Albuquerque



DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

Please check the appropriate box and refer to se	upplemental forms for su	ubmittal requirements. All fe	es must be paid at the time of application.		
Administrative Decisions	Decisions Requiring a F	Public Meeting or Hearing	Policy Decisions		
Archaeological Certificate (Form P3)	□ Site Plan – EPC includ (Form P1)	ling any Variances – EPC	□ Adoption or Amendment of Comprehensive Plan or Facility Plan (<i>Form Z</i>)		
□ Historic Certificate of Appropriateness – Minor (Form L)	Master Development F	Plan <i>(Form P1)</i>	□ Adoption or Amendment of Historic Designation (Form L)		
□ Alternative Signage Plan (Form P3)	(Form L)				
Archaeological Certificate (Form P3) Site Plan - EPC in (Form P1) I Historic Certificate of Appropriateness - Minor orm L) Master Development Alternative Signage Plan (Form P3) Historic Certificate (Form L) Minor Amendment to Site Plan (Form P3) Demolition Outside (Form L) Minor Amendment to Site Plan (Form P3) Demolition Outside (Form W1) WIF Approval (Form W1) Historic Design State (Form W2) PPLICATION INFORMATION oplicant: (Demolition Outside of	HPO (Form L)	□ Annexation of Land (Form Z)		
WTF Approval (Form W1)	Historic Design Standa	ards and Guidelines (Form L)	Amendment to Zoning Map – EPC (Form Z)		
	Wireless Telecommun (Form W2)	ications Facility Waiver	Amendment to Zoning Map – Council (Form Z)		
			Appeals		
			\Box Decision by EPC, LC, ZHE, or City Staff (Form A)		
APPLICATION INFORMATION	1				
Applicant: City of ALBUDARD	E-DMD/A	thony Villaneva)	Phone: 505.796.2616		
Address: One Civic PLAZA	Fill Fiber		Email: AVI DANUEVA (PCABO GON		
City: ALBA-		State: NM.	Zip: 87102		
Professional/Agent (if any): LEE GAME	SKy Architects.	P.C .	Phone 842.8865		
	1 1		Email: lee @ Igan . Lon		
City: ABO.		State: NM .	Zip: 87106		
Proprietary Interest in Site: Archited		List all owners: C.ty of	- ALBOV.		
BRIEF DESCRIPTION OF REQUEST			Los Contractores Contractores		
Modify Previously Approved	Sote PLAN. 7	A fourtand A	new Lockerson \$106,		
1 7,971 GSF.					
SITE INFORMATION (Accuracy of the existing le	gal description is crucia	Il Attach a separate sheet if	necessary.)		
Lot or Tract No .: 13 BULK LAnd MD.	5 TRACT 1-15	Block:	Unit:		
Subdivision/Addition:		MRGCD Map No.:	UPC Code: 01505125328420101		
Zone Atlas Page(s): R 15	Existing Zoning: N	R-PO-C	Proposed Zoning: NR-PO-C		
# of Existing Lots:	# of Proposed Lots:		Total Area of Site (acres): (29 Ac.		
LOCATION OF PROPERTY BY STREETS					
Site Address/Street: 560 University But	SPBetween: Univer	in	and: ISleta Amphitheorre.		
CASE HISTORY (List any current or prior project	and case number(s) that	at may be relevant to your re			
51-2019-00365	Approved 27	April 2020	The second second second		
Signature: L. Gala			Date: 11 April 2022		
Printed Name: LEE GAMEN	-SKY		Applicant or Agent		
FOR OFFICIAL USE ONLY			the state of the s		
Case Numbers Action	Fees	Case Numbers	Action Fees		
Meeting/Hearing Date:			Fee Total:		

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to <u>PLNDRS@cabg.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.



INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
 - Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN - ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

____ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)

- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- ____ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ___ Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
 Required notices with content per IDO Section 14-16-6-4(K)
- __Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ____ Sign Posting Agreement

□ ALTERNATIVE LANDSCAPE PLAN

____ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16) Landscape Plan

LEE GAMELSKY ARCHITECTS P.C.

11 April 2022

COA Planning Department Mr. James Aranda 601 Second Street NW Albuquerque, NM 87102

RE: Administrative Amendment Locker Room at Mesa del Sol BP-2021 – 53855 Letter of Justification

Mr. Aranda or to whom it may concern;

This letter is provided as our LETTER OF JUSTIFICATION FOR AN ADMINISTRATIVE AMENDMENT for the above referenced project.

The proposed building is for a Locker Room and Team Offices for the NM United Team, located on the west side of the existing Practice Field.

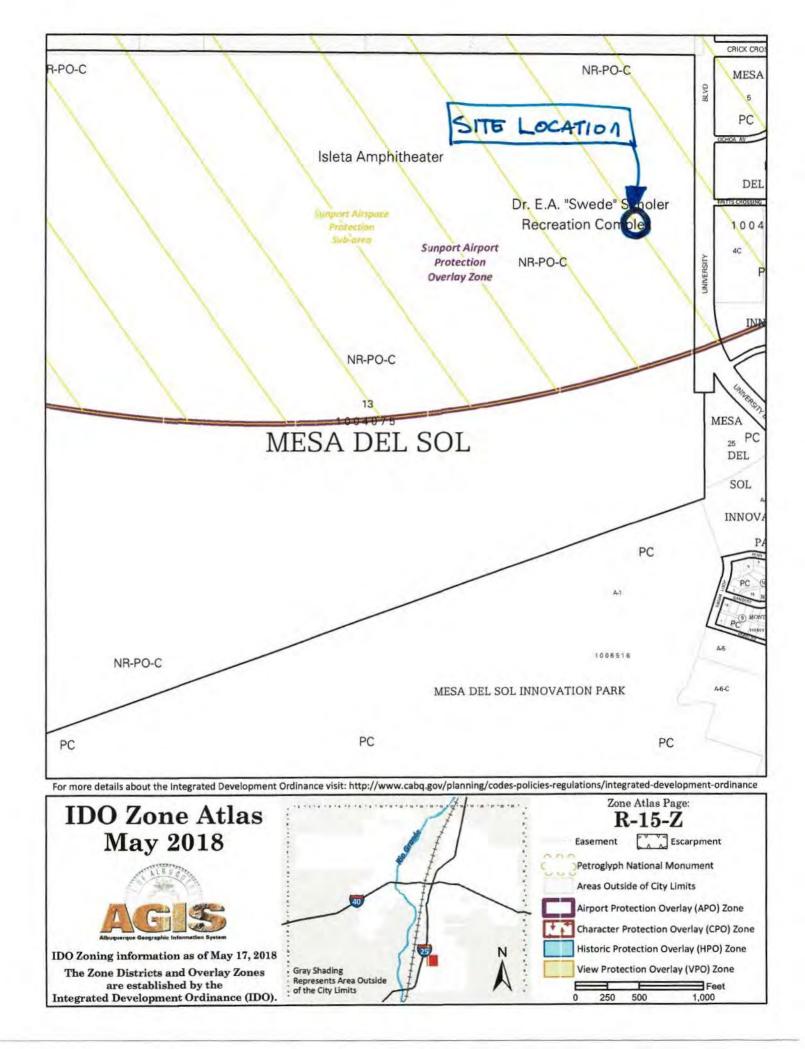
The proposed building is located at the same location as the previously approved ADMINISTRATIVE AMENDMENT illustrating a Clubhouse -Locker Room as submitted by Dekker Perich Sabatini Architects (DPS), Project No. PR-2019-003069, Case No.: SI-2019-00365, Approved: 27 April 2020.

Our proposed building is significantly smaller than the previously approved DPS Project. It is under 8,000 GSF. The Mesa del Sol Architectural Review Committee has reviewed and approved the building design, and the attached exterior elevations reflect the changes they requested.

If you have any questions or comments, please contact me.

Sincerely,

Lee Gamelsky AIA, Principal, LEED AP BD+C



From:	Villanueva, Anthony V.
To:	Lee Gamelsky
Subject:	RE: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment
Date:	Thursday, April 7, 2022 12:24:42 PM

I confirm

From: Lee Gamelsky <lee@lganm.com>
Sent: Thursday, April 07, 2022 12:24 PM
To: Villanueva, Anthony V. <avillanueva@cabq.gov>
Cc: Lee Gamelsky <lee@lganm.com>
Subject: RE: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Please say you confirm .

Lee Gamelsky AIA, LEED AP BD + C Lee Gamelsky Architects P.C. 2412 Miles Rd. SE Albuquerque, NM 87106 505.842.8865 <u>lee@lganm.com</u> <u>www.lganm.com</u>

From: Villanueva, Anthony V. <<u>avillanueva@cabq.gov</u>>
Sent: Thursday, April 7, 2022 12:20 PM
To: Lee Gamelsky <<u>lee@lganm.com</u>>
Subject: RE: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment



Anthony Villanueva Construction Project Manager O: 505.768.3826 C: 505.796.2616 cabq.gov/dmd

From: Lee Gamelsky <<u>lee@lganm.com</u>> Sent: Thursday, April 07, 2022 12:00 PM To: Villanueva, Anthony V. <<u>avillanueva@cabq.gov</u>> Cc: Lee Gamelsky <<u>lee@lganm.com</u>> Subject: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

