

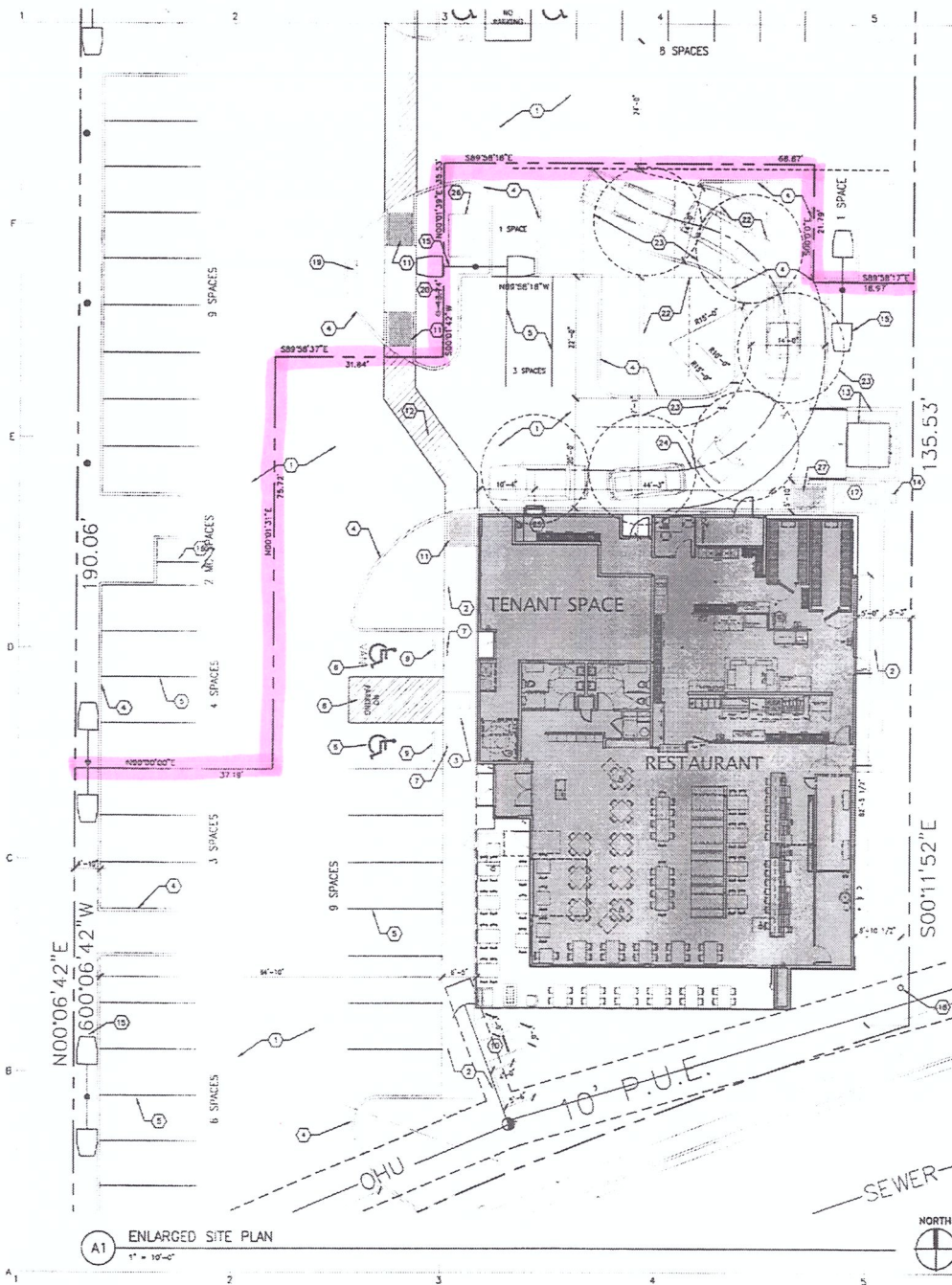
ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

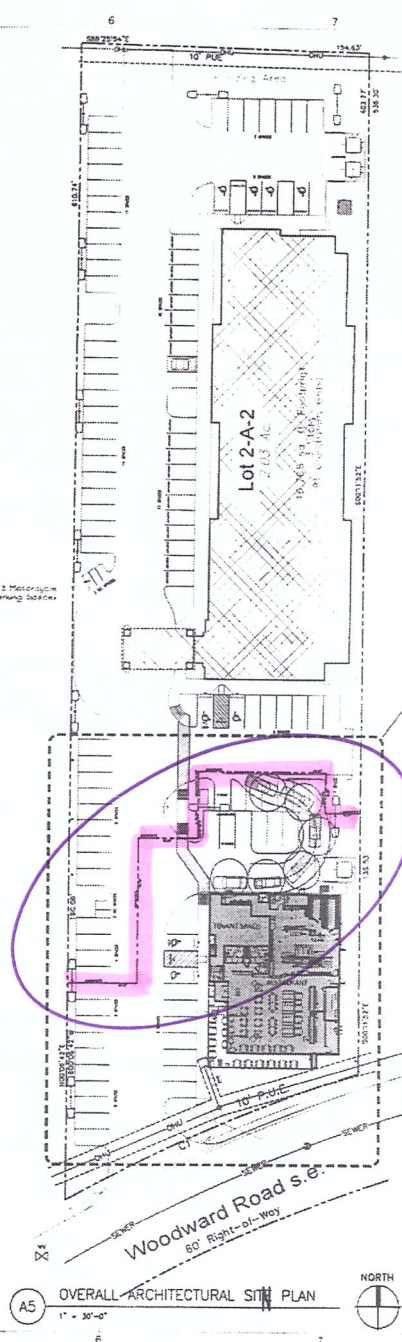
APPROVED BY

DATE

SITE PLAN



A1 ENLARGED SITE PLAN
1" = 10'-0"



A5 OVERALL ARCHITECTURAL SITE PLAN
1" = 30'-0"

