

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

LEE GAMELSKY ARCHITECTS P.C.

11 April 2022

COA Planning Department
Mr. James Aranda
601 Second Street NW
Albuquerque, NM 87102

RE: **Administrative Amendment**
Locker Room at Mesa del Sol
BP-2021 – 53855
Letter of Justification

Mr. Aranda or to whom it may concern;

This letter is provided as our LETTER OF JUSTIFICATION FOR AN ADMINISTRATIVE AMENDMENT for the above referenced project.


The proposed building is for a Locker Room and Team Offices for the NM United Team, located on the west side of the existing Practice Field.

The proposed building is located at the same location as the previously approved ADMINISTRATIVE AMENDMENT illustrating a Clubhouse -Locker Room as submitted by Dekker Perich Sabatini Architects (DPS), Project No. PR-2019-003069, Case No.: SI-2019-00365, Approved: 27 April 2020.

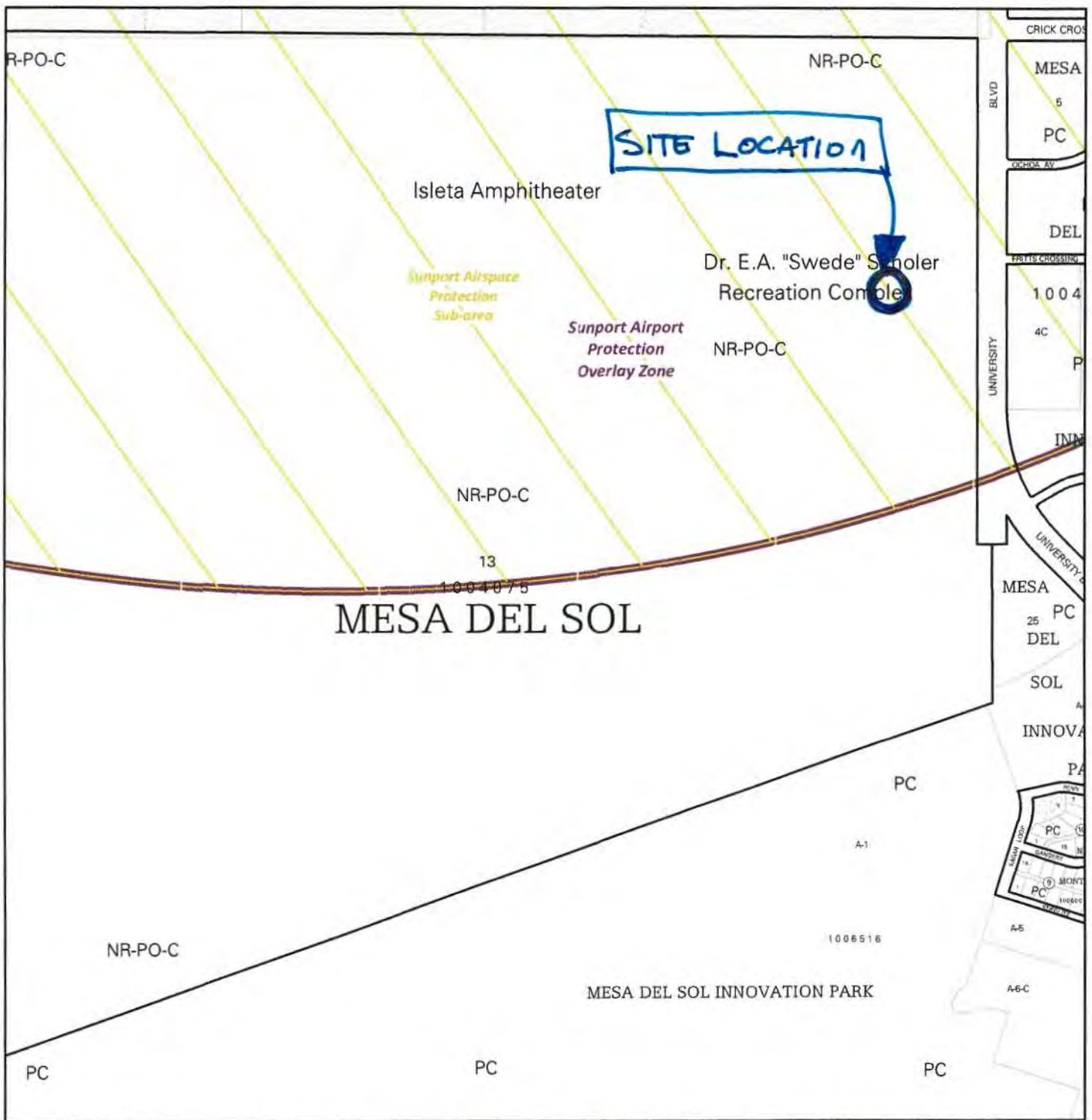
Our proposed building is significantly smaller than the previously approved DPS Project. It is under 8,000 GSF. The Mesa del Sol Architectural Review Committee has reviewed and approved the building design, and the attached exterior elevations reflect the changes they requested.

If you have any questions or comments, please contact me.

Sincerely,



Lee Gamelsky AIA, Principal, LEED AP BD+C

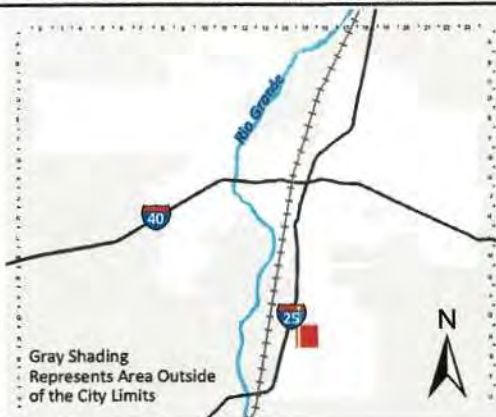


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



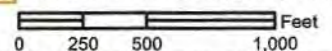
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:

R-15-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



From: [Villanueva, Anthony V.](#)
To: [Lee Gamelsky](#)
Subject: RE: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment
Date: Thursday, April 7, 2022 12:24:42 PM

I confirm

From: Lee Gamelsky <lee@lganm.com>
Sent: Thursday, April 07, 2022 12:24 PM
To: Villanueva, Anthony V. <avillanueva@cabq.gov>
Cc: Lee Gamelsky <lee@lganm.com>
Subject: RE: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Please say you confirm .

Lee Gamelsky AIA, LEED AP BD + C
Lee Gamelsky Architects P.C.
2412 Miles Rd. SE
Albuquerque, NM 87106
505.842.8865
lee@lganm.com
www.lganm.com

From: Villanueva, Anthony V. <avillanueva@cabq.gov>
Sent: Thursday, April 7, 2022 12:20 PM
To: Lee Gamelsky <lee@lganm.com>
Subject: RE: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment



Anthony Villanueva
Construction Project Manager
O: 505.768.3826
C: 505.796.2616
cabq.gov/dmd

From: Lee Gamelsky <lee@lganm.com>
Sent: Thursday, April 07, 2022 12:00 PM

To: Villanueva, Anthony V. <avillanueva@cabq.gov>

Cc: Lee Gamelsky <lee@lganm.com>

Subject: LOCKER ROOM AT MESA DEL SOL building permit - site plan amendment

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Anthony ,

Please send me an email with your title / department name etc. that :

LEE GAMELSKY ARCHITECTS P.C. is the authorized representative for the CITY OF ALBUQUERQUE FOR THE LOCKER ROOM PROJECT AT MESA DEL SOL .

THANK YOU.

Lee Gamelsky AIA, LEED AP BD + C

Lee Gamelsky Architects P.C.

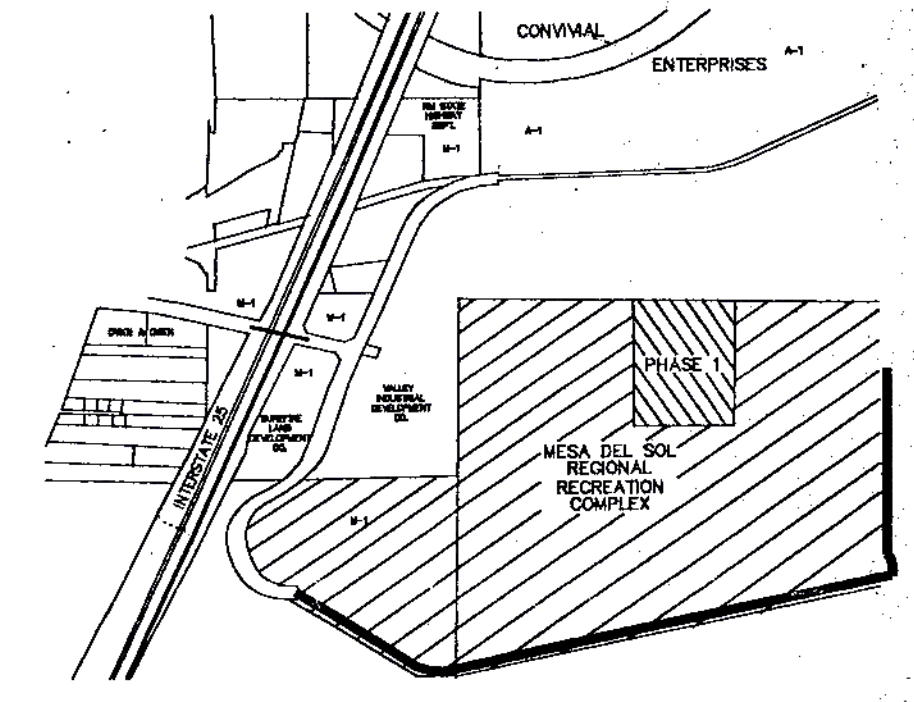
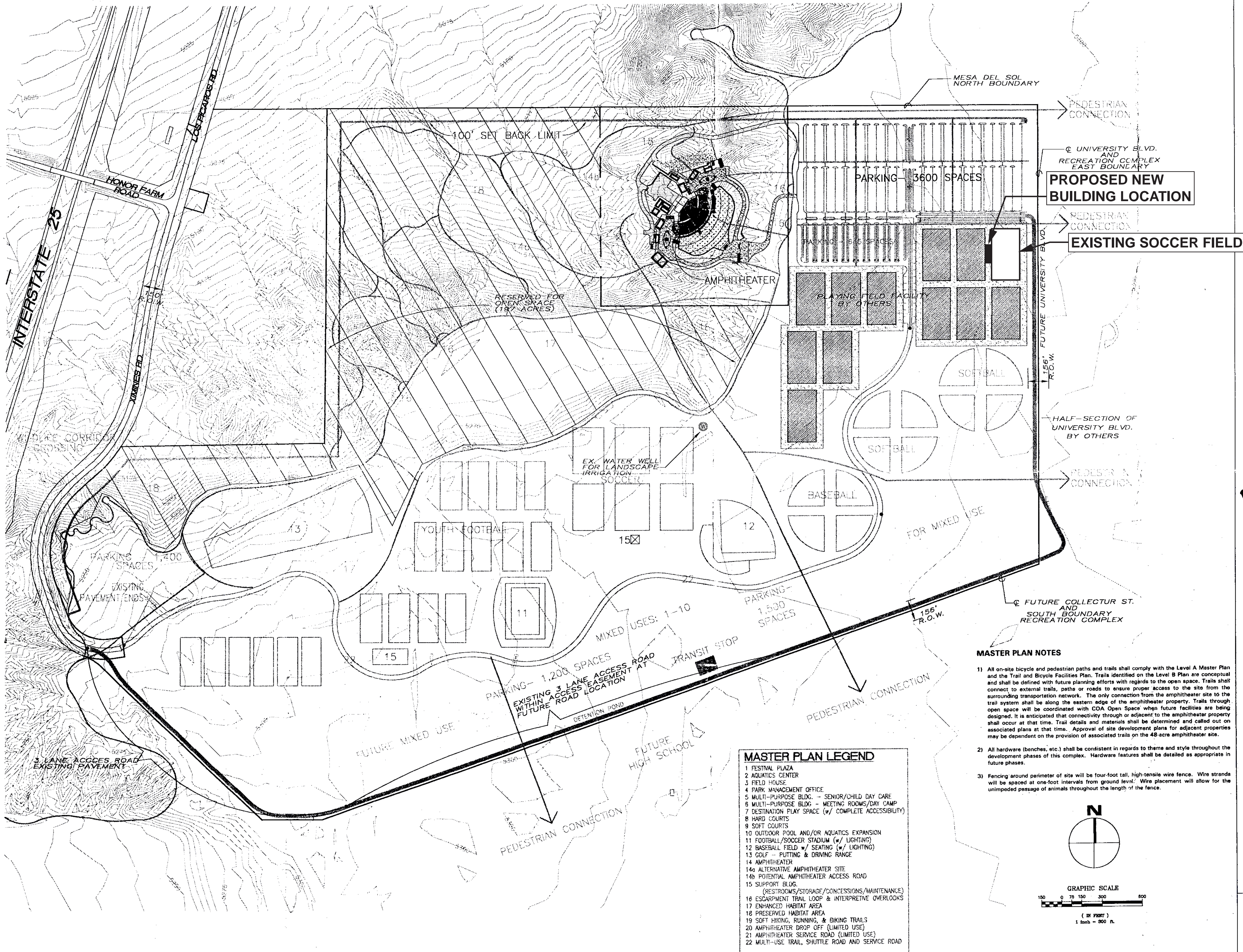
2412 Miles Rd. SE