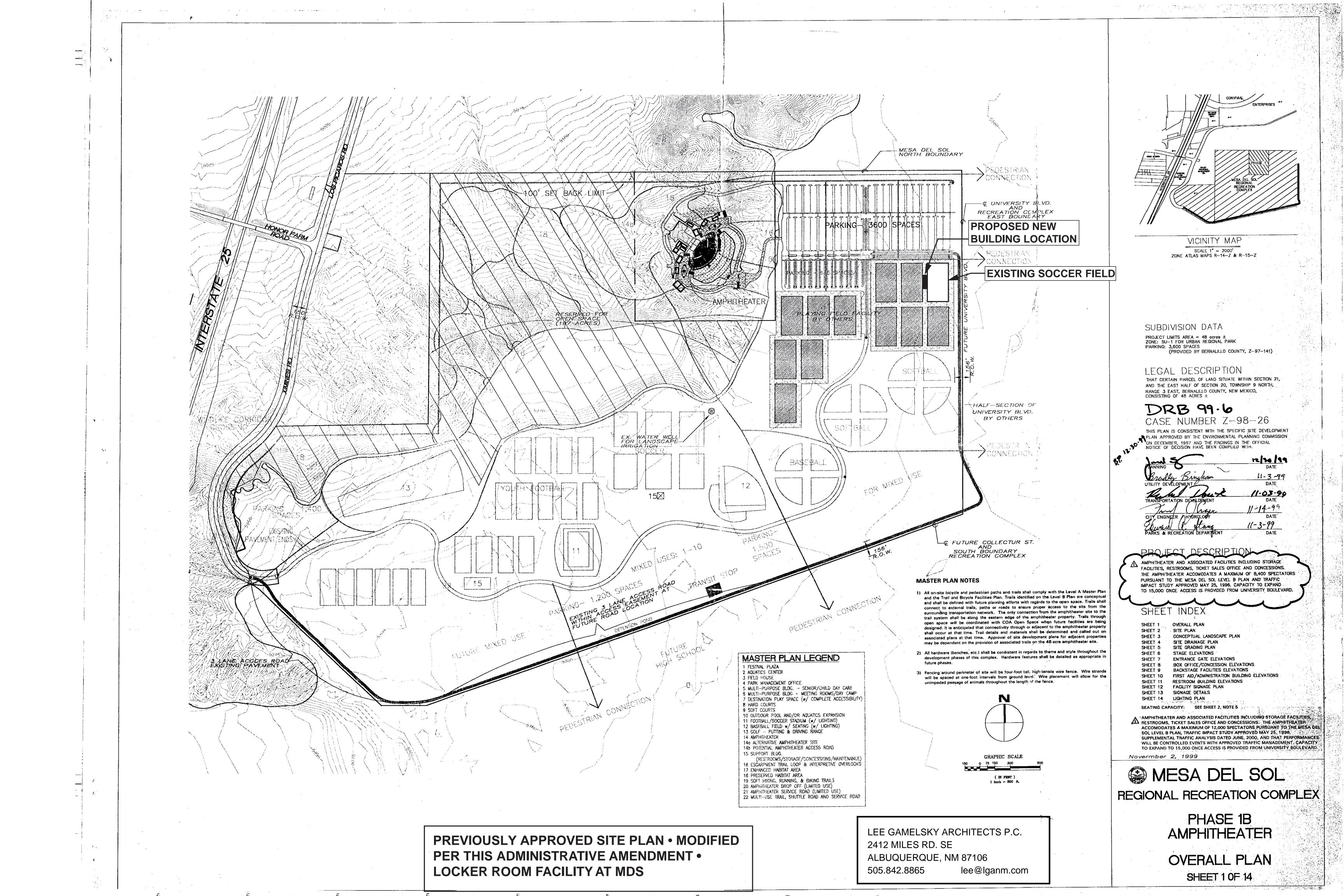
Anthony,

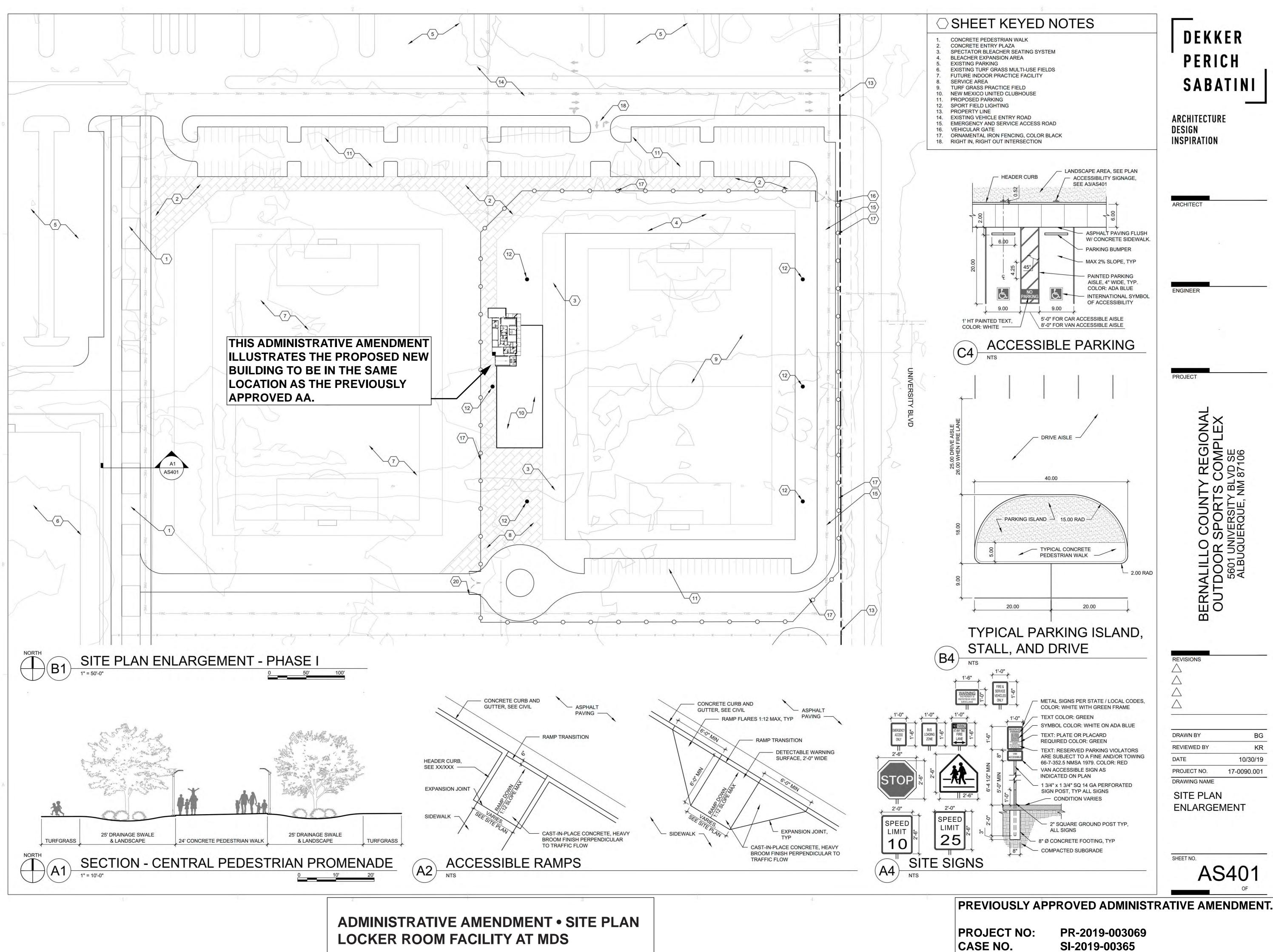
Please send me an email with your title / department name etc. that :

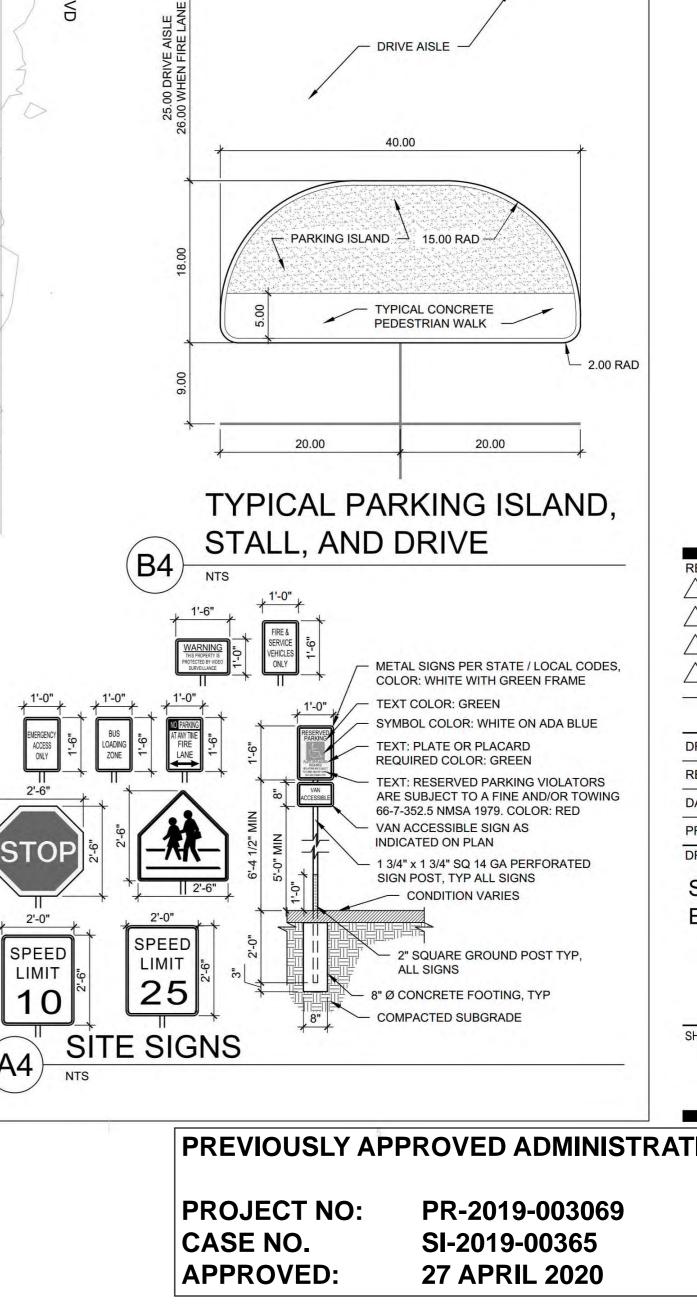
LEE GAMELSKY ARCHITECTS P.C. is the authorized representative for the CITY OF ALBUQUERQUE FOR THE LOCKER ROOM PROJECT AT MESA DEL SOL.

THANK YOU.

Lee Gamelsky AIA, LEED AP BD + C Lee Gamelsky Architects P.C. 2412 Miles Rd. SE Albuquerque, NM 87106 505.842.8865 lee@lganm.com www.lganm.com



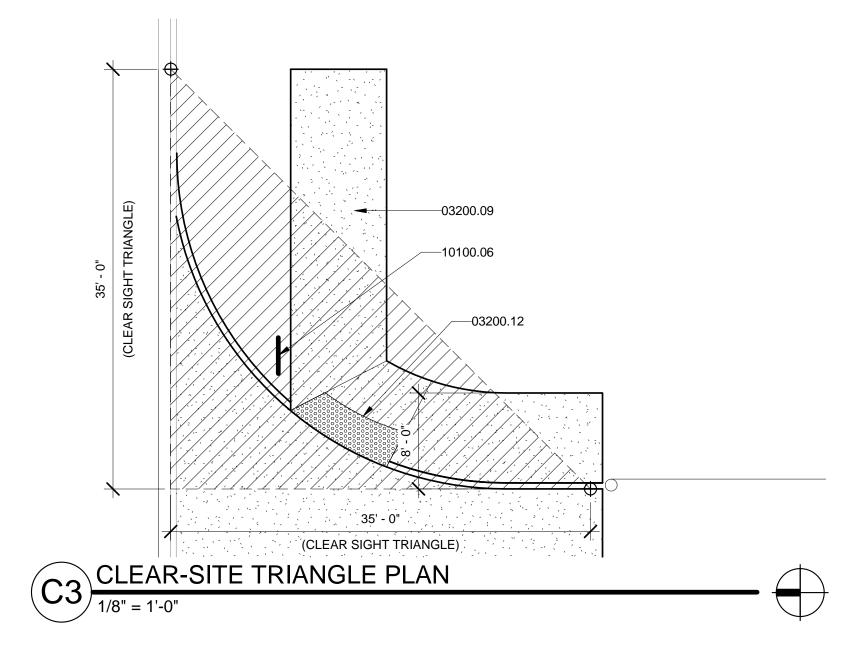




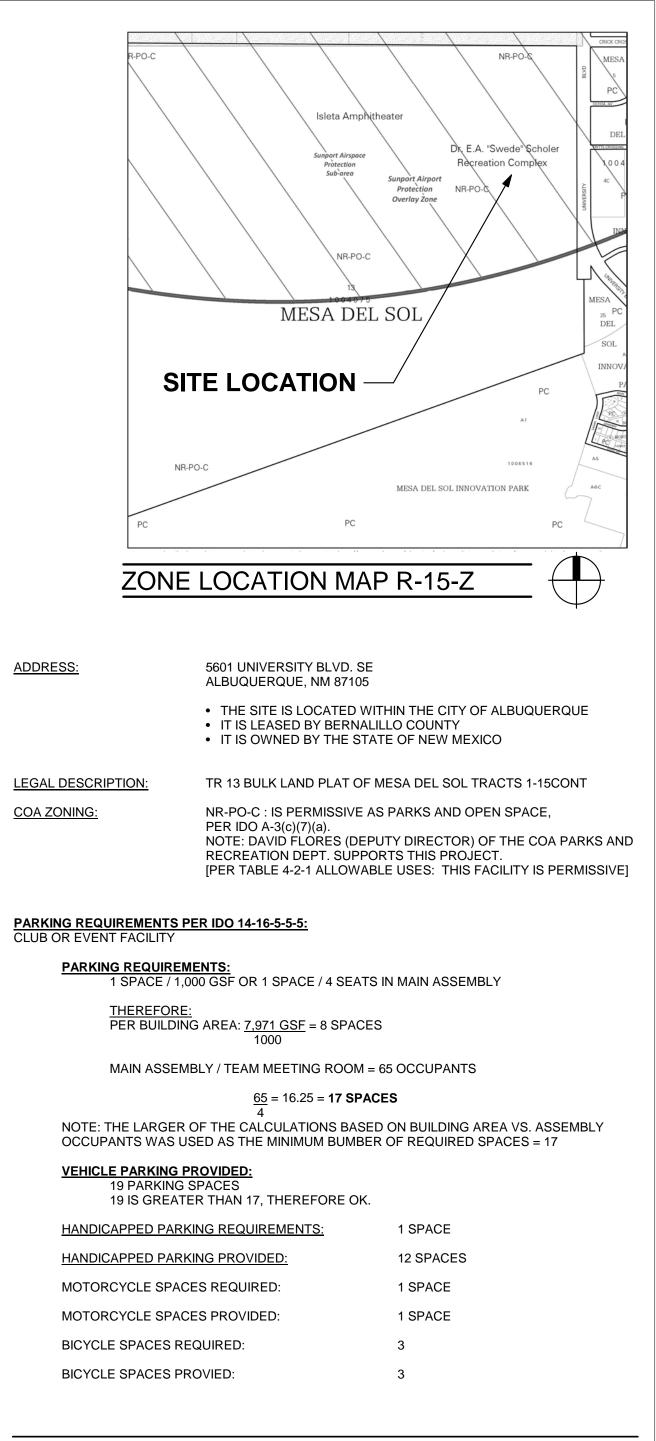












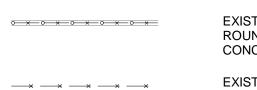
KEYED NOTES

03200.09 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430. 03200.12 CONCRETE ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 AND 2441.