GENERAL NOTES

- A. FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IN THE EVENT THAT UNFORESEEN CONDITIONS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO BEGINNING OR PROCEEDING WITH THE WORK.
- B. ALL CONSTRUCTION SHALL CONFORM TO INDUSTRY AND MANUFACTURER'S STANDARDS AS A MINIMUM REQUIREMENT.
- C. FIELD VERIFY ALL DIMENSIONS PRIOR TO FRAMING AND LAYOUT.
- D. REFER TO CIVIL STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SHEETS FOR WORK PERTAINING TO THOSE TRADES.
- E. ALL OWNER PROVIDED ITEMS SHALL BE CONTRACTOR INSTALLED. COORDINATE WITH OWNER THE REMOVAL AND RE-INSTALLATION / RELOCATION OF PLAYGROUND EQUIPMENT. PROVIDE POSITIVE DRAWING AROUND THE ENTIRE BUILDING. REFER TO CIVIL SHEETS.
- F. COORDINATE THE MODIFICATIONS FOR THE ELECTRICAL, SEWERS, GAS, TRANSFORMERS, PEDISTALS WITH ELECTRICAL SHEETS AND POWER COMPANY.
- G. PROVIDE LINE SPOTTING PRIOR TO ANY EXCAVATION.
- H. RESEED AREAS OF REGRASSING WITH NATIVE GRASSES OR PROVIDE HYBRID-MULCH.
- I. REMOVE EXISTING TREES/SHRUBS ONLY AS REQUIRED FOR NEW WORK.
- J. USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24x36 1/2" SIZE PAPER. DO NOT SCALE DIMENSIONS. IF DIMENSIONS ARE IN QUESTION, ARE NOT PROVIDED, OR THERE IS A DISCREPANCY, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH PRICING, ORDERING OR WORK.

KEYNOTES

- NOTE: NOT ALL KEYNOTES MAY BE USED THIS SHEET
1. EXISTING ASPHALT PAVING TO REMAIN PATCH AT NEW WORK AND RESTRAPE AS REQUIRED; REFER TO CIVIL SHEETS
 2. EXISTING CONCRETE SIDEWALK TO REMAIN. INSTALL AN MODIFICATIONS PER ADA STANDARD DETAIL 2-30
 3. EXISTING CONCRETE ADA RAMP TO REMAIN
 4. INSTALL 6" CONCRETE CURB AND APRON, TYP
 5. INSTALL 4" HIGH POINTED STRIPES (WHITE) FOR ALL PARKING SPACES & PEDESTRIAN CROSSING. TWO COATS MINIMUM
 6. EXISTING ADA PARKING TO REMAIN
 7. EXISTING ADA SIGN TO REMAIN DESIGN PER CITY CODE
 8. ADA ACCESSIBLE ADALES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES REAR TIRE WOULD BE PLACED
 9. EXISTING CONCRETE PARKING BUMPER STOP
 10. EXISTING BIKE RACK TO REMAIN. SEE 8/A/A-S01
 11. EXISTING SIDEWALK RAMP TO REMAIN
 12. EXISTING STRIPPED PEDESTRIAN CROSSING TO REMAIN
 13. EXISTING REFUSE ENCLOSURE TO REMAIN
 14. NEW GAS METER. SEE SUT UTILITY PLAN AND PLUMBING SHEETS
 15. EXISTING PARKING LIGHT POLE TO REMAIN
 16. EXISTING MOTORCYCLE PARKING TO REMAIN
 17. NEW GRADE HYDROPHOBIC RES PAVING SHEETS
 18. EXISTING TRANSFORMER TO BE LOCATED ON POWER POLE. COORDINATE WITH PNM FOR FINAL PLACEMENT, SIZING AND INSTALLATION OF TRANSFORMER AS WELL AS POLE LOCATION
 19. EXISTING FIRE HYDRANT TO REMAIN
 20. EXISTING POWER METER/READER VALVE (PMV) TO REMAIN
 21. DASHED LINE INDICATES CURB TO BE REMOVED
 22. DASHED LINE INDICATES STRIPING TO BE READO
 23. DASHED CIRCLE LINE INDICATES 20' CAR STACKING SPACE
 24. DASHED LINE INDICATES CENTERLINE OF NEW 14' DRIVE-THRU DRIVE LANE
 25. NEW DRIVE-THRU WINDOW
 26. EXISTING ELECTRICAL TRANSFORMER TO REMAIN
 27. NEW ADA RAMP

REVISED PROJECT DATA

LEGAL DESCRIPTION:
LOT 2-A-2, BLOCK 2, SHARPOUR PARK SUBDIVISION
ALBUQUERQUE, BERNALDO COUNTY, NEW MEXICO
EXISTING ZONING: DU-17 FOR IF USES

AREAS:
TRACT AREA: 2.03 ACRES/88,426 S.F.
BUILDING FOOTPRINT: 17,819 S.F.
FUTURE RESTAURANT: 4,023 S.F.
TOTAL BUILDING AREA: 50,329 S.F.
T.A.R.: 0.2

PERCENTAGE OF SITE SURFACE COVERED WITH BUILDINGS - 20.8 %
PROPOSED USE: HOTEL/FUTURE RESTAURANT

PARKING DATA:
81 GUESTROOMS PARKING REQUIRED (1 PER UNIT)
8,023 SQ. FT. RESTAURANT / 200 (This would allow 124 Seats)
PARKING PROVIDED (1 PER 200 SQ. FT. OF RESTAURANT)
22 TRALLS
9 STALLS
SHARED PARKING AGREEMENT FOR ADDITIONAL MIXED-USE SPACES

EXIST. PARKING PROVIDED
COMPACT PARKING ALLOWED 20% OF TOTAL SPACES
COMPACT PARKING PROVIDED

ADA PARKING REQUIRED
ADA PARKING PROVIDED

BICYCLE PARKING REQUIRED (RESTAURANT ONLY) 1 STALL / 20 PARKING SPACES
BICYCLE PARKING PROVIDED

MOTORCYCLE PARKING PROVIDED
MOTORCYCLE PARKING PROVIDED

81 TRALLS
21 TRALLS
9 STALLS
113 STALLS
22 STALLS
2 STALLS
2 STALLS
2 STALLS
2 STALLS
2 STALLS
2 STALLS
2 STALLS
5 STALLS
5 STALLS



