



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: <b>SUNPORT PARK HOSPITALITY LLC</b>		Phone:
Address: <b>3304 W. HWY 66</b>		Email:
City: <b>GALLUP</b>	State: <b>NM</b>	Zip: <b>87301</b>
Professional/Agent (if any): <b>ARCH+ PLAN LAND USE CONSULTANTS</b>		Phone: <b>505.980.8365</b>
Address: <b>P.O. BOX 25911</b>		Email: <b>arch.plan@comcast.net</b>
City: <b>ALBUQUERQUE</b>	State: <b>NM</b>	Zip: <b>87125</b>
Proprietary Interest in Site:	List all owners:	

**BRIEF DESCRIPTION OF REQUEST**

**PROPOSED INTERIOR LOT TO EXISTING APPROVED SITE PLAN**

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: <b>2-A-2</b>	Block: <b>2</b>	Unit:
Subdivision/Addition: <b>SUNPORT PARK</b>	MRGCD Map No.:	UPC Code: <b>1.015.055.195.233.304.11</b>
Zone Atlas Page(s): <b>M-15</b>	Existing Zoning: <b>NR-BP</b>	Proposed Zoning:
# of Existing Lots: <b>1</b>	# of Proposed Lots: <b>2</b>	Total Area of Site (acres): <b>2.0473</b>

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: **WOODWARD RD** Between: **UNIVERSITY BLVD** and: **TRANSPORT ST.**

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

**PR 2019-002905**

Signature: <i>Derrick Archuleta</i>	Date:
Printed Name: <b>DERRICK ARCHULETA</b>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00856	AA	\$50			

Meeting/Hearing Date: **N/A** Fee Total: **\$50**

Staff Signature: *Vanessa A Segura* Date: **9/2/2020** Project # **PR-2019-002925**

# FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P3 at the front followed by the remaining documents *in the order provided on this form*.

**ARCHEOLOGICAL CERTIFICATE**

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Archaeological Compliance Documentation Form with property information section completed

Note: Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- PDF of application as described above
  - Zone Atlas map with the entire site clearly outlined and labeled
  - Letter of authorization from the property owner if application is submitted by an agent
  - Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
  - One copy of all applicable sheets of the approved Site Plan being amended, folded
  - Copy of the Official Notice of Decision associated with the prior approval
  - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- PDF of application as described above
  - Zone Atlas map with the entire site clearly outlined and labeled
  - Letter of authorization from the property owner if application is submitted by an agent
  - Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
  - One copy of all applicable sheets of the approved Site Development Plan being amended, folded
  - Copy of the Official Notice of Decision associated with the prior approval
  - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ALTERNATIVE SIGNAGE PLAN**

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

*I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.*

Signature: *Derrick Archuleta*

Date:

Printed Name: **DERRICK ARCHULETA**

Applicant or  Agent

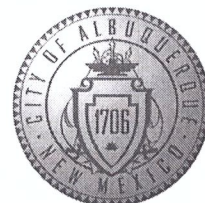
**FOR OFFICIAL USE ONLY**

Case Numbers:

Project Number:

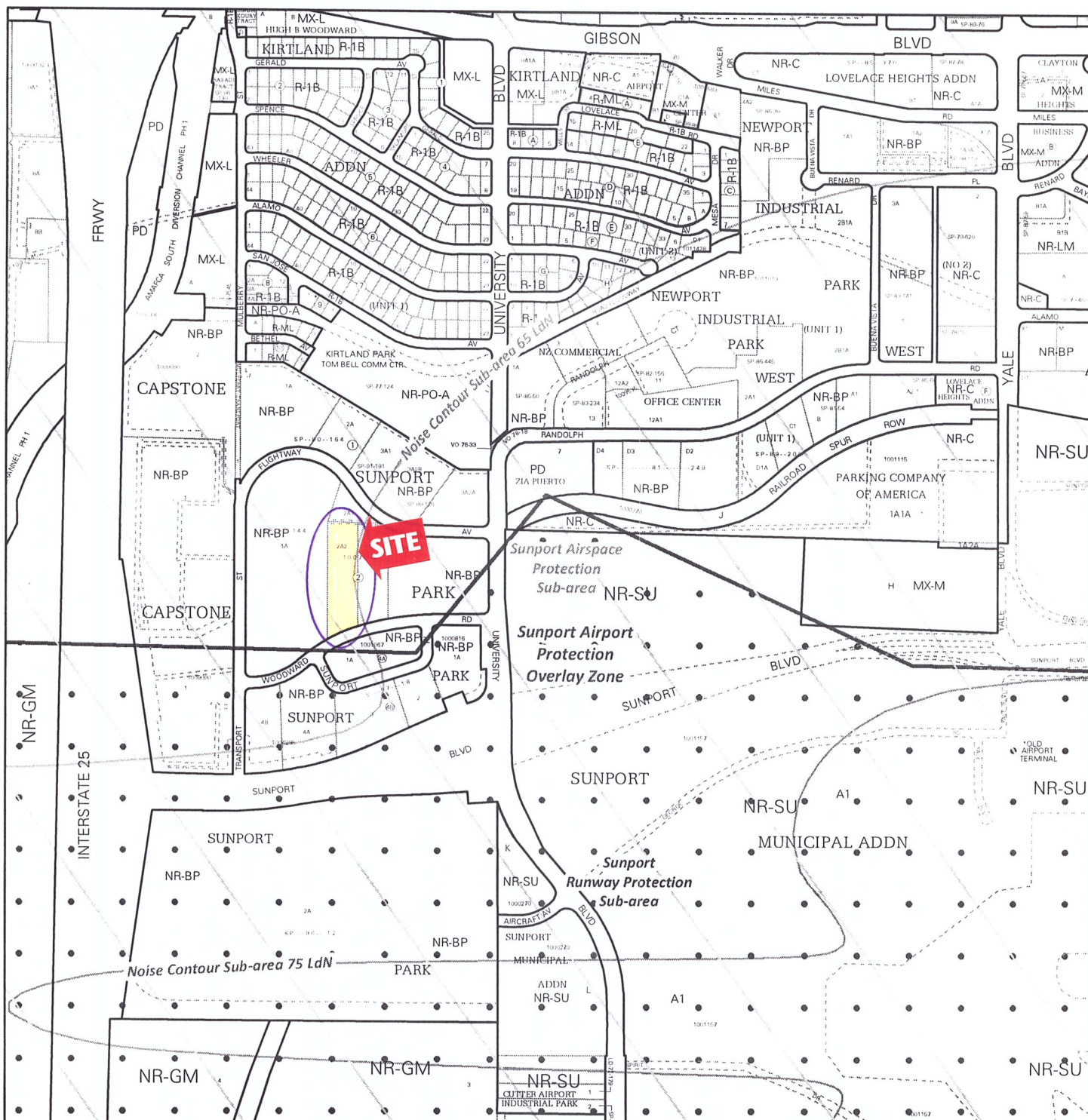
**SI-20203--00856**

**PR-2019-002925**



Staff Signature: *Vanessa A Segura*


Date: **9/2/2020**



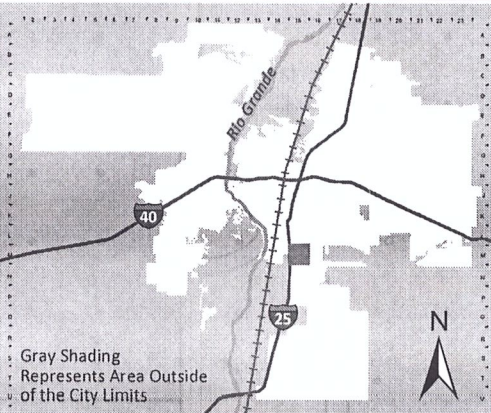
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas

### May 2018



**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**M-15-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

SUNPORT PARK HOSPITALITY LLC  
3304 W. HWY 66  
GALLUP NM 87301

August 4, 2020

Russell Brito  
City of Albuquerque  
Urban Design & Development  
600 2<sup>nd</sup> St NW  
Albuquerque NM

**RE: OWNER AUTHORIZATION  
TRACT 2-A-2, BLOCK 2, SUNPORT PARK  
PR 2019-002925**

Mr. Brito:

Sunport Park Hospitality is authorizing Derrick Archuleta, ARCH+PLAN Land Use Consultants to serve as agent for an Administrative Amendment a Minor Amendment to Site Plan as part of a minor subdivision for the above mentioned property.

The property owner would like to create two lots from existing Lot 2-A-2, Block 2, Sunport Park on approximately 2± net acres on property zoned NR-BP (Non residential – Business Park).

The authorization will include, but not limited to:

- Preparation of materials for the Administrative Amendment
- Project management
- Project representation
- Execution of all documents to be submitted to the City of Albuquerque

If you have any questions, please contact me.

Sincerely,



8-4-20

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Sunport Park Hospitality

**ARCH+PLAN**  
**LAND USE CONSULTANTS**  
**ALBUQUERQUE NM**

August 31, 2020

Mr. Russell Brito  
City of Albuquerque  
Urban Design & Development  
600 2<sup>nd</sup> St NW  
Albuquerque NM

**RE: ADMINISTRATIVE AMENDMENT FOR LOT 2-A-2, BLOCK 2, SUNPORT PARK**

Mr. Brito:

Please accept this letter as justification for what we believe to be a minor amendment to the approved site plan, PR 1007017 / 16DRB 70240. The property is located on Woodward Road SE between University Boulevard and Transport Street. We weren't able to get a copy of the previous Official Notice of Decision associated with the prior approval. What is included in the packet is the DRB Site Development Plan signoff approval.

The proposal for this Administrative Amendment is seeking to create two lots from existing Lot 2-A-2, Block 2, Sunport Park. Proposed Lot 2-A-2-1 is to be 1.49857± net acres and Lot 2-A-2-2 is to be 0.54872± acres on property zoned NR-BP (Non Residential – Business Park). The existing site plan was approved as one legal lot of record.

Proposed Tract 2-A-2-1 is currently developed with a Comfort Suites Hotel at 1399 Woodward Road SE.

A Preliminary Final Plat was presented to the Development Review Board on July 15, 2020 with a deferral until completion of the subject application of an Administrative Amendment to the approved site plan to reflect the proposed subdivision. The Project number is PR 2019-002905.

We believe that the proposed request meets the requirements for a minor amendment as defined by Section 14-16-6-4(X)(2)(a) in the following manner:

**Criteria 2:** The proposed subdivision (interior lot) will not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-5 in that the original site plan reflected and was approved with two buildings with the only difference is a proposed interior lot without affecting any standards listed and the underlying zone of NR-BP.

**Criteria 6:** The amendment will not adjust approved building design standard in that one of them is already built (hotel) and the second one has an active permit (restaurant) pending completion of the subdivision process. The only difference is that each will exist on separate legal lots of record.

**Criteria 7:** The amendment will not reduce the amount of total landscaping on the property as approved on the existing landscape plan. The landscaping will not be affected by the proposed interior lot.

**Criteria 9:** The proposed amendment is the result a subdivision presented to the DRB. All other agency criteria and requirements have been addressed except for completion of the subject application. All standards subject to DRB review have been completed.

**Criteria 10:** The amendment will not change a specific condition attached to decision making body. The only change presented with this application is a proposed interior lot.

**Criteria 11:** The property falls within the Sunport Airport Protection Overlay Zone but do not believe the proposed interior lot will not have any impact in that the property is currently developed and has an active building permit as reviewed an approved with the prior DRB evaluation.

**Criteria 12:** The amendment will not approve any land use that was not authorized by permit or approval or that is not allowed by right on the property. The proposed interior lot will not impact either the existing use (hotel) or proposed use (restaurant), both permissive uses of the underlying zone.

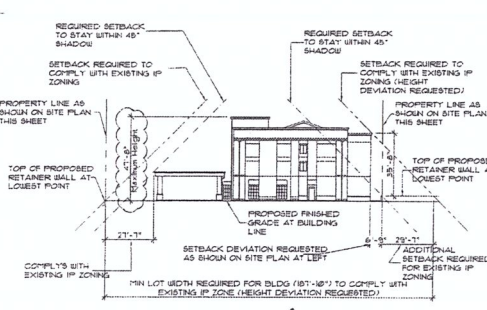
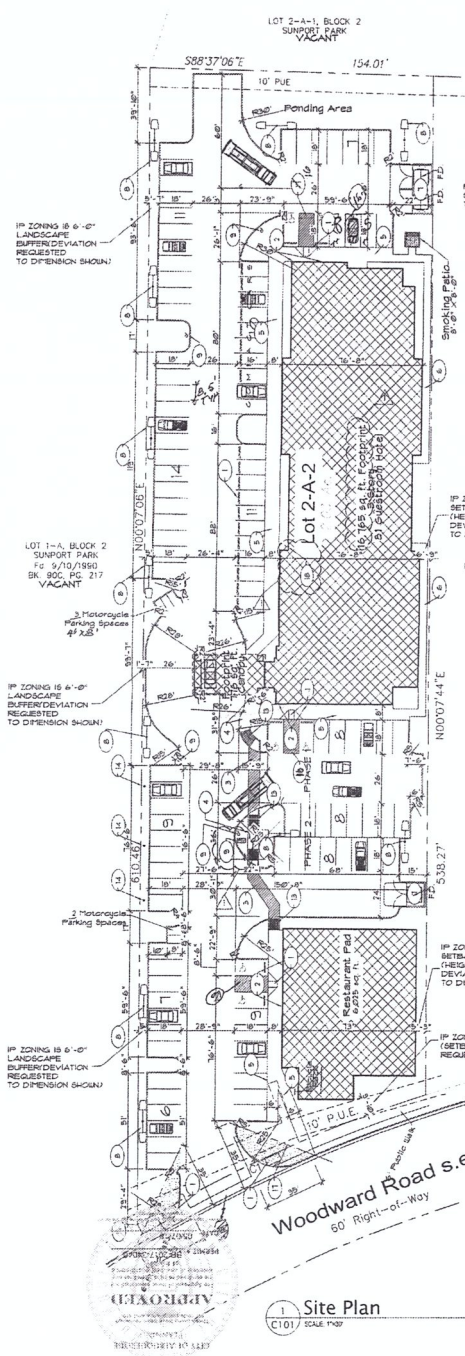
If you need additional information as part of your review, please let me know.