10100.06 STOP SIGN (R1-1) AND NO LEFT TURN SIGN (R3-1) PER MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS RED, BORDER AND LETTERING ARE WHITE.

NO.	DATE	REVISIONS		CHECKED BY:
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	CT ARCH		LGA Project #:	20-01-ABQ.7
LEE (GAMEL	SKY, AIA	Date:	3.25.2022
OVE	RALL	RATIVE AMENDMENT • SITE PLAN ROOM FACILITY AT MDS	6	
By:			Sheet:	Of: 81
File:			AA-A	4S-1

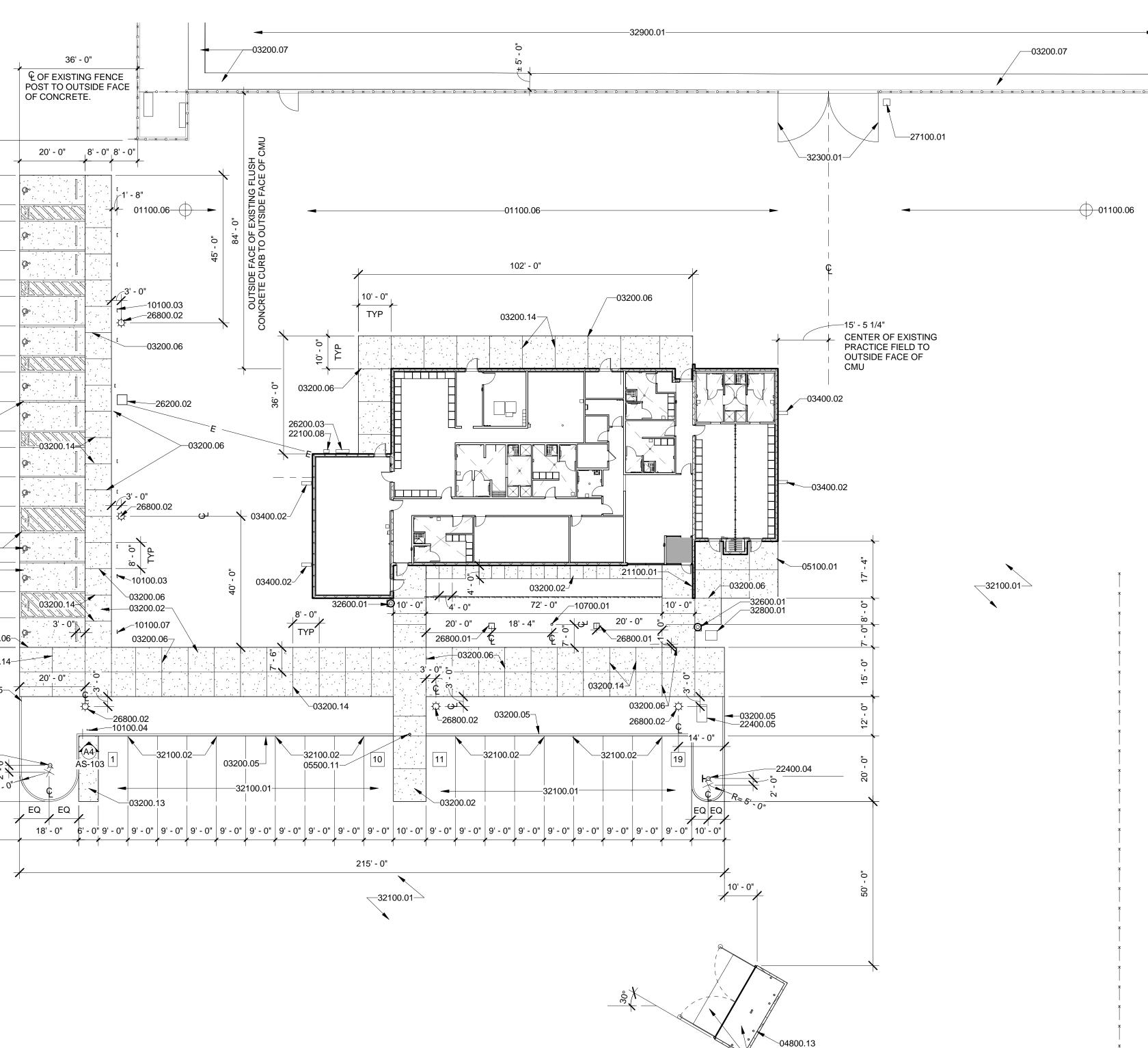




-32100.01-OF CONCRETE. **-**T 26200.01- \simeq **~**32100.03[⊥] ō 0 - 7 1/2" SIDE FACE OF NEW C 144' - 0" ~" _____5' - 0" ____9 32100.05 TYP G 03200.14 10 (Gr Ū _0 - 0 32100.04 • 03200.13 0 TYP 03200.14 _____32100.01_ 3' - 0" 9' - 0" 03200.06-02200.01-\ ЕXI 10' - 0" 8' - 0" ACE OF 03200.14---03200.08 20' - 0" 03200.05--03200.09 Ť Ш 03200.11 OUTSI 47' - 0" 22400.04 -10100.06 2. - 0. -03200.12 <u>___</u>g R=9'-0"-18' - 0" -± 71' - 6 15/16" .18' - 0" 36' - 0" 110' - 0" 02200.01 40' - 0" $(\mathbf{x}_{1}, \mathbf{y}_{2}, \mathbf{y}_{1}, \mathbf{y}_{2}, \mathbf{y$ -32300.02 \bigcirc ____32100.01___ 03200.10— -03200.12 "0 -35' 02200.01-03200.11 -03200.09 -32100.03 03200.08 10' - 0" 8' - 0" A1 SITE PLAN-AA

EXISTING 6'-0" HIGH CHAIN LINK FENCE W/ ROUND POSTS, CENTERED ON 1'-0" WIDE CONCRETE CURB. TO REMAIN.

EXISTING WIRE FENCE W/ STEEL POSTS. TO REMAIN.



0'

40'

-03200.19

GENERAL NOTES

EXTERIOR LIGHTS AND LIGHT POLES SHALL BE INSTALLED NO TALLER THAN 18' ABOVE GRADE. LIGHT FISTURES SHALL COMPLY WITH THE NIGHT SKY ORDINANCE, AND SHALL COMPLY WITH THE REQUESTS OF KIRTLAND AFB AND/ OR THE DEPARTMENT ON ENERGY.