ARCHIS design
ARCHITECTURAL SITE PLAN DESIGN & ILLUSTRATION
1401 WOODWARD RD SE
ALBUQUERQUE, NEW MEXICO 87106
P: 505.988.7317 www.archisdesign.com



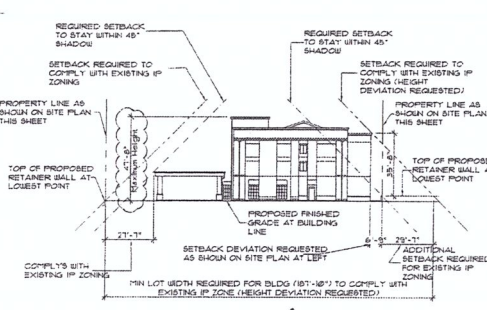
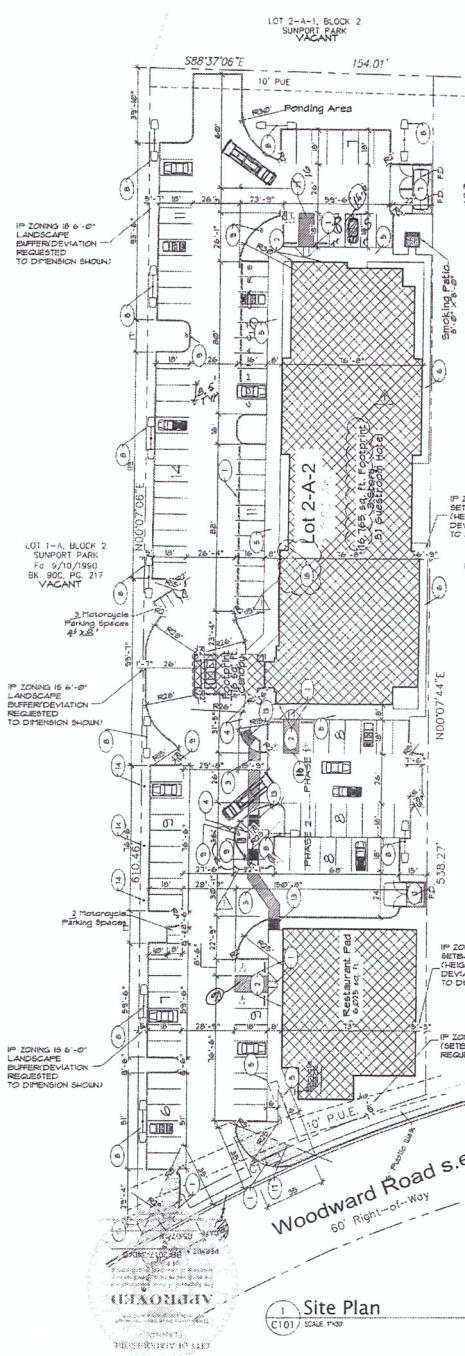
GROWLER USA
RESTAURANT & BREWPUB
1401 WOODWARD RD SE
ALBUQUERQUE, NEW MEXICO

Project No.
072418
Issue Date:
April 26, 2019

REVISIONS	DATE	BY	DESCRIPTION
1	07-08-20	ACCD	DRIVE-THRU

Sheet Title:
Architectural Site Plan
OPTION 3

Sheet No.
AS101



2 South Elevation
C101 SCALE: 1/2" = 1'-0"

PERMISSIBLE AREA PER FLOOR PER TBL 543

AREA MODIFICATIONS PER SEC 546:

$$A_1 \cdot A_2 \cdot \frac{A_3}{A_4} \cdot \frac{A_5}{A_6} \cdot \frac{A_7}{A_8} \cdot \frac{A_9}{A_{10}}$$

PERMITTED: 16,000 sq. ft. x 0.000 = 14,400 + 1,600 = 16,000 sq. ft.

50,000 sq. ft. x 0.000 = 44,000 + 6,000 = 50,000 sq. ft.

SPRINKLER SYSTEM:

BUILDING SHALL BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED TO MEET ALL APPLICABLE STATE AND LOCAL BUILDING CODES. PLANS AND SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED TO FIRE MARSHAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE ATTORNEYS OF THE BUILDINGS ARE TO BE FULLY SPRINKLERED WITH A DRY PIPE SYSTEM. THIS SYSTEM SHALL BE A FULLY AUTOMATIC MONITORED SYSTEM AND THE SYSTEM SHALL EXCEED THE REQUIREMENTS FOR ATTIC DRAFT STOPPING PARTITIONS, BUT NOT AREA SEPARATION PARTITIONS. IN ADDITION TO THE BUILDINGS, THE PORT COOLER WILL ALSO BE SPRINKLERED.

GENERAL NOTES

1. THERE ARE NO EXISTING BUILDINGS ON-SITE. ALL BUILDINGS ARE PROPOSED.
2. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF ART. 14-18-3-B. AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
3. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
4. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROTECT THE EFFICIENT USE OF ENERGY.
5. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
6. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
7. UTM COORDINATION DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEB SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
8. ALL SIDEWALK RAMPS (INCLUDING REQUIRED TRUNCATED CURBS) CURB CUTS AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE BUILT PER C.O.A. STANDARD DRAINAGE-SEWERAGE (C.D.S.), RAINW. (C.R.A.), CURB CUTS (C.C.A.), CURB AND GUTTER (C.A.G.).
9. ALL RAMP LOCATED WITHIN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY MUST HAVE TRUNCATED CURBS.

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	170.91	830.00	S66°14'28"W	170.61	11°47'53"

WRITTEN SUMMARY

The proposed project is limited service three story hotel building with eighty-one (81) guest suites. Each story is approximately 16,765 square feet needed area for a total building area of 50,295 square feet plus canopy. The proposed use of the building will be a short term stay hotel which is allowed within IP permit use. Due to 45' shadow height limitations and setback requirements of IP zoning, applicant is requesting change of zoning to U-1 for IP uses with conditions as shown on these plans.

