

OFFICE BUILDING SHELL
DRB RESUBMITTAL
2022-04-27



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2019-003021

Application No. SI-2022-00308

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: March 2, 2022 HEARING DATE OF DEFERRAL: April 27, 2022

SUBMITTAL

DESCRIPTION: Resubmittal addressing reviewer comments

CONTACT NAME: Ron Burstein

TELEPHONE: 505-385-3415 EMAIL: rburstein@studioswarch.com



April 27, 2022

Jolene Wolfley
City of Albuquerque Development Review Board
600 Second Street NW
Albuquerque, NM 87102-2265

Re: Resubmittal for a Major Amendment for Site Development Plan for Building Permit for the Proposed New Construction for Tract 5-A-1, Block C, Louisiana Subdivision at 2440 Louisiana Boulevard NE

Project #: PR-2019-003021
Application #: SI-2022-00308

Previous Project Numbers:

PA #21-230
PR-2019-003021
10-10042
15 DRB-70382

Dear Ms. Wolfley:

The Development Review Board reheard our case on 4/6/22 and it was deferred three weeks for Hydrology to review our civil drawings. In the time since, we've received approval from Hydrology. The other outstanding issue has to do with an existing monument sign slightly overlapping the property line. Our client will be pursuing a revocable permit for this issue and we ask that this issue be delegated.

Also included in this re-submittal is our signed Infrastructure List. For drawings, we're including our approved Grading and Drainage and Conceptual Utility plan sheets, updated Site Development plan and updated landscaping plan sheet to correspond with comments made by reviewers. No other changes have been made.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ron Burstein".

Ron Burstein, AIA, CCS
Sr. Principal | Sr. Architect

COMMENTS & REPLIES

April 27, 2022

Re: Request for a Major Amendment for Site Development Plan for Building Permit for the Proposed New Construction for Tract 5-A-1, Block C, Louisiana Subdivision at 2440 Louisiana Boulevard NE
DRB Resubmittal
PR-2019-003021
SI-2022-00308

Compiled Comments and Replies:

Transportation Comments - by Jeanne Wolfenbarger, P.E.

1. There is a sidewalk waiver, but on the Infrastructure List, a 10-foot sidewalk is shown. If needed, use a range to fit what is actually being constructed. Also reference 2430 for the new sidewalk.
 - a. **Response: The Infrastructure List now shows a sidewalk width range of 8'-10'.**
2. Show Tract Numbers on the site plan that match those referenced within the Shared Access Agreement. The Tract numbers are unclear.
 - a. **Response: The Site Development plan now shows the Tract numbers.**
3. The existing monument sign looks to be outside of the public right-of-way according to the site plan, but the comments state otherwise. Please verify. For any private infrastructure located within public right-of-way, a revocable permit will be needed.
 - a. **Response: Our client has chosen to pursue a revocable permit**
4. Use keyed note to call out clear sight triangle on the site plan and on the landscaping plan. Use standard note to limit landscaping height within these areas on both plans.
 - a. **Response: This has been done on both plans.**
5. Note 16 is blank. It looks like this is the note that calls out the bike rack area.
 - a. **Response: This keynote has been fixed.**

Code Enforcement - by Jeff Palmer 505-924-3804 jppalmer@cabq.gov – Senior Code Enforcement Specialist

All prior comments have been addressed and/or noted. No comments and no objections.

Hydrology - Renée Brissette, PE, Senior Engineer

1. Hydrology needs an approved Grading and Drainage Plan prior to approval of Site Plan for Building Permit Amendment.



- a. **Response: Hydrology approval received. See attached plan and letter.**
2. Hydrology received a re-submittal (H19D084) on April 1, 2022 based on a comment letter.
 - a. **Response: Hydrology approval received. See attached plan and letter.**
3. Hydrology recommends a four-week deferral.
 - a. **Response: Hydrology approval received. See attached plan and letter.**

Parks & Recreation Department - by Somerfeldt, Cheryl, csomerfeldt@cabq.gov

No objection to requests.

Planning Department - Robert Webb/Jay Rodenbeck, jrodenbeck@cabq.gov

1. Confirm if any freestanding signage is proposed.
 - a. **Response: Keynote 15 at the southeast corner of the site indicates the location of a new directional sign. No other new signage is proposed except for accessible space and motorcycle parking signage.**
2. Confirm if sufficient street frontage landscaping is provided per 5-6(D) of the IDO.
 - a. **Response: Confirmed. See the Note on Sheet 05.**
3. The walls/fences proposed on the Site Plan Amendment must meet 507(D) of the IDO, including the enclosure.
 - a. **Response: There are no new walls proposed for the project except the trash enclosure.**
4. An Infrastructure List was added. A recorded IIA must be submitted prior to final sign-off from Planning.
 - a. **Response: Our understanding is that we will work with the DRC office on the Financial Guaranty and Infrastructure Improvements Agreement once the Site Plan and Infrastructure List are approved by the DRB.**
5. A Sidewalk Waiver application has been applied for from the requirement to construct a sidewalk along Louisiana (within a Major Transit Corridor inside a center) 10 – 12 feet in width. In their waiver application, the applicant notes that an existing retaining wall and several obstructions prevent widening the sidewalk to meet the requirement. Per staff's analysis, the applicant has justified the waiver.
6. The applicant has met the requirement for an analysis of climatic and geographic responsiveness. The applicant is achieving several site plan design elements that will improve solar responsiveness. The applicant is also capturing eastern views of the mountains.



7. The applicant has met the building façade requirements outlined in IDO 5-11(D).
8. Remove any reference to trees per multi-family unit from the landscaping plan.
 - a. **Response: We don't see this reference on the new landscaping plan. Is it possible that this is referring to the original landscaping plan produced by DPS?**



HYDROLOGY APPROVAL

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 15, 2022

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

**RE: 2440 Louisiana Office Bldg
Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 03/07/22
Hydrology File: H19D084**

Dear Mr. McGee:

Based upon the information provided in your submittal received 03/31/2022, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Site Plan for Building Permit.