01100.00 FUTURE BLACHER LOCATION NOT PART OF THIS CONTRACT. 0220.01 SWUTP REMOVE SISTING CUER AND OUTTER FOR NEW CUER BUT. 21 THICK 4000 PSI, AR-ENTRAINED CONCRETE SLABSIDEWALK REINFORCE WTH 22 THICK 4000 PSI, AR-ENTRAINED CAST IN PLACE CONCRETE HEADER CUER MODIFIED CITY OF 0220.06 0100 PSI, AR-ENTRAINED CAST IN PLACE CONCRETE HEADER CUER MODIFIED CITY OF 0220.06 12 THICK EXPANSION MATERIAL, WITH POUR IN PLACE SEALANT. ASPHALT 0220.00 12 THICK EXPANSION MATERIAL, WITH POUR IN PLACE SEALANT. ASPHALT 0220.00 12 THICK EXPANSION MATERIAL, WITH POUR IN PLACE SEALANT. ASPHALT 0220.00 CONCRETE FAXING DUB STALL DWC. 2430. TRAINARD SECEFICATION. REFERENCE ON THE TO THE TOTEMAIN. 0220.01 CONCRETE FAXING DUB CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFERENCE ON TOTY STANDARD DETAIL 2436. TRAINARD DWGS. 2440 0220.01 CONCRETE TAXING DE AND QUTTER TARM WITH THURKACTED DOMES, PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CONSTANDARD DETAIL 2445. 0220.01 CONCRETE AVENDARD AD SPECIFICATION. REFER TO CONSTANDARD DUSCE, 2440 MODICATED DOW PLAN. 0220.01 CONCRETE CAVENDARD AD SPECIFICATION. REFER TO CONSTANDARD AND SPECIFICATION. REFER TO CONSTANDARD DUSCE. MODICATED DUSCEARD AD SPECIFICATION. REFER TO CONSTANDARD AD SPEC	01100.00 FUTURE BLACHER LOCATION. NOT PART OF THIS CONTRACT. 0320.01 SAUCUT REMOVE SEXTING CUER BONG UTTER FOR NEW CURE CUT. 0320.01 OWNELT REMOVE SEXTING CUER BONG UTTER FOR NEW CURE CUT. 0320.01 OWNELT REMOVE SEXTING CUER BONG UTTER TO REW CURE CUT. 0320.01 OWNEL SEXTING CUER BONG UTTER TO CUT. STANDARD DETAIL 2415 E 0320.01 OWNEL SEXTING CUER BONG UTTER. TO REMAN. 0320.02 OWNEL SEXTING CUER BONG UTTER. TO REMAN. 0320.01 CONCRETE FAND SMD BUTTER. TO REMAN. 0320.01 EXISTING CONCRETE PAND SMD BUTTER. TO REMAN. 0320.01 EXISTING CUER STANDARD DETAIL 2426 FOR PRIVATE ENTRANCE. 0320.01 EXISTING CUER AND SWTTER AND WITH THURACTED DONGE. FER CITY OF ALBUQUEROUE STANDARD DESCHICATION. REFER TO CONCRETE SAUGUS STANDARD DETAIL 2426 FOR PRIVATE ENTRANCE. 0320.01 EXISTING CUER AND SWTTER AND WITH THURACTED DONGE. FER CITY OF ALBUQUEROUE STANDARD DESCHICATION. REFER TO CONCRETE SUBJECONCRETE SU	KEY	ED NO	ſES		
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 EUSTING CONCRETE GURB AND GUTTER, TO REMAIN. GROUGETE SUBPAUK FRE CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL DWG. 2430. CONCRETE FAVING FER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2405 FOR PRIVATE ENTRANCE. CONCRETE FAVING PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2405 FOR PRIVATE ENTRANCE. CONCRETE ACURE NUER AND QUITER PER CITY OF ALBUQUEROUE STANDARD DWGS. 2440 AND 2441. CONCRETE ACURS BUE SIDEWARK RAMP WITH TRUNCATED DOMES. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 AND 2441. C. EACH WX. G' THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. REINFORCE WI NO.4 REBAR @ 16 00. CACH WX. G' THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. WI 344' AGGREGATE. REINFORCE W 65 1010 WIELDEW WIRE MEEH. C. EACH WX. G' THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. WI 344' AGGREGATE. REINFORCE W 65 1010 WIELDEW WIRE MEEH. C. ZX 38' PRE CAST CONCRETE SHASH BLOCK. PROVIDE AT INDICATED DOWILEADEI LOCATIONS. G' THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. WI 344' AGGREGATE. REINFORCE W 65 1010 WIELDEW WIRE MEEH. C. CLUIN, AND COCK SUPT FACE GRAY COLOR BLOCK ISINGLE SIDED EXTERIOR WIEL SCIENCOM CONCRETE SIDEAU LIVINOS CONTEONO BLANG § 46' CC. MONIZONTAL. 	 EUSTING CONCRETE CURB AND CUTTER, TO REMAIN. GROUGETE SIDEWALK FRE CITV OF ALBOLIEROUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 249 FOR PRIVATE ENTRANCE. GROUCTETE PANNE PRE CITV OF ALBOLIEROUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 249 FOR PRIVATE ENTRANCE. GROUCTETE FAVING PRE CITV OF ALBOLIEROUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 249 FOR PRIVATE ENTRANCE. GROUCTETE ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. PER CITV OF ALBOLICE CONCRETE CORES SILE SIDEWALK RAMP WITH TRUNCATED DOMES. PER CITV OF ALBOLICAU STANDARD SPECIFICATION. REFER TO COA STANDARD DWSS. 2440 AND 2441. GROUCTETE ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. PER CITV OF ALBOLICATED ON PLAN. GROUCTETE CORE SILE SIDEWALK RAMP WITH TRUNCATED DOMES. PER CITV OF ALBOLICATED ON PLAN. GROUCTETE CORE CONCRETE CONTROL JOINT. SPACED 5-0° APART, OR AS INDICATED ON PLAN. GROUCTETE CORE CONCRETE SLAB. BLOCK. PROVIDE AT INDICATED DOWNLEADER WIS 1010 WIELDO WIRE MESH. GROUCTETE COLLINE PRIVED (2) NO.S IN KNOCK OUT BOND BEANS & 45° OC. VERTICAL GROUT ALL CELL SOLID FORVIDE (2) NO.S IN KNOCK OUT BOND BEANS & 45° OC. VERTICAL GROUT ALL CELL SOLID FORVIDE (2) NO.S IN KNOCK OUT BOND BEANS & 45° OC. C. HORIZONTAL. MORIZONTAL. MORIZO	03200.06			R IN PLACE SEALANT. ASPH	HALT
 02200.09 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL 2436 COP RRIVATE ENTRANCE. 02200.10 CONCRETE OVER DETAIL 2436 COP RRIVATE ENTRANCE. 02200.11 NEW CONCRETE CUBB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2436. 02200.12 CONCRETE ACCESSIBLE SIDEWALK RAMF WITH TRUNCATED DOMES. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DISC. 2440 AND 2441. 02200.13 O'THICK, 4000 PSI, AIR ENTRAINED CONCRETE SLAB. REINFORCE WIND A REBAR © 16 O.C. EACH WAY. 02200.14 'DEEP X 38' WIDE CONCRETE CONTROL JOINT. SPACED 5:0' APART, OR AS INDICATED ON PLAN. 02200.19 O'THICK, 4000 PSI, AIR ENTRAINED CONCRETE SLAB WI 34' AGGREGATE. REINFORCE WI 6X6 10/10 WELDED WIRE MESH. 03400.20 12'X 38' PRE CAST CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADEI LOCATIONS. 04800.13 8'X 16' COUNCEX, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR SPLIT FACE), REINFORCED COMU WALL WINDS REBAR © 16' O.C. VERTICAL, GROUT ALL CELL SOLL PROVIDE (2) NO.SI IN KNOCK OUT BOND BEAMS & 40' O.C. HORIZONTAL. 05100.11 STEEL PIRE, CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADEI LOCATIONS. 05100.11 STEEL CIPIE, CONCRETE SPLASH BLOCK CATIONS. 05100.11 STOLEL, OLUM PRIME AND PAINT AT EXPOSED LOCATIONS. 05100.12 STEEL COLUMN PRIME AND PAINT AT EXPOSED LOCATIONS. 05100.13 SPLACE. 05100.14 STEEL CIPIE, CONCRETE SPLASH SCHCK FROM EDGE OF SIDEWALK. CAST IN CONCRETE SIDEWALK. 05100.14 STANDARD BORDERS ARE GREEN. SEC DETAL AS / ASI AD. LOCATE IN CONCRETE SIDEWALK. 05100.15 STALL SPLACE AND 1'S BORGEN FROM EDGE OS SIDEWALK. CAST IN CONCRETE SIDEWALK. 05100.16 STEEL SIGN FIELD IS MINIT SPACE. 0100.05 SIGN (ALIMINUM OR FIDERCLASS PLATE: SIGN FIELD IS WHITT SIGN CENTREFY AND BORDERS ARE GREEN. LOCATE SID	 02200.00 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 226 POR PRIVATE ENTRANCE. 0220.10 CONCRETE QUIRS AND GUITER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 226 POR PRIVATE ENTRANCE. 0220.11 NEW CONCRETE CUIRS AND GUITER PER CITY OF ALBUQUERQUE STANDARD DYSC SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415. 0220.12 CONCRETE ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DYGS. 2440 AND 2441. 0220.13 OTHICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. REINFORCE W. NO.4 REBAR @ 16 O.C. EACH WAY. 0220.14 10 EEP X 38: WIDE CONCRETE CONTROL JOINT. SPACED 5-0' APART, OR AS INDICATED ON PLAN. 0220.19 OTHICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB W. 34' AGGREGATE, REINFORCE W 658 10'10 WELDED WIRE MESH. 03400.21 21: X3 FPRE CAST. CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADEF LOCATIONS. 04800.13 8''X 16' COURCH, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR SPLIT FACE), REINFORCED CAM WALL W. MO S REBAR ® 14' O.C. VERTICAL. GROUT ALL/CELL SOLLD. PROVIDE (2) NO.31 KNOOK OUT BOND BEAMS @ 4'O.C. HORIZONTAL. 05100.11 STOX 6-0' TALL STEEL PIPE, CONCRETE FLIED PINE AND PAINT. 10100.33 ADA ACCESSIBLE "ARKING SIGN ALUMINUM OR FIDERCIASS PLATE: SIGN FIELD IS WAR COCESSIBLE" ANKING SIGN. ALUMINUM OR FIDER CLASS PLATE: SIGN FIELD IS WAR COCESSIBLE ON PARKING SIGN. ALUMINUM OR FIDERCIASS PLATE: SIGN FIELD IS WARTER COLUMA AND CASE SIGN. ALUMINUM OR FIDERCIASS PLATE: SIGN FIELD IS WHITE SIGN CONTERED ON PARKING SIGN. ALUMINUM OR FIDERCLASS PLATE: SIGN FIELD IS WHITE SIGN CONTERED IN PARKING SIGN. ALUMINUM OR FIDERCLASS PLATE: SIGN FIELD IS WHITE WIGHTEND AND ACCESSIBLE "SIGN AT DESIGNATED L	03200.07		,		
 0200.10 CONCRETE PAVING PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER 02101.11 02101.12 02101.12	 0200.10 0200.21 0200.21 0200.21 0200.21 0200.21 0200.21 0200.21 0200.22 0200.22		CONCRETE SIDE	WALK PER CITY OF ALBUQUE	ERQUE STANDARD SPECIF	ICATIONS.
 SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415. GORCRETE ACCESSIBLE SIGNAL KARMP WITH TRUNCATED DOMES. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 AND 2441. GENCLEACH WAY. C. EACH WAY. C. EACH WAY. M. T. DEEP X 381 WIDE CONCRETE CONTROL JOINT. SPACED 5-01 APART, OR AS INDICATED ON PLAN. M. T. DEEP X 381 WIDE CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADER LOCATIONS. M. Y. MCK 1010 MELDED WIRE MESH. M. MONOLO 217 X 381 WIDE CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADER LOCATIONS. M. Y. MY, YI CHU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MCK 1000 VALL WING SPEAR 8: 167 O.C. WERTCAL. GROUT ALL CELL SOLID. PROVIDE (2) NO.5 IN KNOCK OUT BOND BEAMS & 481 O.C. HORIZONTAL. M. KINZ KUT FACE, REINFORCED CONCRETTE FILLED. PRIME AND PAINT. M. KOK 26 OT ALL STELE LIPIE, CONCRETTE FILLE. DRIME AND PAINT. M. AND KOCK CONCRETTE FILLE. PRIME AND PAINT. M. AND ACCESSIBLE FARKING SIGN, ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS NOA ACCESSIBLE FARKING SIGN, ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS NOA ACCESSIBLE FARKING SIGN, ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS NOT THE SIGN LETTERING AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SIGN, ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITT SIGN LETTERING AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SIGN, ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITT SIGN LETTERING AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SPACE. M. GON GORTER SIGN ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTERED AND ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTERED ALUMINUM CONTRECTORER CONCORO DIVERTICULAST AND ACCESSIBLE'SIGN AT DESIGNATED LOCATIONS. M. MOTORCYCLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTERED ALUMINUM CONTRESING ALLAYARO OR FIB	 SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415. GORCRETE ACCESSIBLE SIGEWALK RAME WITH TRUNCATED DOMES. PER CITY OF ALBOQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 AND 2441. GENOLADA DAMA. G'THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. REINFORCE WI NO.4 REBAR @ 16 OC EACH WAY. C. EACH WAY. M' D'EEP X 38' WIDE CONCRETE CONTROL JOINT. SPACED 5-0' APART. OR AS INDICATED ON PLAN. M' THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB WI 34' AGGREGATE. REINFORCE WI NO.4 REBAR @ 16 OC ATTONS. M' SH 21' X 15' CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MY 68 1010 WEILEDD WIRE WESH. M' AB' X 15' CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MY CATTONS. M' AB' X 15' CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MY CONTONCE) (SOLATIONS. M' AB' X 15' CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MY CONTONCE) (SOLATIONS. M' AB' X 15' CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MY CONTONCE) (SOLATIONS. M' AB' X 15' CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MY CONTONCE) (SOLATIONS. MOLO SIDA SE 0' TALL STEEL PIPE, CONCRETE FILLED, FRIME AND PAINT. ADA ACCESSIBLE PARKING SIGN. ALLIMINUM OR FIBERGLASS PLATE: SIGN FIELD IS NITTE SIGN FIELD IS THELE DIS (CONCRETT SIGN GREEN, SEE DETAIL AS (AS-ID.COATE SIGN CENTRED ON PARKING SPACE AND 1-9' BACK FROM EDGE OF SIDEWALK. CAST IN CONCRETE SIGN CENTRERED PARKING SPACE AND 1-9' BACK FROM EDGE OF SIDEWALK. CAST IN CONCRETE SIGN CENTRERED PARKING SPACE. MODOS OF DIGN (R1-1) AND NO LETT TURN SIGN (R2-1) PER MUTCO STANDARDS. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTRERED AND BORDERS ANE GREEN. LOCATE SIGN CENTRERAL HALYARD CONCRETE SIGN CENTRERAL HALYARD CONCRETE SIGN CENTRERAL HALYARD CONCRETE SIGN CENTRERED AND ALCESS BULCH TORY AND SAND STANDARD		CONCRETE PAVI TO CITY STANDA	NG PER CITY OF ALBUQUER(RD DETAIL 2426 FOR PRIVAT	QUE STANDARD SPECIFICA E ENTRANCE.	
ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 3200.13 6° THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB, REINFORCE W/ NO.4 REBAR @ 16 0.200.14 1° DEEP X 38° WIDE CONCRETE CONTROL JOINT. SPACED 5° 0° APART, OR AS INDICATED ON PLAN. 3200.19 6° THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB W/ 34° AGGREGATE. REINFORCE W/ SK6 1010 WUEDED WIRE MESH. 3400.02 12° X 38° TPRE CAST CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADER 10.000.13 8° X 8° X 10° CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR MCCATIONS. 4480.13 8° X 8° X 10° CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR 410 CLI SOLID. PROVIDE (2) NO.5 IN KNOCK OUT BOND BEAMS @ 48° O.C. 400 HCIZONTAL. 5050.11 8° 20° XAL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5050.11 8° 30° 4° O' TALL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5050.11 8° 4° X° AL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5050.11 8° 4° X° AL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5050.11 8° 30° 4° O' TALL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5050.11 8° 30° 4° O' TALL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5050.11 8° 4° X° AL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5060.01 8° 4° 0° TALL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5070.11 80° 4° 0° TALL STEEL PIPE, CONCRETT FILLED. PRIME AND PAINT. 5010.00 AND ACCESSIBLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS 5060.01 8° 4° 0° TALL STEEL PIPE, CONCRETT STELL STEAL AS AS AS LOCATE 5100.00 STOP 500N (R1:1) AND NO LETT TURN SIGN (R2:1) PER MUTCD STANDARDS. ALUMINUM 5000.00 RF BERGLASS PLATE: SIGN FIELD IS RED BORDER AND LETTERING AND SAULUNUM 5000.01 8° 400 CAN FIANDENDERS ARE GREEN. LOCATE SIGN CENTERED PARKING 5000.01 8° CONCRETAR. 2100.01 20° HGH X5''B BUTT CONE TAPERED ALUMINUM FLAG POLE W/ EXTERNAL HALVARD 1200.01 8° NON SOLTAL DRAKING STALL TURN SIGNATED LOCATIONS. 2100.01 8° STORE CONTENE SIGN FIELD IS CONCORORI DUVERTIES, 800.548, 49	ALBUQUEQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 03200.13 6° THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. REINFORCE W/ NO.4 REBAR @ 16 0400.13 6° THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB W/ 34* AGGREGATE. REINFORCE W/ 65K 1010 WELDED WIRE MESH. 0400.21 12*X 38* OPE CAST CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADEF 1400.21 12*X 38* OPE CAST CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADEF 1400.13 8* X8* 14° CAU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR 1410 CATTONS. 0460.13 8* X8* 14° CAU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR 1410 CELCSTONS. 0460.13 8* X8* 14° CAU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR 1410 CELCSTONS. 0460.13 8* 20* 741. ESTEL PIPE, CONCRETE FILLED PRIME AND PAINT. 1510.01 STEEL COLUMN. PRIME AND PAINT AT EXPOSED LOCATIONS. 0550.11 8* 9* 0* 141. ESTEL PIPE, CONCRETE FILLED PRIME AND PAINT. 1510.03 ADA ACCESSIBLE PARKING SIGN. ALLIMINUM OR FIBERGLASS PLATE: SIGN FIELD IS 1510.03 ADA ACCESSIBLE PARKING SIGN. ALLIMINUM OR FIBERGLASS PLATE: SIGN FIELD IS 1510.03 ADA ACCESSIBLE PARKING SIGN. ALLIMINUM OR FIBERGLASS PLATE: SIGN FIELD IS 1510.04 MOTORCYCLE PARKING SIGN. ALLIMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE 1510.05 91GN (R1:1) AND NO LEFT TURN SIGN (R2:1) PER MUTCD STANDARDS. ALUMINUM 1510.06 STOP SIGN (R1:1) AND NO LEFT TURN SIGN (R2:1) PER MUTCD STANDARDS. ALUMINUM 1510.07 PROVIDE "VAN ACCESSIBLE" SIGN AT DESIGNATED LOCATIONS. 1510.01 KNOX BOX INSTALLED RECESSED IN CMU WALL @ 48* A.F.F. GROUT SOLID IN WALL. 2710.00 PIGN (R1:1) AND NO LEFT TURN SIGN (R2:1) PER MUTCD STANDARDS. ALUMINUM 1520.00 NEW GAS METER. 1510.00 FIBERGLASS PLATE: SIGN FIELD IS NOT BOX. 2520.01 FIRCH YDRANT. 2240.01 NEW TRANSFORMER. 1510.01 KINX BOX INSTALLED RECESSED IN CMU WALL @ 48* A.F.F. GROUT SOLID IN WALL. 2710.01 EXISTING ELECTRICAL PANEL. 2820.01 REV TRANSFORMER. 2420.02 NEW TRANSFORMER. 1510.01 EXISTING SELECTRICAL PANEL. 2420.01 REV TRANSFORMER. 2420.02 INFT RANDRARD SETTING STRUIL		SPECIFICATION.	REFER TO CITY STANDARD [DETAIL 2415.	
 O.C. EACH WAY. O.S. BACH WAY. OSED PLAN. OSED PLAN	 O.C. EACH WAY. O.C. EACH WAY. OBEP X 38" WIDE CONCRETE CONTROL JOINT. SPACED 5'-0" APART, OR AS INDICATED ON PLAN. ONDICATED ON PLANCING SIGN. ONDICATED AND AND LETTERNING AND ONDICATENCINCONCOND DUDATES. ONDICATED AND AND LETTERNING SI	03200.12	ALBUQUERQUE S			
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 W 6X6 10/10 WELDED WIRE MESH. 03400.02 Y 2 39" PRE CAST CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADER LOCATIONS. 9400.13 9" X 9" X 16" CMU BLOCK, SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR ALL CELL SOLD, PROVIDE (2) NO.5 IN KNOCK OUT BOND BEAMS @ 48" O.C. HORZONTAL. 05100.01 STEEL COLUMN, PRIME AND PAINT AT EXPOSED LOCATIONS. 0500.01 9" X 5-0" TALL STEEL PIPE, CONCRETE FILLED. PRIME AND PAINT. 10100.3 ADA ACCESSIBLE PARKING SIGN ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE, SIGN LETTERING AND BORDERS ARE GREEN. SEE DETAIL & 3/ AS-103. LOCATE SIGN CENTERED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE, SIGN LETTERING AND BORDERS ARE GREEN. LOCATE SIGN CENTRERED PARKING SPACE. 10100.06 STOP SIGN (R-1-1) AND NO LEFT TURN SIGN (R3-1) PER MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS RED. BORDER AND LETTERING ARE WHITE. 10100.07 PROVIDE "VAN ACCESSIBLE" SIGN AT DESIGNATED LOCATIONS. 10700.01 20" HIGH X 5"/3 BUTT COME TAPERED ALUMINUM FLAG POLE WE EXTERNAL HALYARD (23-0" OVERAL HEIGHT), (MAUPLACTURER CONCORD INDUSTRIES, SNG 84: 4926, OR EQUAL). CONTINENTAL STYLE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 21100.01 KNOX BOX INSTALLED RECESSED IN CMU WALL @ 48" A.F.F. GROUT SOLID IN WALL. 22400.04 EW GRAS METER. 22400.05 BACKFLOW PREVENTER INSTALLED IN CONCRETE CUBE BOLLARD. LIGHT FIXTURE INSTING COMMUNICATIONS IN-GROUND QUARTZITE BOX, TO REMAIN. 2200.02 LIGHT POLE. 22100.01 EXISTING COMMUNICATIONS IN-GROUND QUARTZITE BOX, TO REMAIN. 22100.02 KUF READARCHER, REVENTER INSTALLED IN CONCRETE CUBE BOLLARD. LIGHT FIXTURE INSTING COMMUNICATIONS IN-GROUND QUARTZITE BOX, TO REMAIN. 22100	 Wicks 10/10 WELDED WIRE MESH. 03400.02 Y. 38" PRE CAST CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADER LOCATIONS. 0480.13 9" X 9" X 16" CAN BLOCK. SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR ALL CELL SOLD PROVIDE (2) NO.5 IN KNOCK OUT BOND BEAMS @ 48" O.C. HORIZONTAL. 05100.01 STEEL COLUMN. PRIME AND PAINT AT EXPOSED LOCATIONS. 0520.01 9" X 6-0" TALL STEEL PIPE, CONCRETE FILLED. PRIME AND PAINT. 10100.03 ADA ACCESSIBLE PARKING SIGN. ALUMINIUM OR FIBERGLASS PLATE: SIGN FIELD IS WITTE, SIGN LETTERING AND BORDERS ARE GREEN. SEE DETAIL A3 / ASI-FIGJ. LOCATE SIGN CENTRED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTRED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTRED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTRED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTRED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTRED ON PARKING SIGN. ALUMINUM FOR CENTRERED PARKING SPACE. 10100.05 TOP SIGN (R-1-1) AND NO LEFT TURN SIGN (R3-1) PER MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS RED, BORDER AND LETTERING ARE WHITE. 10100.07 PROVIDE "VAN ACCESSIBLE" SIGN AT DESIGNATED LOCATIONS. 10700.01 20" HIGH X 5"0 BUTT COME TAPERED ALUMINUM FLAG POLE WEXTERNAL HALYARD (23-0" OVERAL HEIGHT], (MANUFACTURER CONCORD INDUSTRIES, 800 SAL 4926, OR EQUAL). CONTINENTAL STYLE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 21100.01 KNOX BOX INSTALLED RECESSED IN CMU WALL @ 48" A.F.F. GROUT SOLID IN WALL. 2200.01 EXISTING COMMUNICATIONS IN-GROUND QUARTZITE BOX, TO REMAIN. 2200.02 NEW FRE HYDRANT. 2200.02 NEW REAS METAL TRELIES FINDS STRUCTURE. <l< td=""><td></td><td>INDICATED ON P</td><td>_AN.</td><td></td><td></td></l<>		INDICATED ON P	_AN.		
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 SPLIT FACE), REINFORCED CMU WALL W/ NO.S REBAR © 16° O.C. VERTICAL, GROUT ALL CELL SOLUD PROVIDE (2) NO.5 IN KNOCK OUT BOND BEAMS © 48° O.C. HORIZONTAL. OSIOUTI STEEL COLUMN, PRIME AND PAINT AT EXPOSED LOCATIONS. OSOUTI STEEL COLUMN, PRIME AND PAINT AT EXPOSED LOCATIONS. O'S X 6'-0' TALL STEEL PIPE, CONCRETE FILLED, PRIME AND PAINT. ADA ACCESSIBLE PARKING SIGN, ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WITTE, SIGN LETTERING AND BORDERS ARE GREEN. SEE DETAIL A3 / AS-103. LOCATE SIGN CENTERED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTERED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTERED AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SPACE. ONO.66 STOP SIGN (R1-1) AND NO LEFT TURN SIGN (R3-1) PER MUTCO STANDARDS. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS RED, BORDER AND LETTERING ARE WHITE. OT00.01 20' HIGH X 5'20 BUTT CONE TAPERED ALUMINUM FLAG POLE W/ EXTERNAL HALYARD (23'-0' OVERALL HEIGHT). (MANUFACTURER CONCORD INDUSTRIES, 800.534 4326, OR EQUAL). CONTINENTAL STYLE. INSTALLE PER MANUFACTURERS SPECIFICATIONS. ONO.80 XINSTALLED RECESSED IN CMU WALL @ 48° A.F.F. GROUT SOLID IN WALL. NEW GR& METER. NEW GR& METER. MEW GR& METER. MEW GR& METER. MEW FIRE HYDRANT. DACKFLOW PREVENTER INSTALLED IN HOT BOX. Z2400.05 BACKFLOW PREVENTER INSTALLED IN HOT BOX. Z2400.02 NEW FIRE HYDRANT. Z2600.01 EXISTING COMPACTED GRADE TO REMAIN. MEW GRADETRE. Z600.02 NEW ELECTRICAL TRANSFORMER, TO REMAIN. Z600.02 NEW ELECTRICAL TRANSFORMER, TO REMAIN. Z600.02 NEW FIRE HYDRANT. Z600.01 RECESSED LIGHT FIXTURE INSTALLED IN CONCRETE CUBE BOLLARD. LIGHT FIXTURE ILLUMINATES METAL TRELLISY FINS STRUCTURE. Z600.02 NEW ELECTRICAL PARKING STALLED IN CONCRETE CUBE BOLLARD. LIGHT FIX	 SPLIT FACE), REINFORCED CMU WALL WIND S REBAR @ 16" O.C. VERTICAL GROUT ALL CELL SOLUD PROVIDE (2) NO.5 IN KNOCK OUT BOND BEAMS @ 48" O.C. HORIZONTAL. OSTONTAL. STEEL COLUMN. PRIME AND PAINT AT EXPOSED LOCATIONS. Ø'Ø X 6"-0" TALL STEEL PIPE, CONCRETE FILLED. PRIME AND PAINT. ADA ACCESSIBLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WITTE, SIGN LETTERING AND BORDERS ARE GREEN. SEE DETAIL A3' AS'103. LOCATE SIGN CENTERED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WITTE, SIGN LETTERING AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SPACE. MOTORCYCLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTERED ON PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN CENTERED AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SPACE. MOTORCYCLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE. MOTORCYCLE PARKING SIGN AT DESIGNATED LOCATIONS. OP OLOB "VAN ACCESSIBLE" SIGN AT DESIGNATED LOCATIONS. OVERALL HEIGHT). (MANUFACTURER CONCORD INDUSTRIES, 800634.4926, OR EQUAL). CONTINENTAL STYLE. INSTALLE PR MANUFACTURER'S SPECIFICATIONS. WOX BOX INSTALLED RECESSED IN CMU WALL @ 48" A.F.F. GROUT SOLID IN WALL. NEW GR& METER. NEW GR& METER. MEW GR& METER. MEW GR& METER. MEW FIRE HYDRANT. BACKFLOW PREVENTER INSTALLED IN HOT BOX. Z2400.01 EXISTING COMPACTED GRADE TO REMAIN. MEW ELECTRICAL TRANSFORMER, TO REMAIN. MEW ELECTRICAL PARELI Z8800.01 RECESSED LIGHT FIXTURE INSTALLED IN CONCRETE CUBE BOLLARD. LIGHT FIXTURE ILLUMINATES METAL TRELLIS/ FINS STRUCTURE. Z8800.02 NEW HEACTRICAL PARKING STALL TYPICAL AT PARKING SPACES ON GRADE. Z100.02 FIEL SUSTING ASPHALT PAVING, TO REMAIN. Z100.02 FIEL SUSTING COMPACTED GRADE TO REMAIN. Z1		LOCATIONS.			-
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WHITE PARKING SPACES ON GRADE.<td> WHITE, SIGN LETTERING AND BORDERS ARE GREEN. SEE DETAIL A3 / A5-103. LOCATE SIGN CENTRED ON PARKING SPACE AND 1'-8' BACK FROM EDGE OF SIDEWALK. CAST IN CONCRETE SIDEWALK. MOTORCYCLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE SIGN LETTERING AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SPACE. SIGN LOTTERING AND NO LEFT TURN SIGN (R3-1) PER MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS RED, BORDER AND LETTERING ARE WHITE. PROVIDE "VAN ACCESSIBLE" SIGN AT DESIGNATED LOCATIONS. 20' HICH X 5'0' BUTT CONE TAPERED ALUMINUM FLAG POLE WEXTERNAL HALYARD (23-0' OVERALL HEIGHT). (MANUFACTURER CONCORD INDUSTRIES, 800.634.4926, OR EQUAL). CONTINENTAL STYLE. INSTALL PER MANUFACTURERS SPECIFICATIONS. 2100.01 KNOX BOX INSTALLED RECESSED IN CMU WALL @ 48" A.F.F. 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LEE GAMELSKY ARCHITECTS P.C. 2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lee@lganm.com	SINTE OF NEW MET SINTE OF NEW MET SUBJECTION OF NEW MET LEE D. GAMELSKY No. 1931 S.25.200 ARCHIEL
LOCKER ROOM FACILITY AT MDS Albuquerque, New Mexico	6
PROJECT ARCHITECT:	LGA Project #: 20-01-ABQ.7
LEE GAMELSKY, AIA	Date: 3.25.2022
ADMINISTRATIVE AMMENDMENT SITE PLAN LOCKER ROOM FACILITY AT MDS	
By:	Sheet: Of: 81
File:	AA-AS-2

