN MANHOLES - EMD'S ARE NOT REQUIRED AND SHALL NOT BE PLACED AT STORM DRAIN MANHOLES.

**CONSTRUCTION NOTES**

- A. CONCRETE ADJUSTMENT RINGS OR CONCRETE BRICKS, MAX. 24" DEPTH FROM B.M. OF MANHOLE TO BOTTOM OF CONCRETE TOP SLAB IN STANDARD DRAWING 2101, OR TOP OF CONCRETE ZONE IN STANDARD DRAWING 2102.
- B. OVERLAY.
- C. NEW PORTLAND CEMENT CONCRETE COLLAR (F<sub>c</sub> = 4000 PSI) PER STANDARD DRAWING 2461. ALL ADJUSTMENTS SHALL BE INSTALLED WITH A NEW CONCRETE COLLAR. THE OLD COLLARS SHALL BE REMOVED AND REPOSED OF PROPERLY. REFER TO STANDARD DRAWINGS 2101, 2102, 2181, 2328, AND 2461 FOR PROPER LINE IDENTIFICATION ON THE COLLAR.
- D. MANHOLE FRAME AND COVER PER STANDARD DRAWINGS 2109 AND 2310.
- E. RING AND COVER FOR VALVE BOX. REFER TO STANDARD DRAWINGS 2128, 2328, 2329, AND 2330.
- F. EXISTING PAVING SECTION.
- G. SUBGRADE SHALL BE COMPACTED TO SOX (ASTM).
- H. ELECTRONIC MARKER DEVICE (EMD). SEE STANDARD SPECIFICATION SECTION 170. EMD'S ARE REQUIRED ON ALL WATER AND SANITARY SEWER ADJUSTMENT. DO NOT INSTALL EMD ON STORM DRAIN MANHOLES.
- J. PRECASTER COATED STEEL CORRUGATED METAL PIPE (CMP).
- K. WATER OR SEWER LINE.
- L. #4 REBAR PER STANDARD DRAWING 2461.

REVISIONS	WATER AUTHORITY & CITY OF ALBUQUERQUE
	PAVING MANHOLE AND VALVE BOX REGRADING
JAN. 2013 JAN. 2015 SEP. 2017	MAY 2019
DWG. 2460	



**GENERAL NOTES**

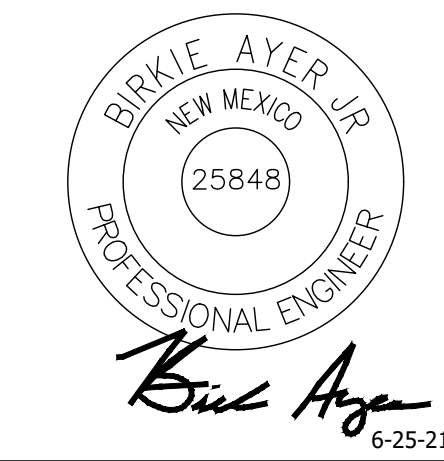
1. UNDER ADJUSTMENTS OF MANHOLE FRAME AND COVER SHALL BE MADE BY ADJUSTING CONCRETE BRICK COURSES OR CONCRETE ADJUSTMENT RINGS. UNDER THE FRAME ADJUSTMENT (RING BRICKS) MAY BE MADE TO A MAXIMUM HEIGHT OF 24". IF ADJUSTMENTS REQUIRE GREATER THAN A 2" ADJUSTMENT, THE CONE SHALL BE REMOVED, THE MANHOLE RECAST AND CONE REPLACED. ANY BRICKS USED MUST BE CONCRETE. STEEL ADJUSTMENT RINGS AND GROUT ARE NOT ACCEPTABLE TO USE FOR HEIGHT ADJUSTMENT.
2. ALL MATERIALS MUST COMPLY WITH THE CURRENT WATER AUTHORITY OR CITY APPROVED PRODUCTS LIST.
3. NEW RINGS AND COVERS, REMOVAL AND REPLACEMENT OF CONCRETE COLLARS, INSTALLATION OF RINGS, AND THE INSTALLATION OF NEW POLYMER COATED CORRUGATED METAL PIPE FOR VALVE BOXES, SHALL BE CONSIDERED INCIDENTAL TO THE ADJUSTMENT PAY ITEM.
4. NEW RINGS AND COVERS WILL BE REQUIRED IF CURRENT RINGS AND COVERS DO NOT MEET CURRENT STANDARD SPECIFICATIONS.
5. INSTALLATION MUST COMPLY WITH THE FOLLOWING STANDARD DRAWINGS:
  - S.1. 2109 - SANITARY SEWER MANHOLE COVERS
  - S.2. 2210 - STORM MANHOLE COVERS
  - S.3. 2328 - INCH/1/2 INCH COVER VALVE RINGS AND COVERS
  - S.4. 2310 - WATER MANHOLE COVERS
  - S.5. 2329 - WATER INLET AND COVERS
  - S.6. 2329 - FIRE LINE RINGS AND COVERS
6. TO ENSURE THE SPECIFIED QUALITY OF CASTINGS WILL BE GUARANTEED, ONLY CASTINGS MANUFACTURED IN THE UNITED STATES OF AMERICA WILL BE ACCEPTABLE.
7. ELECTRONIC MARKER DEVICE (EMD) PLACEMENT MUST COMPLY WITH THE FOLLOWING:
  - 7.1. SANITARY SEWER MANHOLE. EMD SHALL BE PLACED 1 FOOT UPSTREAM OF THE MANHOLE OVER THE MANHOLE.
  - 7.2. WATER VALVE AND SANITARY VALVE COVERS - EMD SHALL BE PLACED 1 FOOT NORTH OR WEST (DEPENDENT ON LINE DIRECTION) OF THE VALVE OVER THE VALVE MANHOLE OR VALVE COVER MANHOLE.
  - 7.3. STORM DRAIN MANHOLES - EMD'S ARE NOT REQUIRED AND SHALL NOT BE PLACED AT STORM DRAIN MANHOLES.

**CONSTRUCTION NOTES**

- A. RING AND COVER FOR VALVE BOX PER STANDARD DRAWING 2328.
- B. INITIAL PIPE LINE DIRECTION AND COVER ON PIPE LINES PER STANDARD DRAWING 2329, AND NON-PORTABLE RING AND COVER ON NON-PORTABLE LINES PER DRAWING 2330.
- C. 12" DIAMETER POLYMER COATED STEEL PIPE CMP.
- D. NEW OR EXISTING VALVE.
- E. COMPACTED BACKFILL, SOIL OR BASE COURSE MATERIAL (SOX COMPACTION). SEE SECTION 701.
- F. CONCRETE COLLAR PER STANDARD DRAWING 2461. F<sub>c</sub> = 4000 PSI.
- G. TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH MANHOLE LINE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3/4" IN HEIGHT. ALL LETTERS "NMP" FOR NON-PORTABLE MANHOLE INSTALLATIONS.
- H. ELECTRONIC MARKER DEVICE (EMD). SEE STANDARD SPECIFICATION SECTION 170.
- I. #4 REBAR PER STANDARD DRAWING 2461.

REVISIONS	WATER AUTHORITY
	WATER VALVE BOX
JAN. 2015	OCT. 2017
DWG. 2328	

**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



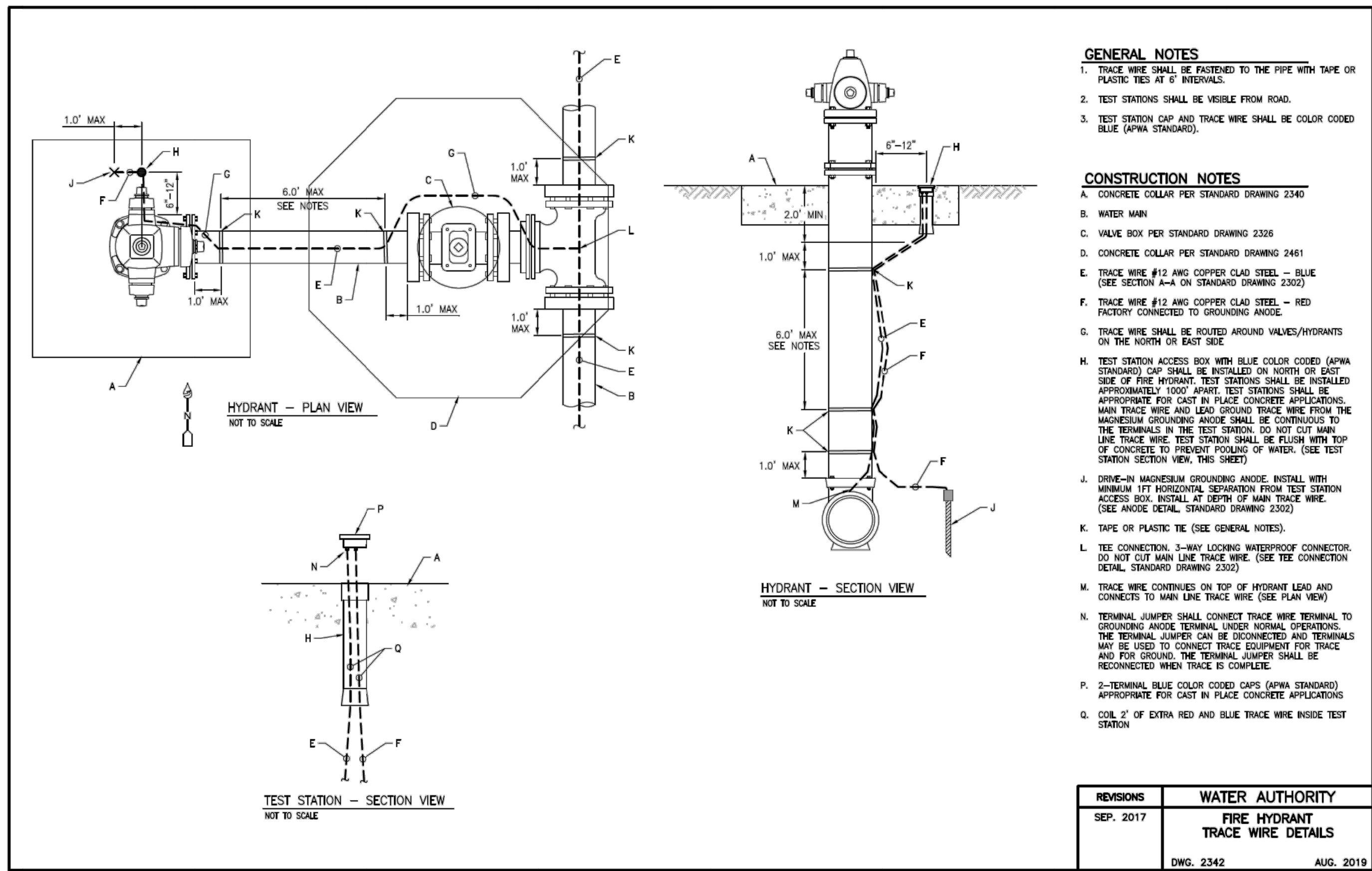
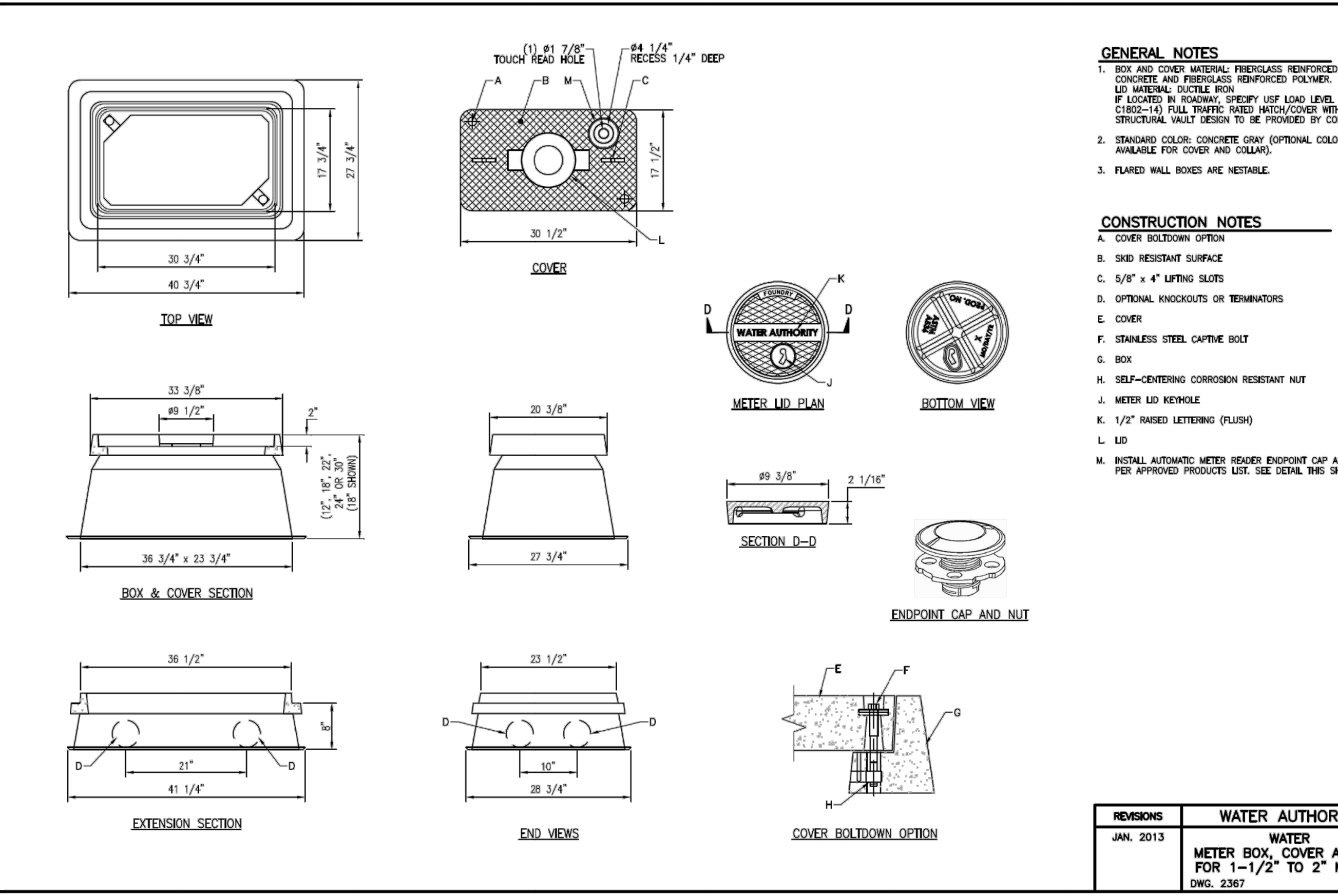
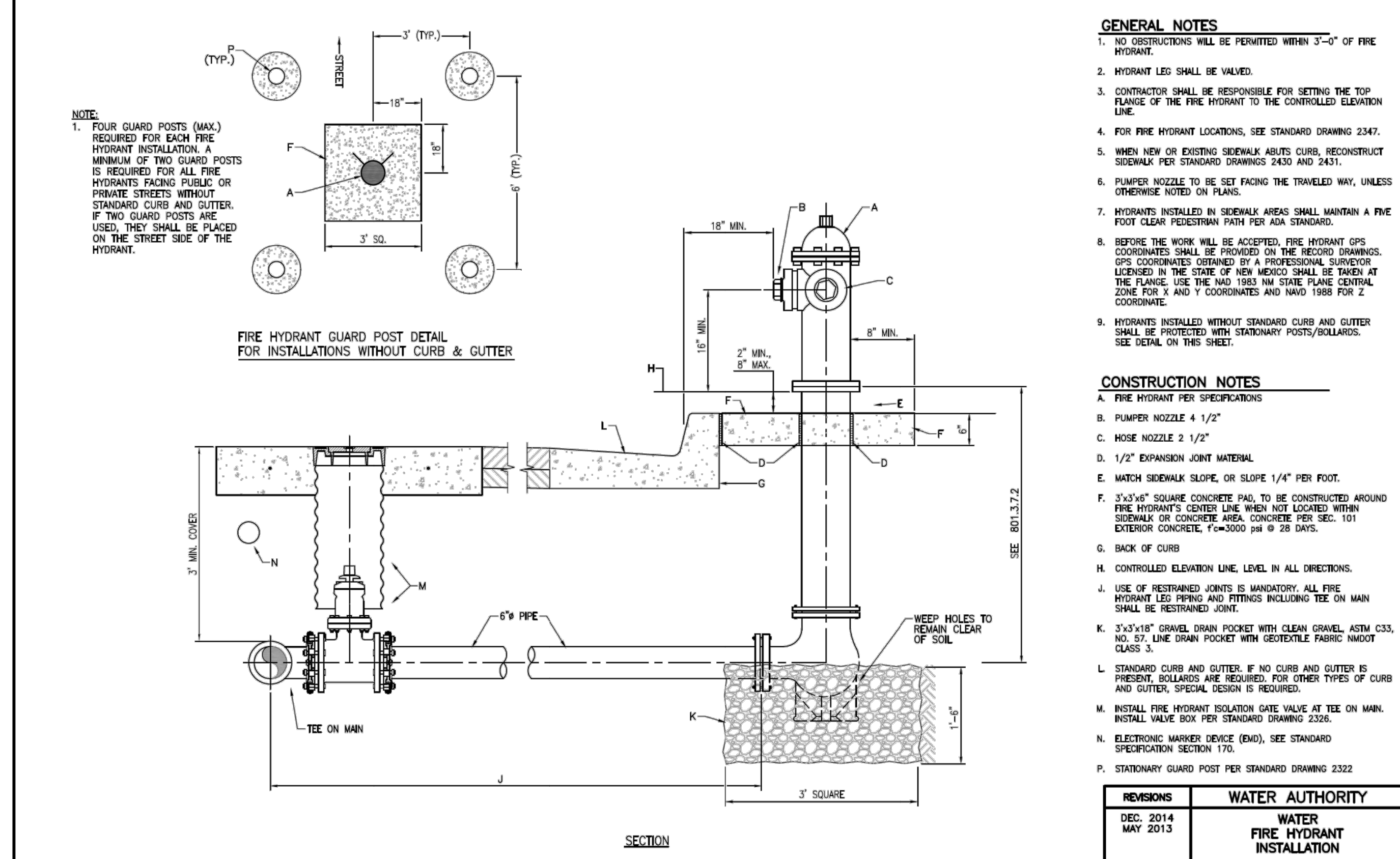
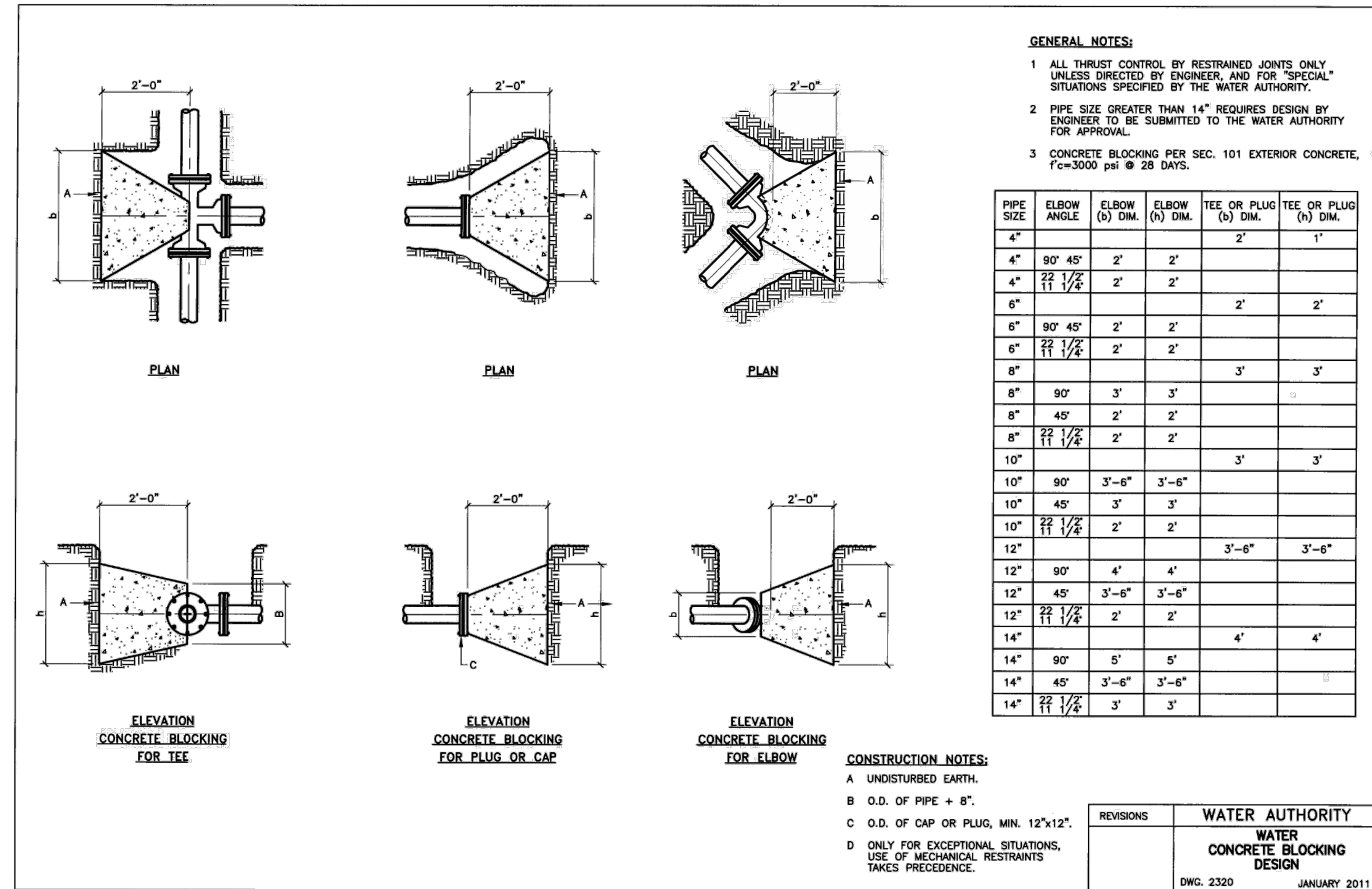
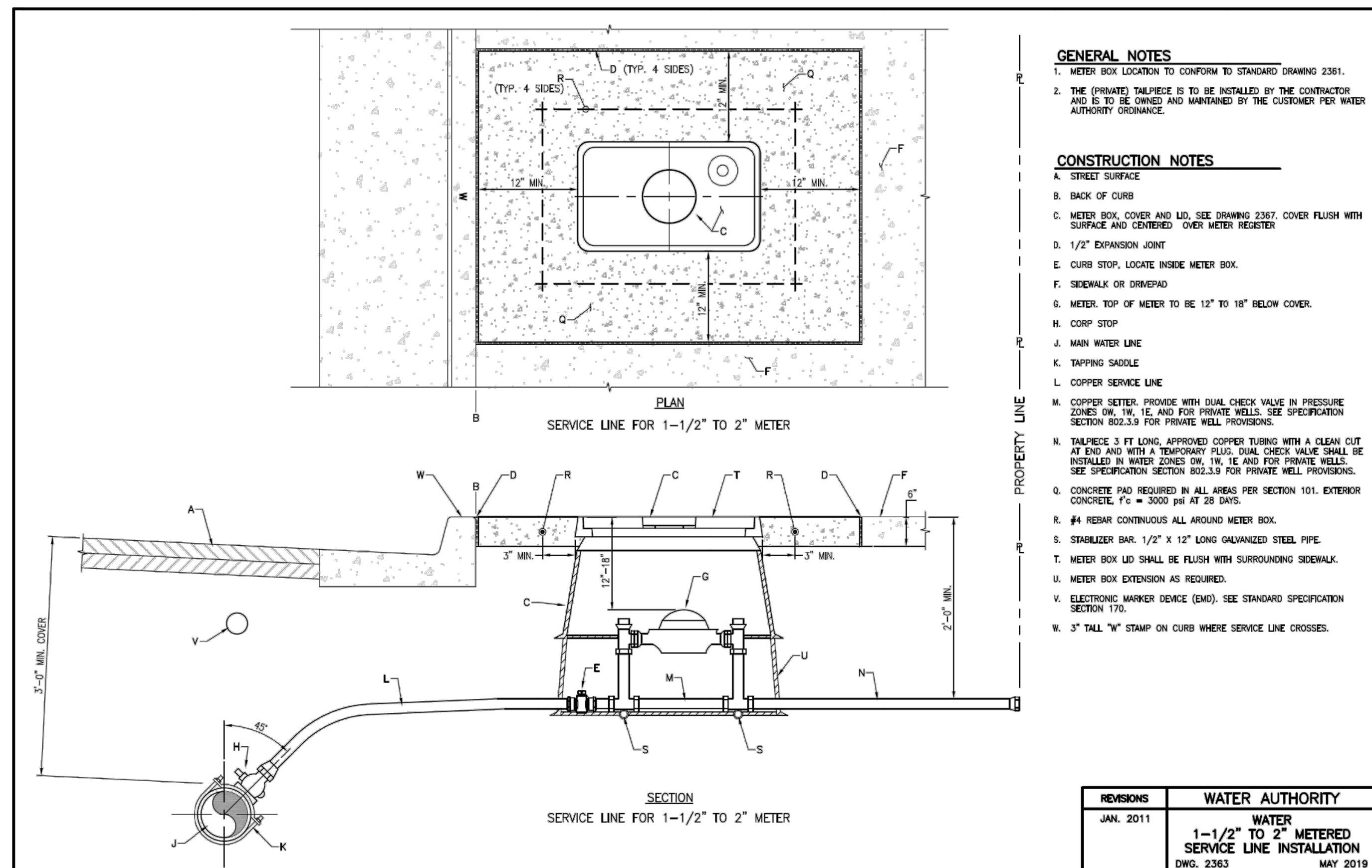
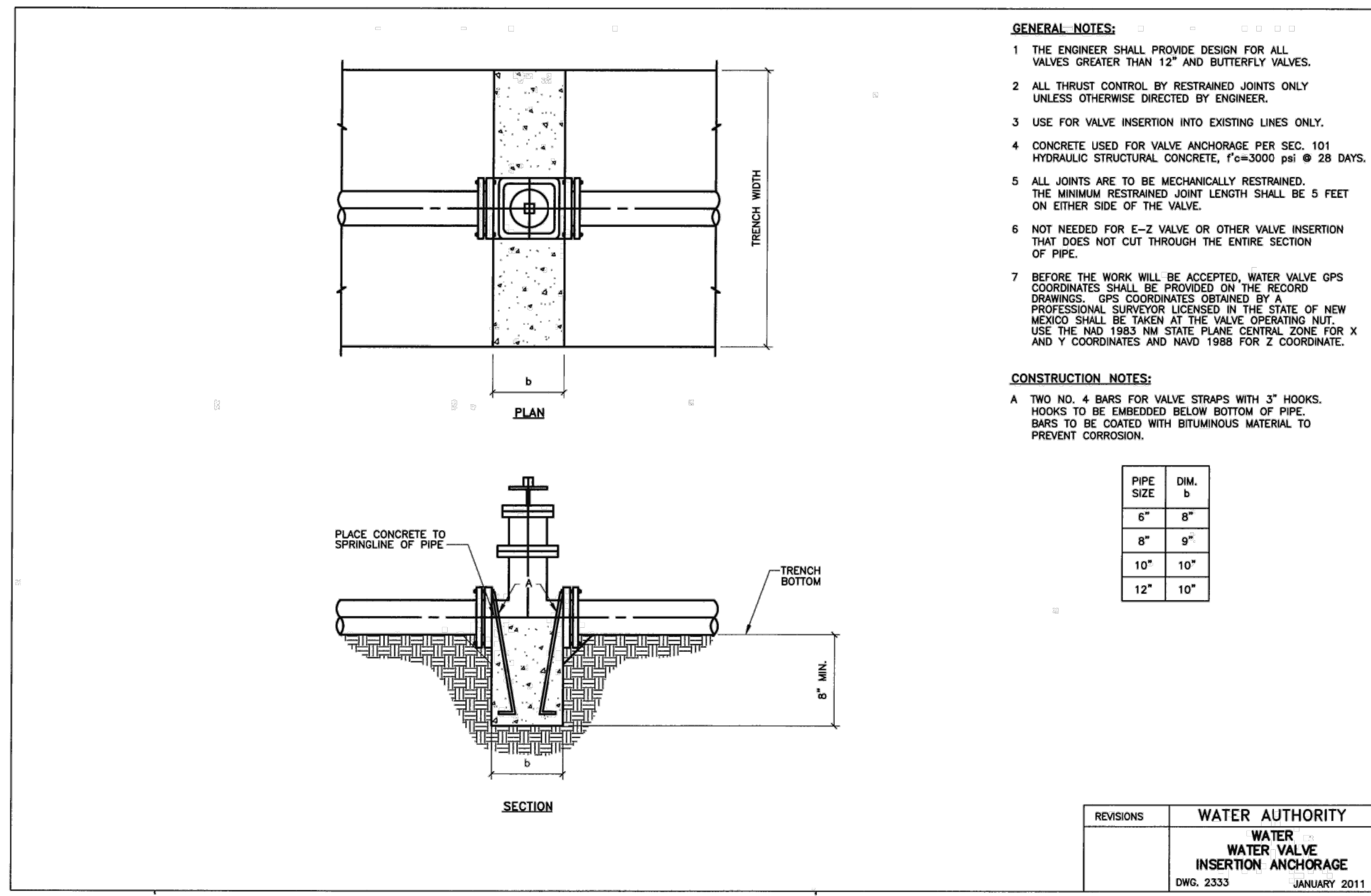
PROJECT NAME:  
**SANDIA COLLISION CENTER**  
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**UTILITY DETAILS**