PROJECT DATA

LEGAL DESCRIPTION: LOT 2-A-1, BLOCK 2, SUNPORT PARK SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 EXISTING ZONING: U-1
 REQUESTED ZONING: U-1 for IP USES w/EXCEPTIONS AREAS
 TRACT AREA: 2.03 ACRES/84,296 S.F.
 BUILDING FOOTPRINT: 17,619 S.F.
 FUTURE RESTAURANT: 6,025 S.F.
 TOTAL BUILDING AREA: 50,295 S.F.
 F.A.R.: .32

PERCENTAGE OF SITE SURFACE COVERED WITH BUILDINGS = 20.8 %
 PROPOSED USE: HOTEL/FUTURE RESTAURANT

PARKING DATA:
 81 GUESTROOMS
 825 SQ. FT. RESTAURANT / 200 (This would allow 124 Seats)
 PARKING REQUIRED (1 PER UNIT) / 1 PER 200 SQ. FT. of RESTAURANT: 161 STALLS
 TOTAL PARKING PROVIDED: 173 STALLS
 COMPACT PARKING PROVIDED: 22 STALLS
 ADA PARKING REQUIRED: 8 STALLS
 ADA PARKING PROVIDED: 8 STALLS
 BICYCLE PARKING REQUIRED (RESTAURANT ONLY): 1 STALL / 20 PARKING SPACES
 BICYCLE PARKING PROVIDED: 2 RACK
 MOTORCYCLE PARKING REQUIRED: 3 STALLS
 MOTORCYCLE PARKING PROVIDED: 5 STALLS

DRAWING INDEX

1. SITE PLAN - C101
2. SITE PLAN DETAILS - C201
3. BUILDING AND STRUCTURAL ELEVATIONS - A301
4. LANDSCAPE PLAN - L001
5. PRELIMINARY GRADING PLAN - C102
6. CONCEPTUAL UTILITY PLAN - C103

EASEMENT RECORDING INFORMATION

FOR REPEAT RECORDING DATE: 09-13-2008
 BOOK: 2006C
 PAGE: 202

PROJECT NUMBER: 1007017
 Application Number: 08A03 - 2-5-07

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notice of Decision are satisfied.

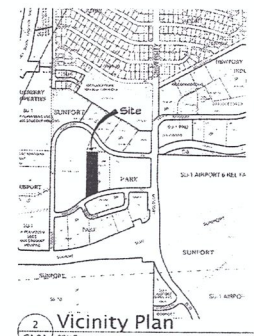
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Raymond Webb</i> Traffic Engineering, Transportation Division	7/20/16	Date	8-15-16	Date
<i>Christy Calver</i> ABC/WMA	08/10/16	Date	8-2-16	Date
<i>Deborah</i> Planning and Zoning Department	7/20/16	Date	8-15-16	Date
<i>Alan</i> City Engineer	7-20-16	Date		

Environmental Health Department (conditional) Date: 8-15-16
 Solid Waste Management Date: 8-2-16
 DRP Chairperson, Planning Department Date: 8-15-16

- Key Notes:**
1. SLOPED ADA RAMPS, City of Albuquerque Std. Div. No. 2426 (1/2) MAXIMUM AT TRAFFIC AREA.
 2. HANDICAP SIGN ON POLE OR MOUNTED ON WALL 10" X 8".
 3. ADA ACCESSIBLE PEDESTRIAN PATHWAY 6' SIDE WITH PAINTED STRIPPING.
 4. ADA ACCESSIBLE PEDESTRIAN WALK 6'-6" SIDE CONCRETE.
 5. HANDICAP ACCESSIBLE WALKS (WIDTH VARIES - REFER TO DIMENSIONS).
 6. 4" WIDE CONCRETE SERVICE WALK.
 7. TRASH ENCLOSURE.
 8. LIGHT FIXTURE.
 9. NEW FIRE HYDRANT.
 10. NOT USED.
 11. NOT USED.
 12. NOT USED.
 13. ADA Ramp Within Accessible Pedestrian Walkway (Refer to Details on Sheet C201).
 14. Concrete Valley Gutter per City of Albuquerque Std. Div. No. 2428.
 15. Paint "COMPACT" on Each Compact Parking "Space".
 16. "NO PARKING" in Capital Letters 14" High x 3" Space Adjacent to Vehicle Rear Tire. Requirements: Therefore, walls, Trees, and Shrubs/Plants between 3 and 6 feet tall (as measured from the gutter line) will not be acceptable in this Area.
 17. Clear Sight Triangle - Landscaping and Signage will not interfere with Clear Sight. Requirements: Therefore, walls, Trees, and Shrubs/Plants between 3 and 6 feet tall (as measured from the gutter line) will not be acceptable in this Area.
 18. Fire Department Connection (into Closet inside Guest Laundry).



2 Vicinity Map
C101 SCALE: 1" = 30'



JIM MEDLEY, Architect AIA
 3100 Christie N.E. Albuquerque, NM 87111
 Phone: (505) 292-2524 Fax: (505) 264-5593

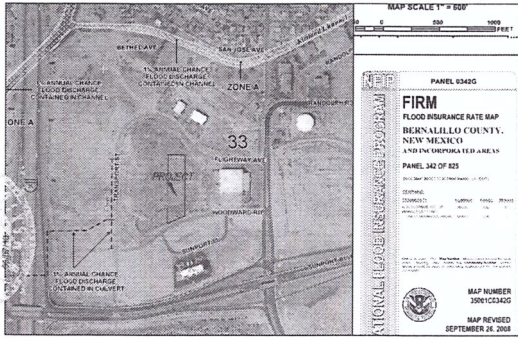
DATE: 7/20/16
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

Project: 81 Guestroom Hotel
CHOICE HOTELS
 INTERNATIONAL
 Support Park Hospitality, LLC
 Gallup, New Mexico

No.	Revision / Issue	Date	By
1	Issue	7/20/16	[Signature]