PO Box 1293

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

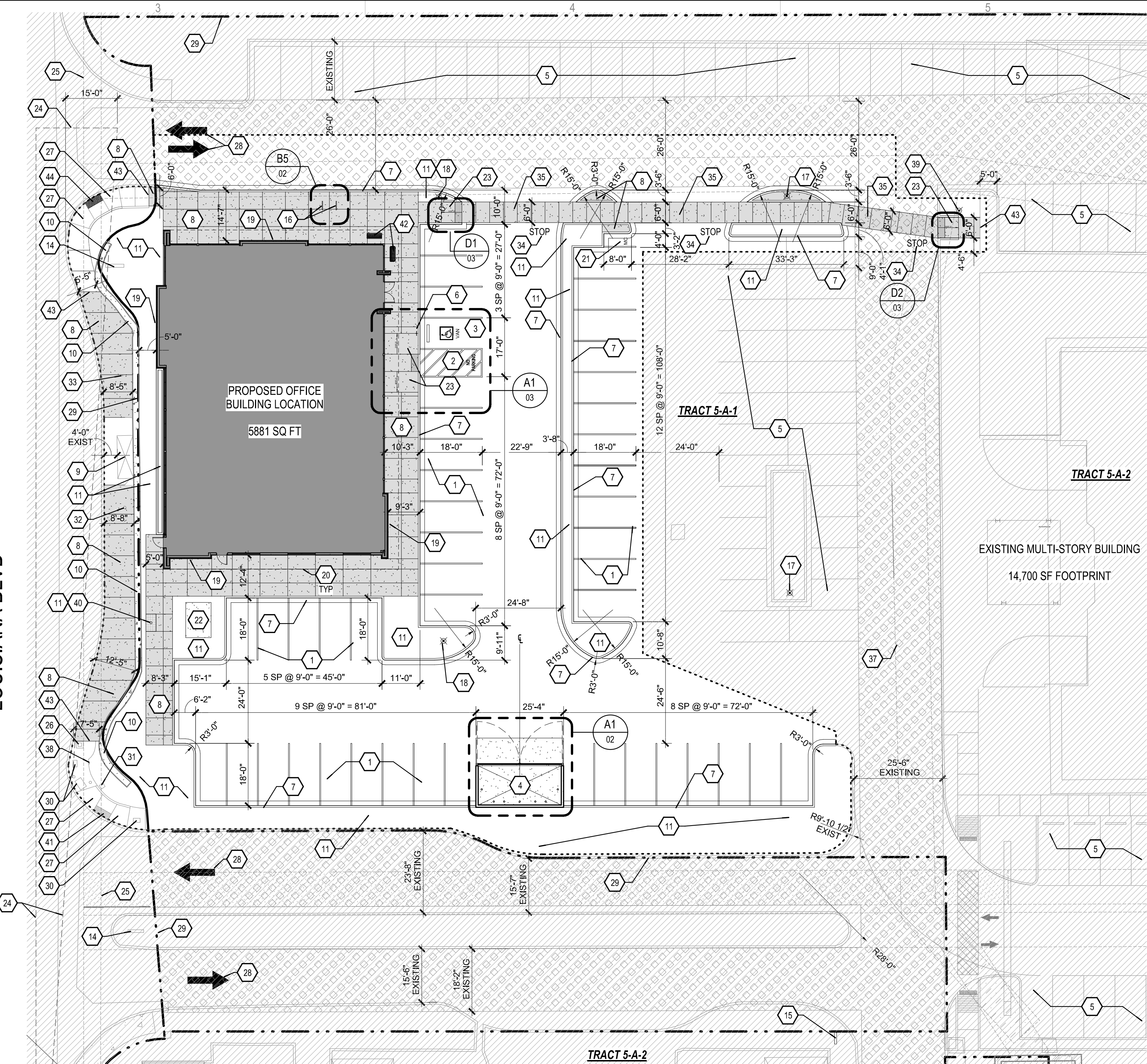
UPDATED DRAWINGS

4/15/2022 4:49:07 PM

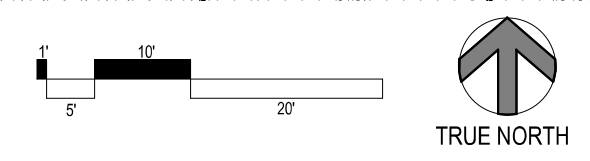
KEYED NOTES

- 1 PAINTED PARKING STRIPING (4-INCH WIDE), COLOR: WHITE. SEE SITE DETAIL A1/03
2 PAINTED HANDICAP PARKING STRIPING, SEE INDICATED ENLARGED PLAN.
3 PAINTED ADA SPACE SIGN, SEE INDICATED ENLARGED PLAN.
4 NEW TRASH ENCLOSURE, SEE INDICATED ENLARGED PLAN.
5 EXISTING PAVING TO REMAIN, PARKING SPACES ARE CROSS EASEMENT SPACES
6 ACCESSIBLE PARKING SIGNAGE, SEE INDICATED ENLARGED PLAN.
7 6" CONCRETE CURB AND GUTTER -SEE SITE DETAILS C2/03 & C3/03, RE: CIVIL
8 NEW CONCRETE PAVING
9 EXISTING BUS STOP, CONCRETE PAVING, BENCH SEATING AND TRASH RECEPTACLE TO REMAIN
10 EXISTING RETAINING WALL TO REMAIN
11 LANDSCAPING AREA, SEE LANDSCAPE PLAN.
14 EXISTING MONUMENT SIGN
15 NEW DIRECTIONAL MONUMENT SIGN
16 BIKE RACK, SEE INDICATED ENLARGED PLAN.
17 EXISTING LIGHT POLE
18 NEW 20'-0" LIGHT POLE, SEE D1/02
19 BUILDING MOUNTED SIGNAGE - SEE SHEET 08
20 NEW CONTROL JOINTS AND EXPANSION JOINTS FOR NEW SIDEWALK, SEE SITE DETAIL A3/03
21 MOTORCYCLE PARKING, SEE A3/02 FOR SIGNAGE
22 ELECTRICAL TRANSFORMER
23 NEW SIDEWALK RAMP, SEE INDICATED ENLARGED PLAN.
24 CLEAR SITE TRIANGLE, LIMIT LANDSCAPING HEIGHT WITHIN THIS AREA, SEE LANDSCAPING.
25 DRY UTILITY EASEMENT
26 EXISTING TRAFFIC LIGHT
27 EXISTING SIDEWALK RAMP
28 ROADWAY ARROW, SEE A2/03
29 PROPERTY LINE
30 EXISTING UTILITY BOX
31 EXISTING CROSS WALK SIGN
32 EXISTING STREET LIGHT TO REMAIN
33 EXISTING BUS STOP SIGN TO REMAIN
34 "STOP" PAINTED IN 12" TALL LETTERS
35 NEW 6' WIDE ADA WALKWAY TO ENCOURAGE PEDESTRIAN ACCESS
37 EXISTING UNDERGROUND EASEMENT
38 EXISTING SPEED LIMIT SIGN
39 EXISTING FIRE HYDRANT
40 NEW TREE GRATE
41 EXISTING DETECTABLE WARNING SURFACE
42 NEW 4 FT BENCH
43 CONNECTIONS TO EXISTING SIDEWALK, SEE C3/03
44 NEW DETECTABLE WARNING SURFACE

LOUISIANA BLVD



A2 SITE PLAN 1" = 20'-0"



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CONSULTANTS

DRB SUBMITTAL

Architect Engineer
STATE OF NEW MEXICO REGISTERED PROFESSIONAL ARCHITECT RONALD BURSTEIN No. 2057
Digitally signed by Ron Burstein on 2022.04.21 16:53:59-0600

OFFICE BUILDING SHELL

2440 Louisiana Boulevard NE Albuquerque, NM 87110

PROJECT NUMBER: 10-10042

Application Number: SI-2022-00308

Is an Infrastructure List required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Table with columns for Department (Traffic Engineering, ABCWUA, Parks and Recreation, City Engineer, Code Enforcement, Environmental Health, Solid Waste Management, DRB Chairperson) and Date.