Albuquerque, NM 87106

505.842.8865

lee@lganm.com

www.lganm.com



VICINITY MAP
SCALE 1" = 2000'
ZONE ATLAS MAPS R-14-Z & R-15-Z

SUBDIVISION DATA
PROJECT LIMITS AREA = 48 acres ±
ZONE: SU-1 FOR URBAN REGIONAL PARK
PARKING: 3,800 SPACES
(PROVIDED BY BERNALILLO COUNTY, Z-97-141)

LEGAL DESCRIPTION
THAT CERTAIN PARCEL OF LAND SITUATE WITHIN SECTION 21,
AND THE EAST HALF OF SECTION 20, TOWNSHIP 9 NORTH,
RANGE 3 EAST, BERNALILLO COUNTY, NEW MEXICO,
CONSISTING OF 48 ACRES ±

DRB 99-6
CASE NUMBER Z-98-26

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT
PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION
ON DECEMBER, 1997 AND THE FINDINGS IN THE OFFICIAL
NOTICE OF DECISION HAVE BEEN COMPLETED WITH:

DR 12-20-97	PLANNING	12/20/97	DATE
	Bradley Bingham	11-3-99	DATE
	UTILITY DEVELOPMENT	11-03-99	DATE
	Michael Dantz	11-14-99	DATE
	TRANSPORTATION DEVELOPMENT	11-14-99	DATE
	Frank Chagnon	11-3-99	DATE
	CITY ENGINEER / HYDROLOGIST		
	Edward R. Hays	11-3-99	DATE
	PARKS & RECREATION DEPARTMENT		

PROJECT DESCRIPTION
AMPHITHEATER AND ASSOCIATED FACILITIES INCLUDING STORAGE
FACILITIES, RESTROOMS, TICKET SALES OFFICE AND CONCESSIONS.
THE AMPHITHEATER ACCOMMODATES A MAXIMUM OF 8,400 SPECTATORS
PURSUANT TO THE MESA DEL SOL LEVEL B PLAN AND TRAFFIC
IMPACT STUDY APPROVED MAY 25, 1996. CAPACITY TO EXPAND
TO 15,000 ONCE ACCESS IS PROVIDED FROM UNIVERSITY BOULEVARD.

SHEET INDEX

SHEET 1	OVERALL PLAN
SHEET 2	SITE PLAN
SHEET 3	CONCEPTUAL LANDSCAPE PLAN
SHEET 4	SITE DRAINAGE PLAN
SHEET 5	SITE GRADING PLAN
SHEET 6	STAGE ELEVATIONS
SHEET 7	ENTRANCE GATE ELEVATIONS
SHEET 8	BOX OFFICE/CONCESSION ELEVATIONS
SHEET 9	BACKSTAGE FACILITIES ELEVATIONS
SHEET 10	FIRST AID/ADMINISTRATION BUILDING ELEVATIONS
SHEET 11	RESTROOM BUILDING ELEVATIONS
SHEET 12	FACILITY SIGNAGE PLAN
SHEET 13	SIGNAGE DETAILS
SHEET 14	LIGHTING PLAN

SEATING CAPACITY: SEE SHEET 2, NOTE B

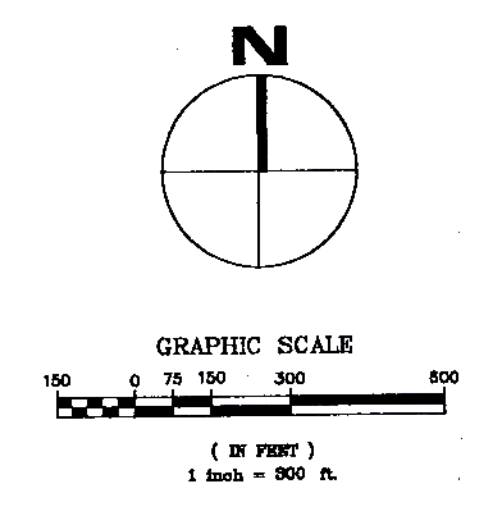
AMPHITHEATER AND ASSOCIATED FACILITIES INCLUDING STORAGE FACILITIES, RESTROOMS, TICKET SALES OFFICE AND CONCESSIONS. THE AMPHITHEATER ACCOMMODATES A MAXIMUM OF 12,000 SPECTATORS PURSUANT TO THE MESA DEL SOL LEVEL B PLAN, TRAFFIC IMPACT STUDY APPROVED MAY 25, 1996. SUPPLEMENTAL TRAFFIC ANALYSIS DATED JUNE, 2000, AND THAT PERFORMANCE WILL BE CONTROLLED EVENTS WITH APPROVED TRAFFIC MANAGEMENT. CAPACITY TO EXPAND TO 15,000 ONCE ACCESS IS PROVIDED FROM UNIVERSITY BOULEVARD.

November 2, 1999

MESA DEL SOL
REGIONAL RECREATION COMPLEX
PHASE 1B
AMPHITHEATER
OVERALL PLAN
SHEET 1 OF 14

- MASTER PLAN LEGEND**
- FESTIVAL PLAZA
 - AQUATICS CENTER
 - FIELD HOUSE
 - PARK MANAGEMENT OFFICE
 - MULTI-PURPOSE BLDG. - SENIOR/CHILD DAY CARE
 - MULTI-PURPOSE BLDG. - MEETING ROOMS/DAY CAMP
 - DESTINATION PLAY SPACE (w/ COMPLETE ACCESSIBILITY)
 - HARD COURTS
 - SOFT COURTS
 - OUTDOOR POOL AND/OR AQUATICS EXPANSION
 - FOOTBALL/SOCCER STADIUM (w/ LIGHTING)
 - BASEBALL FIELD w/ SEATING (w/ LIGHTING)
 - GOLF - PUTTING & DRIVING RANGE
 - AMPHITHEATER
 - ALTERNATIVE AMPHITHEATER SITE
 - POTENTIAL AMPHITHEATER ACCESS ROAD
 - SUPPORT BLDG. (RESTROOMS/STORAGE/CONCESSIONS/MAINTENANCE)
 - ESCAPMENT TRAIL LOOP & INTERPRETIVE OVERLOOKS
 - ENHANCED HABITAT AREA
 - PRESERVED HABITAT AREA
 - SOFT HIKING, RUNNING, & BIKING TRAILS
 - AMPHITHEATER DROP OFF (LIMITED USE)
 - AMPHITHEATER SERVICE ROAD (LIMITED USE)
 - MULTI-USE TRAIL, SHUTTLE ROAD AND SERVICE ROAD

- MASTER PLAN NOTES**
- All on-site bicycle and pedestrian paths and trails shall comply with the Level A Master Plan and the Trail and Bicycle Facilities Plan. Trails identified on the Level B Plan are conceptual and shall be defined with future planning efforts with regards to the open space. Trails shall connect to external trails, paths or roads to ensure proper access to the site from the surrounding transportation network. The only connection from the amphitheater site to the trail system shall be along the eastern edge of the amphitheater property. Trails through open space will be coordinated with COA Open Space when future facilities are being designed. It is anticipated that connectivity through or adjacent to the amphitheater property shall occur at that time. Trail details and materials shall be determined and called out on associated plans at that time. Approval of site development plans for adjacent properties may be dependent on the provision of associated trails on the 48-acre amphitheater site.
 - All hardware (benches, etc.) shall be consistent in regards to theme and style throughout the development phases of this complex. Hardware features shall be detailed as appropriate in future phases.
 - Fencing around perimeter of site will be four-foot tall, high-tensile wire fence. Wire strands will be spaced at one-foot intervals from ground level. Wire placement will allow for the unimpeded passage of animals throughout the length of the fence.