Thank you for your time and consideration of the proposed application.

Sincerely,



Derrick Archuleta, MCRP  
Principal



2 South Elevation  
C101 SCALE: 1/2" = 1'-0"

**PERMISSIBLE AREA PER FLOOR PER TBL 563**

AREA MODIFICATIONS PER SEC 566:

$$A_1 \cdot A_2 \cdot \frac{A_3}{A_4} \cdot \frac{A_5}{A_6} \cdot \frac{A_7}{A_8} \cdot \frac{A_9}{A_{10}}$$

PERMITTED: 16,000 sq. ft. x 0.000 = 14,400 + 1,600 = 16,000 sq. ft.

50,000 sq. ft. x 0.000 = 44,000 + 6,000 = 50,000 sq. ft.

**SPRINKLER SYSTEM:**

BUILDING SHALL BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED TO MEET ALL APPLICABLE STATE AND LOCAL BUILDING CODES. PLANS AND SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED TO FIRE MARSHAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE ATTORNEYS OF THE BUILDINGS ARE TO BE FULLY SPRINKLERED WITH A DRY PIPE SYSTEM. THIS SYSTEM SHALL BE A FULLY AUTOMATIC MONITORED SYSTEM AND THE SYSTEM SHALL EXCEED THE REQUIREMENTS FOR ATTIC DRAFT STOPPING PARTITIONS, BUT NOT AREA SEPARATION PARTITIONS. IN ADDITION TO THE BUILDINGS, THE PORT COOLER WILL ALSO BE SPRINKLERED.

**GENERAL NOTES**

1. THERE ARE NO EXISTING BUILDINGS ON-SITE. ALL BUILDINGS ARE PROPOSED.
2. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF ART. 14-18-3-B. AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
3. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
4. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROTECT THE EFFICIENT USE OF ENERGY.
5. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
6. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
7. PHM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PHM'S NEB SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
8. ALL SIDEWALK RAMPS (INCLUDING REQUIRED TRUNCATED CURBS) CURB CUTS AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE BUILT PER C.O.A. STANDARD DRAINAGE-SEWERAGE (C.D.S.), RAINW. (C.R.A.), CURB CUTS (C.C.A.), CURB AND GUTTER (C.A.G.).
9. ALL RAMP LOCATED WITHIN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY MUST HAVE TRUNCATED CURBS.

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	170.91	830.00	S66°14'28"W	170.61	11°47'53"

**WRITTEN SUMMARY**

The proposed project is limited service three story hotel building with eighty-one (81) guest suites. Each story is approximately 16,765 square feet needed area for a total building area of 50,295 square feet plus canopy. The proposed use of the building will be a short term stay hotel which is allowed within IP permit use. Due to 45' shadow height limitations and setback requirements of IP zoning, applicant is requesting change of zoning to U-1 for IP uses with conditions as shown on these plans.

**DRAWING INDEX**

1. SITE PLAN - C101
2. SITE PLAN DETAILS - C201
3. BUILDING AND STRUCTURAL ELEVATIONS - A301
4. LANDSCAPE PLAN - L001
5. PRELIMINARY GRADING PLAN - C102
6. CONCEPTUAL UTILITY PLAN - C103

**EASEMENT RECORDING INFORMATION**

FOR REPEAT RECORDING DATE: 09-13-2008  
BOOK: 2006C  
PAGE: 202

PROJECT NUMBER: 1 007017  
Application Number: 10063 - 2.5.8.37

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notice of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>Raymond Webb</i> Traffic Engineering, Transportation Division	7/20/16	Date	8-15-16	Date
<i>Christy Calver</i> ABC/WMA	08/10/16	Date	8-2-16	Date
<i>Deborah</i> Planning and Regulation Department	7/20/16	Date	8-15-16	Date
<i>Alan</i> City Engineer	7-20-16	Date		

Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_  
Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_  
DRP Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

- Key Notes:**
1. SLOPED ADA RAMPS, City of Albuquerque Std. Div. No. 2426 (1/2) MAXIMUM AT TRAFFIC AREA.
  2. HANDICAP SIGN ON POLE OR MOUNTED ON WALL 10" X 8".
  3. ADA ACCESSIBLE PEDESTRIAN PATHWAY 6' SIDE WITH PAINTED STRIPPING.
  4. ADA ACCESSIBLE PEDESTRIAN WALK 6'-6" SIDE CONCRETE.
  5. HANDICAP ACCESSIBLE WALKS (WIDTH VARIES - REFER TO DIMENSIONS).
  6. 4" WIDE CONCRETE SERVICE WALK.
  7. TRASH ENCLOSURE.
  8. LIGHT FIXTURE.
  9. NEW FIRE HYDRANT.
  10. NOT USED.
  11. NOT USED.
  12. NOT USED.
  13. ADA Ramp Within Accessible Pedestrian Walkway (Refer to Details on Sheet C201).
  14. Concrete Valley Gutter per City of Albuquerque Std. Div. No. 2426.
  15. Paint "COMPACT" on Each Compact Parking "Space".
  16. "NO PARKING" in Capital Letters 14" High x 3" Strike Adjacent to Vehicle Rear Tire. Requirements: Therefore, walls, Trees, and Shrubs/Plants between 3 and 6 feet tall (as measured from the gutter line) will not be acceptable in this Area.
  17. Clear Sight Triangle - Landscaping and Signage will not interfere with Clear Sight. Requirements: Therefore, walls, Trees, and Shrubs/Plants between 3 and 6 feet tall (as measured from the gutter line) will not be acceptable in this Area.
  18. Fire Department Connection (into Closet inside Guest Laundry).

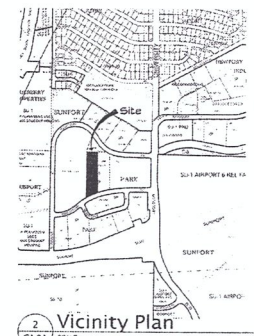
**PROJECT DATA**

LEGAL DESCRIPTION: LOT 2-A-1, BLOCK 2, SUNPORT PARK SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
EXISTING ZONING: U-1  
REQUESTED ZONING: U-1 for IP USES w/EXCEPTIONS AREAS  
TRACT AREA: 2.03 ACRES/84,294 S.F.  
BUILDING FOOTPRINT: 17,619 S.F.  
FUTURE RESTAURANT: 6,025 S.F.  
TOTAL BUILDING AREA: 50,295 S.F.  
F.A.R.: .32

PERCENTAGE OF SITE SURFACE COVERED WITH BUILDINGS = 20.8 %  
PROPOSED USE: HOTEL/FUTURE RESTAURANT

**PARKING DATA:**  
81 GUESTROOMS  
825 SQ. FT. RESTAURANT / 200 (This would allow 124 Seats)  
PARKING REQUIRED (1 Per Unit) / 1 Per 200 Sq. Ft. of RESTAURANT

81 STALLS	31 STALLS
144 STALLS	144 STALLS
173 STALLS	173 STALLS
22 STALLS	22 STALLS
2 STALLS	2 STALLS
2 RACK	2 RACK
3 STALLS	3 STALLS
5 STALLS	5 STALLS



2 Vicinity Map  
C101 SCALE: 1" = 30'



**JIM MEDLEY, Architect AIA**  
Architect License No. 21488  
3700 Christie N.E. Albuquerque, NM 87111  
architect@jim-medley.com  
Phone: (505) 292-2524 Fax: (505) 264-5593

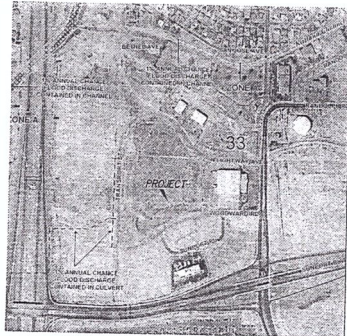
DATE: 7/20/16  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

Project: 81 Guestroom Hotel  
**CHOICE HOTELS**  
INTERNATIONAL  
by  
Support Park Hospitality, LLC  
Gallup, New Mexico

No.	Description / Issue	Date	15/16
1	Revision / Issue		
2	Revision / Issue		
3	Revision / Issue		
4	Revision / Issue		
5	Revision / Issue		

Sheet Description:  
**SITE PLAN for BUILDING PERMIT**

Sheet:  
**C 101**



MAP SCALE 1" = 800'

**FIRM**  
FLOOD INSURANCE RATE MAP  
BERNALILLO COUNTY,  
NEW MEXICO  
AND INCORPORATED AREAS

PANEL 34 OF 325

MAP NUMBER: 35001C0342 G  
MAP REVISION: SEPTEMBER 26, 2016

FIRM MAP PANEL 35001C0342 G

### GRADING & DRAINAGE PLAN

THE LIGHT INDUSTRIAL ZONED PROJECT IS LOCATED IN THE DEVELOPED SUPPORT PARK SUBMISSION (SUPPORT AREA) APPROX. 2 MILES SOUTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO. 88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR EXCAVATION AND GRADING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS, INCLUDING SURFACE UTILITIES/ASEMENTS.
- PROPOSED IMPROVEMENTS: 85% IMPERVIOUS HOTEL - RESTAURANT SITE DEVELOPMENT, NEW GRADE ELEVATIONS, PERIMETER SILT FENCING AND REVEGETATION.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ANALYSIS OF UPSTREAM OFF-SITE FLOWS (IF APPLICABLE) PLUS THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS, INCLUDING PARKING REQUIREMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUND ON ALL SIDES BY UNDEVELOPED PROPERTY. WOODWARD RD ON THE SOUTH IS AN IMPROVED ASPHALT MAJOR LOCAL ROADWAY MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT APPROXIMATELY 7% TO THE WEST.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

FREE DISCHARGE OF DEVELOPED FLOW IS NOT ACCEPTABLE SINCE THE SITE LIES WITHIN THE OVERALL MASTERPLAN FOR THE SUPPORT PARK REGIONAL AREA. RUNOFF WILL NOT BE ALLOWED TO CONCENTRATE AT THE PROPERTY BOUNDARY. THE NORTH BASIN SHALL DRAIN TO THE DETENTION POND WITH CONTROLLED OULET SIZED FOR HISTORIC - THE SOUTH BASIN SHALL DRAIN TO THE DRIVEPAD ROUTING RUNOFF THRU DEPRESSURE LANDSCAPE AREAS.

### CALCULATIONS

#### DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1981 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO  
DISCHARGE RATE:  $Q = OPEAK \times AREA$  "Peak Discharge Rates for Storm Intensity"  
VOLUMETRIC DISCHARGE:  $VOLUME = E_{weighted} \times AREA$   
 $P100 = 2.35$  inches, Zone 2 Time of Concentration,  $TC = 10$  Minutes  
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

#### HISTORIC CONDITIONS

TOTAL AREA = 2 ACRES, WHERE EXCESS PRECIP.  $P = 0.78$  in [0.26]  
PEAK DISCHARGE:  $Q100 = 4.56$  CFS [1.3] WHERE UNIT PEAK DISCHARGE  $q = 2.28$  CFS/AC [0.95]  
THEREFORE:  $VOLUME_{100} = 566.3$  CF [203.3]

#### EXISTING CONDITIONS - INTERIM WITH PORTION SITE REVEGETATED

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	$Q_{Peak}$	$E$	
UNDEVELOPED	---	A	1.56(0.39)	0.53(0.13)
LANDSCAPING	---	B	2.28(0.95)	0.78(0.28)
GRAVEL & COMPACTED SOIL	---	C	3.14(1.71)	1.13(0.52)
ROOF - PAVEMENT	---	D	4.70(3.14)	2.12(1.34)

THEREFORE:  $E_{weighted} = 1.13$  in [0.52] &  $VOLUME_{100} = 830.5$  CFS  
 $Q100 = 6.3$  CFS  
 $Q10 = 3.4$  CFS

RECOMMEND: MINIMAL INCREASE, THEREFORE ENSURE THAT HIGH VELOCITY FLOWS ARE NOT ALLOWED AT THE BOUNDARY, AND NO CONCENTRATION OF FLOWS CROSS BOUNDARY. RETENTION OF THE INCREASE OF RUN-OFF DUE TO THE INTERIM DEVELOPMENT.

