



Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of SW (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input checked="" type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Waiver for required sidewalk width on Louisiana Blvd from 10 feet to an average of approximately 9 feet.		

APPLICATION INFORMATION		
Applicant/Owner: Uptown Tower LLC		Phone: 505-884-4699
Address: 9201 Montgomery Blvd NE, Building 1		Email: lance@allensigmon.com
City: Albuquerque	State: NM	Zip: 87111
Professional/Agent (if any): Studio Southwest Architects, Inc. (Ron Burstein or Steven Mattern)		Phone: 505-385-3415
Address: 2101 Mountain Road NW		Email: rburstein@studioswarch.com
City: Albuquerque	State: NM	Zip: 87104
Proprietary Interest in Site:	List <u>all</u> owners: Uptown Tower LLC, Allen Family Investments LLC & Allen Family Investments 2	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: 5-A-1	Block: C	Unit: Louisiana Subdivision
Subdivision/Addition: Louisiana	MRGCD Map No.: N/A	UPC Code: 101905901719030903
Zone Atlas Page(s): H-19-Z	Existing Zoning: MX-H	Proposed Zoning MX-H
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 1.2137
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 2440 Louisiana Blvd NE	Between: Menaul Blvd NE	and: Indian School Road NE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
Project Number: PR-2019-003021 for SI-2022-00308		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	<small>Digitally signed by Ron Burstein DN: cn=US, e=rburstein@studioswarch.com, o=Studio Southwest Architects Inc., cn=Ron Burstein Date: 2022.03.25 14:39:03-0600</small>	Date: March 28, 2022
Printed Name: Ron Burstein	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

FORM V2: Waiver– DRB

Please refer to the DRB case schedules for meeting dates and deadlines. Your attendance is required.

WAIVER – IDO

Interpreter Needed for Meeting? No if yes, indicate language: _____

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(P)(3), compliance with the DPM, and all improvements to be waived, as applicable. .

Scale drawing showing the location of the proposed variance or waiver, as applicable

NA Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

NA If a meeting was requested/held, copy of sign-in sheet and meeting notes

Required notices with content per IDO Section 14-16-6-4(K)

Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

WAIVER – DPM (MUST BE HEARD WITH SUBDIVISION/SITE PLAN ACTION)

Interpreter Needed for Meeting? _____ if yes, indicate language: _____

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Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

Justification letter describing, explaining, and justifying the request per the criteria in DPM – Chapter 2

Drawing showing the easement or right-of-way to be vacated

Required notices with content per IDO Section 14-16-6-4(K)

Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing

Proof of Neighborhood Meeting

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing* **this step is not required if waiver is to be heard with minor subdivision plat**

Sign Posting Agreement - **this step is not required if waiver is to be heard with minor subdivision plat**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

Interpreter Needed for Meeting? _____ if yes, indicate language: _____

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Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

A scale drawing showing the location of the deferred sidewalk with appropriate dimensions.

Proof of Neighborhood Meeting

EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

Interpreter Needed for Meeting? _____ if yes, indicate language: _____

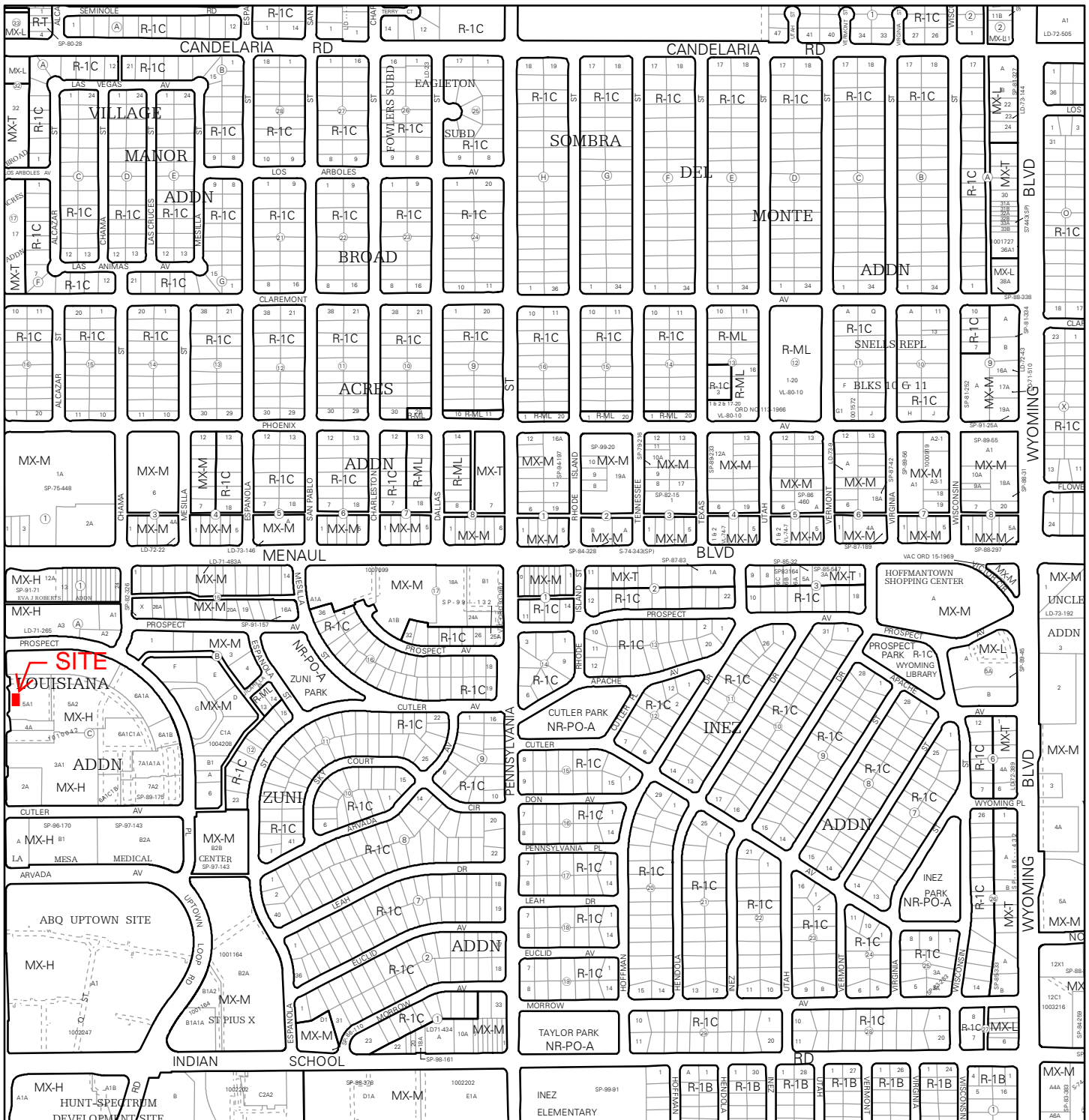
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

Letter describing, explaining, and justifying the deferral or extension

Drawing showing the sidewalks subject to the proposed deferral or extension



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
H-19-Z

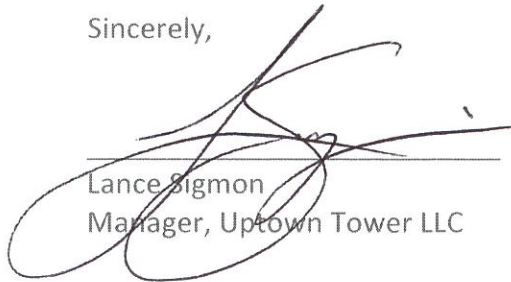
- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



To whom it may concern,

Uptown Tower, LLC the Owners of Tract 5-A-1, Block C, Louisiana Subdivision hereby authorizes Studio Southwest Architects, Inc. to act as agent for meetings and obtaining the required entitlement and approvals from the City of Albuquerque for the development of an approximately 6,000 SF office building on the property.

Sincerely,



Lance Sigmon
Manager, Uptown Tower LLC



March 28, 2022

Jolene Wolfley
City of Albuquerque Development Review Board
600 Second Street NW
Albuquerque NM 87102-2265

Re: Request for a Sidewalk Waiver for Tract 5-A-1, Block C, Louisiana Subdivision at 2440 Louisiana Boulevard NE in conjunction with Major Amendment to Site Plan

PR-2019-003021
SI-2022-00308

Dear Ms. Wolfley:

Studio Southwest Architects is the authorized agent for Uptown Tower, LLC and is requesting your consideration for approval of a waiver for sidewalk width on the east side of Louisiana Boulevard on the west side of the proposed development at 2440 Louisiana Blvd NE.

DPM Table 7.2.29 designates the sidewalk width requirement for a Major Transit corridor inside a center (Uptown Center) as 10 to 12 feet. The existing sidewalk along Louisiana Blvd and adjacent to the proposed project along is approximately 6 feet wide with a strip of landscaping next to it. There is an existing retaining wall on the east side of the landscaping strip which limits the ability to widen the sidewalk more than an average of approximately 9 feet. The curb ramp on the south side of the sidewalk contains several additional obstructions including a traffic signal, a sign, a pedestrian crosswalk timer, utility boxes, and a significant grade change behind it. Both curb ramps at the north and south ends of the sidewalk run appear to have been recently constructed.

We propose to widen the sidewalk in front (along the east side of Louisiana Blvd) of the proposed office building from the back of the existing curb to front of the existing retaining wall to an average of 9 feet. The attached drawing indicated that the sidewalk width will vary depending on the existing geometry of the available space.

We ask for a waiver of the DPM sidewalk width based on the following criteria in Section 6-6(P)(3) of the IDO:

6-6(P)(3)(a) 1. There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, water courses, natural topographic features, manmade obstructions, or utility lines.

In addition, the Waiver request is consistent with the criteria listed in 6-6(P)(3)(b), 6-6(P)(3)(c), 6-6(P)(3)(d), 6-6(P)(3)(e), 6-6(P)(3)(f), 6-6(P)(3)(g), 6-6(P)(3)(h), and 6-6(P)(3)(i). Criteria 6-6(P)(3)(j) does not appear to be applicable.



Jolene Wolfley
March 28, 2022
Page 2

Thank you for your consideration of this request.

Sincerely,

A handwritten signature in blue ink that reads "Ron Burstein". The signature is fluid and cursive, with the first name "Ron" being more prominent than the last name "Burstein".

Ron Burstein, AIA, CCS
Sr. Principal | Sr. Architect

cc:

Enclosures: Drawings

File: \\a-sswa-fs\projects\2130 charles schwab office\80-archived submittals\6-drb\2_sidewalk waiver submittal\04_justification letter.docx





March 28, 2022

Re: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE

Dear Property Owner:

Studio Southwest Architects (Studio SW), agent for Uptown Tower LLC, is requesting a sidewalk width waiver for the sidewalk on the east side of Louisiana Blvd NE in front of the proposed office building at 2440 Louisiana Blvd NE at the DRB hearing scheduled for 9 am on March 30, 2022. Project number: PR-2019-003021. The request is to reduce the required sidewalk width from 10 feet to an average of 9 feet due to existing obstructions (curb, retaining wall, and traffic control devices) adjacent to the sidewalk.

The development is located just west of the existing Lewis University and is shown on the H-19-Z of the zoning atlas. See attached page.

Albuquerque's Integrated Development Ordinance requires a public meeting for site plan amendments such as this. That meeting will be held via Zoom, and can be attended via:

Join Zoom Meeting

<https://cabq.zoom.us/j/89822269453>

Dial by your location

+1 346 248 7799 US (Houston)

Meeting ID: 898 2226 9453

Find your local number: <https://cabq.zoom.us/j/ksx9l11sx>

Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4(D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/devhelp@cabq.gov> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at or 505.924.3955.

You may contact Studio SW for any additional information.

Ron Burstein
Studio Southwest Architects, Inc.
2101 Mountain Road NW
Albuquerque NM 87104
(505) 843-9639



Sincerely,



Ron Burstein, AIA, CCS
Sr. Principal | Sr. Architect
Agent for Uptown Tower LLC

Attachment: Zone Map H-19-Z
Buffer Map
Exhibit Drawing

File: \\a-sswa-fs\projects\2130 charles schwab office\80-archived submittals\6-drb\2_sidewalk waiver submittal\backup\sidewalk waiver ltr.docx



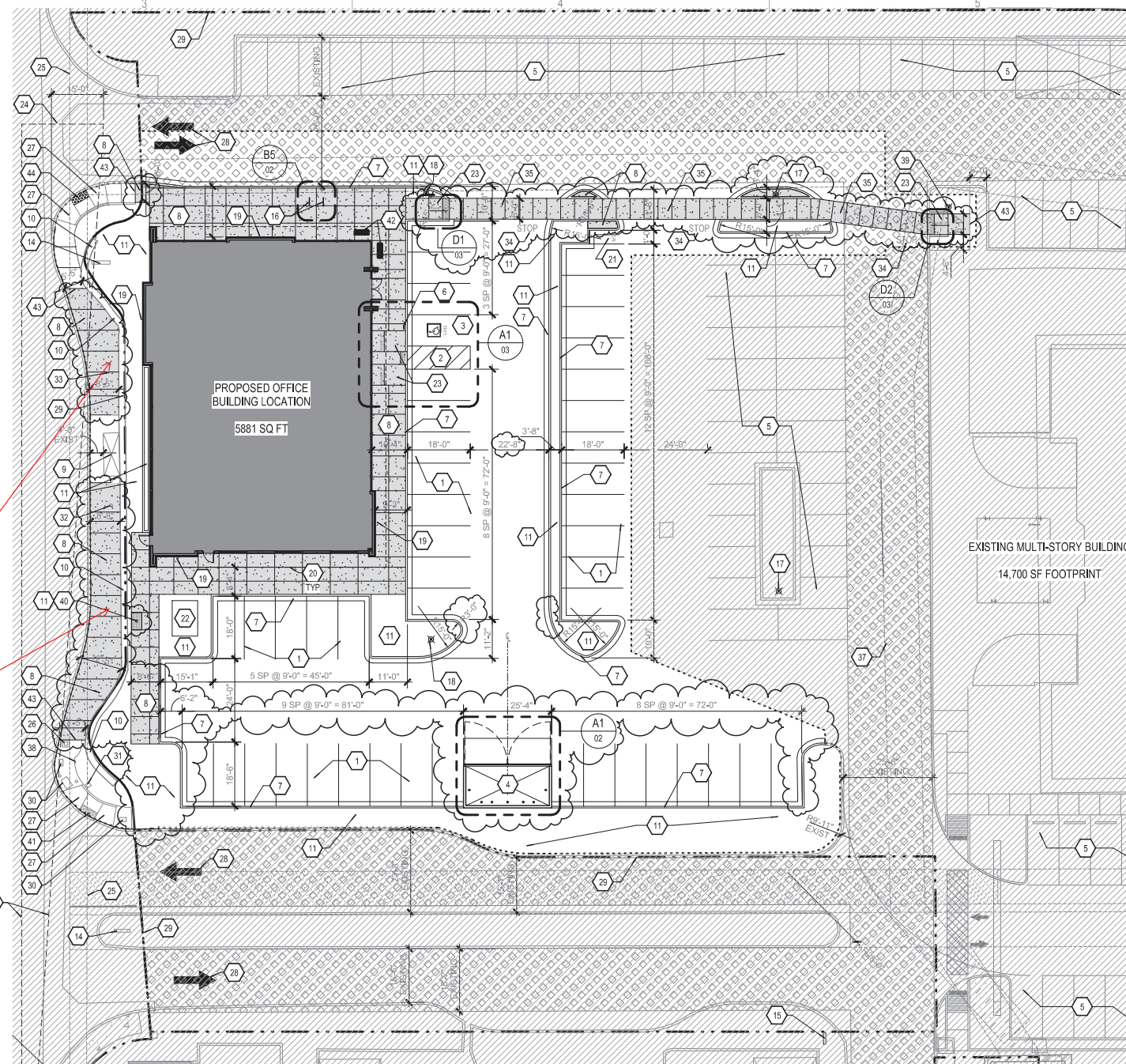
3/24/2022 4:07:56 PM

KEYED NOTES

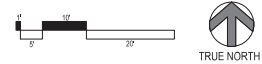
- 1 PAINTED PARKING STRIPING (4-INCH WIDE), COLOR: WHITE, SEE SITE DETAIL A1/03
- 2 PAINTED HANDICAP PARKING STRIPING, SEE INDICATED ENLARGED PLAN.
- 3 PAINTED ADA SPACE SIGN, SEE INDICATED ENLARGED PLAN.
- 4 NEW TRASH ENCLOSURE, SEE INDICATED ENLARGED PLAN.
- 5 EXISTING PAVING TO REMAIN. PARKING SPACES ARE CROSS EASEMENT SPACES
- 6 ACCESSIBLE PARKING SIGNAGE, SEE INDICATED ENLARGED PLAN.
- 7 6" CONCRETE CURB AND GUTTER-SEE SITE DETAILS C2/03 & C3/03, RE: CIVIL
- 8 NEW CONCRETE PAVING
- 9 EXISTING BUS STOP, CONCRETE PAVING, BENCH SEATING AND TRASH RECEPTACLE TO REMAIN
- 10 EXISTING RETAINING WALL TO REMAIN
- 11 LANDSCAPING AREA, SEE LANDSCAPE PLAN.
- 14 EXISTING MONUMENT SIGN
- 15 NEW DIRECTIONAL MONUMENT SIGN
- 16
- 17 EXISTING LIGHT POLE
- 18 NEW 20'-0" LIGHT POLE, SEE D1/02
- 19 BUILDING MOUNTED SIGNAGE - SEE SHEET 08
- 20 NEW CONTROL JOINTS AND EXPANSION JOINTS FOR NEW SIDEWALK, SEE SITE DETAIL A3/03
- 21 MOTORCYCLE PARKING, SEE A3/02 FOR SIGNAGE
- 22 ELECTRICAL TRANSFORMER
- 23 NEW SIDEWALK RAMP, SEE INDICATED ENLARGED PLAN.
- 24 SITE TRIANGLE
- 25 DRY UTILITY EASEMENT
- 26 EXISTING TRAFFIC LIGHT
- 27 EXISTING SIDEWALK RAMP
- 28 ROADWAY ARROW, SEE A2/03
- 29 PROPERTY LINE
- 30 EXISTING UTILITY BOX
- 31 EXISTING CROSS WALK SIGN
- 32 EXISTING STREET LIGHT SIGN TO REMAIN
- 33 EXISTING BUS STOP SIGN TO REMAIN
- 34 "STOP" PAINTED IN 12" TALL LETTERS
- 35 NEW 6' WIDE ADA WALKWAY TO ENCOURAGE PEDESTRIAN ACCESS
- 37 EXISTING UNDERGROUND EASEMENT
- 38 EXISTING SPEED LIMIT SIGN
- 39 EXISTING FIRE HYDRANT
- 40 NEW TREE GRATE
- 41 EXISTING DETECTABLE WARNING SURFACE
- 42 NEW 4 FT BENCH
- 43 CONNECTIONS TO EXISTING SIDEWALK, SEE C3/03
- 44 NEW DETECTABLE WARNING SURFACE

SIDEWALK WIDTH WAIVER REQUEST AREA

LOUISIANA BLVD



A2 SITE PLAN
1" = 20'-0"



PROJECT NUMBER: 10-10042

Application Number: SA-2022-00308

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hyrtmlogy	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
<i>John M. Wilson (Acces)</i>	3/24/22
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary

BUILDING AREAS

GROSS BUILDING AREA
5881 SF

PARKING INFORMATION

REQUIRED
5,881 SF BUILDING (OFFICE)
3.5/1000 SF = 21 SPACES
PER NM BUILDING CODE 2015 TABLE 1106.1:
1-25 PARKING SPACES = 1 ACCESSIBLE SPACE (1 VAN)
PER IDO TABLE 5-5.4, 1 MOTORCYCLE PARKING SPACE IS REQUIRED
PER IDO TABLE 5-5.5, 3 BICYCLE PARKING SPACES REQUIRED
PROVIDED
21 SPACES (1 ACCESSIBLE)
1 MOTORCYCLE SPACE
3 BICYCLE PARKING SPACES
21 SPACES ARE RESERVED FOR THE OFFICE BUILDING. THOSE SPACES INCLUDE:
-THE 12 SPACES EAST OF THE BUILDING
-THE 5 SPACES SOUTH OF THE BUILDING
-THE 5 SPACES IN THE SW CORNER OF THE SITE
ADDITIONAL PARKING SPACES ARE SHARED PARKING SPACES

GENERAL NOTES

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND COA ZONING CODE.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE, AND UTILITY INFORMATION.
- C. SIGNS: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDING.
- D. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- E. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER COA STD DWGS, #2426.
- F. ALL CURBS TO BE DESIGNED AND BUILT TO ACCORDING TO THE COA STANDARDS, CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHERE POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- G. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- H. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- I. OWNER WILL BE RESPONSIBLE FOR THE PROPOSED/EXISTING LANDSCAPING IN THE RIGHT OF WAY.
- J. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THIS AREA

LEGEND

	PROPOSED NEW BUILDING
	NEW CONCRETE PAVING
	EXISTING CONSTRUCTION TO REMAIN - BEYOND
	EXISTING EASEMENTS
	PROPERTY LINE
	LIMITS OF CONSTRUCTION
	EXISTING CONSTRUCTION, TYP
	NEW CONSTRUCTION, TYP

VICINITY MAP



2101 Mountain Road NW Suite B | Albuquerque NM 87104
505-843-9639 | www.studioswarch.com

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CONSULTANTS

DRB SUBMITTAL

Architect: Ron Burstein
Engineer: Ron Burstein

STATE OF NEW MEXICO REGISTERED PROFESSIONAL ARCHITECT
RONALD BURSTEIN
No. 2057

Digitally signed by Ron Burstein
DN: c=US, E=burstein@studioswarch.com, O=Studio Southwest Architects Inc., OU=Ron Burstein, Date: 2022.03.24 16:13:31-0600

OFFICE BUILDING SHELL

2440 Louisiana Boulevard NE
ALBUQUERQUE, NM 87110

No	Date	DRB REVISIONS Description
1	2022-03-25	DRB SUBMITTAL

Revision Schedule

ISSUE: DRB SUBMITTAL
PROJECT NUMBER: 2130
FILE: 2130 Office Building
DRAWN BY: Author
CHECKED BY: Checker
DATE: FEBRUARY 25, 2022

SHEET TITLE
SITE DEVELOPMENT PLAN

Steven Mattern

From: Ron Burstein
Sent: Monday, March 28, 2022 3:30 PM
To: Steven Mattern
Cc: Breanna Kaitfors
Subject: FW: Menaul & Louisiana Neighborhood Meeting Inquiry Sheet Submission
Attachments: 02_IDOZoneAtlasPage_H-19-Z.pdf

Is this was you were waiting for?

Ron Burstein, AIA, CCS | President | Senior Architect

Studio Southwest Architects
505-843-9639 p | 505-385-3415 c

AIA NM 2020 Firm of the Year
AIA NM Merit Award Recipient – New Mexico School for the Arts
ENR Southwest Best Project Recipient (K-12) – New Mexico School for the Arts



From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Monday, March 28, 2022 3:23 PM
To: Ron Burstein <RBurstein@studioswarch.com>
Subject: Menaul & Louisiana Neighborhood Meeting Inquiry Sheet Submission

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address
District 7 Coalition of Neighborhood Associations	Tyler	Richter	tyler.richter@gmail.com	801 Ma
District 7 Coalition of Neighborhood Associations	Darcy	Bushnell	dmc793@gmail.com	2017 Al
ABQ Park NA	Shirley	Lockyer	shirleylockyer@gmail.com	7501 Sk
ABQ Park NA	Steve	Randall	srandall52@comcast.net	7424 Ar
Alvarado Park NA	Darcy	Bushnell	dmc793@gmail.com	2017 Al
Alvarado Park NA	Robert	Habiger	apna87110@gmail.com	2101 Va
Classic Uptown NA	Bert	Davenport	brt25@pm.me	2921 Sa
Classic Uptown NA	John	Whalen	johnwhalen78@gmail.com	2904 La
Inez NA	Donna	Yetter	donna.yetter3@gmail.com	2111 Ho
Inez NA	Maya	Sutton	yemaya@swcp.com	7718 Cu
Jerry Cline Park NA	Danielle	Boardman	danielle.e.boardman@outlook.com	1001 Gr
Jerry Cline Park NA	Eric	Shirley	ericshirley@comcast.net	900 Gro
Mark Twain NA	Barbara	Lohbeck	bardean12@comcast.net	1402 Ca
Mark Twain NA	Joel	Wooldridge	joel.c.wooldridge@gmail.com	1500 Ine
Quigley Park NA	Eric	Olivas	eoman505@gmail.com	2708 Va

Snow Heights NA	Julie	Nielsen	bjdniels@msn.com	8020 Be
Snow Heights NA	Laura	Garcia	laurasmigi@aol.com	1404 Ka
Winrock South NA	Virginia	Kinney		7110 Co
Winrock South NA	John	Kinney		7110 Co
Winrock Villas Condo Association	Main Office		wvcondos@comcast.net	1601 Pe
Winrock Villas Condo Association	Julie	Marr	wvcjulie@gmail.com	1601 Pe

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>



Dalaina L. Carmona
 Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov
Sent: Monday, March 28, 2022 11:28 AM
To: Office of Neighborhood Coordination <rburstein@studioswarch.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Waiver - IDO for sidewalk variance

Contact Name

Ron Burstein

Telephone Number

505-843-9639

Email Address

rburstein@studioswarch.com

Company Name

Company Address

City

State

ZIP

Legal description of the subject site for this project:

Physical address of subject site:

Subject site cross streets:

Menaul & Louisiana

Other subject site identifiers:

This site is located on the following zone atlas page:

H-19-Z

Captcha

x

From: [Breanna Kaitfors](#)
To: danielle.e.boardman@outlook.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:12:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Sidewalk Waiver Submittal.zip](#)

Dear Property Owner:

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Join Zoom Meeting

<https://cabq.zoom.us/j/89822269453>

Dial by your location

+1 346 248 7799 US (Houston)

Meeting ID: 898 2226 9453

Find your local number: <https://cabq.zoom.us/u/ksx9l11sx>

Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4(D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/devhelp@cabq.gov> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at or 505.924.3955.

You may contact Studio SW for any additional information:

Ron Burstein

Studio Southwest Architects, Inc.
2101 Mountain Road NW
Albuquerque NM 87104
(505) 843-9639

Thank you,

Breanna Kaitfors | Administrative Assistant



2101 Mountain Rd NW Ste B | Albuquerque, NM 87104

bkaifors@studioswarch.com

505-843-9639 p

2021 ENR Southwest Best Project (Government/Public Bldg) – Santa Fe County Admin. Historic Restoration

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2021 TxA Design Award – New Mexico School for the Arts

AIA NM 2020 Firm of the Year



From: [Breanna Kaitfors](#)
To: dmc793@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:12:00 AM
Attachments: [image002.png](#)
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bkaifors@studioswarch.com

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2021 TxA Design Award – New Mexico School for the Arts

AIA NM 2020 Firm of the Year



From: [Breanna Kaitfors](#)
To: ["brt25@pm.me"](mailto:brt25@pm.me)
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:11:00 AM
Attachments: [image002.png](#)
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From: [Breanna Kaitfors](#)
To: laurasmigi@aol.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:10:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Sidewalk Waiver Submittal.zip](#)

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bkaifors@studioswarch.com

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From: [Breanna Kaitfors](mailto:apna87110@gmail.com)
To: apna87110@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:11:00 AM
Attachments: [image002.png](#)
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Breanna Kaitfors | Administrative Assistant



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bkaifors@studioswarch.com

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AIA NM 2020 Firm of the Year



From: [Breanna Kaitfors](#)
To: shirleylockyer@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:11:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
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From: [Breanna Kaitfors](mailto:breanna.kaitfors@studio-sw.com)
To: bardean12@comcast.net
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:12:00 AM
Attachments: [image002.png](#)
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(505) 843-9639

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Breanna Kaitfors | Administrative Assistant



2101 Mountain Rd NW Ste B | Albuquerque, NM 87104

bkaifors@studioswarch.com

505-843-9639 p

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2021 TxA Design Award – New Mexico School for the Arts

AIA NM 2020 Firm of the Year



From: [Breanna Kaitfors](#)
To: wvcjulie@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:10:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
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From: [Breanna Kaitfors](#)
To: ["bjdniels@msn.com"](mailto:bjdniels@msn.com)
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:10:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
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From: [Breanna Kaitfors](mailto:Breanna.Kaitfors@cityofalbuquerque.gov)
To: eoman505@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:10:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
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From: [Breanna Kaitfors](#)
To: srandall52@comcast.net
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:11:00 AM
Attachments: [image002.png](#)
[image003.png](#)
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From: [Breanna Kaitfors](#)
To: tyler.richter@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:08:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Sidewalk Waiver Submittal.zip](#)

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Albuquerque's Integrated Development Ordinance requires a public meeting for site plan amendments such as this. That meeting will be held via Zoom, and can be attended via:

Join Zoom Meeting

<https://cabq.zoom.us/j/89822269453>

Dial by your location

+1 346 248 7799 US (Houston)

Meeting ID: 898 2226 9453

Find your local number: <https://cabq.zoom.us/u/ksx9l11sx>

Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4(D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/devhelp@cabq.gov> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at or 505.924.3955.

You may contact Studio SW for any additional information:

Ron Burstein

Studio Southwest Architects, Inc.
2101 Mountain Road NW
Albuquerque NM 87104
(505) 843-9639
Thank you,

Breanna Kaitfors | Administrative Assistant



2101 Mountain Rd NW Ste B | Albuquerque, NM 87104

bkaifors@studioswarch.com

505-843-9639 p

2021 ENR Southwest Best Project (Government/Public Bldg) – Santa Fe County Admin. Historic Restoration

2021 CPRC Architectural Heritage Award – Santa Fe County Admin. Building, Restoration

2021 TxA Design Award – New Mexico School for the Arts

AIA NM 2020 Firm of the Year



From: [Breanna Kaitfors](#)
To: ericshirley@comcast.net
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:11:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Sidewalk Waiver Submittal.zip](#)

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From: [Breanna Kaitfors](#)
To: yemaya@swcp.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:11:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
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[Sidewalk Waiver Submittal.zip](#)

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AIA NM 2020 Firm of the Year



From: [Breanna Kaitfors](mailto:Breanna.Kaitfors)
To: johnwhalen78@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:12:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Sidewalk Waiver Submittal.zip](#)

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From: [Breanna Kaitfors](#)
To: wvcondos@comcast.net
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:10:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Sidewalk Waiver Submittal.zip](#)

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From: [Breanna Kaitfors](mailto:Breanna.Kaitfors)
To: joel.c.wooldridge@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:11:00 AM
Attachments: [image002.png](#)
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From: [Breanna Kaitfors](#)
To: donna.yetter3@gmail.com
Subject: Sidewalk Width Waiver for Office Building Project at 2440 Louisiana Blvd NE
Date: Tuesday, March 29, 2022 9:12:00 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
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(505) 843-9639

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Breanna Kaitfors | Administrative Assistant



2101 Mountain Rd NW Ste B | Albuquerque, NM 87104

bkaifors@studioswarch.com

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[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: March 28, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: N/A

Name of NA Representative*: N/A

Email Address* or Mailing Address* of NA Representative¹: N/A

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: rburstein@studioswarch.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date. **Dial by your location**

+1 346 248 7799 US (Houston)

Meeting Date / Time / Location:

April 6, 2022 / 9 A.M. / Zoom Meeting

Meeting ID: 898 2226 9453

Join Zoom Meeting

Find your local number:

https://cabq.zoom.us/j/89822269453

https://cabq.zoom.us/j/89822269453

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2440 Louisiana Blvd NE
Location Description On Louisiana, between Menaul Blvd and Prospect Pl
2. Property Owner* Uptown Tower LLC
3. Agent/Applicant* [if applicable] Ron Burstein with Studio Southwest Architects
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Sidewalk waiver to reduce required 10' sidewalk to 9' due to existing obstructions

5. This type of application will be decided by*: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found*⁴:
See attached

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ H-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

Existing obstructions are preventing the expansion of the existing 6' sidewalk to the required 10' width. This waiver is requesting a width of 9' instead

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 1.2137 acres
 - b. IDO Zone District MX-H
 - c. Overlay Zone(s) [if applicable] NA
 - d. Center or Corridor Area [if applicable] Uptown Urban Center
 - 2. Current Land Use(s) [vacant, if none] parking lot
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: **Waiver - IDO Sidewalk Waiver**

Decision-making Body: **DRB**

Pre-Application meeting required: Yes No

Neighborhood meeting required: Yes No

Mailed Notice required: Yes No

Electronic Mail required: Yes No

Is this a Site Plan Application: Yes No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: **2440 Louisiana Blvd NE**

Name of property owner: **Uptown Tower, LLC** Join Zoom Meeting
<https://cabq.zoom.us/j/89822269453>

Name of applicant: **Ron Burstein** Dial by your location
+1 346 248 7799 US (Houston)

Date, time, and place of public meeting or hearing, if applicable:
Wednesday, April 6, 2022 9am via Zoom Meeting ID: 898 2226 9453
Find your local number: <https://cabq.zoom.us/j/89822269453>

Address, phone number, or website for additional information:
505-843-9639, rburstein@studioswarch.com Meeting ID: 898 2226 9453
Find your local number: <https://cabq.zoom.us/j/89822269453>

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

Zone Atlas page indicating subject property.


Drawings, elevations, or other illustrations of this request.

NA Summary of pre-submittal neighborhood meeting, if applicable.

Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 Digitally signed by Ron Burstein
DN: C=US, E=rburstein@studioswarch.com,
O=Studio Southwest Architects Inc., CN=Ron
Burstein
Date: 2022.03.28 14:27:49-06'00' _____ (Applicant signature) March 28, 2022 _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



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PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov
Sent: Monday, March 28, 2022 11:28 AM
To: Ron Burstein <RBurstein@studioswarch.com>
Cc: ONC@cabq.gov
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Waiver - IDO for sidewalk variance

Contact Name

Ron Burstein

Telephone Number

505-843-9639

Email Address

rburstein@studioswarch.com

Company Name

Company Address

City

State

ZIP

Legal description of the subject site for this project:

Physical address of subject site:

Subject site cross streets:

Menaul & Louisiana

Other subject site identifiers:

This site is located on the following zone atlas page:

H-19-Z

Captcha

x