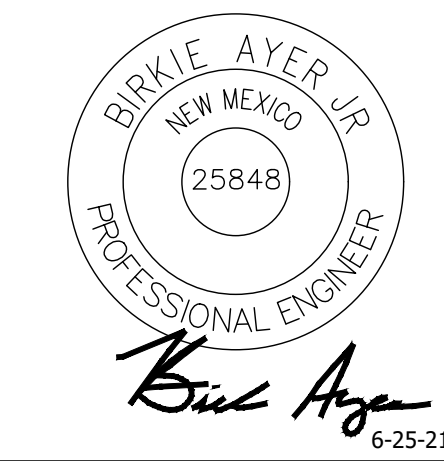
PROJECT #	2020-1	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
#1	DRB COMMENTS	6/25/21

**C10.0**





AYER DESIGN GROUP  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
 SANDIA COLLISION CENTER  
 5900 JEFFERSON STREET NE  
 ALBUQUERQUE, NM

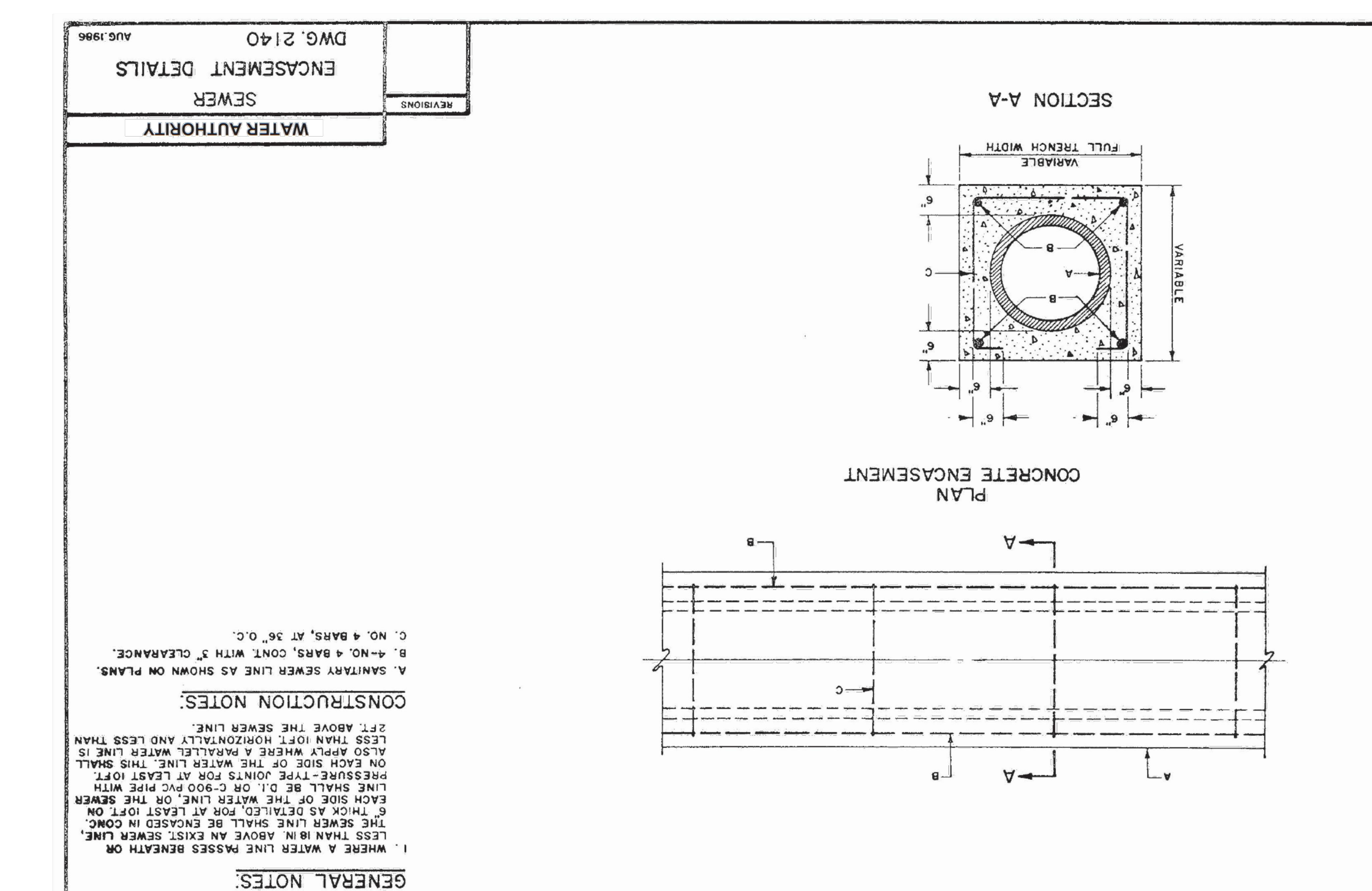
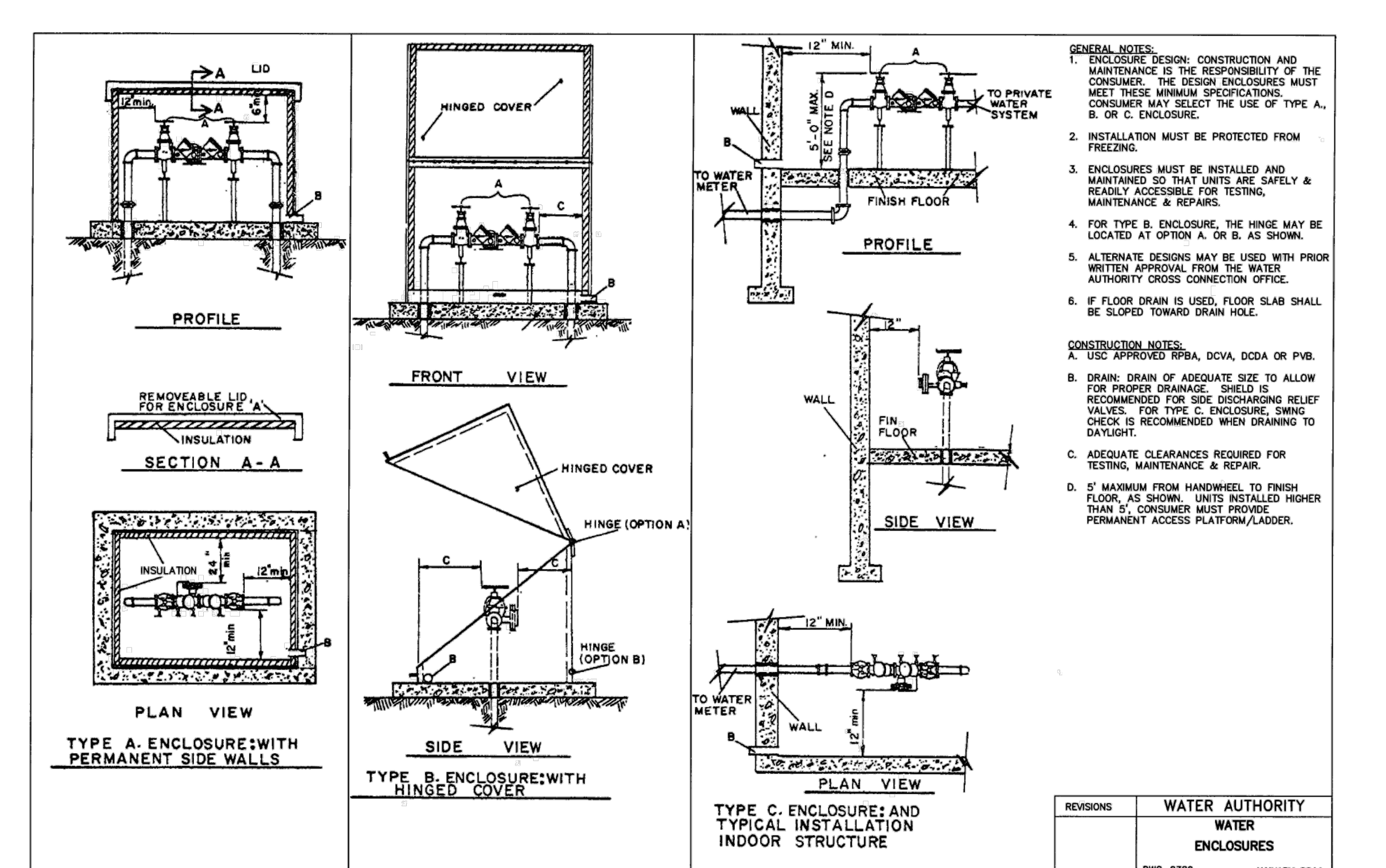
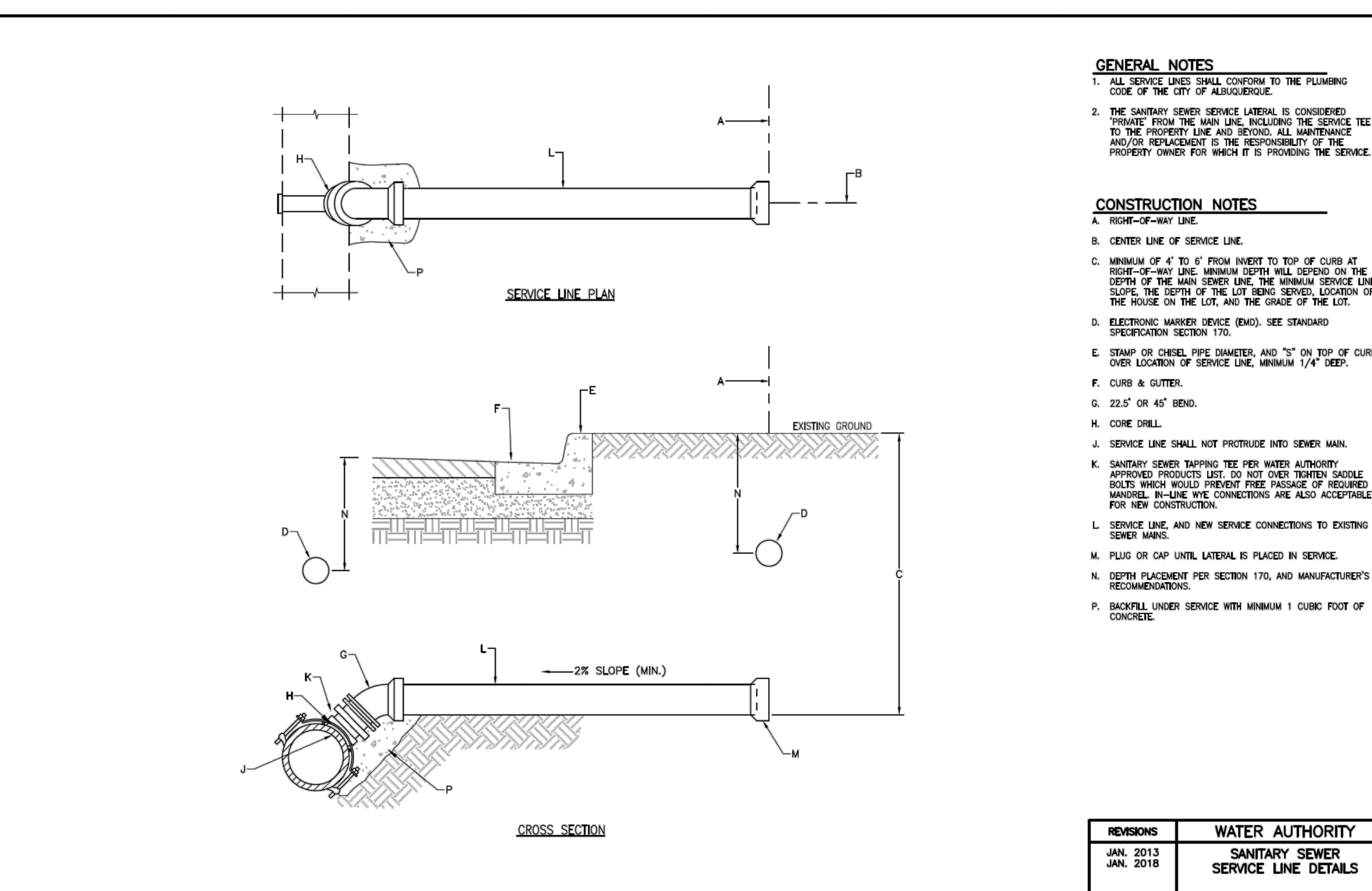
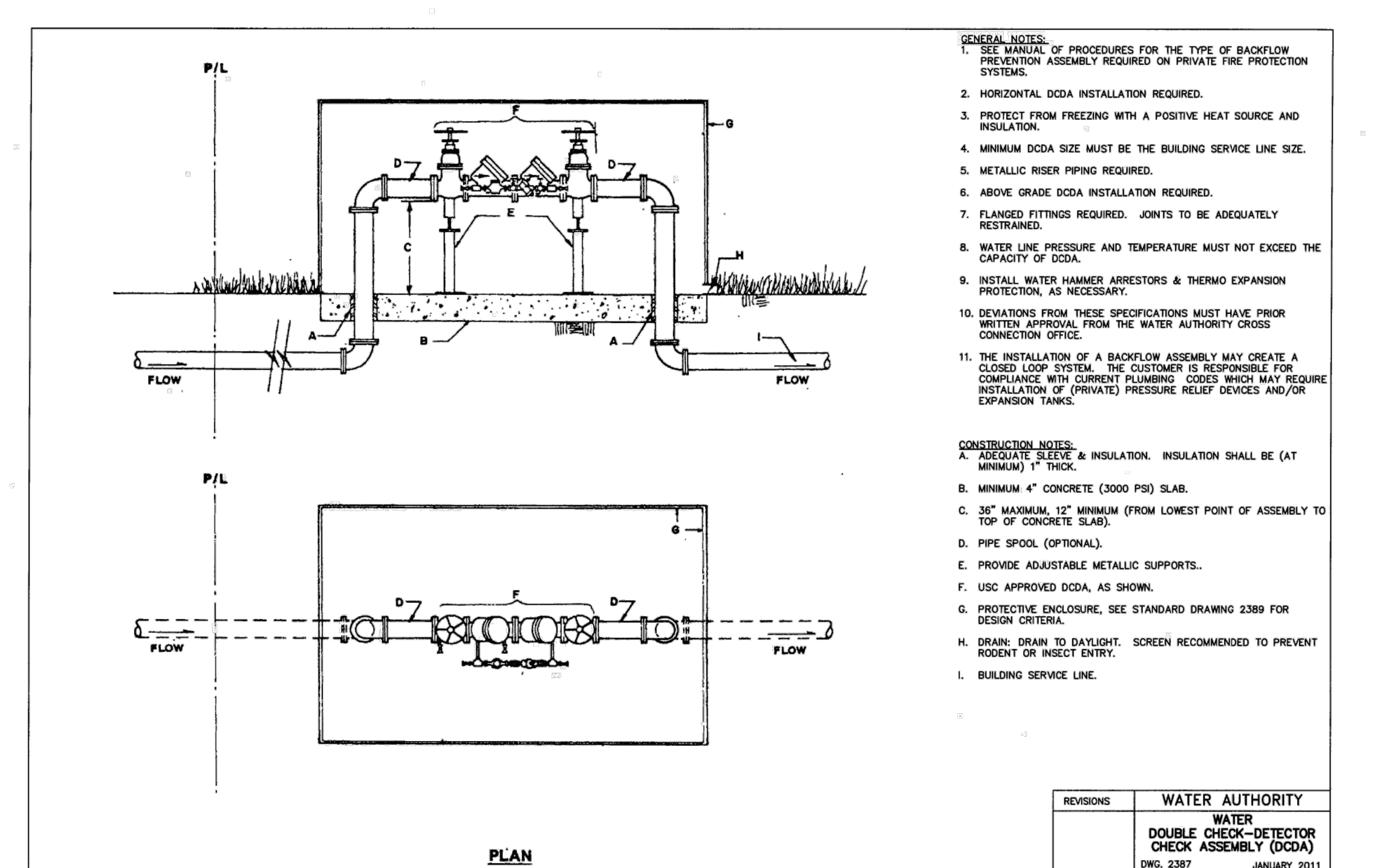
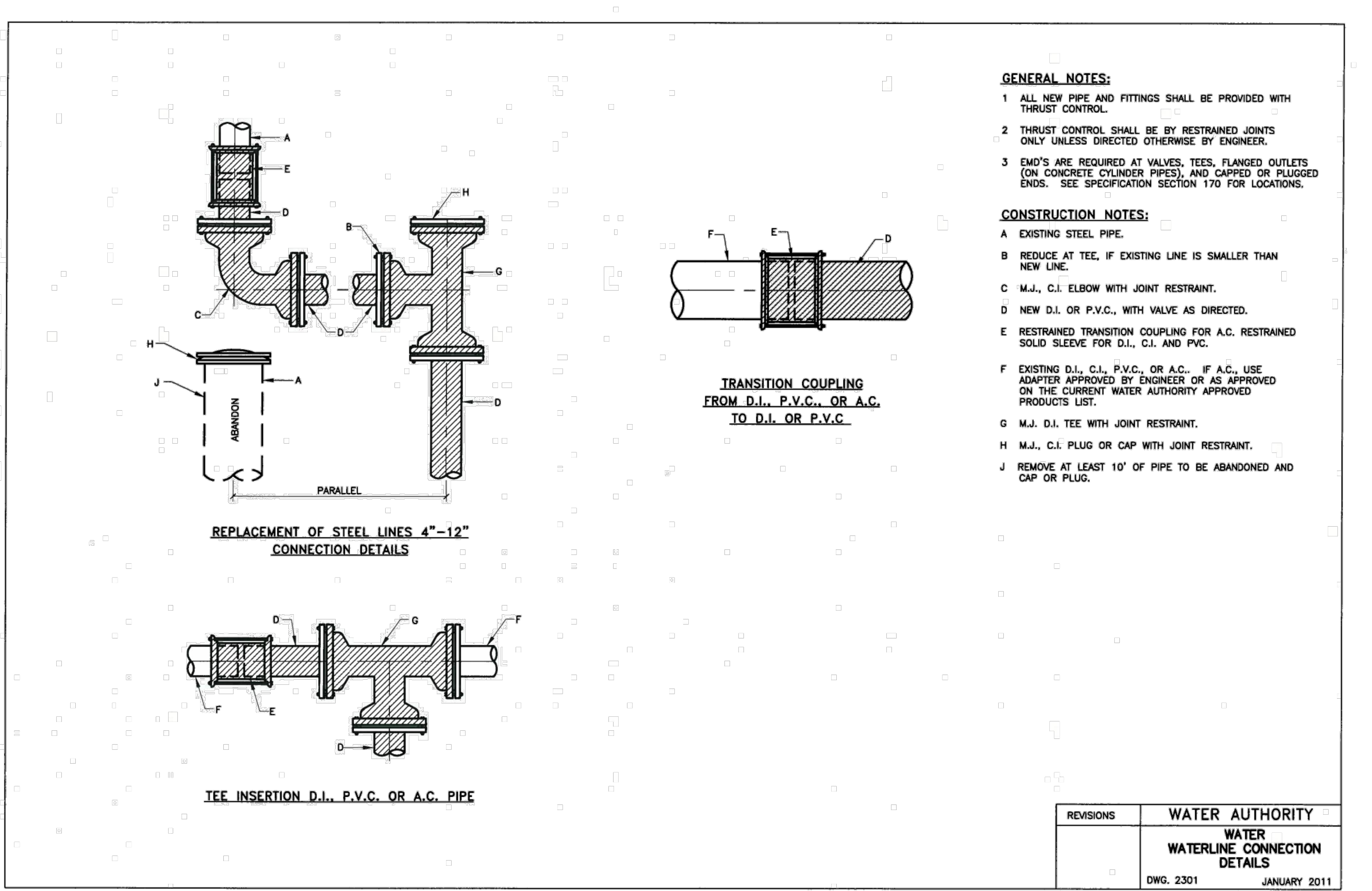
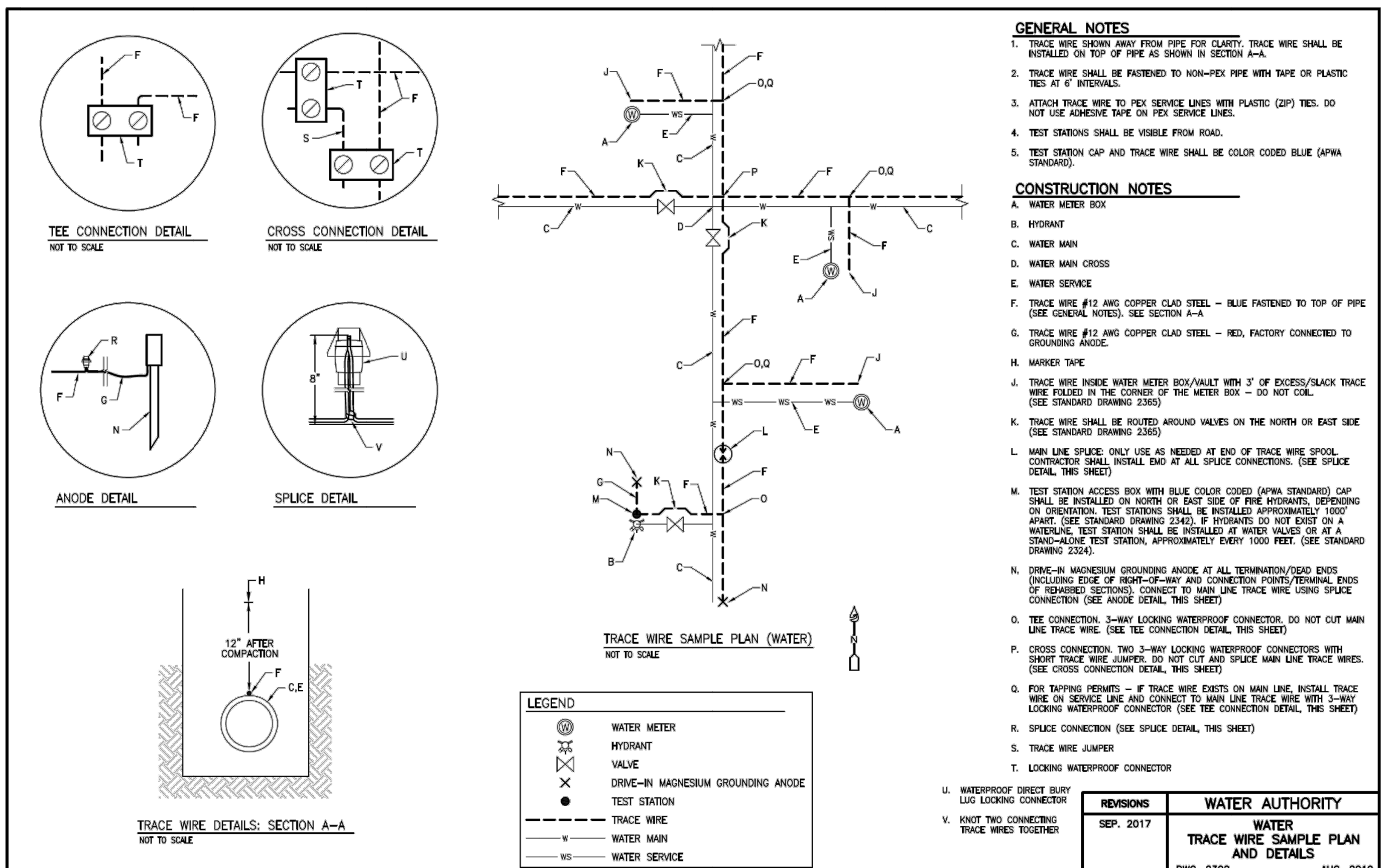
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NO	ISSUE/REVISION	DATE
#1	FOR PERMIT	4/2/21
#1	DRB COMMENTS	6/25/21

PROJECT #	2020-1
DRAWN BY	CC
CHECKED BY	BA

C10.1





**AYER DESIGN GROUP**  
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215 Johnston Street  
Rock Hill, SC 29730  
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PROJECT NAME:  
**SANDIA COLLISION CENTER**  
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**UTILITY DETAILS**

NO	ISSUE/REVISION	DATE
#1	FOR PERMIT	4/2/21
#1	DRB COMMENTS	6/25/21

PROJECT #	2020-1
DRAWN BY	CC
CHECKED BY	BA

**C10.2**



**PART 1 GENERAL**

1.01 Scope  
The work covered by this Specification consists of furnishing all labor, tools, materials, supervision, and equipment in performing all operations in connection with constructing the site infrastructure as specified herein or shown on Drawings.

1.02 Protection of Facilities  
Existing utility lines, sidewalks, fencing, pavement or other structures shown on the Drawings, as shown to the Contractor or mentioned in the Plans and Specifications shall be kept free of damage by the Contractor's operations. It shall be the responsibility of the Contractor to verify the existence and location of all underground utilities on the site and insure that they are adequately marked to prevent damage.

**PART 2 CLEARING AND GRUBBING**

2.01 General  
All vegetation, trees, stumps, roots, rubbish, trash, and other debris shall be cleared and grubbed within the clearing limits of all areas to receive structures or utility lines before beginning grading operations. All material from clearing and grubbing operations shall be removed from the site in conformance to applicable Federal, State and Local laws and regulations.

**2.02 Stripping and Topsoiling**

Areas to be graded shall be stripped of topsoil. All topsoil shall be stripped and spread in non-critical grading areas. Topsoil shall be stockpiled for use on finished grades or other areas graded or disturbed by Contractor.

**PART 3 EROSION CONTROL**

3.01 General  
Soil erosion and sediment control shall be provided by the Contractor at his expense for all areas of the site which are disturbed by construction operations throughout the life of the project. Control measures shall be in place prior to any land disturbing activity and expanded as needed during the project. Maintenance of these facilities shall be continuous by the Contractor until the disturbed area is protected by ground cover (Final Stabilization).

**PART 4 STORM DRAINAGE SYSTEM**

4.01 General  
Each pipe shall be laid on a firm bed, true to line and grade, and in such manner as to form a close concentric joint with the adjoining pipe and to prevent sudden offsets of the flow line or disturbance of the line and grade. All pipes shall be laid with the bell end pointing up grade. Each section of storm pipe installation shall begin at the lowest point and must be laid continuously between manholes, headwalls, or to completion. Where pipe is to be laid in material of poor supporting value, the unsuitable material shall be replaced with a layer of No. 57 crushed stone.

4.02 Products  
Reinforced concrete pipe (RCP) shall comply with the requirements of ASTM Designation, C78, Class III or Class IV as indicated on the Drawings. Joints shall be tongue-and-groove joints with Butyl rubber mastic sealant, which shall comply with Federal Specification SS-S-210. All pipes shall be circular with circular reinforcement. Precast drainage structures are not allowed without prior written approval. Waffle or knock-out boxes are never to be used.

**PART 5 PARKING LOT CONSTRUCTION**

5.01 General  