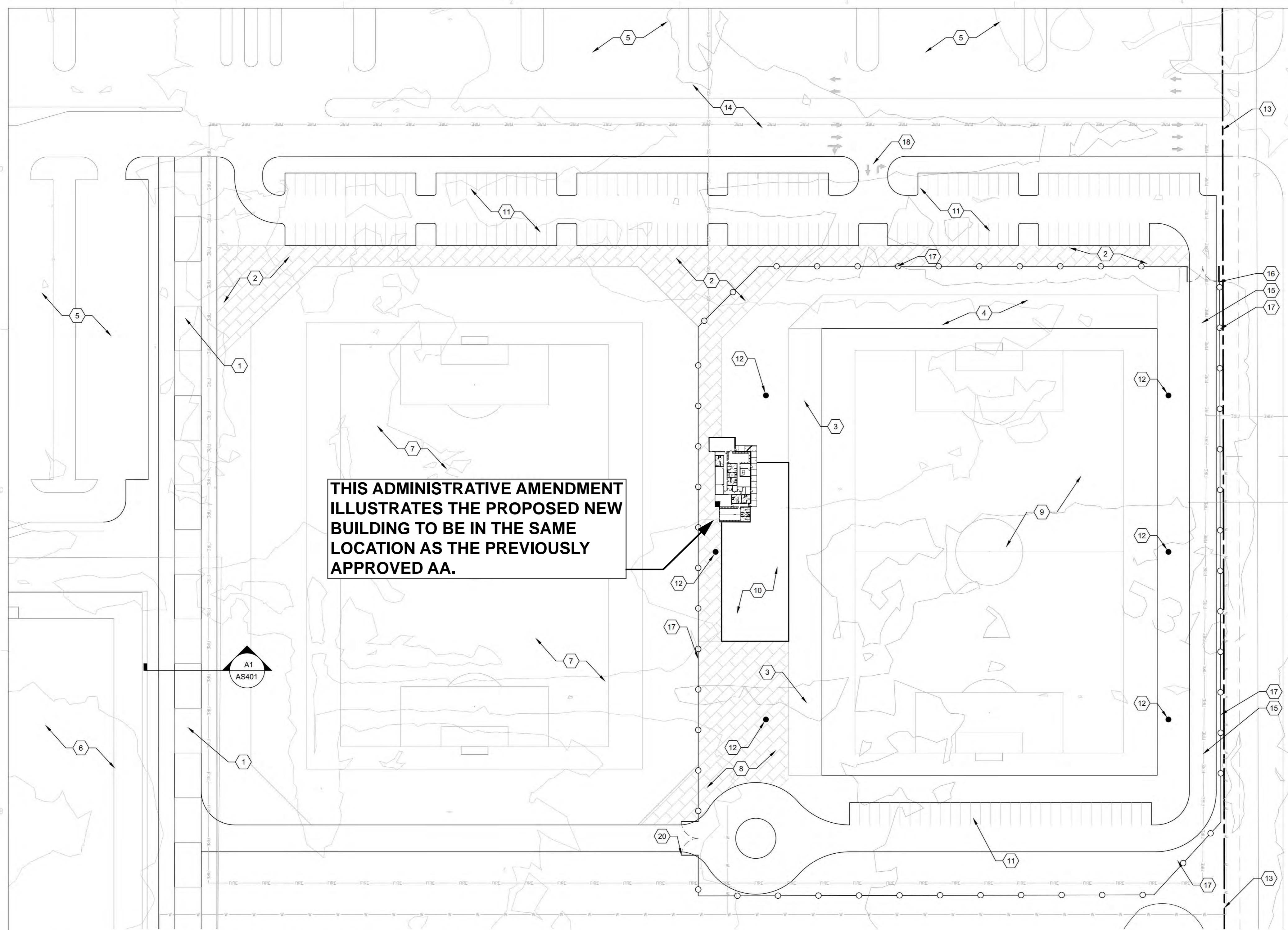


**PREVIOUSLY APPROVED SITE PLAN • MODIFIED
PER THIS ADMINISTRATIVE AMENDMENT •
LOCKER ROOM FACILITY AT MDS**

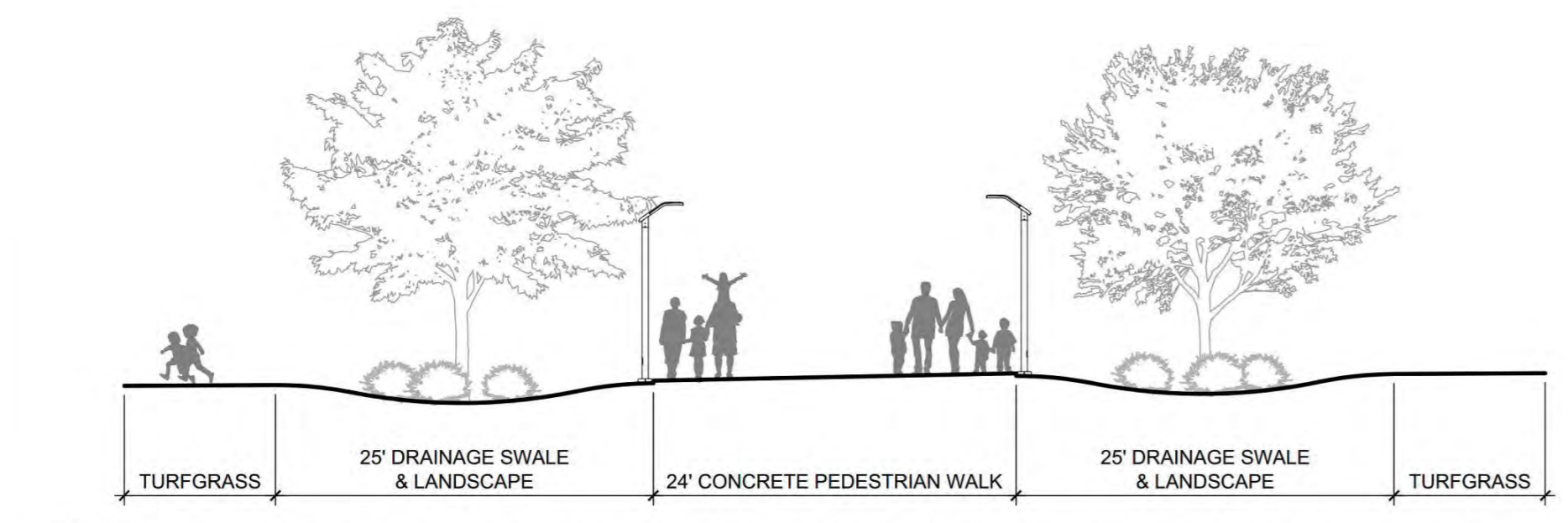
LEE GAMELSKY ARCHITECTS P.C.
2412 MILES RD. SE
ALBUQUERQUE, NM 87106
505.842.8865 lee@lgnm.com

SHEET KEYED NOTES

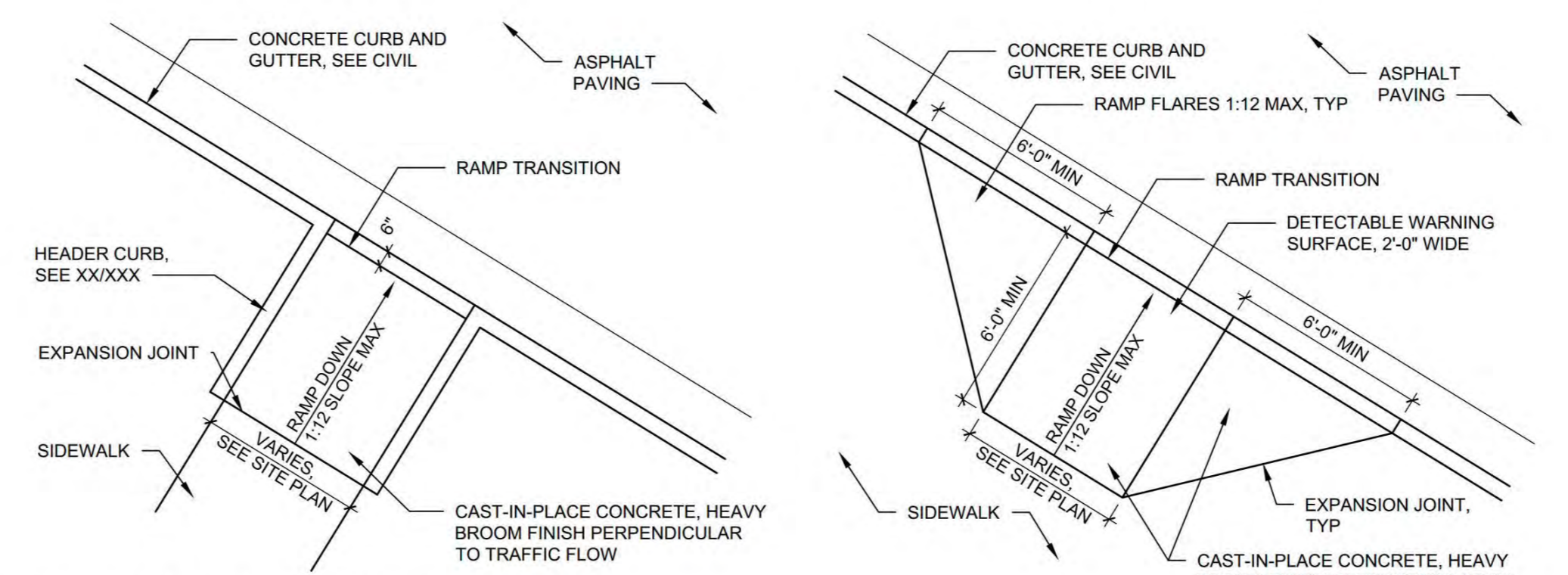
1. CONCRETE PEDESTRIAN WALK
2. CONCRETE ENTRY PLAZA
3. SPECTATOR BLEACHER SEATING SYSTEM
4. BLEACHER EXPANSION AREA
5. EXISTING PARKING
6. EXISTING TURF GRASS MULTI-USE FIELDS
7. FUTURE INDOOR PRACTICE FACILITY
8. SERVICE AREA
9. TURF GRASS PRACTICE FIELD
10. NEW MEXICO UNITED CLUBHOUSE
11. PROPOSED PARKING
12. SPORT FIELD LIGHTING
13. PROPERTY LINE
14. EXISTING VEHICLE ENTRY ROAD
15. EMERGENCY AND SERVICE ACCESS ROAD
16. VEHICULAR GATE
17. ORNAMENTAL IRON FENCING, COLOR BLACK
18. RIGHT IN, RIGHT OUT INTERSECTION



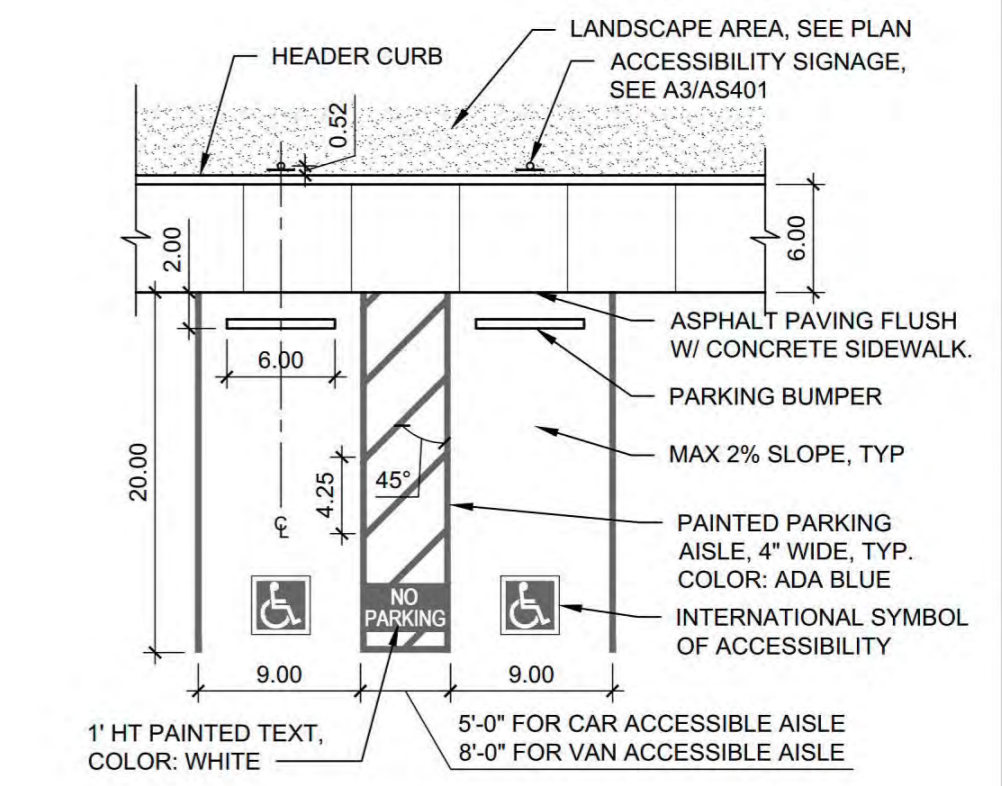
B1 SITE PLAN ENLARGEMENT - PHASE I
1" = 50'-0"
0 50' 100'



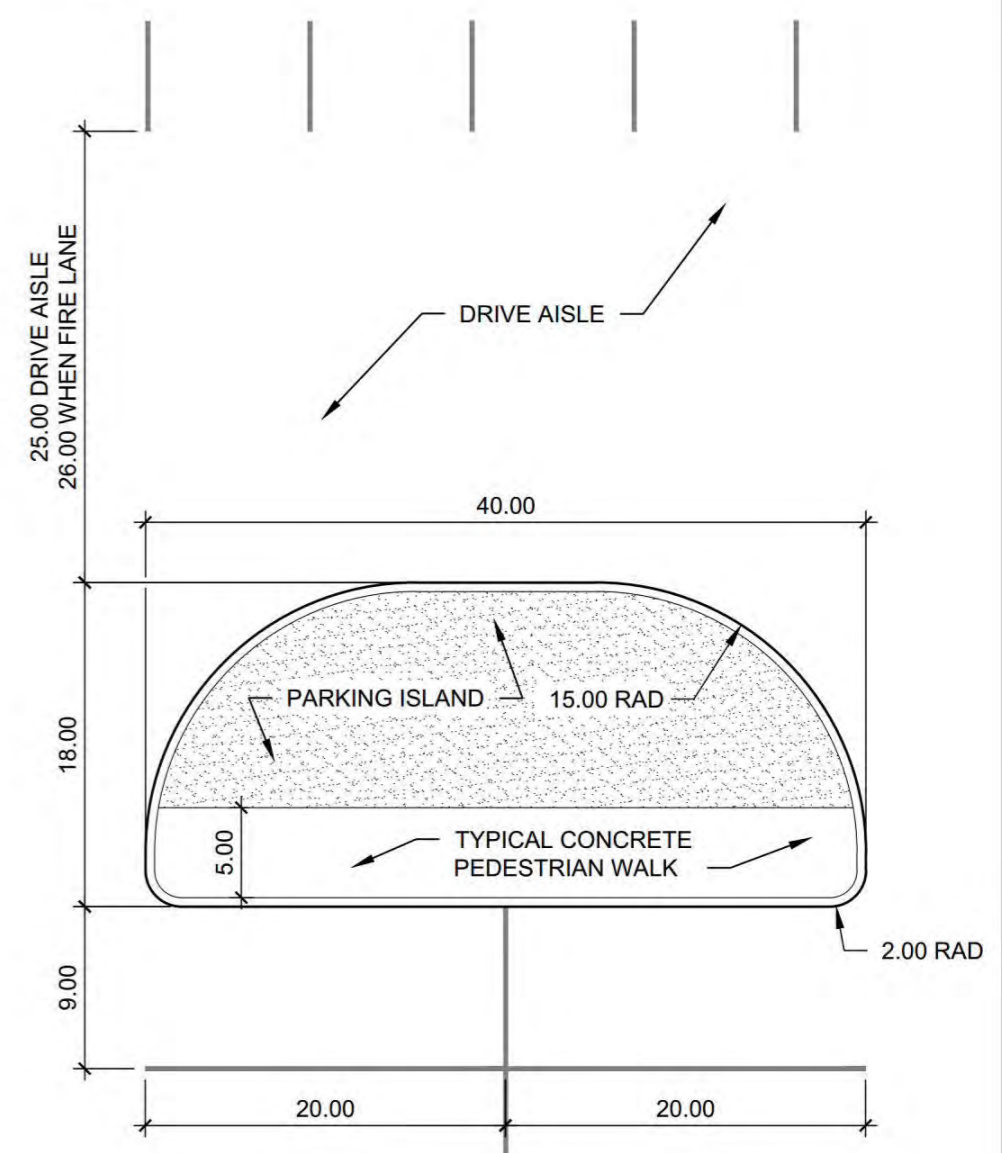
A1 SECTION - CENTRAL PEDESTRIAN PROMENADE
1" = 10'-0"
0 10' 20'