#### DEVELOPER CONDITIONS - HOTEL - RESTAURANT

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

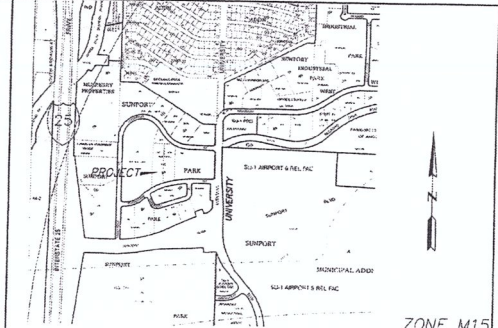
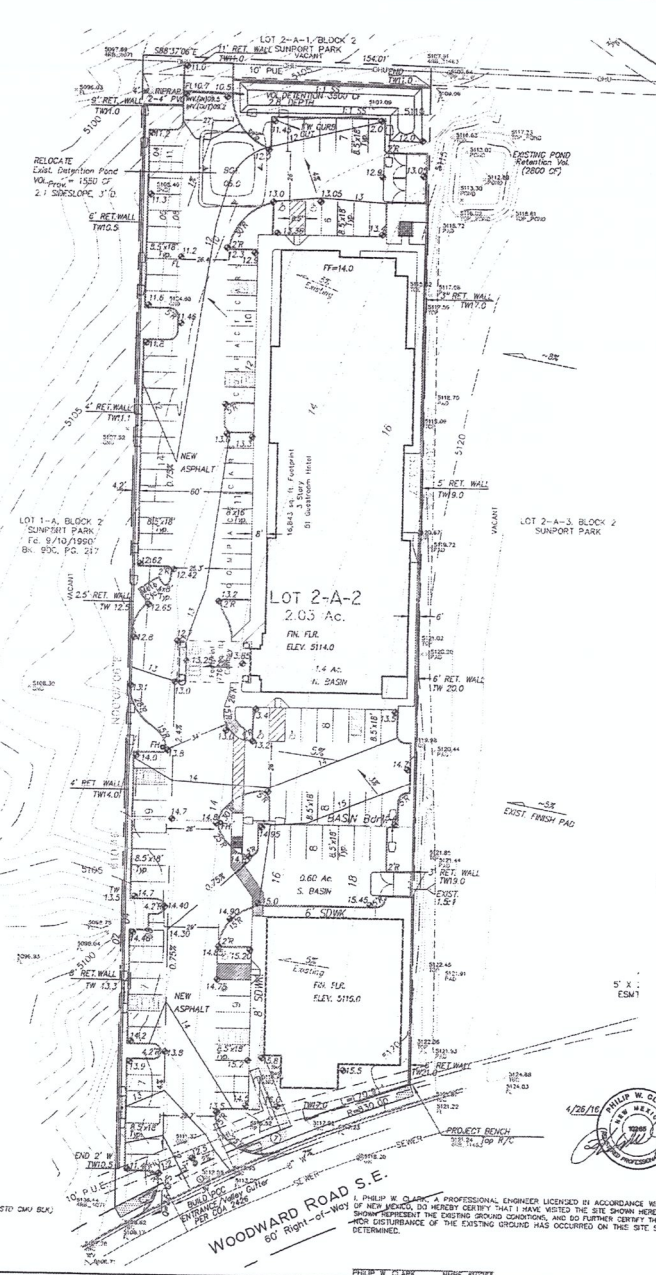
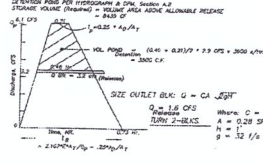
AREA	LAND TREATMENT	$Q_{Peak}$	$E$	
UNDEVELOPED	---	A	1.56(0.39)	0.53(0.13)
LANDSCAPING	---	B	2.28(0.95)	0.78(0.28)
GRAVEL & COMPACTED SOIL	---	C	3.14(1.71)	1.13(0.52)
ROOF - PAVEMENT	---	D	4.70(3.14)	2.12(1.34)

THEREFORE:  $E_{weighted} = 1.04$  in [0.52] &  $VOLUME_{100} = 784.4$  CFS  
 $Q100 = 6.78$  CFS  
 $Q10 = 3.4$  CFS  
THEN: N. BASIN  $Q100 = 6.1$  CFS  
S. BASIN (FRD)  $Q100 = 0.68$  CFS  
TOTAL  $Q100 = 6.78$  CFS

WEIR CALC  
 $Q = CLH^{3/2}$  WHERE:  $C = 2.7$   
THEN:  $L = 6.5'$   $H = 0.6$  CFS

FIRST FLUSH - TOTAL SITE  $0.34' \times 7.7 \times 13500 = 2996$  CF (STORE BELOW PIPE & ROUTE S. BASIN THRU DEPRESSURE LANDSCAPE AREAS)

#### DETERMINE POND SIZE



### VICINITY MAP NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1999 EDITION W/ 9' UPDATES.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX USING MAX. HATCH FOR FAST SIDE APPLICATION. HATCHOTA BLUE GRAMA DOMINANT MIX PER PARAGRAPH 4.1.2.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION:  
3 HORIZONTAL TO 1 VERTICAL, 3:1  
2 BUILD 6" PCC SIDEWALK PER COA STD DWG. 2430.

### LEGEND

- EXIST. SPOT ELEVATION: +34.9
- EXIST. CONTOUR: 3310
- NEW SPOT ELEVATION: 12.0 (ADD 5100 FOR MSL)
- NEW CONTOUR: -12
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- NEW P.C.C., CONCRETE
- FLOWLINE
- WATER BLOCK
- RPPRP STONE: 1/2" DIA. 4" Avg. Dia.
- ST. BURY

Scale: 1" = 30'

### PROJECT DATA

UPC# 1-015-056-163-234-30410  
LEGAL DESCRIPTION  
LOT 2-A-2, SUPPORT PARK, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
PROJECT BENCHMARK  
TOP OF REBAR/CAP AT THE PROJECT SOUTHWEST CORNER MSL ELEVATION = 5721.24, AS TIED FROM ANAMFA SDC 3-1/4" DIAMETER ALUM. OLM SET IN CONCRETE, SDC-11-2, MSL, N410 RB. 3001.66, LOCATED  
TOPOGRAPHIC DESIGN SURVEY  
PROVIDED BY ALPHA PRO SURVEYING, LLC, DATED APRIL 2014, AND SUPPLEMENTED MAR. 2016.

**Clark Consulting Engineers**  
19 Ryon Road  
Edgewood, New Mexico 87015  
(505) 791-2444 Fax: (505) 364-6042

DATE	REVISION	LOT 2-A-2, BLOCK 2, SUPPORT PARK
		ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
		SUPPORT PARK HOSPITALITY / KUMAR
<b>Grading &amp; Drainage Plan</b>		
DESIGNED BY: PNC	DRAWN BY: COE	JOB # YODAS
CHECKED BY: PNC	DATE: 3/24/16	FILE # 5/2

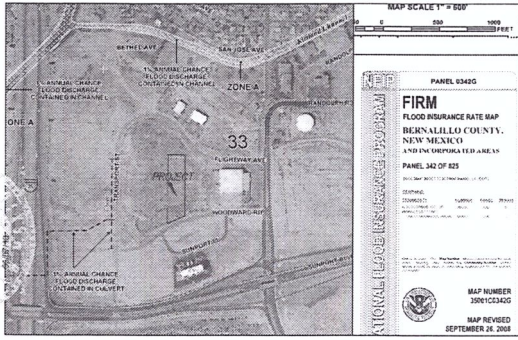
C 102

PHILIP W. CLARK REGISTERED PROFESSIONAL ENGINEER

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO SIGNIFICANT EARTHQUAKE HIGH DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.







FIRM MAP PANEL 3501C0342 G

### GRADING & DRAINAGE PLAN

THE LIGHT INDUSTRIAL ZONED PROJECT IS LOCATED IN THE DEVELOPED SUPPORT PARK SUBDIVISION (APPROX AREA) APPROX. 2 MILES SOUTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR EXCAVATION AND GRADING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS, INCLUDING SURFACE UTILITIES/EASEMENTS.
- PROPOSED IMPROVEMENTS: 60% IMPERVIOUS HOTEL + RESTAURANT SITE DEVELOPMENT, NEW GRADE ELEVATIONS, PROTECTED SILT FENCING AND REVEGETATION.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ANALYSIS OF UPSTREAM OFF-SITE FLOWS (IF APPLICABLE) PLUS THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS, INCLUDING PONDING REQUIREMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON ALL SIDES BY UNDEVELOPED PROPERTY. RUNOFF TO THE SOUTH IS AN IMPROVED ASPHALT MAJOR LOCAL ROADWAY MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT APPROXIMATELY 7X TO THE WEST.

HISTORICAL SITE RUNOFF OUTLAW LOCATIONS WILL REMAIN UNCHANGED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

FREE DISCHARGE OF DEVELOPED FLOW IS NOT ACCEPTABLE SINCE THE SITE LIES WITHIN THE OVERALL MASTERPLAN FOR THE SUPPORT PARK REGIONAL AREA. RUNOFF WILL NOT BE ALLOWED TO CONCENTRATE AT THE PROPERTY BOUNDARY. THE NORTH BASIN SHALL DRAIN TO THE DETENTION POND WITH CONTROLLED OUTLET SIZED FOR HISTORIC. THE SOUTH BASIN SHALL DRAIN TO THE DRAINAGE ROUTING RUNOFF THRU DEPRESSED LANDSCAPE AREAS.

### CALCULATIONS

#### DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO. DISCHARGE RATE:  $Q = CIPAK \cdot A$  AREA, "Peak Discharge Rates for Small Watersheds" VOLUMETRIC DISCHARGE:  $VOLUME = E_{weighted} \cdot AREA$   
 $P100 = 2.35$  inches, Zone 2 Time of Concentration,  $T_C = 10$  Minutes  
 DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

#### EXISTING CONDITIONS

TOTAL AREA = 2 ACRES, WHERE EXCESS PRECIP. "P" = 0.78 in. [0.28]  
 PEAK DISCHARGE,  $Q100 = 4.56$  CFS [1.9], WHERE UNIT PEAK DISCHARGE "U" = 2.28 CFS/AC [0.93]  
 THEREFORE: VOLUME 100 = 5863 CF [2033]

#### DESIGNED CONDITIONS - HOTEL + RESTAURANT

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	C	Peak	E
UNDEVELOPED	---	Ac.	1.56 [0.39]	0.53 [0.13]
LANDSCAPING	---	Ac.	0.27 [0.05]	0.78 [0.28]
GRAVEL & COMPACTED SOIL	---	Ac.	3.14 [1.71]	1.13 [0.52]
ROOF - PAVEMENT	---	Ac.	4.70 [3.14]	2.12 [1.34]
		2.0 Ac.		

THEREFORE:  $E_{weighted} = 1.13$  in. [0.52] &  
 $Q100 = 6.3$  CFS VOLUME 100 = 8204 CF &  
 $Q10 = 3.4$  CFS VOLUME 10 = 3775 CF

RECOMMEND: MINIMAL INCREASE, THEREFORE ENSURE THAT HIGH VELOCITY FLOWS ARE NOT ALLOWED AT THE BOUNDARY, AND NO CONCENTRATION OF FLOWS CROSS BOUNDARY. RETENTION OF THE INCREASE OF RUN-OFF DUE TO THE INTERNAL DEVELOPMENT.