Great Description
SITE PLAN for BUILDING PERMIT

Sheet:
C 101



FIRM MAP PANEL 3501C0342 G

GRADING & DRAINAGE PLAN

THE LIGHT INDUSTRIAL ZONED PROJECT IS LOCATED IN THE DEVELOPED SUPPORT PARK SUBDIVISION (APPROX AREA) APPROX. 2 MILES SOUTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR EXCAVATION AND GRADING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS, INCLUDING SURFACE UTILITIES/EASEMENTS.
- PROPOSED IMPROVEMENTS: 60% IMPERVIOUS HOTEL + RESTAURANT SITE DEVELOPMENT, NEW GRADE ELEVATIONS, PROTECTED SILT FENCING AND REVEGETATION.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ANALYSIS OF UPSTREAM OFF-SITE FLOWS (IF APPLICABLE) PLUS THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS, INCLUDING PONDING REQUIREMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON ALL SIDES BY UNDEVELOPED PROPERTY. RUNOFF TO THE SOUTH IS AN IMPROVED ASPHALT MAJOR LOCAL ROADWAY MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT APPROXIMATELY 7X TO THE WEST.

HISTORICAL SITE RUNOFF OUTLLET LOCATIONS WILL REMAIN UNCHANGED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

FREE DISCHARGE OF DEVELOPED FLOW IS NOT ACCEPTABLE SINCE THE SITE LIES WITHIN THE OVERALL MASTERPLAN FOR THE SUPPORT PARK REGIONAL AREA. RUNOFF WILL NOT BE ALLOWED TO CONCENTRATE AT THE PROPERTY BOUNDARY. THE NORTH BASIN SHALL DRAIN TO THE DETENTION POND WITH CONTROLLED OUTLET SIZED FOR HISTORIC. THE SOUTH BASIN SHALL DRAIN TO THE DRAINAGE ROUTING RUNOFF THRU DEPRESSED LANDSCAPE AREAS.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO. DISCHARGE RATE: $Q = CIPAK \cdot A$ AREA, "Peak Discharge Rates for Small Watersheds" VOLUMETRIC DISCHARGE: $VOLUME = E_{weighted} \cdot AREA$
 $P100 = 2.35$ inches, Zone 2 Time of Concentration, $T_C = 10$ Minutes
 DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS

TOTAL AREA = 2 ACRES, WHERE EXCESS PRECIP. "P" = 0.78 in. [0.28]
 PEAK DISCHARGE, $Q100 = 4.56$ CFS [1.9], WHERE UNIT PEAK DISCHARGE "U" = 2.28 CFS/AC [0.93]
 THEREFORE: VOLUME 100 = 5863 CF [2033]

DESIGNED CONDITIONS - HOTEL + RESTAURANT

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	C	Peak	E	
UNDEVELOPED	---	Ac.	A	1.56 [0.39]	0.53 [0.13]
LANDSCAPING	---	Ac.	B	2.28 [0.95]	0.78 [0.28]
GRAVEL & COMPACTED SOIL	---	Ac.	C	3.14 [1.71]	1.13 [0.52]
ROOF - PAVEMENT	---	Ac.	D	4.70 [3.14]	2.12 [1.34]

THEREFORE: $E_{weighted} = 1.13$ in. [0.52] &
 $Q100 = 6.3$ CFS VOLUME 100 = 8204 CF &
 $Q10 = 3.4$ CFS VOLUME 10 = 3775 CF

RECOMMEND: MINIMAL INCREASE, THEREFORE ENSURE THAT HIGH VELOCITY FLOWS ARE NOT ALLOWED AT THE BOUNDARY, AND NO CONCENTRATION OF FLOWS CROSS BOUNDARY. RETENTION OF THE INCREASE OF RUN-OFF DUE TO THE INTERNAL DEVELOPMENT.

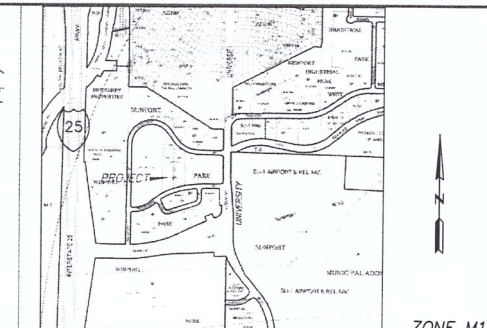
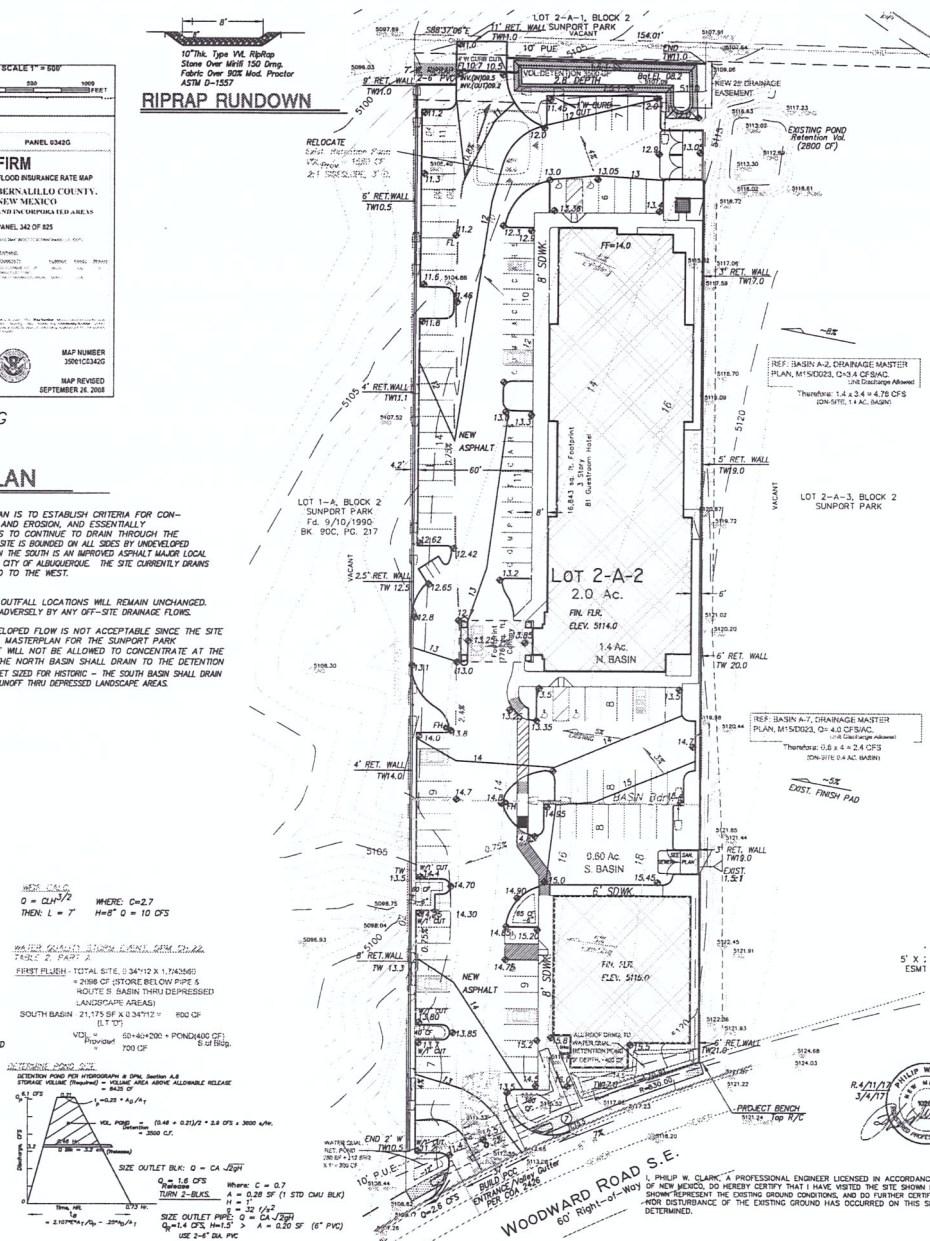
DESIGNED CONDITIONS - HOTEL + RESTAURANT