All lots shall be graded as shown on the Drawings. Sub-grade shall be sloped for effective drainage at all times. Equipment ruts shall be leveled at the end of each work day. Water-holding depressions shall not be left in grading areas overnight. All sub-grade shall be proof rolled with a fully loaded tandem, rubber-tired roller or similar approved equipment. The proof roller shall make at least two (2) passes over each location. Any areas which wave, rut or deflect excessively and continue to do so after several passes of the proof roller shall be undercut to firmer soils. Graded areas shall be fine graded to spot elevations and contours shown on Drawings for sub-grade after allowances made for base and pavement thickness. Sidewalks shall be to a thickness as shown on the standard detail and constructed on an adequately graded base. Sub-grade shall be compacted to 95% SPD. The surface of the sidewalk shall be steel trowel and light broom finished and cured with an acceptable curing compound. The light broom finish shall have the brush marks perpendicular to the sidewalk line. Tooled joints shall be provided at intervals of not less than five (5) feet and expansion joints at intervals of not less than forty-five (45) feet. The sidewalk shall have a lateral slope of one-quarter inch (1/4") per foot.

5.02 Products  
Concrete curb and gutter, sidewalk, and driveways shall be poured with minimum compressive strength of 3000 PSI 28 days, four inch slump per ASTM C39, air content of 3%-6%. Location, width and thickness shall be as indicated on the Drawings. Aggregate base course, binder and surface course shall be installed and compacted in accordance with NM DOT Specifications. Type and thickness shall be as indicated on the drawings.

**PART 6 GRADING AND EXCAVATION**

6.01 General  
After clearing, grubbing and stripping have been completed, excavation for buildings, parking lots, drainage ditches and all other construction, shall be performed to the lines and grades indicated by the Drawings. Site excavation shall be unclassified regardless of the nature of material encountered. When material encountered within the limits of this work is considered unsuitable by the Engineer, such material shall be excavated below the grades shown on the Drawings or as directed by the Engineer and shall be replaced with suitable material. Excavation materials which are not required for fills shall be considered as waste and shall be disposed of off-site in an approved land fill. The excavations for footings and slabs shall be carried to the exact grades as shown on the Drawings. Undercutting will not be permitted. Should the Contractor excavate below the proper grade under concrete slabs or footings, earth fill will not be permitted, and concrete shall be poured to the bottom of excavation. No extra compensation will be granted the Contractor for extra concrete used for re-fill. Embankment and fill compaction shall be accomplished by thoroughly compacting each layer with sheeps foot rollers, pneumatic rollers, and mechanical tampers in places inaccessible to rollers, or other equipment. When material has too much moisture, grading operations shall be limited to drying soil by spreading and turning for drying by the sun and aeration. When material is dry, moisture shall be added by sprinkling by approved means.

All embankments and fills shall be compacted to the following percentages of the maximum dry density and within the following moisture range, in terms of optimum moisture as determined by the Standard Proctor Density Test, ASTM, D698.

The following table shall be used unless otherwise specified.

**TABLE OF COMPACTION AND MOISTURE**

Class of Fills or Embankments	Zone	Minimum Density%	Moisture Range
Structure	Top 12-inches	98	+1 to -2
	Remainder	95	+4 to -3
Roadway	Top 30-inches	98	+1 to -2
	Remainder	95	+2 to -3
Parking Lot	Top 18-inches	98	+1 to -2
	Remainder	95	+3 to -3
Dam/Dike	All Depths	95	+4 to -3
	Common	All Depths	92

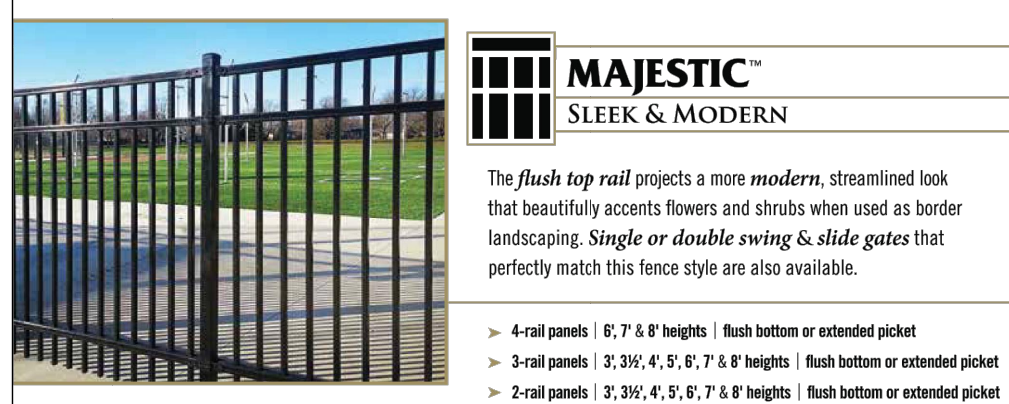
Class of fills or Embankments are defined as follows:

Structure - beneath concrete slabs of buildings, pumping stations, floors, foundations, etc.  
Roadway - beneath all roads, streets, truck operations.  
Parking Lot - automobile parking lots.  
Dam/Dike - embankment for ponds, lagoons, etc.  
Common - all other embankments.

Any required borrow material shall be provided by the contractor at no additional cost to the owner. Excavated materials not suited for backfill and excavated material in excess of that needed to complete the work shall be wasted on the project site where directed by the Owner. Waste areas shall be left in a graded and sloped condition to allow natural drainage of the surrounding area.