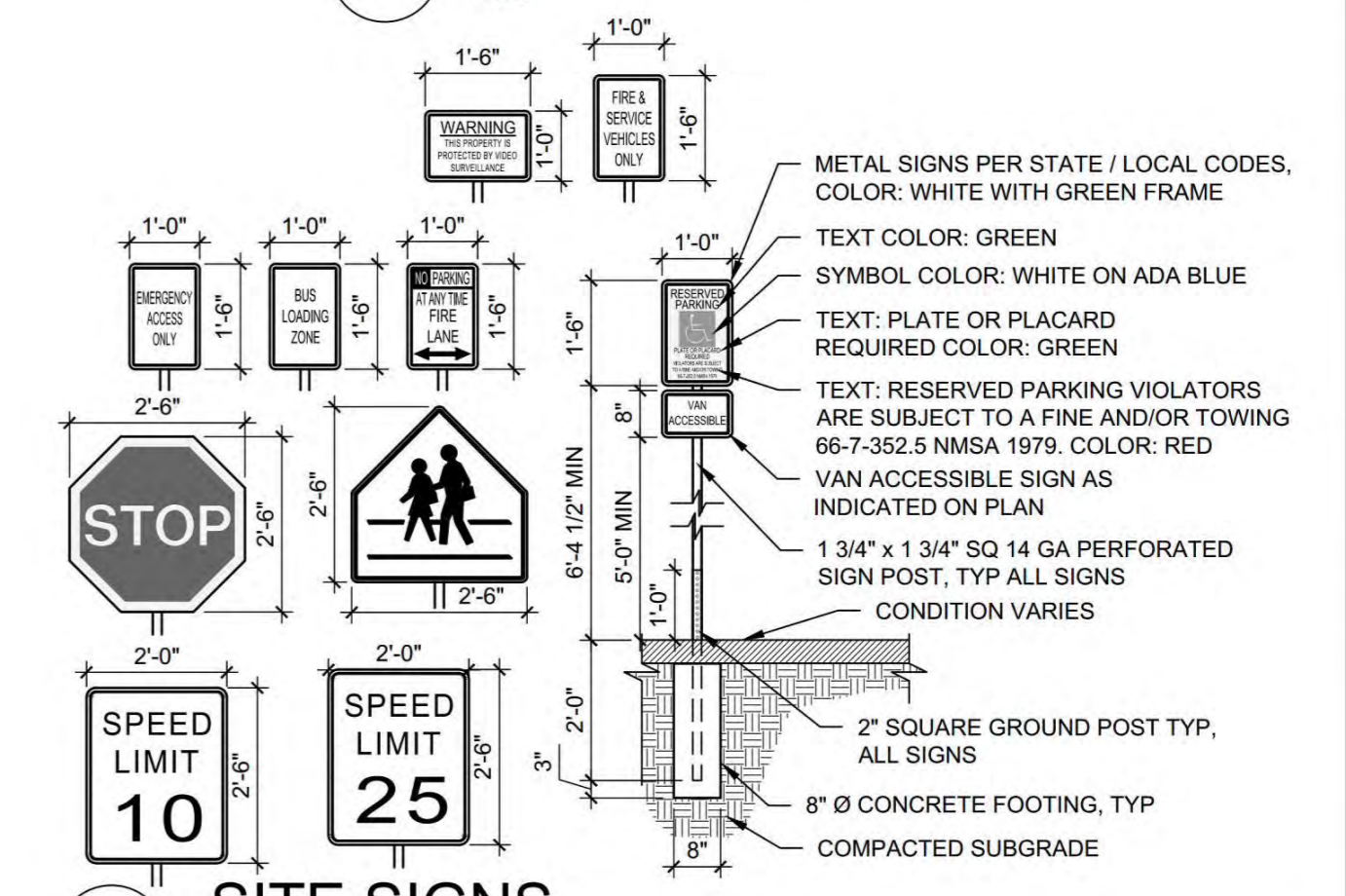
A2 ACCESSIBLE RAMPS
NTS



C4 ACCESSIBLE PARKING
NTS



B4 TYPICAL PARKING ISLAND, STALL, AND DRIVE
NTS

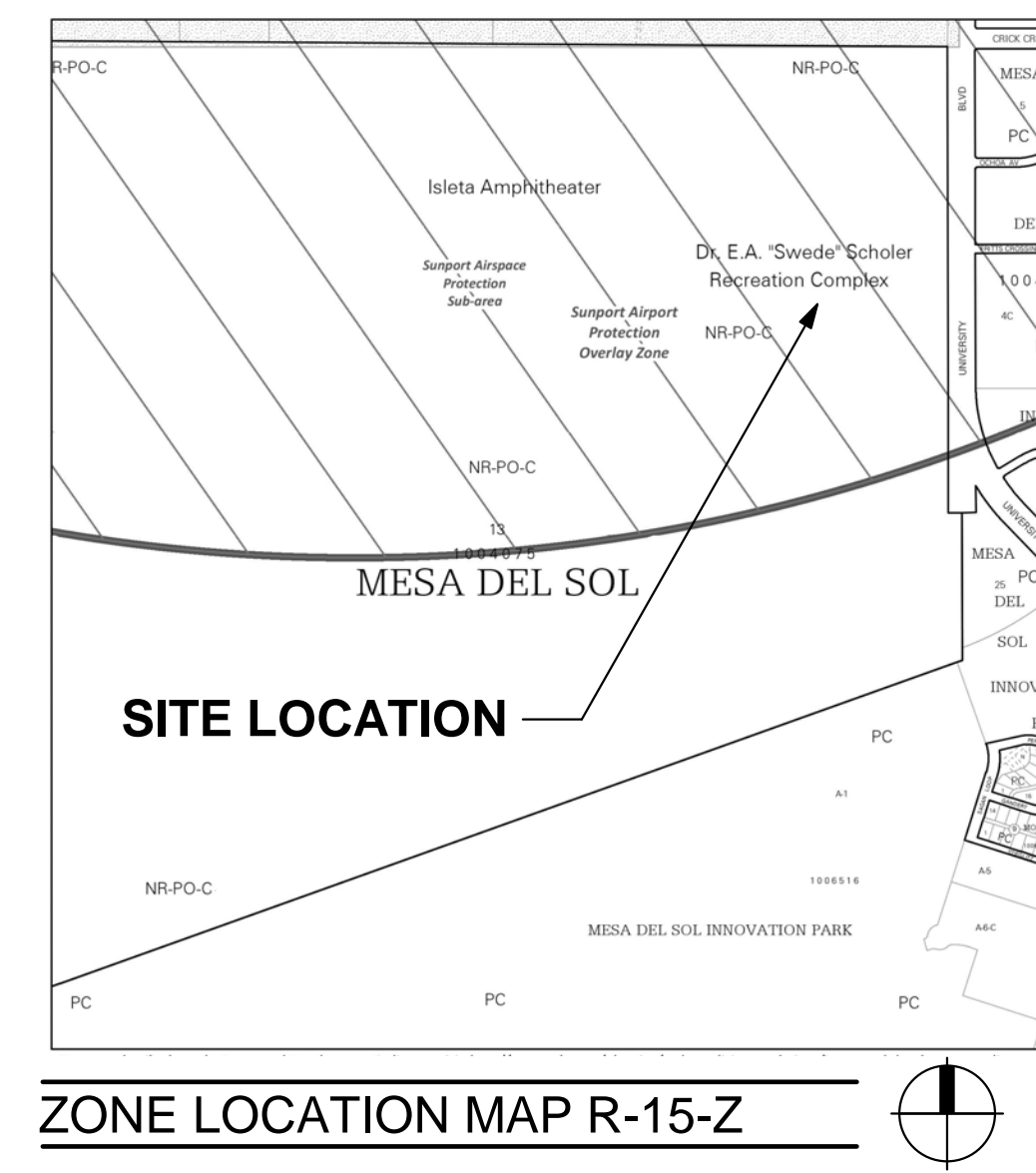


A4 SITE SIGNS
NTS

**ADMINISTRATIVE AMENDMENT • SITE PLAN
LOCKER ROOM FACILITY AT MDS**

PREVIOUSLY APPROVED ADMINISTRATIVE AMENDMENT.

PROJECT NO: PR-2019-003069
CASE NO: SI-2019-00365
APPROVED: 27 APRIL 2020



ADDRESS: 5601 UNIVERSITY BLVD. SE
ALBUQUERQUE, NM 87105

- THE SITE IS LOCATED WITHIN THE CITY OF ALBUQUERQUE
- IT IS LEASED BY BERNALILLO COUNTY
- IT IS OWNED BY THE STATE OF NEW MEXICO

LEGAL DESCRIPTION: TR 13 BULK LAND PLAT OF MESA DEL SOL TRACTS 1-15CONT

COA ZONING: NR-PO-C - IS PERMISSIVE AS PARKS AND OPEN SPACE, PER IDO A-3(c)(7)(a)
NOTE: DAVID FLORES (DEPUTY DIRECTOR) OF THE COA PARKS AND RECREATION DEPT. SUPPORTS THIS PROJECT.
(PER TABLE 4-2-1 ALLOWABLE USES: THIS FACILITY IS PERMISSIVE)

PARKING REQUIREMENTS PER IDO 14-16-5-5:
CLUB OR EVENT FACILITY

PARKING REQUIREMENTS:
1 SPACE / 1,000 GSF OR 1 SPACE / 4 SEATS IN MAIN ASSEMBLY

THEREFORE:
PER BUILDING AREA: $7,971 \text{ GSF} = 8 \text{ SPACES}$
1000

MAIN ASSEMBLY / TEAM MEETING ROOM = 65 OCCUPANTS

$\frac{65}{4} = 16.25 = 17 \text{ SPACES}$

NOTE: THE LARGER OF THE CALCULATIONS BASED ON BUILDING AREA VS. ASSEMBLY OCCUPANTS WAS USED AS THE MINIMUM NUMBER OF REQUIRED SPACES = 17

VEHICLE PARKING PROVIDED:
19 PARKING SPACES
19 IS GREATER THAN 17, THEREFORE OK.

HANDICAPPED PARKING REQUIREMENTS: 1 SPACE

HANDICAPPED PARKING PROVIDED: 12 SPACES

MOTORCYCLE SPACES REQUIRED: 1 SPACE

MOTORCYCLE SPACES PROVIDED: 1 SPACE

BICYCLE SPACES REQUIRED: 3

BICYCLE SPACES PROVIDED: 3

KEYED NOTES

03200.09 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430.

03200.12 CONCRETE ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES, PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 AND 2441.

10100.06 STOP SIGN (R1-1) AND NO LEFT TURN SIGN (R3-1) PER MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE; SIGN FIELD IS RED, BORDER AND LETTERING ARE WHITE.

NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@lgame.com

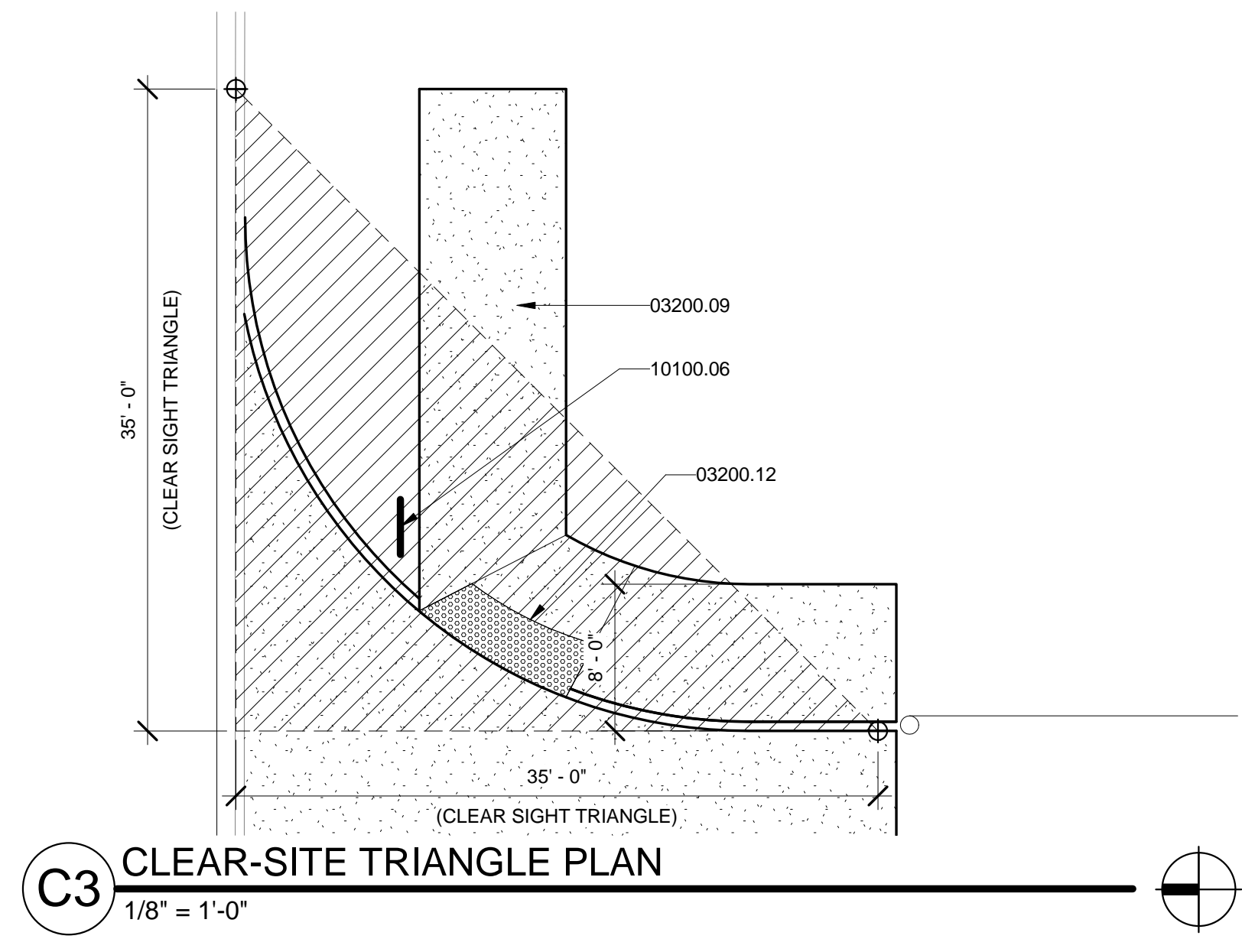
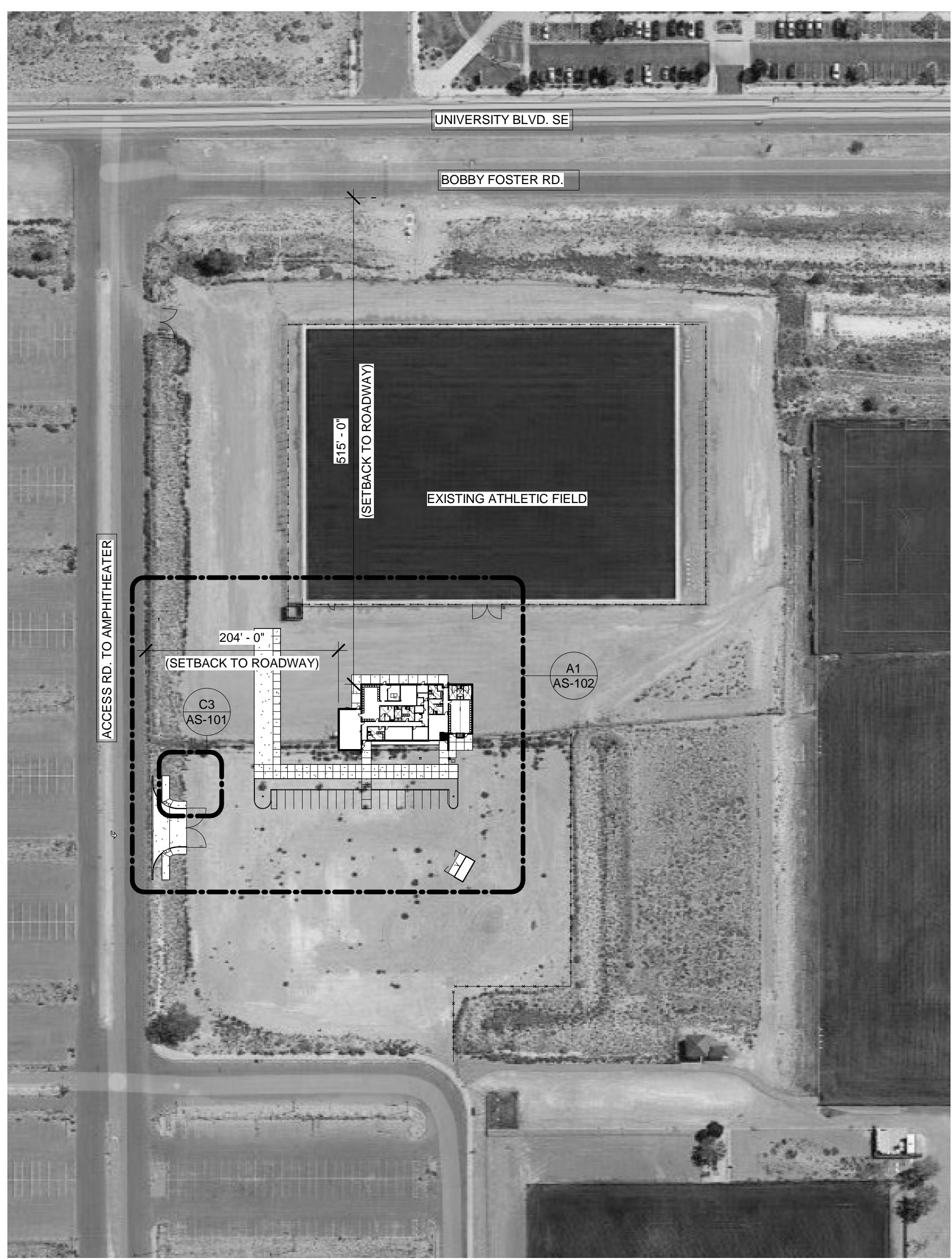
LOCKER ROOM FACILITY AT MDS

PROJECT ARCHITECT: LEE GAMELSKY, AIA

LGA Project #: 20-01-ABQ.7
Date: 3.25.2022

ADMINISTRATIVE AMENDMENT •
OVERALL SITE PLAN
LOCKER ROOM FACILITY AT MDS

By: _____ Sheet: Of: 81
File: _____ AA-AS-1



GENERAL NOTES

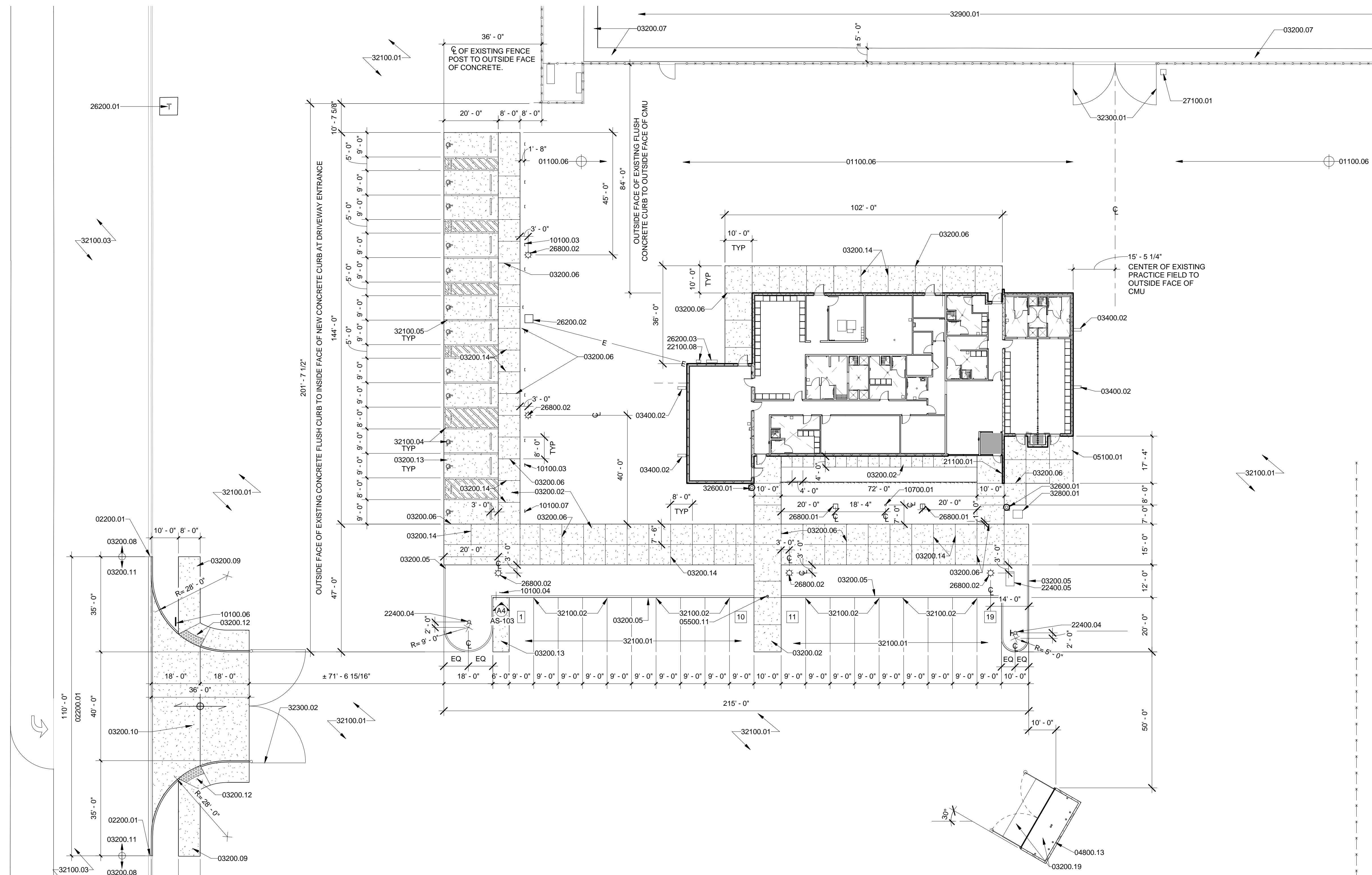
- A. EXTERIOR LIGHTS AND LIGHT POLES SHALL BE INSTALLED NO TALLER THAN 18' ABOVE GRADE. LIGHT FIXTURES SHALL COMPLY WITH THE NIGHT SKY ORDINANCE, AND SHALL COMPLY WITH THE REQUESTS OF KIRTLAND AFB AND/OR THE DEPARTMENT ON ENERGY.

LEGEND

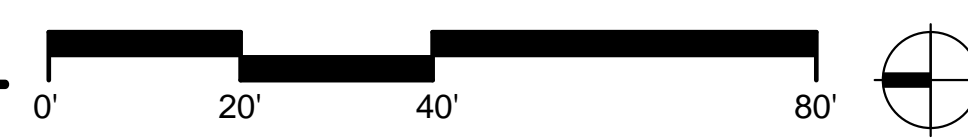
- EXISTING 6'-0" HIGH CHAIN LINK FENCE W/ ROUND POSTS, CENTERED ON 1'-0" WIDE CONCRETE CURB, TO REMAIN.
- EXISTING WIRE FENCE W/ STEEL POSTS, TO REMAIN.

