

# **01** LETTER OF SUMMARY OF RESPONSES TO COMMENTS

February 19, 2020

Ms. Jolene Wolfley  
Chair, Development Review Board  
City of Albuquerque Planning Department  
600 2nd St NW  
Albuquerque, NM 87102

**Re: Summary of Responses to Administrative Amendment Application Comments  
Bernalillo County Regional Outdoor Sports Complex located at 5601 University Blvd SE  
Project #SI-2019-00315**

Dear Ms. Wolfley,

This letter outlines the responses to the comments that have been made to the Bernalillo County Regional Outdoor Sports Complex Administrative Amendment application (Project #SI-2019-00315) received by email on November 21, 2019. Attachments include:

- Appendix A: Bohannon Huston Inc. Memorandum: Trip Generation
- Appendix B: Approval confirmation: Drainage Management Plan
- Appendix C: Approval confirmation: Solid Waste
- Appendix D: Revised drawings: AS101, AS102, AS401, and AS402

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## COMMENTS

***Comment 1: Phase I with the two soccer fields may move forward without a Traffic Impact Study. However, due to the volume of vehicles added by Phase II, Phase II will require a Traffic Impact Study prior to approval. Any recommended improvements within public right-of-way as part of Phase II will need to go onto an Infrastructure List and then built per work order. Traffic Study should be scoped to cover all phases.***

The applicant understands that a Traffic Impact Study is required for Phase II prior to approval. The applicant also understands that recommended improvements within public right-of-way as part of Phase II need to go onto an Infrastructure List and then built per work order. The applicant understands that this Traffic Study will be scoped to cover all phases.

***Comment 2: Solid Waste and Fire Marshall approval are required.***

Dumpster locations are shown on sheets AS401 and AS402 and Fire Lanes are shown on sheet AS402.

- Fire Marshall will not comment on plans until there is a Fire 1 plan which will be submitted with building permit application.
- Solid Waste has reviewed and approved plan as indicated by a signature in Appendix C

***Comment 3: Show dimensioning for all parking spaces, aisles, new drives, pedestrian paths, parking islands as well as curb radii.***

Typical details that indicate the requested information for elements such as parking spaces, aisles, new drives, pedestrian paths, and parking islands have been provided on sheets AS401 and AS402.

**Comment 4: On the Site Plans, call out all curb, signage, curb ramps, and new asphalt surfaces.**

Elements like curb, signage, curb ramps, and new asphalt surfaces will be called out in the Traffic Circulation Layout (TCL) submittal associated with this request.

**Comment 5: Provide details for curb, pedestrian ways, curb ramps signage, crosswalks, and bike racks.**

Details for curb, pedestrian ways, curb ramps signage, crosswalks, and bike racks are located on sheets AS101, AS102, AS401, and AS402.

**Comment 6: Identify all areas where tying into existing improvements.**

Sheets AS102 and AS101, specifically Keynote 28, provide details regarding tie-ins into existing improvements. Existing development is colored in gray on sheet AS102.

**Comment 7: For Phase I Site Plan, follow DPM requirements with regard to spacing of accessway to parking lot from University Blvd.**

The accessway to the parking lot from University Blvd has been shifted to the west, as indicated in sheet AS402, in order to comply with the DPM spacing requirements.

**Comment 8: For Phase I on the drop off area, ensure sufficient turning radii for the vehicles. Call out dimensions pertaining to the drop-off area.**

Drop-off areas have sufficient turning radii and their dimensions have been indicated on sheet AS101.

**Comment 9: Calculate handicapped space requirements. Identify all handicapped parking spaces, provide dimensioning, required van accessible aisles and handicapped space signage along with the "No Parking" pavement marking for the van accessible aisles.**

Handicapped parking spaces have been identified and calculations of the required spaces have been added to the parking calculations on sheet AS102 and detail C4 on sheet AS401 indicates typical dimensioning and markings/signage.

**Comment 10: Provide required motorcycle parking and motorcycle parking signage as well as bicycle parking per the IDO requirements.**

Motorcycle and bicycle parking calculations have been added to the parking calculations on sheet AS102 and are indicated on sheet AS402 in details C4 and B4...

**Note: Items 1,7, and 8 shall be addressed for the Master Plan. The rest of the comments shown in this document shall be addressed prior to as part of the TCL prior to building permit submittal. For this Master Plan, please place the following note on the site plan for Phases 1 and 2 in bold letters: "This Master Plan is conceptual. An approved Traffic Circulation layout (TCL) shall be required prior to building permit."**

This note is placed under GENERAL SHEET NOTES on sheet AS101.

Please contact me if you have any further questions or concerns.

Sincerely,



Will Gleason, AICP  
Principal, Dekker/Perich/Sabatini



# 02 APPENDIX A

## MEMORANDUM

**DATE:** November 5, 2019  
**TO:** Jeanne Wolfenbarger, COA Transportation  
**FROM:** Racquel Michel, P.E.  
**SUBJECT:** Mesa del Sol Regional Recreation Complex Trip Generation

This submittal is in support of the Administrative Amendment request for the Bernalillo County Regional Recreation Complex at Mesa del Sol. The proposed complex will add 24 soccer fields, a sports lifestyle facility, a club house for the New Mexico United soccer club, outdoor practice field, an indoor practice facility and associated shade structures. The project will be built in 4 Phases. The first phase as shown on sheet AS102 – Phasing Plan, will include the club house for the New Mexico United soccer club, the outdoor practice field and the indoor practice facility. The Trip Generation for the proposed complex is below and the documentation from the ITE Code is enclosed for reference.

Land Use	Phase	ITE Code	Fields	Saturday Peak Hour
Soccer Complex	1	488	2	81
Soccer Complex	2	488	10	401
Soccer Complex	3 and 4	488	12	482
		<b>Total</b>	<b>24</b>	<b>964</b>

Bernalillo County has language in the existing leases that limit the use of the recreation complex to ensure that events at the amphitheater and the soccer complex will not be held at the same time. This is planned to remain and also be added to the leases for any of the new development. Therefore, an analysis of events occurring at the same time between the amphitheater and the soccer complex is not applicable.

As you can see from the above trip generation, the threshold is not met during the first phase of development. Bernalillo County would like to defer the requirement of a traffic impact study to a later phase of the development.

# Soccer Complex (488)

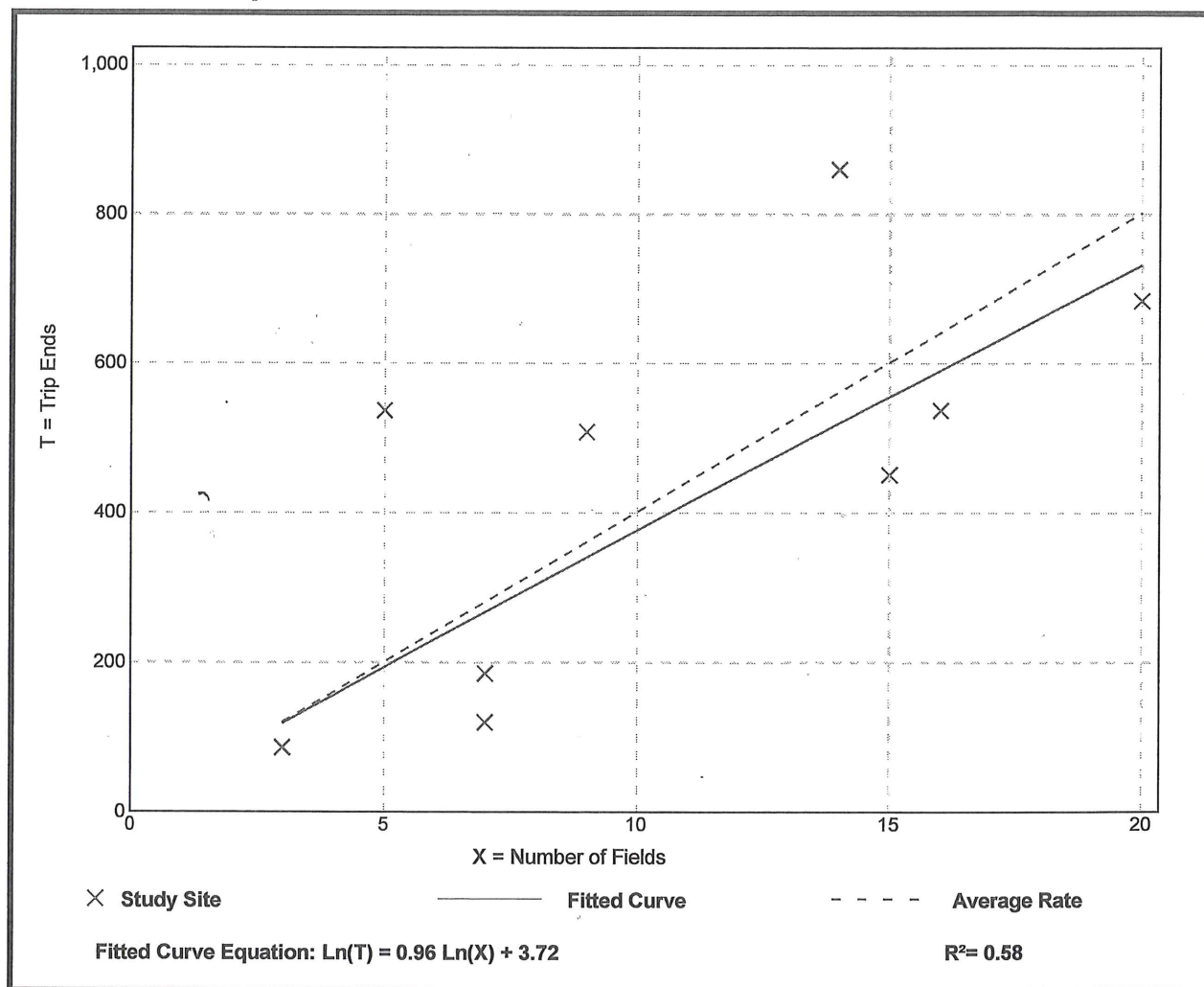
**Vehicle Trip Ends vs: Fields**  
**On a: Saturday, Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 10  
 Avg. Num. of Fields: 12  
 Directional Distribution: 48% entering, 52% exiting

## Vehicle Trip Generation per Field

Average Rate	Range of Rates	Standard Deviation
40.10	17.14 - 107.40	19.67

## Data Plot and Equation



**03 APPENDIX B**



# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

December 10, 2019

Racquel Michel, PE  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: MDS Regional Sports Complex  
5601 University Blvd SE  
Drainage Management Plan Stamp Date: 11/26/19  
Hydrology File: R15D002**

Dear Ms. Michel,

Based on the submittal received on 11/26/19, the above-referenced Drainage Management Plan is accepted as the DMP for this project area and for Site Plan- Administrative Amendment.

PO Box 1293

Prior to each phase of development, a detailed (For Construction) Grading and Drainage Plan will need to be prepared.

Albuquerque

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

NM 87103

Sincerely,

Dana M. Peterson  
Senior Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

**04 APPENDIX C**

**BERNALILLO COUNTY REGIONAL  
OUTDOOR SPORTS COMPLEX**  
5601 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

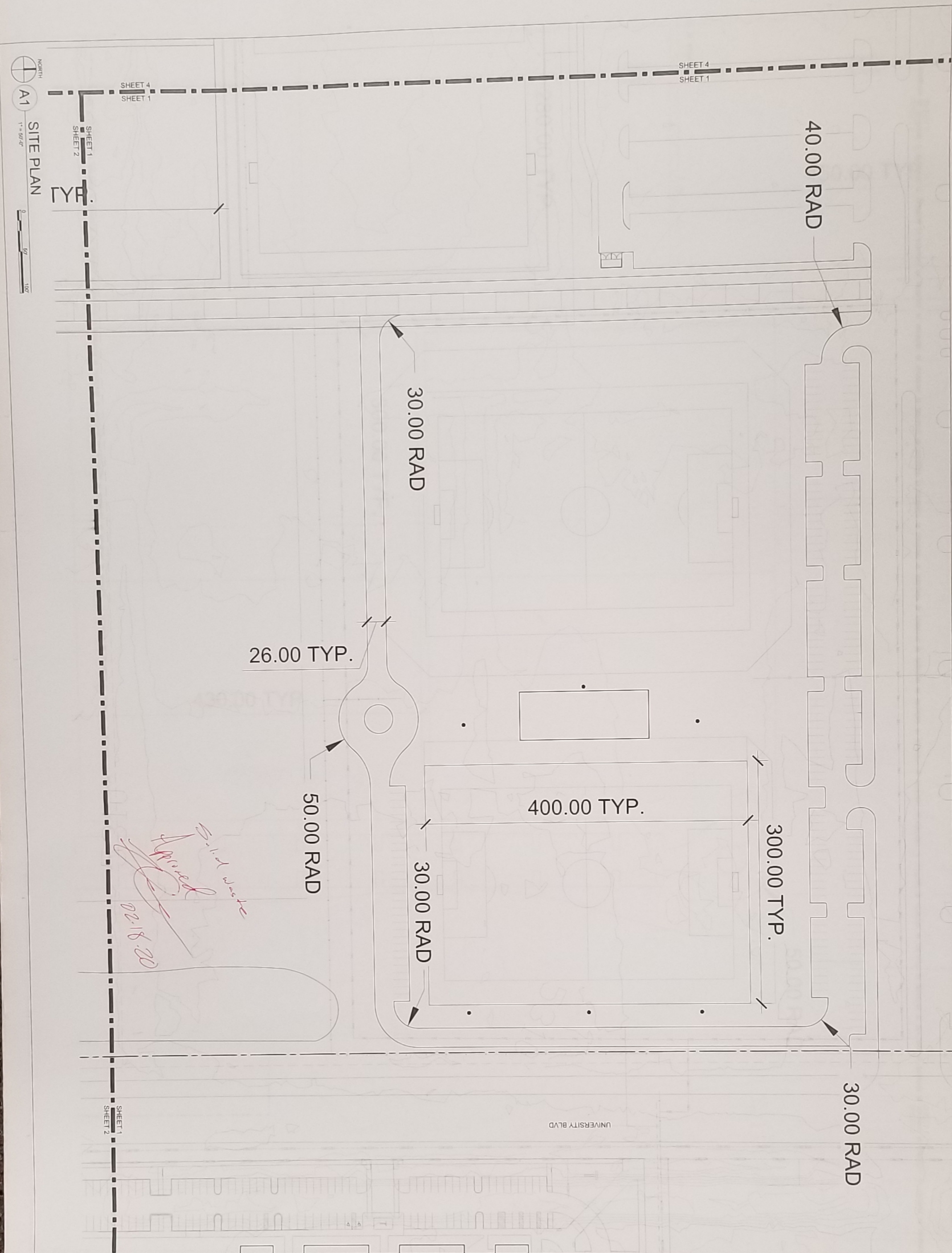
REVISIONS  
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DRAWN BY: BG  
REVIEWED BY: KR  
DATE: 10/20/19  
PROJECT NO: 17-00090.001  
DRAWING NAME: SITE PLAN

SHEET NO.

1

0' 100'



*Approved*  
*02.18.20*

NORTH  
A1  
1" = 60'  
SITE PLAN  
0' 50' 100'

SHEET 4  
SHEET 1

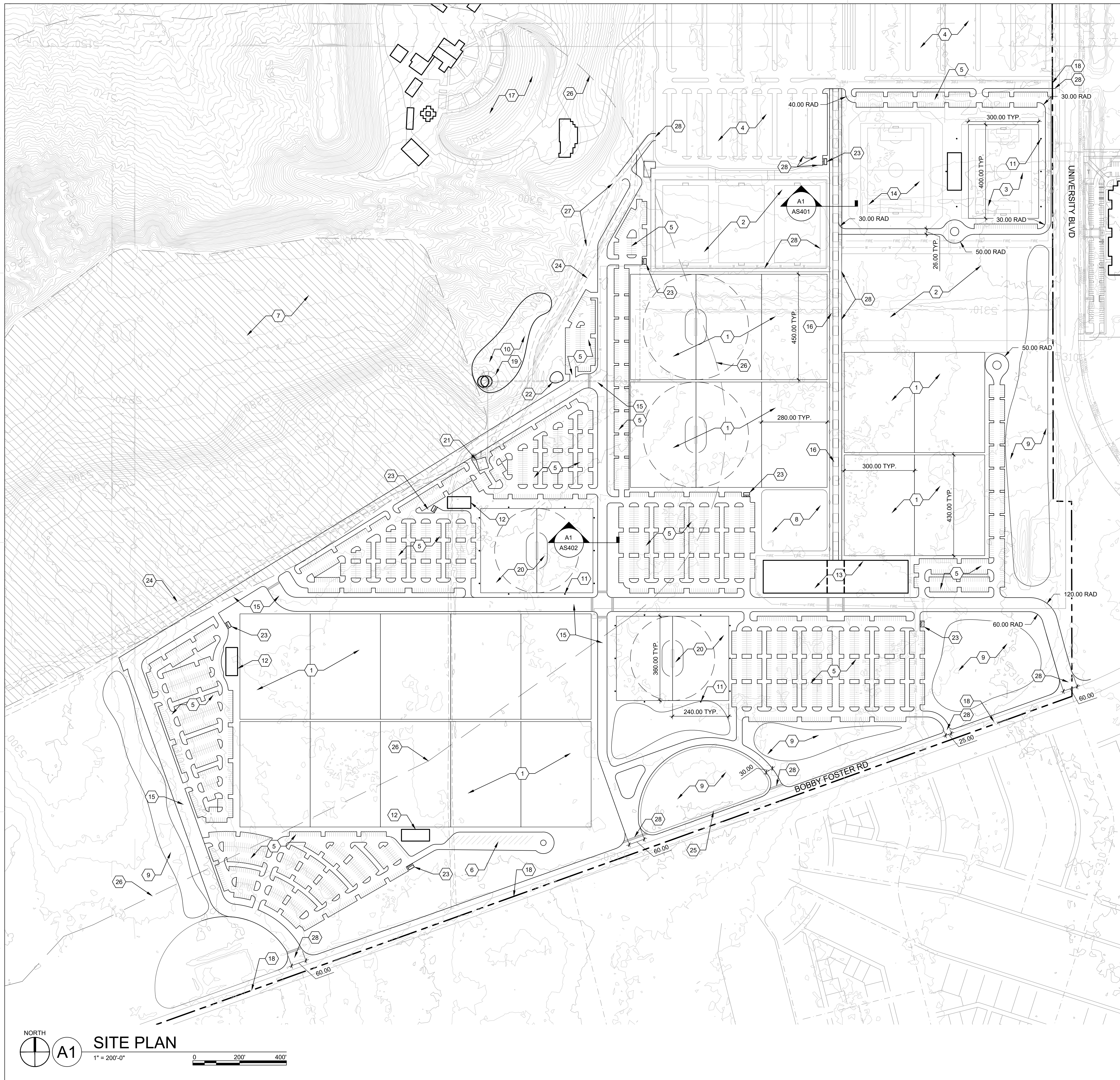
SHEET 4  
SHEET 1

SHEET 1  
SHEET 2

SHEET 1  
SHEET 2

UNIVERSITY BLVD

**05 APPENDIX D**



**GENERAL SHEET NOTES**

- A. SITE DIMENSIONS COMPLY WITH CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5. DEVELOPMENT STANDARDS SHALL INCLUDE 5-2 (G) LANDFILL BUFFERS IF/WHEN STRUCTURES ARE LOCATED WITHIN LANDFILL BUFFERS.
- B. SITE PLAN SHALL COMPLY WITH ADA STANDARDS & GUIDELINES AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- C. PARKING LOTS SHALL INTEGRATE LOW-IMPACT DESIGN TO MITIGATE STORMWATER DISCHARGE VOLUMES AND SUPPLEMENT IRRIGATION DEMAND.
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE. PERVIOUS PAVING, BASE COURSE, OR OTHER PERVIOUS PAVING MATERIALS ARE ENCOURAGED AND PREFERRED.
- E. EXISTING METHANE MONITORING WELLS WILL BE MAPPED AND PROPERLY HANDLED DURING THE DESIGN PHASE, INCLUDING POTENTIAL PLUGGING AND ABANDONMENT.
- F. THE OWNER SHALL CONDUCT A GEOTECHNICAL INVESTIGATION PRIOR TO THE DESIGN PHASES WHICH WILL INCLUDE THE TESTING OF SOILS FOR TRACE METALS ASSOCIATED WITH PAST SLUDGE DRYING AREAS AND THE CLEARANCE OF LAND USES THROUGH NMED.
- G. LIMITS OF EXISTING LANDFILL SHALL BE IDENTIFIED PRIOR TO DESIGN. FINAL ALIGNMENTS OF ROADS MAY BE MODIFIED TO ADDRESS LANDFILL LIMITS.
- H. TRANSIT STOPS SHALL BE COORDINATED BY PHASE TO ADHERE TO CABO TRANSIT MASTER PLANNING AND SERVICE EXPANSION AS NECESSARY.
- I. **THIS MASTER PLAN IS CONCEPTUAL. AN APPROVED TRAFFIC CIRCULATION LAYOUT (TCL) SHALL BE REQUIRED PRIOR TO BUILDING PERMIT.**

**PARKING COUNT**

- A. REQUIRED PARKING SPACES AND STANDARD DRIVE DIMENSIONS SHALL BE IN ACCORDANCE WITH IDO STANDARDS AND TO BE DETERMINED AS DEVELOPMENT OCCURS.
- B. PARKING TO BE SHARED WITH EXISTING ISLETA AMPHITHEATER.

**SHEET KEYED NOTES**

- 1. MULTI-USE TURF GRASS ATHLETIC FIELD
- 2. EXISTING TURF GRASS ATHLETIC FIELD
- 3. TURF GRASS USL PRACTICE FIELD
- 4. EXISTING PARKING, 4,154 SPACES
- 5. PARKING
- 6. RV PARKING
- 7. UNDEVELOPABLE AREA (FORMER LANDFILL)
- 8. PARK
- 9. STORMWATER RETENTION AREA
- 10. MAINTENANCE YARD
- 11. SPORT FIELD LIGHTING
- 12. REST AREA WITH SHADE AND RESTROOMS
- 13. SPORT LIFESTYLE CENTER
- 14. INDOOR SYNTHETIC TURF PRACTICE FACILITY
- 15. VEHICULAR ROADWAY
- 16. PEDESTRIAN WALK
- 17. EXISTING ISLETA AMPHITHEATER
- 18. PROPERTY LINE
- 19. EXISTING WELL WATER TANK
- 20. SYNTHETIC TURF MULTI-USE FIELD
- 21. EXISTING NON-POTABLE WELL
- 22. REMOTE CONTROL CAR PARK
- 23. TRASH ENCLOSURE; SEE A2/AS402
- 24. EXISTING EASEMENT
- 25. TRANSIT STOP
- 26. 100' LANDFILL BUFFER
- 27. EXISTING ROAD TO REMAIN
- 28. PROPOSED DESIGN TIES INTO EXISTING IMPROVEMENTS

**SITE INFORMATION**

	RECREATION AMENITIES	PARKING REQUIRED	PARKING PROVIDED
SPORTS LIFESTYLE CENTER	86,600 SF	2 SPACES / 1000 SF = 174 SPACES	752 (PHASES III & IV)
INDOOR PRACTICE FACILITY	112,134 SF	2 SPACES / 1000 SF = 225 SPACES	4,154 (SHARED) + 178 (PHASE I)
MAINT. FACILITY	3,000 SF	N/A	10
CLUBHOUSE	13,000 SF	2 SPACES / 1000 SF = 26 SPACES	4,154 (SHARED) + 24 = 4,178
OUTDOOR PRACTICE FACILITY	120,000 SF	4 SPACES/ 1,000 SF = 480 SPACES	4,154 (SHARED) + 154 = 4,308
SPORTS FIELDS *	3,565,621 SF (30 FIELDS)	50 SPACES/ FIELD = 1,500 SPACES	4,154 (SHARED) + 3970 (ALL PHASES)
<b>TOTAL PARKING</b>			<b>8139</b>

\* PARKING REQUIREMENT APPROVED BY BERNALILLO COUNTY PARKS & RECREATION

**LEGAL DESCRIPTION**

- A. THAT CERTAIN PARCEL SITUATE WITHIN SECTION 21, AND THE EAST HALF OF SECTION 20, TOWNSHIP 9 NORTH, RANGE 3 EAST, BERNALILLO COUNTY, NEW MEXICO CONSISTING OF 643 ACRES ±.

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER

PROJECT

**BERNALILLO COUNTY REGIONAL  
OUTDOOR SPORTS COMPLEX**  
 5601 UNIVERSITY BLVD SE  
 ALBUQUERQUE, NM 87106

REVISIONS

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DRAWN BY BG

REVIEWED BY KR

DATE 10/30/19

PROJECT NO. 17-0090.001

DRAWING NAME

SITE PLAN

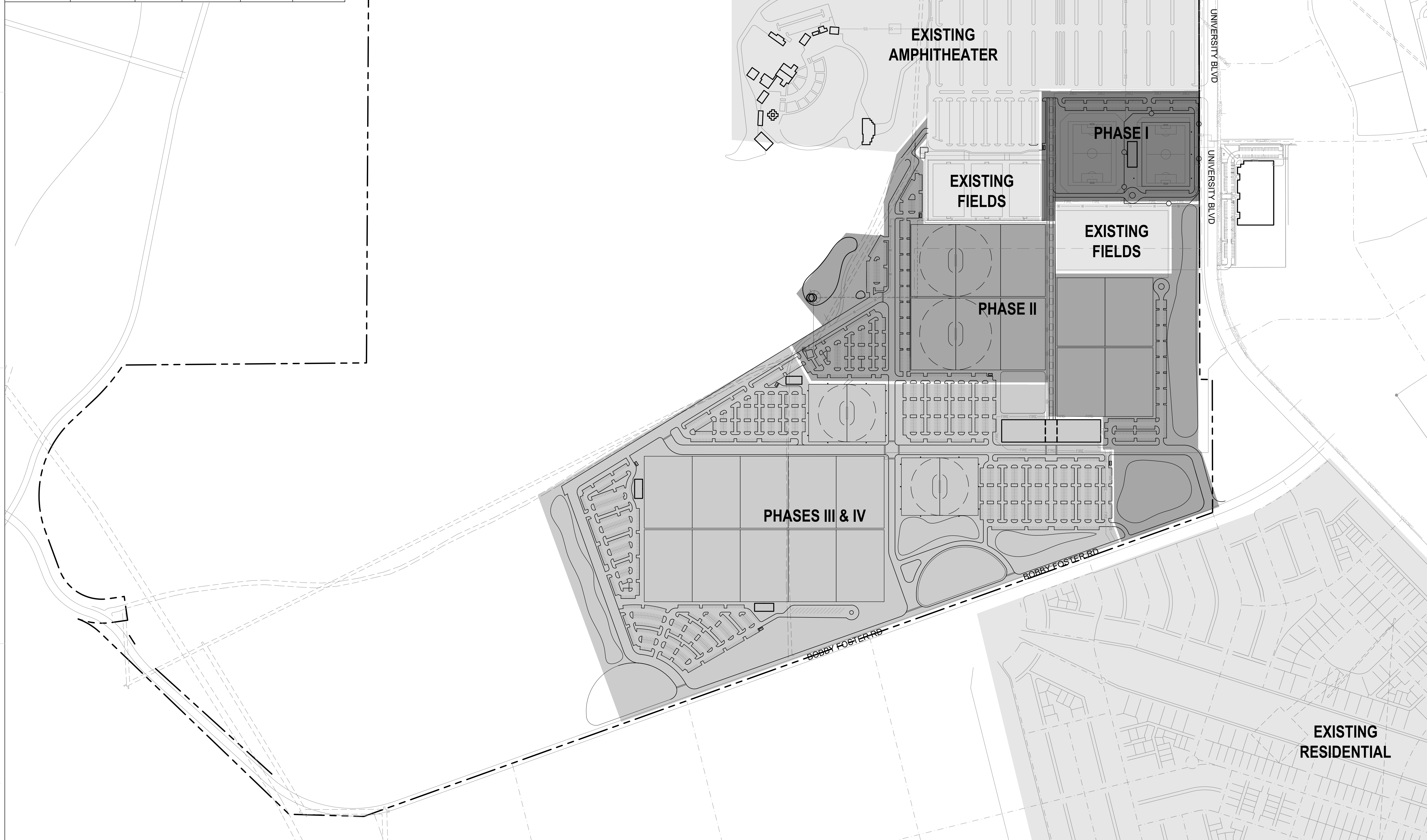
SHEET NO.

**AS101**  
OF

NORTH  
  
**A1 SITE PLAN**  
 1" = 200'-0"

**PARKING COUNT**

PHASE	TOTAL PARKING SPACES PROVIDED	ADA SPACES PROVIDED	ADA VAN SPACES PROVIDED	MOTORCYCLE SPACES PROVIDED	BICYCLE PARKING PROVIDED
I	178	8	2	5	18
II	951	20	4	8	96
III & IV	2841	39	7	12	285
<b>TOTAL:</b>	<b>3970</b>	<b>67</b>	<b>13</b>	<b>25</b>	<b>399</b>
PROPOSED RV PARKING	15	0	0	0	0
EXISTING PARKING SPACES	4154	54	0	0	0
<b>GRAND TOTAL:</b>	<b>8139</b>	<b>121</b>	<b>13</b>	<b>25</b>	<b>399</b>



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REVISIONS  
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DRAWN BY: BG  
REVIEWED BY: KR  
DATE: 10/30/19  
PROJECT NO.: 17-0090.001  
DRAWING NAME:

**PHASING PLAN**

SHEET NO.  
**AS102**  
OF

NORTH  
**A1** PHASING PLAN  
1" = 300'-0"  
0 300' 600'

**SHEET KEYED NOTES**

1. CONCRETE PEDESTRIAN WALK
2. CONCRETE ENTRY PLAZA
3. SPECTATOR BLEACHER SEATING SYSTEM
4. BLEACHER EXPANSION AREA
5. EXISTING PARKING
6. EXISTING TURF GRASS MULTI-USE FIELDS
7. FUTURE INDOOR PRACTICE FACILITY
8. SERVICE AREA
9. TURF GRASS PRACTICE FIELD
10. NEW MEXICO UNITED CLUBHOUSE
11. PROPOSED PARKING
12. SPORT FIELD LIGHTING
13. PROPERTY LINE
14. EXISTING VEHICLE ENTRY ROAD
15. EMERGENCY AND SERVICE ACCESS ROAD
16. VEHICULAR GATE
17. ORNAMENTAL IRON FENCING, COLOR BLACK
18. RIGHT IN, RIGHT OUT INTERSECTION
19. TRASH ENCLOSURE; SEE A2/AS402

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PERICH  
SABATINI**

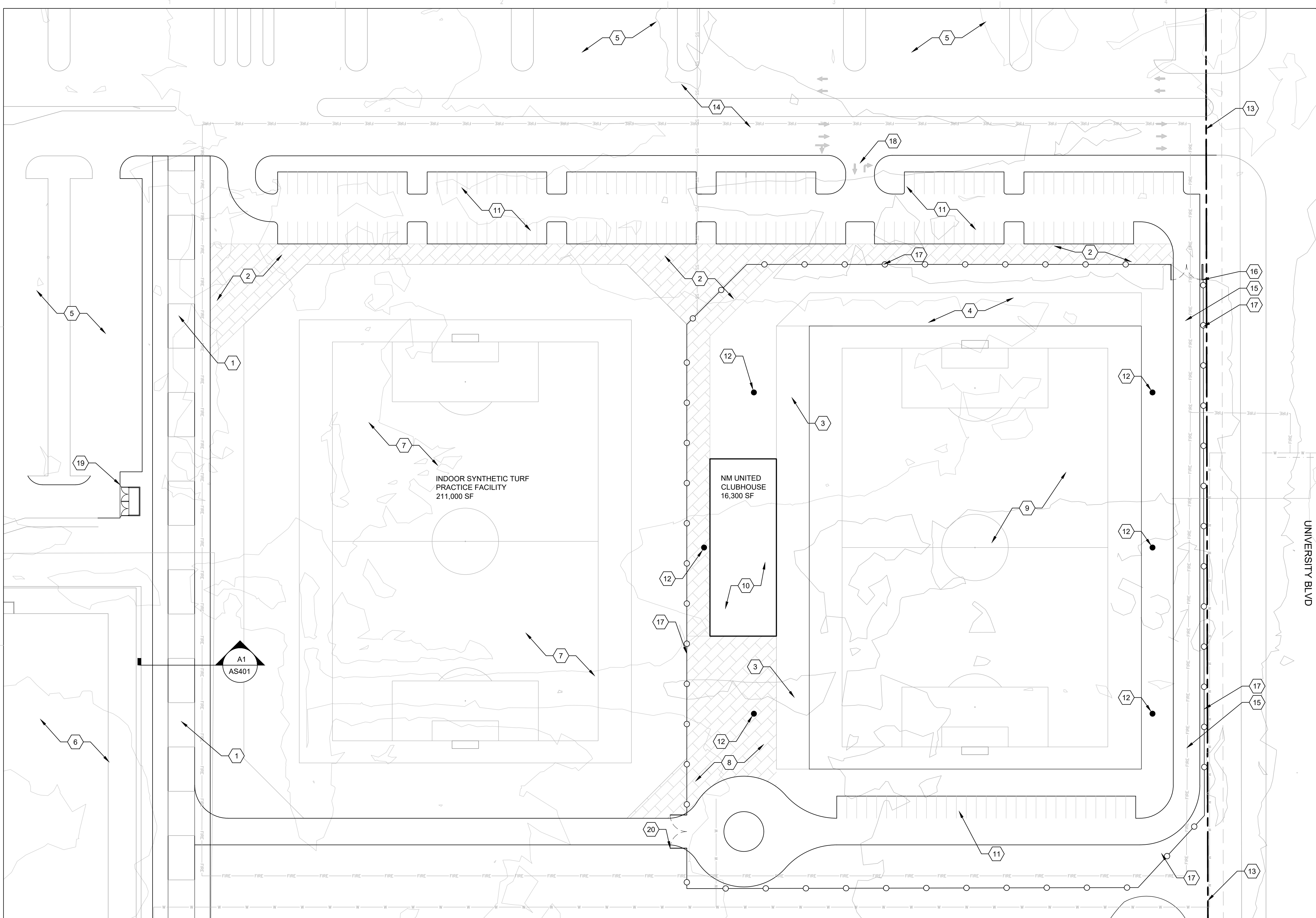
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DESIGN  
INSPIRATION

ARCHITECT

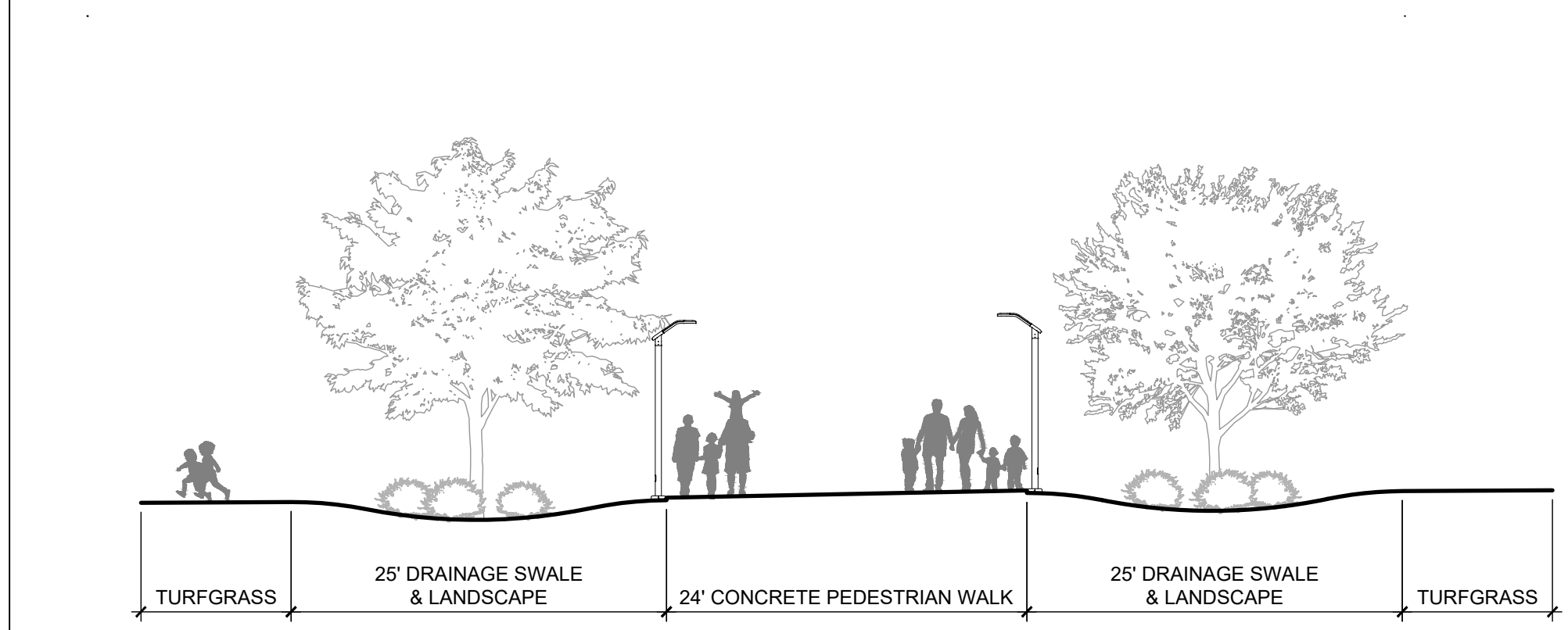
ENGINEER

PROJECT

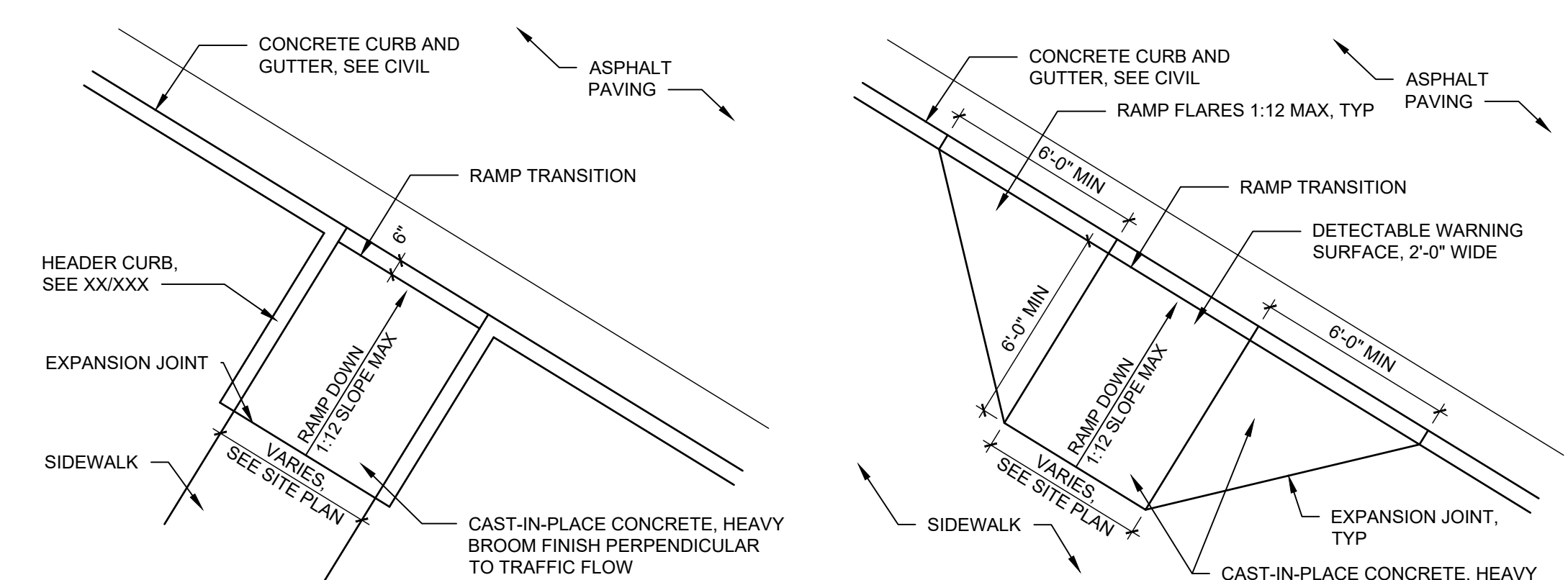
**BERNALILLO COUNTY REGIONAL  
OUTDOOR SPORTS COMPLEX**  
5601 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106



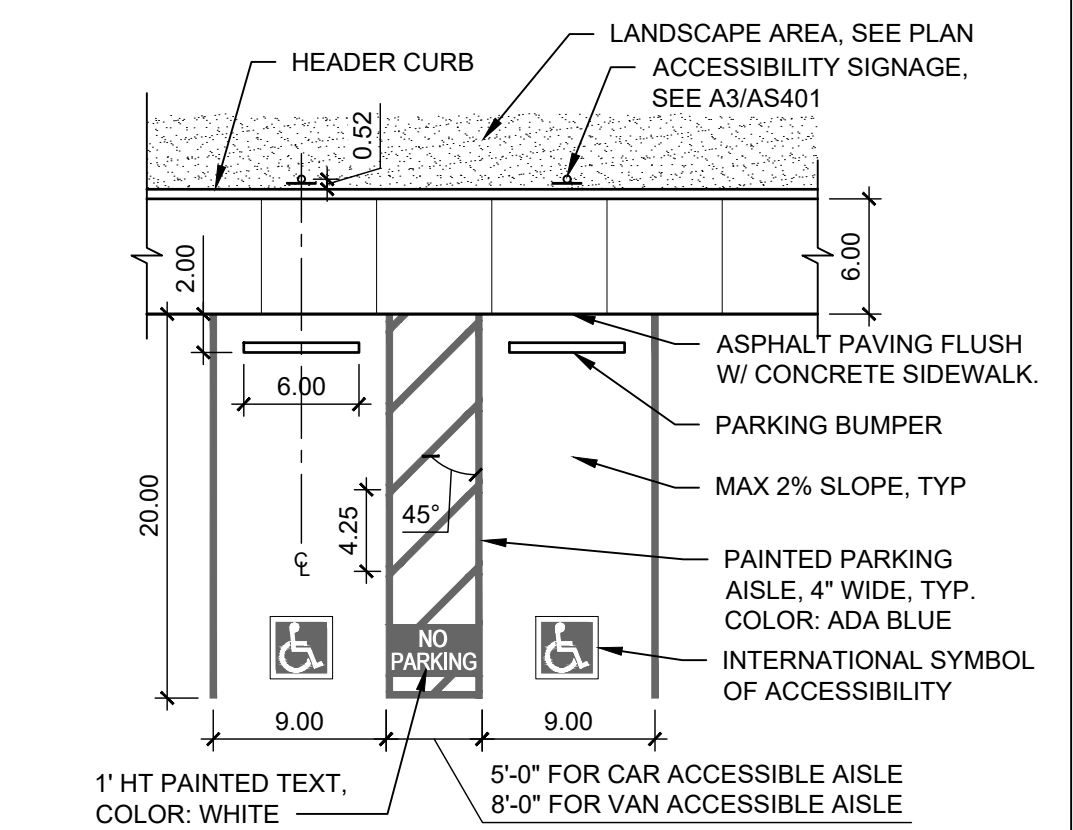
**B1 SITE PLAN ENLARGEMENT - PHASE I**  
1" = 50'-0"  
0 50' 100'



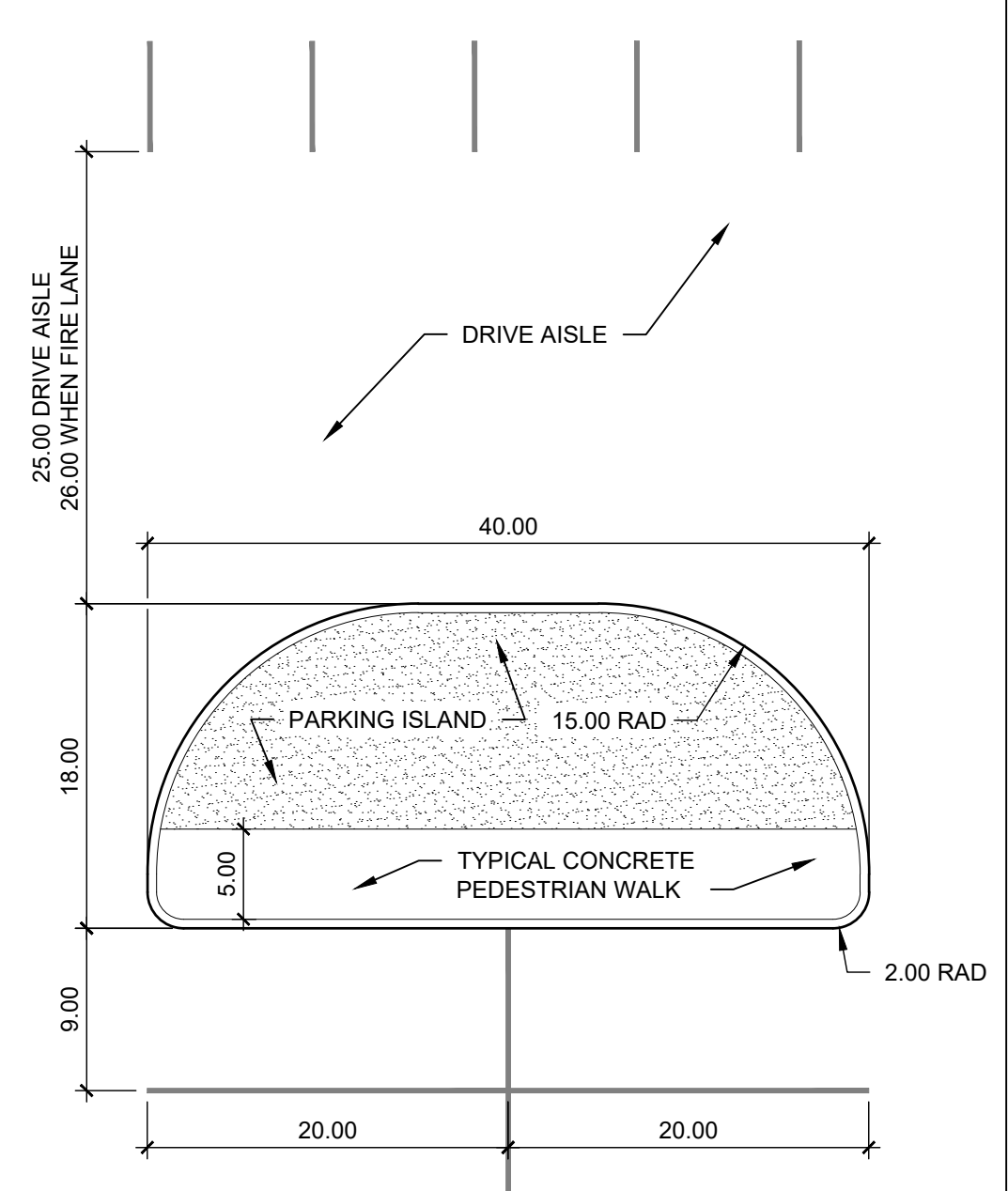
**A1 SECTION - CENTRAL PEDESTRIAN PROMENADE**  
1" = 10'-0"  
0 10' 20'



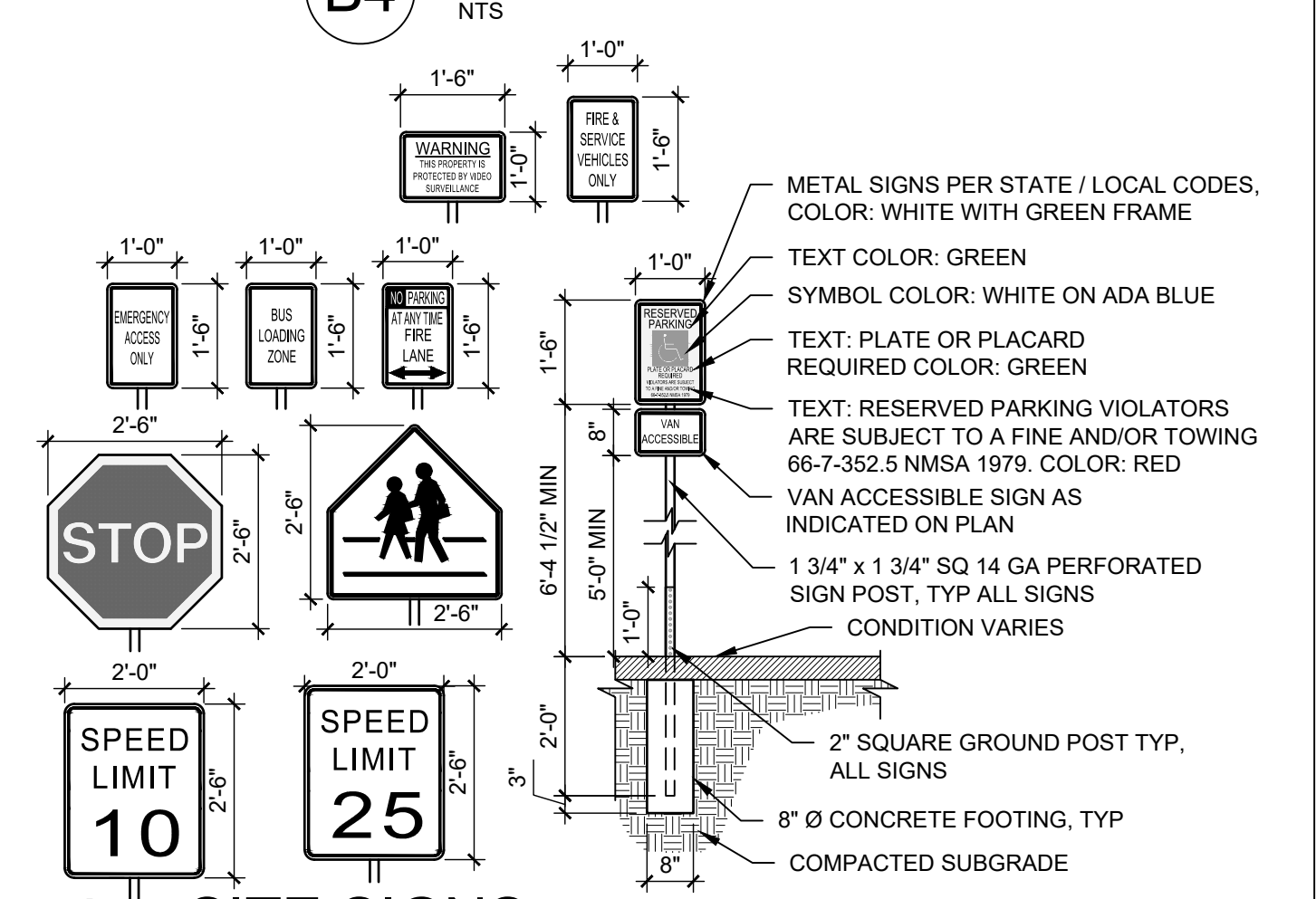
**A2 ACCESSIBLE RAMPS**  
NTS



**C4 ACCESSIBLE PARKING**  
NTS



**TYPICAL PARKING ISLAND, STALL, AND DRIVE**



**A4 SITE SIGNS**  
NTS

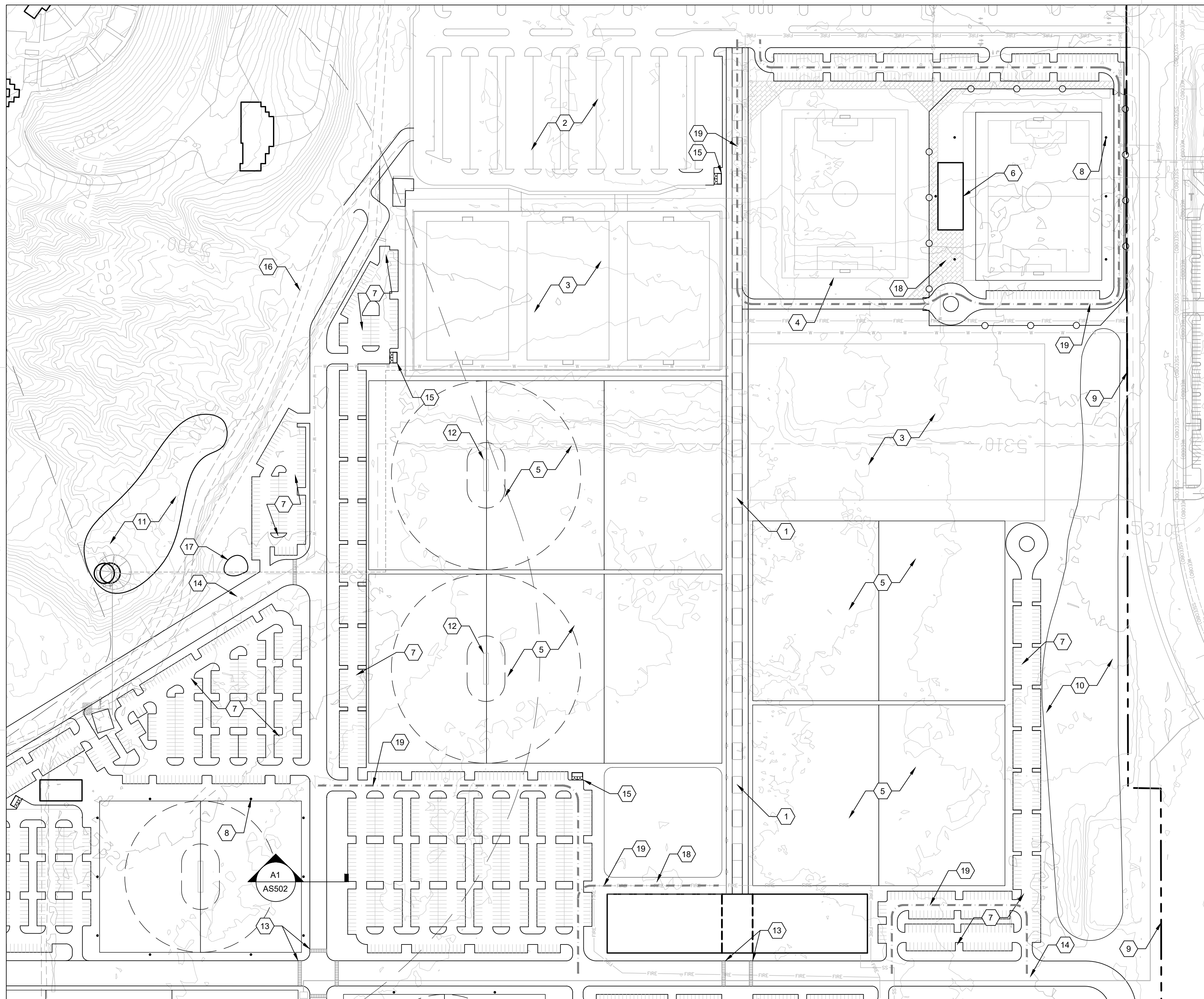
REVISIONS

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DRAWN BY: BG  
REVIEWED BY: KR  
DATE: 10/30/19  
PROJECT NO.: 17-0090.001  
DRAWING NAME:

**SITE PLAN ENLARGEMENT**

SHEET NO. **AS401**  
OF



- ### SHEET KEYED NOTES
1. CONCRETE PEDESTRIAN WALK
  2. EXISTING PARKING
  3. EXISTING TURF GRASS MULTI-USE FIELDS
  4. FUTURE INDOOR PRACTICE FACILITY
  5. TURF GRASS PRACTICE FIELD
  6. NEW MEXICO UNITED CLUBHOUSE
  7. PROPOSED PARKING
  8. SPORT FIELD LIGHTING
  9. PROPERTY LINE
  10. STORMWATER RETENTION AREA
  11. MAINTENANCE YARD
  12. CRICKET PITCH
  13. CROSSWALK
  14. VEHICULAR ROADWAY
  15. TRASH ENCLOSURE, SEE A2/AS402
  16. EXISTING EASEMENT
  17. REMOTE CONTROL CAR PARK
  18. SERVICE AREA
  19. 26' WIDE FIRE LANE

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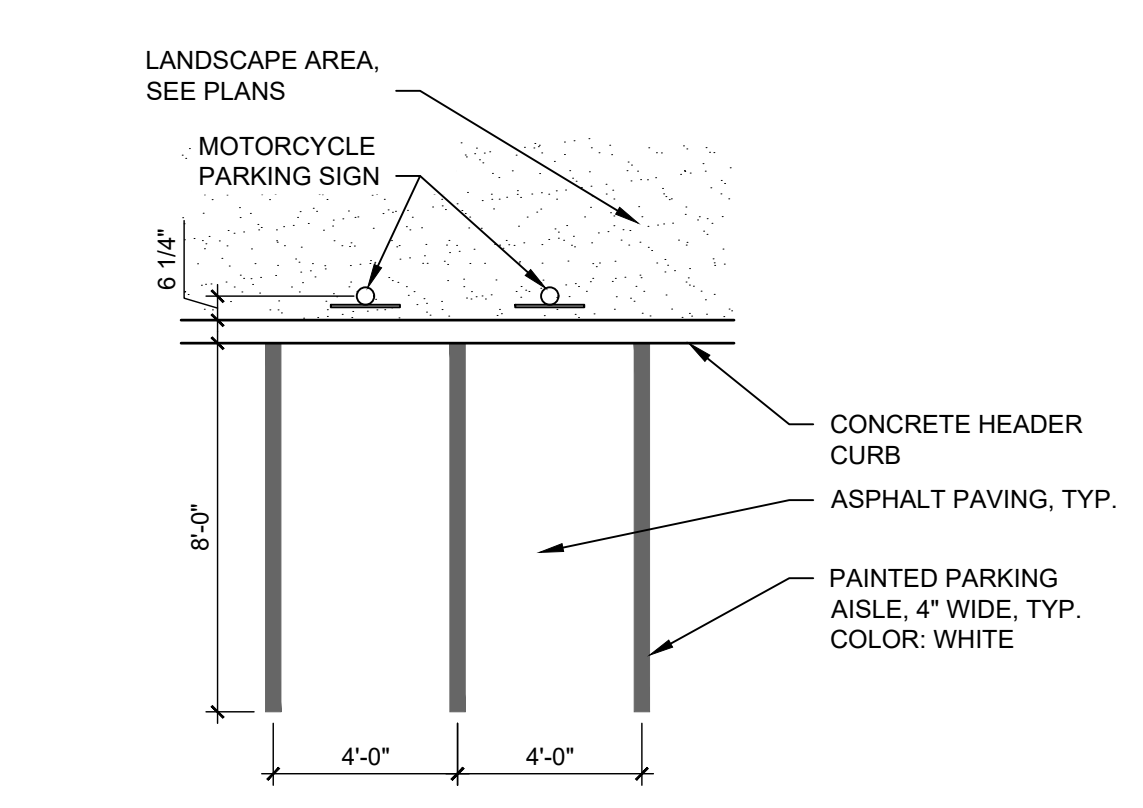
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INSPIRATION

ARCHITECT

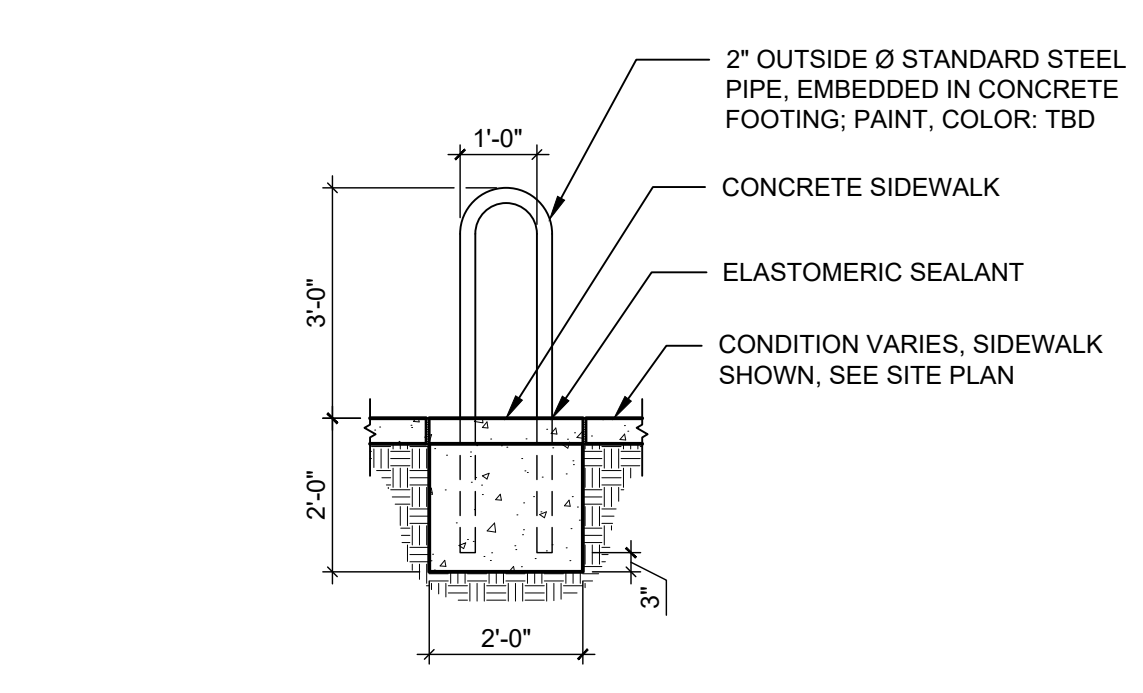
ENGINEER

PROJECT

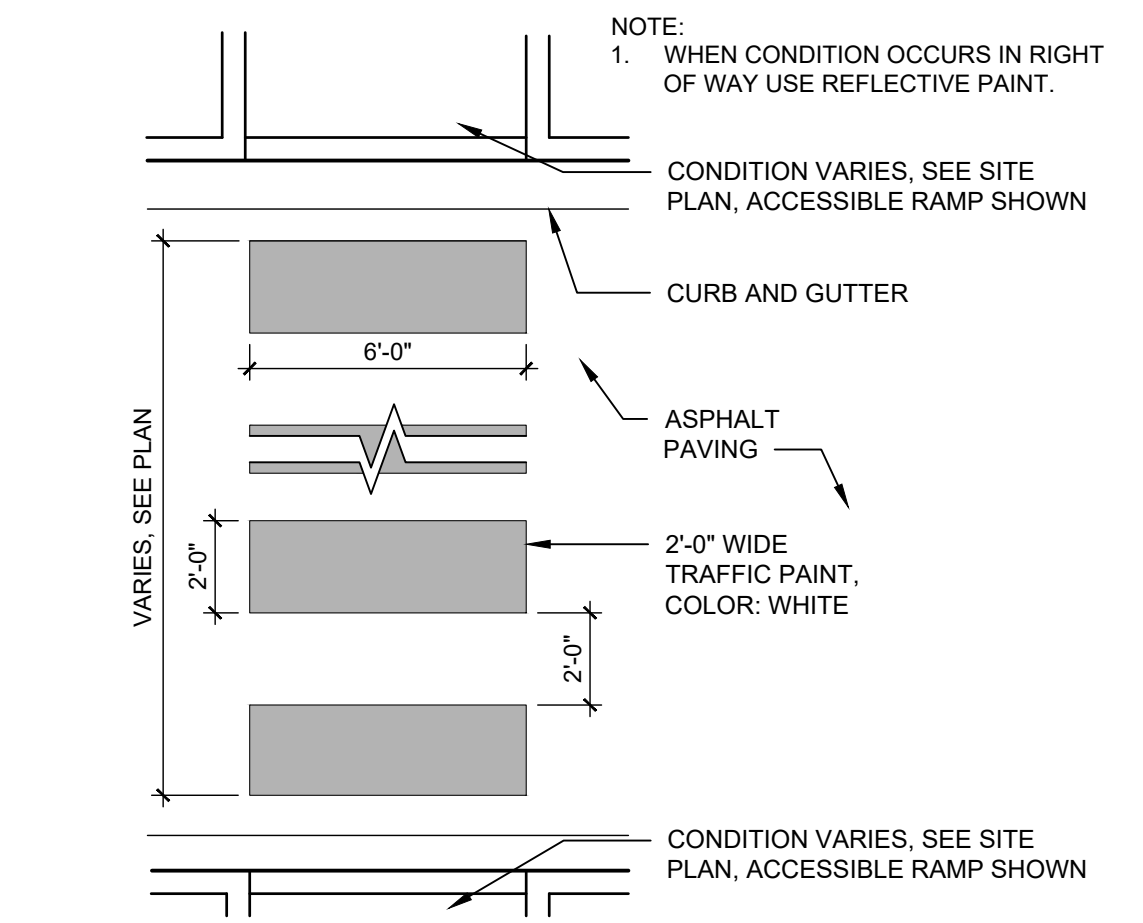
BERNALILLO COUNTY REGIONAL  
OUTDOOR SPORTS COMPLEX  
5601 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106



**C4 MOTORCYCLE PARKING**  
NTS

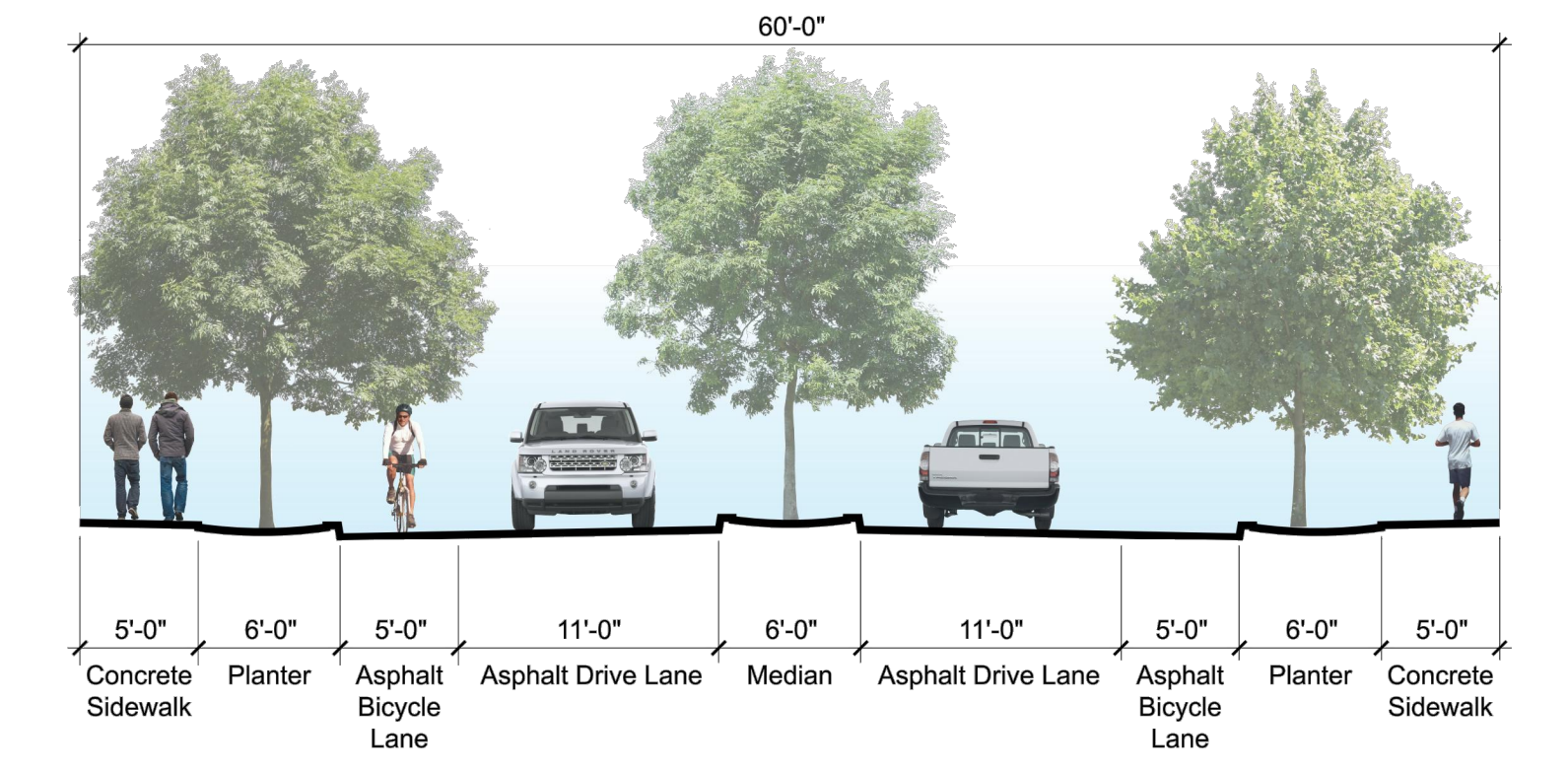


**B4 BICYCLE RACKS**  
NTS

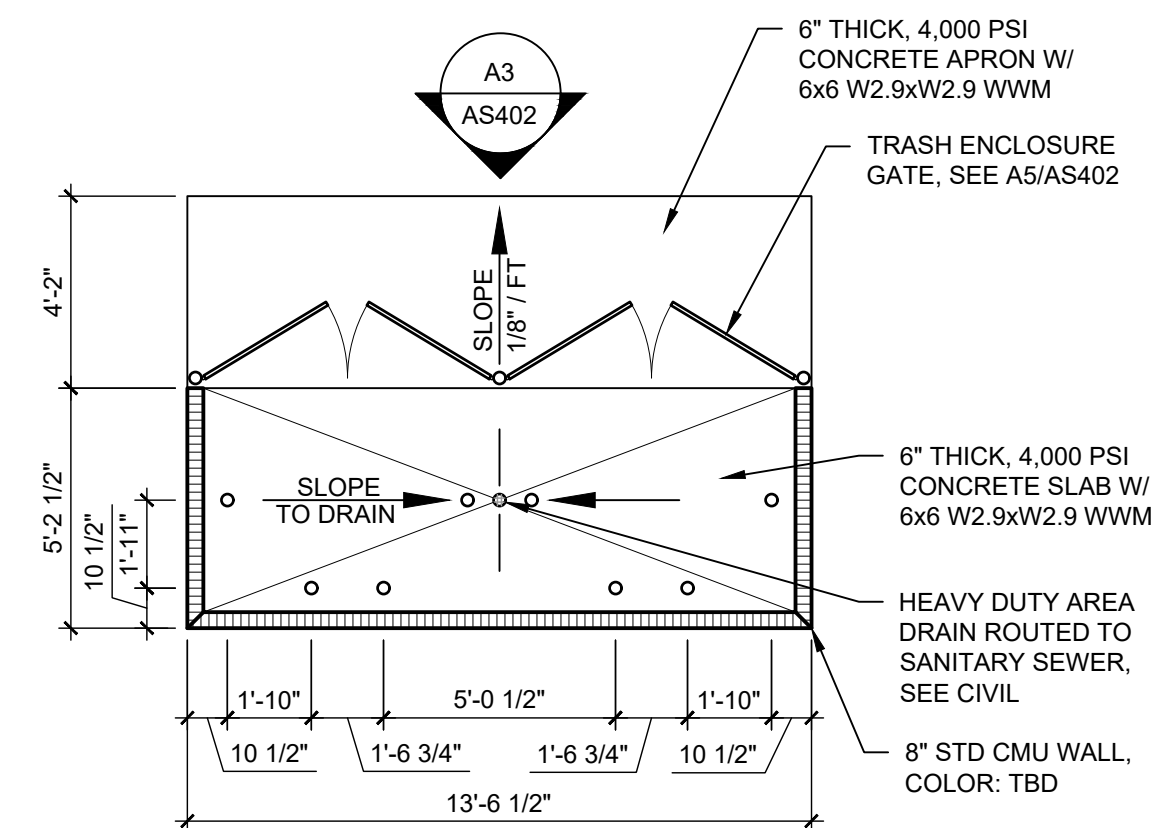


**A4 PAINTED CROSSWALK**  
NTS

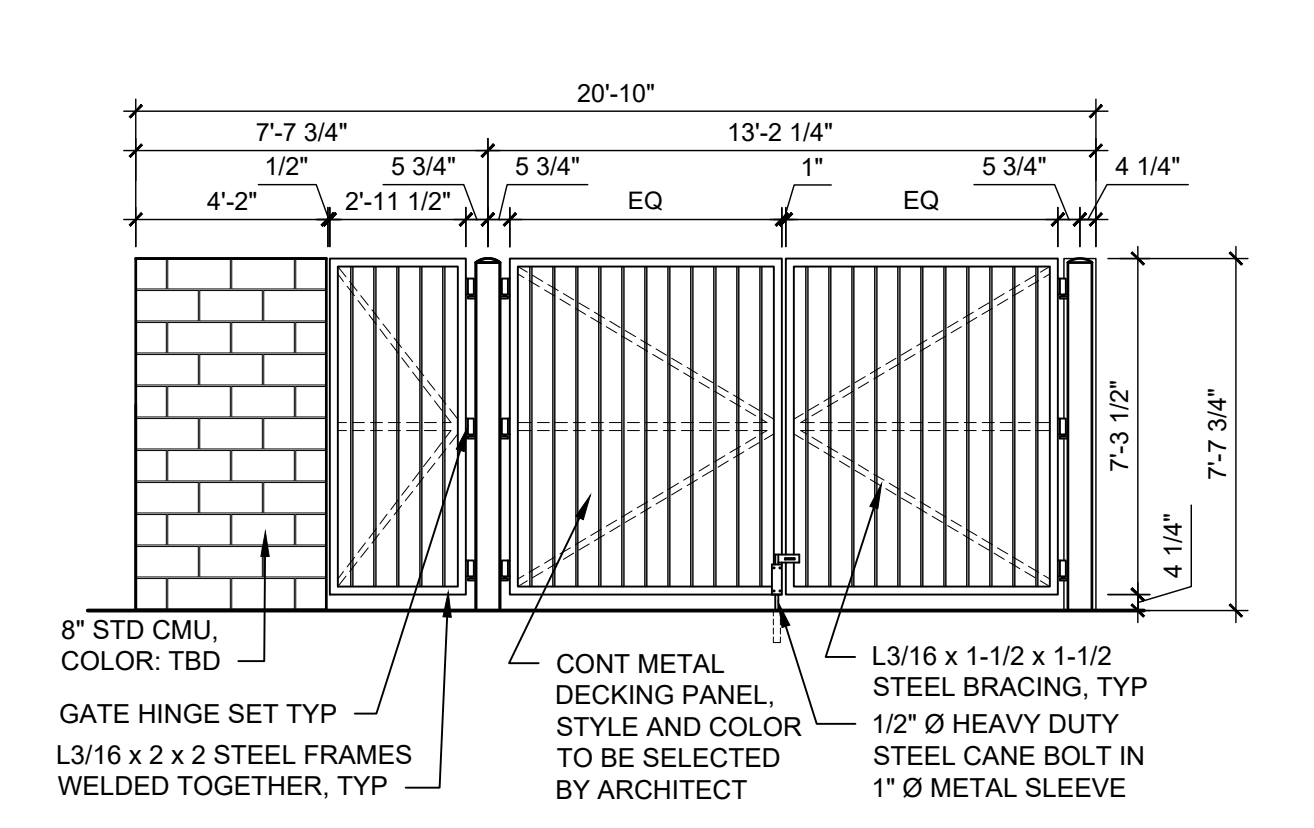
**B1 SITE PLAN ENLARGEMENT - PHASE II**  
1" = 150'-0"



**A1 TYPICAL ROAD SECTION**  
NTS



**A2 TRASH ENCLOSURE PLAN**  
NTS



**A3 TRASH ENCLOSURE ELEVATION**  
NTS

REVISIONS

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DRAWN BY	BG
REVIEWED BY	KR
DATE	10/30/19
PROJECT NO.	17-0090.001
DRAWING NAME	

SITE PLAN  
ENLARGEMENT

SHEET NO.  
**AS402**  
OF