BUILDING AREAS

Table with columns for Gross Building Area (5881 SF) and Parking Information (Required: 21 spaces, Provided: 21 spaces).

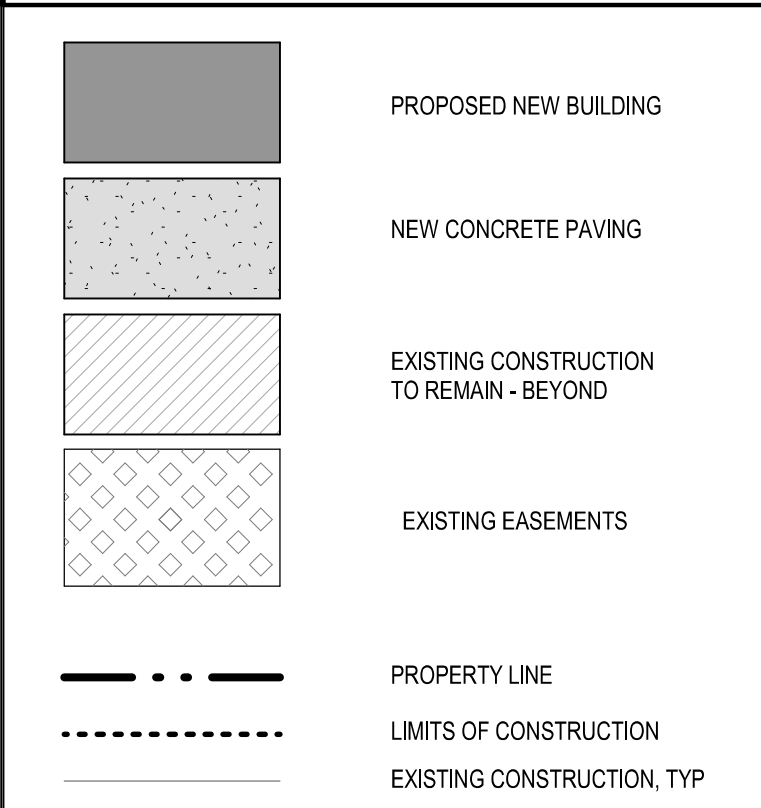
PARKING INFORMATION

Table with columns for Required (5881 SF building, 21 spaces) and Provided (21 accessible, 1 motorcycle, 3 bicycle spaces).

GENERAL NOTES

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND COA ZONING CODE.
B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE, AND UTILITY INFORMATION.
C. SIGNS: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDING.
D. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
E. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER COA STD DWGS. #2426.
F. ALL CURBS TO BE DESIGNED AND BUILT TO ACCORDING TO THE COA STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHERE POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
G. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS. LIGHTING WITHIN THE PUBLIC RIGHT-OF WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PHM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
H. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
I. OWNER WILL BE RESPONSIBLE FOR THE PROPOSED/EXISTING LANDSCAPING IN THE RIGHT OF WAY.
J. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THIS AREA.

LEGEND



VICINITY MAP

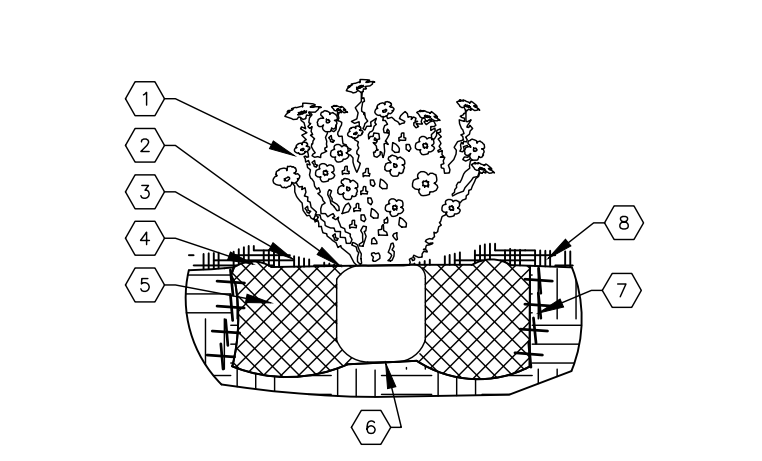
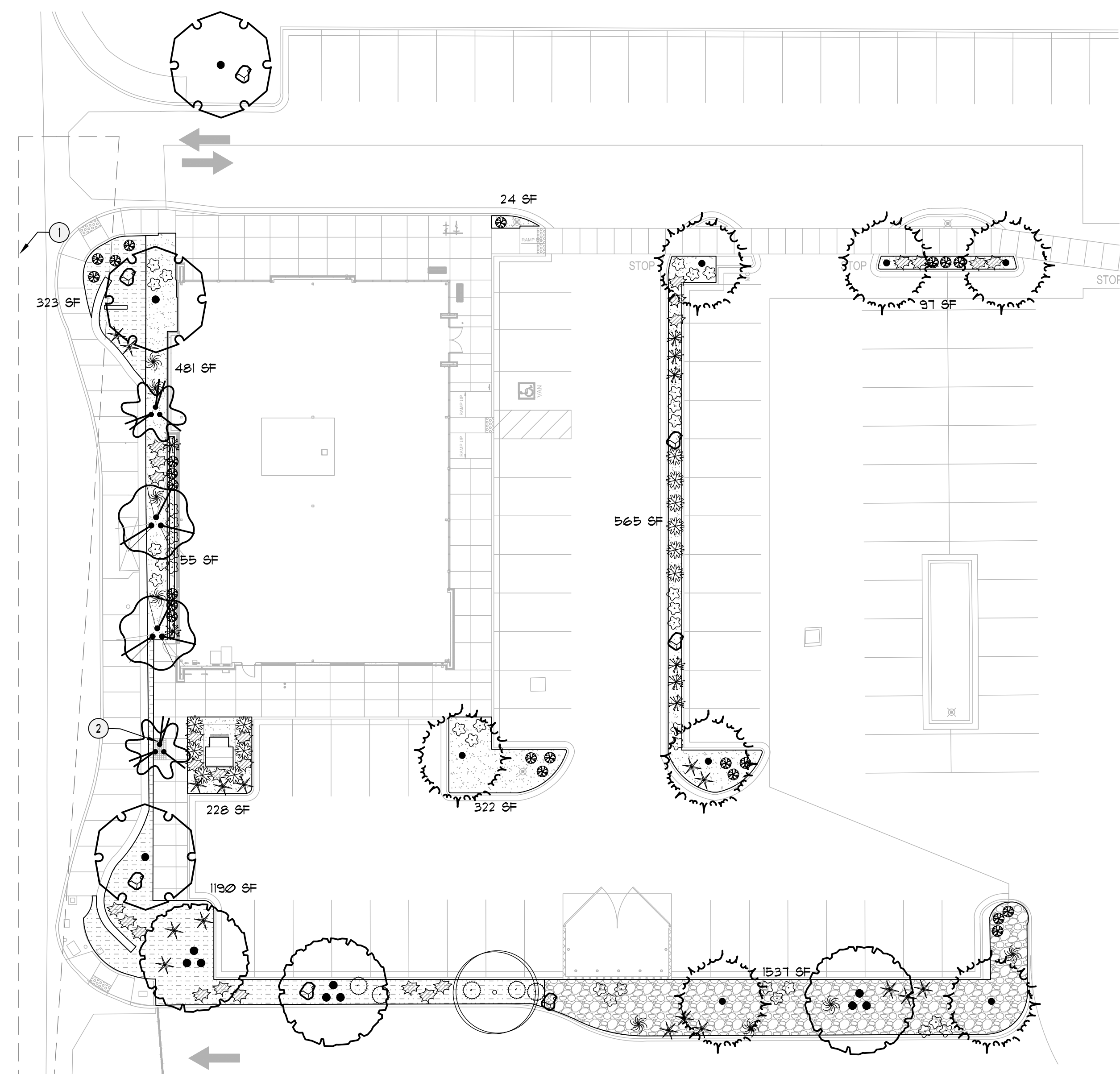