KEYED NOTES

- 01100.06 FUTURE BLEACHER LOCATION. NOT PART OF THIS CONTRACT.
- 02200.01 SAWCUT/ REMOVE EXISTING CURB AND GUTTER FOR NEW CURB CUT.
- 03200.02 4" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB/SIDEWALK REINFORCE WITH 4X4-W2.9/W2.9 WELDED WIRE MESH. FLAT SHEETS ONLY. INSTALL ON CHAIRS CENTERED IN SLAB.
- 03200.05 4000 PSI, AIR-ENTRAINED CAST IN PLACE CONCRETE HEADER CURB MODIFIED CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415 B.
- 03200.06 1/2" THICK EXPANSION MATERIAL, WITH POUR IN PLACE SEALANT. ASPHALT IMPREGNATED OR EQUAL.
- 03200.07 EXISTING CONCRETE PAD/ SIDEWALK, TO REMAIN.
- 03200.08 EXISTING CONCRETE CURB AND GUTTER, TO REMAIN.
- 03200.09 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430.
- 03200.10 CONCRETE PAVING PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2426 FOR PRIVATE ENTRANCE.
- 03200.11 NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415.
- 03200.12 CONCRETE ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO COA STANDARD DWGS. 2440 AND 2441.
- 03200.13 6" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. REINFORCE W/ NO.4 REBAR @ 16" O.C. EACH WAY.
- 03200.14 1" DEEP X 3/8" WIDE CONCRETE CONTROL JOINT. SPACED 5'-0" APART, OR AS INDICATED ON PLAN.
- 03200.19 6" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB W/ 3/4" AGGREGATE. REINFORCE W/ 6X6 10/10 WELDED WIRE MESH.
- 03400.02 12" X 36" PRE CAST CONCRETE SPLASH BLOCK. PROVIDE AT INDICATED DOWNLEADER LOCATIONS.
- 04800.13 8" X 8" X 18" CMU BLOCK. SPLIT FACE GRAY COLOR BLOCK (SINGLE SIDED EXTERIOR SPLIT FACE). REINFORCED CMU WALL W/ NO.5 REBAR @ 16" O.C. VERTICAL. GROUT ALL CELL SOLID. PROVIDE (2) NO.5 IN KNOCK OUT BOND BEAMS @ 48" O.C. HORIZONTAL.
- 05100.01 STEEL COLUMN. PRIME AND PAINT AT EXPOSED LOCATIONS.
- 05500.11 8"Ø X 6'-0" TALL STEEL PIPE, CONCRETE FILLED. PRIME AND PAINT.
- 10100.03 ADA ACCESSIBLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD IS WHITE. SIGN LETTERING AND BORDERS ARE GREEN. SEE DETAIL A3 / AS-103. LOCATE SIGN CENTERED ON PARKING SPACE AND 1'-8" BACK FROM EDGE OF SIDEWALK. CAST IN CONCRETE SIDEWALK.
- 10100.04 MOTORCYCLE PARKING SIGN. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD IS WHITE. SIGN LETTERING AND BORDERS ARE GREEN. LOCATE SIGN CENTERED PARKING SPACE.
- 10100.06 STOP SIGN (R1-1) AND NO LEFT TURN SIGN (R3-1) PER MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD IS RED, BORDER AND LETTERING ARE WHITE.
- 10100.07 PROVIDE "VAN ACCESSIBLE" SIGN AT DESIGNATED LOCATIONS.
- 10700.01 20" HIGH X 5'Ø BUTT CONE TAPERED ALUMINUM FLAG POLE W/ EXTERNAL HALYARD (23'-0" OVERALL HEIGHT). (MANUFACTURER CONCORD INDUSTRIES, 800.634.4926, OR EQUAL). CONTINENTAL STYLE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 21100.01 KNOX BOX INSTALLED RECESSED IN CMU WALL @ 48" A.F.F. GROUT SOLID IN WALL.
- 22100.08 NEW GAS METER.
- 22400.04 NEW FIRE HYDRANT.
- 22400.05 BACKFLOW PREVENTER INSTALLED IN HOT BOX.
- 26200.01 EXISTING ELECTRICAL TRANSFORMER, TO REMAIN.
- 26200.02 NEW TRANSFORMER.
- 26200.03 NEW ELECTRICAL PANEL.
- 26800.01 RECESSED LIGHT FIXTURE INSTALLED IN CONCRETE CUBE BOLLARD. LIGHT FIXTURE ILLUMINATES METAL TRELLIS/ FINS STRUCTURE.
- 26800.02 LIGHT POLE.
- 27100.01 EXISTING COMMUNICATIONS IN-GROUND QUARTZITE BOX, TO REMAIN.
- 32100.01 EXISTING COMPACTED GRADE TO REMAIN.
- 32100.02 6" WIDE, WHITE PAINT STRIPS ON VERTICAL AND HORIZONTAL SURFACE OF MODIFIED HEADER CURB TO INDICATE PARKING STALL. TYPICAL AT PARKING SPACES ON GRADE.
- 32100.03 EXISTING ASPHALT PAVING, TO REMAIN.
- 32100.04 PROVIDE AND INSTALL PARKING STRIPING, HANDICAP SYMBOL (36" X 36"), AND HANDICAP STRIPING. PROVIDE 6" WIDE X 2'-0" O.C. DIAGONAL PAINT STRIPING. SEE INDICATED LAYOUT. PROVIDE THE WORDS "NO PARKING" IN CAPITAL LETTERS, 1'-0" HIGH LETTERS X 2" WIDE STRIPES LOCATED SO AS TO BE CLOSE TO WHEEL ADJACENT VEHICLE'S REAR TIRES WOULD BE PARKED. WHITE PARKING LINES AT REGULAR SPACE, AND BLUE COLOR AT HANDICAPPED SPACES AND ACCESS AISLE.
- 32100.05 PROVIDE 6" WIDE PAINT STRIPING. SEE INDICATED LAYOUT.
- 32300.01 EXISTING GATE, TO REMAIN.
- 32300.02 PIPE GATE PER COA STANDARD #2251. PROVIDE KNOX LOCK.
- 32600.01 38 GALLON POWDER COATED STEEL, REFUSE CONTAINER W/ DOMED LID.
- 32800.01 IN-GROUND IRRIGATION VALVE BOX.
- 32900.01 EXISTING ATHLETIC FIELD W/ TURF, TO REMAIN.



A1 SITE PLAN-AA
1" = 20'-0"



NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMELSKY ARCHITECTS P.C.
 2412 MILES ROAD SE
 ALBUQUERQUE, NM 87106
 505.842.8865 FAX 842.1693
 lee@lganm.com

LOCKER ROOM FACILITY AT MDS
 Albuquerque, New Mexico

PROJECT ARCHITECT: LEE GAMELSKY, AIA
 ADMINISTRATIVE AMMENDMENT •
 SITE PLAN
 LOCKER ROOM FACILITY AT MDS

LGA Project #: 20-01-ABQ.7
 Date: 3.25.2022

By: _____ Sheet: Of: 81
 File: _____ AA-AS-2

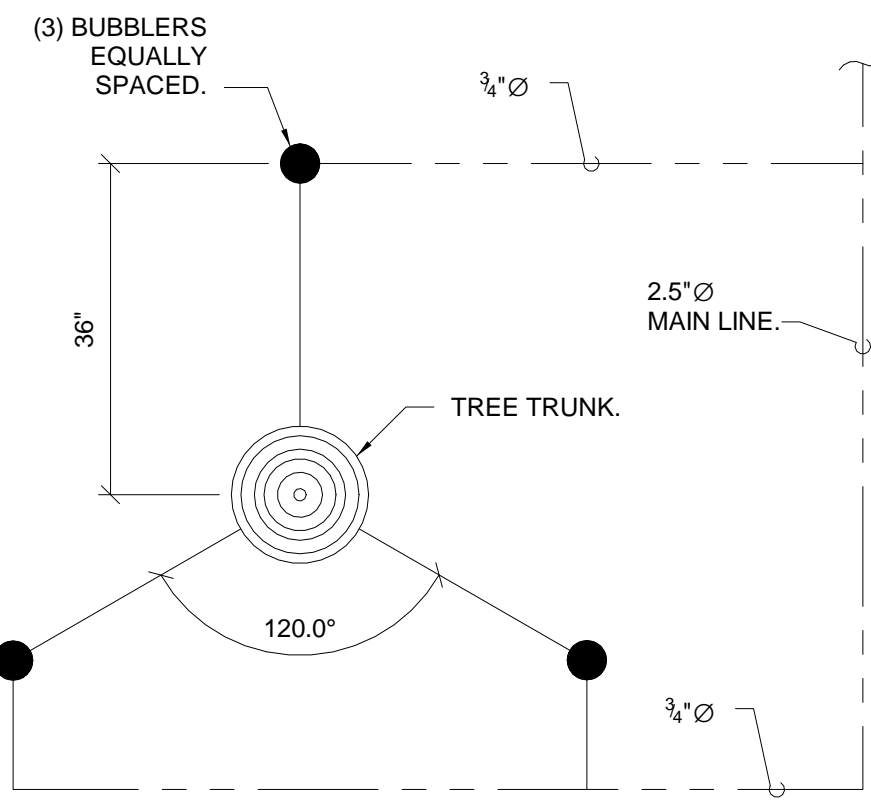
LEGEND

- EXISTING 6" HIGH CHAIN LINK FENCE W/ ROUND POSTS, CENTERED ON 1'-0" WIDE CONCRETE CURB, TO REMAIN.
- EXISTING WIRE FENCE W/ STEEL POSTS, TO REMAIN.
- NEW SANITARY SEWER.
- NEW DOMESTIC WATER LINE.
- NEW IRRIGATION SUPPLY LINE.
- NEW UNDERGROUND ELECTRICAL.

IRRIGATION EQUIPMENT SCHEDULE

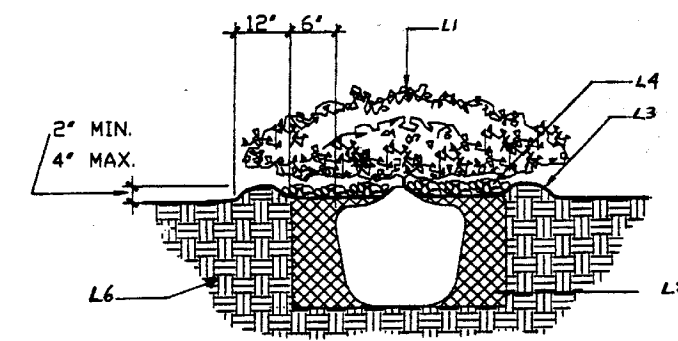
GENERAL NOTES • PROVIDE AND INSTALL THE FOLLOWING

- BUBBLER ASSEMBLY: RAIN BIRD PRESSURE COMPENSATING, TRICKLE PATTERN BUBBLER (COA DETAIL 2711).
- 1401 (25 GPM) - ONE (1) BUBBLER PER SHRUB ZONE NUMBER.
- 1402 (5 GPM) - THREE (3) BUBBLERS PER TREE PER DETAIL 1/L-501 ZONE NUMBER.
- IRRIGATION MAINLINE, SCHEDULE 40 PVC, SOLVENT WELD, SIZE 2.5" 18" DEPTH, EXCEPT WHERE INDER CONTINUOUS PRESSURE, 30" DEPTH.
- SLEEVING: CLASS 200 PVC (2 SIZES LARGER THAN PIPE TO BE SLEEVED).
- AIR RELEASE VALVE: BERMAN #01-ARA-P, 1" AIR RELEASE VALVE ASSEMBLY.
- DECODER SURGE PROTECTION: RAIN BIRD #LSP-1 LINE SURGE PROTECTOR GROUNDED WITH 5/8" COPPER CLAD GROUND ROD.
- AUTOMATIC VALVE ASSEMBLY: RAIN BIRD PEB.
- CONTROLLER: RAINBIRD #ESPLX-LXMPED 6 STATION IRRIGATION CONTROLLER (DECODER). INSTALL INSIDE OF BUILDING.



BUBBLER DETAIL • TREE

12" = 1'-0"



SHRUB PLANTING DETAIL

KEYED NOTES

FOR PLANTING DETAILS

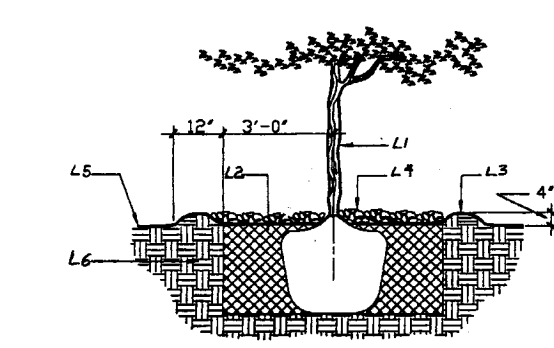
- L1. TREE OR SHRUB: SEE PLAN FOR SIZE, SPECIES AND LOCATION.
- L2. BACK FILL WITH EXISTING SOIL.
- L3. EARTH BERM AROUND WATER RETENTION BASINS.
- L4. 4" DEPTH OF MULCH.
- L5. FINISH GRADE. SEE PLAN FOR MULCH.
- L6. UNDISTURBED SOIL.

TREE PLANTING DETAIL

GENERAL NOTES

FOR PLANTING DETAILS

- AA. AT SHRUBS AND SMALL PLANTS: THE OUTSIDE DIAMETER OF THE EXCAVATION SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- BB. AT TREES: ROOT BALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- CC. AT TREES: TOP OF ROOT BALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG, THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- DD. AT TREES: PRIOR TO BACK FILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- EE. AT TREES: PRIOR TO BACK FILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM THE BOTTOM OF ROOT BALL.



GENERAL IRRIGATION NOTES

1. THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 75 PSI AT THE POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
2. ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH COA SECTION 1001-LANDSCAPE IRRIGATION SYSTEM, AND REFERENCED DETAILS CONTAINED WITHIN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS MANUAL, LATEST EDITION.
3. SEE CITY OF ALBUQUERQUE STANDARD DETAILS FOR LANDSCAPING, SECTION 2700:
 - DWG. NO. 2700 RPBB
 - DWG. NO. 2701 MASTER VALVES W/ RPBB
 - DWG. NO. 2702-A MASTER VALVE W/ PVB
 - DWG. NO. 2704 PVB W/ MV
 - DWG. NO. 2705 IRRIGATION VALVE ASSEMBLY
 - DWG. NO. 2710 BUBBLER AT TREE
 - DWG. NO. 2711-A BUBBLER
 - DWG. NO. 2712 BUBBLER
4. THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
5. THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
6. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING, OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
7. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS INDICATED ON THE DRAWING. EXTEND SLEEVES 2' BEYOND BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STAKE LOCATION OF SLEEVE WITH T-POSTS AND FLAGS.
9. THE CONTRACTOR SHALL INSTALL RAINBIRD DECODER SYSTEM WITH SATELLITE COMPATIBLE WITH COA RAINBIRD CENTRAL IQ SYSTEM. ALL COMMUNICATION CABLE SHALL BE THOROUGHLY GROUNDED AND GROUND TESTED TO MEET ALL REQUIREMENTS OF THE MANUFACTURER. INSTALL COMMUNICATION CABLE ACCESS BOXES AT ALL BRANCHES ON MAINLINE PIPING. INSTALL COMMUNICATION CABLE ALONG ALL PATHS OF THE MAINLINE PIPING STRUCTURE. ALL SPLICES MUST BE HOUSED IN A VALVE BOX. USE ONLY MANUFACTURER RECOMMENDED SPLICE KITS. CONTRACTOR SHALL PROVIDE 2 YEAR EXTENDED MAINTENANCE FOR IRRIGATION SYSTEM FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 10.