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	C	Peak	E	
UNDEVELOPED	---	Ac.	A	1.56 [0.39]	0.53 [0.13]
LANDSCAPING	---	Ac.	B	2.28 [0.95]	0.78 [0.28]
GRAVEL & COMPACTED SOIL	---	Ac.	C	3.14 [1.71]	1.13 [0.52]
ROOF - PAVEMENT	---	Ac.	D	4.70 [3.14]	2.12 [1.34]

THEREFORE: $E_{weighted} = 1.94$ in. [0.52] &
 $Q100 = 8.76$ CFS VOLUME 100 = 14084 CF &
 $Q10 = 4.4$ CFS VOLUME 10 = 3775 CF

THEN: N. BASIN, $Q100 = 6.1$ CFS, VOL.100 = 9859 CF
 S. BASIN (FREE DISCHARGE) = 2.6 CFS, VOL.100 = 4225 CF



NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION W/ 9 UPDATES.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY P.L.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012. HAVE SEED MIX USING HAY MULCH FOR FAST SOIL APPLICATION, HATCHETA BLUE GRASS DOMINANT MIX PER PARAGRAPH 4.1.2.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION:
 3 HORIZONTAL TO 1 VERTICAL, 3:1.
 ① BUILD 6" PCC SIDEWALK PER COA STD DWG. 2430.

LEGEND

- EXIST. SPOT ELEVATION +24.0
- EXIST. CONTOUR 12.0 (ADD 5100 FOR MSL)
- NEW SPOT ELEVATION +12.0
- NEW CONTOUR 12.0
- NEW SWALE
- DRAINAGE DIRECTION EXISTING
- NEW P.C.C., CONCRETE
- FLOWLINE
- WATER BLOCK
- RIPRAP STONE TYP. VM, 4" Avg. Dia.
- BURY UNDER

Scale: 1" = 30'

PROJECT DATA

UPC# 1-015-055-183-234-30410
 LEGAL DESCRIPTION: LOT 2-A-2, SUPPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 PROJECT BENCHMARK: TOP OF REBAR/CM AT THE PROJECT SOUTHWEST CORNER MSL ELEVATION = 5121.24, AS TIED FROM AMFCA SOC 3-1/4" DIAMETER ALUM. DISK SET IN CONCRETE, SDC-11-2, MSL, NAVD 88, 5001.66, LOCATED
 TOPOGRAPHIC DESIGN SURVEY: PROVIDED BY ALPHA PRO SURVEYING, LLC, DATED APRIL 2014, AND SUPPLEMENTED MAR. 2016.

Clark Consulting Engineers
 19 Ruan Road
 Edgewood, New Mexico 87015
 Tel: (505) 281-2444 Fax: (505) 284-6042
 DATE: REVISION: LOT 2-A-2, BLOCK 2, SUPPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 4/9/17 1 1 17
 3/2/17 ADD HYDRO PLAN
 7/16 2/17 6/2/18 DMC
Grading & Drainage Plan
 DESIGNED BY: PWC DRAWN BY: GCE JOB #: 16084H
 CHECKED BY: PWC DATE: 3/4/18 FILE #: S.D. C 102

PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO SIGNIFICANT EARTHWORK OR DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



LEGEND

- EXIST LIGHT POLE
- PP EXIST POWER POLE
- OHU EXIST OVERHEAD UTILITY LINE
- ⊕ ANCHOR
- ⊕ EXISTING SEWER MANHOLE
- ⊕ W WATER METER (EXIST.)
- ⊕ W VALVE (EXIST.)
- ⊕ EXIST FIRE HYDRANT
- W EXIST WATER LINE
- SAS EXIST SANITARY SEWER
- TC OR BC TOP OF CURB
- FL FLOWLINE
- EXIST CURB & GUTTER
- NEW P.C.C. HEADER CURB
- NEW P.C.C. CONCRETE
- W NEW WATER LINE
- SAS NEW SANITARY SEWER
- WV NEW SINGLE WATER SERVICE
- WV NEW GATE VALVE
- WS WATER SERVICE
- SS SANITARY SEWER SERVICE
- NEW 2-WAY SEWER CLEAN OUT
- NEW LIGHT POLE