80'



LEGEND

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EXISTING 6'-0" HIGH CHAIN LINK FENCE W/ ROUND POSTS, CENTERED ON 1'-0" WIDE CONCRETE CURB. TO REMAIN.

EXISTING WIRE FENCE W/ STEEL POSTS. TO REMAIN.

NEW SANITARY SEWER.

NEW DOMESTIC WATER LINE.

NEW IRRIGATION SUPPLY LINE.

NEW UNDERGROUND ELECTRICAL.

IRRIGATION EQUIPMENT SCHEDULE GENERAL NOTES • PROVIDE AND INSTALL THE FOLLOWING

	BUBBLER ASSEMBLY: RAIN BIRD PRESSURE COMPENSATING, TRICKLE PATTERN BUBBLER (COA DETAIL 2711).
• 	1401 (.25 GPM) - ONE (1) BUBBLER PER SHRUB. ZONE NUMBER.
● -1, 2 -	1402 (.5 GPM) - THREE (3) BUBBLERS PER TREE PER DETAIL 1/L-501 ZONE NUMBER.
	IRRIGATION MAINLINE. SCHEDULE 40 PVC. SOLVENT

IRRIGATION MAINLINE. SCHEDULE 40 PVC. SOLVENT WELD, SIZE 2.5", 18" DEPTH, EXCEPT WHERE INDER CONTINUOUS PRESSURE, 30" DEPTH.

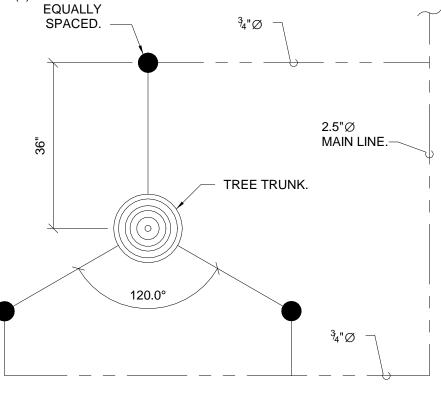
SLEEVING: CLASS 200 PVC (2 SIZES LARGER THAN PIPE TO BE SLEEVED).

AIR RELEASE VALVE: BERMAD #01-ARA-P, 1" AIR RELEASE VALVE ASSEMBLY.

DECODER SURGE PROTECTION: RAIN BIRD #LSP_1 LINE SURGE PROTECTOR GROUNDED WITH 5/8" COPPER CLAD GROUND ROD.

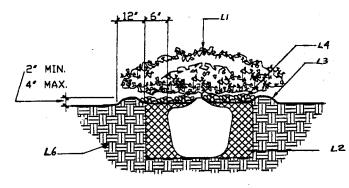
AUTOMATIC VALVE ASSEMBLY: RAIN BIRD PEB.

CONTROLLER: RAINBIRD #ESPLXD-LXMMPED 6 STATION IRRIGATION CONTROLLER (DECODER). INSTALL INSIDE OF BUILDING.



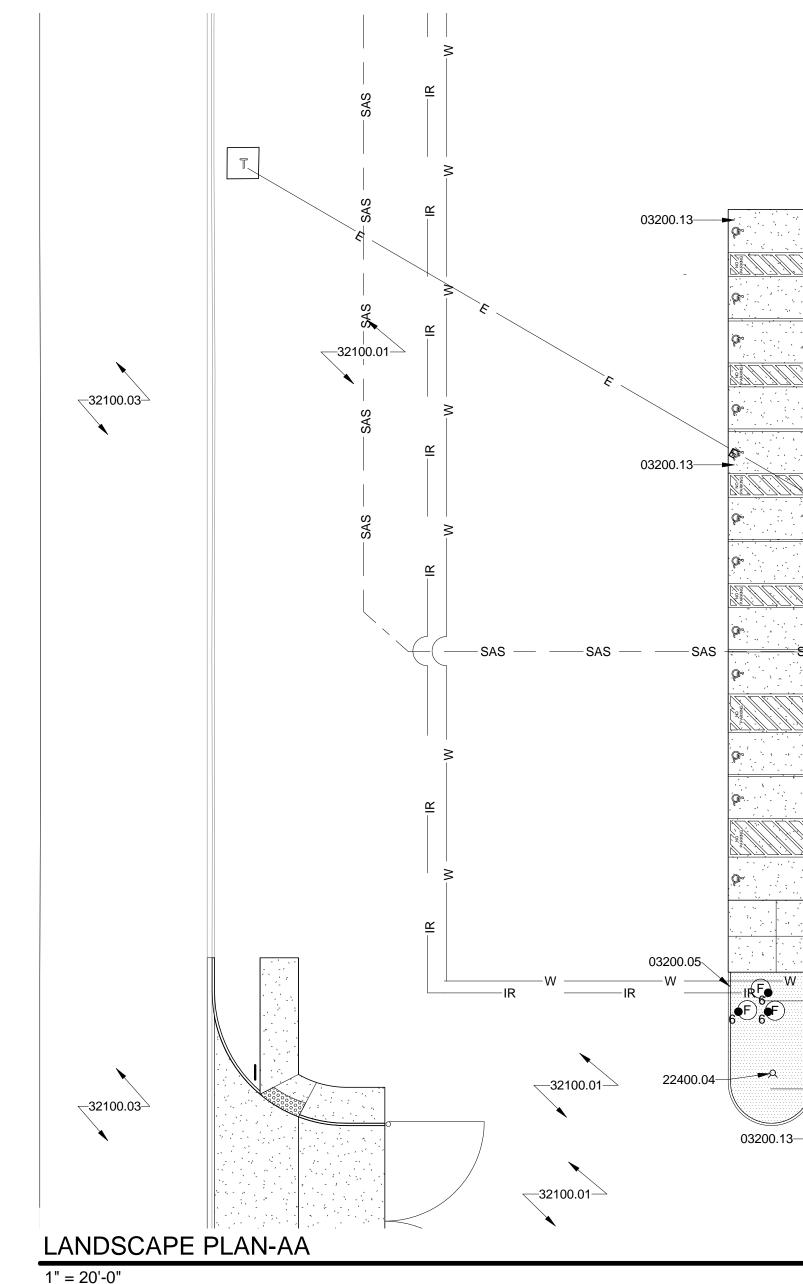
BUBBLER DETAIL • TREE

12" = 1'-0"



KEYED NOTES FOR PLANTING DETAILS

- L2. BACK FILL WITH EXISTING SOIL.
- L4. 4" DEPTH OF MULCH.
- L6. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

L1. TREE OR SHRUB: SEE PLAN FOR SIZE, SPECIES AND LOCATION.

- L3. EARTH BERM AROUND WATER RETENTION BASINS.
- L5. FINISH GRADE. SEE PLAN FOR MULCH.

TREE PLANTING DETAIL

GENERAL NOTES

FOR PLANTING DETAILS

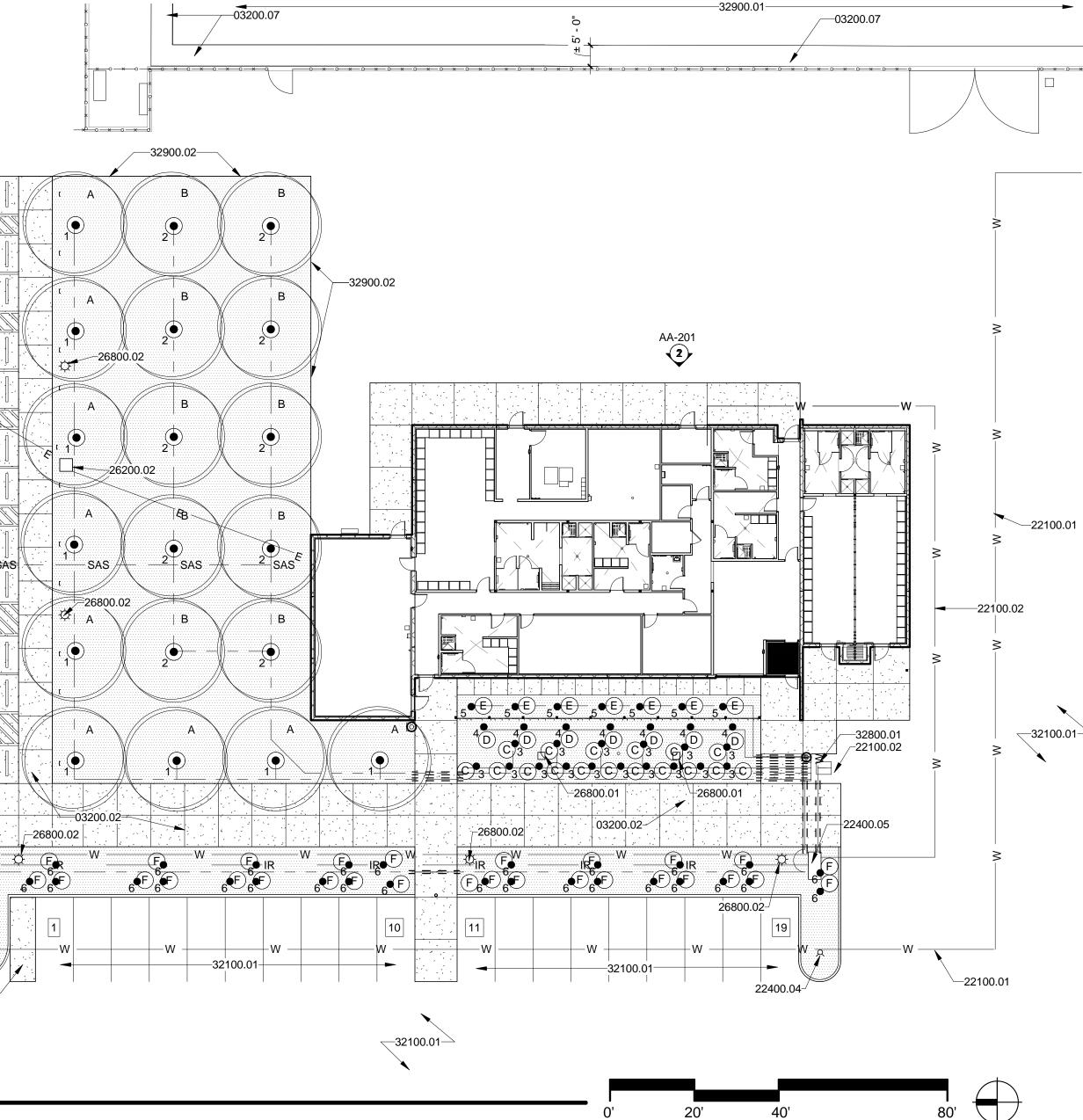
- AA. AT SHRUBS AND SMALL PLANTS: THE OUTSIDE DIAMETER OF THE EXCAVATION SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- BB. AT TREES: ROOT BALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING. CC. AT TREES: TOP OF ROOT BALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE
- EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL DD. AT TREES: PRIOR TO BACK FILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE
- AND THE PLANTING PIT. EE. AT TREES: PRIOR TO BACK FILLING ALL BURLAP SHALL BE CUT
- AWAY EXCEPT FROM THE BOTTOM OF ROOT BALL.