GENERAL NOTES

- A. PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- B. ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
- C. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- D. PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH ALL CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECTION 1005 - PLANTING) AND DETAILS.
- E. CONTRACTOR SHALL PROVIDE 2 YEARS OF EXTENDED MAINTENANCE OF ALL LANDSCAPE AREAS FROM THE DATE OF SUBSTANTIAL COMPLETION.
- F. SEE SHEET G-002 FOR CODE DATA/ LANDSCAPING REQUIREMENTS.
- G. SEE CITY OF ALBUQUERQUE STANDARD DETAILS FOR LANDSCAPING SECTION 2700:
 - DWG. NO. 2714 TREE PLANTING
 - DWG. NO. 2716 SHRUB PLANTING

KEYED NOTES

- 03200.02 4" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB/SIDEWALK REINFORCE WITH #4xW2.9W2.9 WELDED WIRE MESH, FLAT SHEETS ONLY. INSTALL ON CHAIRS CENTERED IN SLAB.
- 03200.05 4000 PSI, AIR-ENTRAINED CAST IN PLACE CONCRETE HEADER CURB MODIFIED CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415 B.
- 03200.07 EXISTING CONCRETE PAD/ SIDEWALK, TO REMAIN.
- 03200.13 6" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB. REINFORCE W/ NO. 4 REBAR @ 16" O.C. EACH WAY.
- 22100.01 6"Ø WATER SUPPLY FOR FIRE HYDRANTS.
- 22100.02 WATER SUPPLY.
- 22400.04 NEW FIRE HYDRANT.
- 22400.05 BACKFLOW PREVENTER INSTALLED IN HOT BOX.
- 26200.02 NEW TRANSFORMER.
- 26800.01 RECESSED LIGHT FIXTURE INSTALLED IN CONCRETE CUBE BOLLARD. LIGHT FIXTURE ILLUMINATES METAL TRELIS/ FINS STRUCTURE.
- 26800.02 LIGHT POLE.
- 32100.01 EXISTING COMPACTED GRADE TO REMAIN.
- 32100.03 EXISTING ASPHALT PAVING, TO REMAIN.
- 32800.01 IN-GROUND IRRIGATION VALVE BOX.
- 32900.01 EXISTING ATHLETIC FIELD W/ TURF, TO REMAIN.
- 32900.02 4" HIGH METAL EDGING, MINIMUM. STAKE AS REQUIRED.

LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
	ULMUS PROPINQUA 'JFS-BIEBERICH'	EMERALD SUNSHINE ELM (M)	9	2.5"Ø	
	GLEITSIA TIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST (M+)	9	2.5"Ø	
	NEPETA HYBRID 'WALKER'S LOW'	WALKER'S LOW CATMINT (L+)	17	1 GAL.	
	SALVIA GREGGII 'FURMAN'S RED'	FURMAN'S RED CHERRY SAGE (L+)	7	3 GAL.	
	POTENTILLA FUTICOSA 'JACKMANI'	JACKMAN'S SHRUBBY CINQUEFOIL (M+)	7	5 GAL.	
	CALAMOGROSTIS A. 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS (M)	32	5 GAL.	
	SUPPLIER: JPR GRAVEL NM (BASIS OF DESIGN) (505.503.7766)	BLACK CRUSHER FINES			4" THICK, ROLLED. INSTALL OVER GEOTEXTILE FABRIC, OVER COMPACTED GRADE TO 95%.

NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@ganm.com

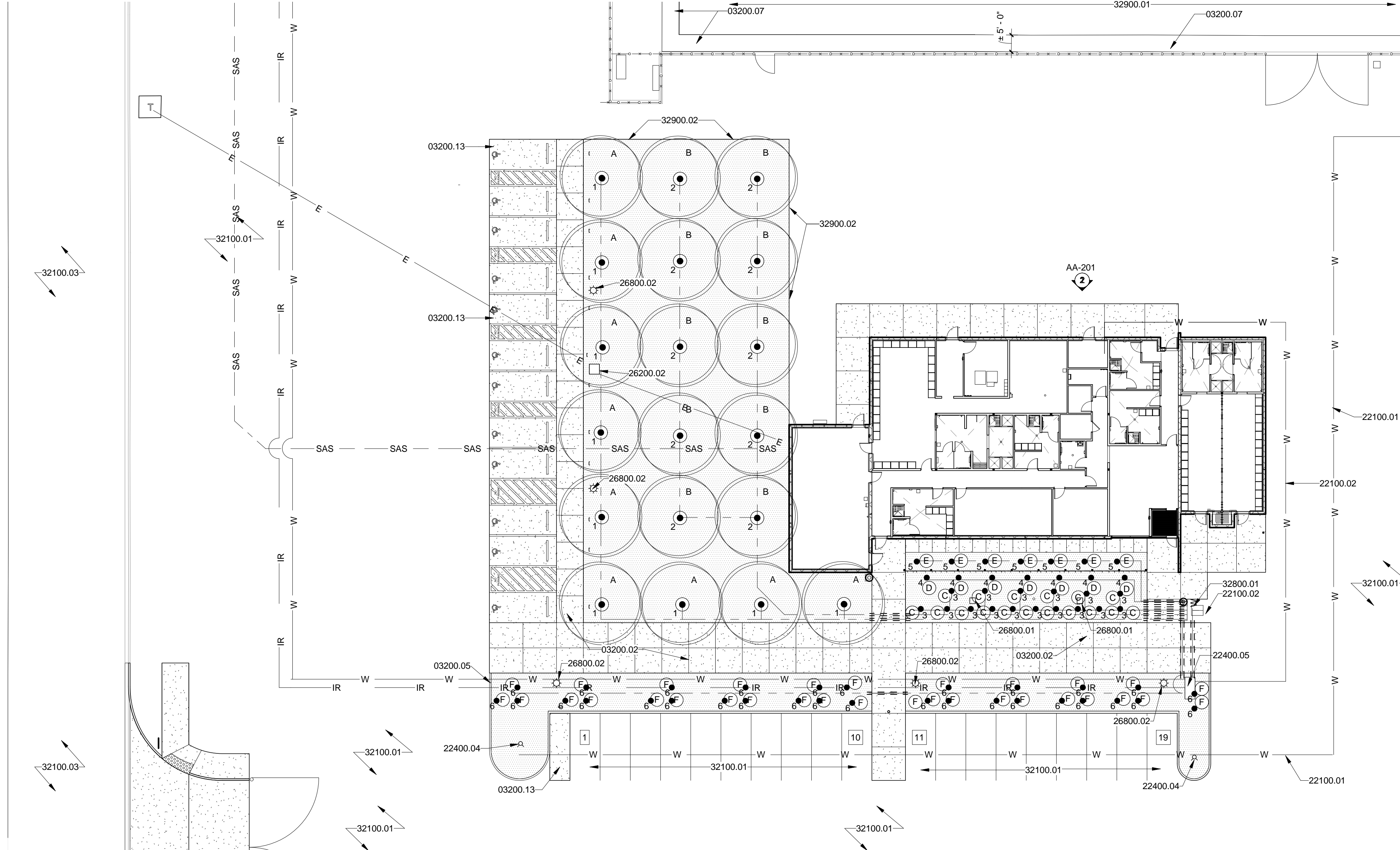
LOCKER ROOM FACILITY AT MDS
Albuquerque, New Mexico

PROJECT ARCHITECT: LEE GAMESKY, AIA
Date: 3.25.2022

LGA Project #: 20-01-ABQ.7

ADMINISTRATIVE AMMENDMENT •
LANDSCAPE PLAN
LOCKER ROOM FACILITY AT MDS

By: _____ Sheet: Of: 81
File: _____ AA-L



LANDSCAPE PLAN-AA

1" = 20'-0"

March 1, 2022

Via email to lee@lganm.com
Mr. Lee Gamelsky, AIA, LEED AP BD+C
Lee Gamelsky Architects P.C.
2412 Miles Road, SE
Albuquerque, NM 87106

Re: Revised NM United Locker Room Facility on University Blvd., SE
Mesa del Sol Architectural Review Committee (ARC) March 1, 2022 Comments

Dear Mr. Gamelsky:

This follows your February 25 resubmittal of the plans for the New Mexico United (NMU) Locker Room facility. The Mesa del Sol Architectural Review Committee (ARC) has reviewed the re-submitted plans and has the following requirements for approval of the proposed facility:

1. The ARC approves the use of split face rock on all elevations but will require some design treatments of different colors. Gray is acceptable as a primary color, but it must be broken up with (for example) several horizontal bands of the “integral color and burnished CMU-Black Color” shown on the West Elevation above and behind the trellis work. This will provide walls with more character and visual interest than plain gray rock ones. In our first review, the ARC required “some articulation or variation to the exterior walls”. We will accept the integral continuous color bands of split face rock on all 4 elevations as meeting this requirement. The east elevation is required to have such design or articulation, whether or not bleachers are installed in the future.
2. The ARC requires that the trash enclosure be moved from the (very visible) location on the Northwest corner of the site to the (less visible) Southwest corner of the site.
3. The light poles in the parking lot and on or near the building must comply with the height requirements of the Recreational Complex master plan, as well as the Night Sky Ordinance, and such additional requirements (if any) imposed by Kirtland AFB (KAFB) or the Department of Energy (DOE).

In the interest of time, you are not required to re-submit the plans to the ARC again. As long as the required changes are made to the plans, this letter will satisfy the City of Albuquerque’s requirement that the Mesa del Sol ARC review and approve the proposed development.

Your attention to this matter is appreciated. We welcome any questions you may have, addressed to the undersigned at dcampbell@mesadelsolnm.com or to Mr. Kyle Bodhaine, kyle@sc3development.com. Best personal regards.

Sincerely,

MESA DEL SOL ARCHITECTURAL REVIEW COMMITTEE

David S. Campbell

David S. Campbell, Chair

cc: ARC Members

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. ***The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved Achieved in Part Evaluated Only

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved Achieved in Part Evaluated Only

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

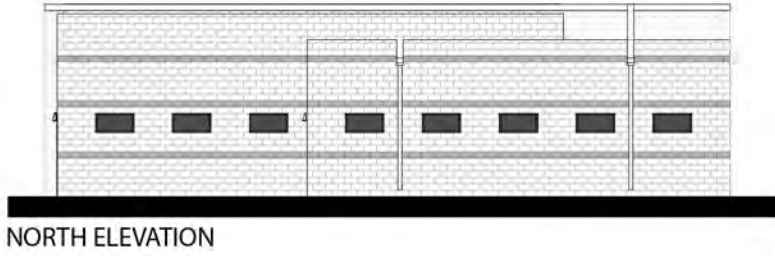
Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project Locker Room Facility at MDS and Application No BP-2021-53855.

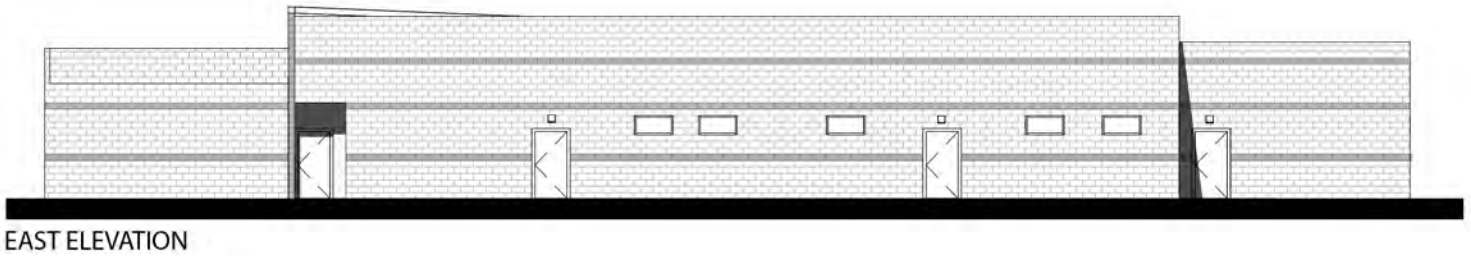
H. Gray 1931
Signature of Project Architect/License No.

Landscape designed by Architect
Signature of Project Landscape Architect/License No.

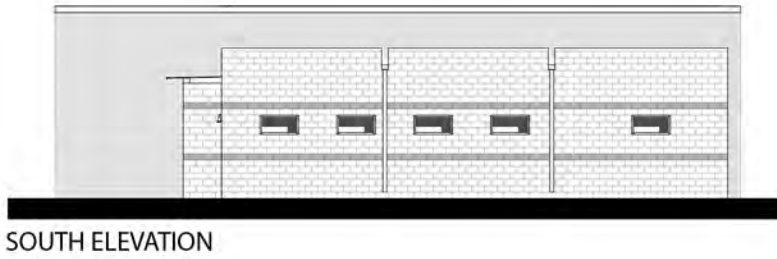
LOCKER ROOM FACILITY AT MESA DEL SOL
SUN AND SHADE ANALYSIS: MAY 21ST, 9:00AM



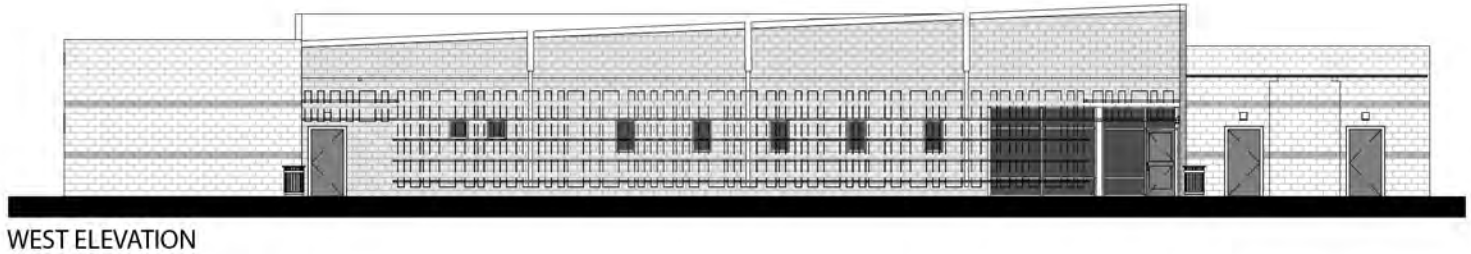
NORTH ELEVATION



EAST ELEVATION



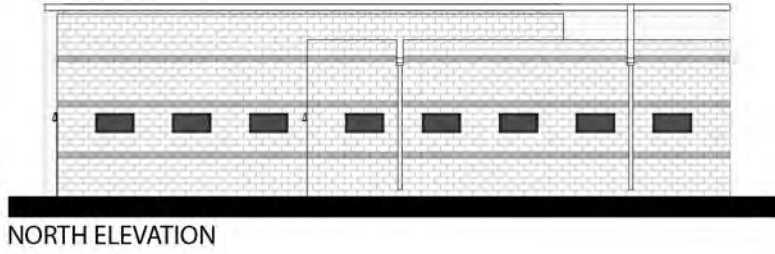
SOUTH ELEVATION



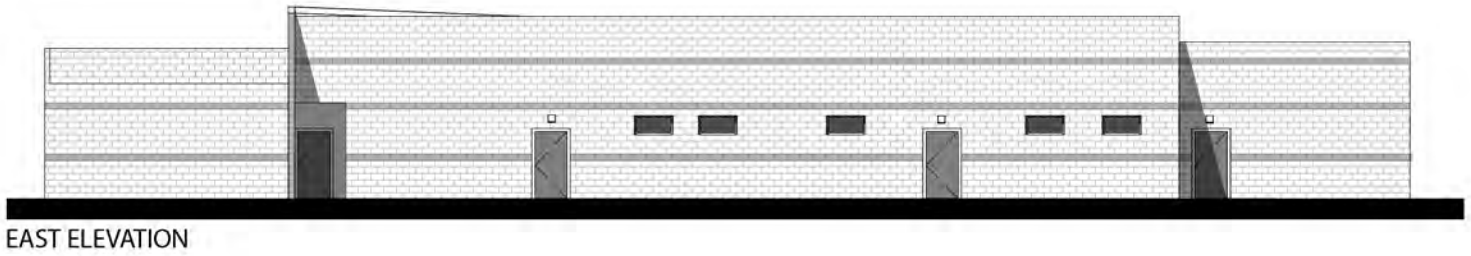
WEST ELEVATION

0' 5' 10' 20'

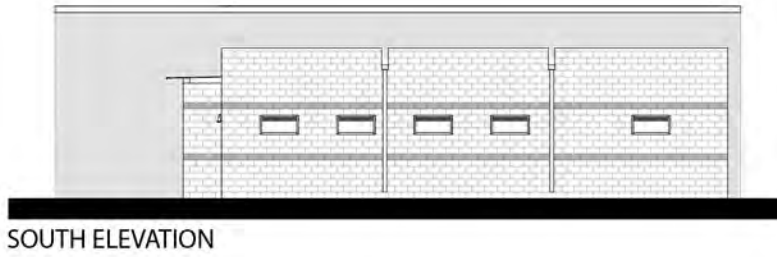
LOCKER ROOM FACILITY AT MESA DEL SOL
SUN AND SHADE ANALYSIS: MAY 21ST, 12:00PM



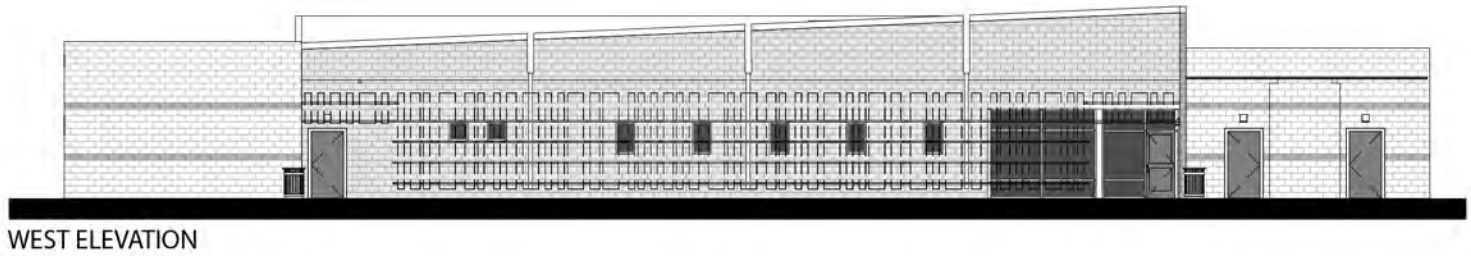
NORTH ELEVATION



EAST ELEVATION



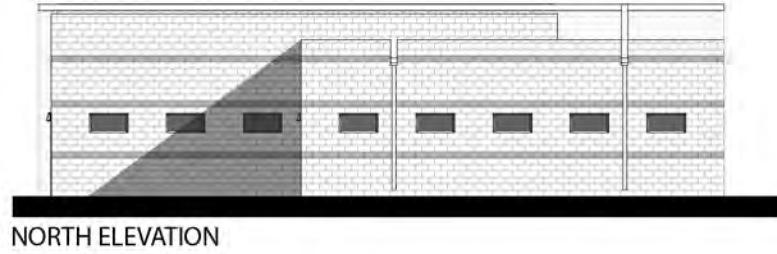
SOUTH ELEVATION



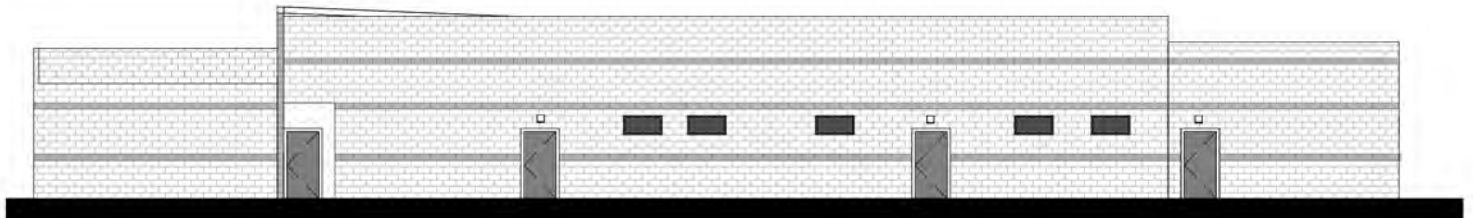
WEST ELEVATION

0' 5' 10' 20'

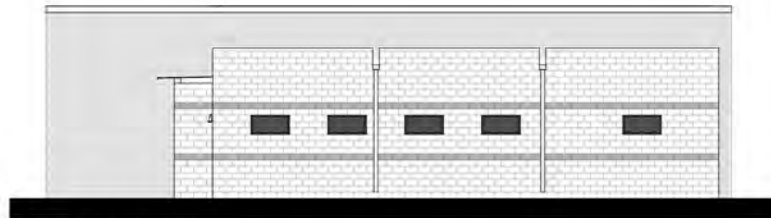
LOCKER ROOM FACILITY AT MESA DEL SOL
SUN AND SHADE ANALYSIS: MAY 21ST, 4:00PM



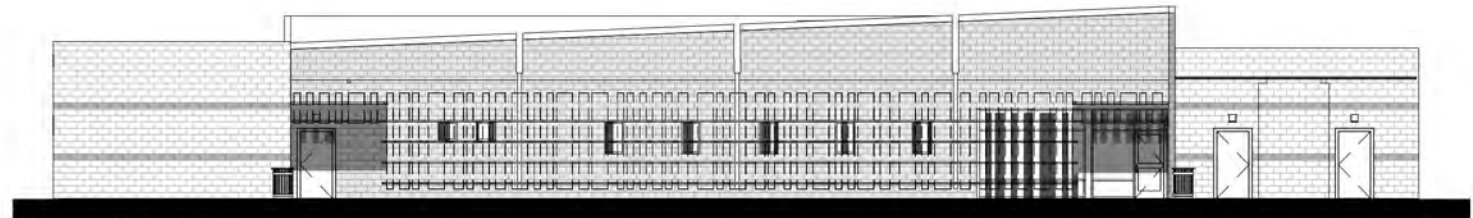
NORTH ELEVATION



EAST ELEVATION



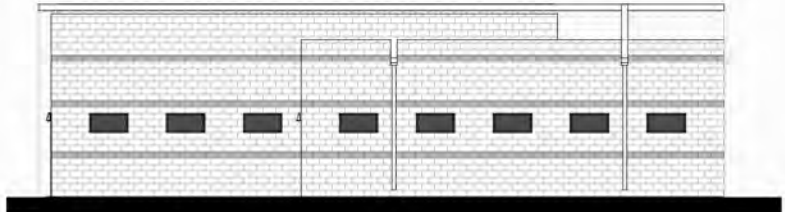
SOUTH ELEVATION



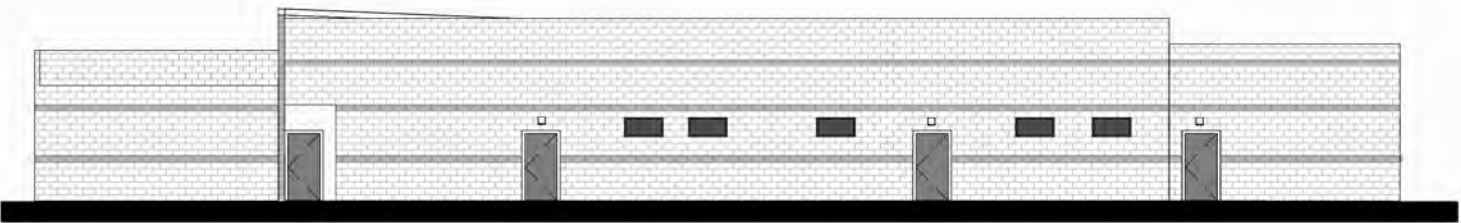
WEST ELEVATION

0' 5' 10' 20'

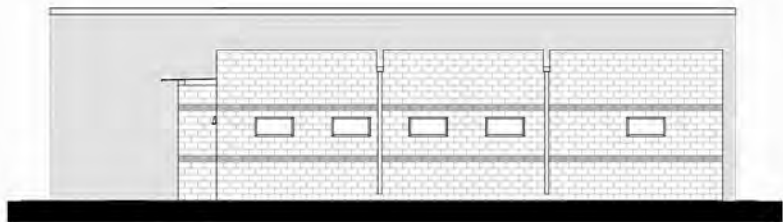
LOCKER ROOM FACILITY AT MESA DEL SOL
SUN AND SHADE ANALYSIS: NOVEMBER 21ST, 12:00PM



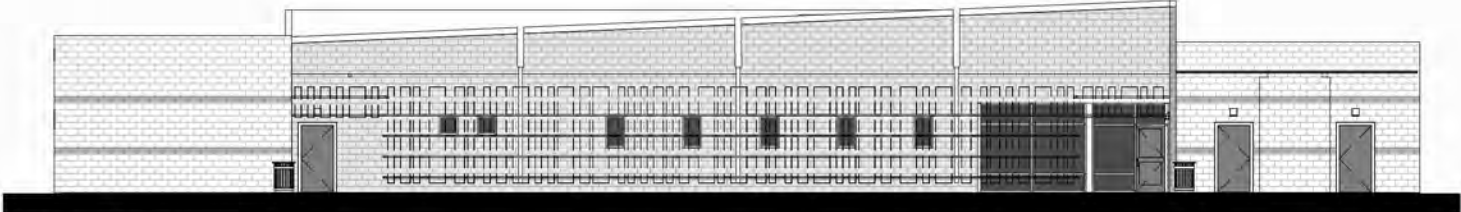
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