LOT 1-A, BLOCK 2
SUNPORT PARK
Pd. 9/10/1990
BK. 90C, PG. 717

Scale: 1" = 30'

LOT 2-A-3, BLOCK 2
SUNPORT PARK

NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION W/ 9 UPDATES.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W.
- ALL R.O.W. WATER LINE CONNECTIONS, AND METER INSTALLATION SHALL BE MADE BY ABCWA PERSONNEL. CONTRACTOR SHALL COORDINATE WITH PWD 7445G, 855-8200 & CUSTOMER SERVICES, 289-3305.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN SERVICE OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- GAS LINE AND METER, SIZE AND LOCATION TO BE DETERMINED BY NM GAS COMPANY.
- IF THE 6" FIRE LINE IS PRIVATE, ALL FIRE HYDRANTS SHALL BE PAINTED ORANGE. CONSTRUCTION SHALL BE PERMITTED BY MIN-WORK ORDER. CONTRACTOR SHALL CONTACT CONSTR DIVISION, 400 P.M. PLAZA, DEL. SO. (PRESENT SITE UTILITIES PLAN CONTACT JEANNE WOLFENBARGER AT 824-3224).

KEYED NOTES

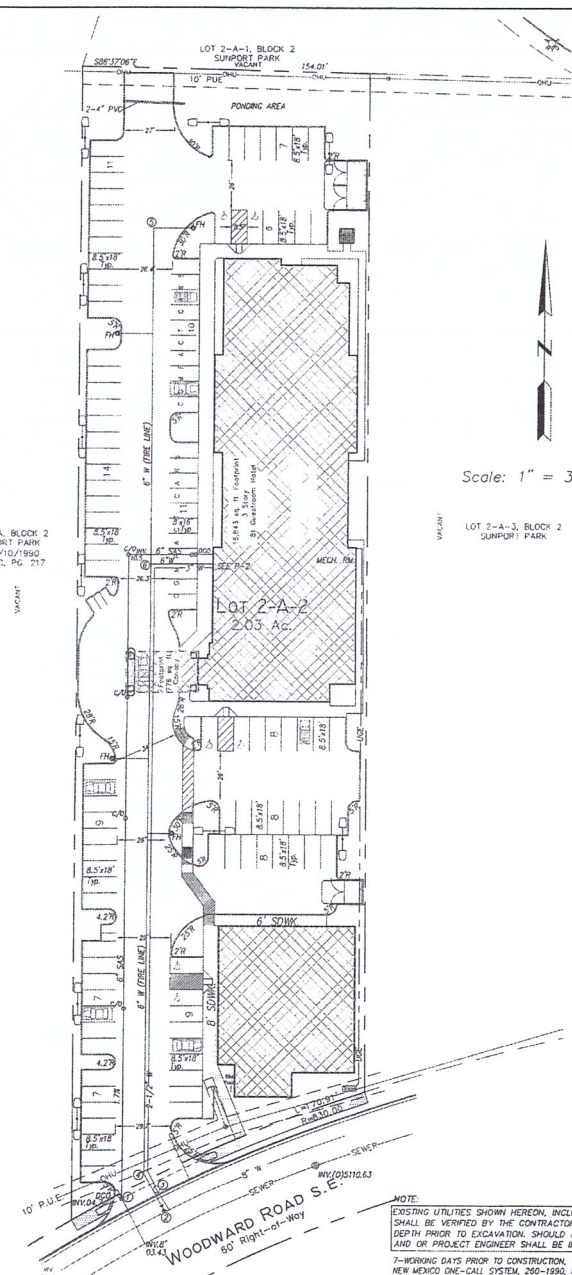
- 6" SEWER SERVICE CONNECTION TO EXISTING SEWER SERVICE STUBOUT PER CUA STD. DWG. 2125.
- 6" FIRE WATER LINE CONNECTION PER ABCWA PERSONNEL. SEE NOTE 3. MAKE NON-PRESSURIZED CONNECTION. INSTALL 6"x6" Tee PER STD DWG. 2301, W/6" GATE VLV/BOX PER 2302. REPLACE PAVEMENT PER CUA DWG 2465.
- ONE(?) 2" WATER METER/BOX AND SERVICE LINE PER CUA STD. DWG. 2363, 2367.
- INSTALL 22-1/4" RIGID 6" PVC, C200.
- 4" BURR FIRE HYDRANT PER CUA DWG. 2340, WITH 6" GATE VLV/BOX, TYPICAL @ 4-LOCATIONS. RESTRAIN ENTIRE LEG.
- INSTALL 6" x 6" Tee, C500 PVC PIPE.

UTILITY CONTACTS:

- ABCWA / CITY CUSTOMER SERVICES, 289-3305.
- PUBLIC SERV. CO. OF NM, F. Vgln, 241-4434
fernando.vigl@psnm.com
- CENTURY LINK, A. CHADDEN, 767-7442
Ashlie.Chadden@centurylink.com
- New Mexico Gas Company, J. Estvanko, 697-3617
j.estvanko@nmgco.com
- COMCAST Cable, Digital Cable
Mike Martus, 271-3644
Mike_martus@cable.comcast.com