Revision Schedule table with columns for No, Date, and Description.

ISSUE: DRB SUBMITTAL
PROJECT NUMBER: 2130
FILE: 2130 Office Building
DRAWN BY: Author
CHECKED BY: Checker
DATE: FEBRUARY 25, 2022

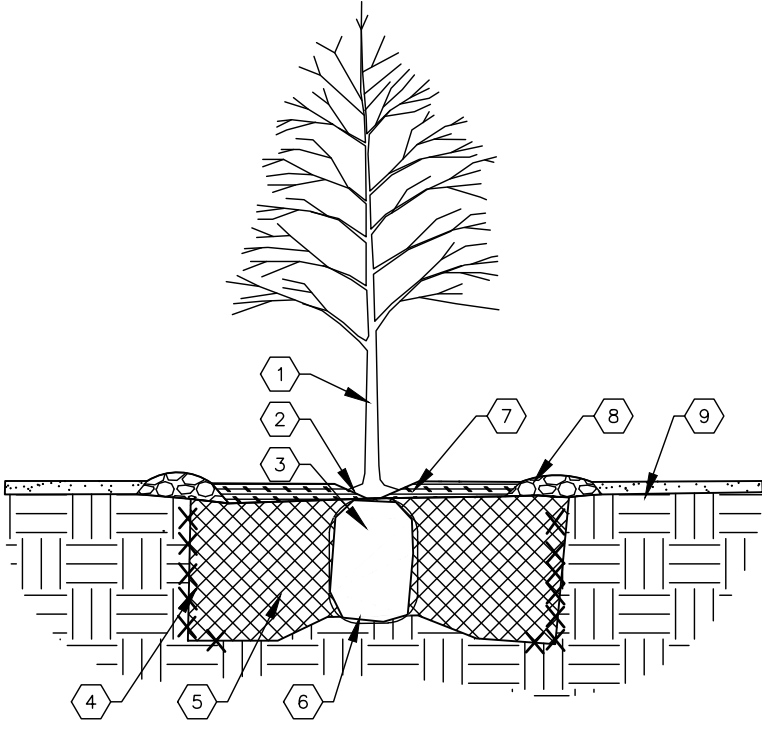
SHEET TITLE SITE DEVELOPMENT PLAN

2440 Louisiana Boulevard NE



- SHRUB PLANTING KEYED NOTES**
1. SHRUB LOCATION, SPECIES AND CONDITION AS PER PLAN.
 2. INSTALL 1/4" TOP OF ROOT BALL FLUSH WITH FINISH GRADE (BOTTOM OF MULCH).
 3. USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNK AND STEPS AND TO COVER DRIP LINE.
 4. 2" HIGH X 8" WIDE BERM.
 5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
 6. UNDISTURBED NATIVE SOIL.
 7. SCARP AND LOOSEN EDGES OF PLANTING PIT.
 8. MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING
NTS SHRUB PLANTING DETAIL



- TREE PLANTING KEYED NOTES**
1. TREE LOCATION, SPECIES AND CONDITION AS PER PLAN.
 2. REPAIRING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL 6" ROTH FLARE PLUM WITH SUBGRADE (BOTTOM OF MULCH).
 3. INSTALL TREE FLARE. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TUNE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
 4. SCARP AND LOOSEN EDGES OF PLANTING PIT.
 5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
 6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
 7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
 8. 4" HIGH X 8" WIDE COBBLE BERM AT DRIP LINE.
 9. MULCH - SEE PLANTING PLAN.

02 TREE PLANTING
NTS TREE PLANTING DETAIL

PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED 3"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (2) 1/2 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

NOTES:

STREET FRONTAGE TREES MEET 25' REQUIREMENT FROM IDO 14-16-5-6(D.11)

PLANTINGS WITHIN THE CLEAR LINE OF SIGHT TRIANGLE MUST NOT BE BETWEEN THE HEIGHT RANGE OF 2'-8" TALL, IF IT IS LESS OR MORE THAN THAT HEIGHT IT CAN REMAIN IN THE AREA.

SHEET KEYED NOTES

CODE	DESCRIPTION
1.	Clear Line Of Sight Triangle
2.	Tree Grate, Specified in Materials

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HxW	WATER USE	COVER (EA)	TOTAL
Trees							
	3	2" Cal	Flowering Pear <i>Fyrus sp.</i>	35' x 25'	M	875	2625
	2	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	1250
	7	6" Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	4375
	3	2" Cal	Chinese Pistache <i>Pistachia chinensis</i>	40' x 30'	M	900	2700
	2	15 Gal	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	800
						Total Tree Coverage:	11750
Shrubs & Groundcovers							
	34	5 Gal	Blue Mist Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	306
	8	5 Gal	Sotol <i>Dasylirion wheeleri</i>	5' x 5'	RW	25	200
	16	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	Low+	9	144
	12	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RW	36	432
	8	5 Gal	Switchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	128
	24	5 Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	384
	23	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	207
						Total Shrub Coverage:	1801

Other Materials

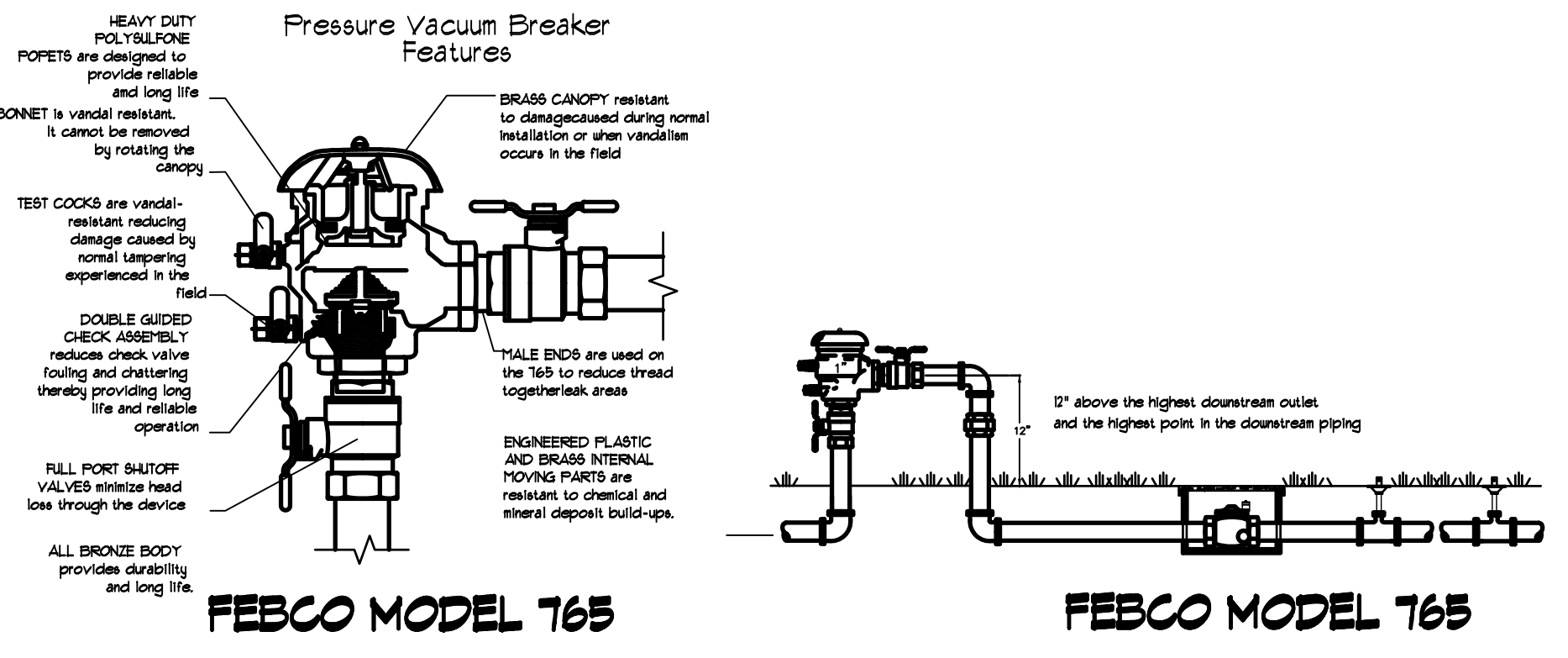
SYMB.	QTY	TYPE
	1 EA	Boulders (2-3cft) To be placed at contractor's discretion
	1805 SF	Landscape Gravel A with Filter Fabric 1/8" Santa Fe Brown Gravel
	1531 SF	Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobble/RipRap
		Concrete See site plan
	1512 SF	Existing Landscape See site plan
		Tree Grate Manufacturer: Urban Accessories Model: Kiva 3'x5'

EXISTING LANDSCAPE LEGEND

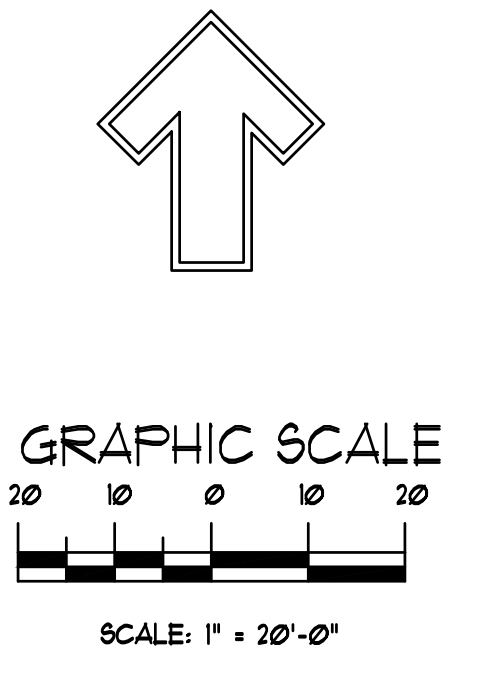
SYMB.	QTY	COMMON/BOTANICAL	COVER (EA)	TOTAL
	1	Existing to Remain Sycamore	900	900
		Total Tree Coverage:	900	
	5	Existing to Remain Hawthorne	12	60
		Total Shrub Coverage:	60	

LANDSCAPE CALCULATIONS

ZONING	APPLICABLE REGULATION(S)	TOTAL LOT AREA (ACRES)	TOTAL LOT AREA (SF)	BUILDING AREA (SF)	NET LOT AREA (SF)
MX-H, MIXED-USE - HIGH INTENSITY	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1934	0.72	31115	5810	25,305
REQUIRED LANDSCAPE (%)	15.0%				
REQUIRED LANDSCAPE (SF)	3866				
LANDSCAPE PROVIDED (SF)	4854				
VEGETATIVE COVER (%) - REQ	15.0%				
VEGETATIVE COVER (SF) - REQ	3641				
VEGETATIVE COVER (SF) - PROV.	1150				

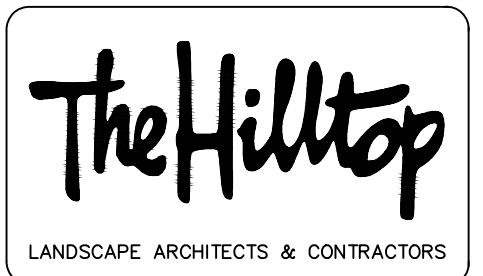


FEBCO MODEL 765



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CONSULTANTS



Architect Engineer

NOT FOR CONSTRUCTION

OFFICE BUILDING SHELL

2440 Louisiana Boulevard NE
Albuquerque, NM 87110

No	Date	Description
		Revision Schedule
ISSUE:		100% Review Set
PROJECT NUMBER:		2130
FILE:		2130 Office Building
DRAWN BY:		TFH
CHECKED BY:		CHK
DATE:		April 07, 2022

SHEET TITLE

Landscape Plan

10/25/2021 4:08:37 PM

D

C

B

A

1

2

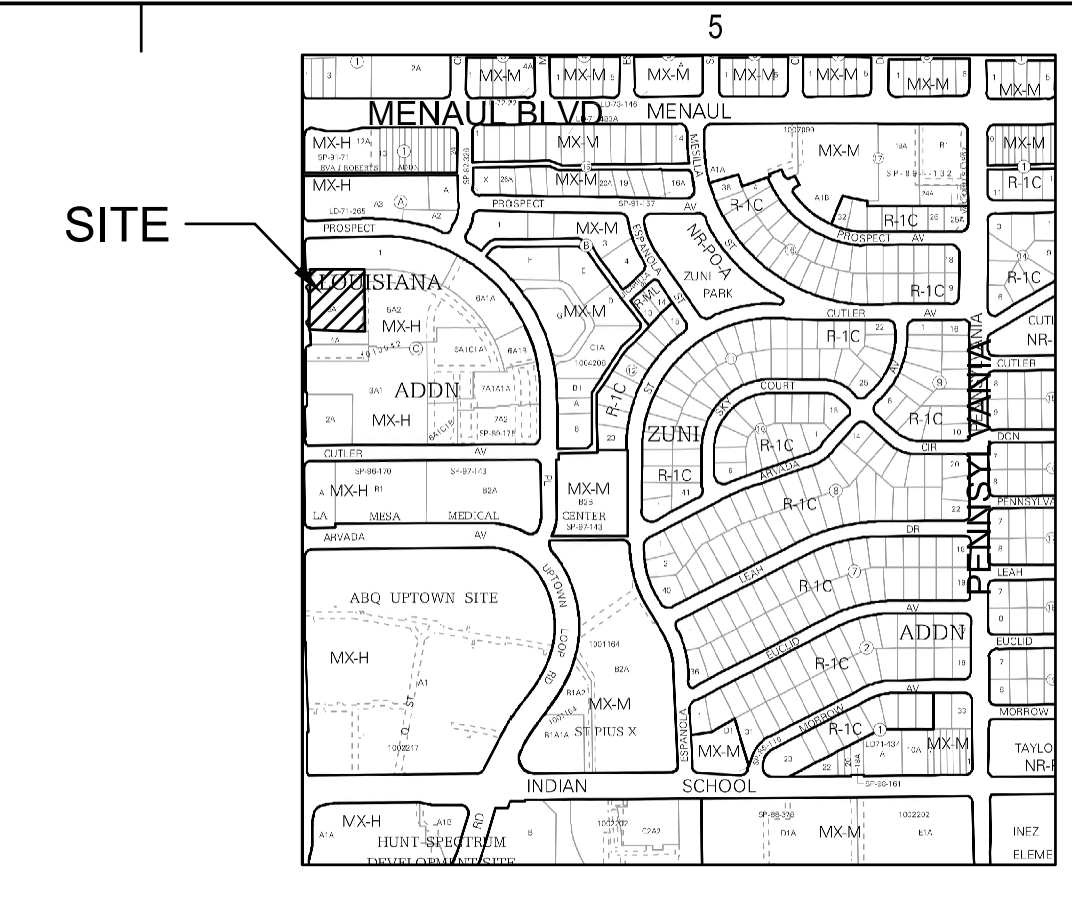
3

4

5

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 04/15/22
 BY: *Renee Brunsell*
 HydroTrans # H19D084

THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
 BE NEEDED IN THEM AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



STUDIO SW ARCHITECTS
 2101 Mountain Road NW Suite B | Albuquerque NM 87104
 505-843-9639 | www.studioswarch.com

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CONSULTANTS

VICINITY MAP H-19-Z

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5294.9 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB

KEYED NOTES

- A. EXISTING DRAINAGE INLET TO REMAIN.
- B. NEW ROOF DRAIN PIPED TO EXISTING INLET.
- C. NEW DROP INLET WITH 4" OUTLET ORIFICE.
- D. NEW 12" STORM DRAIN LINE TO CONNECT TO EXISTING STORM DRAIN.
- E. NEW UNDERGROUND STORAGE SHALL PROVIDE 1070 CF STORAGE. USE 6 STORMTECH MC-3500 CHAMBERS (ON 9" GRAVEL FOUNDATION) WITH END CAPS TO PROVIDE 1140 CF STORAGE VOLUME.

DRAINAGE ANALYSIS

ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 5-A-1, BLOCK C LOUISIANA SUBDIVISION
 AREA: 52,870 SF (1.21 AC) SITE AREA = 0.68 ACRES
 BENCHMARK: City of Albuquerque Station '15-H18' being a brass cap. ELEV= 5303.391 (NAVD 1988)
 SURVEYOR: Survey Office LLC, dated July 2019
 PRECIPITATION ZONE: 3
 FLOOD HAZARD: From FEMA Map 35001C0352H (8/16/12), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.
 OFFSITE FLOW: The site does not accept offsite flows.

EXISTING CONDITIONS: The site is a fully developed portion of an existing site with asphalt parking and some landscaping. The prior drainage file (H19-D084) was prepared by BHI in 1984. This site was identified as Basin 5 with a required storage of 5,720 CF and allowable Q=0.5 CFS. The site drains to the center of the lot where an inlet accepts runoff and discharges to an existing inlet in Louisiana NE.

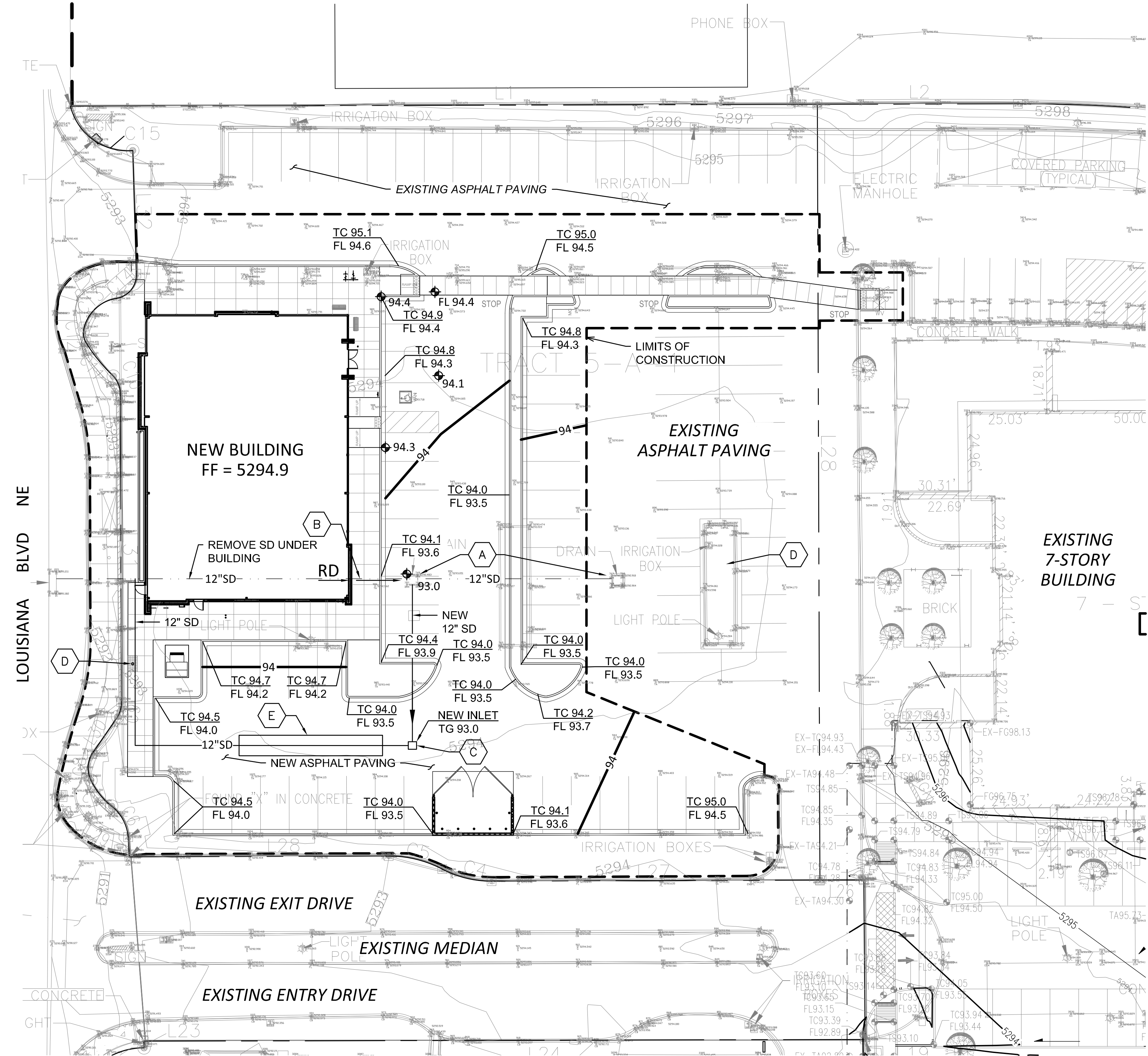
PROPOSED IMPROVEMENTS: The proposed redevelopment of the site includes a new 5,660 SF office building, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow the DMP for the American Financial Center referenced above. The existing storm drain will be re-routed onsite to the south of the new building. A new inlet will accept site runoff which will be directed to underground storage to offset the loss in surface storage volume.

Existing land treatment: 10% C and 90% D
 $Q = [(0.10)(3.45) + (0.90)(5.02)](1.21) = 5.9 \text{ CFS}$

Proposed land treatment: 2% B, 4% C and 94% D
 $Q = [(0.02)(2.60) + (0.04)(3.45) + (0.94)(5.02)](1.21) = 5.9 \text{ CFS}$

Redevelopment SWQ V = (29,620)(0.26/12) = 642 CF
 Ponding provided: Surface V = 4650 CF at WSEL = 94.0
 Underground storage V = 5720 - 4650 = 1070 CF
 Orifice equation for H = 2.5' and 4" diameter orifice:
 $Q = KxA(2gH)^{1/2} = (0.7)(0.087)(12.7) = 0.7 \text{ CFS}$



A1 CONCEPTUAL GRADING & DRAINAGE PLAN
 1" = 20'-0"



Architect Engineer



OFFICE BUILDING

2440 Louisiana Boulevard NE
 ALBUQUERQUE, NM 87110

Key Plan

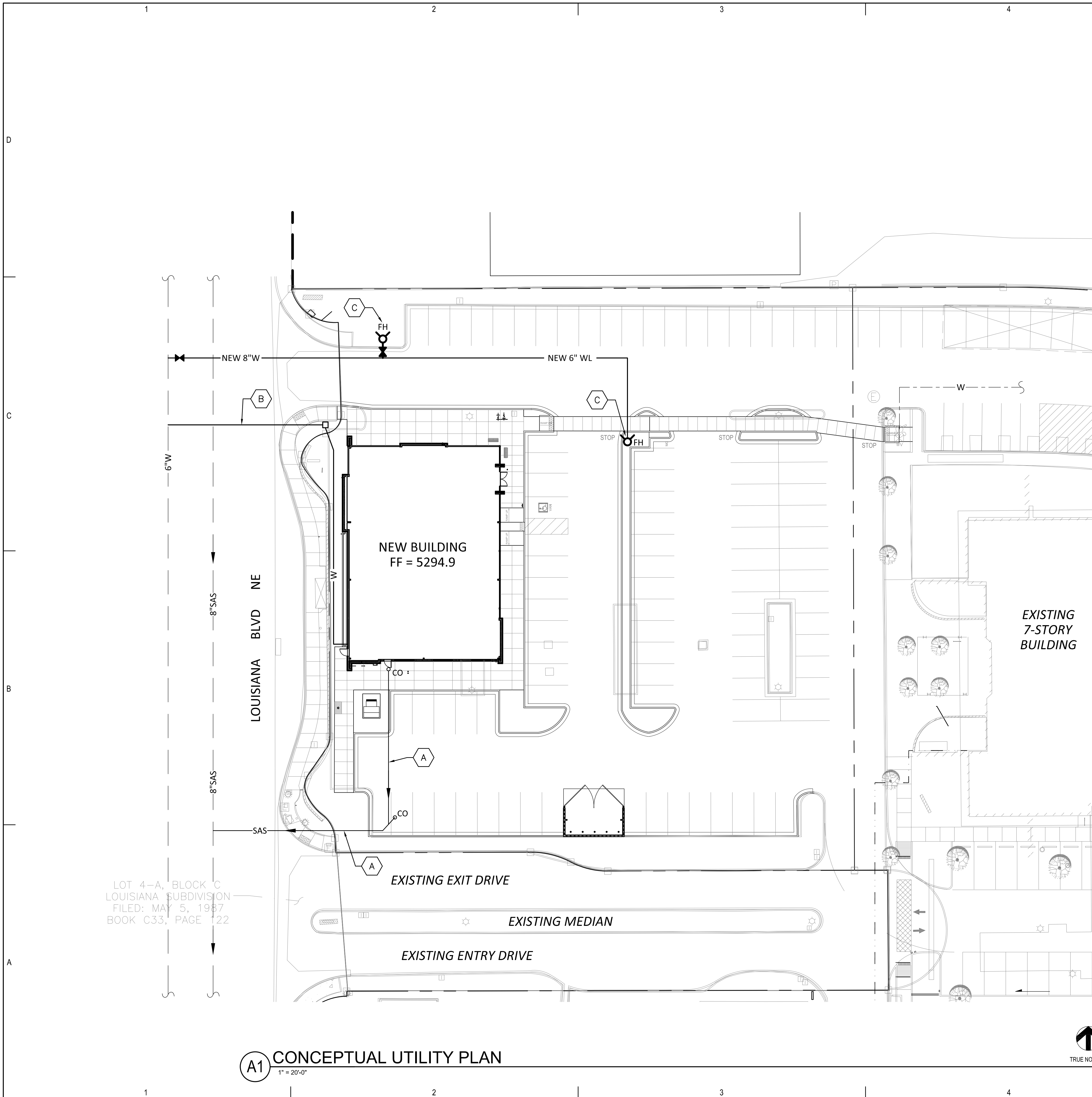
NTS

No	Date	Description
Revision Schedule		
ISSUE:		Design Development
PROJECT NUMBER:		2130
FILE:		2130 Office Building
DRAWN BY:		JSK
CHECKED BY:		SSM
DATE:		3/30/2022

SHEET TITLE
CONCEPTUAL GRADING & DRAINAGE PLAN

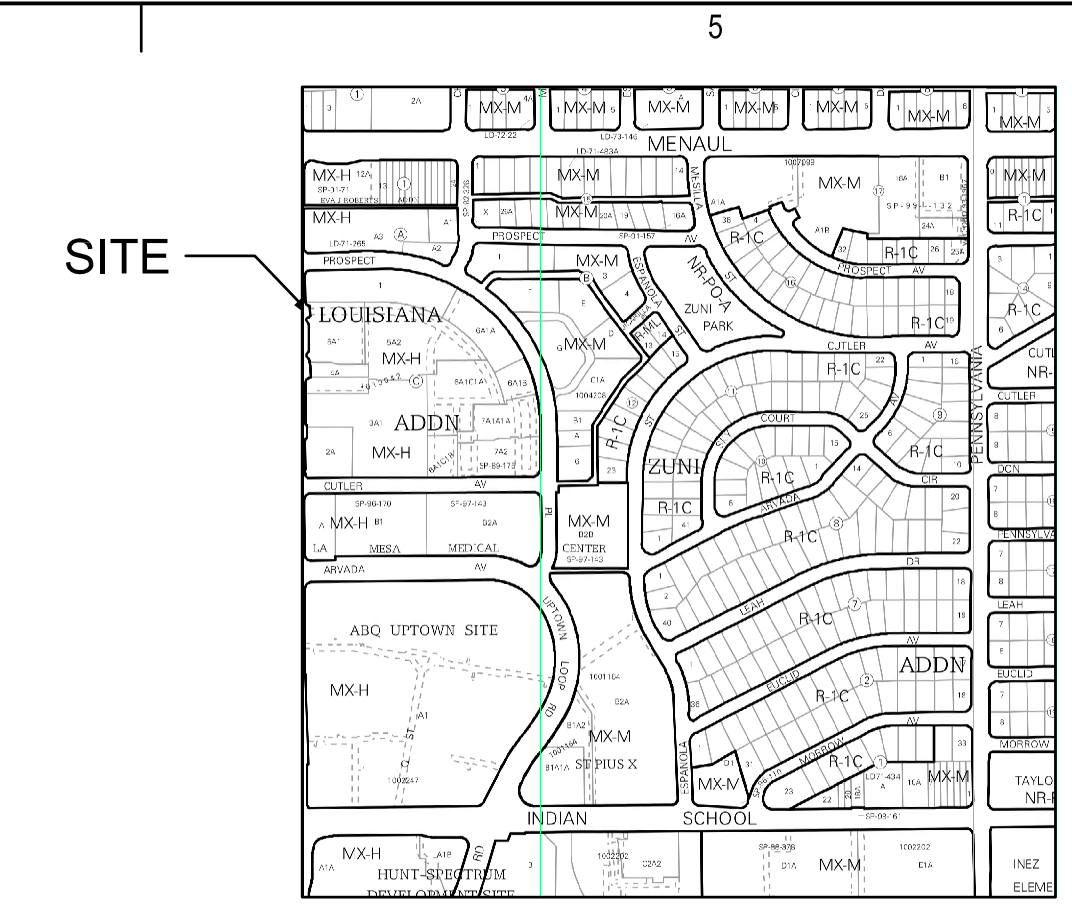
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LOT 4-A, BLOCK C
LOUISIANA SUBDIVISION
FILED: MAY 5, 1987
BOOK C33, PAGE 122

A1 CONCEPTUAL UTILITY PLAN
1" = 20'-0"



VICINITY MAP H-19-Z

LEGEND

—	OVERHEAD ELECTRICAL
—	GAS LINE
CO	CLEAN OUT
- - - W - - -	EXISTING WATER LINE
- - - GAS - - -	EXISTING GAS LINE
- - - SAS - - -	EXISTING SEWER LINE
—	ELECTRIC LINE
— W —	NEW WATER LINE
— SAS —	NEW SEWER LINE
— G —	NEW GAS LINE
FH	FIRE HYDRANT

- X KEYED NOTES**
- A. NEW 6-INCH SEWER SERVICE (MIN. 2% SLOPE) PER CITY STD DWG NO 2125 WITH CONNECTION TO EXISTING SEWER BY WORK ORDER.
 - B. NEW 2-INCH WATER SERVICE PER CITY STD DWG NO 2363 BY WORK ORDER AS SHOWN.
 - C. INSTALL NEW PRIVATE FIRE HYDRANT AS SHOWN PER STD DWG NO 2340 BY WORK ORDER.

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CONSULTANTS

Architect Engineer



OFFICE BUILDING

2440 Louisiana Boulevard NE
ALBUQUERQUE, NM 87110

Key Plan
NTS

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SHEET TITLE
CONCEPTUAL UTILITY PLAN

C102