#### DESIGNED CONDITIONS - HOTEL + RESTAURANT

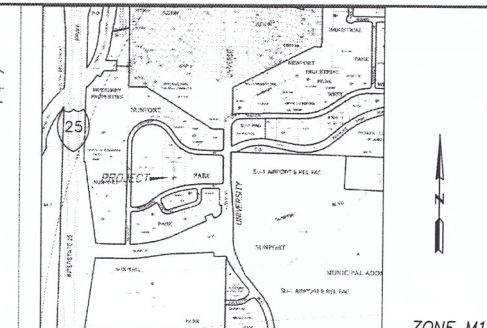
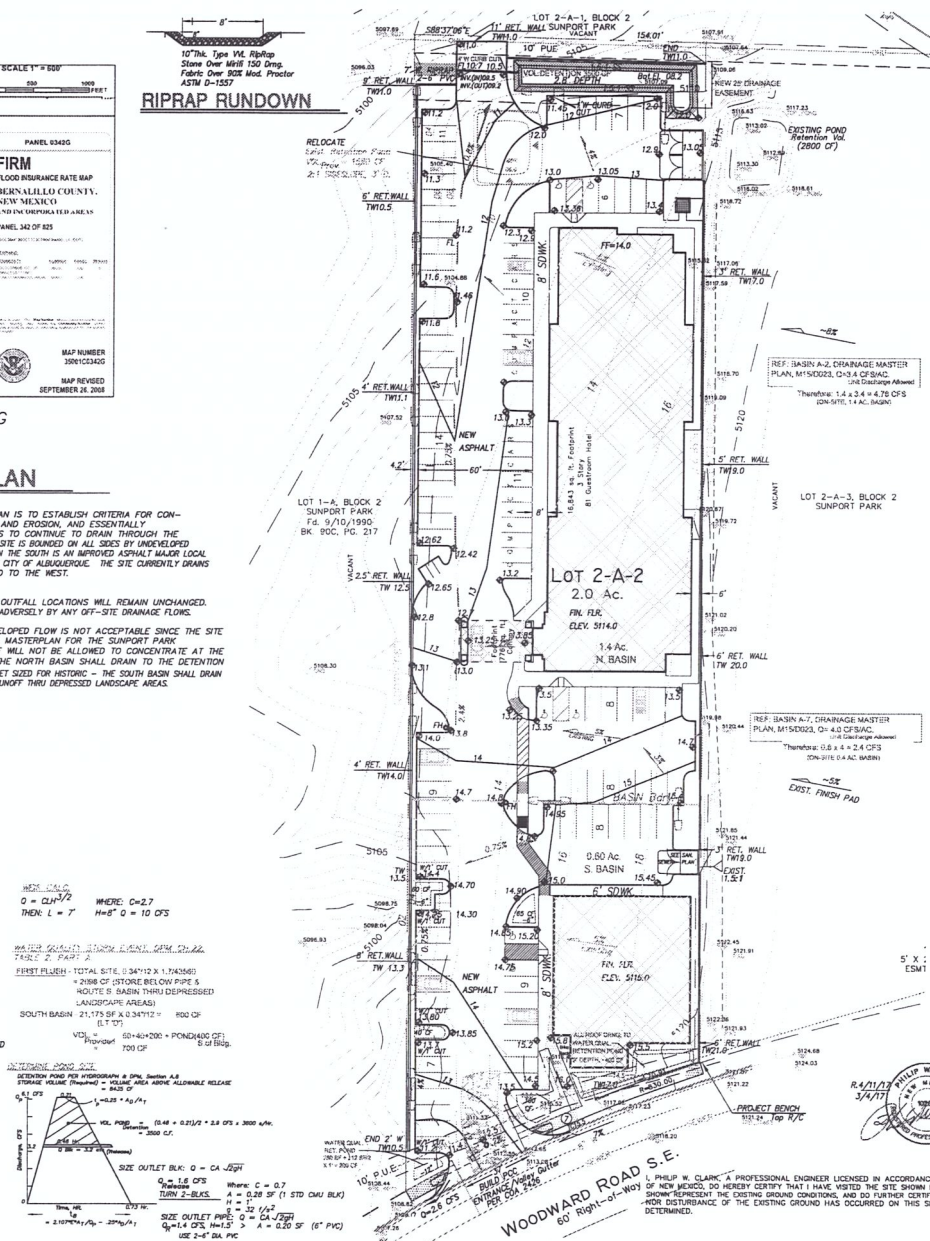
AREA	LAND TREATMENT	C	Peak	E
UNDEVELOPED	---	Ac.	1.56 [0.39]	0.53 [0.13]
LANDSCAPING	---	Ac.	0.27 [0.05]	0.78 [0.28]
GRAVEL & COMPACTED SOIL	---	Ac.	3.14 [1.71]	1.13 [0.52]
ROOF - PAVEMENT	---	Ac.	4.70 [3.14]	2.12 [1.34]
		2.0 Ac.		

THEREFORE:  $E_{weighted} = 1.94$  in. [0.52] &  
 $Q100 = 8.76$  CFS VOLUME 100 = 14084 CF &  
 $Q10 = 4.4$  CFS VOLUME 10 = 3775 CF

THEN: N. BASIN,  $Q100 = 6.1$  CFS, VOL.100 = 9859 CF  
 S. BASIN (FREE DISCHARGE) = 2.6 CFS, VOL.100 = 4225 CF

### RIPRAP RUNDOWN

10" Thick Type VM Riprap  
 Stone Over Min 150 Dmg.  
 Fabric Over 80% Mod. Protector  
 ASTM D-1557



### NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION W/ 9 UPDATES.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY P.L.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012. HAVE SEED MIX USING HAY MULCH FOR FAST SOIL APPLICATION. HATCHSTA BLUE GRASS DOMINANT MIX PER PARAGRAPH 4.1.2.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION:  
 3 HORIZONTAL TO 1 VERTICAL, 3:1.  
 ① BUILD 6" PCC SIDEWALK PER COA STD DWG. 2430.

### LEGEND

- EXIST. SPOT ELEVATION +24.0
- EXIST. CONTOUR 12.0 (ADD 5100 FOR MSL)
- NEW SPOT ELEVATION +12.0
- NEW CONTOUR 12.0
- NEW SWALE
- DRAINAGE DIRECTION EXISTING
- NEW P.C.C., CONCRETE
- FLOWLINE
- WATER BLOCK
- RIPRAP STONE TYP. VM, 4" Avg. Dia.
- BURY UNDER

Scale: 1" = 30'

### PROJECT DATA

UPC# 1-015-055-183-234-30410  
 LEGAL DESCRIPTION  
 LOT 2-A-2, SUPPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 PROJECT BENCHMARK  
 TOP OF REBAR/CM AT THE PROJECT SOUTHWEST CORNER MSL ELEVATION = 5121.24, AS TIED FROM AMFCA SOC 3-1/4" DIAMETER ALUM. DISK SET IN CONCRETE, SDC-11-2, MSL, NAVD 88, 5001.66, LOCATED  
 TOPOGRAPHIC DESIGN SURVEY  
 PROVIDED BY ALPHA PRO SURVEYING, LLC, DATED APRIL 2014, AND SUPPLEMENTED MAR. 2016.

**Clark Consulting Engineers**  
 19 Ruan Road  
 Edgewood, New Mexico 87015  
 Tel: (505) 281-2444 Fax: (505) 284-6042  
 DATE: REVISION: LOT 2-A-2, BLOCK 2, SUPPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 4/9/17 1 OF 17  
 3/2/17 ADD HYDRO PLAN  
 7/16 2/17 6/2/18 DMC  
**Grading & Drainage Plan**  
 DESIGNED BY: PNC DRAWN BY: GCE JOB #: 160481  
 CHECKED BY: PNC DATE: 3/4/18 FILE #: S.D. C 102

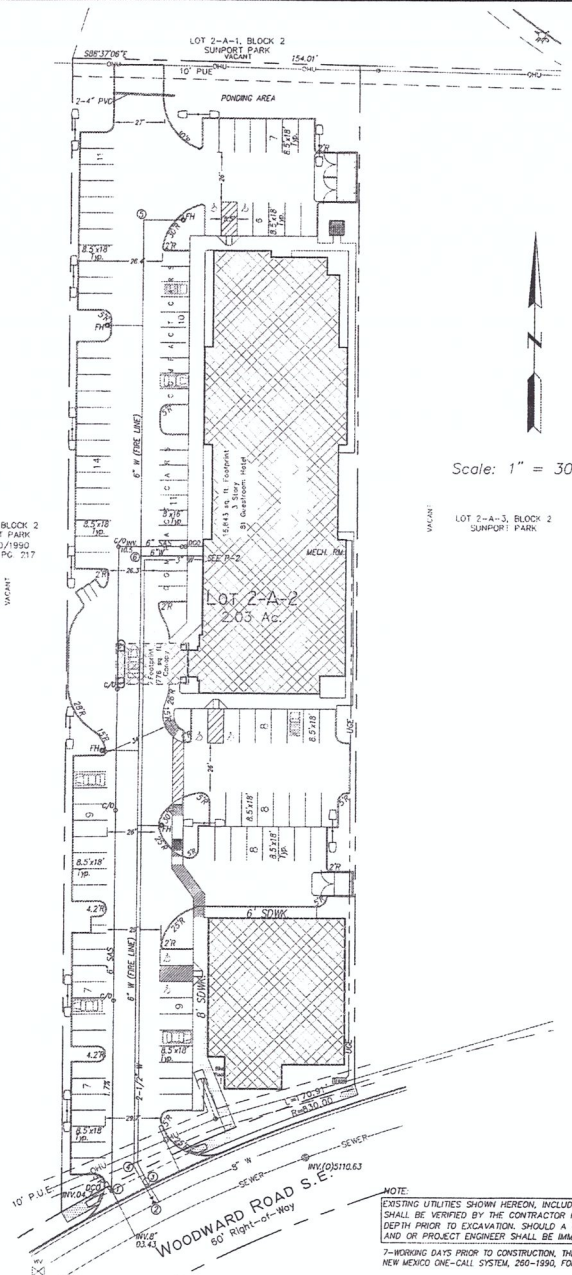
PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO SIGNIFICANT EARTHWORK OR DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



### LEGEND

- EXIST LIGHT POLE
- PP EXIST POWER POLE
- OHU EXIST OVERHEAD UTILITY LINE
- ⊕ ANCHOR
- ⊕ EXISTING SEWER MANHOLE
- ⊕ W WATER METER (EXIST.)
- ⊕ W VALVE (EXIST.)
- H— EXIST FIRE HYDRANT
- W— EXIST WATER LINE
- SAS— EXIST SANITARY SEWER
- TC OR BC TOP OF CURB
- FL FLOWLINE
- EXIST CURB & GUTTER
- NEW P.C.C. HEADER CURB
- NEW P.C.C. CONCRETE
- W— NEW WATER LINE
- SAS— NEW SANITARY SEWER
- WWS NEW SINGLE WATER SERVICE
- WWS NEW GATE VALVE
- WS— WATER SERVICE
- SS— SANITARY SEWER SERVICE
- 2-WAY NEW 2-WAY SEWER CLEAN OUT
- NEW LIGHT POLE

LOT 1-A, BLOCK 2  
SUNPORT PARK  
Pd. 9/10/1990  
BK. 900, PG. 717



Scale: 1" = 30'

### NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1985 EDITION W/ 9 UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W.
3. ALL R.O.W. WATER LINE CONNECTIONS, AND METER INSTALLATION SHALL BE MADE BY ABCWA PERSONNEL. CONTRACTOR SHALL COORDINATE WITH PWD 74450, 855-8200 & CUSTOMER SERVICES, 289-3305.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN SERVICE OF ALL EXISTING UTILITIES.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. GAS LINE AND METER, SIZE AND LOCATION TO BE DETERMINED BY NM GAS COMPANY.
8. THE 6" FIRE LINE IS PRIVATE. ALL FIRE HYDRANTS SHALL BE PAINTED ORANGE. CONSTRUCTION SHALL BE PERMITTED BY MIN-WORK ORDER. CONTRACTOR SHALL CONTACT CONSTR DIVISION, 400 P.M. PLAZA, DEL. SOI. PRESENT SITE UTILITIES PLAN. CONTACT JEANNE WOLFENBARGER AT 824-3224.

### KEYED NOTES

- ① 6" SEWER SERVICE CONNECTION TO EXISTING SEWER SERVICE SUBROUT PER CUA STD. DWG. 2125.
- ② 6" FIRE WATER LINE CONNECTION PER ABCWA PERSONNEL. SEE NOTE 3. MAKE NON-PRESSURIZED CONNECTION. INSTALL 6"x6" Tee PER STD DWG. 2301, W/6" GATE VLV/BOX PER 2302. REPLACE PAVEMENT PER CUA DWG 2465.
- ③ ONE(?) 2" WATER METER/BOX AND SERVICE LINE PER CUA STD. DWG. 2363, 2367.
- ④ INSTALL 22-1/4" RIGID 6" PVC, C200.
- ⑤ 4" BURR FIRE HYDRANT PER CUA DWG. 2340, WITH 6" GATE VLV/BOX, TYPICAL @ 4-LOCATIONS. RESTRAIN ENTIRE LEG.
- ⑥ INSTALL 6" x 6" Tee, C500 PVC PIPE.

### UTILITY CONTACTS:

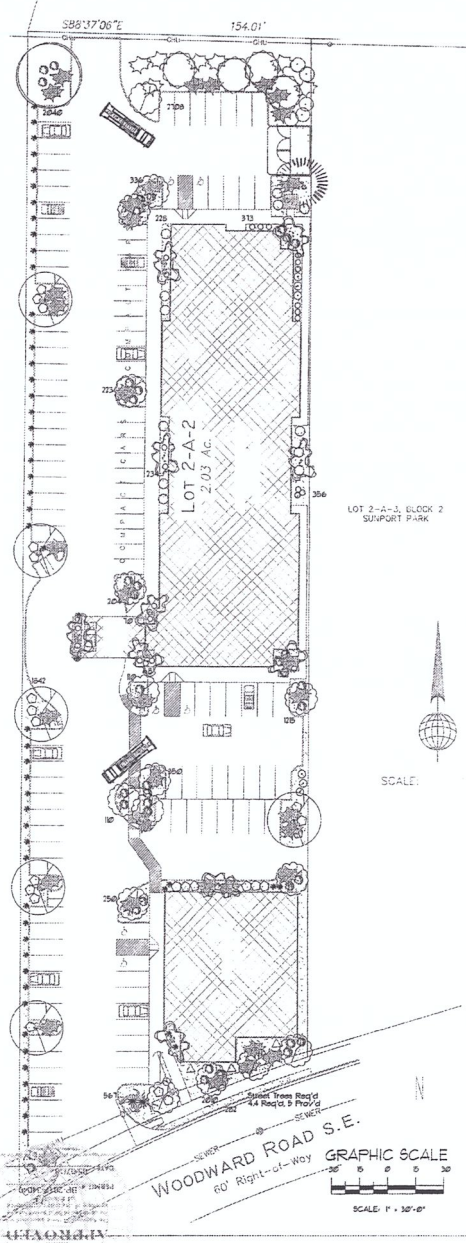
- ABCWA / CITY CUSTOMER SERVICES, 289-3305.
- PUBLIC SERV. CO. OF NM, F. Vgln, 241-4434  
fernando.vigl@psnm.com
- CENTURY LINK, A. CHADDEN, 767-7442  
Ashlie.Chadden@centurylink.com
- New Mexico Gas Company, J. Estvankov, 697-3617  
j.estvankov@nmccog.com
- COMCAST CABLE, Digital Cable  
Mike Mortus, 271-3644  
Mike\_mortus@cable.comcast.com

8/2/16  
KILIAN W. CLARK  
NEW MEXICO  
1998  
PROFESSIONAL ENGINEER

APPROVED  
DATE: 8/2/16  
PROJECT: SUNPORT PARK HOSPITALITY / KUMAR  
SHEET: C 103

NOTE:  
EXISTING UTILITIES SHOWN HEREON, INCLUDING UNCHARTED UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR FOR EXACT LOCATION AND DEPTH PRIOR TO EXCAVATION. SHOULD A CONFLICT EXIST, THE OWNER, LAND OR PROJECT ENGINEER SHALL BE IMMEDIATELY NOTIFIED.  
7-WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE-CALL SYSTEM, 280-1990, FOR LOCATION OF EXISTING UTILITIES

		Edgewood, New Mexico 87015 19 Fern Road Tel: (505) 281-2444 Fax: (505) 281-2444	
		LOT 2-A-2, BLOCK 2, SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO SUNPORT PARK HOSPITALITY / KUMAR	
<b>SITE UTILITY PLAN</b>			
DESIGNED BY: PWC	DRAWN BY: CCL	COR. # 100431	SHEET C 103
CHECKED BY: PWC	DATE: 3/23/16	FILE # 1011	



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON BOTANICAL	H2O USE
<b>Trees</b>			
6	2' cal	Ash <i>Fraxinus sp.</i>	M
1	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	M
11	18 Gal	Oldman Redbud <i>Cercis reniformis</i>	M
<b>Shrubs &amp; Groundcovers</b>			
15	18 Gal	Crape Myrtle <i>Lagerstromia indica</i>	144 1440 M
4	5 Gal	Desert Willow <i>Chilopsis linearis</i>	400 1600 M
38	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	75 750 M
51	5 Gal	Feather Reed Grass <i>Colomatragrostis arundinacea</i>	4 720 M
23	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	29 570 M
3	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5-6 25 75 M
1	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	144 1400 M
30	5 Gal	Buffalo Juniper <i>Juniperus sibirica</i>	144 5840 M
24	1 Gal	Cherry Sage <i>Salvia greggii</i>	2-3 9 276 M
1	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3-3 9 63 M
0	1 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5-6 36 432 L
2	1 Gal	Apache Plume <i>Follicularia parviflora</i>	6x1 45 90 L
3	1 Gal	Ornamental <i>Chrysanthemum moussense</i>	5-6 25 75 L
20	2-3cf	Boulders	150-45
		To be placed at contractor discretion	
	10042	Landscape Gravel / Filter Fabric	3/4" Crushed Grey
	400	Oversize Landscape Gravel / Filter Fabric	2-4" Adobe Rose

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with City of Albuquerque Landscape Ordinance. Approval of this plan does not constitute or imply exemption from other applicable provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the County of Bernalillo Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seeds.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, primed in place. Netafim shall have emitters 12" o.c. with a flow of 2 gph. Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polytapes with flush caps at each end. Trees and shrubs shall be on separate valves.

Run times per each shrub drip valve will be approximately 15 minutes per day. Tree drip valves shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

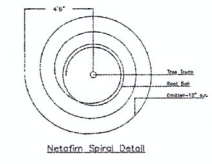
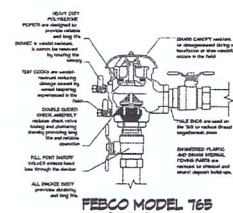
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	86-80
TOTAL BUILDING AREA	77104
LANDSCAPE REQUIREMENT	27 X 15
TOTAL LANDSCAPE REQUIRED (10%)	3046
TOTAL LANDSCAPE PROVIDED	3458
LIVE GROUNDCOVER REQ'D, 30%	4650
LIVE GROUNDCOVER PROVIDED	1900



The Hilltop Architects  
Albuquerque, NM 87110  
Con. Lic. #19456  
P.O. Box 1050  
Tel. (505) 836-7131  
info@thehilltoparchitects.com

LANDSCAPE ARCHITECT

March 25, 2016

Comfort Suites  
Woodward Rd. NE  
Albuquerque, NM

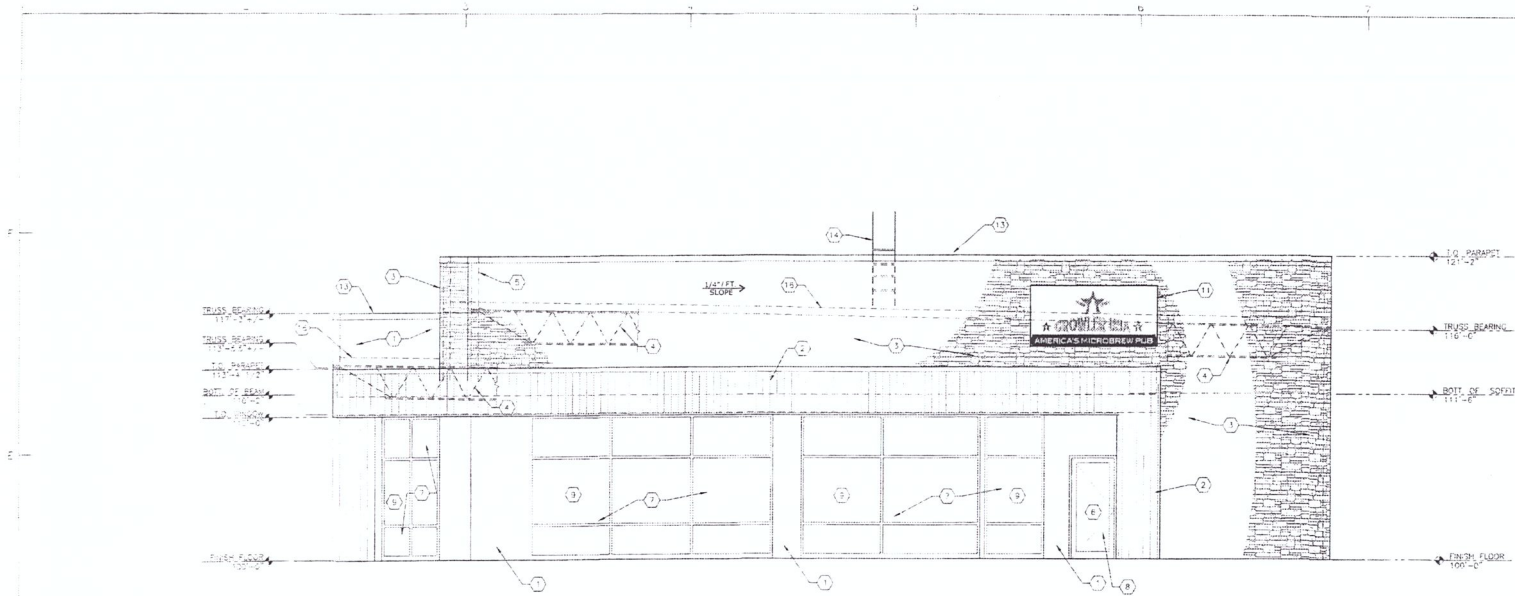
LANDSCAPE PLAN

The City of Albuquerque requires that the City Engineer review and approve all landscape plans for new developments. This plan is a preliminary plan and is subject to the City Engineer's review and approval. The City Engineer's review and approval does not constitute a warranty or guarantee of any kind.

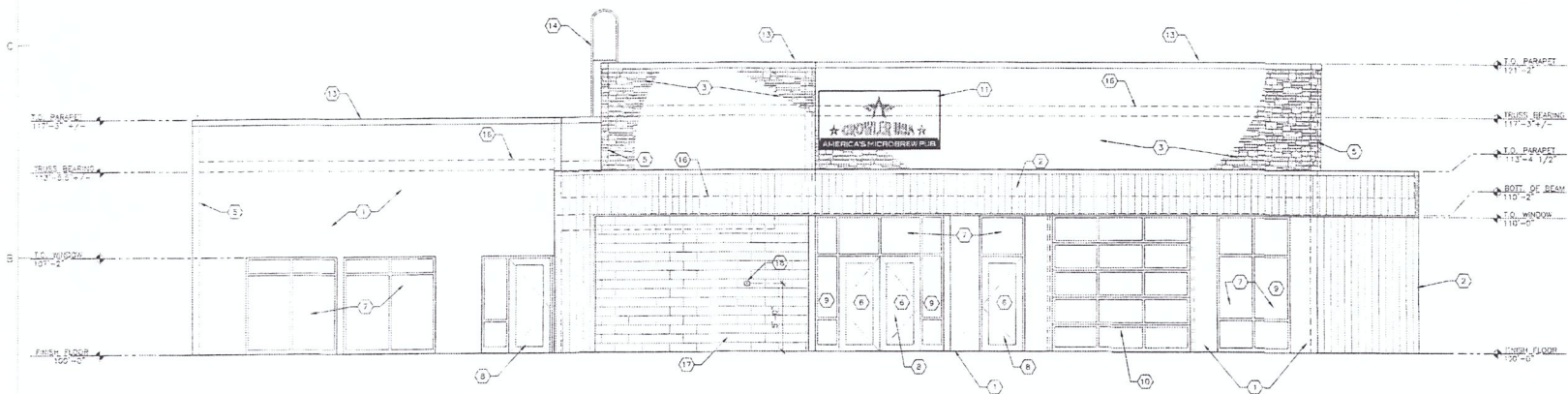
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DESIGN BY  
REVISIONS  
DATE

SHEET #  
LS-101



D1 RIGHT SIDE ELEVATION  
1/4" = 1'-0"



A1 FRONT ELEVATION  
1/4" = 1'-0"

GENERAL NOTES

- A REFER TO A-101 FOR FLOOR PLAN INFORMATION
- B COORDINATE FINAL EXTERIOR MATERIAL SELECTIONS AND COLORS WITH ARCHITECT/OWNER
- C REFER TO A-602 FOR DOOR AND WINDOW DIMENSIONS, HEIGHTS AND ADDITIONAL INFORMATION
- D PROVIDE SPLASH BLOCK AT BASE OF DOWNSPOUTS WHERE NOT PIPED TO POND AND AT LANDSCAPE AREAS
- E REFER TO CODES - CONSTRUCTION, DESIGN, & SERVICES SPECIFICATIONS FOR ADDITIONAL INFORMATION
- F USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24x36" TO SIZE PAPER. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, ARE NOT PROVIDED, OR THERE IS A DISCREPANCY, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH PRICING, ORDERING OR BIDDING.

SHEET KEYNOTES

HOTEL: NOT ALL KEYNOTES MAY BE USED THIS SHEET

- 1 EXTERIOR INSULATED FINISH SYSTEM (EIFS)
- 2 PRE-FINISHED 22 GAUGE METAL PANEL SYSTEM WITH MATCHING CLOSURE AND CORNER TRIM, MANUFACTURER MBOCI (877) 713-6224 www.mboci.com, EXPOSED FASTENER METAL WALL PANEL SYSTEM, INSTALL PER MANUFACTURER COORDINATE W/ OWNER FOR COLOR
- 3 STONE VENEER - MANUFACTURER: ELSDORADO STONE LLC, TEL: 760-738-3232, www.elsdoradostone.com
- 4 PROFILE DURANGO - INCLUDE MATCHING CORNER PIECES
- 5 STEEL JOIST FRAMING BEYOND, REFER STRUCTURAL SHEETS
- 6 DASHED LINE INDICATES FRAMING BEYOND
- 7 FOH DOOR - GRAPHIC, REFER TO GROWLER CODES DOCUMENT
- 8 SCHEDULED DOOR AND FRAME, REFER A-600
- 9 FOH WINDOWS GRAPHIC - FINAL LOCATION BY OWNER, REFER TO GROWLER CODES DOCUMENT
- 10 OVER-HEAD DOOR, REFER A-602
- 11 BUILDING DAMAGE BY OTHERS, VERIFY WITH OWNER
- 12 NOT USED
- 13 SLOPED PRE-FINISHED METAL PARAPET COPING
- 14 WALK-IN COOLER/FREEZER
- 15 DASHED LINE INDICATES TOP OF ROOF ASSEMBLY BEYOND
- 16 PORCELAIN WALL TILE, MANUFACTURER: DALLIE, TIMBER GLEN OR APPROVED EQUAL, 800-633-8453, www.dallie.com, WOOD LOOK, 6"x24" HORIZONTAL STAGGERED PATTERN
- 17 SURFACE MOUNT KNOXBOX, KNOX COMPANY, 803-585-6666, www.knoxbox.com, KNOXBOX 3200 OR APPROVED EQUAL, ALUMINUM COLOR



4-26-2019

relevant design solutions  
ARCHIS design  
4000 HANCOCK BLVD. SUITE 100, LLC  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 949-7272 www.archisdesign.com



GROWLER USA  
RESTAURANT & BREWPUB  
1401 WOODWARD RD SE  
ALBUQUERQUE, NEW MEXICO

Project No.  
072418

Issue Date:  
April 26, 2019

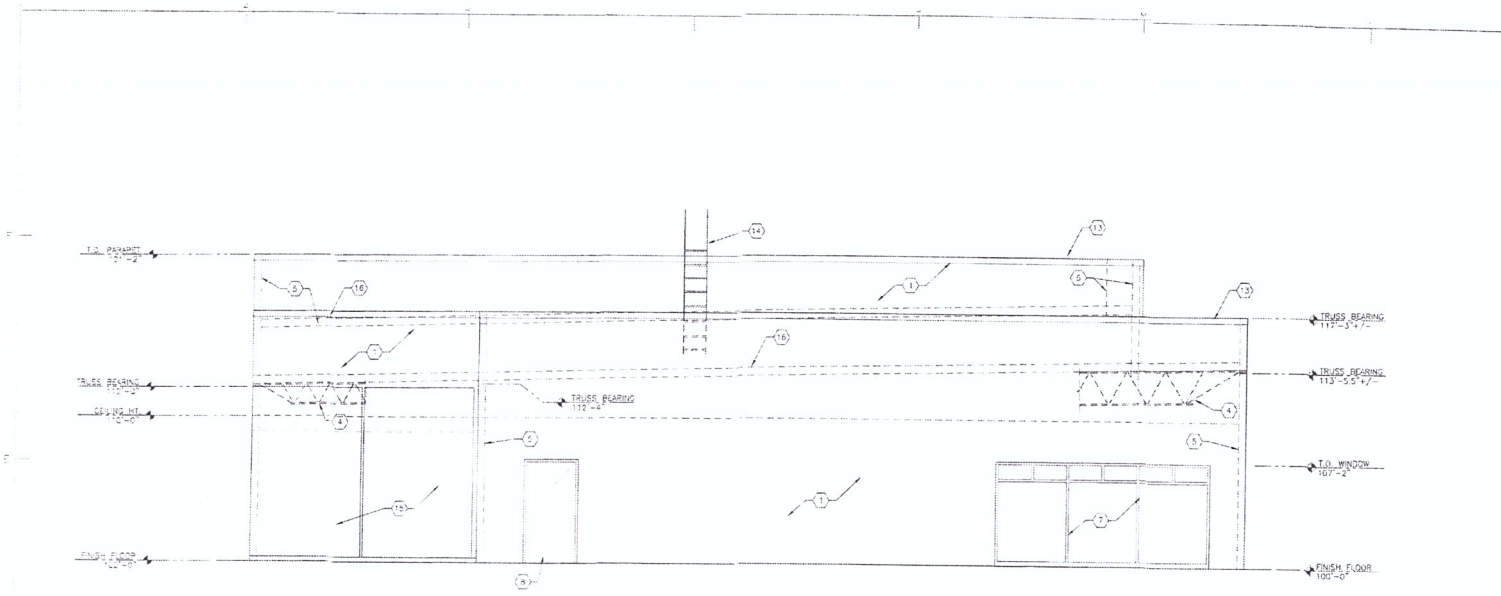
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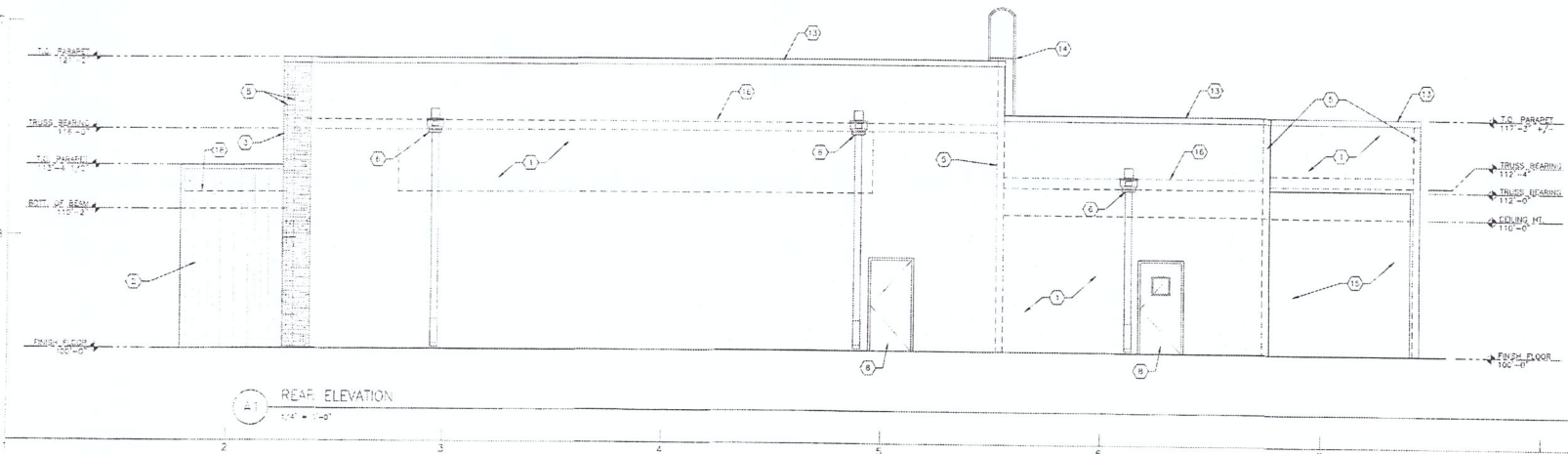
Sheet Title:  
Exterior Elevations

Sheet No.

A-201



D1 LEFT SIDE ELEVATION  
1/4" = 1'-0"



A1 REAR ELEVATION  
1/4" = 1'-0"

GENERAL NOTES

- A. REFER TO A-101 FOR FLOOR PLAN INFORMATION
- B. COORDINATE FINAL EXTERIOR MATERIAL SELECTIONS AND COLORS WITH ARCHITECT/OWNER
- C. REFER TO A-602 FOR DOOR AND WINDOW DIMENSIONS, HEIGHTS AND ADDITIONAL INFORMATION
- D. PROVIDE SPLASH BLOCK AT BASE OF DOWNSPUTS WHERE NOT PIPED TO POND AND AT LANDSCAPE AREAS
- E. REFER TO SIDS - CONSTRUCTION, DESIGN, EQUIPMENT & SERVICES SPECIFICATIONS FOR ADDITIONAL INFORMATION
- F. USE FULL SCALE DRAWINGS FOR CONSTRUCTION
- G. PRINTED ON 24X36 "D" SIZE PAPER - 1/8" SCALE
- H. DIMENSIONS ARE IN QUESTION, ARE NOT PROVIDED OR THERE IS A DISCREPANCY, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH PRICING, ORDERING OR WORK

SHEET KEYNOTES

- NOTE: NOT ALL KEYNOTES MAY BE USED THIS SHEET
- 1. EXTERIOR INSULATED FINISH SYSTEM (EIFS)
  - 2. PRE-FINISHED 22 GAUGE, METAL PANEL SYSTEM WITH MATCHING CLOSURE AND CORNER TRIM
  - 3. STONE VENEER - MANUFACTURER: ELDORADO STONE LLC, TEL: 760-736-3332, WWW.ELDORADOSTONE.COM. PROFILE: ESPRANCO - INCLUDE MATCHING CORNER PIECE
  - 4. STEEL JOIST FRAMING BEYOND, REFER STRUCTURAL SHEETS
  - 5. DASHED LINE INDICATES FRAMING BEYOND
  - 6. PRE-FINISHED LAMINATEX AND DOWNSPOUT SYSTEM. SIZE CALCULATIONS AND FINAL QUALITY BY INSTALLER. COORDINATE WITH OWNER ON COLOR, RE: EJA-A-504
  - 7. SCHEDULED WINDOW, REFER A-602
  - 8. SCHEDULED DOOR AND FRAME, REFER A-602
  - 9. NOT USED
  - 10. OVERHEAD DOOR, REFER A-602
  - 11. BUILDING SIGNAGE. BY OTHERS, VERIFY WITH OWNER
  - 12. NOT USED
  - 13. SLOPED PRE-FINISHED METAL PARAPET CORING
  - 14. ROOF TO ROOF ACCESS LADDER
  - 15. WALK-IN COOLER/FREEZER, GO TO COORDINATE WITH OWNER AND SUPPLIER ON EXTERIOR WALL/SCREEN ASSEMBLY
  - 16. CASHED LINE INDICATES TOP OF ROOF ASSEMBLY BEYOND
  - 17. PORCELAIN WALL TILES, MANUFACTURER: DALTILE, TIMEPIE PLEN OR APPROVED EQUAL, 800-933-8423, WWW.DALTILE.COM. WOOD LOOK, 2"X24" HORIZONTAL, STAGGERED PATTERN.
  - 18. SURFACE MOUNT, RANDOX, KNIX COMPANY, 800-550-5455, WWW.RANDOX.COM, RANDOX 2200 OR APPROVED EQUAL, ALUMINUM COLOR



relevant design solutions  
**ARCHIS design**  
ARCHITECTS & DESIGNERS, SUITE 100, 1111 C  
ALBUQUERQUE, NEW MEXICO 87102  
(505) 986-9771 www.archisdesign.com



**GROWLER USA**  
**RESTAURANT & BREWPUB**  
1401 WOODWARD RD SE  
ALBUQUERQUE, NEW MEXICO

Project No.  
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April 26, 2019

Revised:	
Date:	
By:	

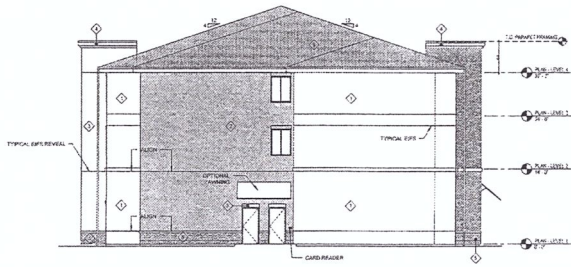
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Exterior Elevations

Sheet No.  
**A-202**

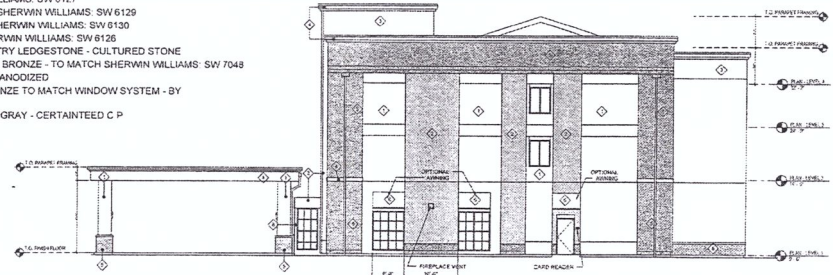
KEYNOTES - EXTERIOR ELEVATIONS - SCHEME B

Keynote Number	Description
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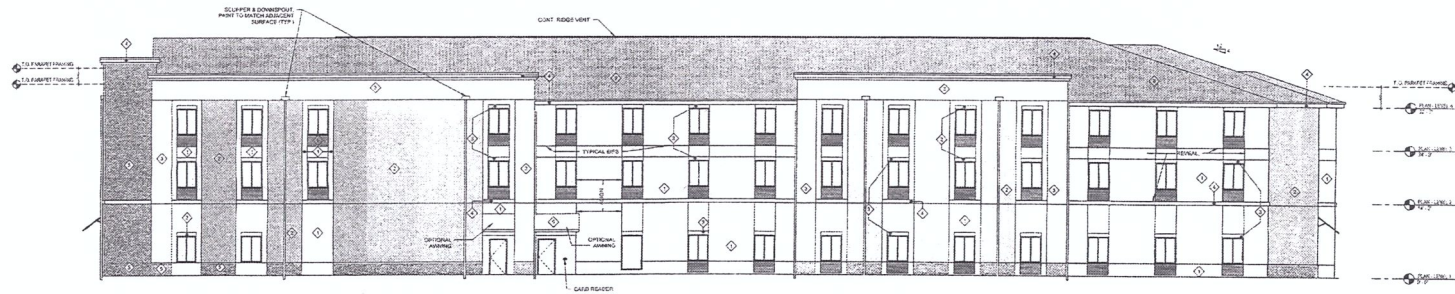
- 1 EIFS: IVOIRE - SHERWIN WILLIAMS: SW 6127
- 2 EIFS: RESTRAINED GOLD - SHERWIN WILLIAMS: SW 6129
- 3 EIFS: MANNERED GOLD - SHERWIN WILLIAMS: SW 6130
- 4 EIFS: NAVAJO WHITE - SHERWIN WILLIAMS: SW 6126
- 5 STONE: ASPEN 2008 COUNTRY LEDGESTONE - CULTURED STONE
- 6 OPTIONAL AWNING: URBAN BRONZE - TO MATCH SHERWIN WILLIAMS: SW 7048
- 7 ENTRY DO: DARK BRONZE ANODIZED
- 8 ALUMINUM: ANODIZED BRONZE TO MATCH WINDOW SYSTEM - BY MANUFACTURER
- 9 ASPHALT SHINGLES: DOVE GRAY - CERTANTEED C P



1 NORTH ELEVATION  
A301 SCALE 3/32" = 1'-0"



2 SOUTH ELEVATION  
A301 SCALE 3/32" = 1'-0"



3 EAST ELEVATION  
A301 SCALE 3/32" = 1'-0"



WEST ELEVATION  
A301 SCALE 3/32" = 1'-0"



**JIM MEDLEY, Architect AIA**  
 3100 Christine N.E. Albuquerque, NM 87111  
 Phone (505) 262-2614 Fax (505) 264-5593

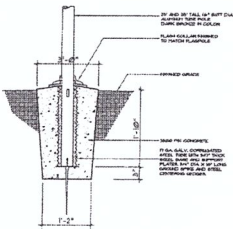
Plot No.	
Date	4/27/16
Drawn By	ASJ
Check By	JAM

Project: 822 Chamberlain Hotel  
**CHOICE HOTELS**  
 C.H.H. LLC, A.L.I. D.D., L.L.C.  
 Support Park Hospitality, I.L.C.  
 Gallup, New Mexico

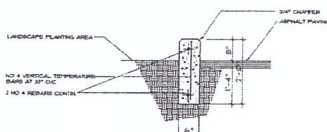
No.	Revision / Issue	Date
1		
2		
3		

Sheet Description  
**PRELIMINARY EXTERIOR ELEVATIONS**

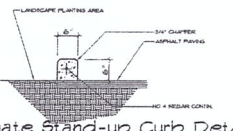
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**A 301**



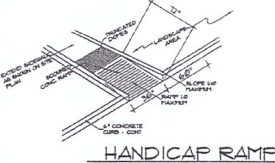
**FLAG POLE DETAIL**  
SCALE 1/4" = 1'-0"



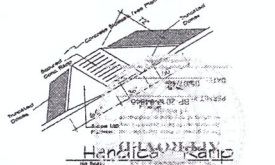
**STAND-UP CURB DETAIL**  
SCALE 1/4" = 1'-0"



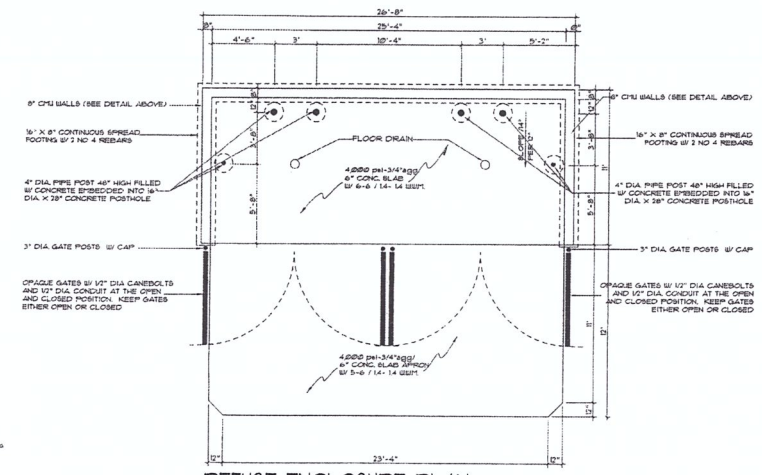
**Alternate Stand-up Curb Detail**  
SCALE 3/4" = 1'-0"



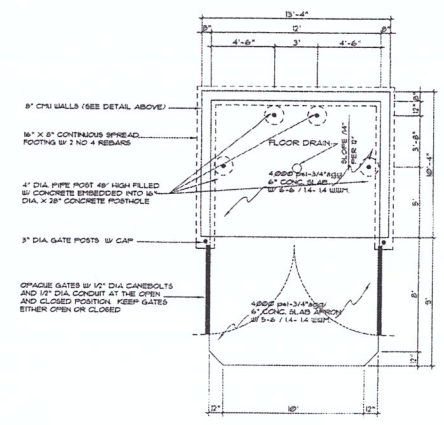
**HANDICAP RAMP**  
NO SCALE



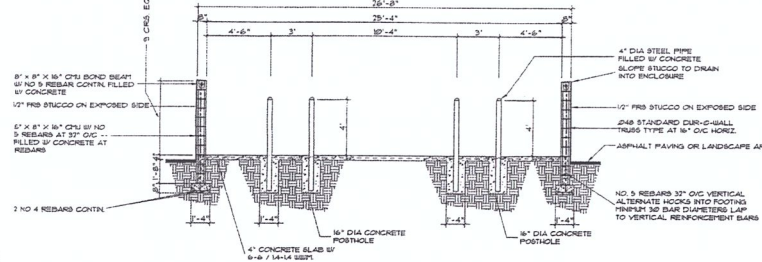
**Handicap**  
NO SCALE



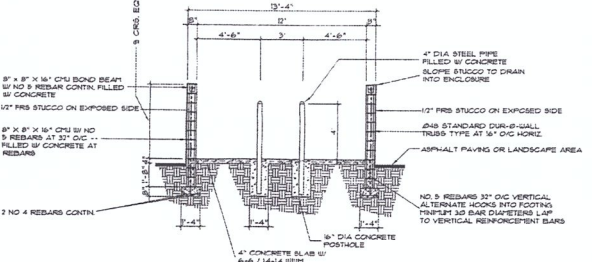
**REFUSE ENCLOSURE PLAN**  
SCALE 1/4" = 1'-0"



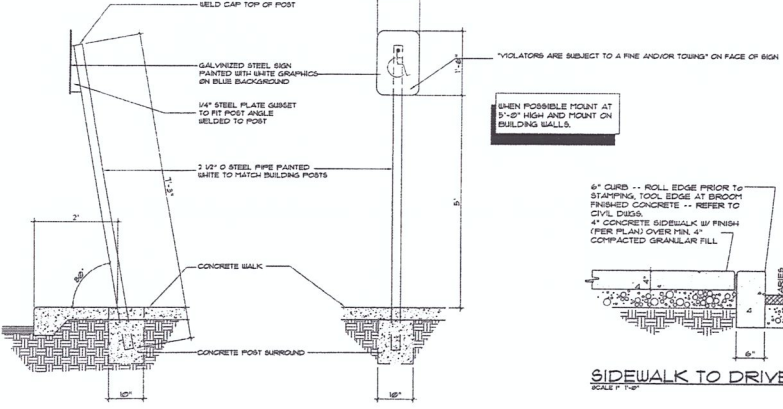
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SCALE 1/4" = 1'-0"



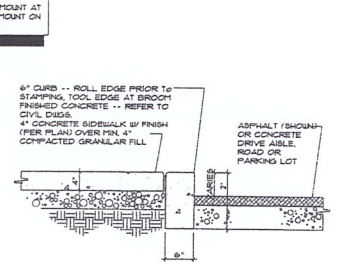
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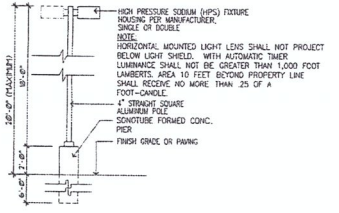
**REFUSE ENCLOSURE SECTION**  
SCALE 1/4" = 1'-0"



**HANDICAP PARKING SIGN**  
SCALE 3/4" = 1'-0"



**SIDEWALK TO DRIVE AISLE**  
SCALE 1/4" = 1'-0"



**POLE LIGHT FIXTURE DETAIL**  
SCALE 1/4" = 1'-0"



**JIM MEDLEY, Architect AIA**  
No. 8688  
3100 Christine N. E. Albuquerque, NM 87111  
email: jmedley@jim-medley-architect.com  
Phone: (505) 291-1014 Fax: (505) 291-5593

Form No.	DATE	BY	CHECKED BY
	4/27/06	JM	JM

**CHOICE HOTELS**  
S2 Guestroom Hotel  
110 T. B. R. A. Y. J. O. N. A. L.  
By: Support Park Hospitality, LLC  
Callup, New Mexico

No.	Revision / Issue	DATE
1		
2		
3		

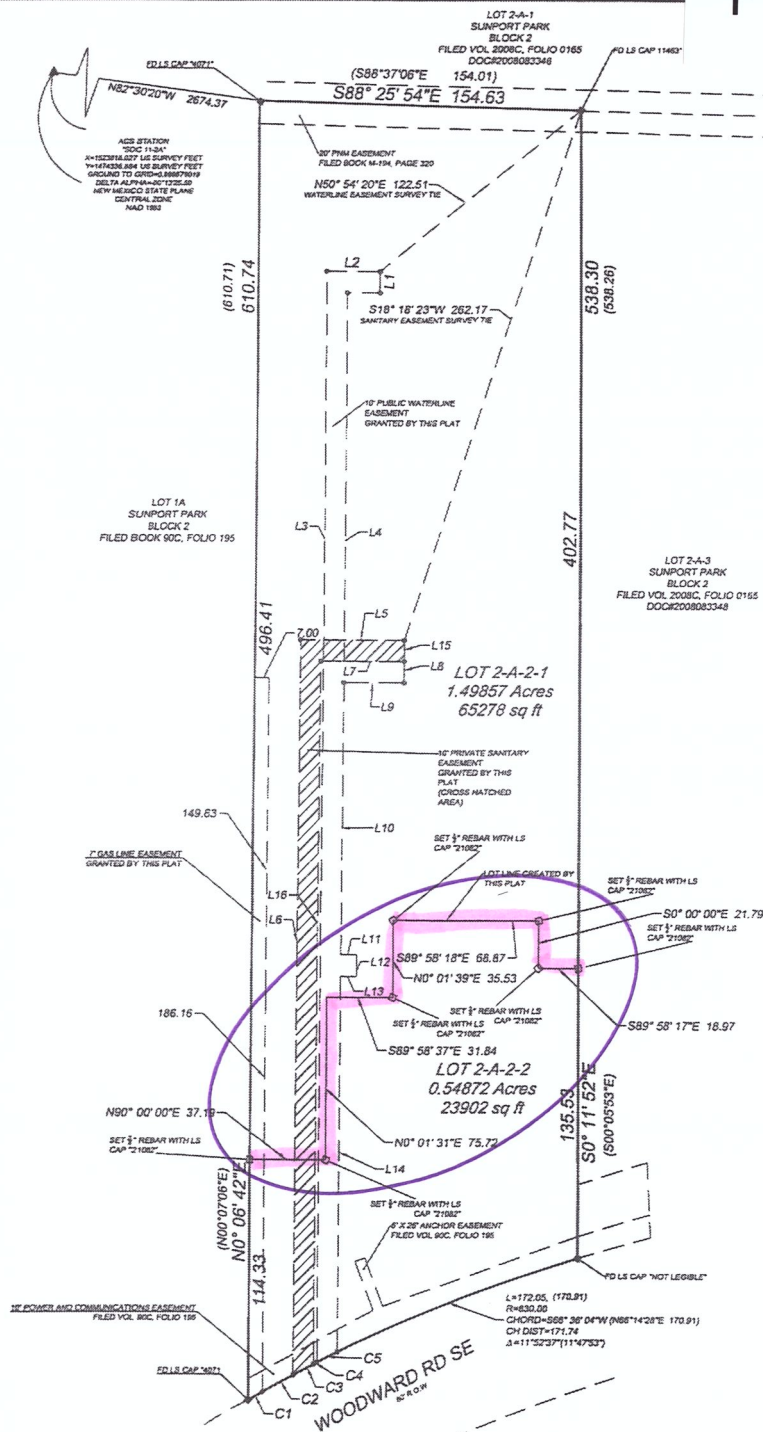
Sheet Description:  
**SITE ELEMENT DETAILS**

Sheet:  
**C201**

# PROPOSED PLAT

## PLAT OF LOT 2-A-2-1 AND 2-A-2-2 SUNPORT PARK BLOCK 2

WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
MARCH 2020



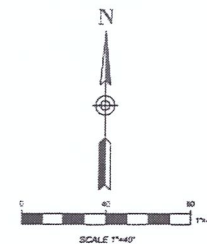
NOTE: A BLANKET CROSS LOT DRAINAGE, PARKING AND ACCESS EASEMENT ACROSS LOT 2-A-2-1 AND 2-A-2-2, GRANTED BY THIS PLAT FOR THE BENEFICIAL USE OF LOTS 2-A-2-1 AND 2-A-2-2 TO BE MAINTAINED BY LOTS 2-A-2-1 AND 2-A-2-2

Parcel Line Table (Easement)

Line #	Length	Direction
L1	10.00	S0° 00' 00"E
L2	25.81	N90° 00' 00"E
L3	511.35	N0° 08' 24"E
L4	171.64	N0° 08' 24"E
L5	50.34	N90° 00' 00"W
L6	345.80	S0° 12' 59"W
L7	28.99	N90° 00' 00"E
L8	10.00	N0° 00' 00"E
L9	29.01	N90° 00' 00"E
L10	127.87	N0° 08' 24"E
L11	7.65	N89° 47' 01"W
L12	10.00	N0° 12' 59"E
L13	7.65	S89° 47' 01"E
L14	176.68	N0° 08' 24"E
L15	10.00	N0° 00' 00"E
L16	330.64	S0° 12' 59"W

Curve Table (Easement)

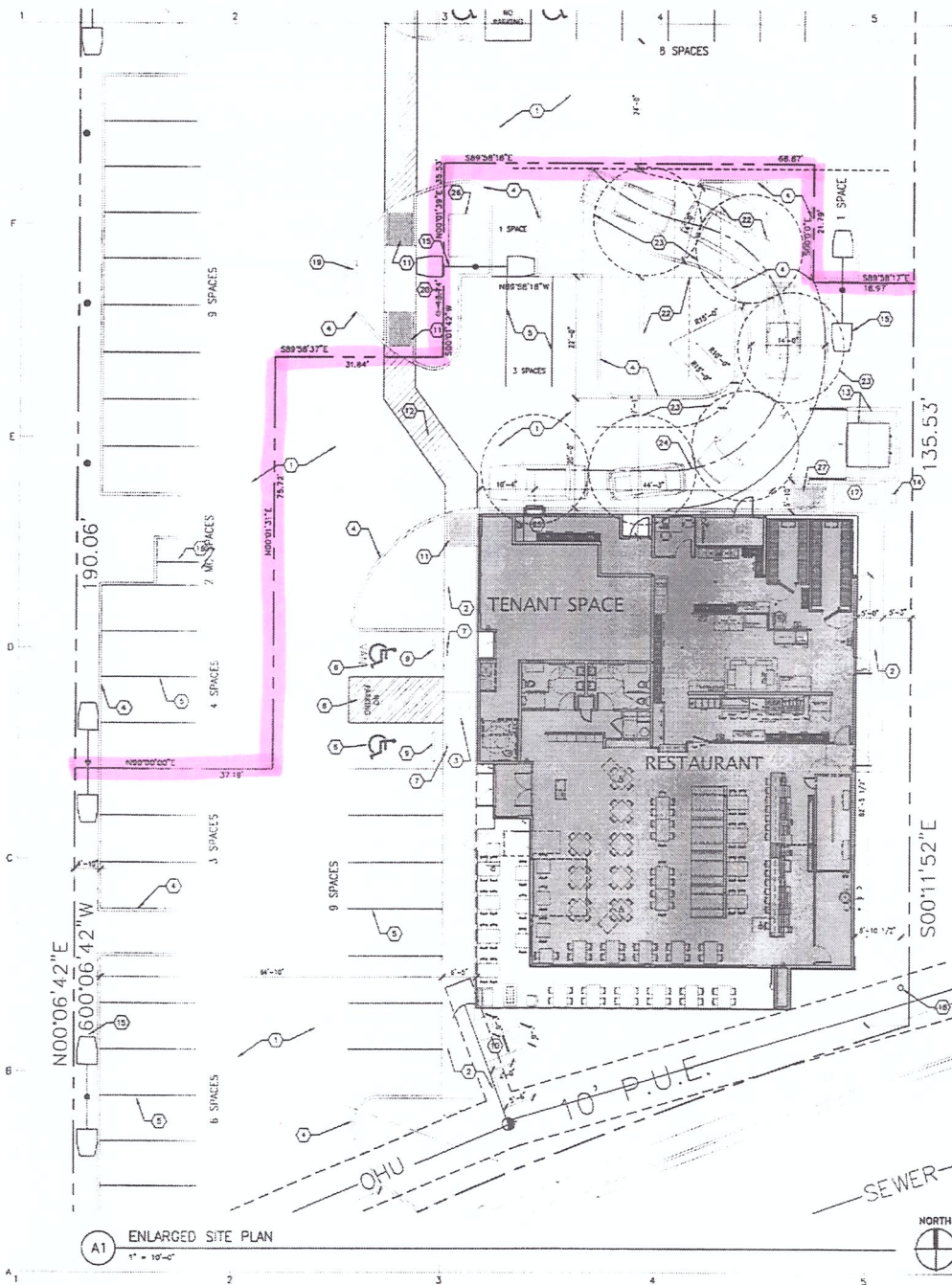
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	8.02	830.00	0.55	S80° 56' 21"W	8.02
C2	16.75	830.00	1.16	S81° 47' 39"W	16.75
C3	11.27	830.00	0.78	S82° 45' 40"W	11.27
C4	2.10	829.99	0.14	S83° 13' 11"W	2.10
C5	11.17	830.00	0.77	S83° 40' 39"W	11.17



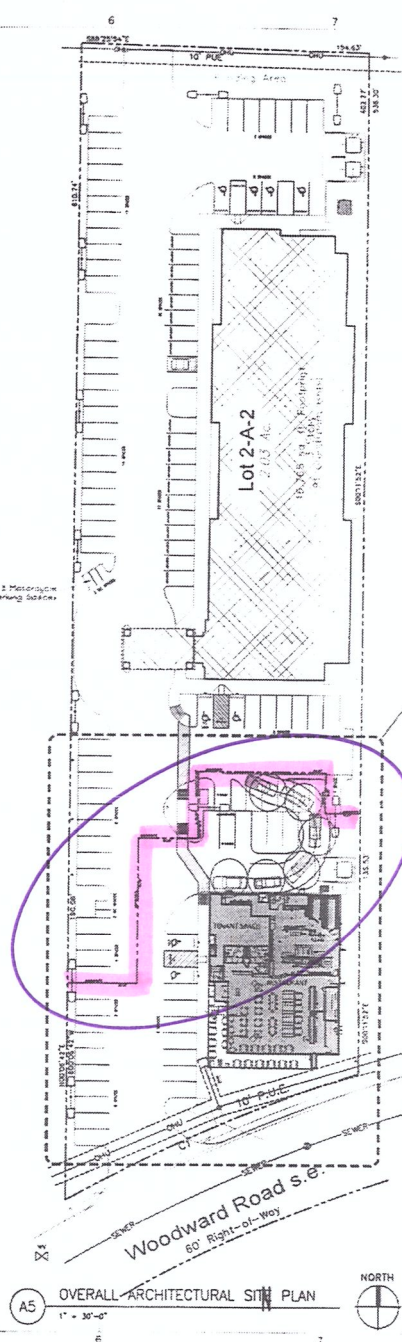
CONSTRUCTION SURVEY TECHNOLOGIES, INC  
6501 AMERICAS PARKWAY NE, 4TH FLOOR  
ALBUQUERQUE, NM 87110  
505-917-8921



# SITE PLAN



**A1 ENLARGED SITE PLAN**  
1" = 10'-0"



**A5 OVERALL ARCHITECTURAL SITE PLAN**  
1" = 30'-0"

## GENERAL NOTES

- A. FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IN THE EVENT THAT UNFORESEEN CONDITIONS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO BEGINNING OR PROCEEDING WITH THE WORK.
- B. ALL CONSTRUCTION SHALL CONFORM TO INDUSTRY AND MANUFACTURER'S STANDARDS AS A MINIMUM REQUIREMENT.
- C. FIELD VERIFY ALL DIMENSIONS PRIOR TO FRAMING AND LAYOUT.
- D. REFER TO CIVIL STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SHEETS FOR WORK PERTAINING TO THOSE TRADES.
- E. ALL OWNER PROVIDED ITEMS SHALL BE CONTRACTOR INSTALLED. COORDINATE WITH OWNER THE REMOVAL AND RE-INSTALLATION / RELOCATION OF PLAYGROUND EQUIPMENT. PROVIDE POSITIVE DRAWING AROUND THE ENTIRE BUILDING. REFER TO CIVIL SHEETS.
- F. COORDINATE THE MODIFICATIONS FOR THE ELECTRICAL, SEWERS, GAS, TRANSFORMERS, PEDISTALS WITH ELECTRICAL SHEETS AND POWER COMPANY.
- G. PROVIDE LINE SPOTTING PRIOR TO ANY EXCAVATION.
- H. RESEED AREAS OF REGRASSING WITH NATIVE GRASSES OR PROVIDE HYBRID-MULCH.
- I. REMOVE EXISTING TREES/SHRUBS ONLY AS REQUIRED FOR NEW WORK.
- J. USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24x36 1/2" SIZE PAPER. DO NOT SCALE DIMENSIONS. IF DIMENSIONS ARE IN QUESTION, ARE NOT PROVIDED, OR THERE IS A DISCREPANCY, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH PRICING, ORDERING OR WORK.

## KEYNOTES

- NOTE: NOT ALL KEYNOTES MAY BE USED THIS SHEET
1. EXISTING ASPHALT PAVING TO REMAIN PATCH AT NEW WORK AND RESTRAPE AS REQUIRED; REFER TO CIVIL SHEETS
  2. EXISTING CONCRETE SIDEWALK TO REMAIN. INSTALL AN MODIFICATIONS PER ADA STANDARDS DETAIL 2-30
  3. EXISTING CONCRETE ADA RAMP TO REMAIN
  4. INSTALL 6" CONCRETE CURB AND APRON, TYP
  5. INSTALL 4" HIGH POINTED STRIPES (WHITE) FOR ALL PARKING SPACES & PEDESTRIAN CROSSING. TWO COATS MINIMUM
  6. EXISTING ADA PARKING TO REMAIN
  7. EXISTING ADA SIGN TO REMAIN DESIGN PER CITY CODE
  8. ADA ACCESSIBLE ADALES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES REAR TIRE WOULD BE PLACED
  9. EXISTING CONCRETE PARKING BUMPER STOP
  10. EXISTING BIKE RACK TO REMAIN. SEE 8/A/A-S01
  11. EXISTING SIDEWALK RAMP TO REMAIN
  12. EXISTING STRIPPED PEDESTRIAN CROSSING TO REMAIN
  13. EXISTING REFUSE ENCLOSURE TO REMAIN
  14. NEW GAS METER. SEE SUT UTILITY PLAN AND PLUMBING SHEETS
  15. EXISTING PARKING LIGHT POLE TO REMAIN
  16. EXISTING MOTORCYCLE PARKING TO REMAIN
  17. NEW GRADE HYDROPHOBIC RES PAVING SHEETS
  18. EXISTING TRANSFORMER TO BE LOCATED ON POWER POLE. COORDINATE WITH PNM FOR FINAL PLACEMENT, SETTING AND INSTALLATION OF TRANSFORMER AS WELL AS POLE LOCATION
  19. EXISTING FIRE HYDRANT TO REMAIN
  20. EXISTING POWER METER/READER VALVE (PMV) TO REMAIN
  21. DASHED LINE INDICATES CURB TO BE REMOVED
  22. DASHED LINE INDICATES STRIPING TO BE READO
  23. DASHED CIRCLE LINE INDICATES 20' CAR STACKING SPACE
  24. DASHED LINE INDICATES CENTERLINE OF NEW 14' DRIVE-THRU DRIVE LANE
  25. NEW DRIVE-THRU WINDOW
  26. EXISTING ELECTRICAL TRANSFORMER TO REMAIN
  27. NEW ADA RAMP

## REVISED PROJECT DATA

LEGAL DESCRIPTION:  
LOT 2-A-2, BLOCK 2, SHARPOUT PARK SUBDIVISION  
ALBUQUERQUE, BERNALDO COUNTY, NEW MEXICO  
EXISTING ZONING: DU-17 FOR IF USES

AREAS:  
TRACT AREA: 2.03 ACRES/88,426 S.F.  
BUILDING FOOTPRINT: 17,819 S.F.  
FUTURE RESTAURANT: 4,023 S.F.  
TOTAL BUILDING AREA: 50,329 S.F.  
T.A.R.: 0.2

PERCENTAGE OF SITE SURFACE COVERED WITH BUILDINGS - 20.8 %  
PROPOSED USE: HOTEL/FUTURE RESTAURANT

PARKING DATA:  
81 GUESTROOMS PARKING REQUIRED (1 PER UNIT)  
8,023 SQ. FT. RESTAURANT / 200 (This would allow 124 Seats)  
PARKING PROVIDED (1 PER 200 SQ. FT. OF RESTAURANT)  
22 STALLS  
9 STALLS  
SHARED PARKING AGREEMENT FOR ADDITIONAL MIXED-USE SPACES

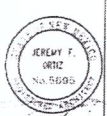
EXIST. PARKING PROVIDED  
COMPACT PARKING ALLOWED 20% OF TOTAL SPACES  
COMPACT PARKING PROVIDED

ADA PARKING REQUIRED  
ADA PARKING PROVIDED

BICYCLE PARKING REQUIRED (RESTAURANT ONLY) 1 STALL / 20 PARKING SPACES  
BICYCLE PARKING PROVIDED

MOTORCYCLE PARKING PROVIDED  
MOTORCYCLE PARKING PROVIDED

81 STALLS  
21 STALLS  
22 STALLS  
9 STALLS  
113 STALLS  
22 STALLS  
22 STALLS  
2 STALLS  
1 STALL  
2 STALLS  
2 STALLS  
5 STALLS  
5 STALLS



ARCHIS design  
ARCHITECTURAL SITE PLAN DESIGN & ILLUSTRATION  
P.O. BOX 781777  
ALBUQUERQUE, NEW MEXICO 87117  
www.archisdesign.com



GROWLER USA  
RESTAURANT & BREWPUB  
1401 WOODWARD RD SE  
ALBUQUERQUE, NEW MEXICO

Project No.  
072418  
Issue Date:  
April 26, 2019

REVISIONS	DATE	BY	DESCRIPTION
1	07-08-20	ACCD	DRWG. THRU

Sheet Title:  
Architectural Site Plan  
OPTION 3

Sheet No.  
AS101