GENERAL IRRIGATION NOTES

THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 75 PSI AT THE POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION. ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH COA SECTION 1001-LANDSCAPE IRRIGATION SYSTEM, AND REFERENCED DETAILS CONTAINED WITHIN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS MANUAL LATEST EDITION.

3

- DWG. NO. 2700 RPBB MASTER VALVES W/ RPBB DWG. NO. 2701 DWG. NO. 2702-A MASTER VALVE W/ PVB DWG. NO. 2704 PVB W/ MV IRRIGATION VALVE ASSEMBLY DWG. NO. 2705 BUBBLER AT TREE DWG. NO. 2710 DWG. NO. 2711-A BUBBLER DWG. NO. 2712 BUBBLER THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION. THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
- 6. IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING, OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE
- ATTENTION OF THE OWNER'S REPRESENTATIVE. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS 8. INDICATED ON THE DRAWING. EXTEND SLEEVES 2' BEYOND BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STAKE LOCATION OF SLEEVE WITH T-POSTS AND FLAGS.
- THE CONTRACTOR SHALL INSTALL RAINBIRD DECODER SYSTEM WITH SATELLITE COMPATIBLE WITH COA RAINBIRD CENTRAL IQ SYSTEM. ALL COMMUNICATION CABLE SHALL BE THOROUGHLY GROUNDED AND GROUND TESTED TO MEET ALL REQUIREMENTS OF THE MANUFACTURER. INSTALL COMMUNICATION CABLE ACCESS BOXES AT ALL BRANCHES ON MAINLINE PIPING. INSTALL COMMUNICATION CABLE ALONG ALL PATHS OF THE MAINLINE PIPING STRUCTURE. ALL SPLICES MUST BE
- HOUSED IN A VALVE BOX. USE ONLY MANUFACTURER RECOMMENDED SPLICE KITS. CONTRACTOR SHALL PROVIDE 2 YEAR EXTENDED MAINTENANCE FOR IRRIGATION 10. SYSTEM FROM THE DATE OF SUBSTANTIAL COMPLETION.



SEE CITY OF ALBUQUERQUE STANDARD DETAILS FOR LANDSCAPING, SECTION 2700:

THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT

GENERAL NOTES

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK
- ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT
- MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO
- LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH ALL
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECTION 1005 - PLANTING) AND DETAILS.
- CONTRACTOR SHALL PROVIDE 2 YEARS OF EXTENDED MAINTENANCE OF ALL ANDSCAPE AREAS FROM THE DATE OF SUBSTANTIAL COMPLETION. SEE SHEET G-002 FOR CODE DATA/ LANDSCAPING
- REQUIREMENTS. SEE CITY OF ALBUQUERQUE STANDARD DETAILS FOR LANDSCAPING SECTION 2700: TREE PLANTING DWG. NO. 2714 DWG. NO. 2716 SHRUB PLANTING

KEYED NOTE	S

4" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB/SIDEWALK REINFORCE WITH 4X4-W2.9/W2.9 WELDED WIRE MESH, FLAT SHEETS ONLY. INSTALL ON CHAIRS CENTERED IN SLAB.
4000 PSI, AIR-ENTRAINED CAST IN PLACE CONCRETE HEADER CURB MODIFIED CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415 B.
EXISTING CONCRETE PAD/ SIDEWALK, TO REMAIN.
6" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. REINFORCE W/ NO.4 REBAR @ 16" O.C. EACH WAY.
6"Ø WATER SUPPLY FOR FIRE HYDRANTS.
WATER SUPPLY.
NEW FIRE HYDRANT.
BACKFLOW PREVENTER INSTALLED IN HOT BOX.
NEW TRANSFORMER.
RECESSED LIGHT FIXTURE INSTALLED IN CONCRETE CUBE BOLLARD. LIGHT FIXTURE ILLUMINATES METAL TRELLIS/ FINS STRUCTURE.
LIGHT POLE.
EXISTING COMPACTED GRADE TO REMAIN.
EXISTING ASPHALT PAVING, TO REMAIN.
IN-GROUND IRRIGATION VALVE BOX.
EXISTING ATHLETIC FIELD W/ TURF, TO REMAIN.
4" HIGH METAL EDGING ,MINIMUM. STAKE AS REQUIRED.

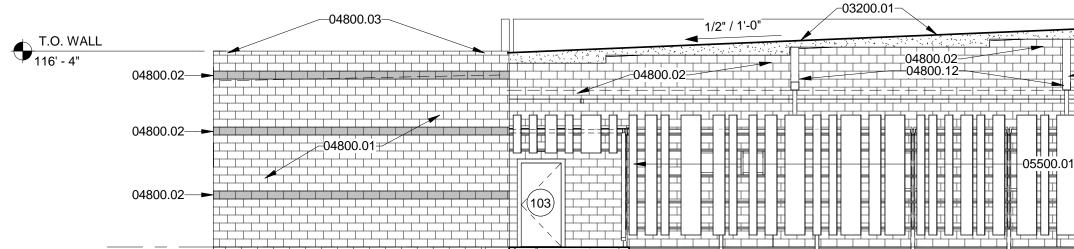
		LANDSCAF
<u>* ° * '</u>	SYMBOL	BOTANICAL NAME
W	A	ULMUS PROPINQUA 'JFS-BIEBERICH'
	В	GLEITSIA TIACANTHOS 'SKYLINE'
	C	NEPETA HYBRID 'WALKER'S LOW'
	D	SALVIA GREGGII 'FURMAN'S RED'
	E	POTENTILLA FUTICOS 'JACKMANII'
	F	CALAMOGROSTIS A. 'KARL FOERSTER'
00.01		SUPPLIER: JPR GRAVEL NM (BASIS OF DESIGN) (505.503.7766)

LANDSCAPE SCHEDULE

MBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
A 0	ULMUS PROPINQUA 'JFS-BIEBERICH'	EMERALD SUNSHINE ELM (M)	9	2.5"Ø	
в	GLEITSIA TIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST (M+)	9	2.5"Ø	
C	NEPETA HYBRID 'WALKER'S LOW'	WALKER'S LOW CATMINT (L+)	17	1 GAL.	
D	SALVIA GREGGII 'FURMAN'S RED'	FURMAN'S RED CHERRY SAGE (L+)	7	3 GAL.	
Ē	POTENTILLA FUTICOSA 'JACKMANII'	JACKMAN'S SHRUBBY CINQUEFOIL (M+)	7	5 GAL.	
F	CALAMOGROSTIS A. 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS (M)	32	5 GAL.	
	SUPPLIER: JPR GRAVEL NM (BASIS OF DESIGN) (505.503.7766)	BLACK CRUSHER FINES			4" THICK. ROLLED. INSTALL OVER GEOTEXTILE FABRIC, OVER COMPACTED GRADE TO 95%.

NO.	DATE	REVISIONS		CHECKED BY:
2412 M ALBUQ 505.84 lee@lg	TILES ROAD UERQUE, NI 2.8865 FAX anm.com	ROOM FACILITY AT MDS	CAME RECSTERED	NEW ART D. LSKY 1931 ARCHIU
	erque, Nev		LGA Project #:	20-01-ABQ.7
LEE	GAMEL	SKY, AIA	Date:	3.25.2022
LAN	DSCA	RATIVE AMMENDMENT PE PLAN ROOM FACILITY AT MDS		
By:			Sheet:	Of: 81
File:			AA	-L

- 0"	04800.02	04800.02 04800.03													T.O. W/								
	04800.03																		-04	1800.03	~•		119' T O W
. WALL													01	100.02						100.02]	T.O. W. 116'
- 8"																04800.0		╞┥┿┥┝				-04800.02	
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																				<u></u>		<u> </u>	100
FAST	ELEVATION-AA																				0	4' 8'	1
EAST	ELEVATION-AA																				0	4' 8'	



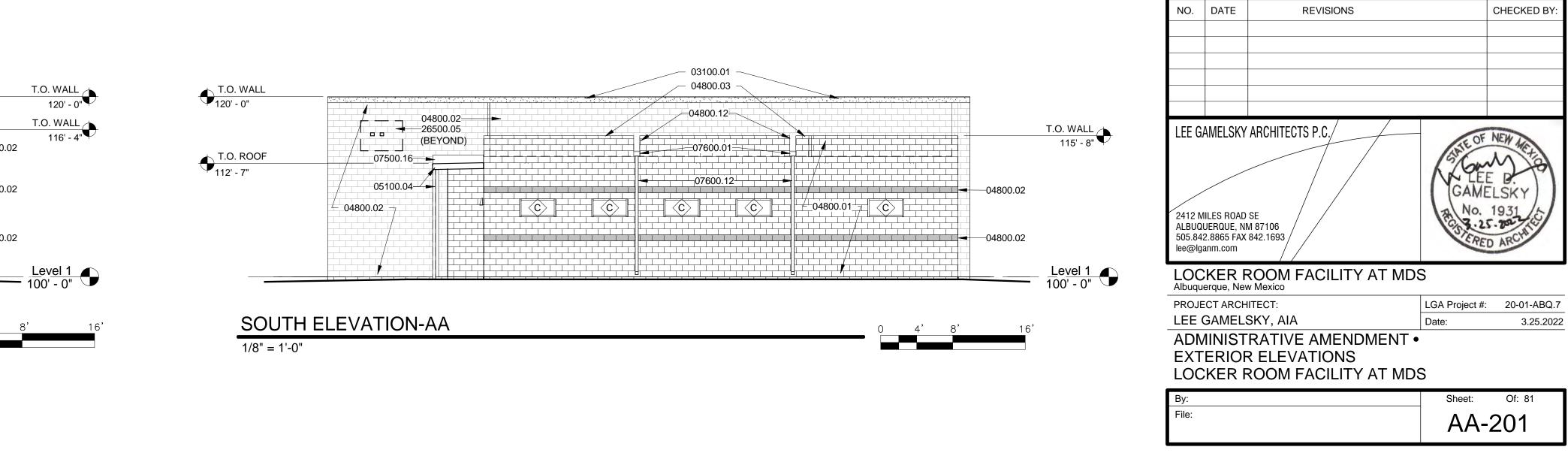


1/8" = 1'-0"