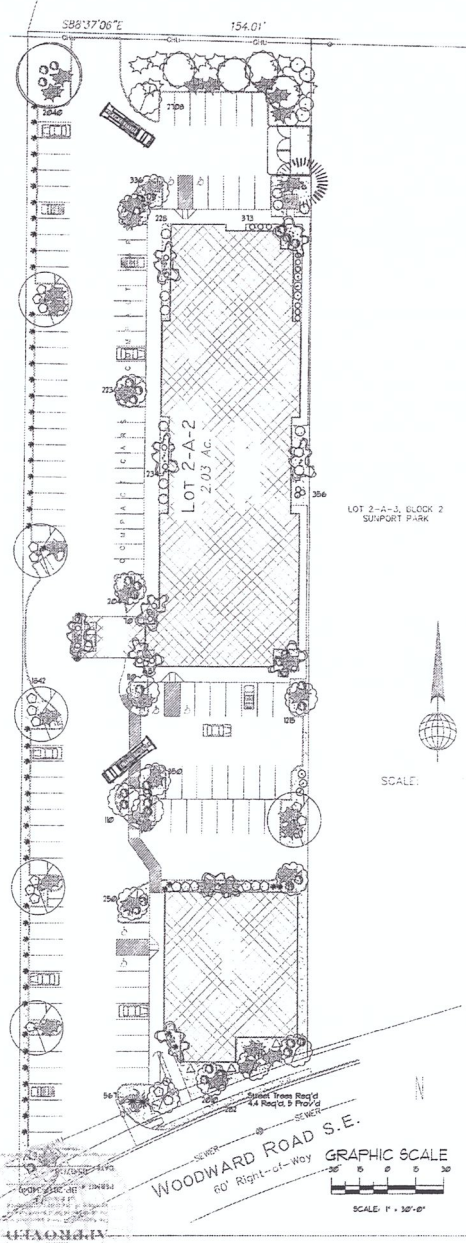
8/2/16
KILIAN W. CLARK
NEW MEXICO
1998
PROFESSIONAL ENGINEER

APPROVED
DATE: 8/2/16
PROJECT: SUNPORT PARK HOSPITALITY / KUMAR
SHEET: C 103



NOTE:
EXISTING UTILITIES SHOWN HEREON, INCLUDING UNCHARTED UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR FOR EXACT LOCATION AND DEPTH PRIOR TO EXCAVATION. SHOULD A CONFLICT EXIST, THE OWNER/LAND OR PROJECT ENGINEER SHALL BE IMMEDIATELY NOTIFIED.
7-WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE-CALL SYSTEM, 280-1990, FOR LOCATION OF EXISTING UTILITIES

Clark Consulting Engineers		19 Popo Road Edgewood, New Mexico 87015	
TEL: (505) 281-2444	FAX: (505) 281-2444		
DATE: REVISION:	LOT 2-A-2, BLOCK 2, SUNPORT PARK	ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	
8/2/16	40P. ACHINA. ET	SUNPORT PARK HOSPITALITY / KUMAR	
SITE UTILITY PLAN			
DESIGNED BY: PWC	DRAWN BY: CCL	COR. # 10043H	SHEET
CHECKED BY: PWC	DATE: 3/23/16	FILE # 101	C 103



LANDSCAPE LEGEND

QTY	SIZE	COMMON BOTANICAL	H2O USE
Trees			
6	2" cal	Ash <i>Fraxinus sp.</i>	48x36 M
1	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	M
1	6" - 8"	Austrian Pine <i>Pinus nigra</i>	M
2	4" - 6"	Palm Yucca <i>Yucca faxoniana</i>	M
11	18 Gal	Oldman Redbud <i>Cercis reniformis</i>	M
Shrubs & Groundcovers			
15	18 Gal	Crape Myrtle <i>Lagerstromia indica</i>	144 1440 M
4	5 Gal	Desert Willow <i>Chilopsis linearis</i>	400 1600 M
38	5 Gal	India Hawthorn <i>Raphanopetalum indicum</i>	75 750 M
51	5 Gal	Feather Reed Grass <i>Colomatragrostis arundinacea</i>	4 720 M
23	5 Gal	Blitengrass <i>Barbary</i> <i>Berberis julianae</i>	29 570 M
3	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5 25 75 M
1	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	144 1400 M
30	5 Gal	Buffalo Juniper <i>Juniperus sibirica</i>	144 5840 M
24	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 276 M
1	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 63 M
0	1 Gal	Fern Bush <i>Chamaebatiaria miserifolium</i>	5x5 36 432 L
2	1 Gal	Apache Plume <i>Follicularia parviflora</i>	6x1 45 90 L
3	1 Gal	Ornamental <i>Chrysanthemum moussense</i>	5x5 25 75 L
20	2-3cf	Boulders	100x45
		To be placed at contractor discretion	
		Landscapes Gravel / Filter Fabric	
		3/4" Crushed Grey	
		400	
		Oversize Landscapes Gravel / Filter Fabric	
		2-4" Adobe Rose	

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with City of Albuquerque Landscape Ordinance. Approval of this plan does not constitute or imply exemption from other applicable provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the County of Bernalillo Zoning Code. In general, water conservative, environmentally sound landscaping principles will be followed in design and installation.

Landscapes Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seeds.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, primed in place. Netafim shall have emitters 12" o.c. with a flow of 2 gph. Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polytapes with flush caps at each end. Trees and shrubs shall be on separate valves.

Run times per each shrub drip valve will be approximately 15 minutes per day. Tree drip valves shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

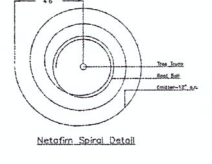
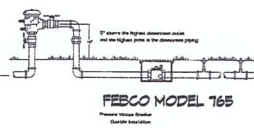
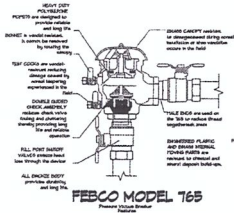
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	8680
TOTAL BUILDING AREA	7714
LANDSCAPE REQUIREMENT	2 X .5
TOTAL LANDSCAPE REQUIRED (sq ft)	5046
TOTAL LANDSCAPE PROVIDED	5450
LIVE GROUNDCOVER REQ'D, 30%	4050
LIVE GROUNDCOVER PROVIDED	1900



The Hilltop
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Albuquerque, NM 87102
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P.O. Box 1000
Tel: (505) 836-7131
ehill@hilltoplandscape.com

Landscape Architect



March 25, 2016

Comfort Suites
Woodward Rd. NE
Albuquerque, NM

The City of Albuquerque has approved this plan for the site. The City of Albuquerque does not warrant the accuracy of the information provided herein. The City of Albuquerque is not responsible for any errors or omissions in this plan. The City of Albuquerque is not responsible for any damages or injuries resulting from the use of this plan.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
REVISIONS
DATE

SHEET
LS-101