**SITE WORK SPECIFICATIONS**

1"sq. x 14ga. PICKETS | 1.75" x 1.75" x 12ga. RAILS | 2.5"sq. x 12ga. / 3"sq. x 12ga. POSTS



**MAJESTIC**  
SLEEK & MODERN

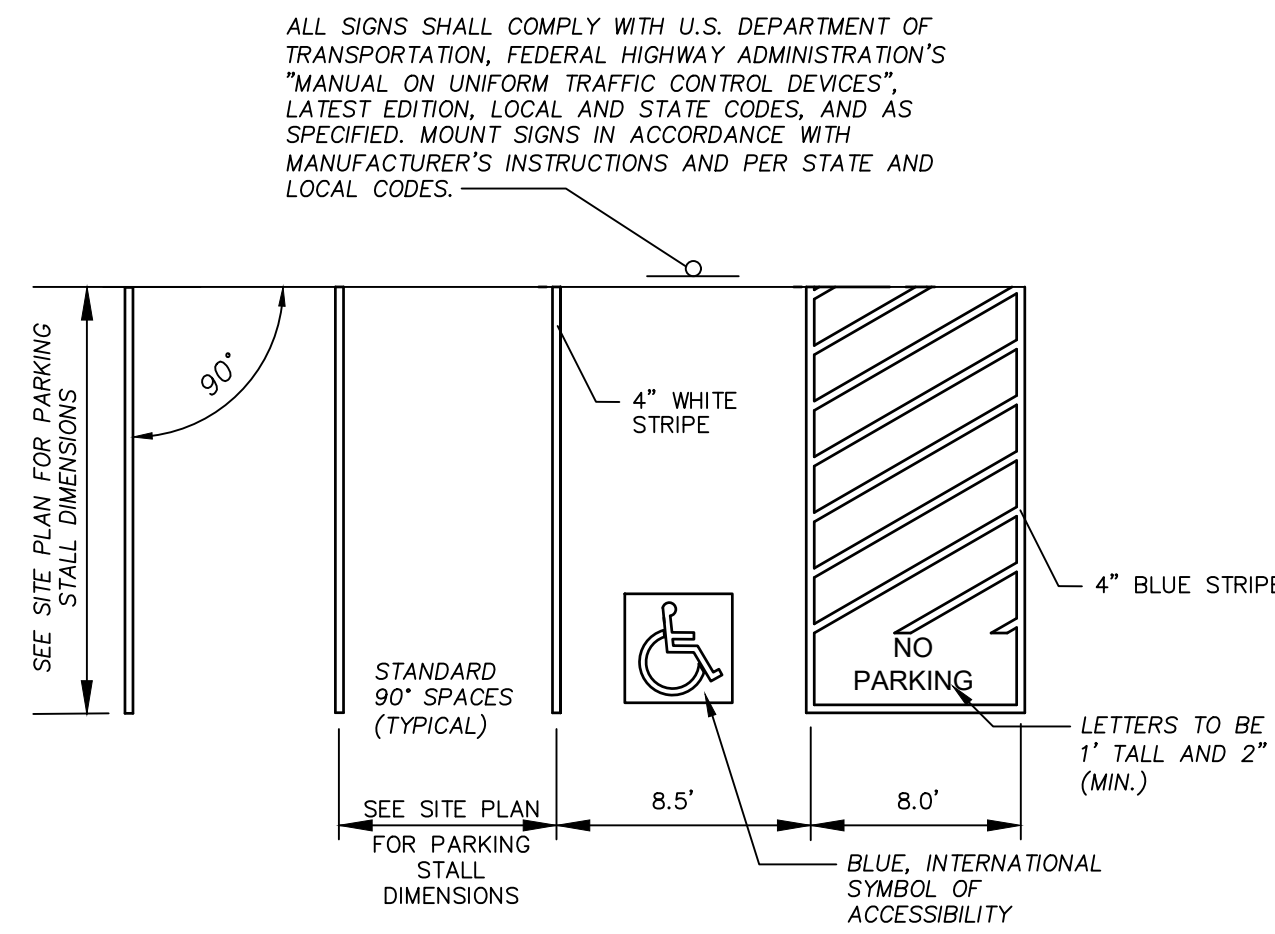
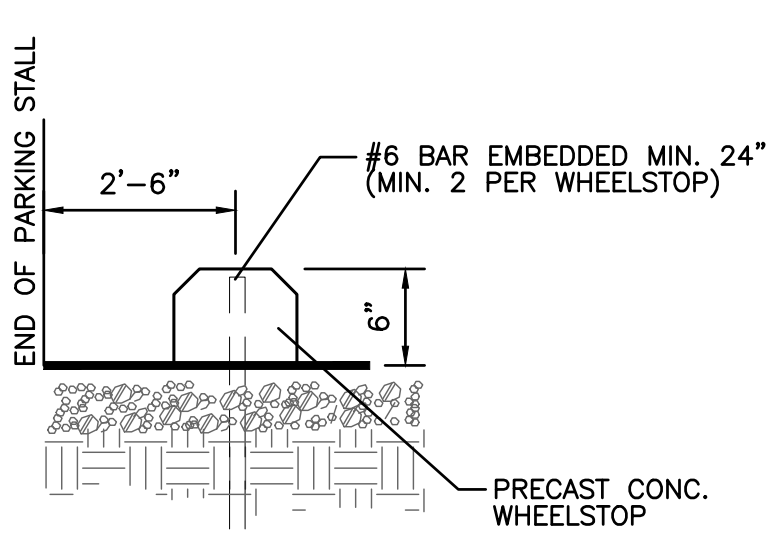
The flush top rail projects a more modern, streamlined look than the traditional accents flowers and details when used as border landscaping. Single or double swing & slide gates that perfectly match this fence style are also available.

- > 4-foot panels: 6' 7.8" height | flush bottom or extended picket
- > 5-foot panels: 7' 3.6" x 7.8" height | flush bottom or extended picket
- > 6-foot panels: 7' 9.4" x 7.8" height | flush bottom or extended picket

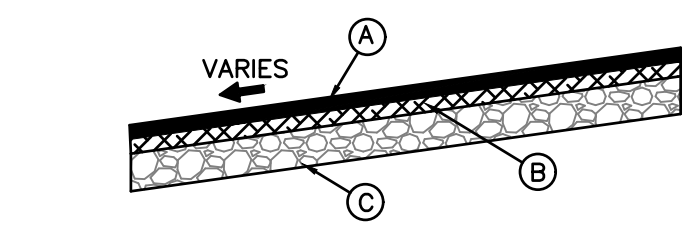
6' TALL, 3-RAIL PANELS WITH EXTENDED PICKET OR APPROVED EQUAL

**DECORATIVE FENCE**

**CONCRETE WHEELSTOP**

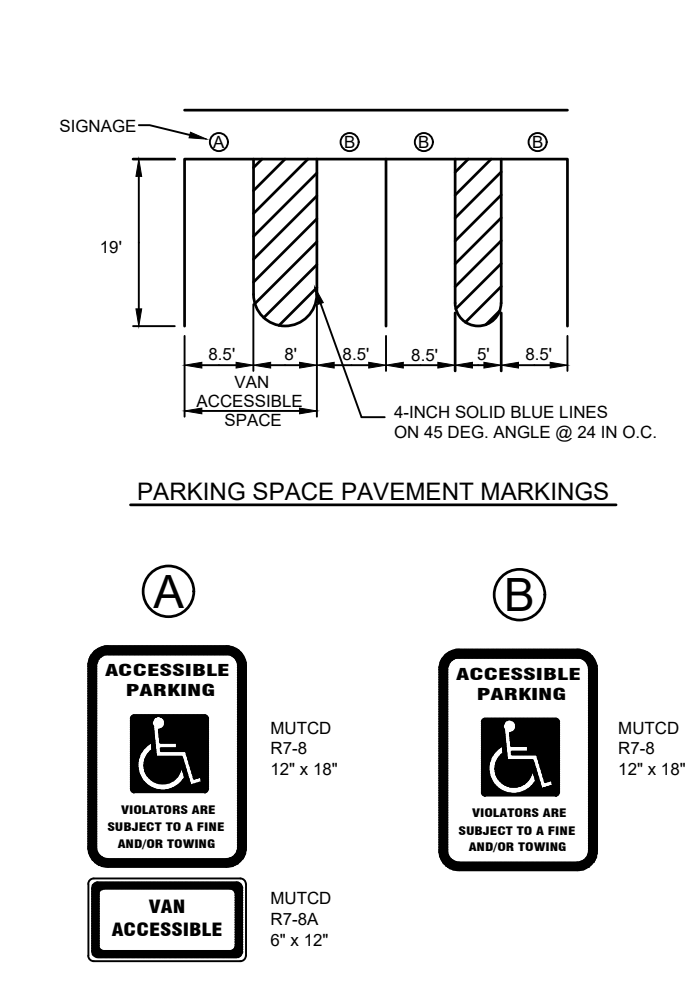


**ACCESSIBLE PAINT STRIPING**

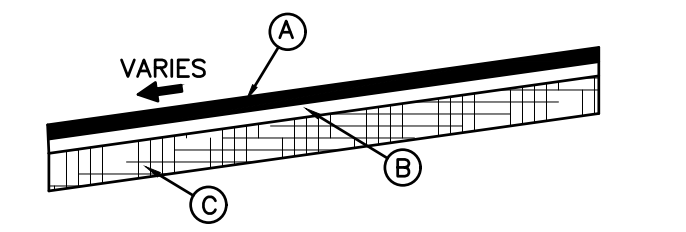


- 2" ASPHALTIC CONCRETE SURFACE COURSE (AC), TYPE B, PLACED AFTER ALL MANHOLE, VALVE COVERS/RINGS, AND STORMWATER RIMS/GRATES ARE SET TO GRADE
- 2" ASPHALTIC CONCRETE COURSE (AC), TYPE B
- 4" AGGREGATE BASE, COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

**FIRE LANE ASPHALT PAVEMENT SECTION**

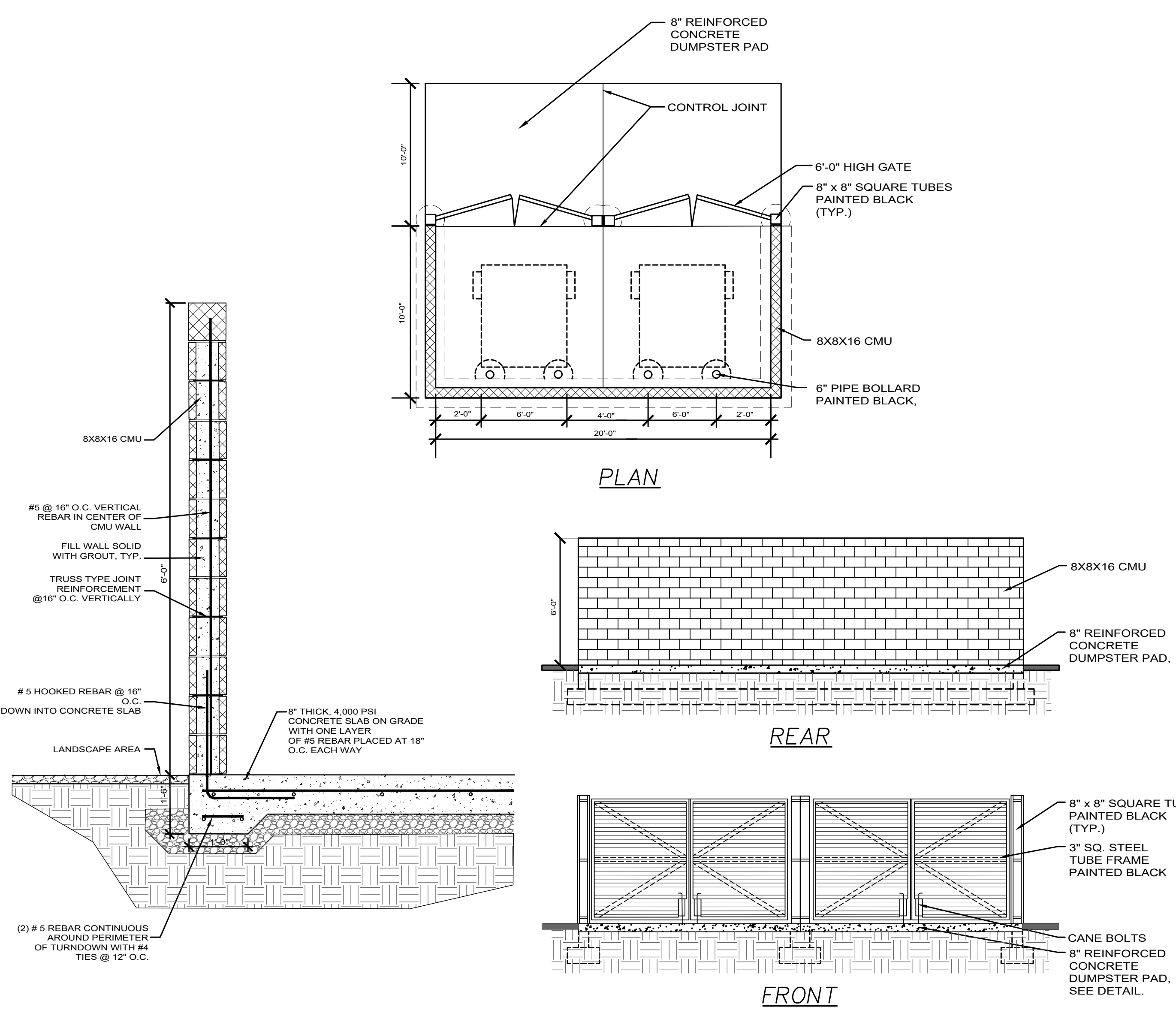


**ACCESSIBLE PARKING & SIGNAGE**

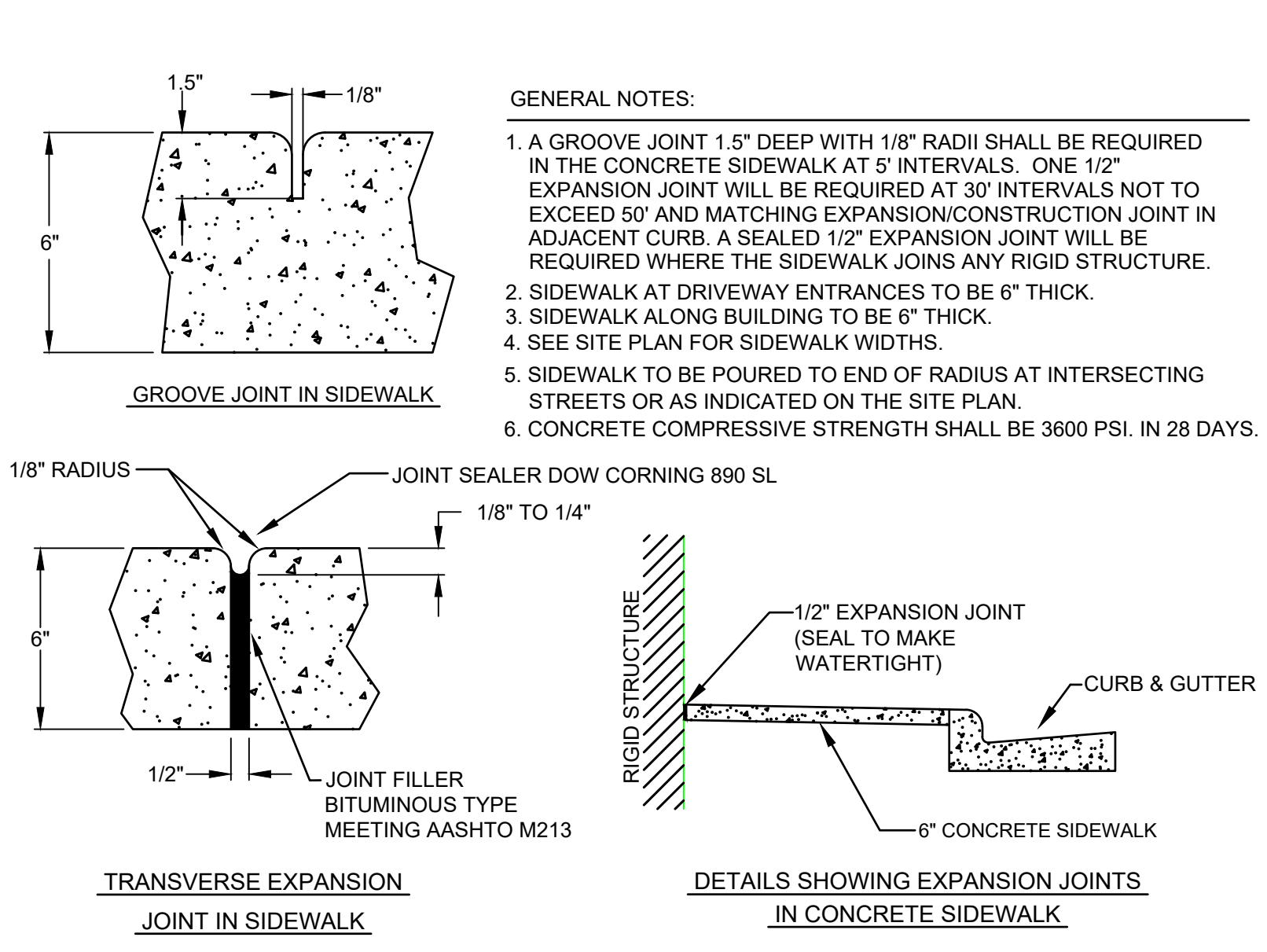


- 2" ASPHALTIC CONCRETE SURFACE COURSE (AC), TYPE B, PLACED AFTER ALL MANHOLE, VALVE COVERS/RINGS, AND STORMWATER RIMS/GRATES ARE SET TO GRADE
- 2" ASPHALTIC CONCRETE COURSE (AC), TYPE B
- COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT (+/-3%) AS DETERMINED BY ASTM D1557.

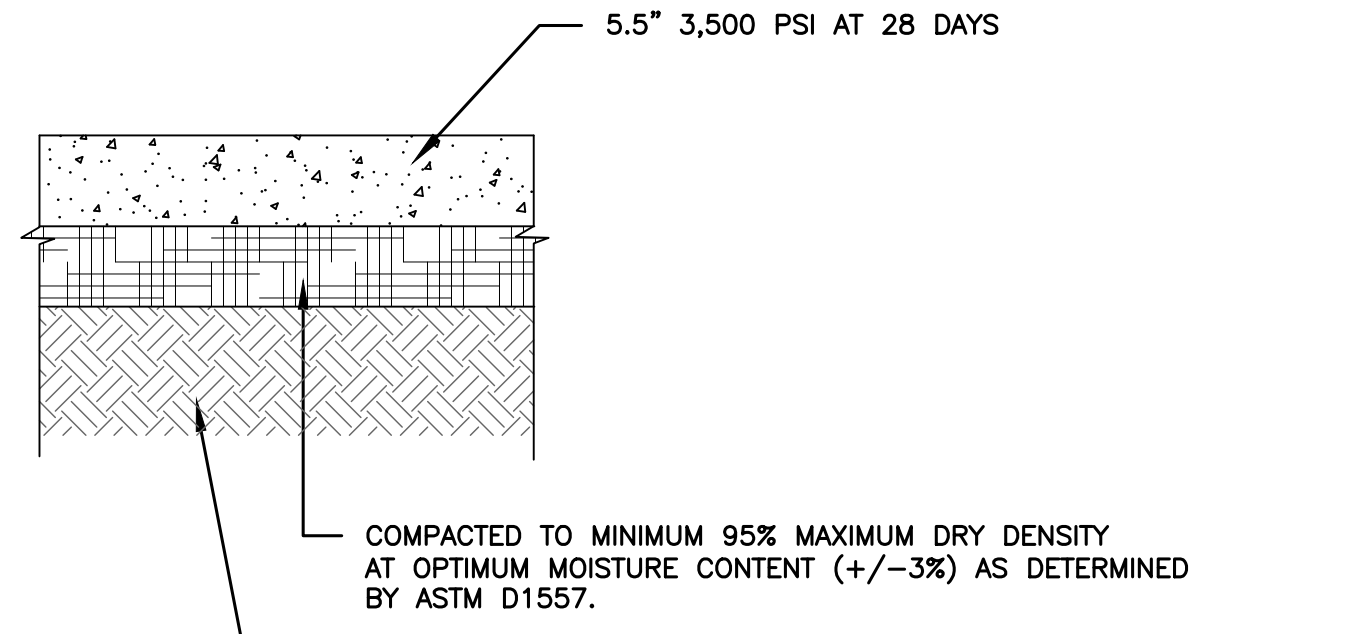
**ASPHALT PAVEMENT SECTION**



**DUMPSTER ENCLOSURE DETAIL**

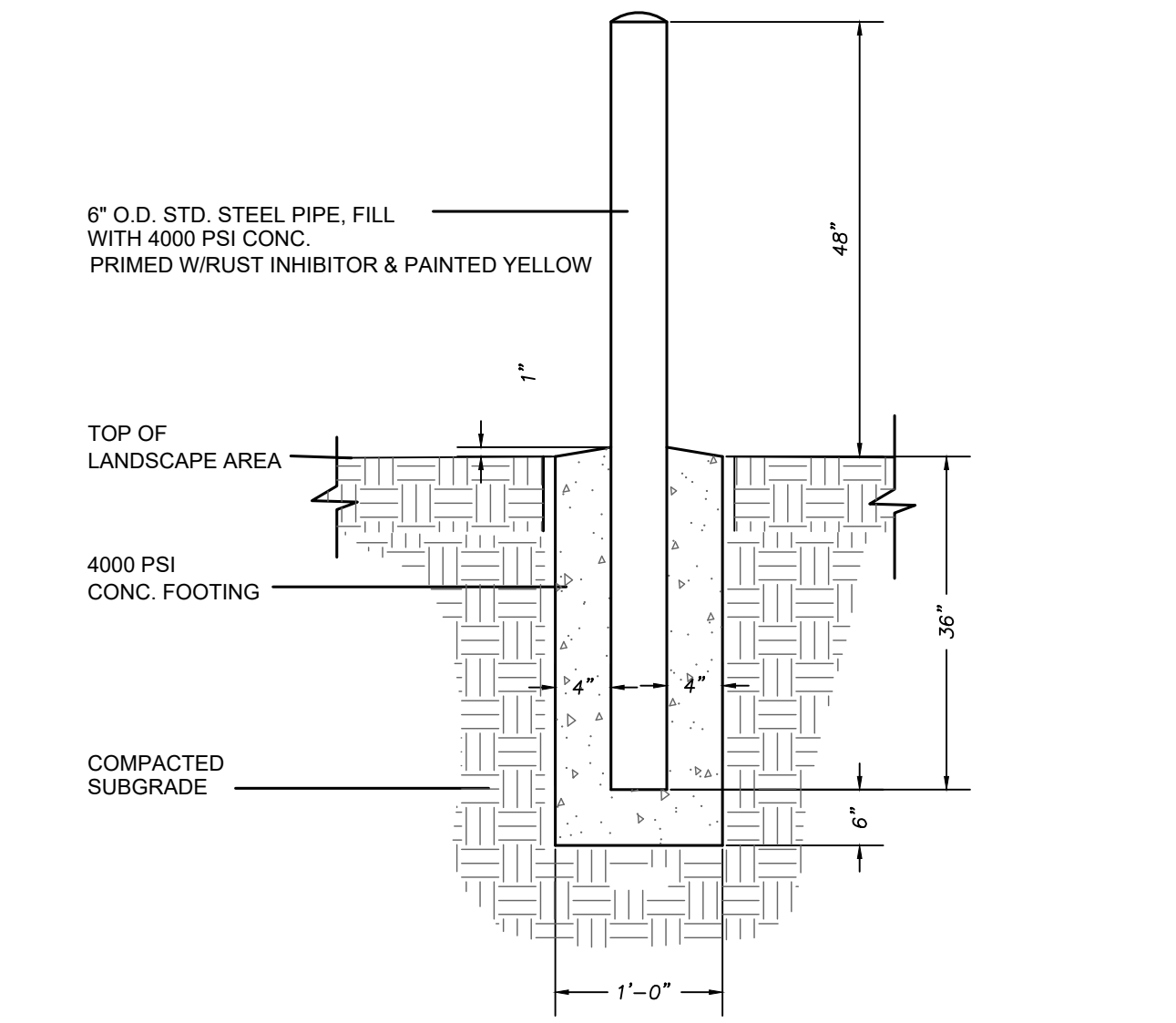


**CONCRETE SIDEWALK SECTIONS**

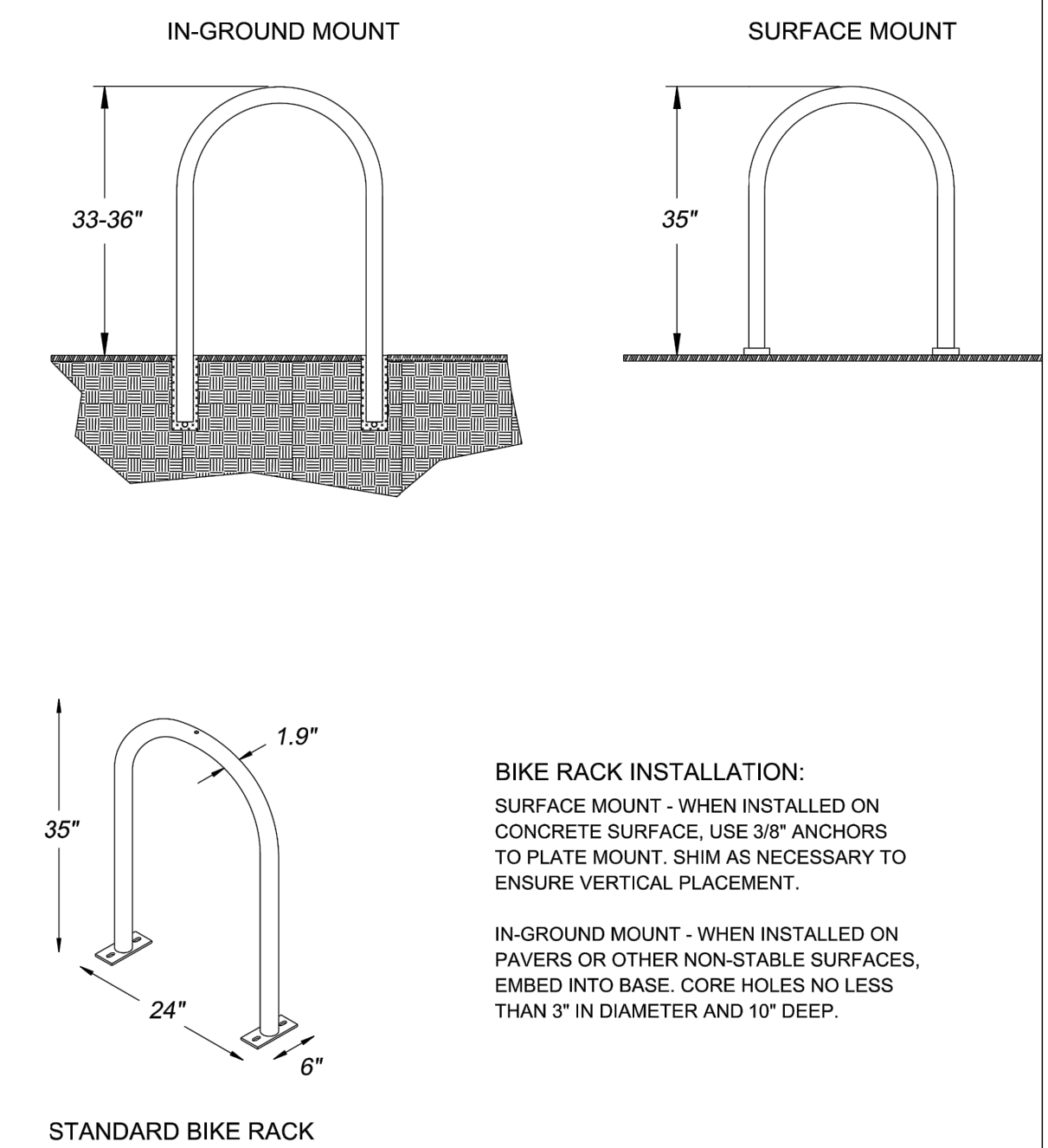


- NOTES:  
1. REFER TO GEOTECHNICAL REPORT  
2. CONTOUR JOINTS SHALL BE SPACED AT 12' MAX. ODD SHAPES SHALL BE AVOIDED.  
3. JOINTS SHALL BE CUT WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.

**CONCRETE PAVEMENT SECTION**



**STEEL BOLLARD DETAIL**



**BIKE RACK**

**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858

**BIRKIE AYER JR.**  
NEW MEXICO  
25848  
PROFESSIONAL ENGINEER  
B. Ayer  
6-25-21

PROJECT NAME:  
**SANDIA COLLISION CENTER**

5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE DETAILS**

NO	ISSUE/REVISION	DATE
#1	DRB COMMENTS	6/25/21

**C11.0**







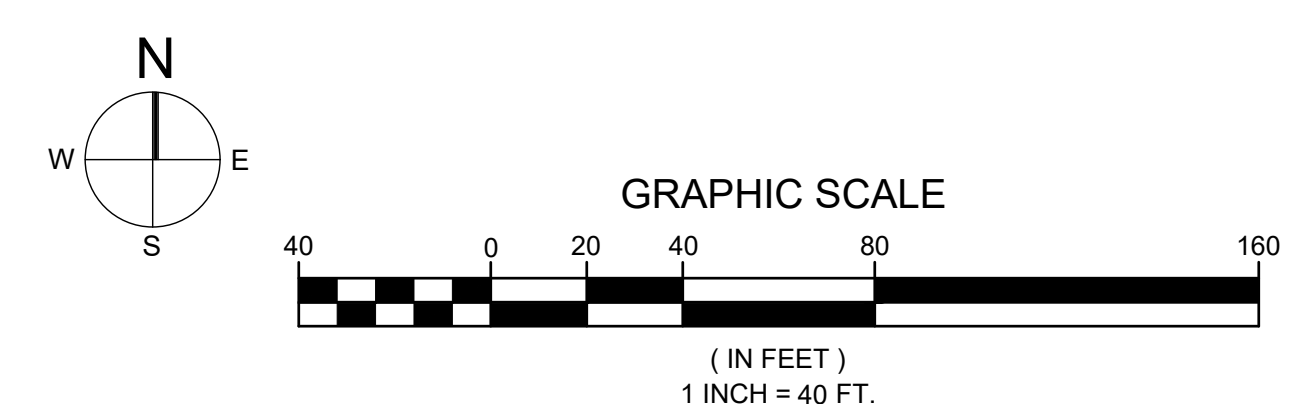
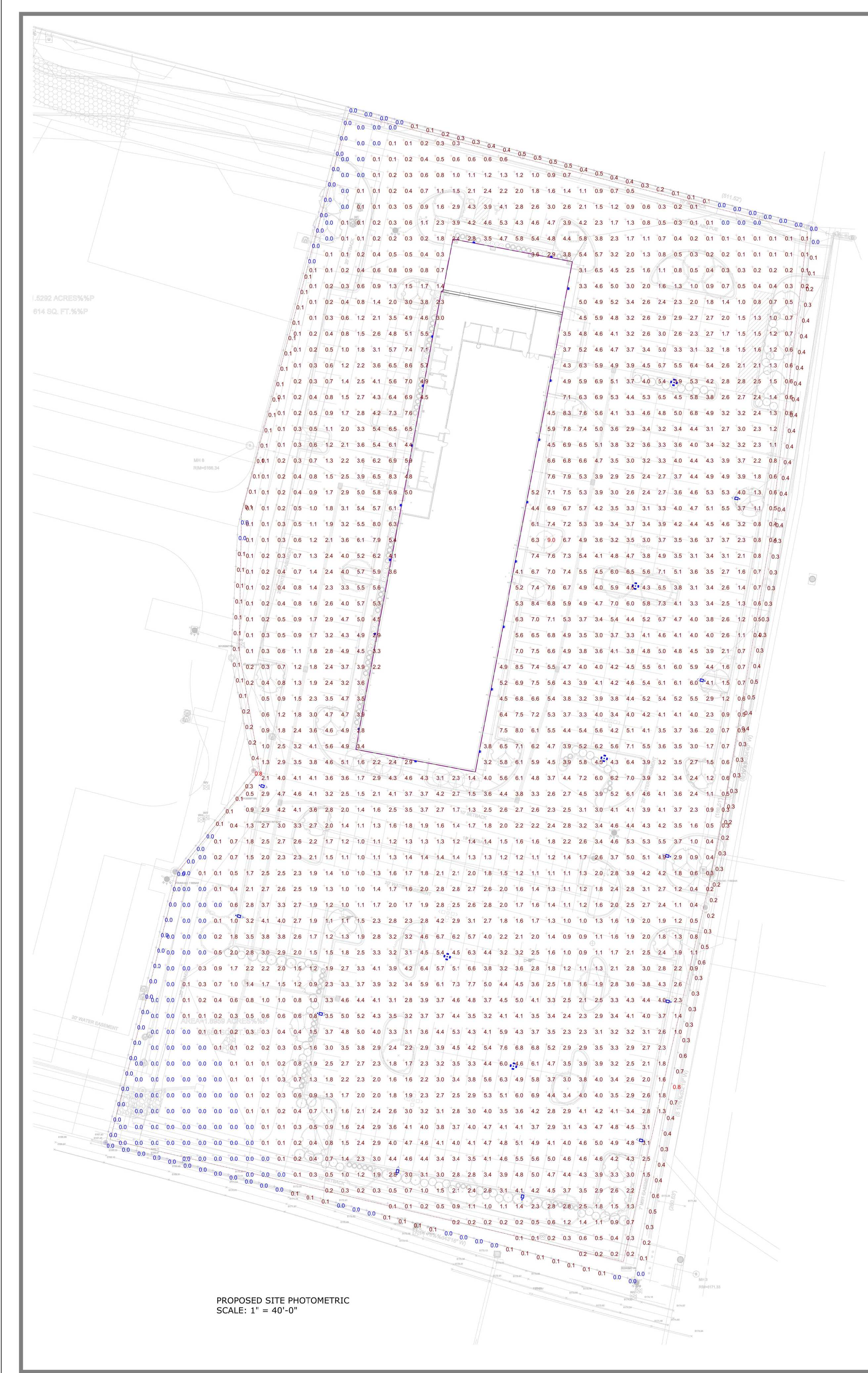


SANDIA COLLISION CENTER  
ALBUQUERQUE, NM

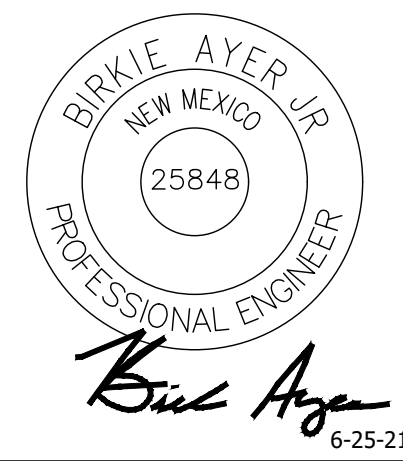
Designer  
Date  
5/27/2021  
Scale  
Not to Scale  
Drawing No.  
Summary

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
General Lighting level	+	2.7 fc	9.0 fc	0.0 fc	N/A	N/A
Property Line	+	0.2 fc	0.8 fc	0.0 fc	N/A	N/A

Schedule															
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution	Notes
	S1	10	GE LIGHTING SOLUTIONS	EALP03_F3AW740	EALP03 EVOLVE LED AREA WITH ELS-EAL-DBL-BLCKIES	LED	1	EALP03_F3AW740	13000	1	1	104	100%	Asymmetric Wide	
	S2	5	GE LIGHTING SOLUTIONS	EALP03_D4AF740	EALP03 EVOLVE LED AREA	LED	1	EALP03_D4AF740	10000	1	1	296	100%	Asymmetric Forward (AF)	
	W	0	GE LIGHTING SOLUTIONS	EWNB_D3740	EVOLVE LED WALLPACK - EWNB	LED	1	EWNB_D3740	10500	1	1	89	100%	ASYMMETRIC WIDE	
	A	18	GE LIGHTING SOLUTIONS	EWNB_E4740	EVOLVE LED WALLPACK - EWNB	LED	1	EWNB_E4740	11500	1	1	98	100%	ASYMMETRIC FORWARD	



AYER DESIGN GROUP  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
**SANDIA COLLISION CENTER**  
5900 JEFFERSON STREET NE  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**PHOTOMETRIC PLAN**

NO	ISSUE/REVISION	DATE
#1	DRB COMMENTS	6/25/21

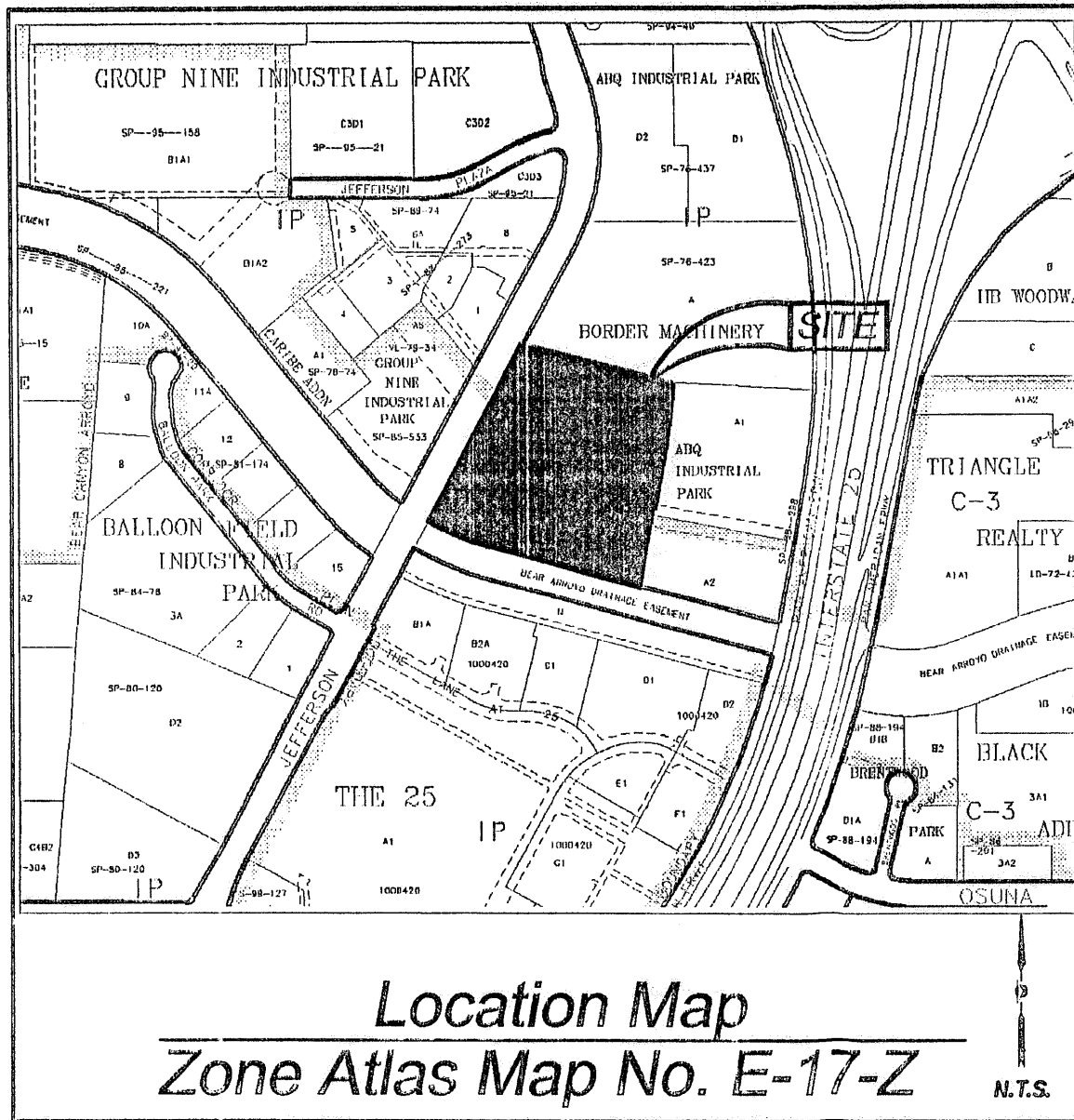
PROJECT #	2020-1
DRAWN BY	CC
CHECKED BY	BA

C12.0









**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 9.6711 ACRES±  
 ZONE ATLAS INDEX NO: E-17-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 4  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: APRIL 2006

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO FOUR NEW LOTS, AND TO GRANT EASEMENTS.

**Notes:**

- MISC. DATA: ZONING SU-1
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006-10-052

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

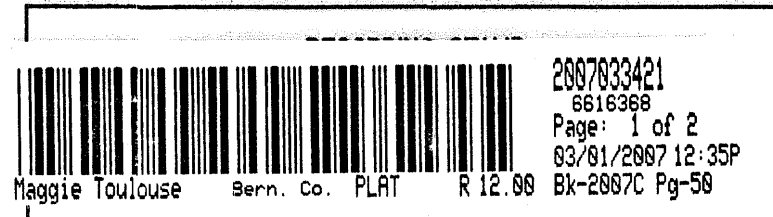
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 26, TOWNSHIP 11 NORTH RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO. COMPRISING OF LOTS ONE (1) AND TWO (2) OF FRATERNAL ORDER OF POLICE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 11, 1977, IN PLAT BOOL C11, PAGE 173, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NE MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NAVD 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF BEAR ARROYO, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 1010", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "NM367-1" BEARS S 80°50'43" W, DISTANCE OF 1,944.21 FEET;

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 75°27'30" W, A DISTANCE OF 502.79 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 861.13 FEET, WITH AN ARC LENGTH OF 234.40 FEET, A DELTA ANGLE OF 15°35'46", HAVING A CHORD BEARING OF N 67°39'37" W, AND A CHORD LENGTH OF 233.68 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF JEFFERSON STREET, N.E. MARKED BY A SET NO. 4 WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 29°01'21" E, A DISTANCE OF 658.82 FEET TO THE NORTHWEST CORNER OF DESCRIBED PARCEL MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, S 75°34'35" E A DISTANCE OF 511.48 FEET TO A POINT OF CURVATURE BEING THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 1010";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1766.83 FEET, WITH AN ARC LENGTH OF 226.46 FEET, WITH A DELTA ANGLE OF 7°20'37", HAVING A CHORD BEARING OF S 07°13'57" W, AND A CHORD LENGTH OF 226.30 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";

THENCE S 10°45'44" W A DISTANCE OF 186.52 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 8686";

THENCE S 10°48'05" W A DISTANCE OF 260.63 FEET TO THE POINT OF BEGINNING CONTAINING 9.6711 ACRES (421,272 SQUARE FEET), MORE OR LESS.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

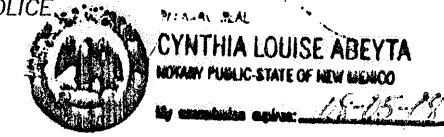
Toby Gallegos 8/22/2006  
 TOBY GALLEGOS DATE  
 PRESIDENT  
 ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22<sup>ND</sup> DAY OF August, 2006 BY LODGE 1 PRESIDENT TOBY GALLEGOS, ALBUQUERQUE LODGE NO. 1 OF THE FRATERNAL ORDER OF POLICE.

BY Cynthia Louise Abeysa MY COMMISSION EXPIRES: 08-05-2008  
 NOTARY PUBLIC



Plat of  
 Lots 1-A, 1-B, 2-A, and 2-B  
**Fraternal Order of  
 Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 August 2006

Project No. 1004801

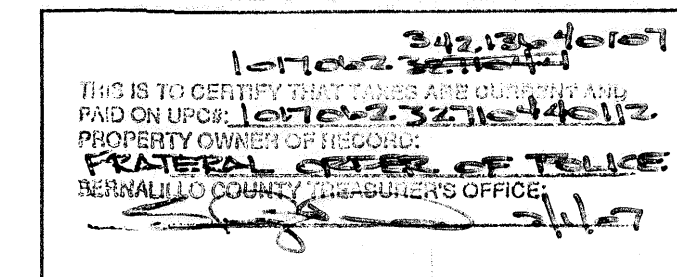
Application No. 26DRB-01477

**Utility Approvals**

<u>James D. Marks</u>	11-7-06
PNM ELECTRIC SERVICES	DATE
<u>James D. Marks</u>	11-7-06
PNM GAS SERVICES	DATE
<u>James D. Marks</u>	9/15/06
QWEST TELECOMMUNICATIONS	DATE
<u>James D. Marks</u>	11-8-06
COMCAST	DATE
<u>James D. Marks</u>	
NEW MEXICO UTILITIES	DATE

**City Approvals**

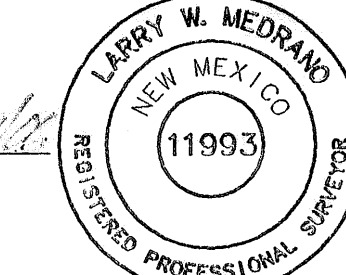
<u>James D. Marks</u>	8-30-06
CITY SURVEYOR	DATE
N/A	
REAL PROPERTY DIVISION	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<u>James D. Marks</u>	2-28-07
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<u>James D. Marks</u>	2/25/07
WATER UTILITY DEPARTMENT	DATE
<u>Christina Blandford</u>	2/28/07
PARKS AND RECREATION DEPARTMENT	DATE
<u>James M. Mason</u>	1-31-07
AMAFCA	DATE
<u>Bradley D. Bingham</u>	2/28/07
CITY ENGINEER	DATE
<u>James D. Marks</u>	8/01/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	
TREASURER'S CERTIFICATE	



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano  
 LARRY W. MEDRANO DATE



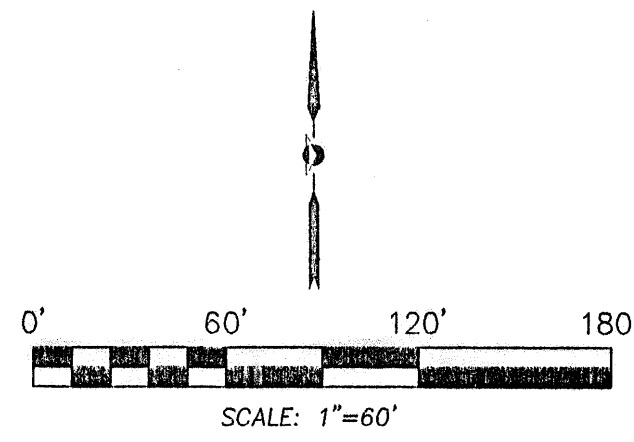
N.M.P.S. No. 11993  
**PRECISION  
 SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113  
 866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

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Plat of  
 Lots 1-A, 1-B, 2-A, and 2-B  
**Fraternal Order of  
 Police Addition**  
 Albuquerque, Bernalillo County, New Mexico  
 December 2006



2687833421  
 6616388  
 Page: 2 of 2  
 83/81/2687 12:35P  
 R 12.88 BK-2687C Pg-58

**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

**Line Table**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 60°58'39" E	25.35'	L33	S 75°33'55" E	78.46'
L2	N 14°26'15" E	15.13'	L34	S 60°50'15" E	56.26'
L3	S 75°33'45" E	20.00'	L35	N 14°26'05" E	51.00'
L4	S 75°33'45" E	16.31'	L36	N 75°33'55" W	82.00'
L5	S 75°33'45" E	3.69'	L37	N 89°39'05" W	43.59'
L6	S 14°26'15" W	15.13'	L38	S 40°03'34" E	41.86'
L7	S 75°33'45" E	29.59'	L39	S 75°33'55" E	42.77'
L8	S 14°26'05" W	37.13'	L40	N 14°26'05" E	14.78'
L9	S 75°33'55" E	4.38'	L41	S 66°43'52" W	30.13'
L10	S 14°26'05" W	10.00'	L42	S 23°20'29" E	33.55'
L11	N 75°33'55" W	4.38'	L43	N 75°33'55" W	54.06'
L12	S 14°26'05" W	34.61'	L44	N 30°33'45" W	21.27'
L13	S 14°26'05" W	20.00'	L45	N 75°33'45" W	55.52'
L14	S 75°33'55" E	20.00'	L46	S 75°33'55" E	31.82'
L15	S 14°26'05" W	103.00'	L47	S 69°57'12" W	31.48'
L16	S 14°26'05" W	20.00'	L48	S 11°10'04" E	13.31'
L17	N 29°01'21" E	20.00'	L49	N 75°33'55" W	3.69'
L18	N 75°33'55" W	11.11'	L50	N 14°26'05" E	6.50'
L19	N 14°26'05" E	20.00'	L51	S 75°33'55" E	31.82'
L20	S 75°33'55" E	11.11'	L52	N 64°29'37" E	21.78'
L21	N 75°33'55" W	11.27'	L53	N 60°58'39" W	42.88'
L22	N 14°26'05" E	10.00'	L54	S 29°01'21" W	26.72'
L23	S 75°33'55" E	11.27'	L55	S 75°33'55" E	7.44'
L24	N 75°33'55" W	23.09'	L57	N 60°49'49" W	12.00'
L25	N 14°26'05" E	10.00'	L58	S 29°10'11" W	12.00'
L26	S 75°33'55" E	23.09'	L59	N 60°49'49" W	12.00'
L27	N 14°26'05" E	30.16'	L60	S 29°10'11" W	12.00'
L28	N 60°58'39" W	27.91'	L61	N 60°49'49" W	12.00'
L29	N 29°01'21" E	20.00'	L62	N 29°10'11" E	12.00'
L30	S 14°26'05" W	20.00'	L63	N 60°49'49" W	12.00'
L31	S 35°50'34" E	35.73'	L64	N 29°10'11" E	12.00'
L32	S 30°33'45" E	18.44'			

R=1766.83'  
 L=226.46' (226.49')  
 Δ=07°20'37"  
 T=113.38'  
 CH=S 07°13'57" W  
 226.30'

R=861.13'  
 L=234.40'  
 Δ=15°35'46"  
 T=117.93'  
 CH=N 67°39'37" W  
 233.68'

**Curve Table**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	49.00'	76.97'	90°00'00"	49.00'	69.30'	N 30°33'55" W
C2	42.16'	39.79'	54°04'17"	21.52'	38.33'	S 73°43'49" W
C3	24.08'	26.25'	62°27'29"	14.60'	24.97'	S 09°37'36" W
C4	89.50'	65.82'	42°08'22"	34.48'	64.35'	N 06°38'06" W
C5	42.50'	66.76'	90°00'00"	42.50'	60.10'	S 30°33'55" E
C6	24.00'	37.72'	90°03'11"	24.02'	33.96'	S 59°27'41" W
C7	10.00'	3.96'	22°40'31"	2.01'	3.93'	N 58°36'57" E
C8	16.00'	11.44'	40°58'25"	5.98'	11.20'	S 49°27'59" W
C9	16.00'	11.21'	40°08'50"	5.85'	10.98'	S 08°54'21" W
C10	10.00'	9.29'	53°15'19"	5.01'	8.96'	N 15°27'35" E
C11	23.50'	25.57'	62°20'51"	14.22'	24.33'	N 73°15'40" E
C12	9.00'	3.71'	23°36'11"	1.88'	3.68'	N 52°41'32" E
C13	10.00'	6.20'	35°32'00"	3.20'	6.10'	S 46°43'37" W
C14	16.00'	11.03'	39°29'03"	5.74'	10.81'	S 09°13'06" W
C15	10.00'	2.58'	14°46'44"	1.30'	2.57'	N 03°08'03" W

A.C.S. MONUMENT "NDC-13-ID2"  
 STANDARD A.C.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=363,930.90  
 Y=1,508,622.57  
 EL=5097.3  
 GROUND TO GRID FACTOR=0.99966914  
 DELTA ALPHA ANGLE=-0°12'15"

A.C.S. MONUMENT "NM367-1"  
 STANDARD A.C.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=399,603.43  
 Y=1,508,188.29  
 EL=5210.562  
 GROUND TO GRID FACTOR=0.99966232  
 DELTA ALPHA ANGLE=-0°11'36"



8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX





**AGREEMENT CONCERNING EXISTING PLAT,  
DECLARATION OF RECIPROCAL EASEMENTS  
AND RECIPROCAL COVENANTS, LAND USE  
AGREEMENT AND RELATED MATTERS**

THIS AGREEMENT (this “**Agreement**”) is made and executed as of the \_\_\_\_ day of December, 2019 (the “**Effective Date**”), by and between OSUNA DEVELOPMENT CO., LLC, a New Mexico limited liability company (“**Osuna Development**”), and GROUP 1 REALTY, INC., a Delaware corporation (“**Group 1**”). Osuna Development and Group 1 are referred to herein individually as a “**Party**” and collectively as the “**Parties.**”

**Introductory Provisions-Recitals**

The following provisions constitute the basis for and are a part of this Agreement:

A. Osuna Development is the owner of Lots 1-A and 1-B, as said Lots are shown and designated on the Existing Plat as defined in Recital Paragraph C below.

B. Group 1 is the owner of Lots 2-A and 2-B as said Lots are shown and designated on the Existing Plat.

C. The Lots 1-A, 1-B, 2-A and 2-B (collectively the “**Lots**” and individually a “**Lot**”) are encumbered and/or affected by (i) that Plat entitled “Plat of Lots 1-A, 1-B, 2-A and 2-B, Fraternal Order of Police Addition, Albuquerque, Bernalillo County, New Mexico, August 2006,” filed of record in the office of the County Clerk for Bernalillo County, New Mexico, on March 1, 2007, as Document No. 2007033421 (the “**Existing Plat**”); (ii) that certain Declaration of Reciprocal Easements and Reciprocal Covenants for the Fraternal Order of Police Addition, executed by Fraternal Order of Police Albuquerque Lodge No. 1, a New Mexico nonprofit corporation, and recorded February 9, 2007, as Document No. 2007022101, in Book A132, Page 2062, records of Bernalillo County, New Mexico, as amended by that certain First Amendment to Declaration of Reciprocal Easements and Restrictive Covenants for the Fraternal Order of Police Addition recorded February 29, 2012, as Document No. 2012020397, records of Bernalillo County, New Mexico (together, the “**Existing Declaration**”); (iii) that certain Land Use Agreement dated October 10, 2014, and filed of record in the office of the County Clerk for Bernalillo County, New Mexico, on October 22, 2014, as Document No. 2014084826 the “**Existing Land Use Agreement**”); (iv) that certain Fraternal Order of Police Site Plan for Subdivision dated December 5, 2006, City of Albuquerque Environmental Planning Commission Project Number 1004801, Application Number 06DRB01748 (the “**Existing Site Plan**”); and that certain Drainage Report for the Fraternal Order of Police dated January 29, 2007/stamp dated February 1, 2007, Job No. 25016 (the “**Existing Drainage Plan**”)

D. Group 1 is also the owner of Parcel “A-1” of the plat of Parcels “A-1” and “A-2”, Albuquerque Industrial Park, Albuquerque, New Mexico (the “**Adjacent East Parcel**”), as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 14, 1988, in Map Book C37, Folio 130, situated adjacent and to the east of Lot 2-



A, upon which is situated an automobile dealership which has direct access at its eastern boundary to the Pan American Freeway southbound access road.

E. Lots 1-A and 1-B are currently vacant and undeveloped, and together have full access via three (3) curb cuts to and from Jefferson Street NE, a public street.

F. Lots 2-A and 2-B currently function as an automobile storage area and other uses ancillary to the operation of the automobile dealership on the Adjacent East Parcel.

G. The Parties desire to amend certain terms and conditions contained in the Existing Plat, to terminate the Existing Declaration and the Existing Land Use Agreement, to acknowledge that the Existing Site Plan has expired and is no longer in effect, and to address drainage for the respective Lots, all on the terms set forth in this Agreement.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is acknowledged, the Parties agree as follows:

### Agreements

1. Termination of Existing Declaration. The Parties terminate the Existing Declaration.
2. The Existing Plat. It is agreed that when either Party desires to initiate the replatting of the Lots, the Parties shall cooperate with one another in such effort and shall share equally in the cost of the re-platting of the Lots, subject to the following additional terms and conditions:
  - a. Deletion of Parking Easements. The reciprocal parking easement for the benefit of Lots 1-A, 1-B, 2-A and 2-B (marked on the Existing Plat within Lot 2-A) shall be deleted.
  - b. Access and Utility Easements. All access and utility easements of any kind granted by the Existing Plat situated on Lots 1-A and 1-B shall no longer benefit Lots 2-A or 2-B, and all access and utility easements of any kind granted by the Existing Plat situated on Lots 2-A or 2-B shall no longer benefit Lots 1-A and 1-B, subject to, and except as provided in, the following:
    - (i) The 28' wide Private Access and Utility Easement granted by the Existing Plat located in the northern portion of Lot 1-A shall continue to benefit Lots 2-A and 2-B, but shall be realigned on Lot 1-A substantially as shown on Exhibit A attached hereto and incorporated by reference (the "**North Access and Utility Easement**"), it being understood that the North Access and Utility Easement shall be the sole access easement between Jefferson Street NE and Lots 2-A and 2-B. The owner of Lots 2-A and 2-B shall at all times maintain, or cause to be maintained, a policy or policies of liability insurance against claims for bodily injury, death or property damage occurring on, in or about the North Access and Utility Easement with a "Combined Single Limit" (covering bodily injury liability and property damage) with commercially reasonable limits of not less than Two Million Dollars (\$2,000,000.00), naming the owner of Lots 1-A and 1-B as additional insureds. Such insurance may be in the form of blanket liability coverage applicable to Lots 2-A, 2-B and/or the Adjacent East Parcel, and such coverage limit may be satisfied with underlying and umbrella policies totaling not less than the amount set forth above. The owner of Lots 2-A and 2-B shall, upon written request, provide the owner of Lots 1-A and 1-B with evidence of such coverage and an additional insured endorsement (ISO endorsement CG 20 26 07 04, or equivalent).



(ii) The waterline, sanitary sewer and utility easements granted by the Existing Plat on Lots 1-A or 1-B where water lines and related improvements, or sanitary sewer lines or other utilities have been installed therein as of the date of this Agreement, shall remain in full force and effect.

(iii) Any waterline, sanitary sewer and/or utility easements on Lots 1-A and 1-B granted by the Existing Plat where water lines and related improvements, or sanitary sewer lines or other utilities have not been installed therein as of the date of this Agreement may, at the option of the owner of Lots 1-A and 1-B, be relocated within Lots 1-A and 1-B to locations that are convenient for the future development of Lots 1-A and/or 1-B (which development may include the replatting of Lots 1-A and 1-B into one Lot), including without limitation relocation of same to the North Access and Utility Easement; provided, if said relocation is into the North Access and Utility Easement, then the notice to be given in accordance with Section 2.c(v) below shall describe the water lines and related improvements, or sanitary sewer lines, or other utilities to be installed within the North Access and Utility Easement and the location where such improvements, sewer lines, or other utilities will be installed within North Access and Utility Easement.

c. Easement Roadway. In conjunction with the commencement of the construction of permanent improvements on Lot 1-A or 1-B, the owner of Lots 1-A and 1-B may construct a paved roadway within the North Access and Utility Easement, including curb and gutter (collectively, the **“Easement Roadway”**) at its initial sole cost, subject to partial reimbursement by the owner of Lots 2-A and 2-B of such cost and expense on the terms set forth below. Construction of the Easement Roadway shall be undertaken in a manner so as not to interfere with the then-existing unpaved access (or a substitute unpaved access) between Lots 2-A and 2-B and Jefferson Street NE. Upon the completion of the Easement Roadway, the owner of Lot 1-A and Lot 1-B may prevent, by barricading or other means (in a manner appropriate for a first-class commercial project) all routes of access other than the Easement Roadway between Lots 2-A and 2-B and Jefferson Street NE.

(i) The owner of Lots 2-A and 2-B shall reimburse the owner of Lots 1-A and 1-B for the Lot 2-A/2-B Allocable Share (hereinafter defined) of the cost of construction of the Easement Roadway within thirty (30) days after completion of same and presentation of an invoice and the Roadway Construction Documentation, as hereinafter defined. The **“Roadway Construction Documentation”** means documentation which sets forth in reasonable detail the actual cost of construction of the Easement Roadway exclusive of any other construction undertaken on any Lot, subject to the following:

(A) If all elements of the cost of construction of the Easement Roadway are segregated by line item from the costs incurred for the construction of other similar improvements on Lots 1-A and/or 1-B in the construction contract applicable to construction of the Easement Roadway, the Roadway Construction Documentation shall consist of a copy of the contract(s) with a licensed New Mexico contractor(s) (together with any change orders thereto) setting forth all such line items for construction of the Easement Roadway, together with a contractor’s written certification that the unit costs for line item categories for construction of the Easement Roadway are the same as the unit costs for line item categories for construction of other improvements of a similar nature (if any) on Lots 1-A and/or 1-B.

(B) If all elements of the cost of construction of the Easement Roadway are not segregated by line item from the costs incurred for the construction of other similar improvements on Lots 1-A and/or 1-B in the construction contract applicable to construction of the Easement Roadway, the Roadway Construction Documentation shall consist of the written certification



of the project architect for the work being performed setting forth the following:

- The unit price applicable to each cost category (e.g.: paving, curb and gutter, etc.) for construction of the Easement Roadway;
- The total number of units for each cost category applicable to the construction of the Easement Roadway and the total number of units for each such cost category applicable to the construction of the other similar improvements constructed on Lots 1-A and/or 1-B;
- The means of fairly and equitably allocating all such costs between the cost of construction of the Easement Roadway and the cost of construction of other similar improvements constructed on Lots 1-A and/or 1-B (e.g.: unit cost per linear foot or unit cost per square foot); and
- The total cost allocated to the Easement Roadway and the total cost allocated to other similar improvements constructed on Lots 1-A and/or 1-B with respect to each cost category represented in the construction of the Easement Roadway.
- The costs (all line items) properly allocable to construction of the Easement Roadway, including any applicable gross receipts tax.

(ii) The owner of Lots 2-A and 2-B shall be responsible for maintenance and repair of the Easement Roadway at its initial sole cost, subject to reimbursement by the owner of Lots 1-A and 1-B of the Lot 1-A/1-B Allocable Share (hereinafter defined) of the cost of such repair and maintenance within thirty (30) days after completion of same and presentation of an invoice and reasonable documentation supporting such cost of repair and maintenance, subject to the following:

(A) If the Easement Roadway (or any portion thereof) is damaged by the owner or any tenant (or any invitee of either) of a particular Lot or Lots, then the owner of such Lot(s) shall make the repairs at its sole cost (subject to said owner's right, in its sole discretion, to obtain reimbursement for the cost of the repairs from any third party who may be responsible for the damage). Such repairs shall be undertaken in accordance with the provisions of Section 2.c(v) below.

(B) Subject to subsection (A) above, if the owner of Lots 2-A and 2-B fails to maintain and/or repair the Easement Roadway within thirty (30) days after written notice from the owner of Lots 1-A and 1-B of the need therefor, then in addition to all other remedies available to the owner of Lots 1-A and 1-B with respect to such failure, the owner of Lot 1-A and 1-B shall have the right to cause the repairs and/or maintenance of the Easement Roadway (or any portion thereof) to be performed, and the owner of Lots 2-A and 2-B shall reimburse the owner of Lots 1-A and 1-B for the Lot 2-A/2-B Allocable Share of the cost of such repairs and/or maintenance, plus an administrative fee equal to ten percent (10%) of such amount, within thirty (30) days after completion of same and presentation of an invoice and reasonable supporting documentation.

(iii) If the owner of Lots 1-A and 1-B has not commenced the construction of the Easement Roadway at a time when the owner of Lots 2-A and 2-B desires the Easement Roadway to be installed, the owner of Lots 2-A and 2-B shall have the right to construct the Easement Roadway at its initial sole cost, subject to partial reimbursement by the owner of Lots 1-A and 1-B of the Lot 1-



A/1-B Allocable Share of the cost construction of such paved roadway within thirty (30) days after completion of same and presentation of an invoice and the Roadway Construction Documentation as described in subsection c(i)(A) and (B) above, provided, however, that in the application of subsection c(i)(A) and (B) to this subsection, each reference to Lots 1-A and 1-B (or the owner thereof) shall mean Lots 2-A and 2-B (or the owner thereof), and each reference to Lots 2-A and 2-B (or the owner thereof) shall mean Lots 1-A and 1-B (or the owner thereof).

(iv) The “**Lot 2-A/ 2-B Allocable Share**” shall be the applicable cost multiplied by a fraction, the numerator of which is 158 (the approximate total distance in feet of the North Access and Utility Easement minus the approximate length of the Apron Area as hereinafter defined), and the denominator of which is 208 (the approximate total distance in feet of the North Access and Utility Easement). The “**Lot 1-A/1-B Allocable Share**” shall be the applicable cost multiplied by a fraction, the numerator of which is 50 and the denominator of which is 208.

(v) Upon the completion and opening for use of the Easement Roadway, the Easement Roadway shall be kept open at all times for use as intended in this Agreement; provided, however, that the Easement Roadway or any portion thereof may be closed or access otherwise impaired for brief periods as may be reasonably required for repair or maintenance of the Easement Roadway or the installation or relocation of utilities within the North Access and Utility Easement. In all cases other than the emergency repairs, such closure or impairment will be undertaken only after the giving of at least ten (10) business days’ written notice to the other owner(s) of all other Lots, which notice shall (A) the state nature and schedule of the work to be undertaken, (B) identify the contractor(s) who will perform the work and state the name, address, email address and telephone number of the contact person for the contractor doing such work, and (C) state the project schedule (including the proposed commencement and completion dates) for the performance and completion of such work. The period of closure or impairment shall not exceed ten (10) business days. The work shall be performed in a good and workmanlike manner at the responsible owner’s sole cost and expense and in a timely manner in accordance with the project schedule for such work so as to minimize the period of closure or impairment of access.

d. Perimeter Wall. The owner of Lots 2-A and 2-B may construct at its sole cost and expense a perimeter wall on the southernmost portion of the North Access and Utility Easement immediately north of the southern boundary of the North Access and Utility Easement, provided that no perimeter wall shall be constructed in the first fifty (50) feet of the North Access and Utility Easement extending west from the right of way of Jefferson Street NE (the “**Apron Area**”), so as to assure access, if desired by the owners of Lots 1-A and 1-B, to and from Jefferson Street NE and Lots 1-A and 1-B by way of the Apron Area. If the owner of Lots 2-A and 2-B does elect to construct such perimeter wall, it is agreed that (i) the prior written approval of the Owner of Lot 1-A as to the specifications, material, type and color of finish materials and the height of the perimeter wall shall be required, such approval not to be unreasonably withheld, conditioned or delayed; (ii) prior to such construction the owner of Lots 2-A and 2-B will provide the owner of Lots 1-A and 1-B with the specifications for the perimeter wall, including the material to be used in its construction, the type and color of the finish materials, and the height of the perimeter wall as measured from the adjoining land immediately south of the proposed perimeter wall, and the owner of Lots 1-A and 1-B will respond to same within a reasonable period of time; and (iii) the owner of Lots 2-A and 2-B shall be responsible at its sole cost and expense for maintenance and repair of the perimeter wall; provided that if the perimeter wall is damaged by the owner or any tenant (or any invitee of either) of Lot 1-A and/or 1-B, then the owner of such Lot shall make the repairs at its sole cost. If Lot 1-A and/or Lot 1-B have been developed with commercial building(s) and improvements by the date that the owner of Lots 2-A and 2-B presents its proposed



specifications for the construction of the perimeter wall, the Parties agree that the specifications shall be consistent with the exterior finishes of the commercial building(s) located on Lot 1-A and/or Lot 1-B and any walls thereon similar to the proposed perimeter wall. Notwithstanding the foregoing, (A) the owner of Lot 1-A shall have the right to construct at its sole cost and expense a perimeter wall in any location south of the southern boundary of the North Access and Utility Easement, and (B) the owner of Lots 1-A and 1-B shall have the right to close the access point between Lot 1-A and the Apron Area, or to design and construct such access point so as to prevent any vehicular movement at such location other than egress from Lot 1-A to the Apron Area.

e. Existing Private Sign Easements. The two Private Sign Easements shown on the Existing Plat, one situated near the southwest corner of Lot 1-A and the other situated near the southwest corner of Lot 1-B, stated in the Existing Plat to be for the benefit of Lots 1-A, 1-B, 2-A and 2-B, shall be amended to be private sign easements for the sole benefit of Lots 1-A and 1-B.

f. New Private Sign Easement. A Private Sign Easement (the “**New Private Sign Easement**”) in a square shape with dimensions of twelve (12) feet by twelve (12) feet, for a total of one hundred forty-four (144) square feet, shall be granted by the owner of Lot 1-A to and for the sole benefit of the owners of Lots 2-A and 2-B, with the New Private Sign Easement located immediately south of the Apron Area subject to the same set back from Jefferson Street NE as shown for the existing Private Sign Easements referenced in the preceding subsection e. The location of the New Private Sign Easement is shown on Exhibit A attached hereto and incorporated by reference. In the event that the New Private Sign Easement has not been created by plat at the time when the owner of Lots 2-A and 2-B desires to proceed with the installation of a monument sign, then within 20 days after written request of the owner of Lots 2-A and 2-B to do so, the owner of Lot 1-A (and the owner of Lots 2-A and 2-B) will execute a separate Easement Agreement for the New Private Sign Easement in reasonable and customary form which includes, without limitation, customary obligations of the owner of Lot 2-A and 2-B to (i) maintain and repair the sign and the easement area, (ii) carry liability insurance and to cause the owner of Lot 1-A to be named as an additional insured, and (iii) indemnify, defend and hold harmless the Lot 1-A owner with respect to claims related to the New Private Sign Easement. Such Easement Agreement shall also grant self-help rights to the owner of Lot 1-A in the event that, after written notice and a reasonable period to cure such failure, the owner of Lot 2-A and 2-B fails in its maintenance and repair obligations.

g. Lot 2-A and 2-B Access Easements. Adequate north/south access easement(s) on Lot 2-A shall be retained or created so as to assure legally compliant access from Lot 2-B across Lot 2-A to the North Access and Utility Easement. Adequate east/west access easement(s) on Lots 2-A and 2-B shall be retained or created so as to assure legally compliant access from Lots 2-A and Lot 2-B to the existing mutual access easement at the southeast corner of Lot 2-A and the northeast corner of Lot 2-B created on the plat of Lots A-1 and A-2, Albuquerque Industrial Park, filed of record in the office of the County Clerk for Bernalillo County, New Mexico, on October 14, 1988, in Book C37, Page 130.

3. Acknowledgement that Existing Site Plan Has Expired and Was Terminated by the City. The Parties acknowledge that the Existing Site Plan expired in accordance with City Code Ordinance No. 14-16-3-11 and that the City’s records reflect that it was terminated in the City’s records on November 16, 2015. The Parties may in the future develop and submit independent site plans for their Lots consistent with the provisions of this Agreement, including without limitation the North Access and Utility Easement on Lot 1-A.

4. Termination of the Existing Land Use Agreement. The Parties terminate the Existing



Land Use Agreement.

5. Existing Drainage Plan. The Parties may in the future develop and submit independent drainage plans for their Lots, provided that Lots 1-A and 1-B shall accept the quantity of surface flows from Lots 2-A and 2-B that were contemplated under the Existing Drainage Plan, subject to retention on Lots 2-A and 2-B of “first flush” waters generated on Lots 2-A and 2-B as required under the updated City of Albuquerque Drainage Ordinance adopted in 2013.

6. Covenants Running with the Land. The terms, covenants and agreements herein contained shall run with the land and shall benefit and burden the Lots in accordance with the terms and provisions of this Agreement.

7. Counterparts. This Agreement may be executed in counterparts which, when placed together, shall act to form one instrument.

WHEREFORE, the Parties have executed this Agreement to be effective as of the Effective Date set forth above.

--- Signature Pages and Exhibit A Follow ---







GROUP 1 REALTY, INC.,  
a Delaware corporation

By: *Darryl M. Burman*

Its: Darryl M. Burman  
Vice President

STATE OF TEXAS                   0

COUNTY OF HARRIS               0

This instrument was acknowledged before me on December 17, 2019, by:

Darryl M. Burman, Vice President of Group 1 Realty,  
Inc., a Delaware corporation.

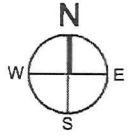
*Denise M. Gordon*  
Notary Public, State of TEXAS

Notary's Printed Name:  
Denise M. Gordon

My Commission Expires:  
10/14/2021







**EXHIBIT A**  
NOT TO SCALE

EXISTING DRIVEWAY TO BE INCLUDED  
IN PROPOSED ACCESS EASEMENT.  
LOCATION OF DRIVEWAY SHOWN IS  
APPROXIMATE.

JEFFERSON STREET N. E.

EX. 10' UTILITY EASEMENT

EX. DRIVEWAY

NORTH PROPERTY LINE LOT 1-A

PROPOSED ACCESS EASEMENT

PROPOSED ACCESS EASEMENT

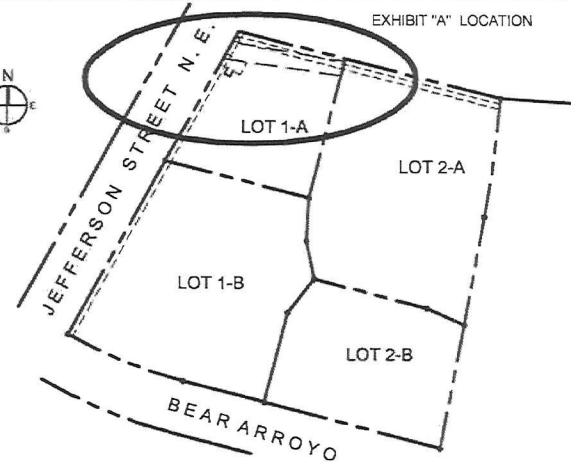
EX. WATER EASEMENT

PROPOSED 12' X 12' SIGN EASEMENT

LOT 1-A



EXHIBIT "A" LOCATION



LOCATION MAP  
NOT TO SCALE

5'

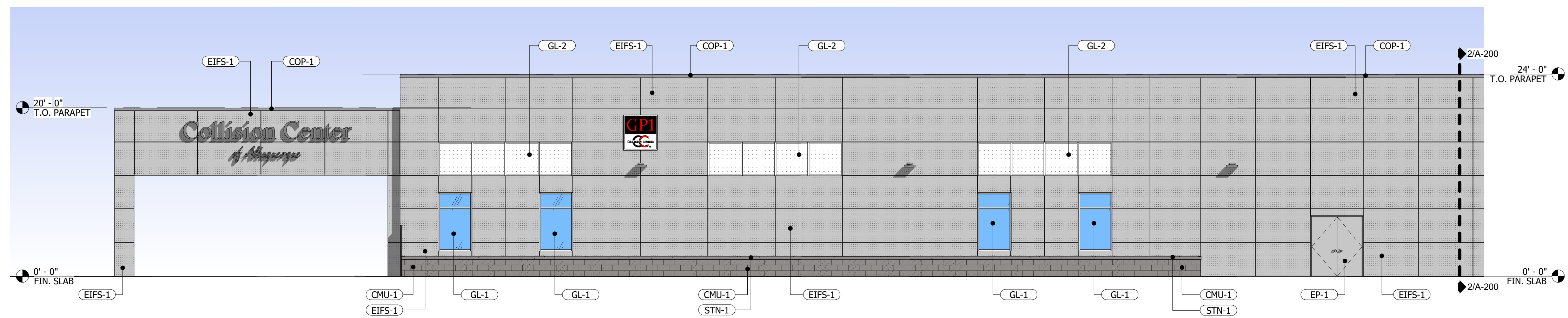
NORTH PROPERTY LINE LOT 2A

EX. 10' UTILITY EASEMENT

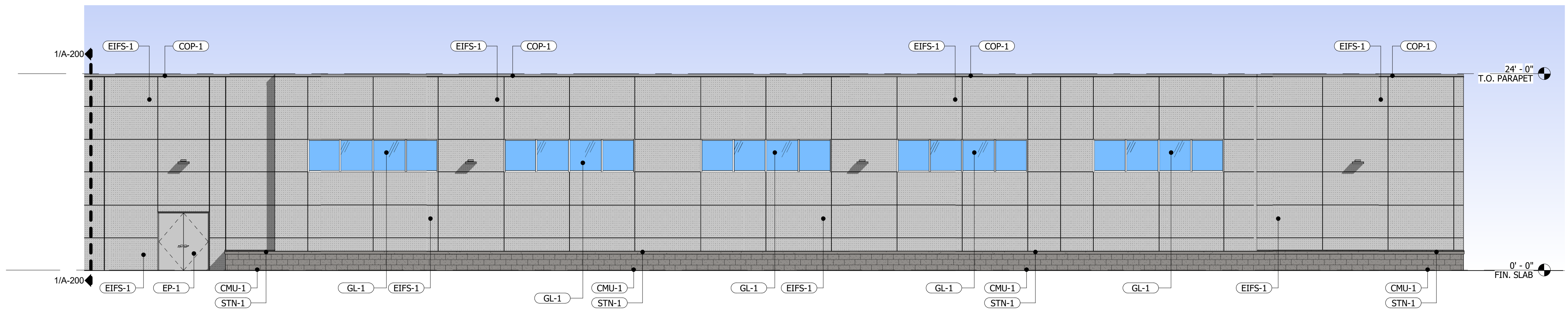
EX. 20' PUBLIC UTILITY EASEMENT

LOT 2-A

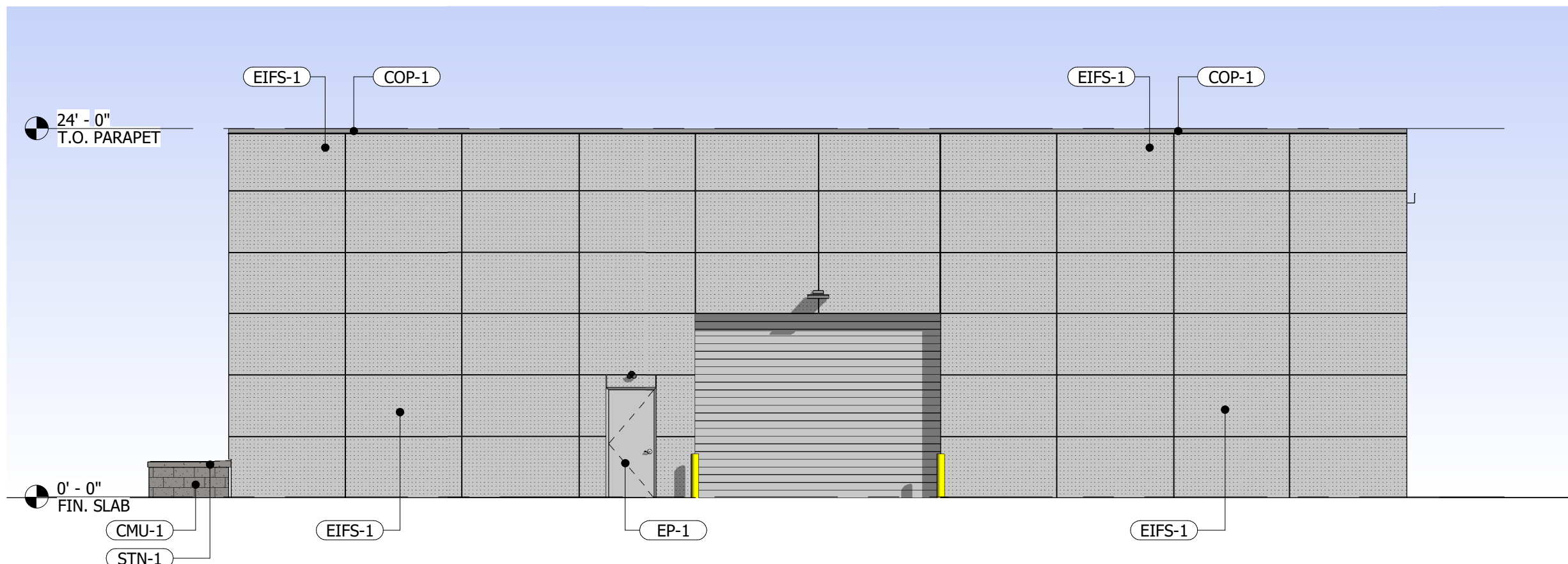




1 NORTH ELEVATION  
A-200 SCALE: 1/8" = 1'-0"



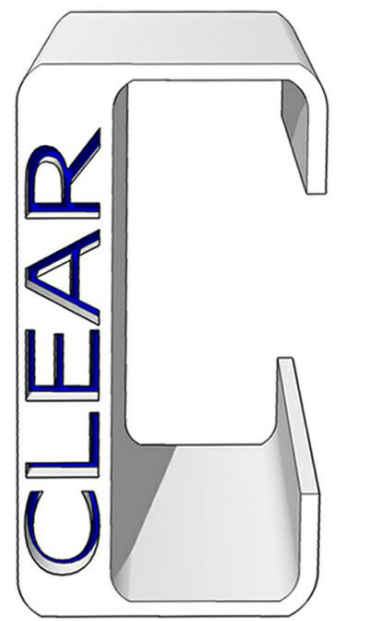
2 NORTH ELEVATION  
A-200 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
A-200 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER / COLOR	NOTES / REMARKS
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM	DRYVIT	#627A TWILIGHT GRAY - SAND PEBBLE FINE, VERIFICATION SAMPLES TO BE PROVIDED	BARRIER SYSTEM WITH HIGH TRAFFIC REINFORCING MESH (PANZER 20) FROM SIDEWALK/GRADE TO 6'-0" ABOVE FINISHED SURFACE
CMU-1	CONCRETE MASONRY UNIT	ECHOLON BY OLDCASTLE OR APPROVED EQUAL	8" THICK SPLIT FACE - INTEGRAL COLOR - CHARCOAL, VERIFICATION SAMPLES TO BE PROVIDED	INTEGRAL WATER REPELLANT IN CMU AND MORTAR
STN-1	CAST STONE WALL CAP	MELTON STONE OR APPROVED EQUAL	CUSTOM CAST STONE - INTEGRAL COLOR TO MATCH CMU	PROVIDE WATER REPELLANTS PER MANUFACTURER'S RECOMMENDATIONS, INTEGRAL WATER REPELLANT IN MORTAR
SF-1	STOREFRONT	KAWNEER OR EQUAL	451/451T - 4-1/2" TOTAL DEPTH - FRONT GLAZED - CLEAR ANODIZED	STOREFRONT PROVIDER TO DETERMINE REINFORCING REQUIREMENTS & PROVIDE AS REQUIRED
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS	CUSTOM COLOR TO MATCH EIFS	ALL HOLLOW METAL DOORS AND FRAMES - CLEAN AND PREPARE SURFACES PER PAINT MANUFACTURER'S RECOMMENDED INSTRUCTIONS PRIOR TO PAINTING
GL-1	EXTERIOR GLASS	VITRO ARCHITECTURAL GLASS	1" THICK INSULATING GLASS - 6MM SOLARBAN 90 (2) ON CLEAR + 1/2" AIR SPACE + 6MM CLEAR	SILICONE EDGE SEALANT - INTER-PANE SPACE TO CONTAIN PURGED, DRY HERMETIC AIR - MAX. U-VALUE (WINTER) - .29, MAX. SHGC - .39, MAX. SHADING COEFFICIENT - .45
GL-2	EXTERIOR GLASS	VITRO ARCHITECTURAL GLASS	1" THICK INSULATING SPANDREL GLASS - 6MM SOLARBAN 90 (2) ON SPANDREL GRAY* + 1/2" AIR SPACE + 6MM CLEAR	SILICONE EDGE SEALANT - INTER-PANE SPACE TO CONTAIN PURGED, DRY HERMETIC AIR - MAX. U-VALUE (WINTER) - .29, MAX. SHGC - .39, MAX. SHADING COEFFICIENT - .45
COP-1	PRE-FORMED METAL COPING	METAL-ERA OR APPROVED EQUAL	CONTINUOUS CLEAT CUSTOM COPING, 24 GAUGE STEEL - COLOR: GRANITE, VERIFICATION SAMPLES TO BE PROVIDED	SEE ELEVATIONS AND ROOF PLAN FOR LOCATIONS
PG-1	PRE-FORMED METAL GUTTER	METAL-ERA OR APPROVED EQUAL	SEAL-TITE INDUSTRIAL GUTTER - COLOR: GRANITE, VERIFICATION SAMPLES TO BE PROVIDED	SEE DOOR SCHEDULE FOR SIZE AND LOCATIONS
PD-1	PRE-FORMED METAL DOWNSPOUT	METAL-ERA OR APPROVED EQUAL	SEAL-TITE INDUSTRIAL DOWNSPOUT - COLOR: GRANITE, VERIFICATION SAMPLES TO BE PROVIDED	SEE DOOR SCHEDULE FOR SIZE AND LOCATIONS
PW-1	PEMB PARAPET WALL PANELS	BUTLER OR APPROVED EQUAL	WHITE	
RF-1	PEMB ROOF PANELS	BUTLER OR APPROVED EQUAL	WHITE	



Clear Architectural Design, LLC  
10605 Concord St., Suite 440  
Kensington, MD 20895  
240.396.2453



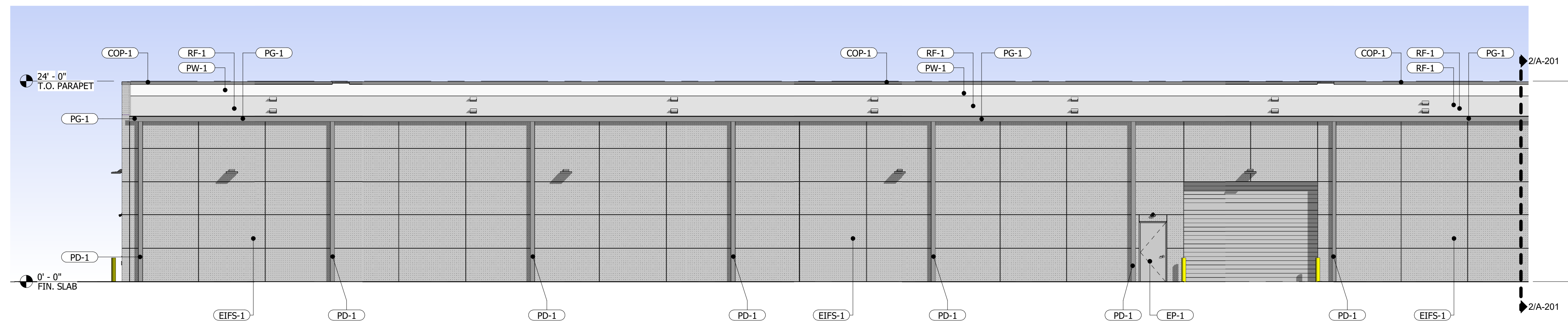
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**Sandia Collision Center**  
5900 Jefferson Street NE  
Albuquerque, NM 87109

SHEET DESCRIPTION:  
PRESENTATION ELEVATIONS

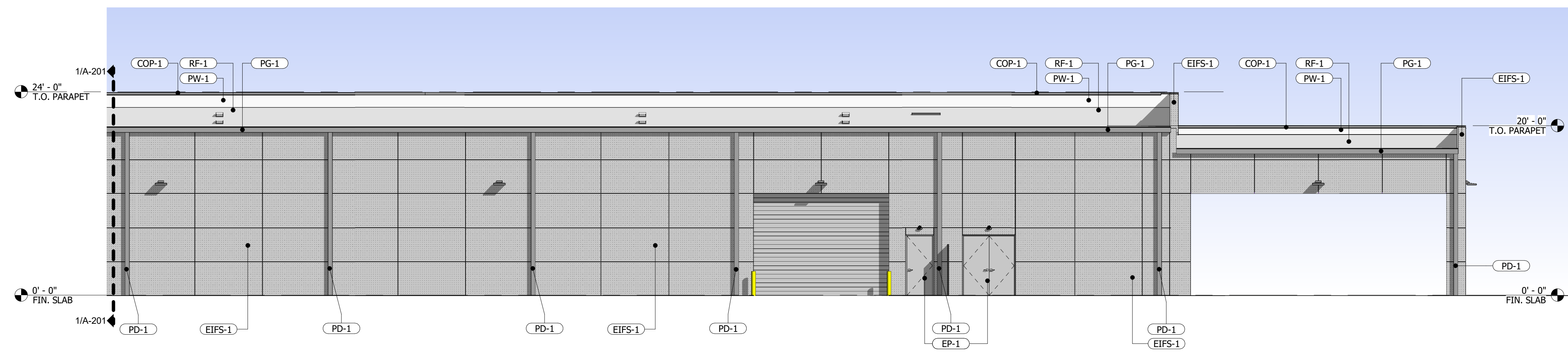
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DRAWN BY	Author	
CHECKED BY	Checker	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	4/2/21

A-200

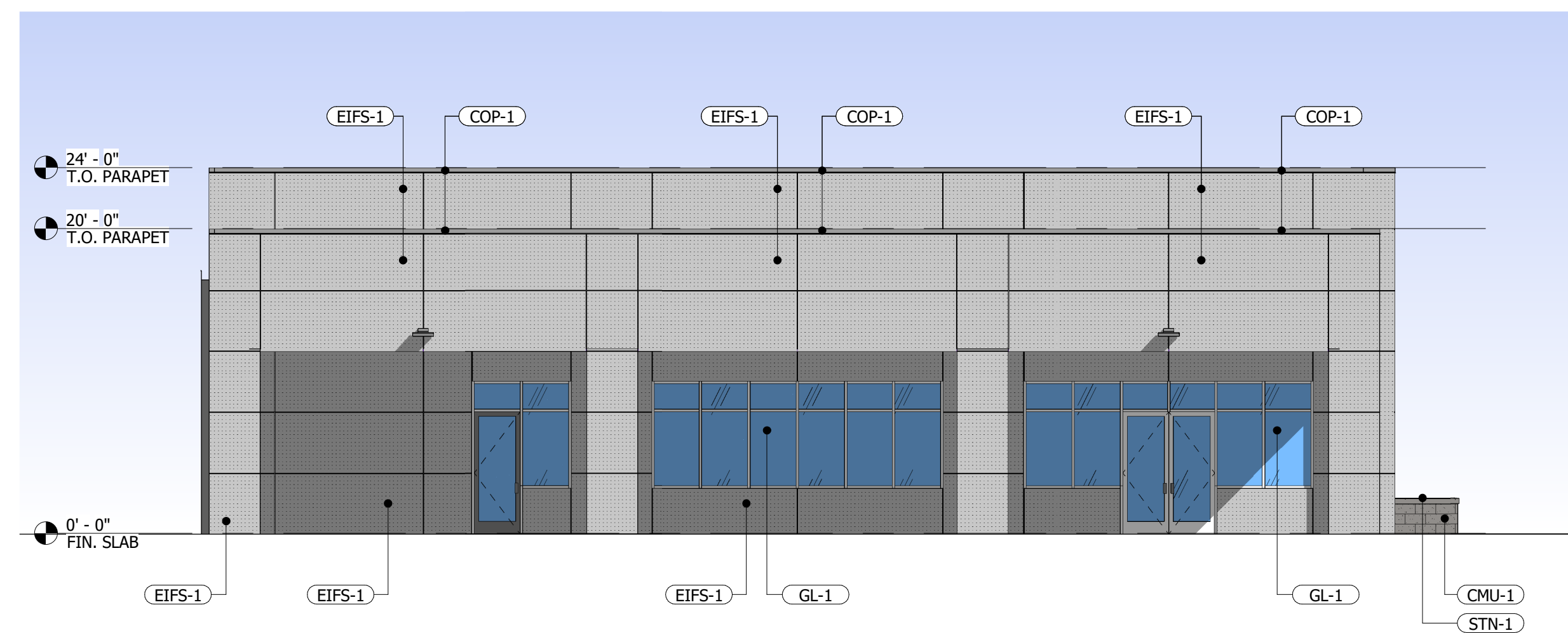




1 SOUTH ELEVATION  
A-201 SCALE: 1/8" = 1'-0"



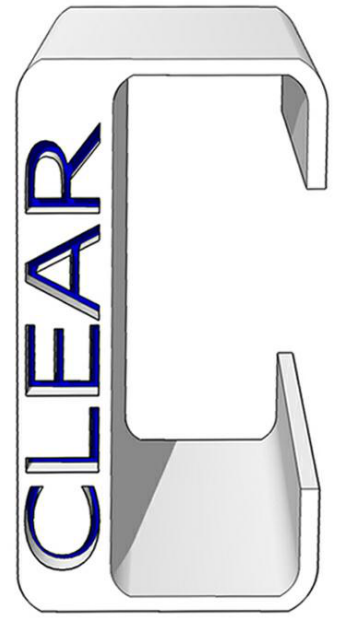
2 SOUTH ELEVATION  
A-201 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
A-201 SCALE: 1/8" = 1'-0"

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STN-1	CAST STONE WALL CAP	MELTON STONE OR APPROVED EQUAL	CUSTOM CAST STONE - INTEGRAL COLOR TO MATCH CMU	PROVIDE WATER REPELLANTS PER MANUFACTURER'S RECOMMENDATIONS, INTEGRAL WATER REPELLANT IN MORTAR
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GL-1	EXTERIOR GLASS	VITRO ARCHITECTURAL GLASS	1" THICK INSULATING GLASS - 6MM SOLARBAN 90 (2) ON CLEAR + 1/2" AIR SPACE + 6MM CLEAR	SILICONE EDGE SEALANT - INTER-PANE SPACE TO CONTAIN PURGED, DRY HERMETIC AIR - MAX. U-VALUE (WINTER) - .29, MAX. SHGC - .39, MAX. SHADING COEFFICIENT - .45
GL-2	EXTERIOR GLASS	VITRO ARCHITECTURAL GLASS	1" THICK INSULATING SPANDREL GLASS - 6MM SOLARBAN 90 (2) ON SPANDREL GRAY* + 1/2" AIR SPACE + 6MM CLEAR	SILICONE EDGE SEALANT - INTER-PANE SPACE TO CONTAIN PURGED, DRY HERMETIC AIR - MAX. U-VALUE (WINTER) - .29, MAX. SHGC - .39, MAX. SHADING COEFFICIENT - .45
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PW-1	PEMB PARAPET WALL PANELS	BUTLER OR APPROVED EQUAL	WHITE	
RF-1	PEMB ROOF PANELS	BUTLER OR APPROVED EQUAL	WHITE	



architectural  
DESIGN

Clear Architectural Design, LLC  
10605 Concord St., Suite 440  
Kensington, MD 20895  
240.396.2453



PROJECT NAME:

Sandia  
Collision Center

5900 Jefferson Street NE  
Albuquerque, NM 87109

SHEET DESCRIPTION:  
PRESENTATION ELEVATIONS

PROJECT #	2002	
DRAWN BY	Author	
CHECKED BY	Checker	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	4/21/21

A-201



## SANDIA COLLISION CENTER

### DRB SITE PLAN COMMENTS & RESPONSES

PROJECT NUMBER: PR-2019-002821

HEARING DATE: June 9, 2021

#### PLANNING DEPARTMENT

1. Is the building or any parking space bisected by the lot line? The site will need to be replated or redesigned to cure this.

**No building or any parking space is bisected by the existing lot line. We prefer not to replat at this time but will do so if required.**

2. Clarify the parking calculations for the site-the Site Plan shows 260 spaces and says the 347 are provided. Is 347 the total for the whole development?

**There are 346 striped parking stalls shown. Of these, 189 stalls are on lot2-a, and 158 are on lot2-B. We mistakenly counted the 2 motorcycle spaces as 1 parking space. We do not know where 260 spaces referenced in your comment are shown.**

3. Show bicycle and Motorcycle parking on site, include bicycle rack details IDO section 5-5(D) and (E).

**Motorcycle parking is labeled by note on sheet C2.0 in the NW corner of the parking bay west of the building. We'll indicate MC to be striped on our revised plan. Bicycle racks are also shown on C2.0 but were not labeled. They are just south of the accessible parking stalls on the north side of the site.**

4. Confirm the no parking space is more 100 feet from a tree, see IDO 5-6(F)(2)(c) Tree Requirements

**We confirm that no parking space is more than 100 feet from a tree and can provide an exhibit to illustrate this. The landscape plan shows the 100' radius for the trees to confirm all spaces are covered.**



5. Organic mulch must be provided underneath trees, see IDO 5-6(C)(5) for soil condition and planting beds.

**We acknowledge this requirement and will revise the landscape plan and details to show organic mulch beneath trees.**

6. Show mulch and gravel as part of the key for the landscaping plan.

**Mulch and gravel will be added to the key for the revised landscape plan.**

7. Outdoor seating is required, see IDO 5-11(E)

**We understand from IDO 5-11(E)(3) that outdoor seating is not required because our building is below 30,000 sf and auto repair is not a transportation or industrial use. If we've misunderstood this requirement, we can add a bench and some flatwork to the island at the northeast corner of the building.**

8. See section 5-2 , Site Design and Sensitive Lands, if the site has not been graded and sensitive lands analysis is required : Sensitive lands analysis form (cabq.gov)

**This site has been previously developed and graded. It was formerly a Fraternal Order of Police facility with parking building and a pool. Those improvements were demolished and the site was cleared and graded prior to Group 1 purchasing it.**

9. See section 5-2(l)(3) Arroyos and Trails for requirements adjacent to these features

**Updated proposed fencing to decorative fence, and have added connection to trail per discussions during DRB hearing.**

10. Please provide wall and fence details or point out which sheet they are on.

**We will provide fence details on the revised set. Our plans indicate 6 foot height vinyl coated chain link fence. Fence details included on revised plans.**

11. The Bear Canyon Resource Management Plan requires a trail connection to the existing trail along the arroyo- see 26 A of the management plan, bearcyn1.PDF (cabq.gov)  
Confirm with Parks and recreation regarding the need for this access

**During DRB meeting a connection to trail was discussed. We have revised plans to include a sidewalk connection to the existing trail, and have included a pedestrian gate on the exterior decorative fence along the arroyo. This door will remain locked when building is closed.**



12. Is it possible to provide color elevations? The elevations are somewhat difficult to read. I understand that the building is pre-fabricated.

**We've requested color elevations from our architect and will provide when available. Color elevations included in resubmittal package.**

13. See IDO section 5-3(D)(3) On-site Pedestrian Connections, for required pedestrian connections

**Sidewalks exist already along Jefferson Street. We don't really have a street facing façade and don't think a 10ft sidewalk width along any façade of the building is needed. We have added 6' sidewalk connection from building to Jefferson St. NE.**

14. See 5-3(D)(3)(b) Network of Walkways for walkway requirements between buildings and within the site.

**6' sidewalk connection from building to Jefferson St. NE is included on revised plans.**

15. Please dimension sidewalks or provide keyed notes with dimensions.

**All sidewalks are 6 ft minimum width. Revised set includes notes and dimensions.**

16. Site Plan elevations must be signed and sealed by an architect.

**We will have our architect provide signed and sealed elevations in our revised set.**

17. An Infrastructure List may be required, please see Transportation and Hydrology comments.

**Acknowledged. However, Transportation and Drainage Section had no comments.**

#### **PARKS & RECREATION DEPARTMENT COMMENTS:**

There is an existing multi-purpose trail located to the south of the subject site. The Parks and Recreation Department maintains the trail and 2-5 ft shoulders. A note should be added to protect trail – will discuss with engineer at DRB. Note 3 under Erosion & Sediment Control is not complete – should this include public trail?

**Our disturbed limits stops well short of the trail, but we will add notes to protect the trail. Note 3 would normally say “..or onto private property. We can also have it include the public trail.**



1. Pursuant to IDO Section 5-6(C)(5)(e), organic mulch required under trees - please review this regulation and add note either on Landscape Plan or Landscape Details page.

**We will revise our landscape plan and details to indicate organic mulch under trees.**

2. Landscape Plan Note 1 states all disturbed areas not specified as "landscape area, sod, or hardscape to be seeded with Bermuda". Are sodded areas included on this plan? The limits of the seeded area should be shown with a hatch or similar. The City has a standard seed mix in City Specs 1012.2.2 to be used for seeding. Seeded areas such as drainage areas should have 1 layer of rock mulch instead of the 4-6" in note 8.

**No sodded turf areas are proposed. We will revise our plan for rock mulch and use the standard seed mix as needed. The 'all disturbed areas...' note will be revised. The intent of that note is that the contractor must stabilize any disturbed areas.**

## **CITY OF ALBUQUERQUE DEPT. OF MUNICIPAL DEVELOPMENT**

### **TRANSPORTATION AND DRAINAGE SECTION**

No comments

### **TRANSPORTATION DEVELOPMENT ENGINEERING COMMENTS:**

1. Provide a copy of a plat or other documents showing easements, shared access, and the shared parking that are referenced in the topographic survey. (A shared access agreement is needed to show access to proposed development from Jefferson Street.) Also, show shared access from Lot A-1 due to the gated access at all applicable locations. Call these easements out on the site plan.

**A new plat is being prepared to reflect revised access and parking agreements with Lot 1-A and 1-B. Much of the cross-access and cross parking easements have been removed based upon an agreement with the Owners of Lot 1-A and 1-B in 2019. Lot A-1 is owned by Group 1. We will call these easements out on the revised site plan. Copy of original plat included in resubmittal package.**

2. Provide approved Fire-1 plan.

**We will provide a copy of the plan. Fire 1 Permit Number: 20-00482, Approved 3-11-2021.**

3. Designate employee parking and customer parking versus vehicular storage. Number of required handicapped spaces will be based on parking aside from any vehicular storage.



**We based HC spaces on the required parking of 23 spaces. We will designate employee and customer parking spaces on the revised plan by shading them.**

4. Show motorcycle parking and bicycle parking with a keyed note. Provide details for motorcycle signage and a bike rack per IDO requirements. Show all dimensions required to demonstrate sufficient space for the bicycle parking. Call out "MC" at the back of any motorcycle parking spaces.

**We will revise plans accordingly. MC spaces and bike parking are shown but not dimensioned on the site plan, now. We'll call out MC for the motorcycle parking.**

5. A 6-foot ADA pathway is required from the handicapped spaces to the office and from the office to the right-of-way. Show these paths with sidewalk, handicapped ramps, doorways, etc. Provide sidewalk details and ramp details as needed. Maximum sidewalk cross-slope is 2%. Also show all sidewalk dimensioning for other pathways,

**We will revise plans accordingly. Plans updated to show 6' walk, sidewalk and ramp details included on Site Detail sheets.**

6. Call out paved surfaces on the plan and call out curb to be 6"- 8" high. Provide curb detail. Call out all curb radii.

**We will add this information to the revised plan. Our proposed curbs are 6-inches high, and details included on Site Detail sheets.**

7. Submit TIS form separately to Matt Grush for sign-off. Provide all square footage details on TIS form.

**Acknowledged. Form sent, and updated form from Matt included in resubmittal.**

8. Provide parking space dimensioning for all parking lot segments. Include dimensioning for the motorcycle spaces.

**We will add these dimensions to the revised site plan.**



9. Provide handicapped sign details and list "No Parking" at the back of any aisles. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."

**We will revise our detail shown on C11.0 to reflect the language per 66-7-352.4.**

10. On far east side, loading area interferes with turning movement of car parking immediately to the west. Refer to DPM on minimum access aisle widths.

**We will relocate the loading area to maintain minimum access aisle widths.**





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 12/2020)

**Project Title:** Sandia Collision Center Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_  
Zone Atlas Page: E-17-Z DRB#: 2019-002821 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 2-A and 2-B of Lots 1-A, 1-B, 2-A, and 2-B of Fraternal Order of Police Addition  
City Address: 5900 and 5810 Jefferson St. NE

**Applicant:** Ayer Design Group Contact: Birk Ayer  
Address: 215 Johnston St., Rock Hill, SC 29730  
Phone#: 803-328-5858 Fax#: \_\_\_\_\_ E-mail: birk@ayerdesigngroup.com

### Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: NR-BP

Project Type: New:  Change of Use:  Same Use/Unchanged:  Same Use/Increased Activity:

Proposed Use (mark all that apply): Residential:  Office:  Retail:  Mixed-Use:

Describe development and Uses:  
Proposed Automotive Collision Center developed by Group 1 Automotive who also owns the existing Sandia BMW  
on the adjacent property. No vehicle repair will occur outside of building and open to retail customers.

Days and Hours of Operation (if known): 8 AM - 5 PM

### Facility

Building Size (sq. ft.): 22,733 SF

Number of Residential Units: N/A

Number of Commercial Units: 1

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* 361 (22.733 x 15.86)

Expected Number of Employees (if known):\* 25

Expected Number of Delivery Trucks/Buses per Day (if known):\* 1

Trip Generations during PM/AM Peak Hour (if known):\* 71 (22.733 x 3.11)

Driveway(s) Located on: Street Name Jefferson St. NE

Adjacent Roadway(s) Posted Speed: Street Name Jefferson St. NE Posted Speed 35 mph

Street Name \_\_\_\_\_ Posted Speed \_\_\_\_\_

ITE Land Use #942,  
Automobile Care  
Center, 22,733 Sq Ft,  
AM 50 trips  
PM 66 trips

\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required



**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Transit Corridor, Community Principal Arterial, Urban Minor Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Near Neighborhood Center at San Mateo and Pan American Fwy  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 22701 Volume-to-Capacity Ratio: AM NB 0.51, PM SB 0.42  
(if applicable)

Adjacent Transit Service(s): Bus Route 251 and 551 Nearest Transit Stop(s): Bus Stop Route 251, Jefferson Plaza

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Existing Bike Lane along Jefferson St. NE and trail/bike path along Bear Arroyo  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Existing sidewalk along Jefferson St. NE

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No [  ] Borderline [ ]

Thresholds Met? Yes [ ] No [  ]

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes:

*M.P. P.E.*

6/24/2021

TRAFFIC ENGINEER

DATE





## Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov) . Call 924-3362 for information.

### Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.