D. WALL ' - 0"	
04800.02	
0-000.02	
04800.02	
04800.02	

1/8" = 1'-0"

04800.12	-03200.01	T.O. WALL / CONC. CAP 120' - 0"
04800.02		-04800.03 -04800.03 T.O. WALL 07500.16 115' - 8" T.O. ROOF
		112' - 7" T.O. WALL 04800.02 109' - 11" 04800.02
		Level 1 100' - 0"



KEYE	DNOTES
01100.02	DASHED LINE INDICATES TOP OF ROOF MEMBRANE BEYOND.
03200.01	CAST-IN-PLACE CONCRETE CAP. INTEGRAL COLOR BLACK.
03200.17	CAST-IN-PLACE CONCRETE CAP. INTEGRAL COLOR BLACK. SLOPED AT THIS LOCATION.
04800.01	8" X 8" X 16" CMU BLOCK. SPLIT FACE GRAY COLOR BLOCK.
04800.02	8" X 8" X 16" CMU BLOCK. BURNISHED FACE ON THE EXTERIOR AND EXPOSED INTERIOR SURFACES. INTEGRAL COLOR BLACK BLOCK. PROVIDE INTEGRAL COLOR BLACK MORTAR.
04800.03	4" X 8" X 16" CMU CAP BLOCK. STANDARD GREY COLOR BLOCK
04800.12	THE CMU WALL, CAP BLOCK AND CAST IN PLACE CONCRETE CAP, STOPS AT THE THROUGH WALL SCUPPER, SUCH THAT SCUPPER IS OPEN TO THE SKY ABOVE. PROVIDE 8" WIDE OPENING.
05100.04	STEEL PORTAL STRUCTURE. COLUMNS / BEAMS / ANGLES, STEEL SHEETING, ETC. PRIME AND PAINT BLACK.
05500.01	VERTICAL 16 GA STEEL PANELS, 10'-0" LONG, WELDED TO TUBE STEEL PORTAL STRUCTURE. PRIME AND PAINT YELLOW.
07500.16	VERTICAL TERMINATION BAR W/ SEALANT ON CMU WALL WHERE ROOF EDGE IS LOCATED.
07600.01	THROUGH WALL SCUPPER/ OVERFLOW SCUPPER, COLLECTOR BOX SMACNA STYLE FIG. 1-25F, DOWNLEADER, FLASHING, TRIM, ETC. 24 GA. PREFINISHED KYNAR BLACK COLOR.
07600.12	DOWNSPOUT AT ROOF SCUPPERS. 4"X4" X 24 GA. GALVANIZED METAL. PREFINISHED KYNAR PVDF FINISH. MATT BLACK. PROVIDE DOWNSPOUT HANGERS @ 6'-0" O.C. MAX. INSTALL PER SMACNA FIG. 1-35A. FABRICATE FROM 1/16" X 1" FLAT STOCK. MATCH DOWNSPOUT FINISH.
26500.05	SIGN (3) LOCATIONS. PROVIDED AND INSTALLED BY TENANT. ROUGH-IN ELECTRICAL AND CONTROL J-BOXES AND CONDUIT @ 16'-0" A.F.F.
26800.03	WALL MOUNTED LIGHT FIXTURE.



March 1, 2022

Via email to <u>lee@lganm.com</u> Mr. Lee Gamelsky, AIA, LEED AP BD+C Lee Gamelsky Architects P.C. 2412 Miles Road, SE Albuquerque, NM 87106

Re: Revised NM United Locker Room Facility on University Blvd., SE Mesa del Sol Architectural Review Committee (ARC) March 1, 2022 Comments

Dear Mr. Gamelsky:

This follows your February 25 resubmittal of the plans for the New Mexico United (NMU) Locker Room facility. The Mesa del Sol Architectural Review Committee (ARC) has reviewed the resubmitted plans and has the following requirements for approval of the proposed facility:

- 1. The ARC approves the use of split face rock on all elevations but will require some design treatments of different colors. Gray is acceptable as a primary color, but it must be broken up with (for example) several horizontal bands of the "integral color and burnished CMU-Black Color" shown on the West Elevation above and behind the trellis work. This will provide walls with more character and visual interest than plain gray rock ones. In our first review, the ARC required "some articulation or variation to the exterior walls". We will accept the integral continuous color bands of split face rock on all 4 elevations as meeting this requirement. The east elevation is required to have such design or articulation, whether or not bleachers are installed in the future.
- 2. The ARC requires that the trash enclosure be moved from the (very visible) location on the Northwest corner of the site to the (less visible) Southwest corner of the site.
- 3. The light poles in the parking lot and on or near the building must comply with the height requirements of the Recreational Complex master plan, as well as the Night Sky Ordinance, and such additional requirements (if any) imposed by Kirtland AFB (KAFB) or the Department of Energy (DOE).

In the interest of time, you are not required to re-submit the plans to the ARC again. As long as the required changes are made to the plans, this letter will satisfy the City of Albuquerque's requirement that the Mesa del Sol ARC review and approve the proposed development.

Your attention to this matter is appreciated. We welcome any questions you may have, addressed to the undersigned at <u>dcampbell@mesadelsolnm.com</u> or to Mr. Kyle Bodhaine, kyle@sc3development.com. Best personal regards.

Sincerely,

MESA DEL SOL ARCHITECTURAL REVIEW COMMITTEE

David S. Campbell

David S. Campbell, Chair

cc: ARC Members

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. The project architect <u>and</u> landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

 The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in Section B.

Achieved Achieved In Part Evaluated Only

 The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved



3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

 Achieved
 Achieved in Part
 Evaluated Only

CABQ Planning Dept. Printed 8/31/2021 Climatic and Geographic Responsiveness Submittal Form 4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

	Achieved	X	Achieved in Part	Evaluated Only
5.	Design shou	Id allow for	natural ventilation as much	as possible.
	Achieved		Achieved in Part	Evaluated Only
Bu	ilding Entries	and Windo	ows:	
6.				les are preferable. South facing windows horizontal overhangs, projections, or
	Achieved		Achieved in Part	Evaluated Only

North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved in Part Evaluated Only

- 8. North facing windows are encouraged as they require little to no shading.

 Achieved
 Achieved in Part
 Evaluated Only
- 9. Any west facing building entries and windows should mitigate solar effects.

 Achieved
 Achieved in Part
 Evaluated Only

Outdoor Elements (Integration):

Achieved

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved		Achieved in Part	- Evaluated Only
		nd landscape vegetated are n losses at night.	as are preferred to use evaporative cooling
Achieved	X	Achieved in Part	Evaluated Only
12. Buildings sh exposures.	ould be shad	ed by trees on all sun-expo	osed sides, especially the east and west

exposures.			
Achieved		Achieved in Part	Evaluated Only
13. Trees place	ment should	l be in combinations of two-t	hirds deciduous to one-third evergreen.
Trees select	tion should h	have three or more tree type	s to avoid loss of species due to disease.
Achieved		Achieved in Part	Evaluated Only
14. Preservatio	n or restorat	tion of vegetation that is indi	genous to Albuquerque is preferred.
Achieved		Achieved in Part	Evaluated Only

CABQ Planning Dept. Printed 8/31/2021 Climatic and Geographic Responsiveness Submittal Form 15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved	Achieved in Part Evaluated Only

- 16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature. Achieved Achieved in Part Evaluated Only
- 17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.
 Achieved Achieved in Part Evaluated Only



18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved

Achieved in Part Evaluated Only

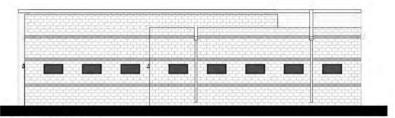
By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project Locker Room Friendly MDS and Application No BP-2021-53855

Signature of Project Architect/License No.

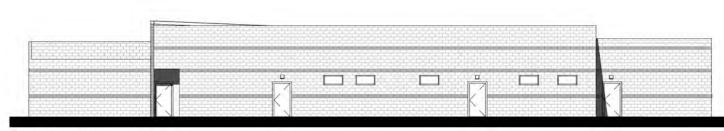
Signature of Project Landscape Architect/License No.

0′ 5′ 10′ 20′

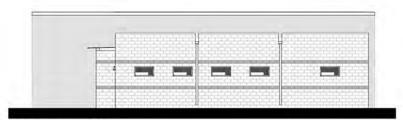
LOCKER ROOM FACILITY AT MESA DEL SOL SUN AND SHADE ANALYSIS: MAY 21ST, 9:00AM



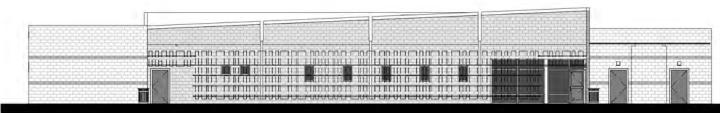
NORTH ELEVATION



EAST ELEVATION

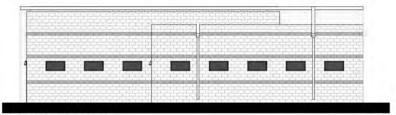


SOUTH ELEVATION

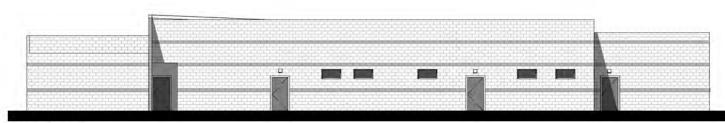


WEST ELEVATION

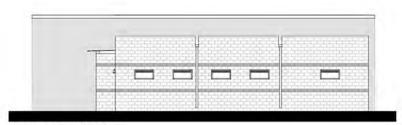
LOCKER ROOM FACILITY AT MESA DEL SOL SUN AND SHADE ANALYSIS: MAY 21ST, 12:00PM



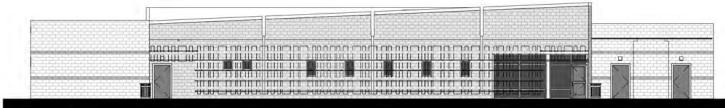
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



0' 5' 10'

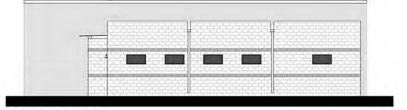
20'

WEST ELEVATION

5' 10' 20' 0'

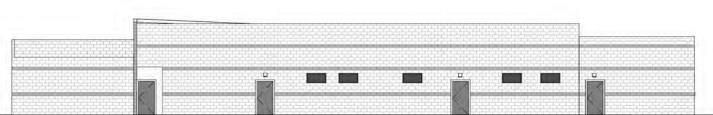
WEST ELEVATION

SOUTH ELEVATION





EAST ELEVATION

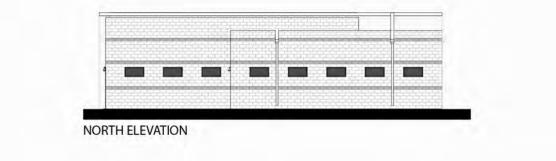


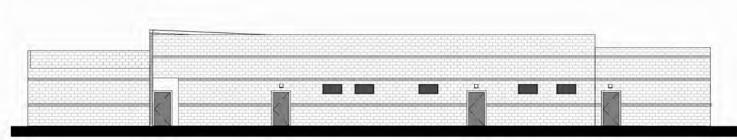
1 NORTH ELEVATION

LOCKER ROOM FACILITY AT MESA DEL SOL SUN AND SHADE ANALYSIS: MAY 21ST, 4:00PM

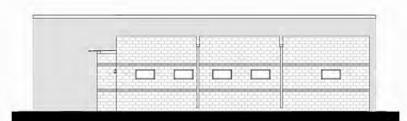
0<u>′</u> 5′ 1<u>0′</u> 20′

LOCKER ROOM FACILITY AT MESA DEL SOL SUN AND SHADE ANALYSIS: NOVEMBER 21ST, 12:00PM

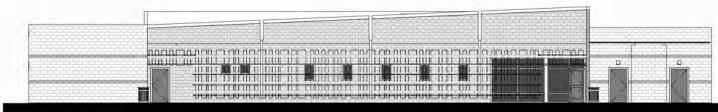




EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION