

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled


ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:  Date: 12/15/2021

Printed Name: Prakash Sundaram Applicant or Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2019-003077	SI-2021-02122
	-
	-
Staff Signature:	
Date:	



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Prakash Sundaram / Sundaram Builders Inc.	Phone: 505-831-4260
Address: 4239 Balloon Park Rd. NE, Suite A	Email: Prakash@trmsnm.com
City: Albuquerque	State: NM
Zip: 87109	
Professional/Agent (if any):	Phone:
Address:	Email:
City:	State:
Zip:	
Proprietary Interest in Site:	List all owners:

BRIEF DESCRIPTION OF REQUEST

Minor changes to elevations

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 6A1C1A	Block: C	Unit:
Subdivision/Addition: Louisiana	MRGCD Map No.:	UPC Code: 10190590416730905
Zone Atlas Page(s): H-19-2	Existing Zoning: MX-H	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: N/A	Total Area of Site (acres): 1.5191

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2430 Louisiana Blvd. NE Between: Louisiana and: Cutler

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

DOB Case File #: PR-2019-003077, Building Permit: BP-2021-31134

Signature: *[Signature]* Date: 12/15/2021

Printed Name: Prakash Sundaram Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-02122	AA				

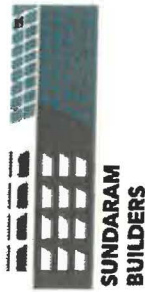
Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2019-003077

From: [Rodenbeck, Jay B.](#)
To: [Gould, Maggie S.](#); [Webb, Robert L.](#); [Cordero, Shannon D.](#)
Subject: Marriot Administrative Amendment
Date: Wednesday, December 15, 2021 4:04:57 PM

A new Administrative Amendment for a Marriot is featured in the link below:

[X:\PL\SHARES\PL-Share\Jay_Rodenbeck\Marriot_AA_Submittal\12.15.2021_Minor Amdendment to Site Plan Docs.pdf](X:\PL\SHARES\PL-Share\Jay_Rodenbeck\Marriot_AA_Submittal\12.15.2021_Minor_Amdendment_to_Site_Plan_Docs.pdf)

Jay



December 14, 2021

Date: December 14, 2021

Prakash Sundaram – Sundaram Builders Inc.

Address: 4239 Balloon Park Rd NE, Suite A, Albuquerque, NM 87109

Re: Minor Amendment to Site Plan - Justification Letter-PR-2019-003077

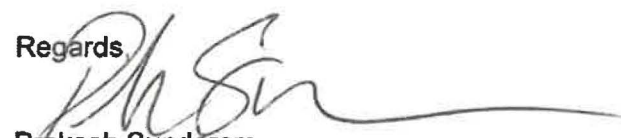
To whom it may concern,

This letter is intended to provide you with a justification for the changes which have occurred on the Element hotel project Permit# BP-2021-31134. We request your approval for the minor modifications to the approved DRB plan outlined in detail below.

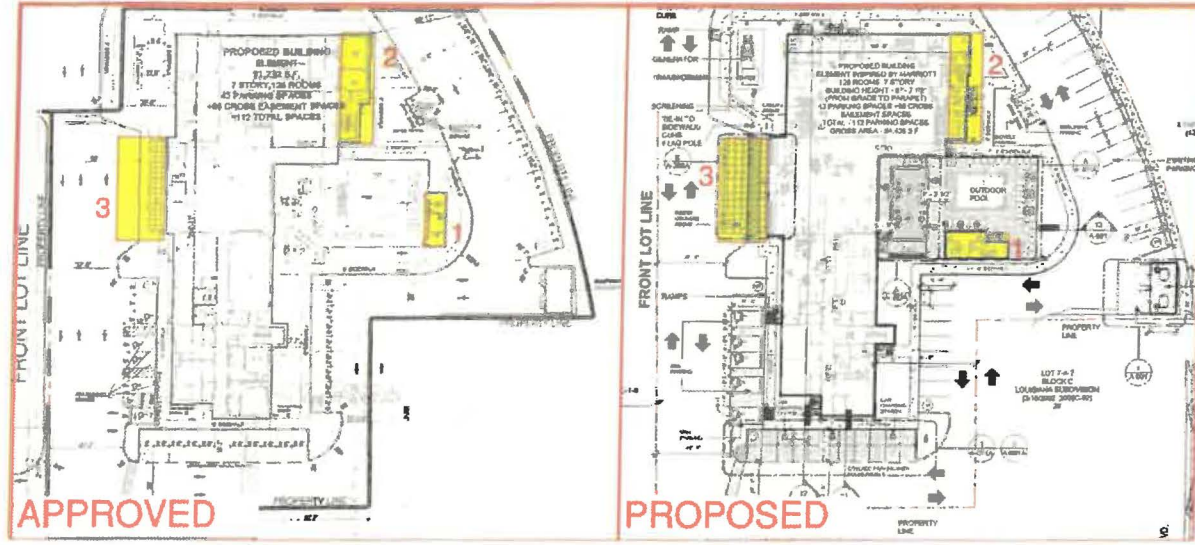
- The outdoor pool bathrooms, mechanical room and storage were relocated to meet requirements from the Marriott franchise.
- The drop off canopy was added with additional supports for the cantilever and the vestibule was slightly extended out to accommodate requirements from the Marriott franchise.
- The base material was upgraded, wooden fiber cement panels to replace EIFS and the color of the volume in the background on the right-hand side was changed from a light color to a dark. These were done to meet requirements from the Marriott franchise.
- The exterior glazing was added to meet requirements from the Marriott franchise.
- On the 7th floor rooftop bar, there was a reduction in outdoor space to provide back of house support and two public restrooms, per the City's requirements. The square footage change was approximately 2% to the total square footage.
- Floors 1-6 remain the same as the prior approved DRB set.

We believe all of these changes are in accordance with the IDO and are minor changes to the previously approved site development plan.

Regards,


Prakash Sundaram

Site Plan



West Elevation



South Elevation



PROPOSED



APPROVED

East Elevation

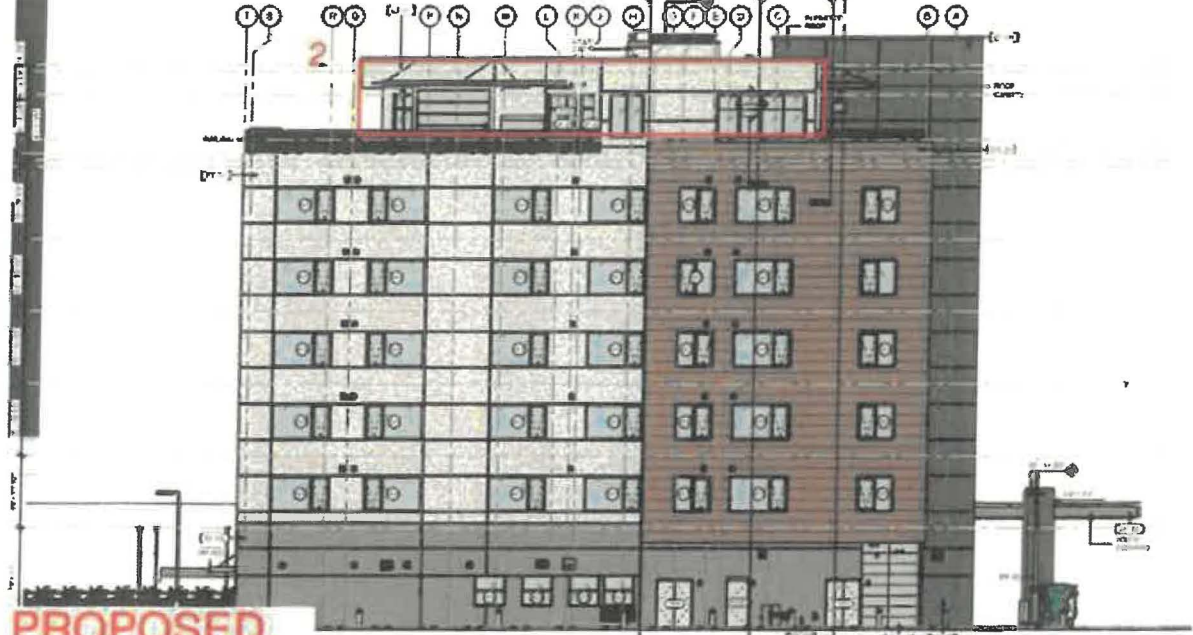


APPROVED



PROPOSED

North Elevation

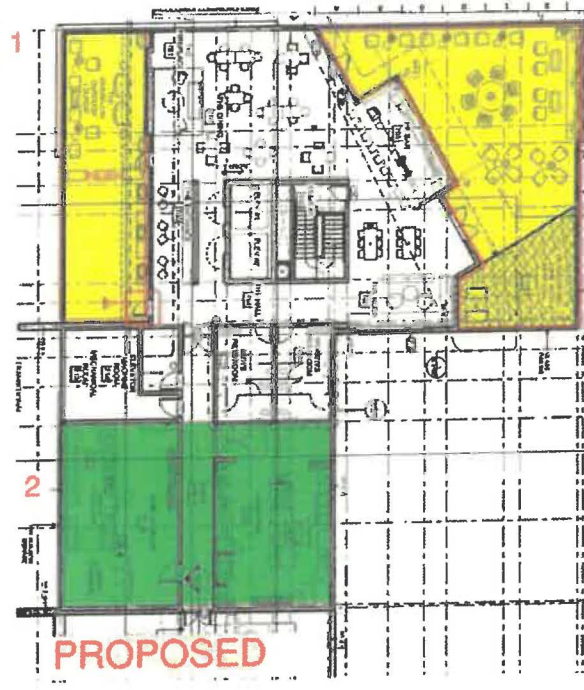


PROPOSED

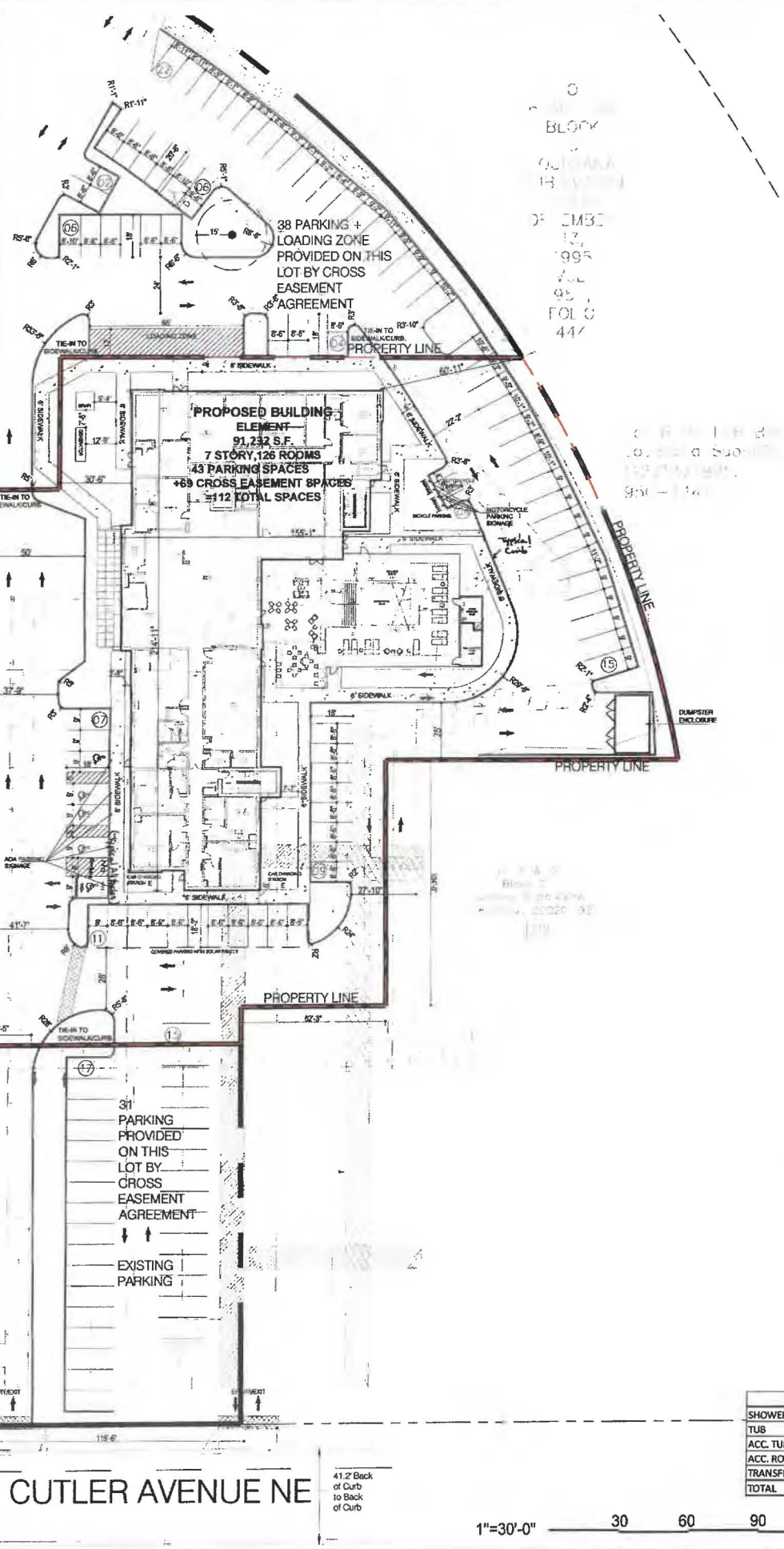


APPROVED

Rooftop

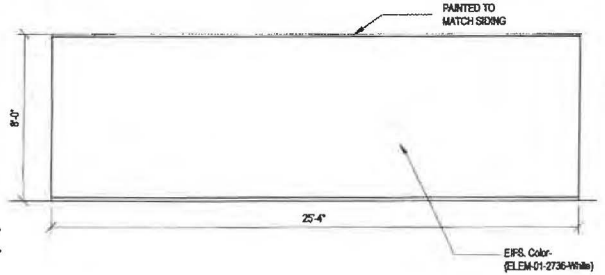
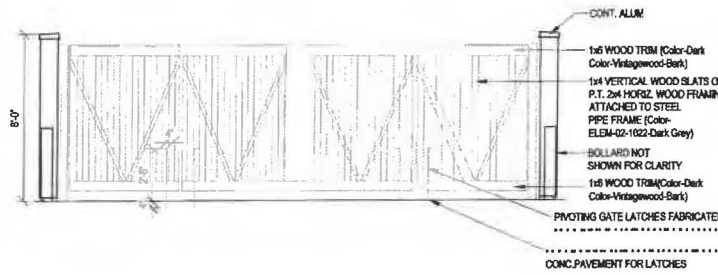
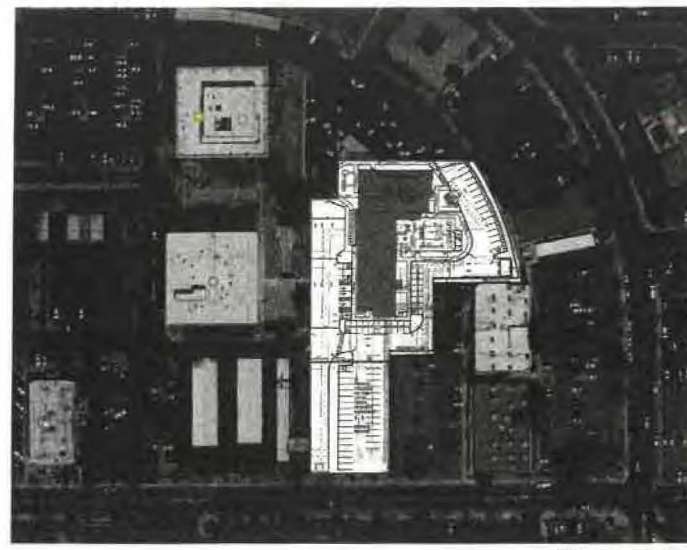


PROJECT NUMBER:
Application Number:
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
ON-SITE DEVELOPMENT PLAN APPROVAL:
Traffic Engineering, Transportation Division 3/13/20
Date
Public Works Management 3/11/20
Date
Public Works Management 01-22-20
Date
City Engineering 01-22-20
Date
Code Enforcement 1-22-20
Date
NA
Date
Environmental Health Department (conditional) 03-15-20
Date
Solid Waste Management 3-19-20
Date
City Engineering, Planning Department
Date
Environmental Health, if necessary



LEGEND

- EXISTING PRIVATE INGRESS EASEMENT WIDTHS (8/14/89, C39-140)
- EXISTING 10' PRIVATE SANITARY SEWER EASEMENT (8/14/89, C39-140)
- EXISTING 10' PRIVATE WATERLINE EASEMENT (8/14/89, C39-140)
- EXISTING 10' PRIVATE GAS LINE EASEMENT (8/14/89, C39-140)
- EXISTING 10' UNDERGROUND PNM & M&T&T EASEMENT (7/3/85, BK. MISC. 245A-920)
- PORTION OF ORIGINAL EASEMENT RELEASED BY PNM (2/2/87, BK. MISC. 447A, PG.819) AND RETAINED BY TELEPHONE COMPANY.



ROOM MATRIX

ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC.ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

PARKING MATRIX

PARKING TYPE	REQUIRED	PROVIDED
ACCES. PARKING SPACE	4	4
VAN PARKING SPACE	1	1
STAND. PARKING SPACE	121	103
MEETING ROOM PARKING SPACE	11	0
RESTAURANT PARKING SPACE	7	0
EMPLOYEE PARKING SPACE	0	0
MOTO PARKING	4	4
TOTAL PARKING SPACES	104*	112
BYCYCLE PARKING	4	8

NOTE: *30% Reduction for proximity to transit

ZONING ANALYSIS

REQUIREMENT	ZONING	COMPLIANCE
AHJ	Albuquerque, NM	
SITE ZONING	MX-H - mixed use	
HOTEL USE ALLOWED	permitted by right;	Y
MAX BUILDING HEIGHT	75' with exception	Y
FAR	No requirements found;	NA
# OF PARKING STALLS REQUIRED	1/1000 net square feet	Y
SIZE OF PARKING STALLS REQUIRED	8.5 feet by 18 feet	Y
DRIVE AISLE SIZE REQUIRED	No requirements found;	Y
IMPERVIOUS AREA	No requirements found;	NA
MAX PARKING IN ROW	No requirements found;	NA
LOADING ZONES	No requirements found;	NA
FIRE ACCESS REQUIREMENTS	TBD	TBD
SETBACKS		
1) FRONT	No requirements found;	NA
2) SIDE	No requirements found;	NA
3) REAR	No requirements found;	NA
4) PARKING	Front 10 feet/side 6 feet buffer	Y
ADDITIONAL NOTES		

SHOWER FIXTURE TYPE MATRIX

SHOWER	TUB	ACC. TUB	ACC. ROLL IN SHOWER	TRANSFER SHOWER	TOTAL
107	12	0	2	5	126
85%	10%	0%	2%	4%	100%

FLOOR AREA (SF)

FLOOR PLAN	AREA (SF)
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111

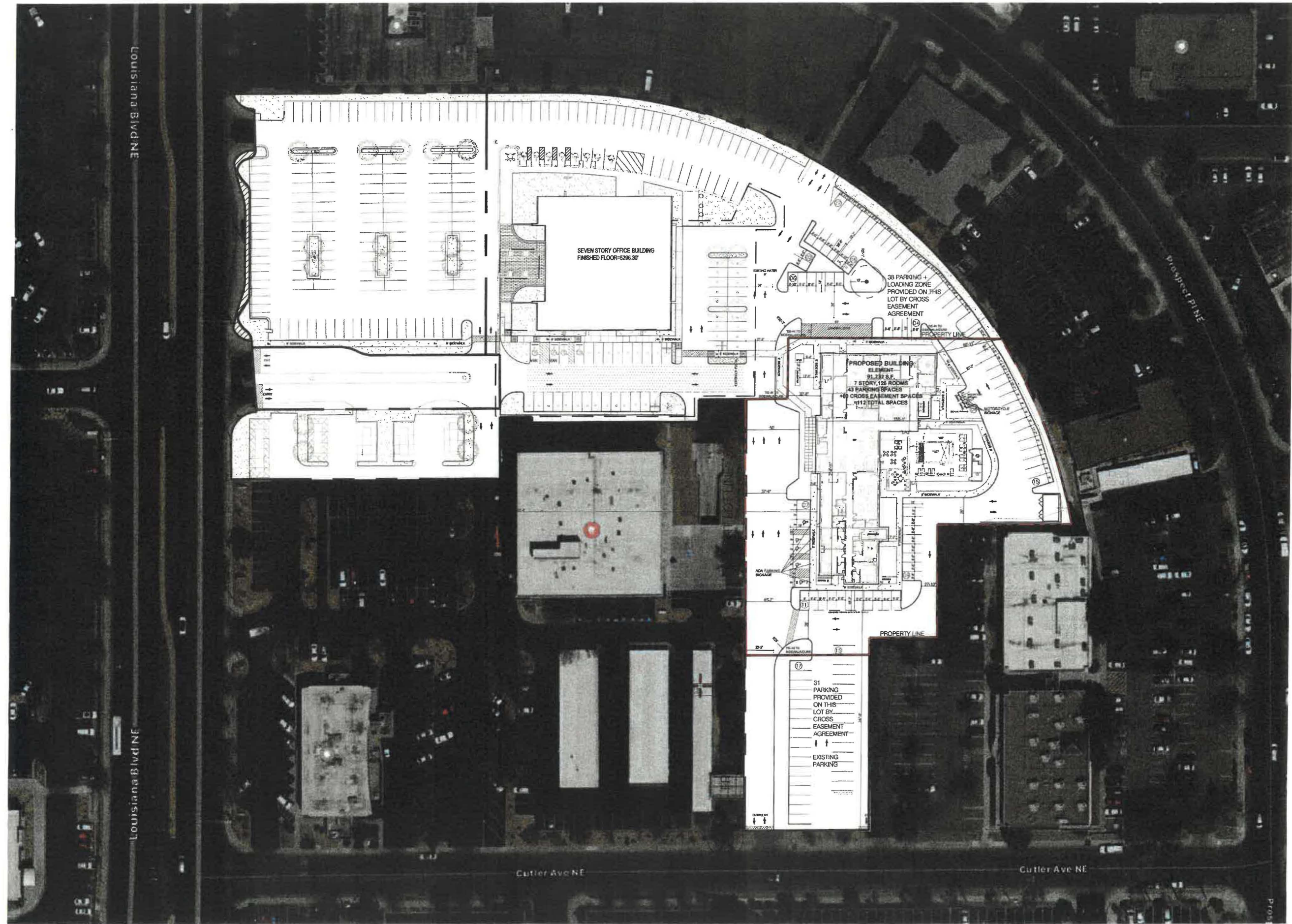


ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17
DRAWN BY SG
CHECKED BY DH
SCALE AS NOTED
PROJECT NO. B4 - 176 - 1901
SHEET NAME

SITE PLAN
DRAWING NO.
A1.1



Seal

Owner:

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

CHECKED BY DH

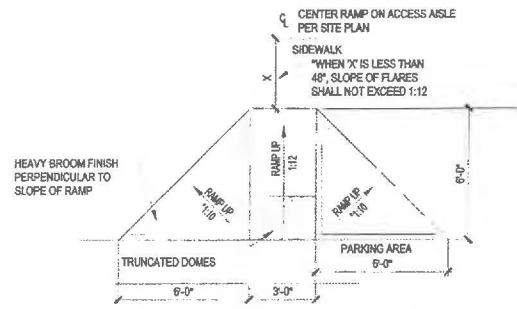
SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

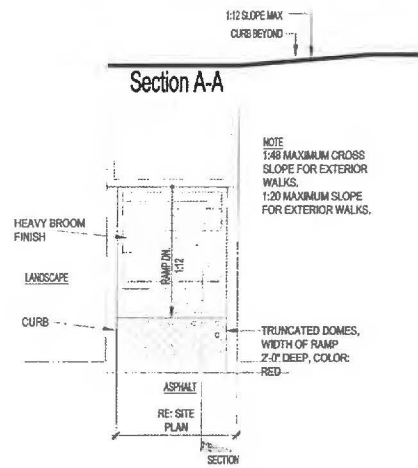
SHEET NAME

MASTER PLAN

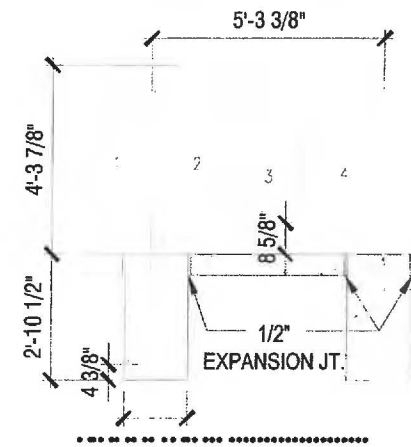
DRAWING NO.
A1.1



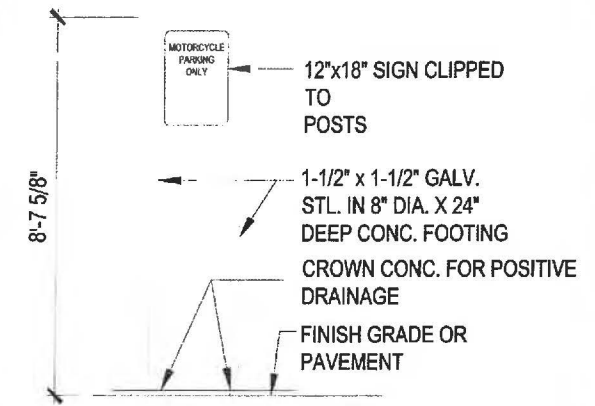
1 ACCESSIBLE SIDEWALK RAMP
SCALE: 1/4"=1'-0"



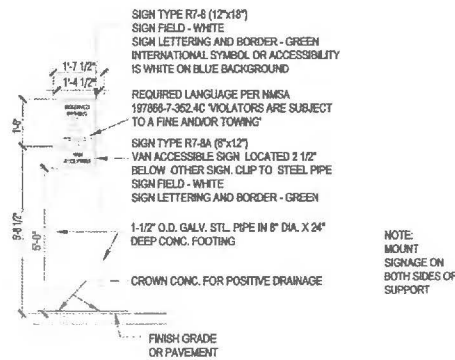
2 RAMP @ SIDEWALK
SCALE: 1/4"=1'-0"



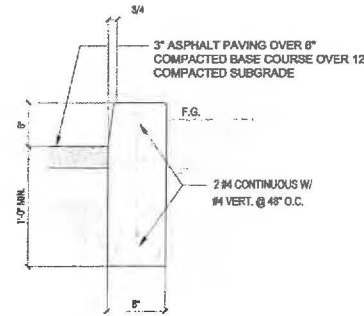
3 BICYCLE RACK
SCALE: 1/2"=1'-0"



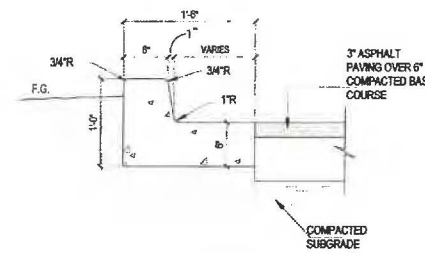
4 MOTOR CYCLE SIGN ELEVATION
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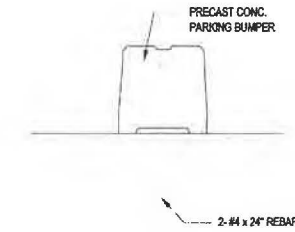
4 ACCESSIBLE SIDEWALK RAMP
SCALE: 1/4"=1'-0"



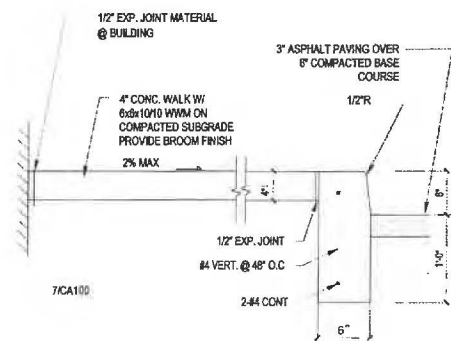
5 CURB DETAIL
SCALE: 1"=1'-0"



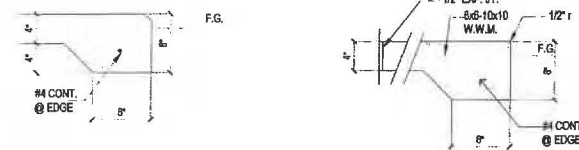
6 CURB AND GUTTER
SCALE: 1"=1'-0"



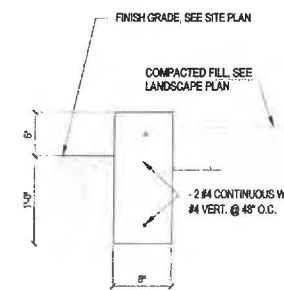
7 CONCRETE BUMPER
SCALE: 1"=1'-0"



8 CONCRETE WALK
SCALE: 1"=1'-0"



9 CONCRETE SIDEWALK EDGE
SCALE: 1"=1'-0"



10 CONCRETE CURB AT PLANTER
SCALE: 1"=1'-0"

Seal

Owner:

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

SITE DETAILS

DRAWING NO.

A1.3

GENERAL NOTES

- COORDINATION: ALL ELECTRICAL WORK SHALL BE COORDINATE THROUGH THE DESIGN/BUILD CONTRACTOR.
- CODE COMPLIANCE: ALL ELECTRICAL WORK SHALL COMPLY WITH OR SURPASS THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, NFPA 70, AND THE LATEST EDITION OF N.E.C. ALL WORK SHALL COMPLY WITH ALL APPLICABLE SERVING POWER AND COMMUNICATION UTILITIES CODES, ORDINANCES, RULES AND REGULATION.
- MEET ALL REQUIREMENTS: ALL WORK SHALL MEET THE REQUIREMENTS OF THE AFORE MENTIONED CODES AND ALL CODES AND STANDARDS REFERENCED IN THE SPECIFICATION. ALTHOUGH THE DETAILS OF SUCH WORK MAY NOT BE SHOWN ON THE DRAWINGS OR REFERENCED IN THE SPECIFICATIONS.
- CONFLICTS: CONFLICTS BETWEEN THE APPLICABLE CODES, STANDARDS AND THE PLANS AND SPECIFICATION MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- CONFLICTING STANDARDS: IN THE CASE OF CONFLICT BETWEEN THE CONTRACTOR DOCUMENTS AND A GOVERNING CODE OR ORDINANCE, THE MORE STRINGENT STANDARD SHALL APPLY.
- ACCEPTANCE OF CONDITIONS: INITIATING WORK CONSTITUTES SUBCONTRACTOR ACCEPTANCE OF THE EXISTING CONDITION ASSOCIATED WITH THE WORK IN QUESTION.
- TRADE LICENSE: THE ELECTRICAL SUBCONTRACTOR SHALL BE CURRENTLY LICENSED TO PERFORM THIS WORK WITHIN THE JURISDICTION HAVING AUTHORITY. ALL REQUIRED LICENSING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.
- SAFE: THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR OVERSEEING THE SAFE OPERATION OF ALL EQUIPMENT IN HIS USE. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL OF THE EQUIPMENT IN HIS USE IN A SAFE CONDITION. KEEP DEAD FRONT EQUIPMENT IN PLACE WHEN EQUIPMENT IS ENERGIZED. CONDUCT ALL CONSTRUCTION OPERATION IN A SAFE MANNER FOR EMPLOYEES, AS WELL AS OTHER WORK PERSONS OR ANYONE VISITING THE JOB SITE. PROVIDE BARRIERS, FLAGS, TAPE, ETC., AS REQUIRED FOR SAFETY. ALL ELECTRICIANS MUST PERFORM THEIR WORK IN ACCORDANCE TO THE GUIDELINES SET FORTH BY THE NFPA 70E.
- PROFESSIONALISM AND APPEARANCE OF WORK: WORKMANSHIP OF ALL INSTALLATION SHALL BE IN ACCORDANCE WITH ACCEPTED PRACTICES OF THIS TRADE. INSTALLATION METHODS SHALL CONFORM TO MANUFACTURERS' SPECIFICATION. THE SUBCONTRACTOR TRADE FOR THE DURATION OF THE JOB WITH QUALIFIED JOURNEMEN AND EMPLOYEES IN THIS TO COMMUNICATE WITH AND KEEP THE DESIGN/BUILD CONTRACTOR APPRAISED OF CHANGES OR CLARIFICATIONS.
- WORKMANSHIP: ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN A NEAT, DURABLE, AND WORKMANLIKE MANNER.
- STORAGE AND EQUIPMENT STORAGE: STORAGE OF EQUIPMENT FOR THE JOB IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR AND SHALL BE SCHEDULED FOR DELIVERY TO THE SITE AS THE EQUIPMENT IS REQUIRED. DAMAGE TO THE EQUIPMENT DELIVERED TO THE SITE OR IN TRANSPORT TO THE JOB SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
- UTILITY COORDINATION: ELECTRICAL SUBCONTRACTOR SHALL CONTACT ALL UTILITIES AND VERIFY ALL UTILITY REQUIREMENTS PRIOR TO COMMENCING OR ORDERING ANY MATERIALS WHATSOEVER. CONFLICTS BETWEEN UTILTY REQUIREMENTS AND THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION OR ORDERING ANY MATERIALS WHATSOEVER. SUBCONTRACTOR SHALL CALL FOR A PRE-CONSTRUCTION FACE-TO-FACE MEETING WITH THE UTILITY COMPANIES TO REVIEW REQUIREMENTS AND PLANS.
- METHODS OF CONSTRUCTION: UNLESS OTHERWISE NOTED OR SHOWN, THESE DRAWINGS AND SPECIFICATIONS DO NOT INDICATE METHODS OF CONSTRUCTION. THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFE WORK PRACTICES.
- THE EXACT LOCATION AND THE ARRANGEMENTS OF ALL PARTS SHALL BE DETERMINED AS THE WORK PROGRESSES. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND FUNCTIONAL ELECTRICAL SYSTEM.
- INCIDENTAL ITEMS: INCIDENTAL ITEMS NOT INDICATED ON DRAWINGS, NOT MENTIONED IN THE SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO BELONG TO THE WORK DESCRIBED OR NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS TOUGH ITEMIZED HERE IN EVERY DETAIL.
- DAMAGE RESPONSIBILITY: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOSS OR DAMAGE CAUSED BY HIM OR HIS WORKMEN TO THE FACILITY DURING THE COURSE OF CONSTRUCTION, AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING OR REPLACING AS REQUIRED TO INSURE RESTORATION TO ORIGINAL CONDITION.
- COMPLETE AND FUNCTIONAL SYSTEM: SUBCONTRACTOR SHALL FURNISH MATERIALS, TOOLS, SERVICES, LABOR, ETC. FOR A COMPLETE AND FULLY FUNCTIONAL ELECTRICAL INSTALLATION UNLESS OTHERWISE NOTED ON PLANS.
- COORDINATION WITH OTHER TRADES: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL INSTALLATION WITH ALL OTHER TRADES TO AVOID ANY CONFLICTS.
- SUBCONTRACTOR SHALL DETERMINE EXACT LOCATION IN THE FIELD. FEEDERS SHALL NOT BE INCREASED IN LENGTHS SHOWN WITHOUT ENGINEERING APPROVAL.
- EQUIPMENT OUTDOOR RATINGS: ALL ELECTRICAL EQUIPMENT EXPOSED OR INSTALLED OUTDOORS SHALL BE NEMA 3R (WEATHER PROOF) OR NEMA 4 (WET LOCATION) RATED.
- SUBMITTAL /SHOP DRAWINGS: ALL SUBMITTAL /SHOP DRAWINGS SHALL CONTAIN COMPLETE INFORMATION NECESSARY TO DETERMINE THAT THE ITEM IS APPROPRIATE FOR THE PURPOSE INTENDED. ALL SUBMITTAL /SHOP DRAWINGS SHALL CONTAIN THE MANUFACTURERS CONTACT PERSON AND CURRENT TELEPHONE NUMBER.
- INDICATED LOCATION OF EQUIPMENT: LOCATION OF EQUIPMENT, CONDUIT, AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE CIVIL AND ARCHITECTURAL DRAWINGS.
- NRTL LISTINGS: ALL ELECTRICAL EQUIPMENT SHALL BE NEW, IN FIRST CLASS CONDITION AND LISTED BY NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL) SUCH AS U.L. IF SUCH A LISTING EXIST FOR COMPARABLE EQUIPMENT.
- GENERAL SUBCONTRACTOR WORK: ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR WORK OF A GENERAL CONTRACTING NATURE SPECIFIED ON ELECTRICAL PLANS INCLUDING, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:
 - CONCRETE FOOTINGS INCLUDING REBAR AND MOUNTING BOLTS FOR PLACEMENTS OF LIGHTS FIXTURE POLES.
 - TRENCHING AND BACKFILLING OF TRENCHES.
 - SUPPLY AND INSTALLATION OF ALL EQUIPMENT PADS AND SPICE BOXES UNLESS NOTED OTHERWISE.
- WORKING SPACE: WORKING SPACE SHALL MEET OR EXCEED THE NEC REQUIREMENT FOR ALL ELECTRICAL EQUIPMENT. (SEE NFPA 70-2006, SEC 110-26)
- EQUIPMENT ACCESSIBILITY: IT SHALL BE THE RESPONSIBILITY OF SUBCONTRACTOR TO SEE THAT ALL THE ELECTRICAL EQUIPMENT SHALL BE MADE ACCESSIBLE, SUCH AS JUNCTION BOXES, PULL BOXES, PANELBOARDS, SWITCHES, CONTROLS AND SUCH OTHER APPARATUS AS MAY REQUIRE MAINTENANCE AND OPERATION FROM TIME TO TIME.

- EQUIPMENT PROTECTION: AFTER INSTALLATION, ELECTRICAL EQUIPMENT SHALL BE PROTECTED TO PREVENT DAMAGE DURING THE CONSTRUCTION PERIOD. OPENINGS IN CONDUITS AND BOXES SHALL BE CLOSED TO PREVENT THE ENTRANCE OF FOREIGN MATERIALS.
- AS BUILT RECORD DRAWINGS: PROVIDE RECORD DRAWING TO THE D/B CONTRACTING OFFICER WITH ALL CHANGES NOTED THEREON AT THE COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE SIGN AND DATED BY SUBCONTRACTOR.
- SHOP DRAWINGS: SUBMIT SHOP DRAWINGS AND MATERIALS LIST FOR REVIEW PRIOR TO COMMENCING ANY WORK. ALL EQUIPMENT TO BEAR U.L. LABEL OR THAT OF ANOTHER ACCEPTABLE TESTING LABORATORY WHEN SUCH LISTINGS EXIST FOR COMPARABLE EQUIPMENT. SHOP DRAWING MUST BE STAMPED BY THE SUBCONTRACTOR FOR CONFORMANCE PRIOR TO SUBMITTAL.
- DIGGING PERMITS AND OUTAGE REQUESTS: ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- DIGGING PERMITS AND OUTAGE REQUESTS: ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- ATTRACTIVE NUISANCES: OPEN TRENCHES, ELECTRICAL EQUIPMENT AND DEVICES SHALL NOT PRESENT AN ATTRACTIVE NUISANCE TO CHILDREN. ALL ELECTRICAL EQUIPMENT SHALL BE TOTALLY INACCESSIBLE, DEAD FRONT AND LOCKABLE.
- ROUTING AND LOCATION: THE ROUTING OF THE NEW UNDERGROUND FEEDERS SHALL BE APPROVED BY AND COORDINATED WITH THE DESIGN/BUILD CONTRACTOR, EXCEPT FOR CROSSINGS, ELECTRICAL AND COMMUNICATIONS UTILITIES SHALL NOT BE LOCATED UNDER STREETS.
- UPON COMPLETION OF WORK THE SUBCONTRACTOR SHALL PROVIDE THE D/B CONTRACTOR WITH ONE (1) SPARE SET OF FUSES OF EACH SIZE AND TYPE INSTALLED IN THE PROJECT.
- THE SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE DESIGN/BUILD CONTRACTOR FOR REMOVING, LOCATING, CAPPING AND OR RELOCATION OF ANY ELECTRIC FACILITIES WHICH ARE NOT TO REMAIN IN SERVICE AND TO INSTALL FACILITIES AS REQUIRED TO MAINTAIN CONTINUOUS SERVICE TO DWELLING UNITS OR BUILDING STRUCTURES THAT WILL REMAIN.
- NON-METALLIC WEATHERPROOF ENCLOSURES SHALL BE CONSTRUCTED OF GLASS FIBER REINFORCED POLYESTER RESIN, WITH PIGMENTED HEAT RESISTANT HIGH GLOSS SURFACING SEALER ON THE INTERIOR, WITH PIGMENTED, ULTRAVIOLET LIGHT STABILIZED WEATHER RESISTANT SURFACE COAT ON THE EXTERIOR. EACH SECTION SHALL BE MOLDED IN ONE PIECE, SECTIONAL COMPONENTS JOINED BY BOLTING. RIVETING OR USE OF ADHESIVES ARE NOT ACCEPTABLE. ALL HARDWARE SHALL CONSIST OF TYPE 304 STAINLESS STEEL AND SHALL INCLUDE PENTAGONAL BOLTS AND PROVISIONS FOR PADLOCKING. DIMENSIONS OF ENCLOSURES SHALL BE AS REQUIRED TO ACCOMMODATE EQUIPMENT AND/OR FUNCTIONS SPECIFIED, BUT IN NO CLASS SMALLER THAN INDICATED.
- PROVIDE LOCKS AT ALL ELECTRICAL ENCLOSURES SUCH AS TRANSFORMERS, FUSE AND SPICE CABINETS. LOCKS ARE TO BE COMPATIBLE WITH EXISTING LOCKS USED BY BASE ELECTRICAL.
- PROVIDE ENGRAVED PLASTIC NAME PLATES FOR SWITCHBOARDS, PANELS, TERMINAL CABINETS, AND ANY OTHER MAJOR ELECTRICAL ITEM. SCREW-ON ATTACHMENT ONLY- NO ADHESIVE.
- EQUIPMENT LOCATIONS ARE APPROXIMATE. EXACT ROUTING AND EQUIPMENT LOCATION IS TO BE COORDINATED WITH OTHER TRADES AND APPROVED BY THE D/B CONTRACTOR WHERE SHOWN EQUIPMENT IS TO BE CLUSTERED. COORDINATE CLUSTERED LOCATIONS WITH LANDSCAPE CONTRACTOR FOR SHIELDING. MAINTAIN WORKING CLEARANCES. A MINIMUM DISTANCE OF 4' IS REQUIRED BETWEEN PRIMARY ELECTRICAL LINES AND WET UTILITIES.
- TRENCHING IS TO AVOID DRIP LINES ON TREES AS SHOWN ON PLANS. ALL TRENCHING WITHIN DRIP LINES TO BE APPROVED BY THE D/B CONTRACTOR.
- STAKING OF ELECTRICAL EQUIPMENT PADS: ALL ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, SWITCHES, METERS, JUNCTION CABINETS, LIGHTING POLE BASES, ETC. ARE TO BE STAKED BY THE ASSIGNED PROJECT SURVEYORS FOR FINAL ELEVATION AND LOCATION OF PADS OR ANCHORS. ELEVATIONS ARE TO BE DETERMINED BY THE SITE CIVIL DESIGN ENGINEER. IN CONSISTENCIES AND INTERFERENCES ARE TO BE REPORTED TO THE D/B CONTRACTOR. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT EQUIPMENT PAD ELEVATIONS ARE AS STAKED.
- STAKING OF ELECTRICAL TRENCHES: AFTER ELECTRICAL TRENCHES ARE MARKED FOR ROUTING BY THE ELECTRICAL SUBCONTRACTOR, ARRANGEMENTS ARE TO BE MADE FOR THE ASSIGNED PROJECT SURVEYORS TO LOCATE THE MARKED ROUTE AND TRANSFER THIS INFORMATION TO THE SITE CIVIL DESIGN ENGINEER TO ASSIGN FINISH GRADES. THESE FINISH GRADES SHALL BE TRANSFERRED BACK TO THE ASSIGNED PROJECT SURVEYOR TO PROVIDE TRENCH STAKING INDICATING FINAL GRADE TO INSURE THAT MINIMUM BURIAL DEPTHS ARE MAINTAINED. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT TRENCH DEPTHS RELATIVE TO FINISH GRADE ARE AS STAKED.
- ALL SPARE/EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL LINE.
- INSTALLATION GUIDELINES SHALL CONFIRM TO CURRENT NFPA 70 NEC.
- ALL EQUIPMENT INCLUDING POLE RISERS, PAD MOUNTED GEAR, LIGHT POLES AND ISC. EQUIPMENTS SHALL BE GROUNDED.
- EQUIPMENT GROUNDRING: ONE 3/4 INCH BY 10 FOOT COPPER CLAD GROUND ROD SHALL BE INSTALLED IN A CONDUIT WINDOW OF EACH EQUIPMENT PAD (WHERE TRANSFORMER PADS HAVE MORE THAN ONE CONDUIT WINDOW, THE GROUND RODS SHALL BE INSTALLED IN SECONDARY/LOW VOLTAGE WINDOW). ALL UNDERGROUND GROUNDRING CONNECTIONS SHALL BE EXOTHERMIC TYPE CONNECTIONS.

SITE LIGHTING GENERAL NOTES:

- CONTRACTOR SHALL CO-ORDINATE WITH OWNER/CIVIL ENGINEER FOR SITE LIGHTING DETAILS. BASE4 HAS PROPOSED PANEL FOR SITE POWER CONTRACTOR SHALL USE THAT FOR FUTURE REFERENCE.
- LIGHTING NOT DESIGNATED FOR DUST-TO-DAWN OPERATION SHALL BE CONTROLLED BY EITHER A PHOTOSENSOR AND A TIME SWITCH, OR AN ASTRONOMICAL TIME SWITCH. LIGHTING DESIGNATED FOR DUST-TO-DAWN OPERATION SHALL BE CONTROLLED BY AN ASTRONOMICAL TIME SWITCH OR PHOTOSENSOR. ALL TIME SWITCHES SHALL RETAIN PROGRAMMING AND THE TIME SETTING DURING LOSS OF POWER FOR A PERIOD OF AT LEAST 10 HOURS. LIGHTING DESIGNATED TO OPERATE MORE THAN 2000 HOURS PER YEAR FOR UNCOVERED PARKING AREAS SHALL BE EQUIPPED WITH MOTION SENSORS THAT WILL REDUCE THE LUMINARIES POWER BY 33 PERCENT OR TURN OFF ONE THIRD THE LUMINARIES WHEN NO ACTIVITY IS DETECTED.
- POLE BASE COVERS ARE TO BE INSTALLED SO THAT THE BASE COVER FITS FLUSH TO THE TOP OF THE CONCRETE BASE. LEVELING SHIMS AND NUTS SHALL NOT CAUSE A GAP BETWEEN THE POLE BASE AND THE BASE COVER.
- ALL WIRING IS TO BE #12 AWG AND #12 AWG GROUND MINIMUM THHN/THWN (90 DEG. C) IN 1" SCHEDULE 40 PVC (MINIMUM SIZE). TRENCH 30" DEEP. CLEAN BACKFILL USING SITE MATERIALS CAN BE USED. PROVIDE PREMIUM BACKFILL WHERE SITE MATERIALS ARE NOT ACCEPTABLE FOR USE.

LEGENDS

- CONDUIT FOR POWER
- COMMUNICATIONS CONDUIT
- CONDUIT FOR BUILDING SIGNAGE
- PANEL
- NEMA 5-20R DUPLEX RECEPTACLE MOUNTED AT 15" AFF ON CENTER, UNO.
- IG = ISOLATED GROUND
- GF = GROUND FAULT CIRCUIT INTERRUPTER
- WP = GROUND FAULT CIRCUIT INTERRUPTER
- AC = MOUNTED 4" ABOVE COUNTER
- TRANSFORMER
- GENERATOR
- MSB
- JUNCTION BOX

ABBREVIATIONS

- A AMP
- AFC AVAILABLE FAULT CURRENT
- AIC AMPERES INTERRUPTING CAPACITY
- AFF ABOVE FINISHED FLOOR
- ADA AMERICAN DISABILITIES ACT
- AT AMP TRIP
- ATS AUTOMATIC TRANSFER SWITCH
- AWG AMERICAN WIRE GAUGE
- BRKR BREAKER
- C CONDUIT OR CONDUCTOR- AS APPLICABLE
- CB CIRCUIT BREAKER
- CKT CIRCUIT
- CLG CEILING
- CO CONDUIT ONLY
- CPT CONTROL POWER TRANSFORMER
- DTTS DOUBLE THROW TRANSFER SWITCH
- EC EMPTY CONDUIT
- EF EXHAUST FAN
- ELEC ELECTRICAL/ELECTRIC
- EM EMERGENCY
- FA FIRE ALARM
- FACP FIRE ALARM CONTROL PANEL
- FLOORF FLUORESCENT
- G.GND GROUND
- GEN GENERATOR
- GF,GFCD GROUND FAULT (CIRCUIT) INTERRUPTER
- HH HAND HOLE/HIGH INTENSITY DISCHARGE
- HOA HAND/OFF/AUTO
- HP HORSE POWER
- HWH HOT WATER HEATER
- IS ISOLATED GROUND
- INCBN INDOOR
- JB JUNCTION BOX
- KCM THOUSAND CIRCULAR MILES
- KVA KILOVOLT - AMPERE
- KW KILOWATT
- KWH KILOWATT HOUR
- LTG LIGHT
- LTS LIGHTS
- MCB MAIN CIRCUIT BREAKER
- MCC MOTOR CONTROL CENTER
- MDF MAIN DISTRIBUTION PANEL
- MH METAL HALIDE OR MAN-HOLE- AS APPLICABLE
- MLO MAIN LUG ONLY
- N NEUTRAL
- NEC NATIONAL ELECTRICAL CODE
- NF NON FUSED
- NFPA NATIONAL FIRE PROTECTION ASSOCIATION
- NL NIGHT LIGHT (UNSWITCHED CKT.)
- P POLE
- PB PULL BOX
- PH PHASE
- PNL PANEL
- PVC POLYVINYL CHLORIDE
- PWR POWER
- RCPT RECEPTACLE
- RGS RIGID GALVANIZED STEEL
- SF SUPPLY FAN
- SH SHIELDED
- SPD SURGE PROTECTIVE DEVICE
- SPDT SINGLE POLE, DOUBLE THROW
- SPST SINGLE POLE, SINGLE THROW
- SRAC SERIES RATED AMPERES INTERRUPTING CAPACITY SWITCH
- SW STRUCTURED WIRING BOX
- TELE TELEPHONE
- TTB TELEPHONE TERMINAL BOARD
- UG UNDERGROUND
- UPS UNINTERRUPTABLE POWER SUPPLY
- UNL UNLESS OTHERWISE NOTED
- V VOLT
- W WATTS
- WP WEATHERPROOF
- XFMR TRANSFORMER



MANUFACTURER - EATON MCGRAW-EDISON
 CATALOG - GLEON-AF-03-LED-E1-T3-BK
 INPUT WATTAGE - 166 W
 COLOR TEMP - BLACK, 3000K
 FIXTURE - ALZ-01,ALZ-01A

MANUFACTURER - EATON/INVUE
 CATALOG - ABB-B2-LED-42-D1-S-DP
 INPUT WATTAGE - 32 W
 COLOR TEMP - DARK PLATINUM, 4000K
 FIXTURE - ALZ-02



BASE4
 2901 CLINT MOORE ROAD #114
 BOCA RATON, FLORIDA 33496
 www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
 9201 MONTGOMERY BLVD, NE BLDG 1
 ALBUQUERQUE, NM 87111



element
 MEMBER BY NABE077

ELEMENT
 ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.16

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME
 SITE LIGHTING NOTES
 AND ABBREVIATIONS

DRAWING NO.
 SL001

Seal

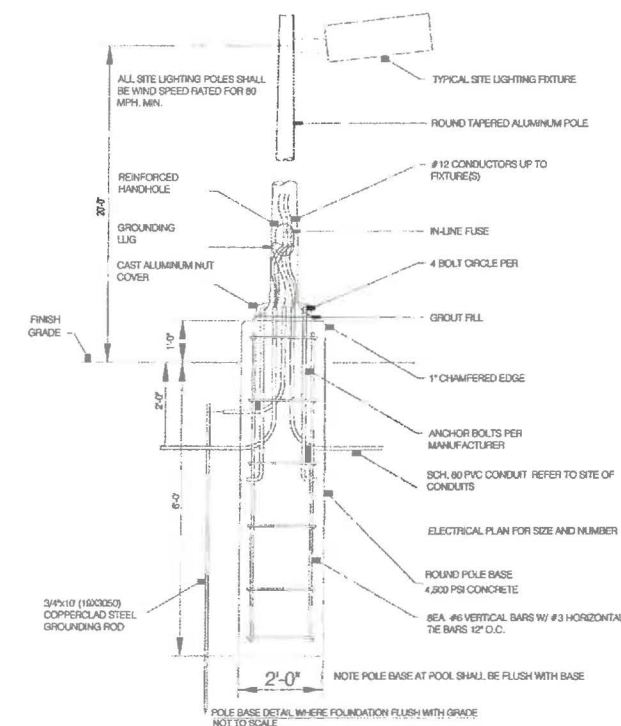
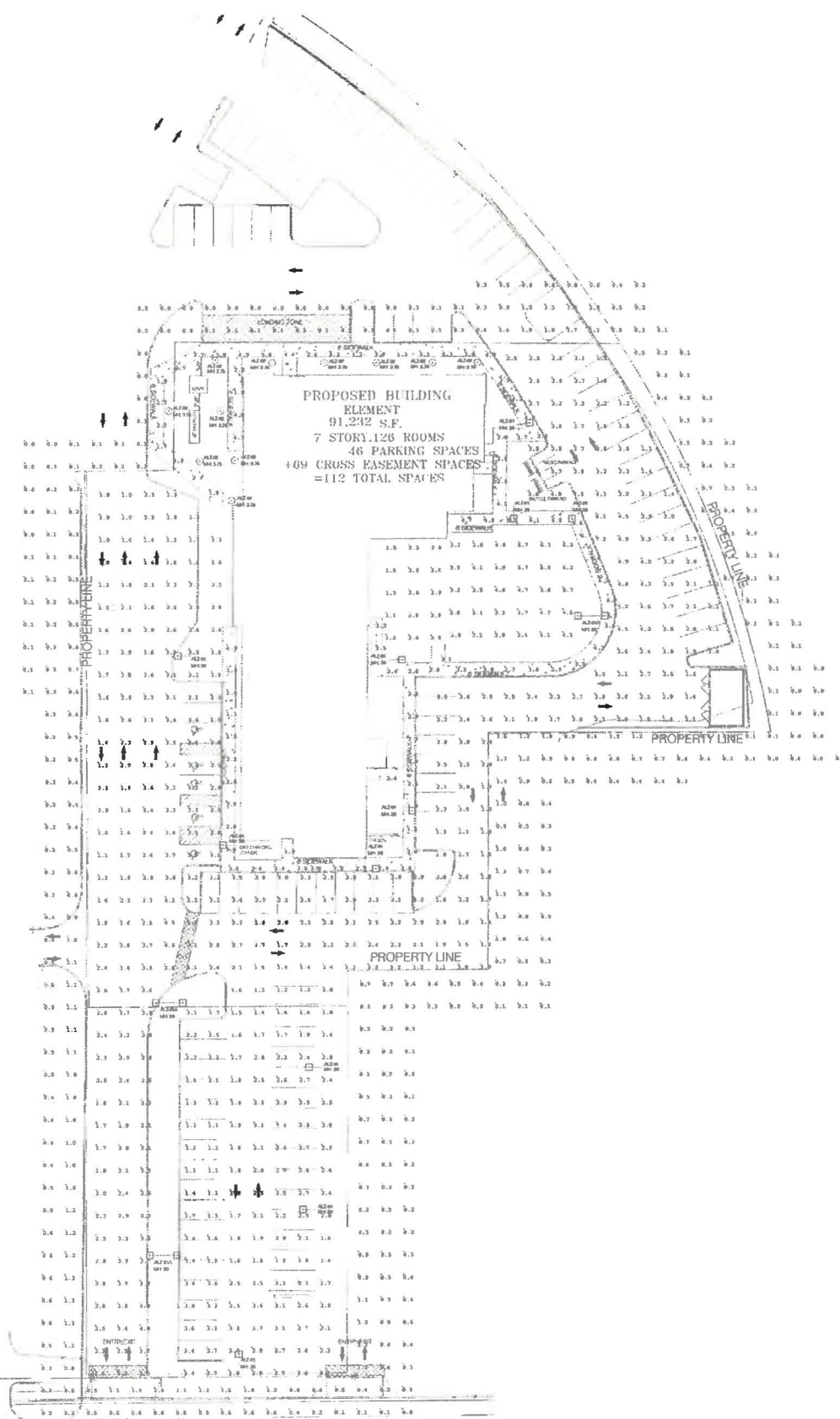
Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Outdoor Patio	Illuminance	Fc	3.25	4.8	1.0	3.25	4.80
Outdoor Pool	Illuminance	Fc	6.54	12.2	3.0	2.18	4.07
Parking	Illuminance	Fc	3.94	11.2	1.0	3.94	11.20
Property Line	Illuminance	Fc	0.35	2.6	0.0	N.A.	N.A.
Side Walk	Illuminance	Fc	4.92	12.5	1.0	4.92	12.50

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Filename	Arm	Lum. Watts
⊖	11	ALZ-01	SINGLE	N.A.	0.900	GLEON-AF-03-LED-E1-T3	GLEON-AF-03-LED-E1-T3.ies	2	166
⊙	11	ALZ-02	SINGLE	N.A.	0.900	ABB-B2-LED-D1-S	ABB-B2-LED-D1-S.ies	0	32
⊖	3	ALZ-01A	BACK-BACK	N.A.	0.900	GLEON-AF-03-LED-E1-T3	GLEON-AF-03-LED-E1-T3.ies	2	166

NOTE: MOUNTING HEIGHTS ARE MENTIONED NEAR FIXTURES IN THE DRAWING USING ABBR, MH:XX.X. EG. MH:20 INDICATES A MOUNTING HEIGHT OF 20 FEET.

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.16

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

SITE PHOTOMETRICS
PLAN

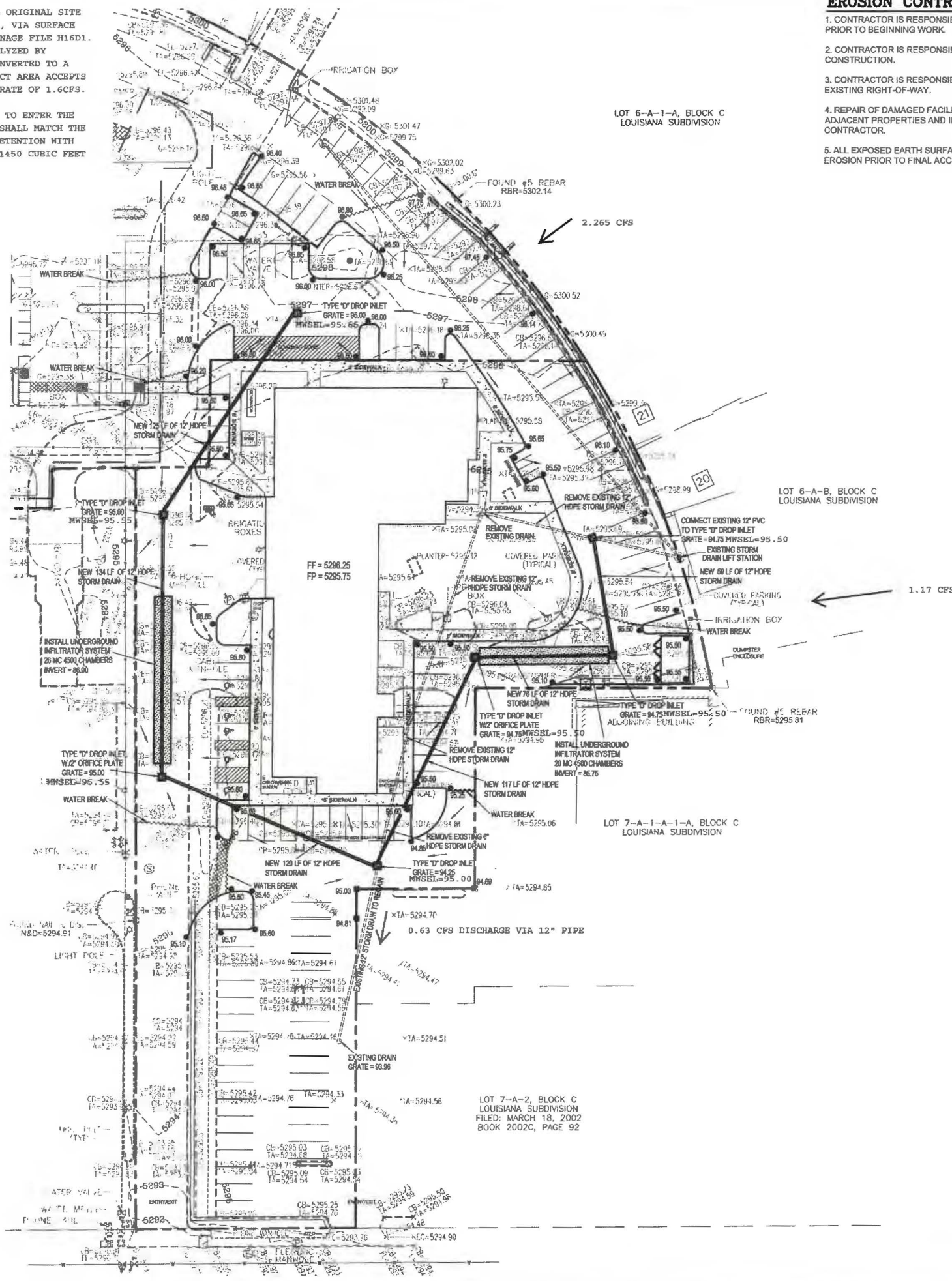
DRAWING NO.

SL002

DRAINAGE NARRATIVE
 THE SITE IS A FULLY DEVELOPED PORTION OF AN EXISTING SITE. THE OVERALL ORIGINAL SITE WAS DESIGNED TO DISCHARGE TO AN EXISTING 60" STORM DRAIN IN LOUISIANA, VIA SURFACE AND UNDERGROUND CONDUITS. THE OVERALL SITE ANALYSIS IS LOCATED IN DRAINAGE FILE H16D1. THE PROJECT AREA WAS AT ONE TIME A RETENTION BASIN. THE SITE WAS REANALYZED BY BOHANAN HUSTON IN 1984 AND PARTIALLY CONSTRUCTED. THE POND BASIN WAS CONVERTED TO A PARKING LOT DETENTION POND IN A REPORT BY LARRY REID IN 2004. THE PROJECT AREA ACCEPTS UPLAND FLOW FROM THE EAST. THE SITE IS ALLOWED TO DISCHARGE AT A PEAK RATE OF 1.6CFS.

THIS DEVELOPMENT WILL CONTINUE TO ALLOW THE UPLAND FLOW OF 3.435 CFS TO ENTER THE SITE. THE SITE WILL CONTINUE TO GENERATE 6.30 CFS. THE BASIN DISCHARGE SHALL MATCH THE HISTORICAL RATE OF 0.63 CFS ALLOWED BY THE INTRODUCTION PARKING LOT DETENTION WITH SUBSURFACE INFILTRATION CHAMBERS. THE REQUIRED FIRST FLUSH VOLUME OF 1450 CUBIC FEET WILL BE CAPTURED BY THE UNDERGROUND CHAMBERS.

THE DEVELOPMENT OF THIS SITE WILL MATCH EXISTING CONDITIONS.

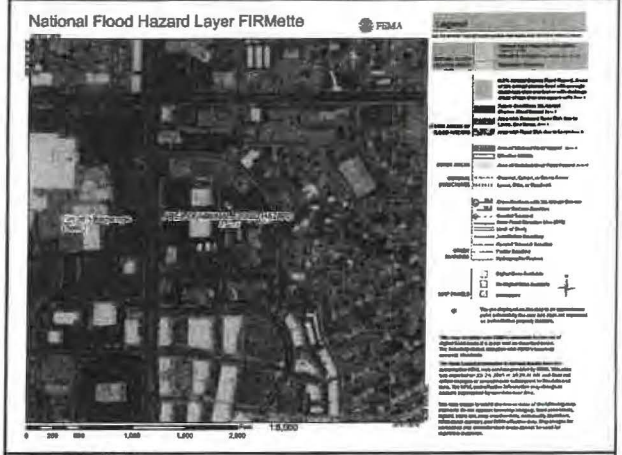


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: H-19-2



FIRM MAP:

LEGAL DESCRIPTION:
 LOTS 5-A-1, 5-A-2, 6-A-1-C-1-A AND 6-A-1-C-1-B, BLOCK "C" LOUISIANA SUBDIVISION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

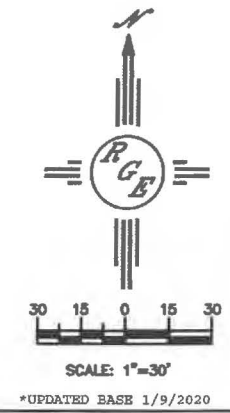
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

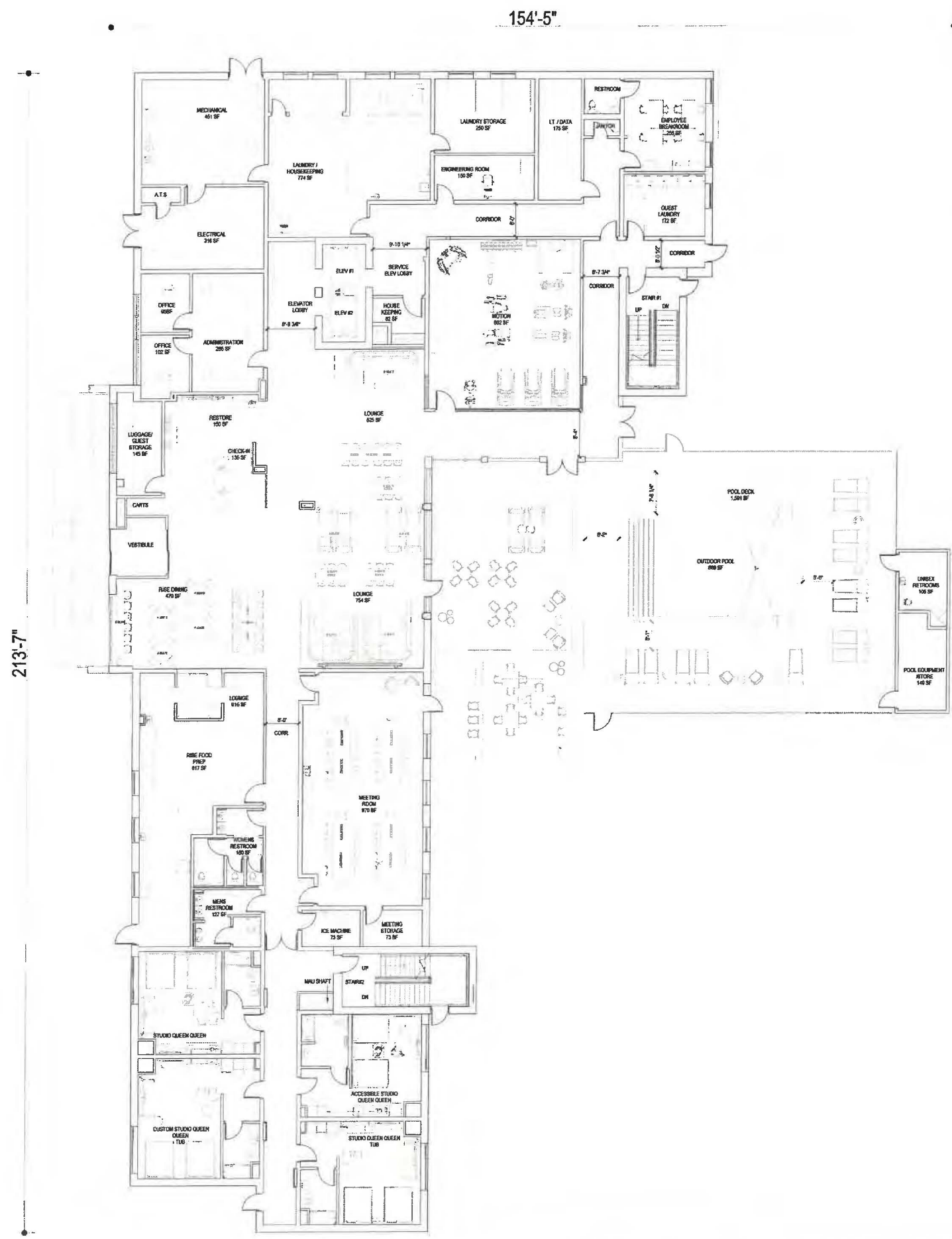
LEGEND

---	EXISTING CONTOUR	---	EXISTING INDEX CONTOUR	---	EXISTING CURB AND GUTTER
XXXX	EXISTING SPOT ELEVATION	---	BOUNDARY	---	PROPOSED WATER BREAK
●XXXX	PROPOSED SPOT ELEVATION	---	ADJACENT BOUNDARY	---	PROPOSED HOPE STORM DRAIN
---	PROPOSED TYPE 'D' DROP INLET PER COA STD DWG	---	EXISTING DRAIN	---	PROPOSED UNDERGROUND INFILTRATOR SYSTEM
---	CB = CURB	---	SPOND = BOTTOM OF POND	---	DRN = DRAIN
---	EC = EDGE OF CONCRETE	---	FF = FINISHED FLOOR	---	FL = FLOW LINE
---	G = GROUND	---	N&D = NAIL & DISC	---	RAMP = RAMP
---	SASHM = SANITARY SEWER MANHOLE	---	TA = TOP OF ASPHALT	---	☆ = LIGHT POLE
---	□ = CABLE BOX	---	□ = IRRIGATION BOX	---	□ = WATER VALVE
---	□ = WATER METER	---	⊙ = SANITARY SEWER MANHOLE	---	⊙ = STORM DRAIN MANHOLE
---	⊙ = ELECTRIC MANHOLE	---	⊙ = PHONE MANHOLE	---	

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL DAVID SOULE P.E. #14822	2440 LOUISIANA BLVD. GRADING AND DRAINAGE PLAN	DRAWN BY DEM DATE 10/24/19 2440 LOUISIANA BLVD. DKO
	 1808 CENTRAL AVENUE SE SUITE 301 ALBUQUERQUE, NM 87110 (505) 872-0900	SHEET # C1



ROOM MATRIX										
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS	
STANDARD KING	0	5	7	7	7	6	32	25%	32	
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1	
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25	
COMMONS KING A	0	0	0	0	3	3	6	5%	6	
COMMONS KING B	0	0	0	0	0	1	1	1%	1	
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1	
STUDIO KING	0	3	4	4	4	4	19	15%	19	
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1	
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	11	
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6	
CUSTOM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6	
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	2	
ONE BEDROOM	0	1	0	1	1	1	4	3%	4	
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5	
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1	
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4	
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1	
GRAND TOTAL	4	22	25	25	25	25	126	100%	100%	151

SHOWER FIXTURE TYPE MATRIX			FLOOR AREA (SF)	
SHOWER	107	85%	1ST LEVEL FLOOR PLAN	15,224
TUB	12	10%	2ND LEVEL FLOOR PLAN	14,342
ACC. TUB	0	0%	3RD LEVEL FLOOR PLAN	14,342
ACC. ROLL IN SHOWER	2	2%	4TH LEVEL FLOOR PLAN	14,342
TRANSFER SHOWER	5	4%	5TH LEVEL FLOOR PLAN	14,342
TOTAL	126	100%	6TH LEVEL FLOOR PLAN	14,342
			7TH LEVEL FLOOR PLAN	4,298
			TOTAL	91,232

1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111

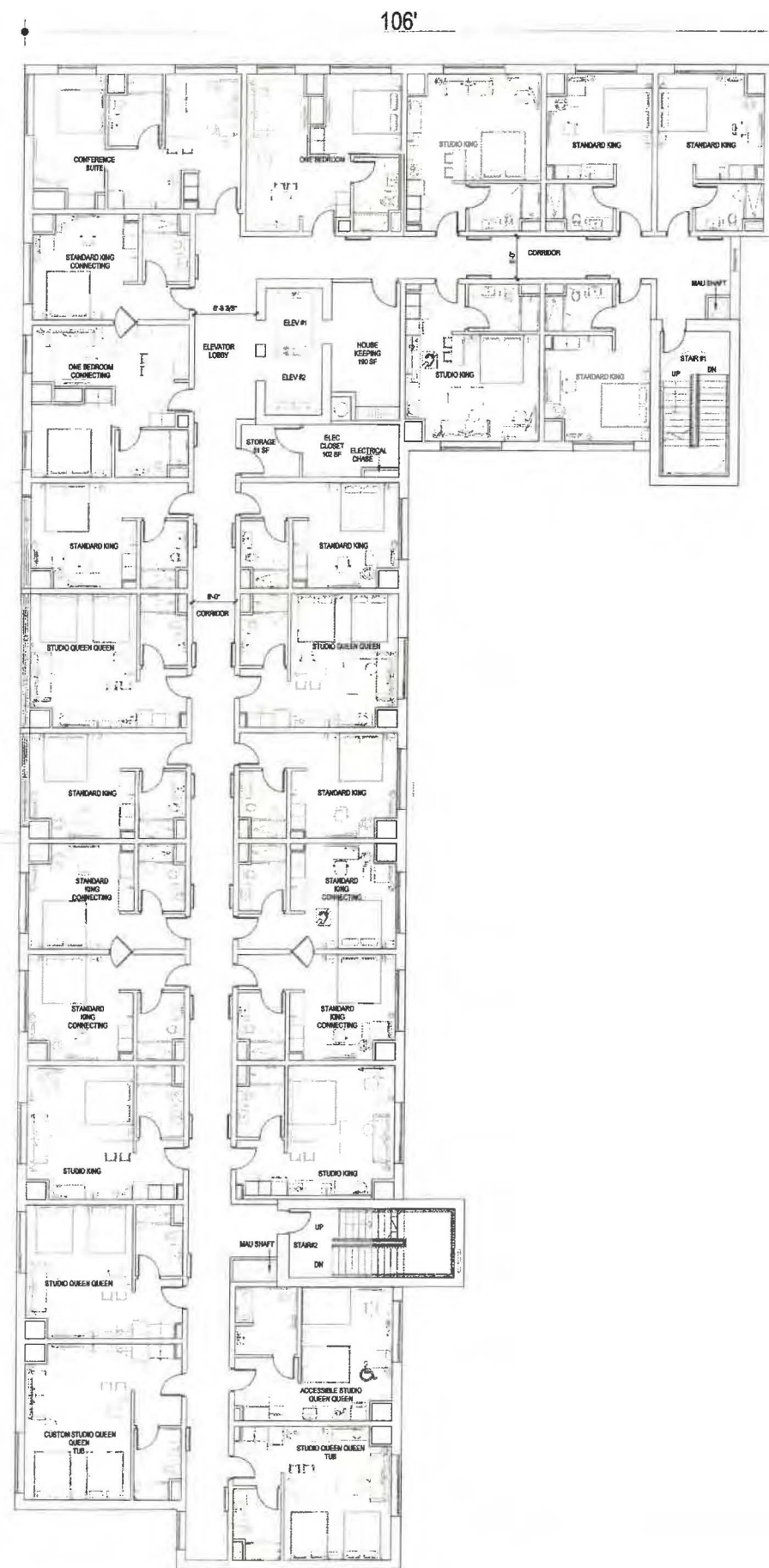


ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE	2020.01.17
DRAWN BY	SG
CHECKED BY	DH
SCALE	AS NOTED
PROJECT NO.	B4 - 176 - 1901
SHEET NAME	

FLOOR PLANS
DRAWING NO.
A2.1



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232

1 FOURTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



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Owner:



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ELEMENT
ALBUQUERQUE, NM

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PROJECT NO. B4 - 176 - 1901
SHEET NAME

FLOOR PLANS
DRAWING NO.
A2.4



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232

1 FIFTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



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ELEMENT
ALBUQUERQUE, NM

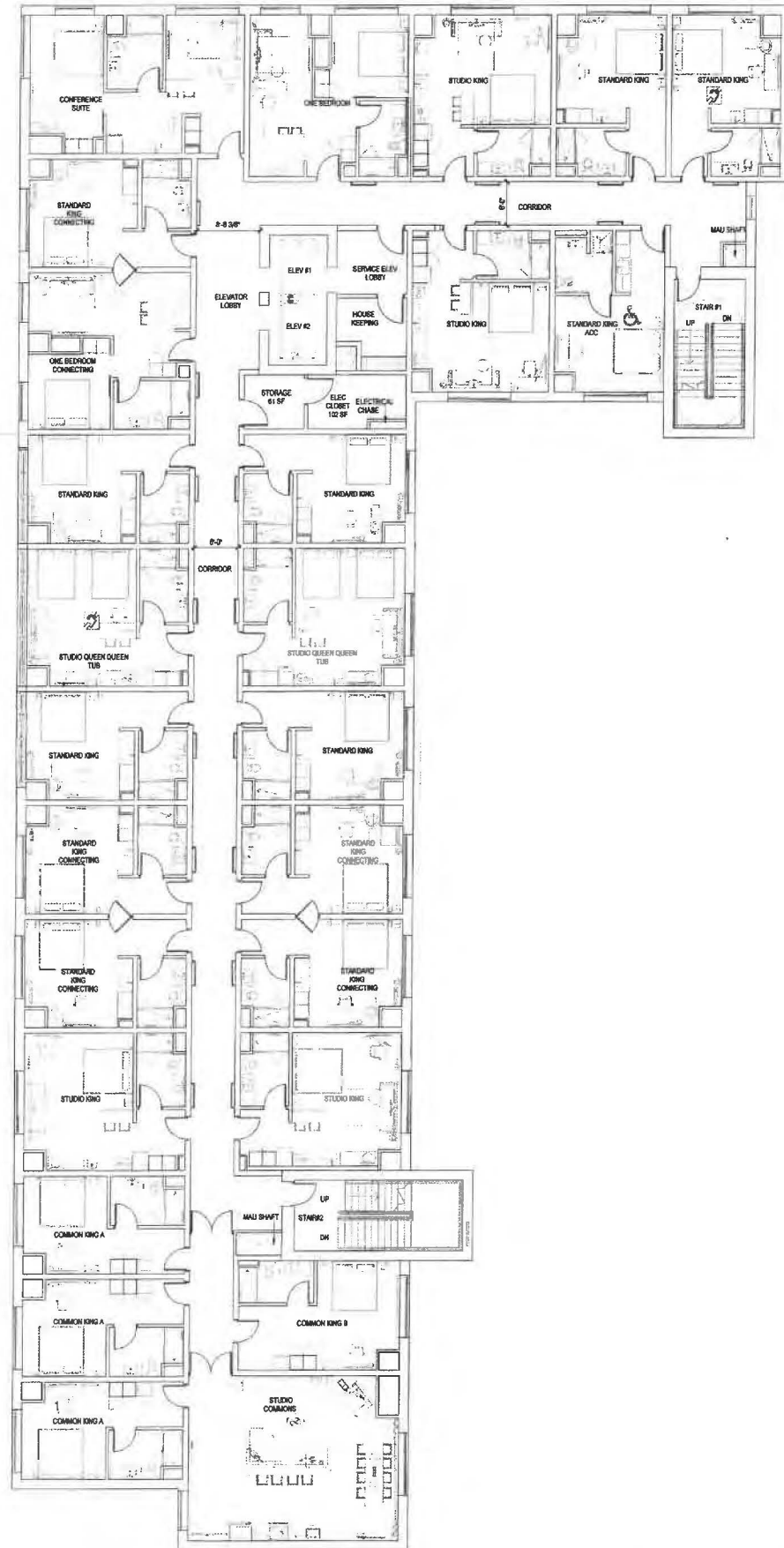
No.	ISSUE DATE	PROJECT STATUS

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PROJECT NO. B4 - 176 - 1901
SHEET NAME

FLOOR PLANS
DRAWING NO.
A2.5

106'

213'-7"



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
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6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



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ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

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SCALE AS NOTED

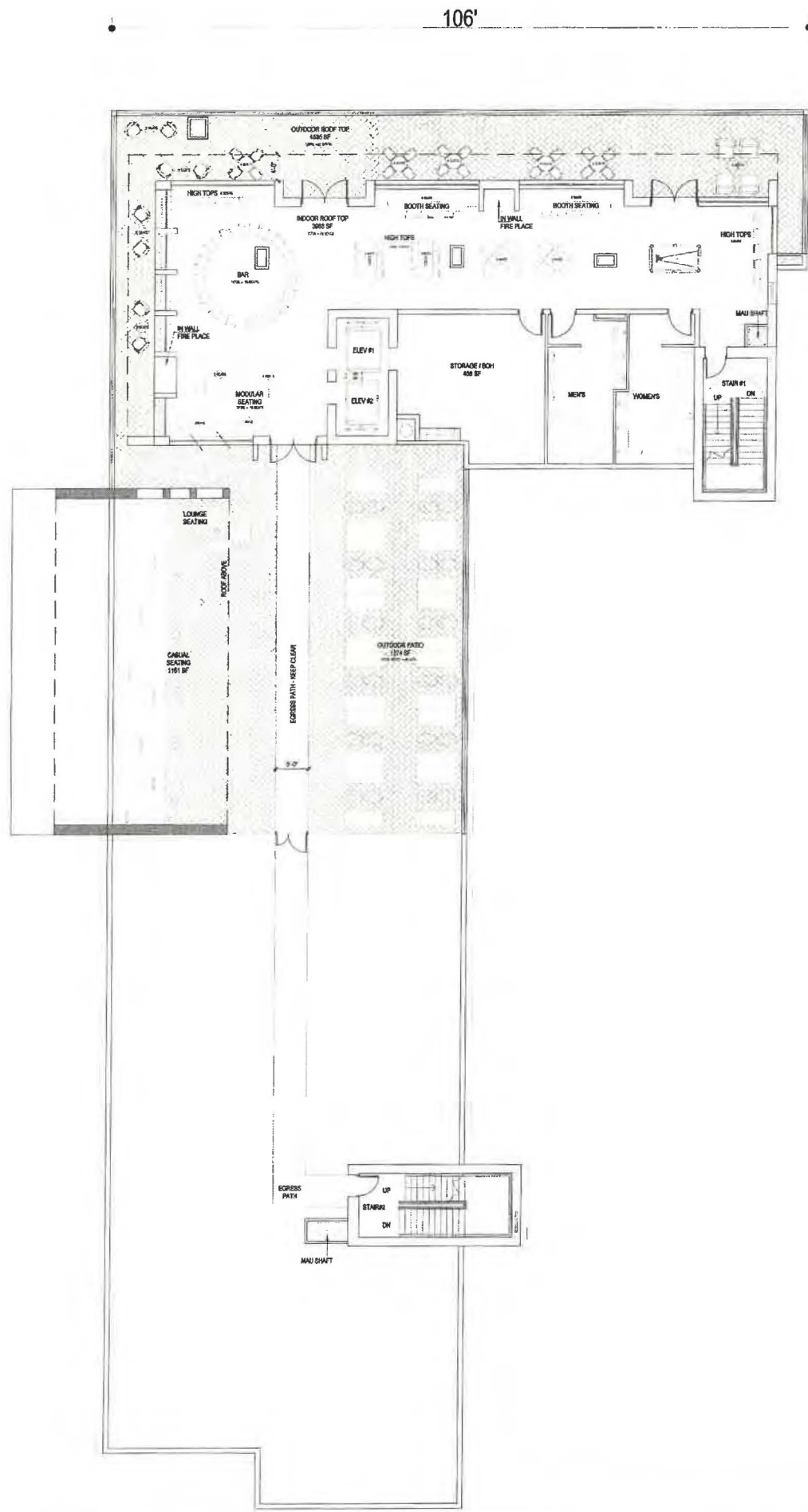
PROJECT NO. B4 - 176 - 1901

SHEET NAME

FLOOR PLANS

DRAWING NO.

A2.6



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX	
SHOWER	107 85%
TUB	12 10%
ACC. TUB	0 0%
ACC. ROLL IN SHOWER	2 2%
TRANSFER SHOWER	5 4%
TOTAL	126 100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



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ELEMENT
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SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.7



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	31 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	36 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 600XL-BRIGHT SILVER METALLIC	21 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	12 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

PARAPET 4 +82'-5"
 PARAPET 3 +79'-5"
 ROOF LEVEL +77'-9"
 PARAPET 2 +70'-2"
 PARAPET 1 +68'-7 1/2"
 ROOF TOP +67'-3 1/2"
 SIXTH FLOOR +58'-9"
 FIFTH FLOOR +46'-2 1/2"
 FOURTH FLOOR +35'-8"
 THIRD FLOOR +25'-1 1/2"
 SECOND FLOOR +14'-7"

2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	69 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	3 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 600XL-BRIGHT SILVER METALLIC	25 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	3 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

PARAPET 4 +82'-5"
 PARAPET 3 +79'-5"
 ROOF LEVEL +77'-9"
 PARAPET 2 +70'-2"
 PARAPET 1 +68'-7 1/2"
 ROOF TOP +67'-3 1/2"
 SIXTH FLOOR +58'-9"
 FIFTH FLOOR +46'-2 1/2"
 FOURTH FLOOR +35'-8"
 THIRD FLOOR +25'-1 1/2"
 SECOND FLOOR +14'-7"

1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



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 PROJECT NO. B4 - 176 - 1901
 SHEET NAME

ELEVATIONS

DRAWING NO.

A3.1



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	59 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	9 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	9 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	23 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	61 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	24 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	1 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	14 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

3 EAST ELEVATION
SCALE: 3/32" = 1'-0"



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SHEET NAME

ELEVATIONS

DRAWING NO.

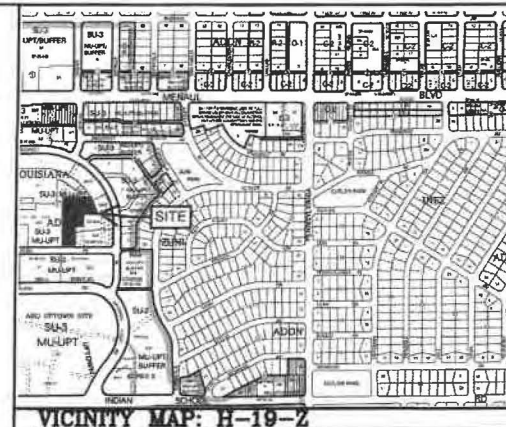
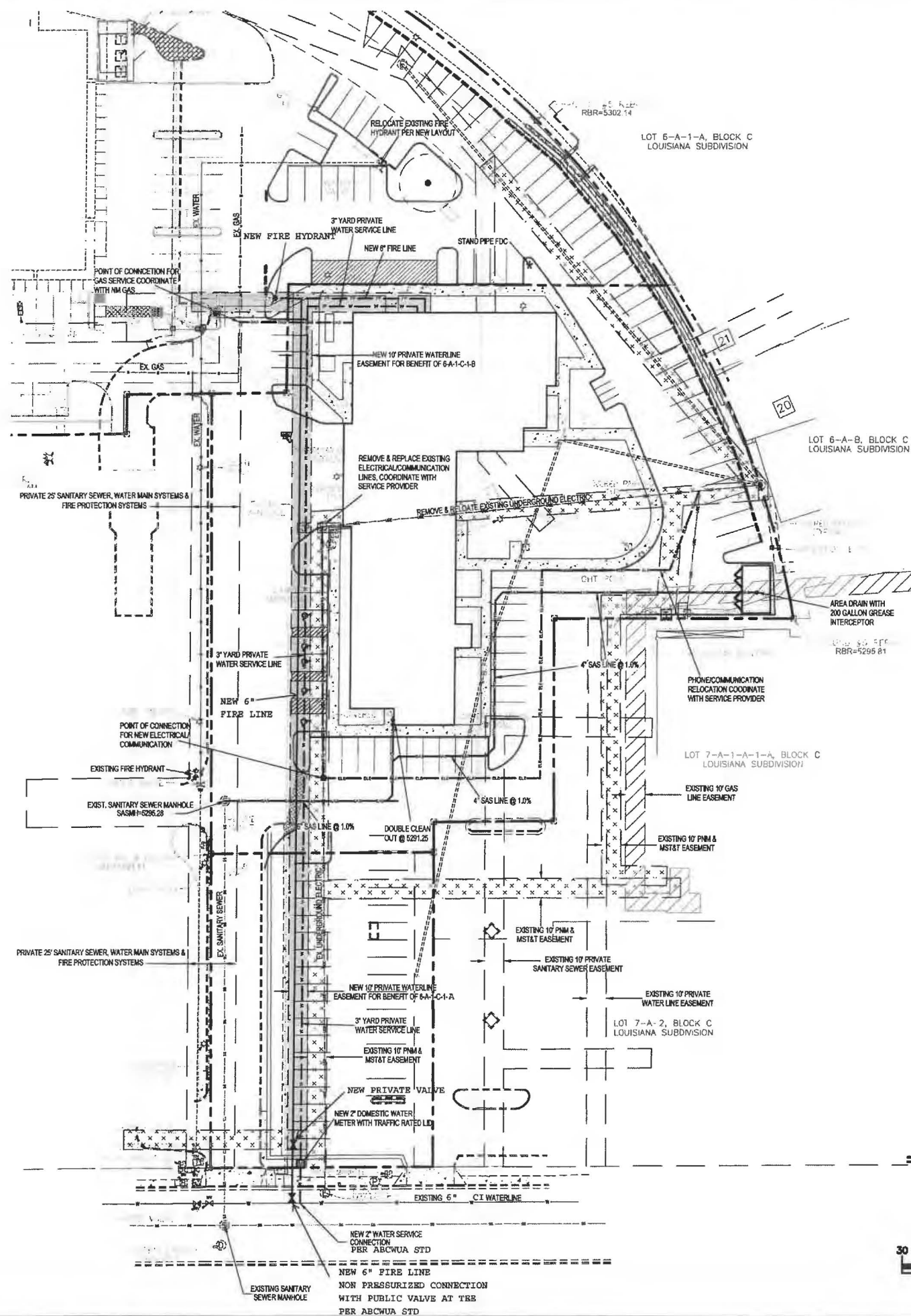
A3.2

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, MOST RECENT EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1980, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER, IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 82, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1988 EDITION AS REVISED THROUGH UPDATE #8.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART F.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER TOWN OF BERNALILLO STANDARDS.
23. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
24. CONTRACTOR SHALL VERIFY ALL EXISTING CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

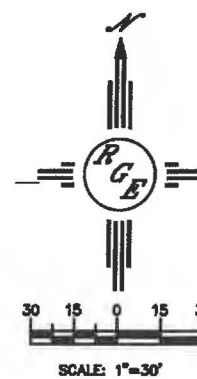


WATER SHUTOFF NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.

LEGEND

---	BOUNDARY	CB = CURB
- - - -	ADJACENT BOUNDARY	BROND = BOTTOM OF POND
- - - - -	EXISTING CURB AND GUTTER	DRN = DRAIN
SS	EXISTING SANITARY SEWER	EC = EDGE OF CONCRETE
W	EXISTING WATER LINE	FF = FINISHED FLOOR
- - - - -	PROPOSED SANITARY SEWER	FL = FLOW LINE
- - - - -	PROPOSED SANITARY SEWER	G = GROUND
- - - - -	PROPOSED ELECTRIC LINE	N&D = NAIL & DISC
- - - - -	PROPOSED FIRE PROTECTION LINE	RMP = RAMP
W	PROPOSED WATER LINE	SASMH = SANITARY SEWER MANHOLE
GAS	PROPOSED GAS LINE	TA = TOP OF ASPHALT
- - - - -	PROPOSED 10" PRIVATE WATER EASEMENT	⊙ = LIGHT POLE
		⊠ = CABLE BOX
		⊡ = IRRIGATION BOX
		⊞ = WATER VALVE
		⊞ = WATER METER
		⊞ = SANITARY SEWER MANHOLE
		⊞ = STORM DRAIN MANHOLE
		⊞ = ELECTRIC MANHOLE
		⊞ = PHONE MANHOLE



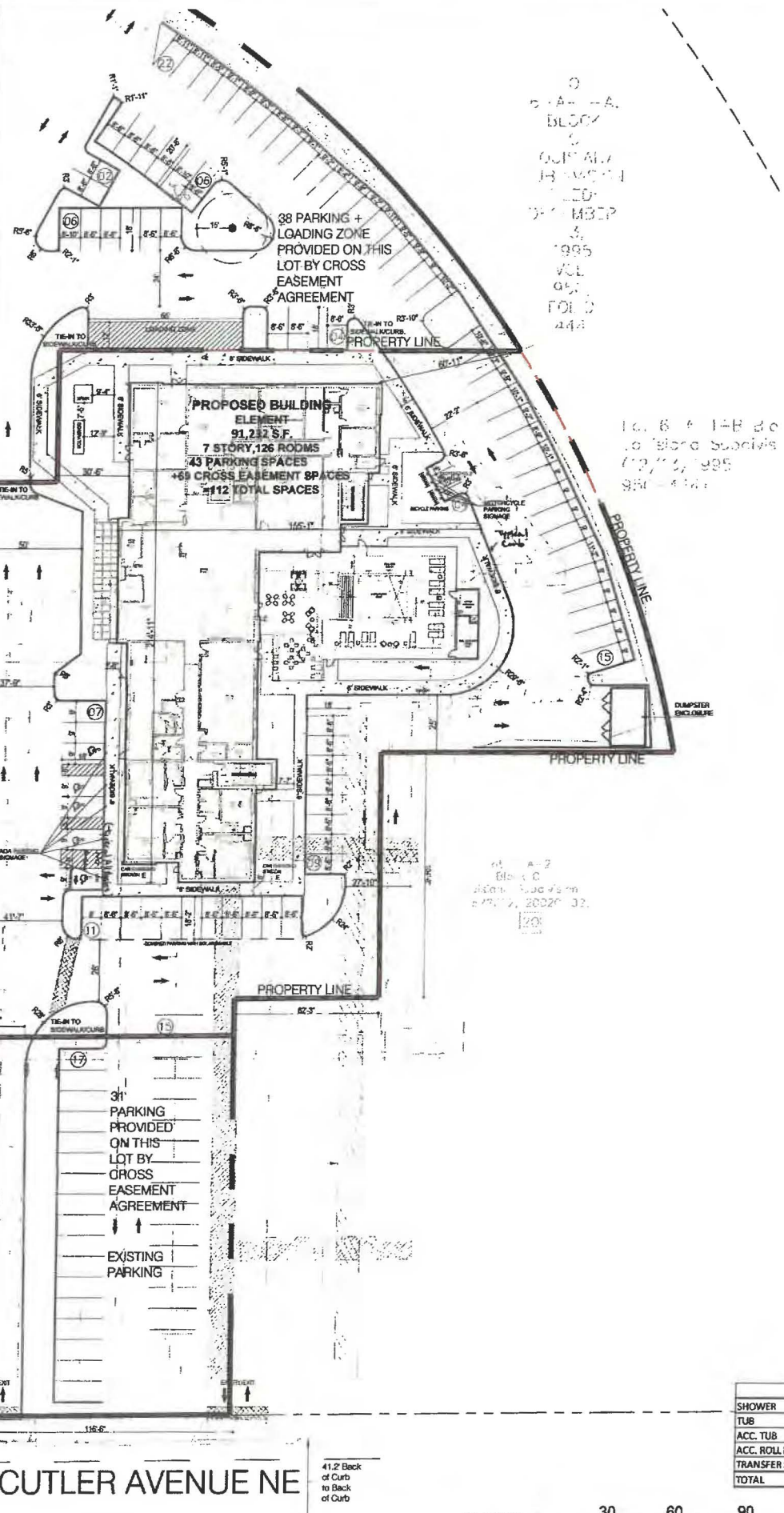
ENGINEER'S SEAL DAVID SOULE 14522	2440 LOUISIANA BLVD.	DRAWN BY DEM
	UTILITY PLAN	DATE 10-24-19
	<i>Rio Grande Engineering</i>	2440 LOUISIANA BLVD. DND
3/5/20	1800 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0000	SHEET # C2
DAVID SOULE P.E. #14522		JOB #

PROJECT NUMBER:
Application Number:
Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DPC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DEVELOPMENT PLAN APPROVAL:

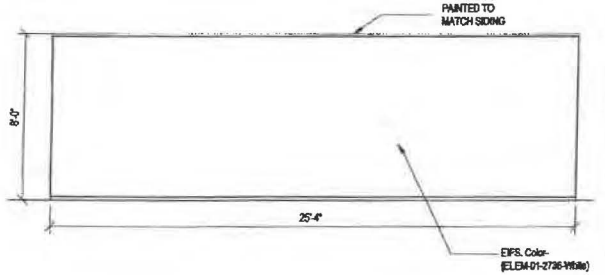
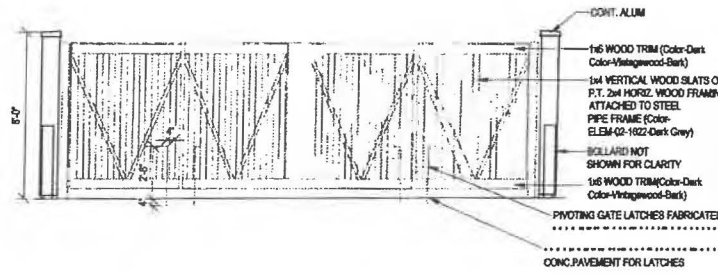
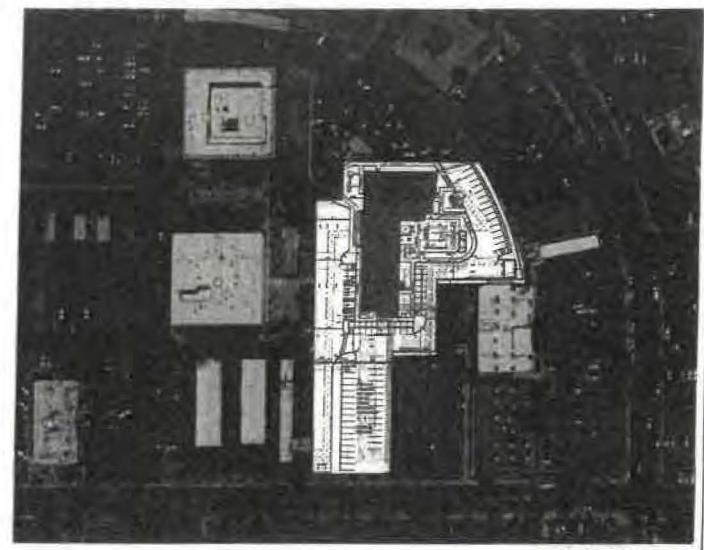
3/13/20
2/11/20
11-22-20
01-22-20
01-22-20
03-15-20
3-18-20

Tracy Engineering, Transportation Division
Parks and Recreation Department
Code Enforcement
Public Health Department (conditional)
Solid Waste Management
Development Planning Department



LEGEND

- EXISTING PRIVATE INGRESS EASEMENT WIDTHS (8/14/89, C38-140)
- EXISTING 10' PRIVATE SANITARY SEWER EASEMENT (8/14/89, C38-140)
- EXISTING 10' PRIVATE WATERLINE EASEMENT (8/14/89, C38-140)
- EXISTING 10' PRIVATE GAS LINE EASEMENT (8/14/89, C38-140)
- EXISTING 10' UNDERGROUND PNM & M&ST EASEMENT (7/3/85, BK. MISC. 245A - 929)
- PORTION OF ORIGINAL EASEMENT RELEASED BY PNM (2/2/87, BK. MISC. 447A, PG. 819) AND RETAINED BY TELEPHONE COMPANY.



ROOM MATRIX

ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

PARKING MATRIX

PARKING TYPE	REQUIRED	PROVIDED
ACCES. PARKING SPACE	4	4
VAN PARKING SPACE	1	1
STAND. PARKING SPACE	221	103
MEETING ROOM PARKING SPACE	11	0
RESTAURANT PARKING SPACE	7	0
EMPLOYEE PARKING SPACE	0	0
MOTO PARKING	4	4
TOTAL PARKING SPACES	104*	112
BYCYCLE PARKING	4	8

NOTE: *30% Reduction for proximity to transit

ZONING ANALYSIS

REQUIREMENT	ZONING	COMPLIANCE
AHJ	Albuquerque, NM	
SITE ZONING	MX-H - mixed use	
HOTEL USE ALLOWED	permitted by right	Y
MAX BUILDING HEIGHT	75' with exception	Y
FAR	No requirements found	NA
# OF PARKING STALLS REQUIRED	1/1000 net square feet	Y
SIZE OF PARKING STALLS REQUIRED	8.5 feet by 18 feet	Y
DRIVE AISLE SIZE REQUIRED	No requirements found	Y
IMPERVIOUS AREA	No requirements found	NA
MAX PARKING IN ROW	No requirements found	NA
LOADING ZONES	No requirements found	NA
FIRE ACCESS REQUIREMENTS	TBD	TBD
SETBACKS	1) FRONT	No requirements found; NA
	2) SIDE	No requirements found; NA
	3) REAR	No requirements found; NA
	4) PARKING	Front 10 feet/side 6 feet buffer; Y

SHOWER FIXTURE TYPE MATRIX

SHOWER	TUB	ACC. TUB	ACC. ROLL IN SHOWER	TRANSFER SHOWER	TOTAL
107	12	0	2	5	126
85%	30%	0%	2%	4%	100%

FLOOR AREA (SF)

FLOOR PLAN	AREA (SF)
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111

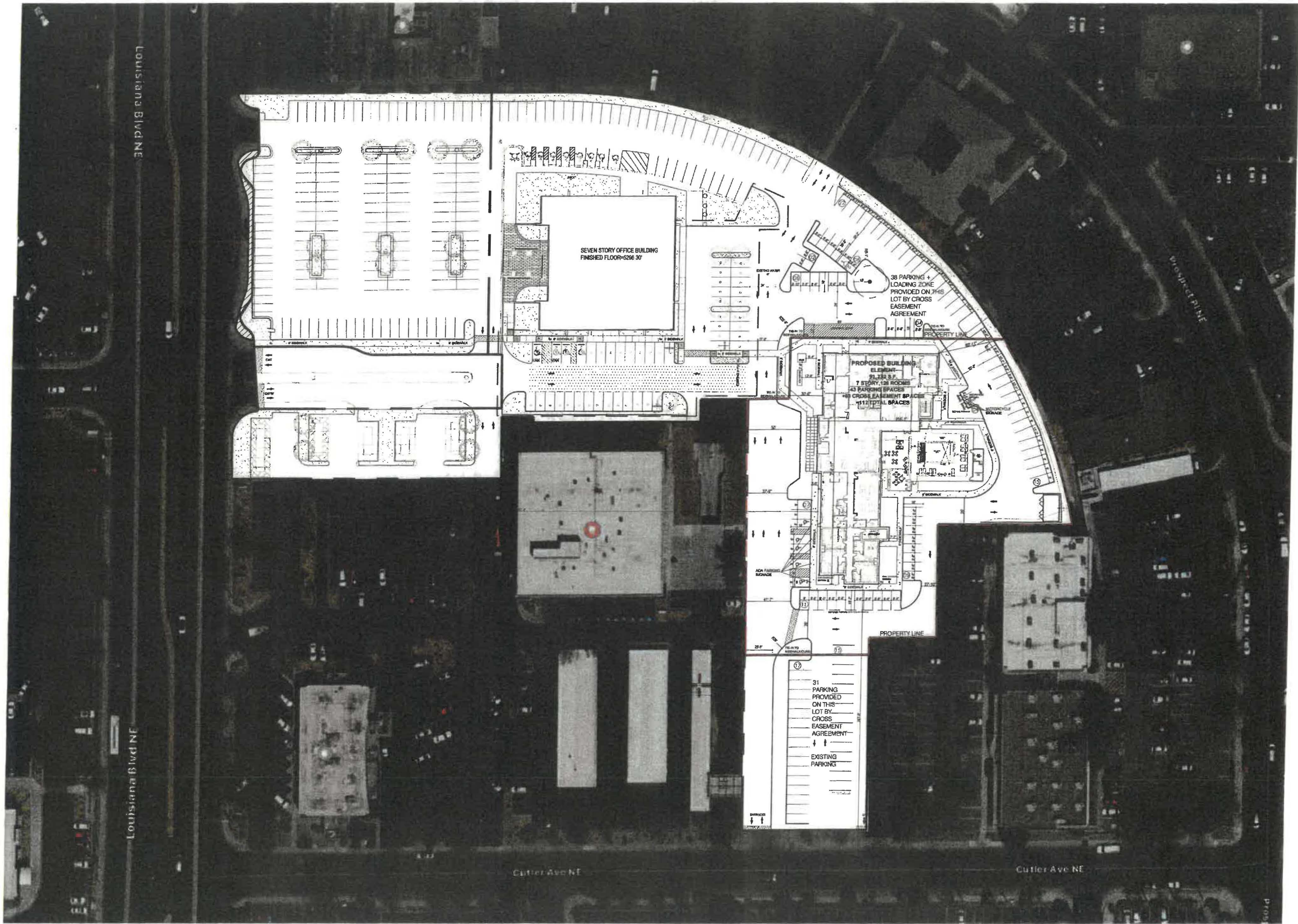


ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE: 2020.01.17
DRAWN BY: SG
CHECKED BY: DH
SCALE: AS NOTED
PROJECT NO.: B4 - 176 - 1901
SHEET NAME:

SITE PLAN
DRAWING NO. **A1.1**



Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



element
INSPIRED BY NATURE™

ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

CHECKED BY DH

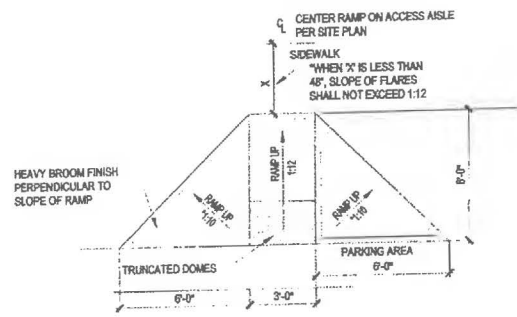
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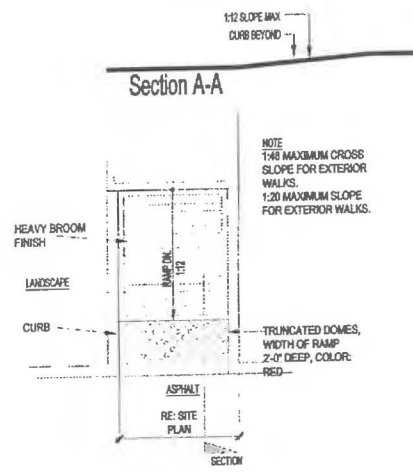
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MASTER PLAN

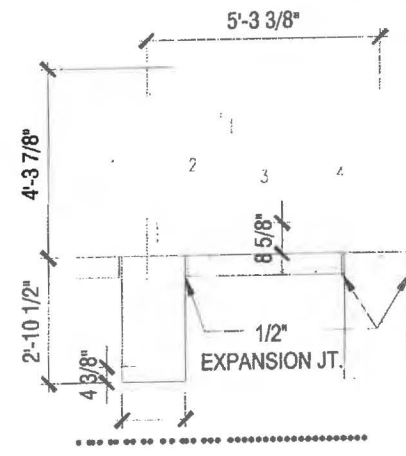
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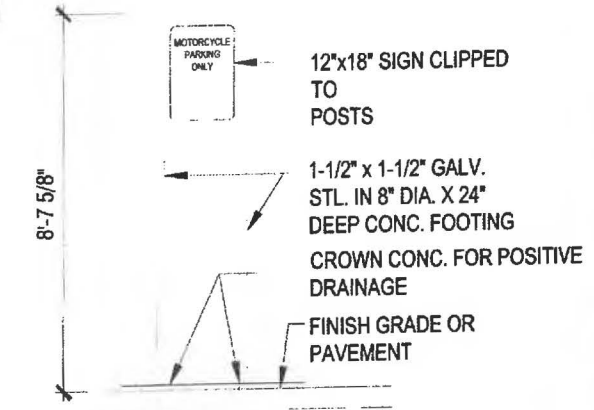
1 ACCESSIBLE SIDEWALK RAMP
SCALE: 1/4" = 1'-0"



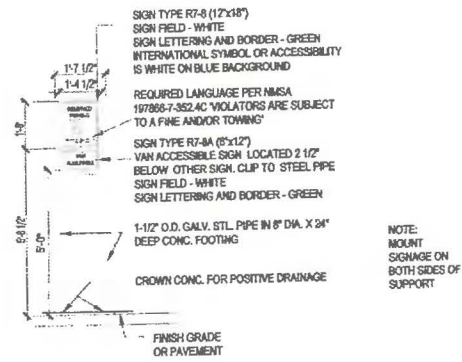
2 RAMP @ SIDEWALK
SCALE: 1/4" = 1'-0"



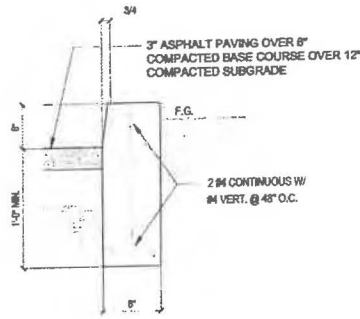
3 BICYCLE RACK
SCALE: 1/2" = 1'-0"



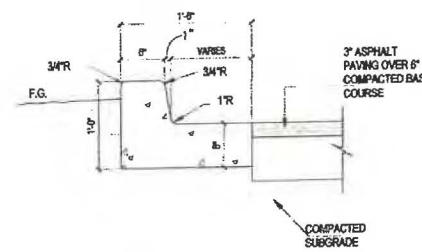
4 MOTOR CYCLE SIGN ELEVATION
SCALE: 1/2" = 1'-0"



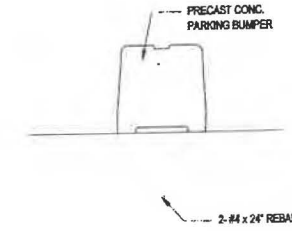
4 ACCESSIBLE SIDEWALK RAMP
SCALE: 1/4" = 1'-0"



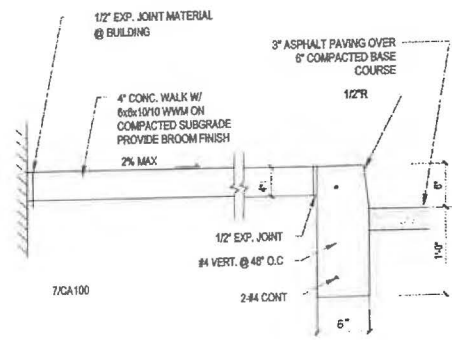
5 CURB DETAIL
SCALE: 1" = 1'-0"



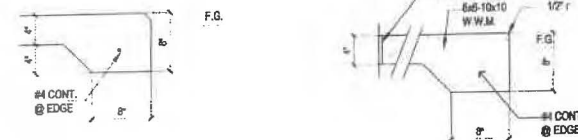
6 CURB AND GUTTER
SCALE: 1" = 1'-0"



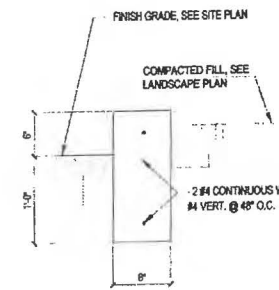
7 CONCRETE BUMPER
SCALE: 1" = 1'-0"



8 CONCRETE WALK
SCALE: 1" = 1'-0"



9 CONCRETE SIDEWALK EDGE
SCALE: 1" = 1'-0"



10 CONCRETE CURB AT PLANTER
SCALE: 1" = 1'-0"

Seal

Owner:

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DATE	2020.01.17
DRAWN BY	SG
CHECKED BY	DH
SCALE	AS NOTED
PROJECT NO.	B4 - 176 - 1901
SHEET NAME	

SITE DETAILS

DRAWING NO.

A1.3

GENERAL NOTES

- COORDINATION: ALL ELECTRICAL WORK SHALL BE COORDINATE THROUGH THE DESIGN/BUILD CONTRACTOR.
- CODE COMPLIANCE: ALL ELECTRICAL WORK SHALL COMPLY WITH OR SURPASS THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, NFPA 70, AND THE LATEST EDITION OF NESC. ALL WORK SHALL COMPLY WITH ALL APPLICABLE SERVING POWER AND COMMUNICATION UTILITIES CODES, ORDINANCES, RULES AND REGULATION.
- MEET ALL REQUIREMENTS: ALL WORK SHALL MEET THE REQUIREMENTS OF THE AFORE MENTIONED CODES AND ALL CODES AND STANDARDS REFERENCED IN THE SPECIFICATION. ALTHOUGH THE DETAILS OF SUCH WORK MAY NOT BE SHOWN ON THE DRAWINGS OR REFERENCED IN THE SPECIFICATIONS.
- CONFLICTS: CONFLICTS BETWEEN THE APPLICABLE CODES, STANDARDS AND THE PLANS AND SPECIFICATION MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- CONFLICTING STANDARDS: IN THE CASE OF CONFLICT BETWEEN THE CONTRACTOR DOCUMENTS AND A GOVERNING CODE OR ORDINANCE, THE MORE STRINGENT STANDARD SHALL APPLY.
- ACCEPTANCE OF CONDITIONS: INITIATING WORK CONSTITUTES SUBCONTRACTOR ACCEPTANCE OF THE EXISTING CONDITION ASSOCIATED WITH THE WORK IN QUESTION.
- TRADE LICENSE: THE ELECTRICAL SUBCONTRACTOR SHALL BE CURRENTLY LICENSED TO PERFORM THIS WORK WITHIN THE JURISDICTION HAVING AUTHORITY. ALL REQUIRED LICENSING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.
- SAFE: THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR OVERSEEING THE SAFE OPERATION OF ALL EQUIPMENT IN HIS USE. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL OF THE EQUIPMENT IN HIS USE IN A SAFE CONDITION. KEEP DEAD FRONT EQUIPMENT IN PLACE WHEN EQUIPMENT IS ENERGIZED. CONDUCT ALL CONSTRUCTION OPERATION IN A SAFE MANNER FOR EMPLOYEES, AS WELL AS OTHER WORK PERSONS OR ANYONE VISITING THE JOB SITE. PROVIDE BARRIERS, FLAGS, TAPE, ETC., AS REQUIRED FOR SAFETY. ALL ELECTRICIANS MUST PERFORM THEIR WORK IN ACCORDANCE TO THE GUIDELINES SET FORTH BY THE NFPA 70E.
- PROFESSIONALISM AND APPEARANCE OF WORK: WORKMANSHIP OF ALL INSTALLATION SHALL BE IN ACCORDANCE WITH ACCEPTED PRACTICES OF THIS TRADE. INSTALLATION METHODS SHALL CONFORM TO MANUFACTURERS SPECIFICATION. THE SUBCONTRACTOR TRADE FOR THE DURATION OF THE JOB WITH QUALIFIED JOURNEMEN AND THIS TO COMMUNICATE WITH AND KEEP THE DESIGN/BUILD CONTRACTOR APPRAISED OF CHANGES OR CLARIFICATIONS.
- WORKMANSHIP: ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN A NEAT, DURABLE, AND WORKMANLIKE MANNER.
- STORAGE AND EQUIPMENT STORAGE OF EQUIPMENT FOR THE JOB IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR AND SHALL BE SCHEDULED FOR DELIVERY TO THE SITE AS THE EQUIPMENT IS REQUIRED. DAMAGE TO THE EQUIPMENT DELIVERED TO THE SITE OR IN TRANSPORT TO THE JOB SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
- UTILITY COORDINATION: ELECTRICAL SUBCONTRACTOR SHALL CONTACT ALL UTILITIES AND VERIFY ALL UTILITY REQUIREMENTS PRIOR TO COMMENCING OR ORDERING ANY MATERIALS WHATSOEVER. CONFLICTS BETWEEN UTILITY REQUIREMENTS AND THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION OR ORDERING ANY MATERIALS WHATSOEVER. SUBCONTRACTOR SHALL CALL FOR A PRE-CONSTRUCTION FACE-TO-FACE MEETING WITH THE UTILITY COMPANIES TO REVIEW REQUIREMENTS AND PLANS.
- METHODS OF CONSTRUCTION: UNLESS OTHERWISE NOTED OR SHOWN, THESE DRAWINGS AND SPECIFICATIONS DO NOT INDICATE METHODS OF CONSTRUCTION. THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFE WORK PRACTICES.
- THE EXACT LOCATION AND THE ARRANGEMENTS OF ALL PARTS SHALL BE DETERMINED AS THE WORK PROGRESSES. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND FUNCTIONAL ELECTRICAL SYSTEM.
- INCIDENTAL ITEMS: INCIDENTAL ITEMS NOT INDICATED ON DRAWINGS, NOT MENTIONED IN THE SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO BELONG TO THE WORK DESCRIBED OR NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS TOUGH ITEMIZED HERE IN EVERY DETAIL.
- DAMAGE RESPONSIBILITY: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOSS OR DAMAGE CAUSED BY HIM OR HIS WORKMEN TO THE FACILITY DURING THE COURSE OF CONSTRUCTION, AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING OR REPLACING AS REQUIRED TO INSURE RESTORATION TO ORIGINAL CONDITION.
- COMPLETE AND FUNCTIONAL SYSTEM: SUBCONTRACTOR SHALL FURNISH MATERIALS, TOOLS, SERVICES, LABOR, ETC. FOR A COMPLETE AND FULLY FUNCTIONAL ELECTRICAL INSTALLATION UNLESS OTHERWISE NOTED ON PLANS.
- COORDINATION WITH OTHER TRADES: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL INSTALLATION WITH ALL OTHER TRADES TO AVOID ANY CONFLICTS.
- SUBCONTRACTOR SHALL DETERMINE EXACT LOCATION IN THE FIELD. FEEDERS SHALL NOT BE INCREASED IN LENGTHS SHOWN WITHOUT ENGINEERING APPROVAL.
- EQUIPMENT OUTDOOR RATINGS: ALL ELECTRICAL EQUIPMENT EXPOSED OR INSTALLED OUTDOORS SHALL BE NEMA 3R (WEATHER PROOF) OR NEMA 4 (WET LOCATION) RATED.
- SUBMITTAL /SHOP DRAWINGS: ALL SUBMITTAL /SHOP DRAWINGS SHALL CONTAIN COMPLETE INFORMATION NECESSARY TO DETERMINE THAT THE ITEM IS APPROPRIATE FOR THE PURPOSE INTENDED. ALL SUBMITTAL /SHOP DRAWINGS SHALL CONTAIN THE MANUFACTURERS CONTACT PERSON AND CURRENT TELEPHONE NUMBER.
- INDICATED LOCATION OF EQUIPMENT LOCATION OF EQUIPMENT CONDUIT, AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE CIVIL AND ARCHITECTURAL DRAWINGS.
- NRFL LISTING: ALL ELECTRICAL EQUIPMENT SHALL BE NEW IN FIRST CLASS CONDITION AND LISTED BY NATIONALLY RECOGNIZED TESTING LABORATORY (NRFL) SUCH AS U.L. IF SUCH A LISTING EXIST FOR COMPARABLE EQUIPMENT.
- GENERAL SUBCONTRACTOR WORK: ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR WORK OF A GENERAL CONTRACTING NATURE SPECIFIED ON ELECTRICAL PLANS INCLUDING, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:
 - CONCRETE FOOTINGS INCLUDING REBAR AND MOUNTING BOLTS FOR PLACEMENTS OF LIGHTS FIXTURE POLES.
 - TRENCHING AND BACKFILLING OF TRENCHES.
 - SUPPLY AND INSTALLATION OF ALL EQUIPMENT PADS AND SPLICE BOXES UNLESS NOTED OTHERWISE.
- WORKING SPACE: WORKING SPACE SHALL MEET OR EXCEED THE NEC REQUIREMENT FOR ALL ELECTRICAL EQUIPMENT. (SEE NFPA 70-2005, SEC 110-26)
- EQUIPMENT ACCESSIBILITY: IT SHALL BE THE RESPONSIBILITY OF SUBCONTRACTOR TO SEE THAT ALL THE ELECTRICAL EQUIPMENT SHALL BE MADE ACCESSIBLE, SUCH AS JUNCTION BOXES, PULL BOXES, PANELBOARDS, SWITCHES, CONTROLS AND SUCH OTHER APPARATUS AS MAY REQUIRE MAINTENANCE AND OPERATION FROM TIME TO TIME.

- EQUIPMENT PROTECTION: AFTER INSTALLATION, ELECTRICAL EQUIPMENT SHALL BE PROTECTED TO PREVENT DAMAGE DURING THE CONSTRUCTION PERIOD. OPENINGS IN CONDUITS AND BOXES SHALL BE CLOSED TO PREVENT THE ENTRANCE OF FOREIGN MATERIALS.
- AS BUILT RECORD DRAWINGS: PROVIDE RECORD DRAWING TO THE D/B CONTRACTING OFFICER WITH ALL CHANGES NOTED THEREON AT THE COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE SIGN AND DATED BY SUBCONTRACTOR.
- SHOP DRAWINGS: SUBMIT SHOP DRAWINGS AND MATERIALS LIST FOR REVIEW PRIOR TO COMMENCING ANY WORK. ALL EQUIPMENT TO BEAR U.L. LABEL OR THAT OF ANOTHER ACCEPTABLE TESTING LABORATORY WHEN SUCH LISTINGS EXIST FOR COMPARABLE EQUIPMENT. SHOP DRAWING MUST BE STAMPED BY THE SUBCONTRACTOR FOR PERFORMANCE PRIOR TO SUBMITTAL.
- DIGGING PERMITS AND OUTAGE REQUESTS: ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- DIGGING PERMITS AND OUTAGE REQUESTS: ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- ATTRACTIVE NUISANCES: OPEN TRENCHES, ELECTRICAL EQUIPMENT AND DEVICES SHALL NOT PRESENT AN ATTRACTIVE NUISANCE TO CHILDREN. ALL ELECTRICAL EQUIPMENT SHALL BE TOTALLY UNACCESSIBLE, DEAD FRONT AND LOCKABLE.
- ROUTING AND LOCATION: THE ROUTING OF THE NEW UNDERGROUND FEEDERS SHALL BE APPROVED BY AND COORDINATED WITH THE DESIGN/BUILD CONTRACTOR, EXCEPT FOR CROSSINGS, ELECTRICAL AND COMMUNICATIONS UTILITIES SHALL NOT BE LOCATED UNDER STREETS.
- UPON COMPLETION OF WORK THE SUBCONTRACTOR SHALL PROVIDE THE D/B CONTRACTOR WITH ONE (1) SPARE SET OF FUSES OF EACH SIZE AND TYPE INSTALLED IN THE PROJECT.
- THE SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE DESIGN/BUILD CONTRACTOR FOR REMOVING, LOCATING, CAPPING AND OR RELOCATION OF ANY ELECTRIC FACILITIES WHICH ARE NOT TO REMAIN IN SERVICE AND TO INSTALL FACILITIES AS REQUIRED TO MAINTAIN CONTINUOUS SERVICE TO DWELLING UNITS OR BUILDING STRUCTURES THAT WILL REMAIN.
- NON-METALLIC WEATHERPROOF ENCLOSURES SHALL BE CONSTRUCTED OF GLASS FIBER REINFORCED POLYESTER RESIN, WITH PIGMENTED HEAT RESISTANT HIGH GLOSS SURFACING SEALER ON THE INTERIOR, WITH PIGMENTED, ULTRAVIOLET LIGHT STABILIZED WEATHER RESISTANT SURFACE COAT ON THE EXTERIOR. EACH SECTION SHALL BE MOLDED IN ONE PIECE, SECTIONAL COMPONENTS JOINED BY BOLTING RIVETING OR USE OF ADHESIVES ARE NOT ACCEPTABLE. ALL HARDWARE SHALL CONSIST OF TYPE 304 STAINLESS STEEL AND SHALL INCLUDE PENTAGONAL BOLTS AND PROVISIONS FOR PADLOCKING. DIMENSIONS OF ENCLOSURES SHALL BE AS REQUIRED TO ACCOMMODATE EQUIPMENT AND/OR FUNCTIONS SPECIFIED, BUT IN NO CLASS SMALLER THAN INDICATED.
- PROVIDE LOCKS AT ALL ELECTRICAL ENCLOSURES SUCH AS TRANSFORMERS, FUSE AND SPLICE CABINETS. LOCKS ARE TO BE COMPATIBLE WITH EXISTING LOCKS USED BY BASE ELECTRICAL.
- PROVIDE ENGRAVED PLASTIC NAME PLATES FOR SWITCHBOARDS, PANELS, TERMINAL CABINETS, AND ANY OTHER MAJOR ELECTRICAL ITEM. SCREW-ON ATTACHMENT ONLY. NO ADHESIVE.
- EQUIPMENT LOCATIONS ARE APPROXIMATE. EXACT ROUTING AND EQUIPMENT LOCATION IS TO BE COORDINATED WITH OTHER TRADES AND APPROVED BY THE D/B CONTRACTOR WHERE SHOWN EQUIPMENT IS TO BE CLUSTERED. COORDINATE CLUSTERED LOCATIONS WITH LANDSCAPE CONTRACTOR FOR SHIELDING. MAINTAIN WORKING CLEARANCES. A MINIMUM DISTANCE OF 4' IS REQUIRED BETWEEN PRIMARY ELECTRICAL LINES AND WET UTILITIES.
- TRENCHING IS TO AVOID DRIP LINES ON TREES AS SHOWN ON PLANS. ALL TRENCHING WITHIN DRIP LINES TO BE APPROVED BY THE D/B CONTRACTOR.
- STAKING OF ELECTRICAL EQUIPMENT PADS: ALL ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, SWITCHES, METERS, JUNCTION CABINETS, LIGHTING POLE BASES, ETC. ARE TO BE STAKED BY THE ASSIGNED PROJECT SURVEYORS FOR FINAL ELEVATION AND LOCATION OF PADS OR ANCHORS. ELEVATIONS ARE TO BE DETERMINED BY THE SITE CIVIL DESIGN ENGINEER. IN CONSISTENCIES AND INTERFERENCES ARE TO BE REPORTED TO THE D/B CONTRACTOR. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT EQUIPMENT PAD ELEVATIONS ARE AS STAKED.
- STAKING OF ELECTRICAL TRENCHES: AFTER ELECTRICAL TRENCHES ARE MARKED FOR ROUTING BY THE ELECTRICAL SUBCONTRACTOR, ARRANGEMENTS ARE TO BE MADE FOR THE ASSIGNED PROJECT SURVEYORS TO LOCATE THE MARKED ROUTE AND TRANSFER THIS INFORMATION TO THE SITE CIVIL DESIGN ENGINEER TO ASSIGN FINISH GRADES. THESE FINISH GRADES SHALL BE TRANSFERRED BACK TO THE ASSIGNED PROJECT SURVEYOR TO PROVIDE TRENCH STAKING INDICATING FINAL GRADE TO INSURE THAT MINIMUM BURIAL DEPTHS ARE MAINTAINED. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT TRENCH DEPTHS RELATIVE TO FINISH GRADE ARE AS STAKED.
- ALL SPARE/EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL LINE.
- INSTALLATION GUIDELINES SHALL CONFORM TO CURRENT NFPA 70 NEC.
- ALL EQUIPMENT INCLUDING POLE (BSERS, PAD MOUNTED GEAR, LIGHT POLES AND ISC. EQUIPMENTS SHALL BE GROUNDED.
- EQUIPMENT GROUNDEDING: ONE 3/4 INCH BY 10 FOOT COPPER CLAD GROUND ROD SHALL BE INSTALLED IN A CONDUIT WINDOW OF EACH EQUIPMENT PAD (WHERE TRANSFORMER PADS HAVE MORE THAN ONE CONDUIT WINDOW). THE GROUND RODS SHALL BE INSTALLED IN SECONDARY/LOW VOLTAGE WINDOW). ALL UNDERGROUND GROUNDEDING CONNECTIONS SHALL BE EXOTHERMIC TYPE CONNECTIONS.

SITE LIGHTING GENERAL NOTES:

- CONTRACTOR SHALL CO-ORDINATE WITH OWNER/CIVIL ENGINEER FOR SITE LIGHTING DETAILS. BASE4 HAS PROPOSED PANEL FOR SITE POWER CONTRACTOR SHALL USE THAT FOR FUTURE REFERENCE.
- LIGHTING NOT DESIGNATED FOR DUST-TO-DAWN OPERATION SHALL BE CONTROLLED BY EITHER A COMBINATION OF A PHOTOSENSOR AND A TIME SWITCH, OR AN ASTRONOMICAL TIME SWITCH. LIGHTING DESIGNATED FOR DESK-TO-DAWN OPERATION SHALL BE CONTROLLED BY AN ASTRONOMICAL TIME SWITCH OR PHOTOSENSOR. ALL TIME SWITCHES SHALL RETAIN PROGRAMMING AND THE TIME SETTING DURING LOSS OF POWER FOR A PERIOD OF AT LEAST 10 HOURS. LIGHTING DESIGNATED TO OPERATE MORE THAN 2000 HOURS PER YEAR FOR UNCOVERED PARKING AREAS SHALL BE EQUIPPED WITH MOTION SENSORS THAT WILL REDUCE THE LUMINAIRES POWER BY 33 PERCENT OR TURN OFF ONE THIRD THE LUMINAIRES WHEN NO ACTIVITY IS DETECTED.
- POLE BASE COVERS ARE TO BE INSTALLED SO THAT THE BASE COVER FITS FLUSH TO THE TOP OF THE CONCRETE BASE. LEVELING SHIMS AND NUTS SHALL NOT CAUSE A GAP BETWEEN THE POLE BASE AND THE BASE COVER.
- ALL WIRING IS TO BE #12 AWG AND #12 AWG GROUND MINIMUM THIN-WITHIN (90 DEG. C) IN 1" SCHEDULE 40 PVC (MINIMUM SIZE). TRENCH 30" DEEP. CLEAN BACKFILL USING SITE MATERIALS CAN BE USED. PROVIDE PREMIUM BACKFILL WHERE SITE MATERIALS ARE NOT ACCEPTABLE FOR USE.

LEGENDS

- CONDUIT FOR POWER
- COMMUNICATIONS CONDUIT
- CONDUIT FOR BUILDING SIGNAGE
- PANEL
- NEMA 5-20R DUPLEX RECEPTACLE MOUNTED AT 15" AFF ON CENTER, UNO.
- IG = ISOLATED GROUND
- GF = GROUND FAULT CIRCUIT INTERRUPTER
- WP = GROUND FAULT CIRCUIT INTERRUPTER
- AC = MOUNTED 4" ABOVE COUNTER
- TRANSFORMER
- GENERATOR
- MSB
- JUNCTION BOX

ABBREVIATIONS

- A AMP
- AFC AVAILABLE FAULT CURRENT
- AIC AMPERES INTERRUPTING CAPACITY
- AFF ABOVE FINISHED FLOOR
- ADA AMERICAN DISABILITIES ACT
- AT AMP TRIP
- ATS AUTOMATIC TRANSFER SWITCH
- AWG AMERICAN WIRE GAUGE
- BRKR BREAKER
- C CONDUIT OR CONDUCTOR- AS APPLICABLE
- CBT CIRCUIT BREAKER
- CKT CIRCUIT
- CLG CEILING
- CO CONDUIT ONLY
- CPT CONTROL POWER TRANSFORMER
- DTTS DOUBLE THROW TRANSFER SWITCH
- EC EMPTY CONDUIT
- EF EXHAUST FAN
- ELEC ELECTRICAL/ELECTRIC
- EM EMERGENCY
- FA FIRE ALARM
- FACP FIRE ALARM CONTROL PANEL
- FLOF FLOUORESCENT
- GND GROUND
- GEN GENERATOR
- GF, GFCI GROUND FAULT (CIRCUIT) INTERRUPTER
- HI HAND HOLE/HIGH INTENSITY DISCHARGE
- HOA HANDOFF/AUTO
- HP HORSE POWER
- HWH HOT WATER HEATER
- IG ISOLATED GROUND
- INCAN INCANDESCENT
- JB JUNCTION BOX
- KCM THOUSAND CIRCULAR MILES
- KVA KILOVOLT- AMPERE
- KW KILOWATT
- KWH KILOWATT HOUR
- LTS LIGHTS
- MCB MAIN CIRCUIT BREAKER
- MCC MOTOR CONTROL CENTER
- MDP MAIN DISTRIBUTION PANEL
- MH METAL HALIDE OR MANNHOLE- AS APPLICABLE
- MLO MAIN LUG ONLY
- N NEUTRAL
- NEC NATIONAL ELECTRICAL CODE
- NF NON FUSED
- NFPA NATIONAL FIRE PROTECTION ASSOCIATION
- NL NIGHT LIGHT (UNSWITCHED CKT.)
- P POLE
- PB PULL BOX
- PH PHASE
- PNL PANEL
- PVC POLYVINYL CHLORIDE
- PWR POWER
- RCPRT RECEPTACLE
- RGS RIGID GALVANIZED STEEL
- SF SUPPLY FAN
- SH SHIELDED
- SPD SURGE PROTECTIVE DEVICE
- SPDT SINGLE POLE, DOUBLE THROW
- SPST SINGLE POLE, SINGLE THROW
- SRAC SERIES RATED AMPERES INTERRUPTING CAPACITY
- SW SWITCH
- SWB STRUCTURED WIRING BOX
- TELE TELEPHONE
- TIB TELEPHONE TERMINAL BOARD
- UG UNDERGROUND
- UPS UNINTERRUPTABLE POWER SUPPLY
- UNOT UNLESS OTHERWISE NOTED
- V VOLT
- W WATTS
- WP WEATHERPROOF
- XFMR TRANSFORMER



MANUFACTURER - EATON MCGRAW-EDISON
 CATALOG - GLEON-AF-03-LED-E1-T3-BK
 INPUT WATTAGE - 166 W
 COLOR TEMP - BLACK, 3000K
 FIXTURE - ALZ-01,ALZ-01A

MANUFACTURER - EATON/INVUE
 CATALOG - ABB-B2-LED-42-D1-S-DP
 INPUT WATTAGE - 32 W
 COLOR TEMP - DARK PLATINUM, 4000K
 FIXTURE - ALZ-02



BASE4
 2901 CLINT MOORE ROAD #114
 BOCA RATON, FLORIDA 33496
 www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
 9201 MONTGOMERY BLVD, NE BLDG 1
 ALBUQUERQUE, NM 87111



ELEMENT
 ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.16

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME
 SITE LIGHTING NOTES
 AND ABBREVIATIONS

DRAWING NO.

SL001

Seal

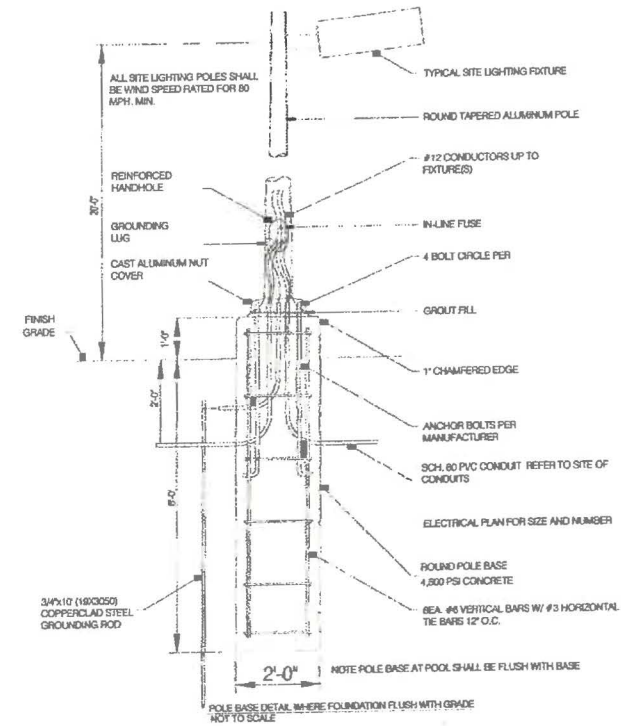
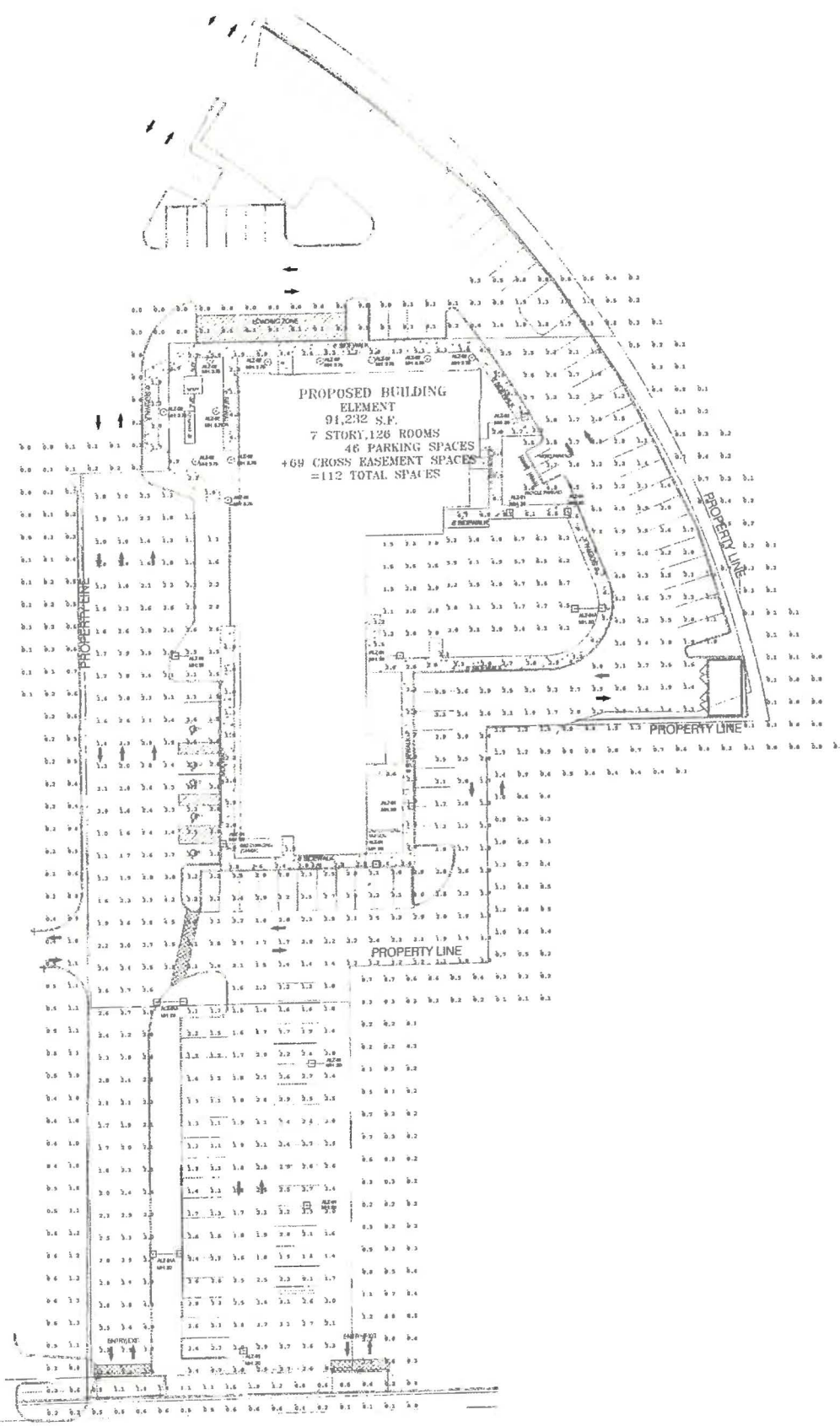
Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Outdoor Patio	Illuminance	Fc	3.25	4.8	1.0	3.25	4.80
Outdoor Pool	Illuminance	Fc	6.54	12.2	3.0	2.18	4.07
Parking	Illuminance	Fc	3.94	11.2	1.0	3.94	11.20
Property Line	Illuminance	Fc	0.35	2.6	0.0	N.A.	N.A.
Side Walk	Illuminance	Fc	4.82	12.5	1.0	4.82	12.50

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Filename	Arm	Lum. Watts
⊙	11	ALZ-01	SINGLE	N.A.	0.900	GLEON-AF-03-LED-E1-T3	GLEON-AF-03-LED-E1-T3.ies	2	166
⊙	11	ALZ-02	SINGLE	N.A.	0.900	ABB-B2-LED-D1-S	ABB-B2-LED-D1-S.ies	0	32
⊙	3	ALZ-01A	BACK-BACK	N.A.	0.900	GLEON-AF-03-LED-E1-T3	GLEON-AF-03-LED-E1-T3.ies	2	166

NOTE: MOUNTING HEIGHTS ARE MENTIONED NEAR FIXTURES IN THE DRAWING USING ABBR, MH:XX.X.EG. MH:20 INDICATES A MOUNTING HEIGHT OF 20 FEET.

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.16

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

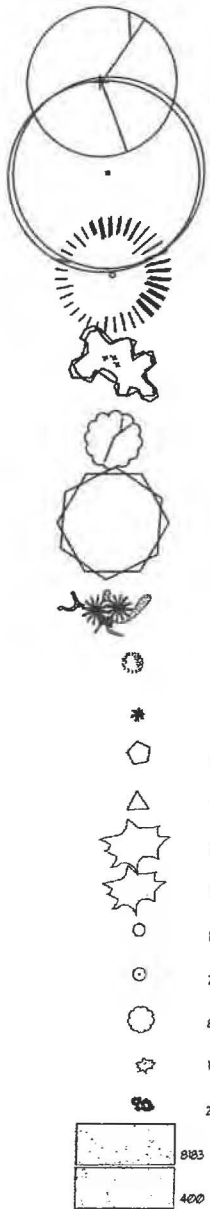
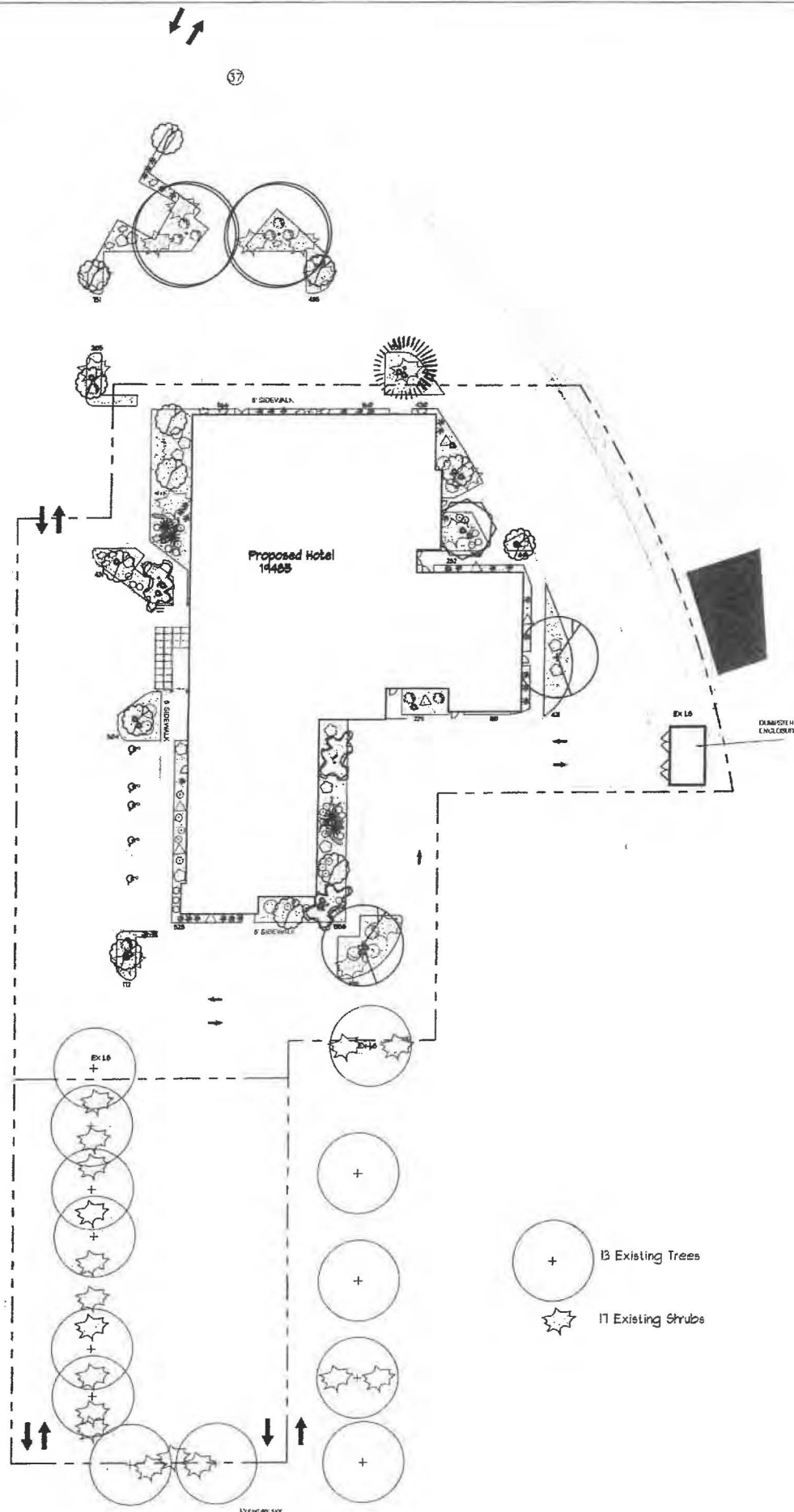
PROJECT NO. B4-176-1901

SHEET NAME

SITE PHOTOMETRICS
PLAN

DRAWING NO.

SL002



LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

2	2' cal	Chinese Pistache <i>Pistacia chinensis</i>	35x35	025	2450 M
2	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	4050 M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	625	625 M
3	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	20x20	400	1200 M
15	15 Gal	Oklahoma Reedbud <i>Cercis reniformis</i>	5x12	144	5625 M
1	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	625	1072 M

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	5x6	36	144 M
10	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5	25	250 M
24	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	25x2	4	136 M
14	5 Gal	Greatleaf Coneaster <i>Cotoneaster glaucophyllus</i>	5x5	25	350 M
1	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x1	48	343 M
2	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12	144	288 M
12	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12	144	1728 M
18	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	162 M
20	5 Gal	Blue Mist <i>Caryopteris x clancornensis</i>	3x3	9	180 M
8	5 Gal	Fern Bush <i>Chamaedaphne nivalis</i>	5x6	36	288 L
15	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4	12	180 L
26	2-3cf	Boulders Seat Height Boulders, buried 1/3		4048	
883		Landscape Gravel / Filter Fabric Santa Fe Brown			
400		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose			

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas unless otherwise specified.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1 Netalim spiral (50' length) with 5 loops at a final radius of 4.5' from tree trunk, pinned in place. Netalim shall have emitters 12" o.c. with a flow of 4 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be used to 1/2" polytube with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	64291
TOTAL BUILDING AREA (sf)	19485
TOTAL LOT AREA (sf)	46802
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (sf)	7020
TOTAL ON-SITE LANDSCAPE PROVIDED	8183
TOTAL LIVE GROUNDCOVER REQUIRED	2455
TOTAL LIVE GROUNDCOVER PROVIDED	4048



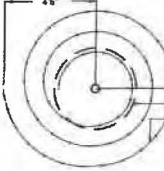
TREE PLANTING DETAIL

INSTALLATION:
1. HOLE SHALL BE PLACED ON BENCHMARK AND TO 1" BELOW THE TREE SET PLANTING.
2. TOP OF ROOTBALL SHALL BE LEVEL WITH GROUND SURFACE AND SHALL NOT EXCEED THE DEPTH OF WHICH THE TREE WOULD BE REPLANTED. THE DEPTH SHALL EXCEED BY ONLY A ONE (1) INCH LAYER OF SOIL.
3. PRIOR TO REPLANTING TREE, ALL WEEDS AND PROTRUDING MATERIALS SHALL BE REMOVED FROM THE HOLE AND THE PLANTING.
4. PRIOR TO REPLANTING ALL SOIL SHALL BE OF BEST QUALITY SOIL AVAILABLE TO THE CONTRACTOR.
5. SOIL SHALL BE DAMPED.
6. 3" DEPTH OF GRAVEL FILL.
7. BENCHMARK IS.

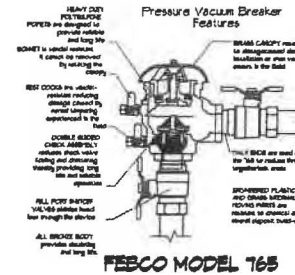


SHRUB PLANTING DETAIL

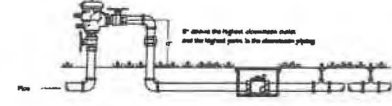
INSTALLATION:
1. HOLE SHALL BE PLACED ON BENCHMARK AND TO 1" BELOW THE SHRUB SET PLANTING.
2. TOP OF ROOTBALL SHALL BE LEVEL WITH GROUND SURFACE AND SHALL NOT EXCEED THE DEPTH OF WHICH THE SHRUB WOULD BE REPLANTED. THE DEPTH SHALL EXCEED BY ONLY A ONE (1) INCH LAYER OF SOIL.
3. PRIOR TO REPLANTING SHRUB, ALL WEEDS AND PROTRUDING MATERIALS SHALL BE REMOVED FROM THE HOLE AND THE PLANTING.
4. PRIOR TO REPLANTING ALL SOIL SHALL BE OF BEST QUALITY SOIL AVAILABLE TO THE CONTRACTOR.
5. SOIL SHALL BE DAMPED.
6. 3" DEPTH OF GRAVEL FILL.
7. BENCHMARK IS.



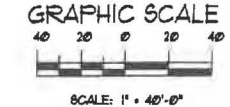
Netalim Spiral Detail



FEBCO MODEL 765



FEBCO MODEL 765



SCALE: 1" = 40'-0"



The Hilltop
1909 Edith NE
Albuquerque, NM 87113
Cont. Lic. 914-466-
9490
PH: (505) 898-0690
Fax: (505) 898-1131
danny@hilltoplandscape.com

Landscape Architect



October 30, 2015

2440 Louisiana
Proposed Hotel
Albuquerque, NM

Landscape Plan

The design contained herein remains the property of The Hilltop Landscape Architects and Contractors, Inc. This is an original design and no reproduction or use of any part of the design without the written consent of The Hilltop Landscape Architects and Contractors, Inc. has been made or is intended.



DRAWN BY
DATE

REVISION
DATE

SHEET #
LS-101

DRAINAGE NARRATIVE

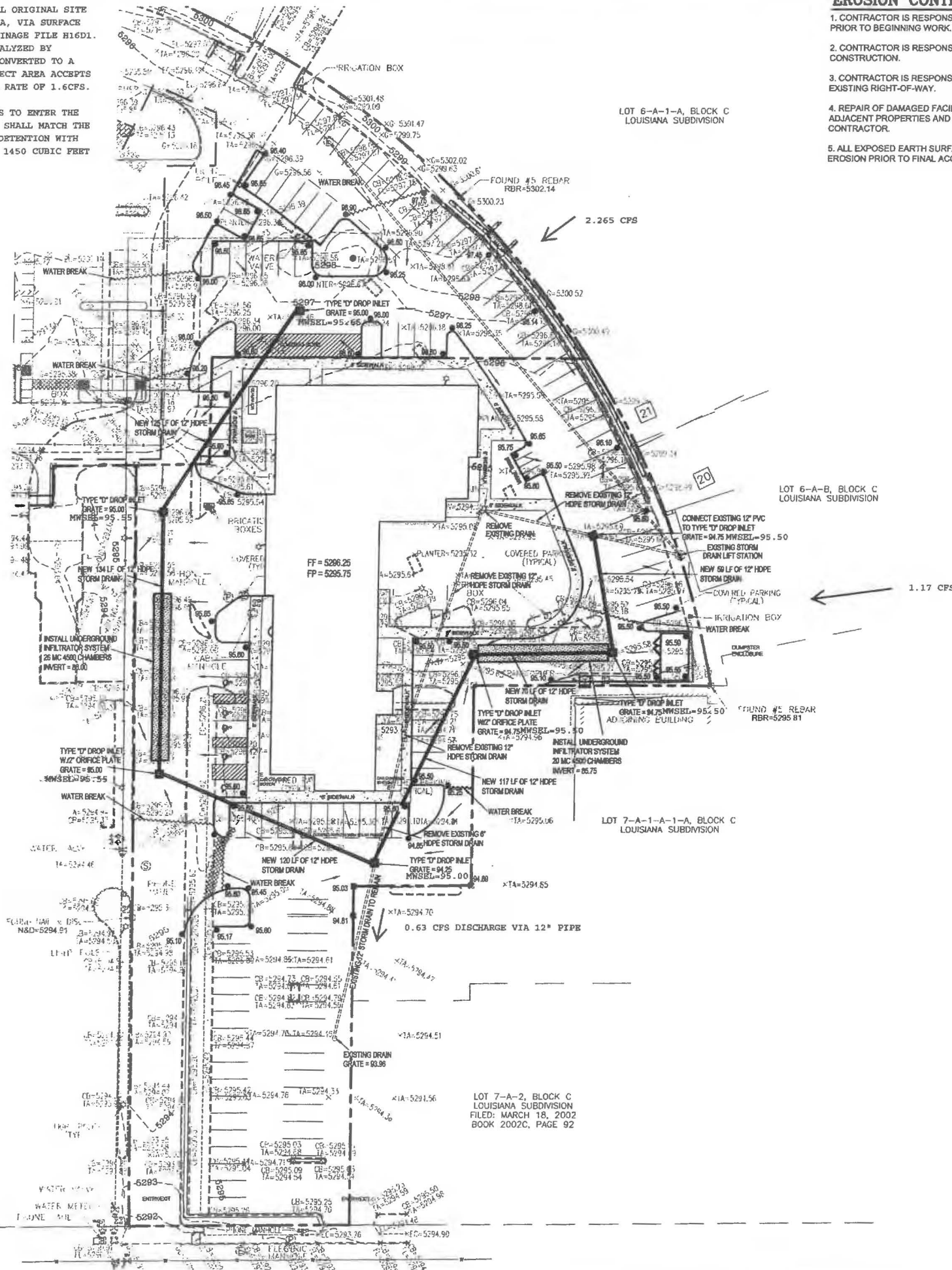
THE SITE IS A FULLY DEVELOPED PORTION OF AN EXISTING SITE. THE OVERALL ORIGINAL SITE WAS DESIGNED TO DISCHARGE TO AN EXISTING 60" STORM DRAIN IN LOUISIANA, VIA SURFACE AND UNDERGROUND CONDUITS. THE OVERALL SITE ANALYSIS IS LOCATED IN DRAINAGE FILE H16D1. THE PROJECT AREA WAS AT ONE TIME A RETENTION BASIN. THE SITE WAS REANALYZED BY BOHANAN HUSTON IN 1984 AND PARTIALLY CONSTRUCTED. THE POND BASIN WAS CONVERTED TO A PARKING LOT DETENTION POND IN A REPORT BY LARRY REID IN 2004. THE PROJECT AREA ACCEPTS UPLAND FLOW FROM THE EAST. THE SITE IS ALLOWED TO DISCHARGE AT A PEAK RATE OF 1.6CFS.

THIS DEVELOPMENT WILL CONTINUE TO ALLOW THE UPLAND FLOW OF 3.435 CFS TO ENTER THE SITE. THE SITE WILL CONTINUE TO GENERATE 6.30 CFS. THE BASIN DISCHARGE SHALL MATCH THE HISTORICAL RATE OF 0.63 CFS ALLOWED BY THE INTRODUCTION PARKING LOT DETENTION WITH SUBSURFACE INFILTRATION CHAMBERS. THE REQUIRED FIRST FLUSH VOLUME OF 1450 CUBIC FEET WILL BE CAPTURED BY THE UNDERGROUND CHAMBERS.

THE DEVELOPMENT OF THIS SITE WILL MATCH EXISTING CONDITIONS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
 LOTS 6-A-1, 6-A-2, 6-A-1-D-1-A AND 6-A-1-C-1-B, BLOCK "C" LOUISIANA SUBDIVISION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO GO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

---	EXISTING CONTOUR	CS	CURB
---	EXISTING INDEX CONTOUR	BPOND	BOTTOM OF POND
XXXX	EXISTING SPOT ELEVATION	DRN	DRAIN
XXXX	PROPOSED SPOT ELEVATION	EO	EDGE OF CONCRETE
---	BOUNDARY	FF	FINISHED FLOOR
---	ADJACENT BOUNDARY	FL	FLOW LINE
---	EXISTING CURB AND GUTTER	G	GROUND
---	PROPOSED WATER BREAK	N&D	NAIL & DISC
---	PROPOSED HOPE STORM DRAIN	RMP	RAMP
---	PROPOSED TYPE "D" DROP INLET PER COA STD DWG	SASMH	SANITARY SEWER MANHOLE
---	PROPOSED UNDERGROUND INFILTRATOR SYSTEM	TA	TOP OF ASPHALT
		☆	LIGHT POLE
		□	CABLE BOX
		□	IRIGATION BOX
		□	WATER VALVE
		□	WATER METER
		⊙	SANITARY SEWER MANHOLE
		⊙	STORM DRAIN MANHOLE
		⊙	ELECTRIC MANHOLE
		⊙	PHONE MANHOLE

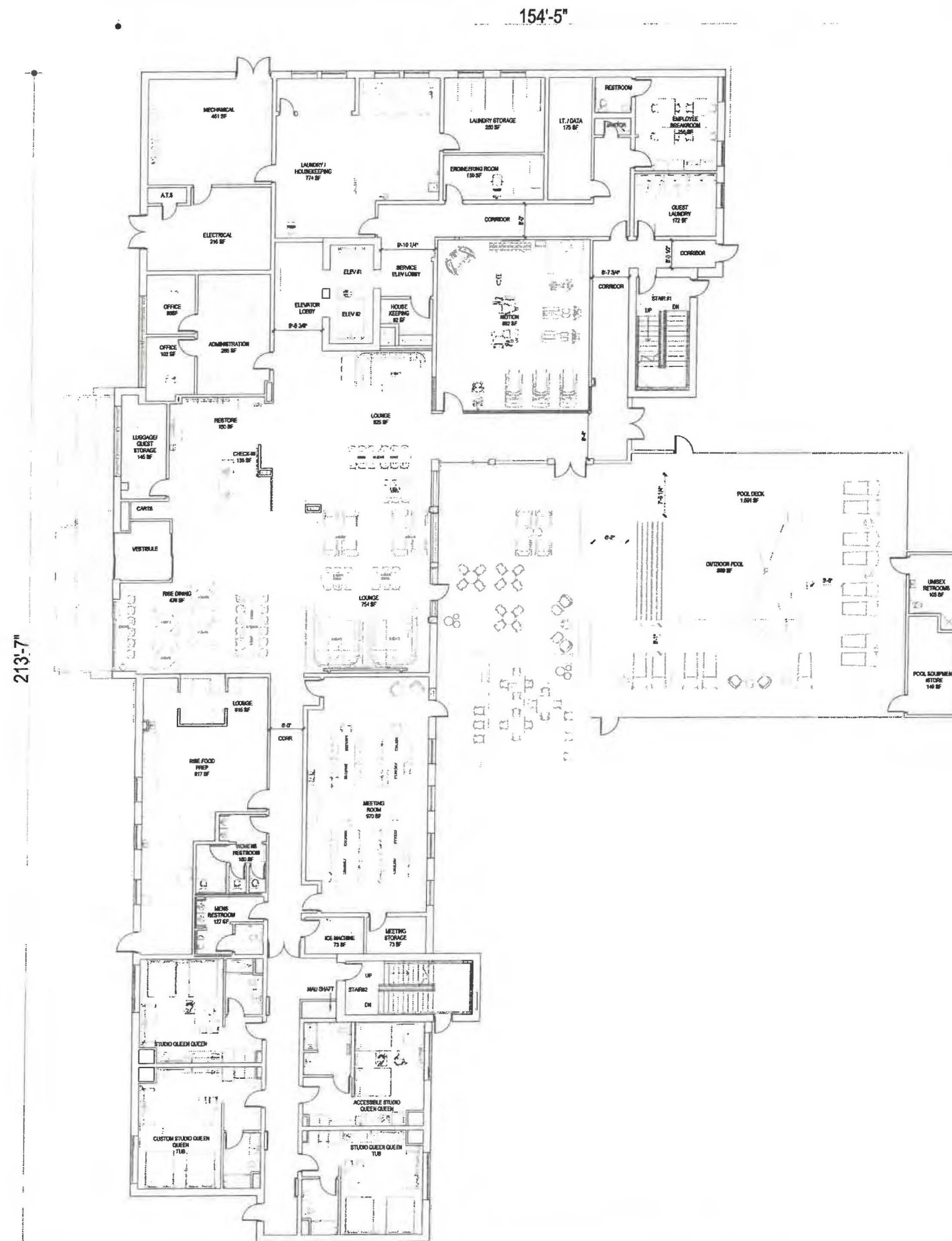
CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	2440 LOUISIANA BLVD.	DRAWN BY
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER		DEM
	GRADING AND DRAINAGE PLAN	DATE
		10-24-19
	 1800 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87105 (505) 875-0860	2440 LOUISIANA BLVD.DWG
		SHEET #
		C1
		JOB #

LOT 7-A-2, BLOCK C LOUISIANA SUBDIVISION FILED: MARCH 18, 2002 BOOK 2002C, PAGE 92

*UPDATED BASE 1/9/2020



ROOM TYPE	ROOM MATRIX						TOTAL	%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	6TH			
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	11
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	2
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC.ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		FLOOR AREA (SF)	
SHOWER	107	85%	15,224
TUB	12	10%	14,342
ACC. TUB	0	0%	14,342
ACC. ROLL IN SHOWER	2	2%	14,342
TRANSFER SHOWER	5	4%	14,342
TOTAL	126	100%	91,232

1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33498
www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



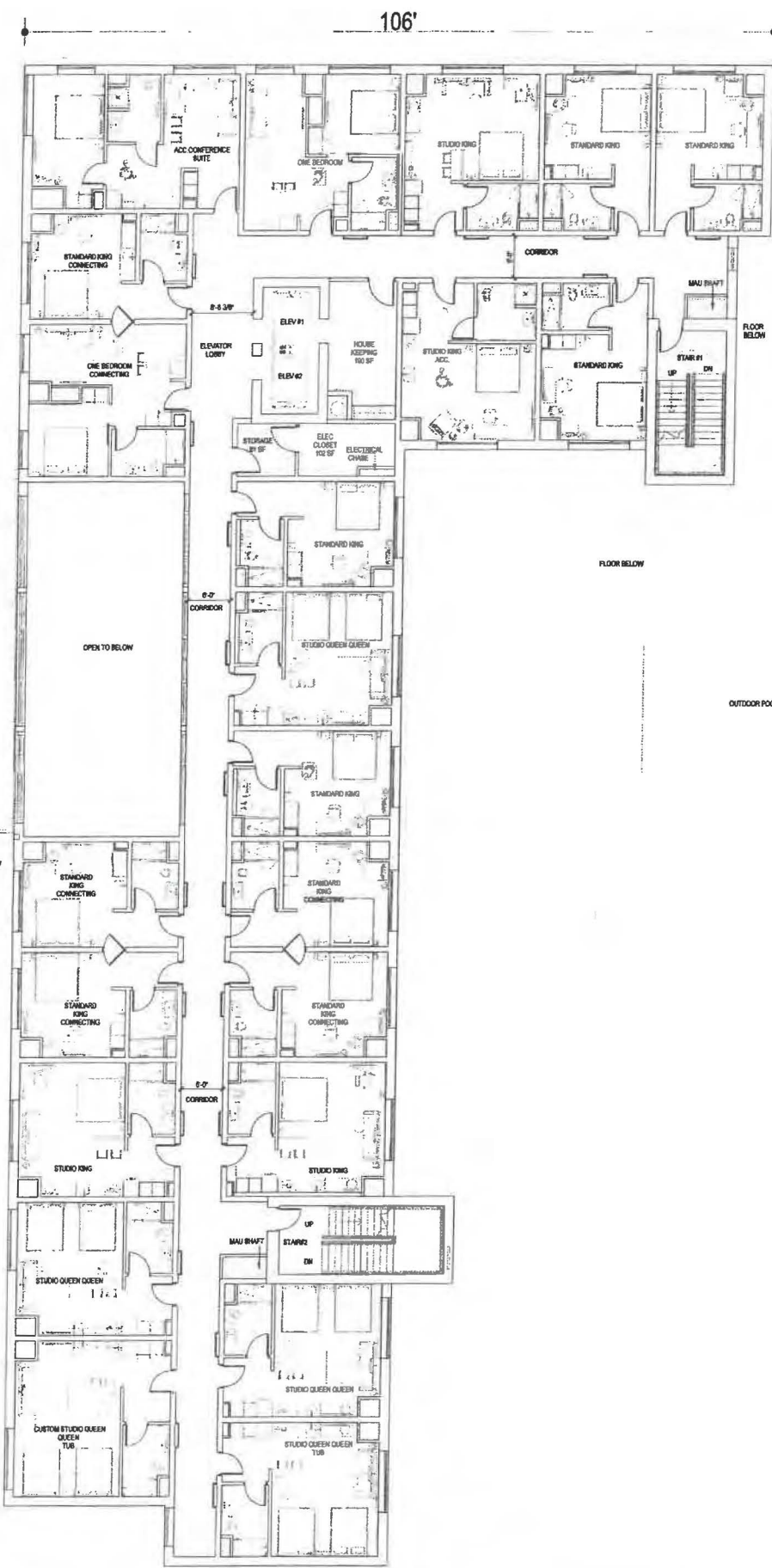
ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE	2020.01.17
DRAWN BY	SG
CHECKED BY	DH
SCALE	AS NOTED
PROJECT NO.	B4 - 176 - 1901
SHEET NAME	

FLOOR PLANS

DRAWING NO.
A2.1



ROOM TYPE	ROOM MATRIX						TOTAL	%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	6TH			
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX			FLOOR AREA (SF)	
SHOWER	107	85%	1ST LEVEL FLOOR PLAN	15,224
TUB	12	10%	2ND LEVEL FLOOR PLAN	14,342
ACC TUB	0	0%	3RD LEVEL FLOOR PLAN	14,342
ACC ROLL IN SHOWER	2	2%	4TH LEVEL FLOOR PLAN	14,342
TRANSFER SHOWER	5	4%	5TH LEVEL FLOOR PLAN	14,342
TOTAL	126	100%	6TH LEVEL FLOOR PLAN	14,342
			7TH LEVEL FLOOR PLAN	4,298
			TOTAL	91,233



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

CHECKED BY DH

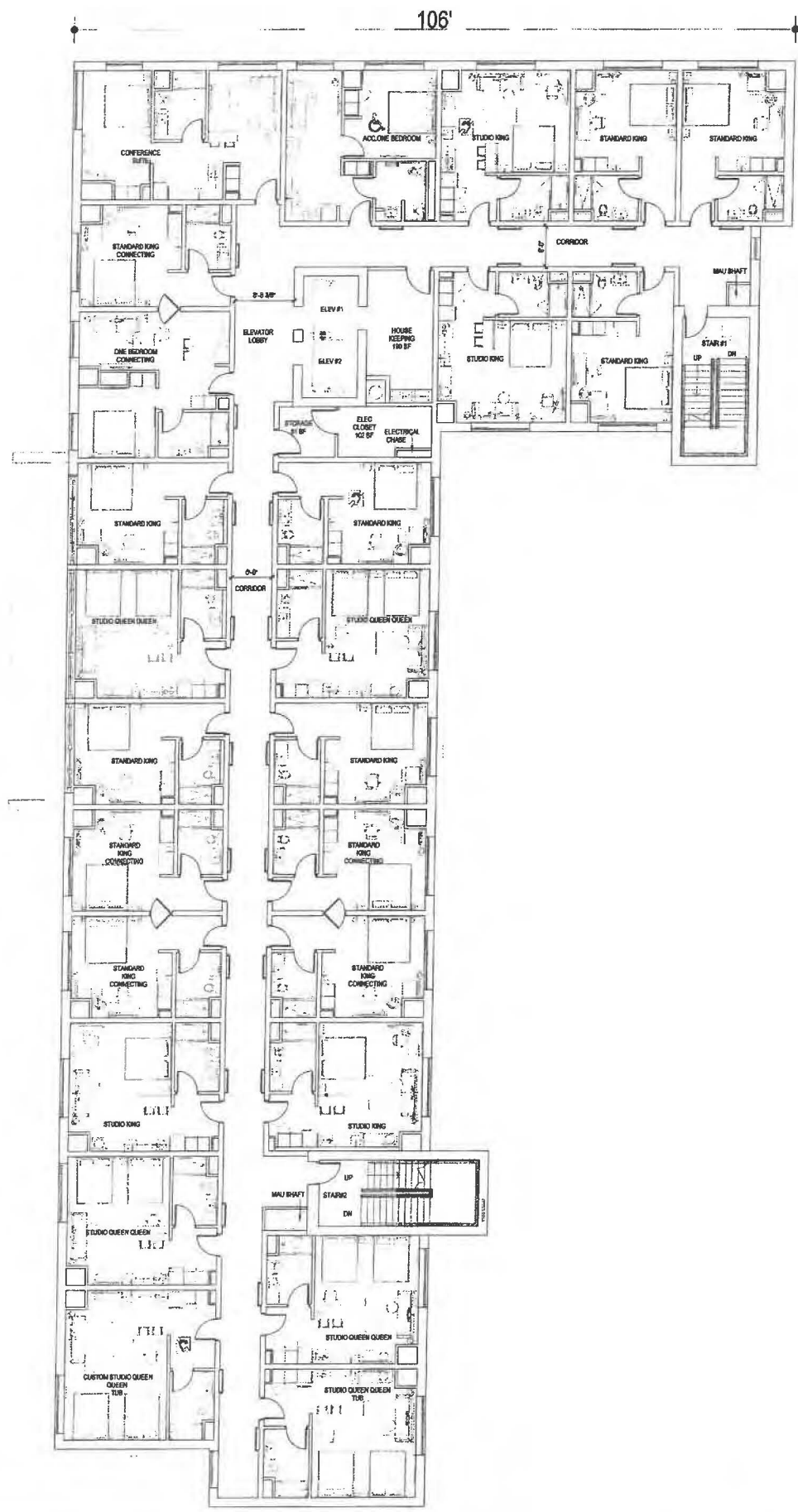
SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

FLOOR PLANS

DRAWING NO.
A2.2



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
CUSTOM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC.ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE: 2020.01.17
DRAWN BY: SG
CHECKED BY: DH
SCALE: AS NOTED
PROJECT NO.: B4 - 176 - 1901
SHEET NAME:

FLOOR PLANS

DRAWING NO.
A2.3



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	11
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	2
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,296
TOTAL	91,232



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Owner:



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9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



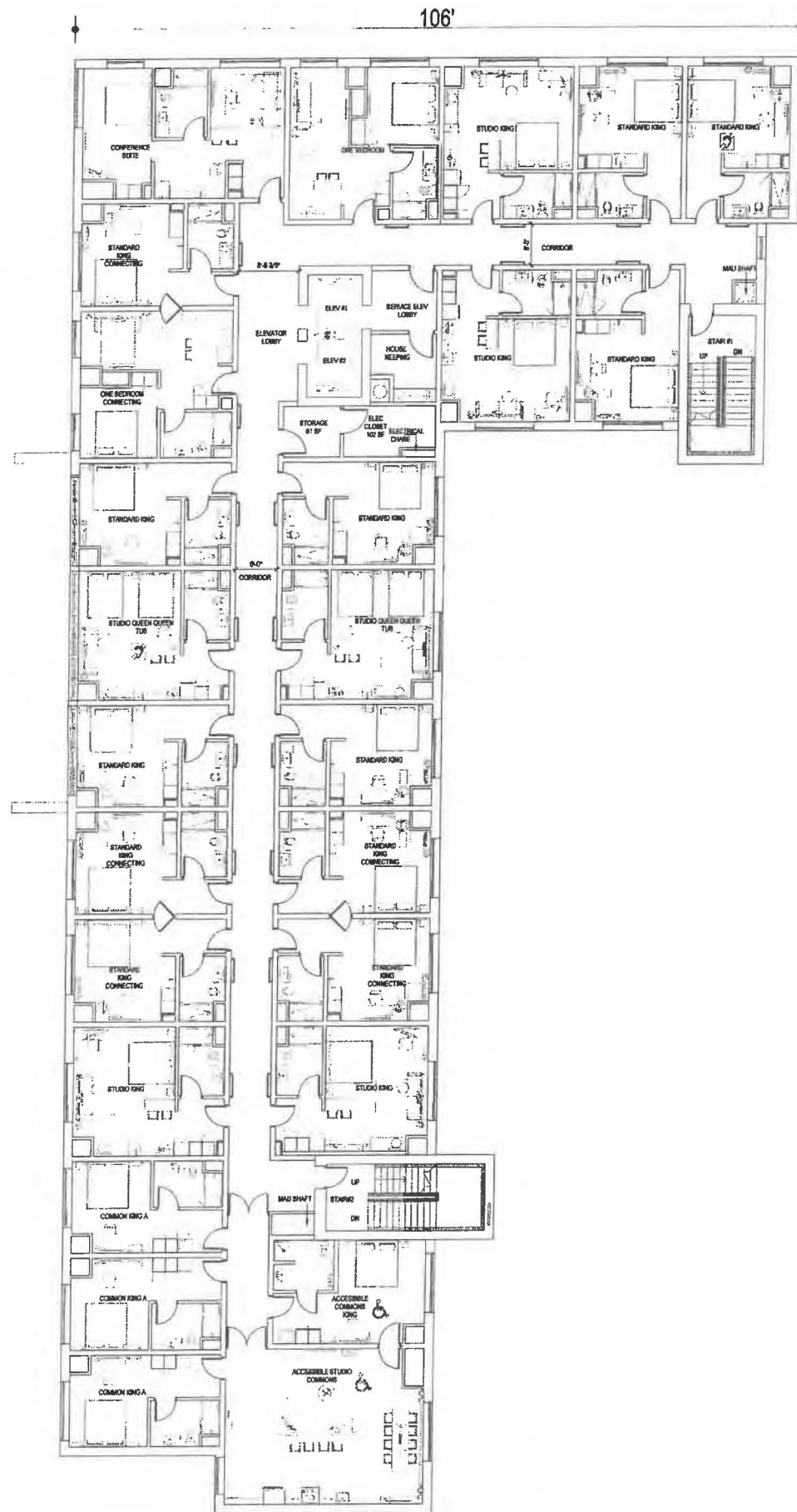
ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE: 2020.01.17
DRAWN BY: SG
CHECKED BY: DH
SCALE: AS NOTED
PROJECT NO.: B4 - 176 - 1901
SHEET NAME:

FLOOR PLANS

DRAWING NO.
A2.4



ROOM TYPE	ROOM MATRIX						TOTAL	%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	6TH			
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC.ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX	
SHOWER	107 85%
TUB	12 10%
ACC. TUB	0 0%
ACC. ROLL IN SHOWER	2 2%
TRANSFER SHOWER	5 4%
TOTAL	126 100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



BASE4
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BOCA RATON, FLORIDA 33498
www.base-4.com

Seal

Owner:



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9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



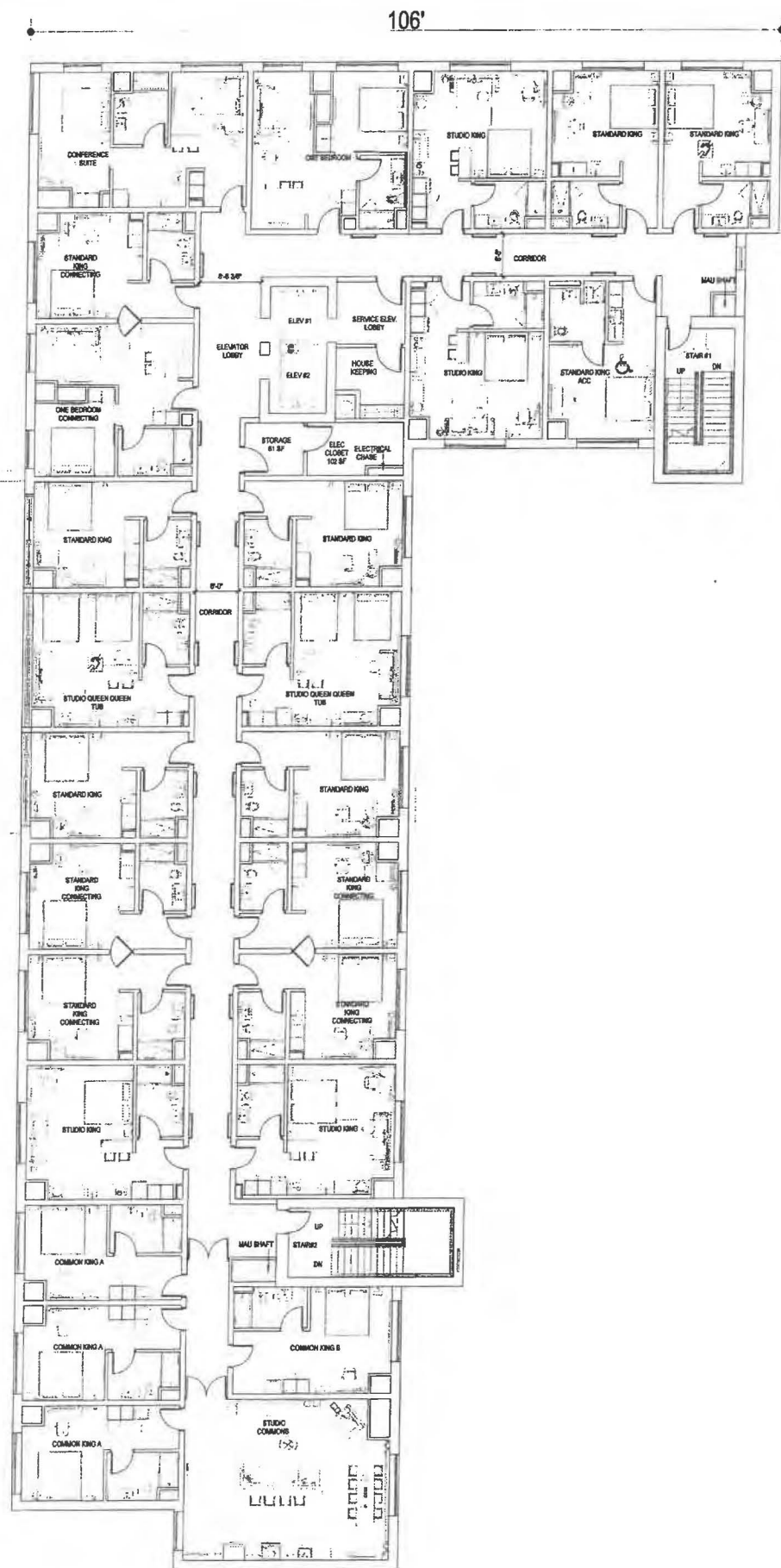
ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE	2020.01.17
DRAWN BY	SG
CHECKED BY	DH
SCALE	AS NOTED
PROJECT NO.	B4 - 176 - 1901
SHEET NAME	

FLOOR PLANS

DRAWING NO.
A2.5



ROOM TYPE	ROOM MATRIX						TOTAL	%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	6TH			
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX			FLOOR AREA (SF)	
SHOWER	107	85%	1ST LEVEL FLOOR PLAN	15,224
TUB	12	10%	2ND LEVEL FLOOR PLAN	14,342
ACC. TUB	0	0%	3RD LEVEL FLOOR PLAN	14,342
ACC. ROLL IN SHOWER	2	2%	4TH LEVEL FLOOR PLAN	14,342
TRANSFER SHOWER	5	4%	5TH LEVEL FLOOR PLAN	14,342
TOTAL	126	100%	6TH LEVEL FLOOR PLAN	14,342
			7TH LEVEL FLOOR PLAN	4,298
			TOTAL	91,232



BASE4
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Seal

Owner:



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ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

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SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

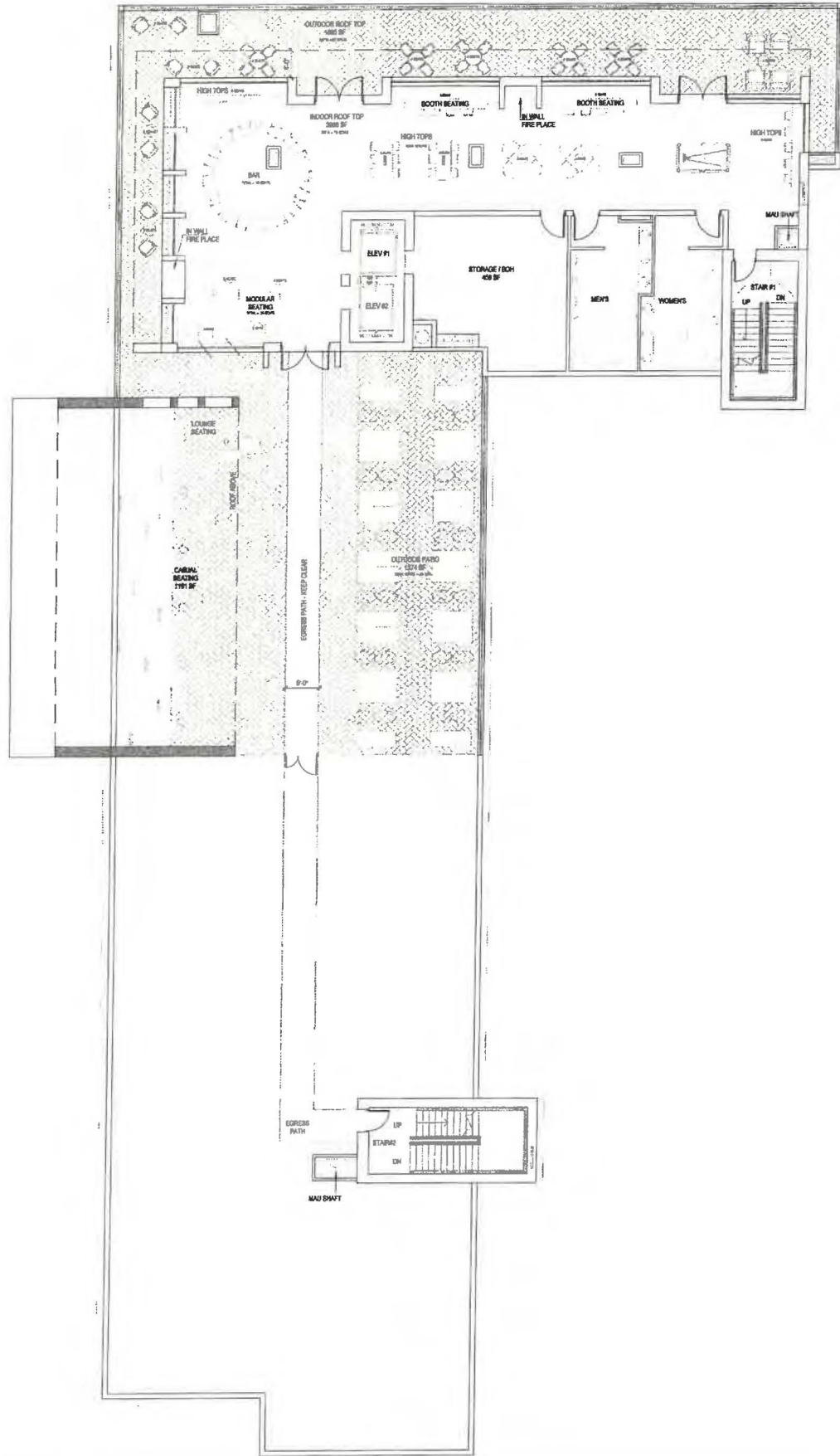
SHEET NAME

FLOOR PLANS

DRAWING NO.
A2.6

106'

213'-7"



ROOM TYPE	ROOM MATRIX						TOTAL	%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	6TH			
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX	
SHOWER	107 85%
TUB	12 10%
ACC. TUB	0 0%
ACC. ROLL IN SHOWER	2 2%
TRANSFER SHOWER	5 4%
TOTAL	126 100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



BASE4
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Seal

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ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

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SCALE AS NOTED
PROJECT NO. B4 - 176 - 1901

SHEET NAME
FLOOR PLAN

DRAWING NO.
A2.7



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	31 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	36 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	21 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	12 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	68 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	3 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	25 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	3 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



BASE4
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Owner:



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9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE	2020.01.17
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CHECKED BY	DH
SCALE	AS NOTED
PROJECT NO.	B4 - 176 - 1901
SHEET NAME	

ELEVATIONS

DRAWING NO.

A3.1



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2738-WHITE	68 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	9 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	9 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	23 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2738-WHITE	61 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	24 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	1 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	14 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

3 EAST ELEVATION
SCALE: 3/32" = 1'-0"

Seal

Owner:

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

ELEVATIONS

DRAWING NO.

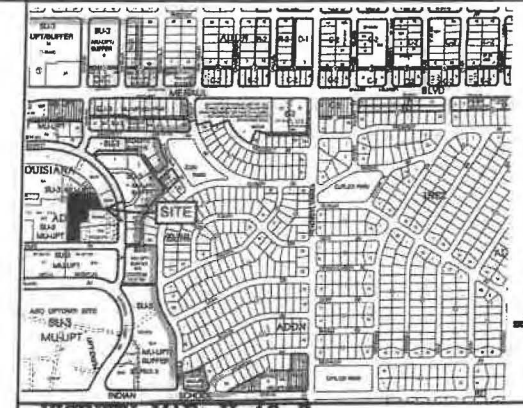
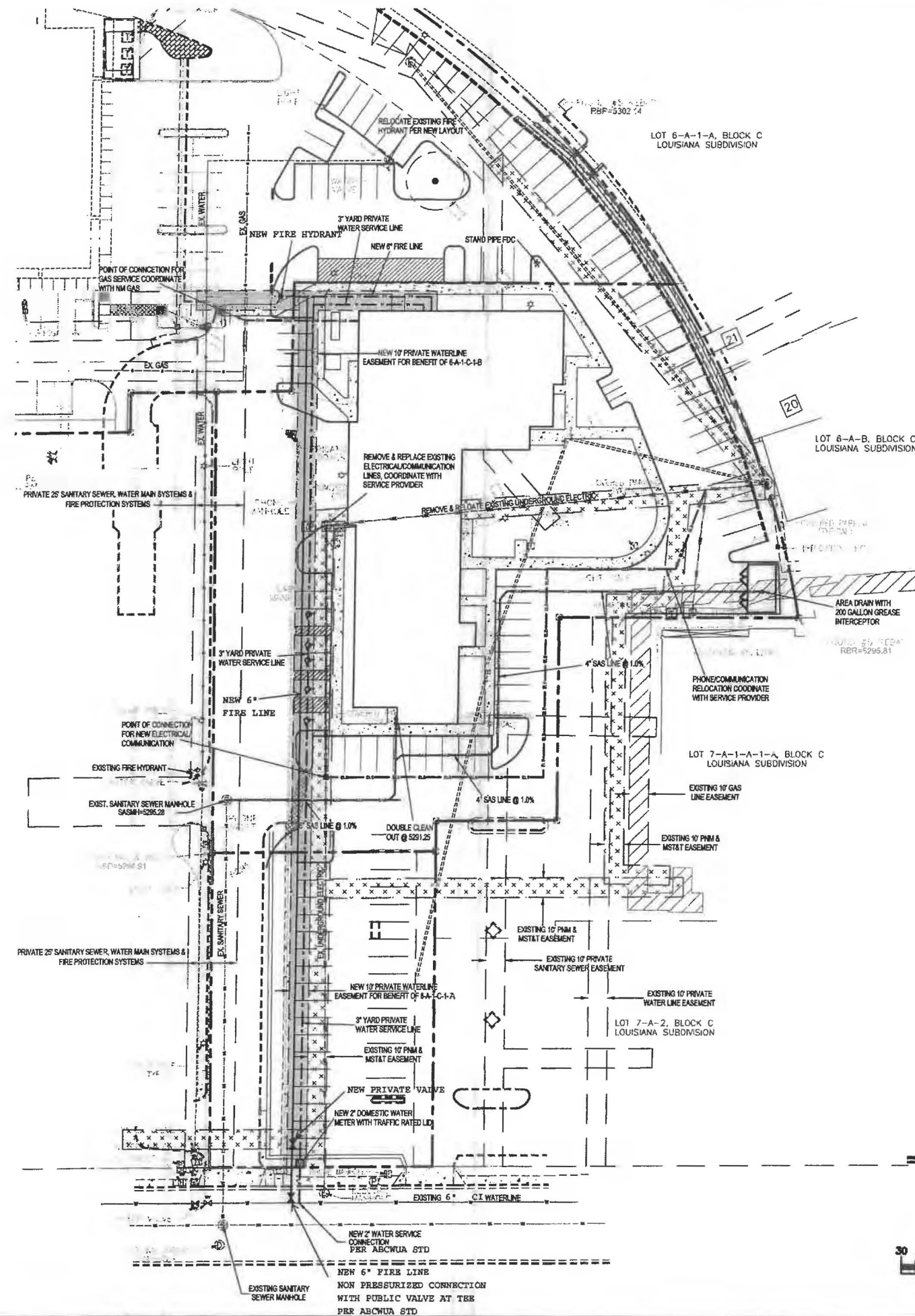
A3.2

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, MOST RECENT EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1980, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 82, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1988 EDITION AS REVISED THROUGH UPDATE #8.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.8150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER TOWN OF BERNALILLO STANDARDS.
23. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
24. CONTRACTOR SHALL VERIFY ALL EXISTING CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



VICINITY MAP: H-19-Z

WATER SHUTOFF NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.

LEGEND

---	BOUNDARY	CB	CURB
- - - -	ADJACENT BOUNDARY	BPOD	BOTTOM OF POND
- - - -	EXISTING CURB AND GUTTER	DRN	DRAIN
SS	EXISTING SANITARY SEWER	EC	EDGE OF CONCRETE
W	EXISTING WATER LINE	FF	FINISHED FLOOR
- - - -	PROPOSED SANITARY SEWER	FL	FLOW LINE
- - - -	PROPOSED SANITARY SEWER	G	GROUND
---	PROPOSED ELECTRIC LINE	N&D	NAIL & DISC
---	PROPOSED FIRE PROTECTION LINE	RAMP	RAMP
---	PROPOSED WATER LINE	SASMH	SANITARY SEWER MANHOLE
---	PROPOSED GAS LINE	TA	TOP OF ASPHALT
---	PROPOSED 10" PRIVATE WATER EASEMENT	*	LIGHT POLE
		□	CABLE BOX
		□	IRRIGATION BOX
		⊕	WATER VALVE
		⊕	WATER METER
		⊕	SANITARY SEWER MANHOLE
		⊕	STORM DRAIN MANHOLE
		⊕	ELECTRIC MANHOLE
		⊕	PHONE MANHOLE

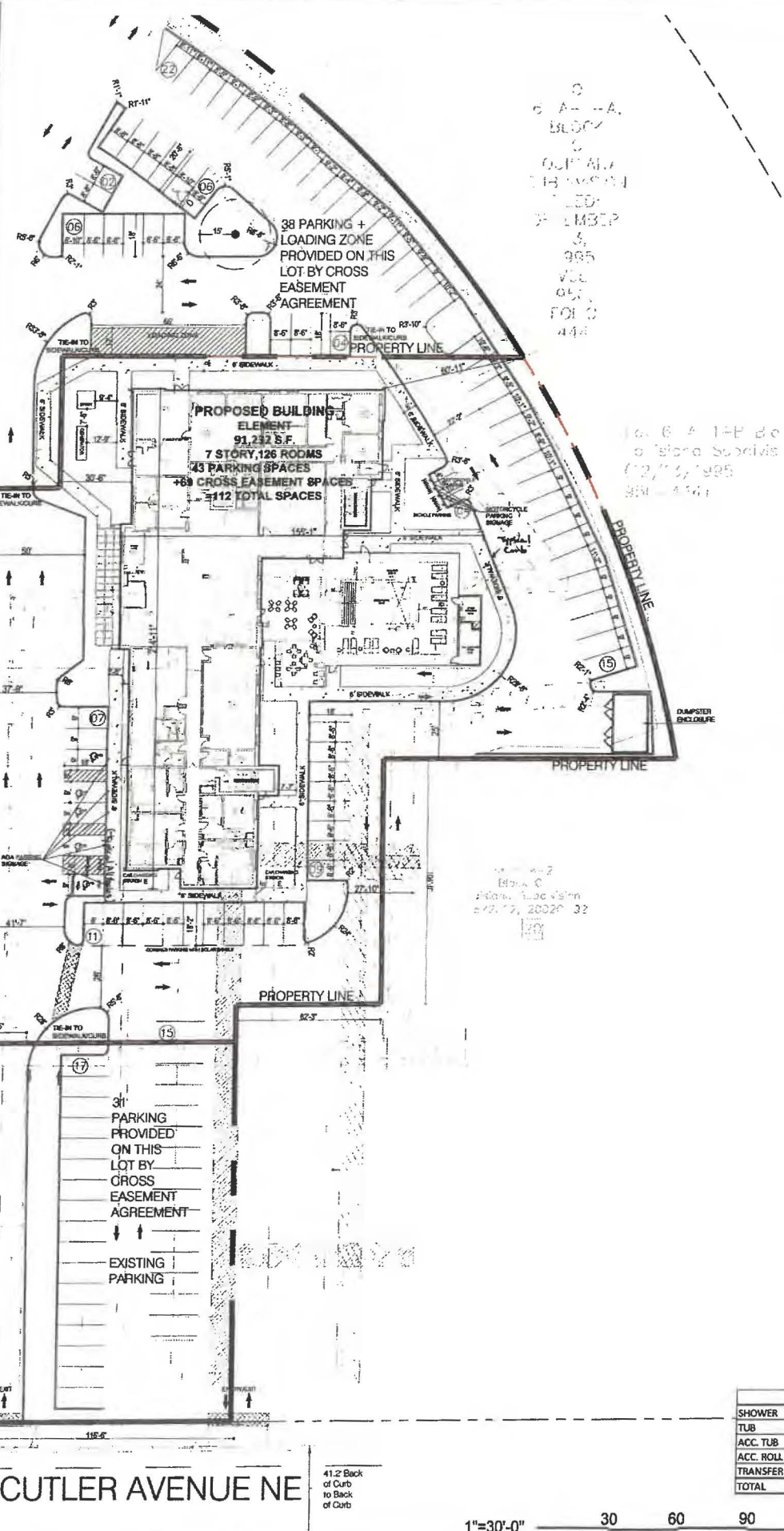


ENGINEER'S SEAL 3/5/20	2440 LOUISIANA BLVD. UTILITY PLAN	DRAWN BY DEM
	 1001 CENTRAL AVENUE, SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 478-0200	DATE 10-24-19 2440 LOUISIANA BLVD.DWG
		SHEET # C2
		JOB #

PROJECT NUMBER:
Application Number:
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DISC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
ON-SITE DEVELOPMENT IS AN APPROVAL

3/13/20
3/11/20
11-22-20
01-22-20
1-26-20
03-13-20
3-19-20

Transportation Department
City of Albuquerque
Code Enforcement
Health Department (conditional)
Solid Waste Management
Development, Planning Department

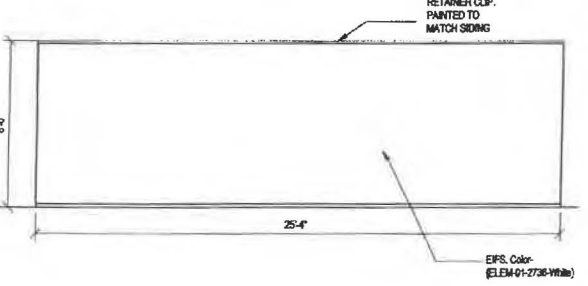
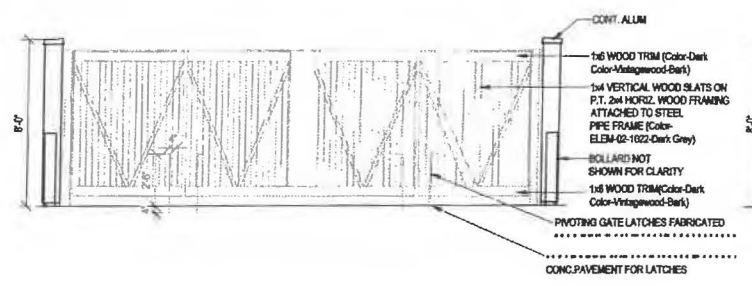


LEGEND

- EXISTING PRIVATE INGRESS EASEMENT WIDTHS (8/14/89, C39-140)
- EXISTING 10' PRIVATE SANITARY SEWER EASEMENT (8/14/89, C39-140)
- EXISTING 10' PRIVATE WATERLINE EASEMENT (8/14/89, C39-140)
- EXISTING 10' PRIVATE GAS LINE EASEMENT (8/14/89, C39-140)
- EXISTING 10' UNDERGROUND PHM & M&T EASEMENT (7/3/85, BK. MISC. 245A-928)
- PORTION OF ORIGINAL EASEMENT RELEASED BY PNM (2/2/87, BK. MISC. 447A, PG.819) AND RETAINED BY TELEPHONE COMPANY.



VICINITY MAP
1/128"=1'-0"



ROOM MATRIX

ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

PARKING MATRIX

PARKING TYPE	REQUIRED	PROVIDED
ACCES. PARKING SPACE	4	4
VAN PARKING SPACE	1	1
STAND. PARKING SPACE	121	109
MEETING ROOM PARKING SPACE	11	0
RESTAURANT PARKING SPACE	7	0
EMPLOYEE PARKING SPACE	0	0
MOTO PARKING	4	4
TOTAL PARKING SPACES	164*	112
BYCYCLE PARKING	4	8

NOTE: *30% Reduction for proximity to transit

ZONING ANALYSIS

REQUIREMENT	ZONING	COMPLIANCE	
AHJ	Albuquerque, NM		
SITE ZONING	MX-H - mixed use		
HOTEL USE ALLOWED	permitted by right	Y	
MAX BUILDING HEIGHT	75' with exception	Y	
FAR	No requirements found:	NA	
# OF PARKING STALLS REQUIRED	1/1000 net square feet	Y	
SIZE OF PARKING STALLS REQUIRED	8.5 feet by 18 feet	Y	
DRIVE AISLE SIZE REQUIRED	No requirements found:	Y	
IMPERVIOUS AREA	No requirements found:	NA	
MAX PARKING IN ROW	No requirements found:	NA	
LOADING ZONES	No requirements found:	NA	
FIRE ACCESS REQUIREMENTS	TBD	TBD	
SETBACKS	1) FRONT	No requirements found:	NA
	2) SIDE	No requirements found:	NA
	3) REAR	No requirements found:	NA
	4) PARKING	Front 10 feet/side 6 feet buffer	Y
ADDITIONAL NOTES			

SHOWER FIXTURE TYPE MATRIX

SHOWER	TUB	ACC. TUB	ACC. ROLL IN SHOWER	TRANSFER SHOWER	TOTAL	%
107	12	0	2	5	126	85%
12	0	2	5			10%
0	0	0	0	0	0	0%
2	0	0	0	0	2	2%
5	0	0	0	0	5	4%
126	12	0	2	5	145	100%

FLOOR AREA (SF)

FLOOR PLAN	AREA (SF)
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232

1 SITE PLAN
SCALE: 1"=30'

BASE4
Architects | Engineers | Interiors

BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33498
www.base-4.com

Owner:
Allen Sigmon
REAL ESTATE GROUP

ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111

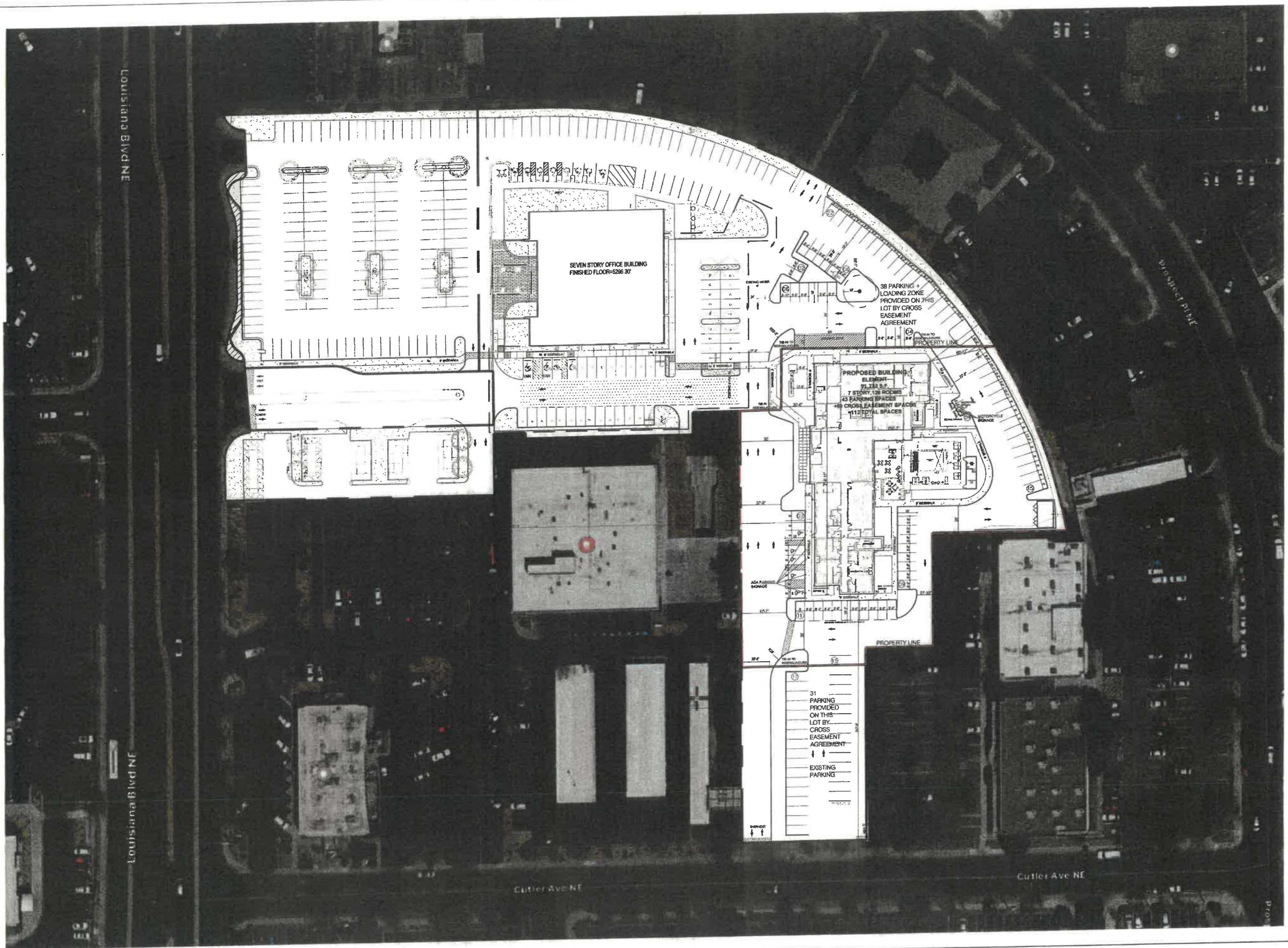


ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE: 2020.01.17
DRAWN BY: SG
CHECKED BY: DH
SCALE: AS NOTED
PROJECT NO.: B4 - 176 - 1901
SHEET NAME:

SITE PLAN
DRAWING NO.
A1.1



Seal

Owner:



ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

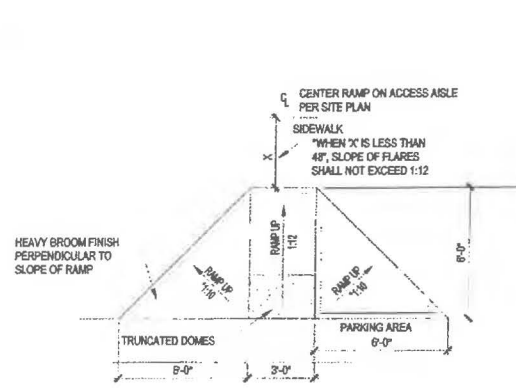
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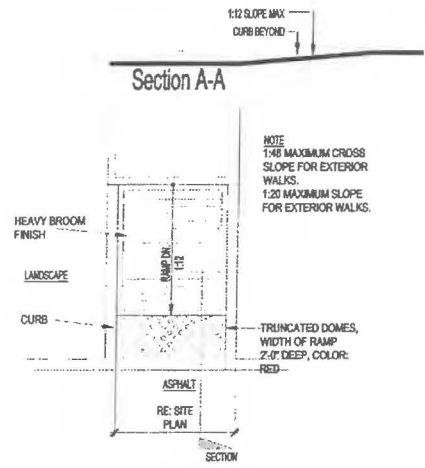
MASTER PLAN

DRAWING NO.

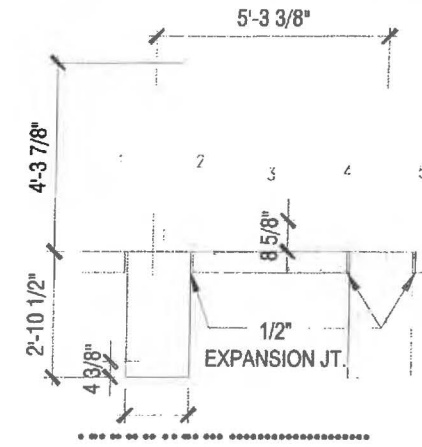
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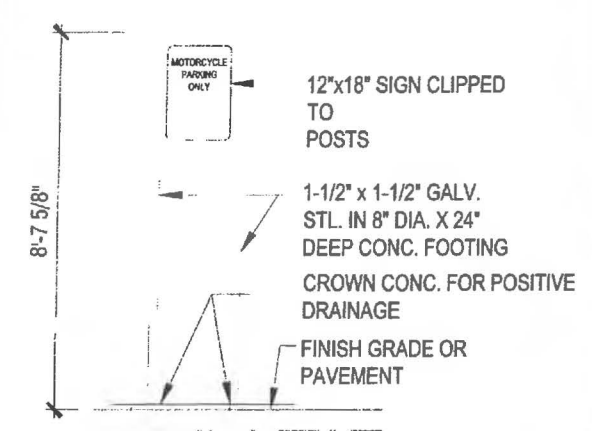
1 ACCESSIBLE SIDEWALK RAMP
SCALE: 1/4"=1'-0"



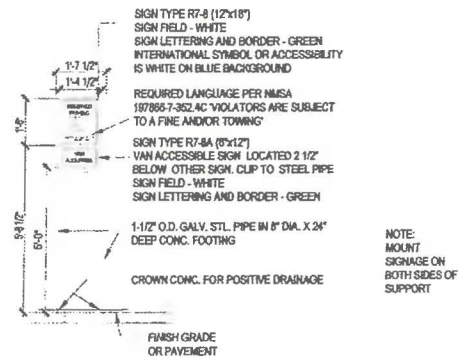
2 RAMP @ SIDEWALK
SCALE: 1/4"=1'-0"



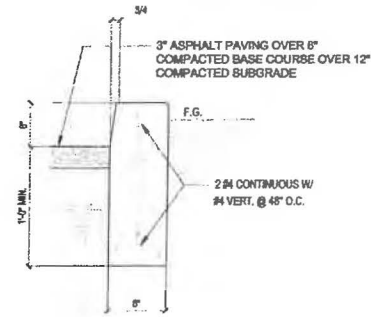
3 BICYCLE RACK
SCALE: 1/2"=1'-0"



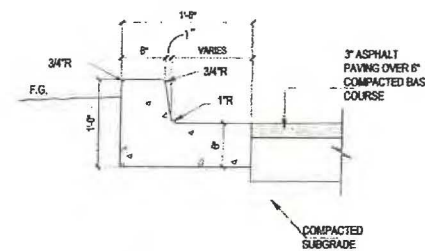
4 MOTOR CYCLE SIGN ELEVATION
SCALE: 1/2"=1'-0"



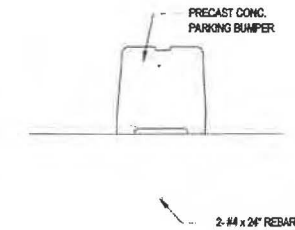
4 ACCESSIBLE SIDEWALK RAMP
SCALE: 1/4"=1'-0"



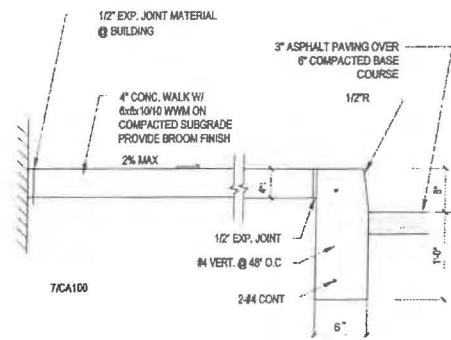
5 CURB DETAIL
SCALE: 1"=1'-0"



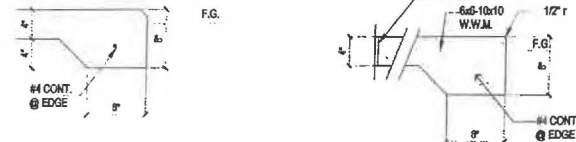
6 CURB AND GUTTER
SCALE: 1"=1'-0"



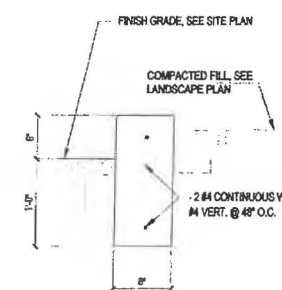
7 CONCRETE BUMPER
SCALE: 1"=1'-0"



8 CONCRETE WALK
SCALE: 1"=1'-0"



9 CONCRETE SIDEWALK EDGE
SCALE: 1"=1'-0"



10 CONCRETE CURB AT PLANTER
SCALE: 1"=1'-0"



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
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Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
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ALBUQUERQUE, NM 87111



ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

SITE DETAILS

DRAWING NO.

A1.3

GENERAL NOTES

- COORDINATION: ALL ELECTRICAL WORK SHALL BE COORDINATE THROUGH THE DESIGN/BUILD CONTRACTOR.
- CODE COMPLIANCE: ALL ELECTRICAL WORK SHALL COMPLY WITH OR SURPASS THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, NFPA 70, AND THE LATEST EDITION OF NESC. ALL WORK SHALL COMPLY WITH ALL APPLICABLE SERVING POWER AND COMMUNICATION UTILITIES CODES, ORDINANCES, RULES AND REGULATION.
- MEET ALL REQUIREMENTS: ALL WORK SHALL MEET THE REQUIREMENTS OF THE AFORE MENTIONED CODES AND ALL CODES AND STANDARDS REFERENCED IN THE SPECIFICATION. ALTHOUGH THE DETAILS OF SUCH WORK MAY NOT BE SHOWN ON THE DRAWINGS OR REFERENCED IN THE SPECIFICATIONS.
- CONFLICTS: CONFLICTS BETWEEN THE APPLICABLE CODES, STANDARDS AND THE PLANS AND SPECIFICATION MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- CONFLICTING STANDARDS: IN THE CASE OF CONFLICT BETWEEN THE CONTRACTOR DOCUMENTS AND A GOVERNING CODE OR ORDINANCE, THE MORE STRINGENT STANDARD SHALL APPLY.
- ACCEPTANCE OF CONDITIONS: INITIATING WORK CONSTITUTES SUBCONTRACTOR ACCEPTANCE OF THE EXISTING CONDITION ASSOCIATED WITH THE WORK IN QUESTION.
- TRADE LICENSE: THE ELECTRICAL SUBCONTRACTOR SHALL BE CURRENTLY LICENSED TO PERFORM THIS WORK WITHIN THE JURISDICTION HAVING AUTHORITY. ALL REQUIRED LICENSING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.
- SAFE: THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR OVERSEEING THE SAFE OPERATION OF ALL EQUIPMENT IN HIS USE. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL OF THE EQUIPMENT IN HIS USE IN A SAFE CONDITION. KEEP DEAD FRONT EQUIPMENT IN PLACE WHEN EQUIPMENT IS ENERGIZED. CONDUCT ALL CONSTRUCTION OPERATION IN A SAFE MANNER FOR EMPLOYEES AS WELL AS OTHER WORK PERSONS OR ANYONE VISITING THE JOB SITE. PROVIDE BARRIERS, FLAGS, TAPE, ETC. AS REQUIRED FOR SAFETY. ALL ELECTRICIANS MUST PERFORM THEIR WORK IN ACCORDANCE TO THE GUIDELINES SET FORTH BY THE NFPA 70E.
- PROFESSIONALISM AND APPEARANCE OF WORK: WORKMANSHIP OF ALL INSTALLATION SHALL BE IN ACCORDANCE WITH ACCEPTED PRACTICES OF THIS TRADE. INSTALLATION METHODS SHALL CONFORM TO MANUFACTURERS' SPECIFICATION. THE SUBCONTRACTOR TRADE FOR THE DURATION OF THE JOB WITH QUALIFIED JOURNYSMEN AND EMPLOYEES IN THIS TO COMMUNICATE WITH AND KEEP THE DESIGN/BUILD CONTRACTOR APPRAISED OF CHANGES OR CLARIFICATIONS.
- WORKMANSHIP: ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN A NEAT, DURABLE, AND WORKMANLIKE MANNER.
- STORAGE AND EQUIPMENT STORAGE OF EQUIPMENT FOR THE JOB IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR AND SHALL BE SCHEDULED FOR DELIVERY TO THE SITE AS THE EQUIPMENT IS REQUIRED. DAMAGE TO THE EQUIPMENT DELIVERED TO THE SITE OR IN TRANSPORT TO THE JOB SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
- UTILITY COORDINATION: ELECTRICAL SUBCONTRACTOR SHALL CONTACT ALL UTILITIES AND VERIFY ALL UTILITY REQUIREMENTS PRIOR TO COMMENCING OR ORDERING ANY MATERIALS. WHATSOEVER CONFLICTS BETWEEN UTILITY REQUIREMENTS AND THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION OR ORDERING ANY MATERIALS. WHATSOEVER SUBCONTRACTOR SHALL CALL FOR A PRE-CONSTRUCTION FACE-TO-FACE MEETING WITH THE UTILITY COMPANIES TO REVIEW REQUIREMENTS AND PLANS.
- METHODS OF CONSTRUCTION: UNLESS OTHERWISE NOTED OR SHOWN, THESE DRAWINGS AND SPECIFICATIONS DO NOT INDICATE METHODS OF CONSTRUCTION. THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFE WORK PRACTICES.
- THE EXACT LOCATION AND THE ARRANGEMENTS OF ALL PARTS SHALL BE DETERMINED AS THE WORK PROGRESSES. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND FUNCTIONAL ELECTRICAL SYSTEM.
- INCIDENTAL ITEMS: INCIDENTAL ITEMS NOT INDICATED ON DRAWINGS, NOT MENTIONED IN THE SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO BELONG TO THE WORK DESCRIBED OR NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS TOUGH ITEMIZED HERE IN EVERY DETAIL.
- DAMAGE RESPONSIBILITY: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOSS OR DAMAGE CAUSED BY HIM OR HIS WORKMEN TO THE FACILITY DURING THE COURSE OF CONSTRUCTION, AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING OR REPLACING AS REQUIRED TO INSURE RESTORATION TO ORIGINAL CONDITION.
- COMPLETE AND FUNCTIONAL SYSTEM: SUBCONTRACTOR SHALL FURNISH MATERIALS, TOOLS, SERVICES, LABOR, ETC. FOR A COMPLETE AND FULLY FUNCTIONAL ELECTRICAL INSTALLATION UNLESS OTHERWISE NOTED ON PLANS.
- COORDINATION WITH OTHER TRADES: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL INSTALLATION WITH ALL OTHER TRADES TO AVOID ANY CONFLICTS.
- SUBCONTRACTOR SHALL DETERMINE EXACT LOCATION IN THE FIELD. FEEDERS SHALL NOT BE INCREASED IN LENGTHS SHOWN WITHOUT ENGINEERING APPROVAL.
- EQUIPMENT OUTDOOR RATINGS: ALL ELECTRICAL EQUIPMENT EXPOSED OR INSTALLED OUTDOORS SHALL BE NEMA 3R (WEATHER PROOF) OR NEMA 4 (WET LOCATION) RATED.
- SUBMITTAL /SHOP DRAWINGS: ALL SUBMITTAL /SHOP DRAWINGS SHALL CONTAIN COMPLETE INFORMATION NECESSARY TO DETERMINE THAT THE ITEM IS APPROPRIATE FOR THE PURPOSE INTENDED. ALL SUBMITTAL /SHOP DRAWINGS SHALL CONTAIN THE MANUFACTURERS CONTACT PERSON AND CURRENT TELEPHONE NUMBER.
- INDICATED LOCATION OF EQUIPMENT: LOCATION OF EQUIPMENT, CONDUIT, AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE CIVIL AND ARCHITECTURAL DRAWINGS.
- IRTL LISTING: ALL ELECTRICAL EQUIPMENT SHALL BE NEW, IN FIRST CLASS CONDITION AND LISTED BY NATIONALLY RECOGNIZED TESTING LABORATORY (IRTL) SUCH AS U.L. IF SUCH A LISTING EXIST FOR COMPARABLE EQUIPMENT.
- GENERAL SUBCONTRACTOR WORK: ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR WORK OF A GENERAL CONTRACTING NATURE SPECIFIED ON ELECTRICAL PLANS INCLUDING, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:
 - CONCRETE FOOTINGS INCLUDING REBAR AND MOUNTING BOLTS FOR PLACEMENTS OF LIGHTS FIXTURE POLES.
 - TRENCHING AND BACKFILLING OF TRENCHES.
 - SUPPLY AND INSTALLATION OF ALL EQUIPMENT PADS AND SPULCE BOXES UNLESS NOTED OTHERWISE.
- WORKING SPACE: WORKING SPACE SHALL MEET OR EXCEED THE NEC REQUIREMENT FOR ALL ELECTRICAL EQUIPMENT. (SEE NFPA 70-2005, SEC 110-25)
- EQUIPMENT ACCESSIBILITY: IT SHALL BE THE RESPONSIBILITY OF SUBCONTRACTOR TO SEE THAT ALL THE ELECTRICAL EQUIPMENT SHALL BE MADE ACCESSIBLE, SUCH AS JUNCTION BOXES, PULL BOXES, PANELBOARDS, SWITCHES, CONTROLS AND SUCH OTHER APPARATUS AS MAY REQUIRE MAINTENANCE AND OPERATION FROM TIME TO TIME.

- EQUIPMENT PROTECTION: AFTER INSTALLATION, ELECTRICAL EQUIPMENT SHALL BE PROTECTED TO PREVENT DAMAGE DURING THE CONSTRUCTION PERIOD. OPENINGS IN CONDUITS AN BOXES SHALL BE CLOSED TO PREVENT THE ENTRANCE OF FOREIGN MATERIALS.
- AS BUILD RECORD DRAWINGS: PROVIDE RECORD DRAWING TO THE D/B CONTRACTING OFFICER WITH ALL CHANGES NOTED THEREON AT THE COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE SIGN AND DATED BY SUBCONTRACTOR.
- SHOP DRAWINGS: SUBMIT SHOP DRAWINGS AND MATERIALS LIST FOR REVIEW PRIOR TO COMMENCING ANY WORK. ALL EQUIPMENT TO BEAR U.L. LABEL OR THAT OF ANOTHER ACCEPTABLE TESTING LABORATORY WHEN SUCH LISTINGS EXIST FOR COMPARABLE EQUIPMENT. SHOP DRAWING MUST BE STAMPED BY THE SUBCONTRACTOR FOR CONFORMANCE PRIOR TO SUBMITTAL.
- DIGGING PERMITS AND OUTAGE REQUESTS: ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- DIGGING PERMITS AND OUTAGE REQUESTS: ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- ATTRACTIVE NUISANCES: OPEN TRENCHES, ELECTRICAL EQUIPMENT AND DEVICES SHALL NOT PRESENT AN ATTRACTIVE NUISANCE TO CHILDREN. ALL ELECTRICAL EQUIPMENT SHALL BE TOTALLY INACCESSIBLE, DEAD FRONT AND LOCKABLE.
- ROUTING AND LOCATION: THE ROUTING OF THE NEW UNDERGROUND FEEDERS SHALL BE APPROVED BY AND COORDINATED WITH THE DESIGN/BUILD CONTRACTOR. EXCEPT FOR CROSSINGS, ELECTRICAL AND COMMUNICATIONS UTILITIES SHALL NOT BE LOCATED UNDER STREETS.
- UPON COMPLETION OF WORK THE SUBCONTRACTOR SHALL PROVIDE THE D/B CONTRACTOR WITH ONE (1) SPARE SET OF FUSES OF EACH SIZE AND TYPE INSTALLED IN THE PROJECT.
- THE SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE DESIGN/BUILD CONTRACTOR FOR REMOVING, LOCATING, CAPPING AND OR RELOCATION OF ANY ELECTRIC FACILITIES WHICH ARE NOT TO REMAIN IN SERVICE AND TO INSTALL FACILITIES AS REQUIRED TO MAINTAIN CONTINUOUS SERVICE TO DWELLING UNITS OR BUILDING STRUCTURES THAT WILL REMAIN.
- NON-METALLIC WEATHERPROOF ENCLOSURES SHALL BE CONSTRUCTED OF GLASS FIBER REINFORCED POLYESTER RESIN, WITH PIGMENTED HEAT RESISTANT HIGH GLOSS SURFACING SEALER ON THE INTERIOR, WITH PIGMENTED, ULTRAVIOLET LIGHT STABILIZED WEATHER RESISTANT SURFACE COAT ON THE EXTERIOR. EACH SECTION SHALL BE MOLDED IN ONE PIECE. SECTIONAL COMPONENTS JOINED BY BOLTING, WELTING OR USE OF ADHESIVES ARE NOT ACCEPTABLE. ALL HARDWARE SHALL CONSIST OF TYPE 304 STAINLESS STEEL AND SHALL INCLUDE PENTAGONAL BOLTS AND PROVISIONS FOR PADLOCKING. DIMENSIONS OF ENCLOSURES SHALL BE AS REQUIRED TO ACCOMMODATE EQUIPMENT AND/OR FUNCTIONS SPECIFIED, BUT IN NO CLASS SMALLER THAN INDICATED.
- PROVIDE LOCKS AT ALL ELECTRICAL ENCLOSURES SUCH AS TRANSFORMERS, FUSE AND SPULCE CABINETS. LOCKS ARE TO BE COMPATIBLE WITH EXISTING LOCKS USED BY BASE ELECTRICAL.
- PROVIDE ENGRAVED PLASTIC NAME PLATES FOR SWITCHBOARDS, PANELS, TERMINAL CABINETS, AND ANY OTHER MAJOR ELECTRICAL ITEM. SCREW-ON ATTACHMENT ONLY. NO ADHESIVE.
- EQUIPMENT LOCATIONS ARE APPROXIMATE. EXACT ROUTING AND EQUIPMENT LOCATION IS TO BE COORDINATED WITH OTHER TRADES AND APPROVED BY THE D/B CONTRACTOR WHERE SHOWN. EQUIPMENT IS TO BE CLUSTERED. COORDINATE CLUSTERED LOCATIONS WITH LANDSCAPE CONTRACTOR FOR SHIELDING. MAINTAIN WORKING CLEARANCES. A MINIMUM DISTANCE OF 4' IS REQUIRED BETWEEN PRIMARY ELECTRICAL LINES AND WET UTILITIES.
- TRENCHING IS TO AVOID DRIP LINES ON TREES AS SHOWN ON PLANS. ALL TRENCHING WITHIN DRIP LINES TO BE APPROVED BY THE D/B CONTRACTOR.
- STAKING OF ELECTRICAL EQUIPMENT PADS: ALL ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, SWITCHES, METERS, JUNCTION CABINETS, LIGHTING POLE BASES, ETC. ARE TO BE STAKED BY THE ASSIGNED PROJECT SURVEYORS FOR FINAL ELEVATION AND LOCATION OF PADS OR ANCHORS. ELEVATIONS ARE TO BE DETERMINED BY THE SITE CIVIL DESIGN ENGINEER. IN CONSIDERANCES AND INTERFERENCES ARE TO BE REPORTED TO THE D/B CONTRACTOR. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT EQUIPMENT PAD ELEVATIONS ARE AS STAKED.
- STAKING OF ELECTRICAL TRENCHES: AFTER ELECTRICAL TRENCHES ARE MARKED FOR ROUTING BY THE ELECTRICAL SUBCONTRACTOR, ARRANGEMENTS ARE TO BE MADE FOR THE ASSIGNED PROJECT SURVEYORS TO LOCATE THE MARKED ROUTE AND TRANSFER THIS INFORMATION TO THE SITE CIVIL DESIGN ENGINEER TO ASSIGN FINISH GRADES. THESE FINISH GRADES SHALL BE TRANSFERRED BACK TO THE ASSIGNED PROJECT SURVEYOR TO PROVIDE TRENCH STAKING INDICATING FINAL GRADE TO INSURE THAT MINIMUM BURIAL DEPTHS ARE MAINTAINED. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT TRENCH DEPTHS RELATIVE TO FINISH GRADE ARE AS STAKED.
- ALL SPARE/EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL LINE.
- INSTALLATION GUIDELINES SHALL CONFIRM TO CURRENT NFPA 70 NEC.
- ALL EQUIPMENT INCLUDING POLE FIBERS, PAD MOUNTED GEAR, LIGHT POLES AND ISC, EQUIPMENTS SHALL BE GROUNDED.
- EQUIPMENT GROUNDDING: ONE 3/4 INCH BY 10 FOOT COPPER CLAD GROUND ROD SHALL BE INSTALLED IN A CONDUIT WINDOW OF EACH EQUIPMENT PAD (WHERE TRANSFORMER PADS HAVE MORE THAN ONE CONDUIT WINDOW). THE GROUND RODS SHALL BE INSTALLED IN SECONDARY/LOW VOLTAGE WINDOW). ALL UNDERGROUND GROUNDDING CONNECTIONS SHALL BE EXOTHERMIC TYPE CONNECTIONS.

SITE LIGHTING GENERAL NOTES:

- CONTRACTOR SHALL CO-ORDINATE WITH OWNER/CIVIL ENGINEER FOR SITE LIGHTING DETAILS. BASE4 HAS PROPOSED PANEL FOR SITE POWER CONTRACTOR SHALL USE THAT FOR FUTURE REFERENCE.
- LIGHTING NOT DESIGNATED FOR DUST-TO-DAWN OPERATION SHALL BE CONTROLLED BY EITHER A COMBINATION OF A PHOTOSENSOR AND A TIME SWITCH, OR AN ASTRONOMICAL TIME SWITCH. LIGHTING DESIGNATED FOR DESK-TO-DAWN OPERATION SHALL BE CONTROLLED BY AN ASTRONOMICAL TIME SWITCH OR PHOTOSENSOR. ALL TIME SWITCHES SHALL RETAIN PROGRAMMING AND THE TIME SETTING DURING LOSS OF POWER FOR A PERIOD OF AT LEAST 10 HOURS. LIGHTING DESIGNATED TO OPERATE MORE THAN 2000 HOURS PER YEAR FOR UNCOVERED PARKING AREAS SHALL BE EQUIPPED WITH MOTION SENSORS THAT WILL REDUCE THE LUMINAIRES POWER BY 33 PERCENT OR TURN OFF ONE THIRD THE LUMINAIRES WHEN NO ACTIVITY IS DETECTED.
- POLE BASE COVERS ARE TO BE INSTALLED SO THAT THE BASE COVER FITS FLUSH TO THE TOP OF THE CONCRETE BASE. LEVELING SHIMS AND NUTS SHALL NOT CAUSE A GAP BETWEEN THE POLE BASE AND THE BASE COVER.
- ALL WIRING IS TO BE #12 AWG AND #12 AWG GROUND MINIMUM THIN/THWN (90 DEG. C) IN 1" SCHEDULE 40 PVC (MINIMUM SIZE). TRENCH 30" DEEP. CLEAN BACKFILL USING SITE MATERIALS CAN BE USED. PROVIDE PREMIUM BACKFILL WHERE SITE MATERIALS ARE NOT ACCEPTABLE FOR USE.

LEGENDS

- CONDUIT FOR POWER
- COMMUNICATIONS CONDUIT
- CONDUIT FOR BUILDING SIGNAGE
- PANEL
- NEMA 5-20R DUPLEX RECEPTACLE MOUNTED AT 15" AFF ON CENTER, UNO.
- IG = ISOLATED GROUND
- GF = GROUND FAULT CIRCUIT INTERRUPTER
- WF = GROUND FAULT CIRCUIT INTERRUPTER
- AC = MOUNTED 4" ABOVE COUNTER
- TRANSFORMER
- GENERATOR
- MSB
- JUNCTION BOX

ABBREVIATIONS

- A AMP
- AFC AVAILABLE FAULT CURRENT
- AIC AMPERES INTERRUPTING CAPACITY
- AFF ABOVE FINISHED FLOOR
- ADA AMERICAN DISABILITIES ACT
- AT AMP TRIP
- ATS AUTOMATIC TRANSFER SWITCH
- AWG AMERICAN WIRE GAUGE
- BRKR BREAKER
- C CONDUIT OR CONDUCTOR
- CB AS APPLICABLE
- CBK CIRCUIT BREAKER
- CKT CIRCUIT
- CLG CEILING
- CO CONDUIT ONLY
- CPT CONTROL POWER TRANSFORMER
- DTTS DOUBLE THROW TRANSFER SWITCH
- EC EMPTY CONDUIT
- EF EXHAUST FAN
- ELEC ELECTRICAL/ELECTRIC
- EM EMERGENCY
- FA FIRE ALARM
- FACP FIRE ALARM CONTROL PANEL
- FLOOR? FLOURESCENT
- G.GND GROUND
- GEN GENERATOR
- GF,GFCCI GROUND FAULT (CIRCUIT) INTERRUPTER
- HH HAND HOLE/HIGH INTENSITY
- HD DISCHARGE
- HOA HAND/OFF/AUTO
- HP HORSE POWER
- HWH HOT WATER HEATER
- IG ISOLATED GROUND
- INCAN INCANDESCENT
- JB JUNCTION BOX
- KOM THOUSAND CIRCULAR MILES
- KVA KILOVOLT - AMPERE
- KW KILOWATT
- RWH KILOWATT HOUR
- LIT LIGHTING
- LTS LIGHTS
- MCB MAIN CIRCUIT BREAKER
- MCC MOTOR CONTROL CENTER
- MDF MAIN DISTRIBUTION PANEL
- MH METAL HALIDE OR MAN-HOLE-AS APPLICABLE
- MLO MAIN LUG ONLY
- N NEUTRAL
- NEC NATIONAL ELECTRICAL CODE
- NF NON FUSED
- NFPA NATIONAL FIRE PROTECTION ASSOCIATION
- NL NIGHT LIGHT (UNSWITCHED CKT.)
- P POLE
- PB PULL BOX
- PH PHASE
- PNL PANEL
- PVC POLYVINYL CHLORIDE
- PWR POWER
- RCPT RECEPTACLE
- RGS RIGID GALVANIZED STEEL
- SF SUPPLY FAN
- SH SHIELDED
- SPD SURGE PROTECTIVE DEVICE
- SPDT SINGLE POLE, DOUBLE THROW
- SPST SINGLE POLE, SINGLE THROW
- SRWC SERIES RATED AMPERES INTERRUPTING CAPACITY SWITCH
- SW STRUCTURED WIRING BOX
- TELE TELEPHONE
- TTB TELEPHONE TERMINAL BOARD
- UG UNDERGROUND
- UPS UNINTERRUPTABLE POWER SUPPLY UNLESS OTHERWISE NOTED
- UCON UNLESS OTHERWISE NOTED
- V VOLT
- W WATTS
- WP WEATHERPROOF
- XFMR TRANSFORMER



MANUFACTURER - EATON MCGRAW-EDISON
 CATALOG - GLEON-AF-03-LED-E1-T3-BK
 INPUT WATTAGE - 166 W
 COLOR TEMP - BLACK, 3000K
 FIXTURE - ALZ-01,ALZ-01A

MANUFACTURER - EATON/INVUE
 CATALOG - ABB-B2-LED-42-D1-S-DP
 INPUT WATTAGE - 32 W
 COLOR TEMP - DARK PLATINUM, 4000K
 FIXTURE - ALZ-02



BASE4
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Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
 9201 MONTGOMERY BLVD, NE BLDG 1
 ALBUQUERQUE, NM 87111



element
 REDEFINED BY INNOVATION

ELEMENT
 ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE	2020.01.16
DRAWN BY	SG
CHECKED BY	DH
SCALE	AS NOTED
PROJECT NO.	B4 - 176 - 1901

SHEET NAME
 SITE LIGHTING NOTES
 AND ABBREVIATIONS

DRAWING NO.

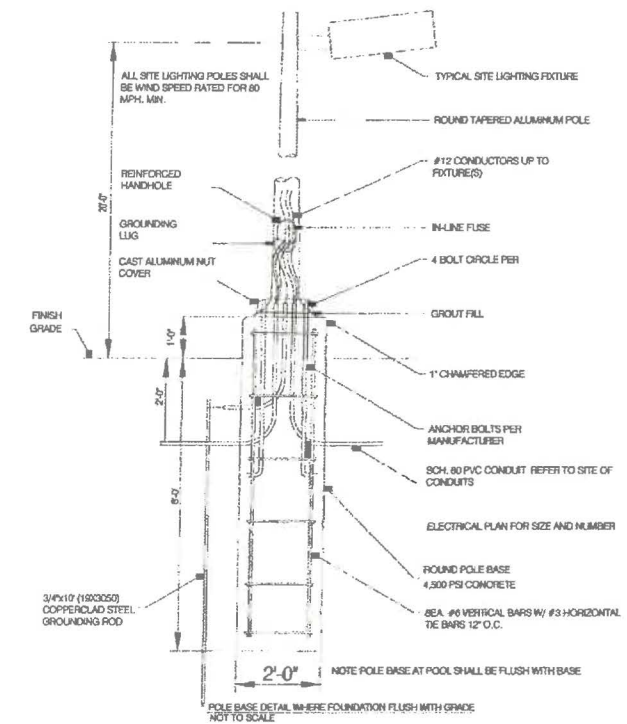
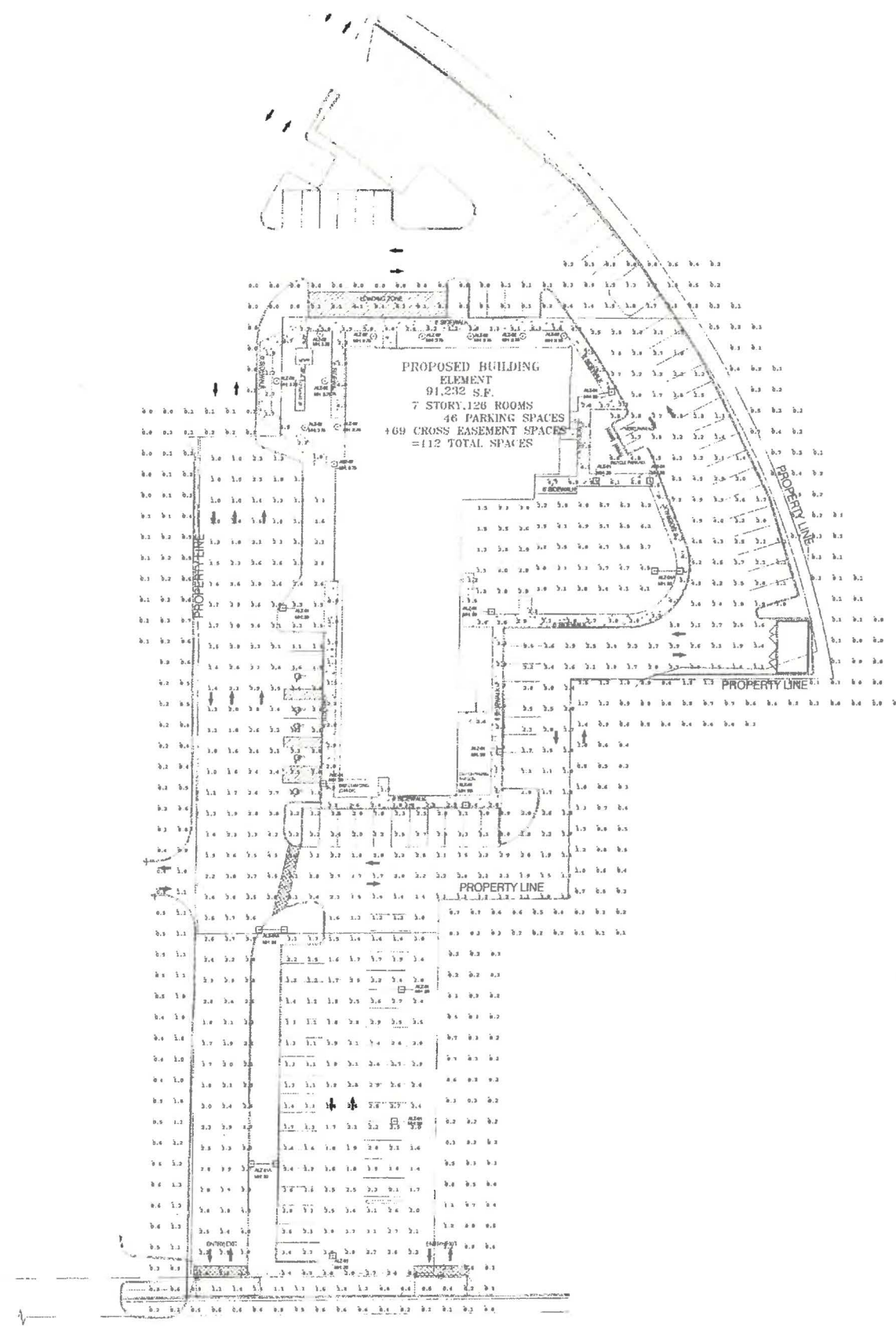
SL001

Seal

Owner:



ELEMENT
ALBUQUERQUE, NM



Calculation Summary

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Outdoor Patio	Illuminance	Fc	3.25	4.8	1.0	3.25	4.80
Outdoor Pool	Illuminance	Fc	6.54	12.2	3.0	2.18	4.07
Parking	Illuminance	Fc	3.94	11.2	1.0	3.94	11.20
Property Line	Illuminance	Fc	0.33	2.6	0.0	N.A.	N.A.
Side Walk	Illuminance	Fc	4.32	12.5	1.0	4.32	12.50

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Filename	Arm	Lum. Watts
☐	11	ALZ-01	SINGLE	N.A.	0.900	GLEON-AF-03-LED-E1-T3	GLEON-AF-03-LED-E1-T3.jes	2	166
○	11	ALZ-02	SINGLE	N.A.	0.900	ABB-B2-LED-D1-S	ABB-B2-LED-D1-S.jes	0	32
☐	3	ALZ-01A	BACK-BACK	N.A.	0.900	GLEON-AF-03-LED-E1-T3	GLEON-AF-03-LED-E1-T3.jes	2	166

NOTE: MOUNTING HEIGHTS ARE MENTIONED NEAR FIXTURES IN THE DRAWING USING ABBR, MH:XX.X.EG. MH:20 INDICATES A MOUNTING HEIGHT OF 20 FEET.

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.16

DRAWN BY SG

CHECKED BY DH

SCALE AS NOTED

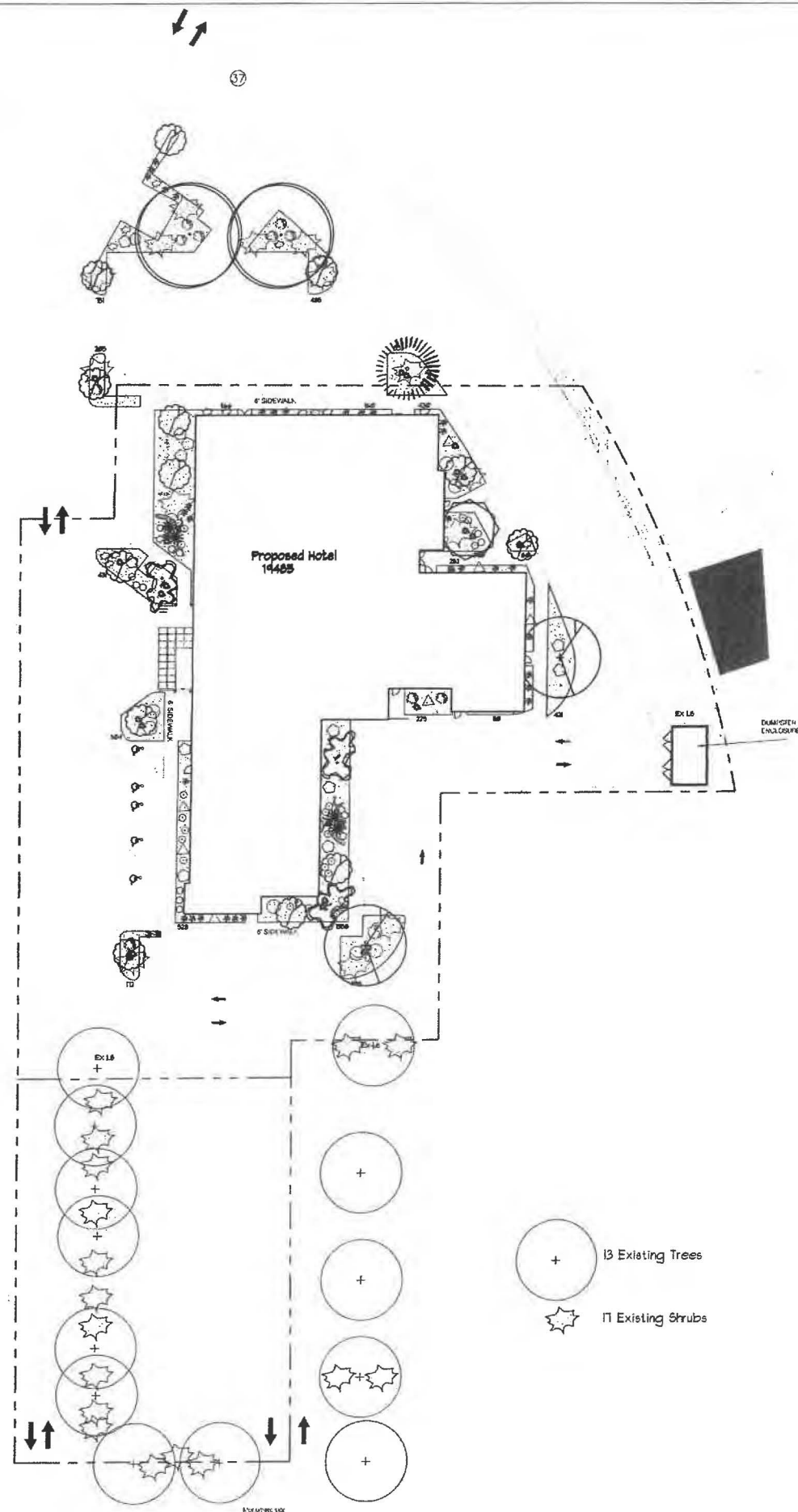
PROJECT NO. B4 - 176 - 1901

SHEET NAME

SITE PHOTOMETRICS
PLAN

DRAWING NO.

SL002



LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

2	2' cal	Chinese Pistache <i>Pistacia chinensis</i>	1225	2450 M
2	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	2025	4050 M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	675	675 M
3	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	400	1200 M
8	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	144	5675 M
1	5 Gal	Desert Willow <i>Chilopsis linearis</i>	675	1072 M

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	36	144 M
10	5 Gal	Indo Hawthorne <i>Raphiolepis indica</i>	25	250 M
34	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	136	M
14	5 Gal	Greyleaf Cotoneaster <i>Cotoneaster glaucophyllus</i>	25	350 M
1	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x1	49 343 M
2	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12	144 288 M
12	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	4x12	144 1728 M
18	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9 162 M
20	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	9 180 M
8	5 Gal	Fern Bush <i>Chamaebotria millefolium</i>	5x6	36 288 L
15	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4	12 180 L
26	2-3cf	Boulders Seat Height Boulders, buried 1/3		4843
883		Landscape Gravel / Filter Fabric Santa Fe Brown		
400		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose		

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas unless otherwise specified.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafin spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, primed in place. Netafin shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters, Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

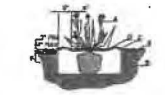
LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	66291
TOTAL BUILDING AREA (sf)	-19485
TOTAL LOT AREA (sf)	46806
LANDSCAPE REQUIREMENT	X .75
TOTAL LANDSCAPE REQUIRED (15%)	35104
TOTAL ON-SITE LANDSCAPE PROVIDED	8883
TOTAL LIVE GROUNDCOVER REQUIRED	24955
TOTAL LIVE GROUNDCOVER PROVIDED	4043



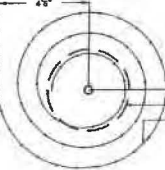
TREE PLANTING DETAIL

1. TREE SHALL BE PLACED OVERHUNG SIDE TO PREVENT WIND DAMAGE.
2. TOP OF ROOTBALL SHALL BE 2" ABOVE GROUND SURFACE AND SHALL BE REPRESENTED BY LINE. IF EXCEEDS 2" ABOVE GROUND SURFACE, THE EXCESS SHALL BE EXPOSED BY ONLY A MINOR AMOUNT OF SOIL.
3. PRIOR TO PLANTING ALL SOIL SHALL BE TESTED AND AMENDMENTS SHALL BE MADE FROM THE TEST. ALL PLANTING SHALL BE DONE BY THE END OF EACH WORK DAY OF THE PROJECT.
4. SOIL SHALL BE TESTED AND AMENDMENTS SHALL BE MADE FROM THE TEST.
5. SOIL SHALL BE TESTED AND AMENDMENTS SHALL BE MADE FROM THE TEST.

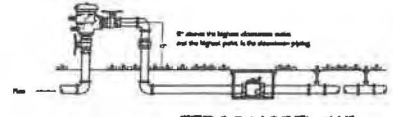
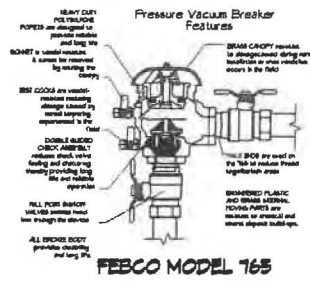


SHRUB PLANTING DETAIL

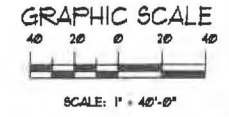
1. SHRUB SHALL BE PLACED OVERHUNG SIDE TO PREVENT WIND DAMAGE.
2. TOP OF ROOTBALL SHALL BE 2" ABOVE GROUND SURFACE AND SHALL BE REPRESENTED BY LINE. IF EXCEEDS 2" ABOVE GROUND SURFACE, THE EXCESS SHALL BE EXPOSED BY ONLY A MINOR AMOUNT OF SOIL.
3. PRIOR TO PLANTING ALL SOIL SHALL BE TESTED AND AMENDMENTS SHALL BE MADE FROM THE TEST. ALL PLANTING SHALL BE DONE BY THE END OF EACH WORK DAY OF THE PROJECT.
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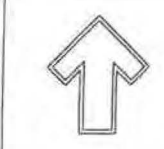
Netafin Spiral Detail



FEBCO MODEL 765



SCALE: 1" = 40'-0"



The Hilltop
17009 Edith NE
Albuquerque, NM 87115
Cell: (505) 764-8888
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denny@hilltoplandscape.com

Landscape Architect



October 30, 2019

2440 Louisiana
Proposed Hotel
Albuquerque, NM

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DRAWN BY
DATE
REVISION
DATE

SHEET #
LS-101

DRAINAGE NARRATIVE

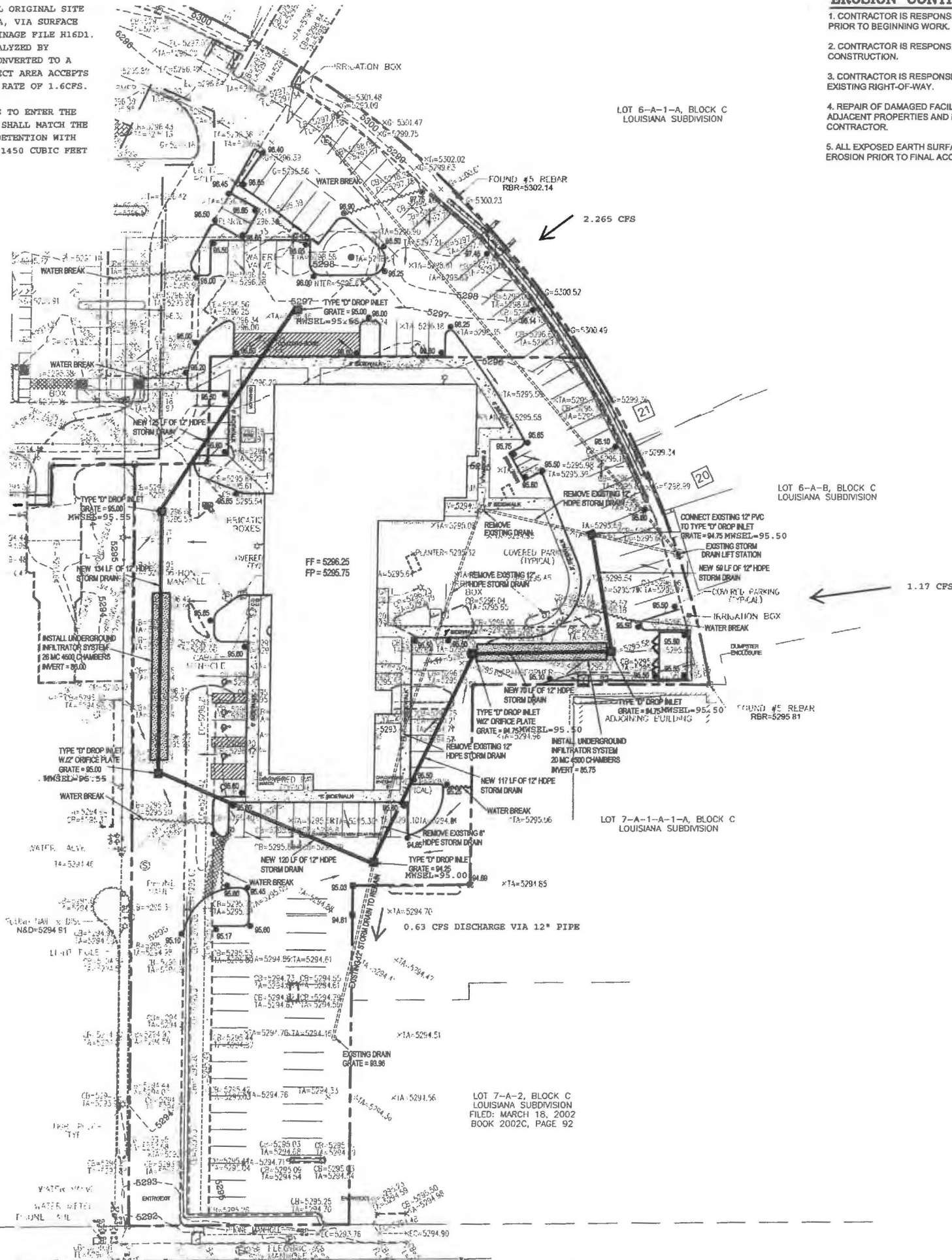
THE SITE IS A FULLY DEVELOPED PORTION OF AN EXISTING SITE. THE OVERALL ORIGINAL SITE WAS DESIGNED TO DISCHARGE TO AN EXISTING 60" STORM DRAIN IN LOUISIANA, VIA SURFACE AND UNDERGROUND CONDUITS. THE OVERALL SITE ANALYSIS IS LOCATED IN DRAINAGE FILE H16D1. THE PROJECT AREA WAS AT ONE TIME A RETENTION BASIN. THE SITE WAS REANALYZED BY BOHANAN HUSTON IN 1984 AND PARTIALLY CONSTRUCTED. THIS POND BASIN WAS CONVERTED TO A PARKING LOT DETENTION POND IN A REPORT BY LARRY REID IN 2004. THE PROJECT AREA ACCEPTS UPLAND FLOW FROM THE EAST. THE SITE IS ALLOWED TO DISCHARGE AT A PEAK RATE OF 1.6 CFS.

THIS DEVELOPMENT WILL CONTINUE TO ALLOW THE UPLAND FLOW OF 3.435 CFS TO ENTER THE SITE. THE SITE WILL CONTINUE TO GENERATE 6.30 CFS. THE BASIN DISCHARGE SHALL MATCH THE HISTORICAL RATE OF 0.63 CFS ALLOWED BY THE INTRODUCTION PARKING LOT DETENTION WITH SUBSURFACE INFILTRATION CHAMBERS. THE REQUIRED FIRST FLUSH VOLUME OF 1450 CUBIC FEET WILL BE CAPTURED BY THE UNDERGROUND CHAMBERS.

THE DEVELOPMENT OF THIS SITE WILL MATCH EXISTING CONDITIONS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
 LOTS 6-A-1, 5-A-2, 6-A-1-C-1-A AND 6-A-1-C-1-B, BLOCK 'C' LOUISIANA SUBDIVISION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

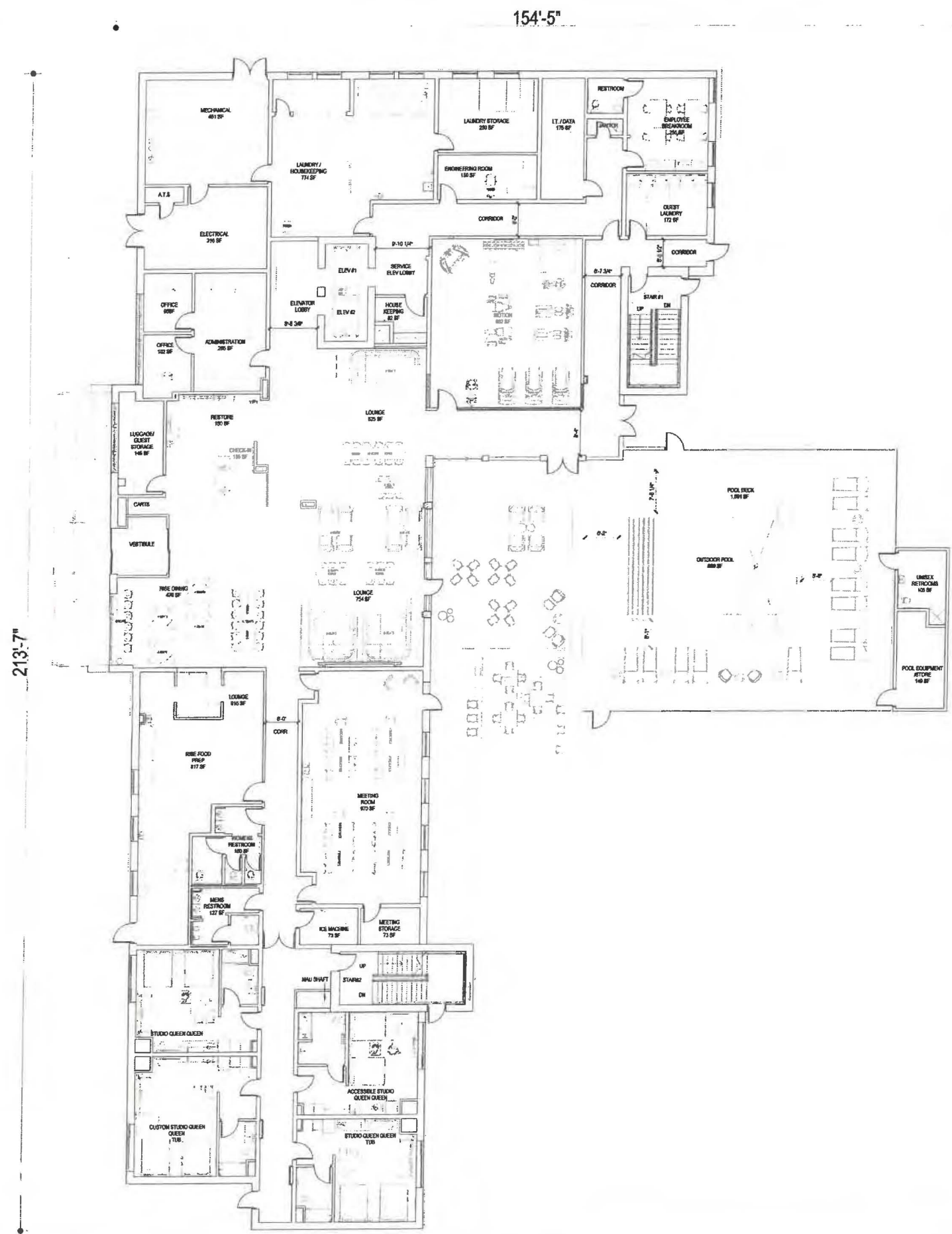
---	EXISTING CONTOUR	CS	= CURB
---	EXISTING INDEX CONTOUR	BPOND	= BOTTOM OF POND
XXXX	EXISTING SPOT ELEVATION	DRN	= DRAIN
XXXX	PROPOSED SPOT ELEVATION	EC	= EDGE OF CONCRETE
---	BOUNDARY	FF	= FINISHED FLOOR
---	ADJACENT BOUNDARY	FL	= FLOW LINE
---	EXISTING CURB AND GUTTER	G	= GROUND
---	PROPOSED WATER BREAK	N&D	= NAIL & DISC
---	PROPOSED HOPE STORM DRAIN	RMP	= RAMP
---	PROPOSED TYPE 'D' DROP INLET PER COA STD DRG	SASMH	= SANITARY SEWER MANHOLE
---	PROPOSED UNDERGROUND INFILTRATOR SYSTEM	TA	= TOP OF ASPHALT
		*	= LIGHT POLE
		CB	= CABLE BOX
		IB	= IRRIGATION BOX
		WV	= WATER VALVE
		WM	= WATER METER
		SSMH	= SANITARY SEWER MANHOLE
		SDMH	= STORM DRAIN MANHOLE
		EMH	= ELECTRIC MANHOLE
		PMH	= PHONE MANHOLE

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL 	2440 LOUISIANA BLVD. GRADING AND DRAINAGE PLAN	DRAWN BY DEM
	11/7/19	DATE 10-24-19
DAVID SOULE P.E. #14822		SHEET # C1
		JOB #

LOT 7-A-2, BLOCK C LOUISIANA SUBDIVISION
 FILED: MARCH 18, 2002
 BOOK 2002C, PAGE 92



ROOM TYPE	ROOM MATRIX						TOTAL	%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	6TH			
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
CUSTOM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		FLOOR AREA (SF)	
SHOWER	107	85%	15,224
TUB	12	10%	14,342
ACC. TUB	0	0%	14,342
ACC. ROLL IN SHOWER	2	2%	14,342
TRANSFER SHOWER	5	4%	14,342
TOTAL	126	100%	91,232



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33498
www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



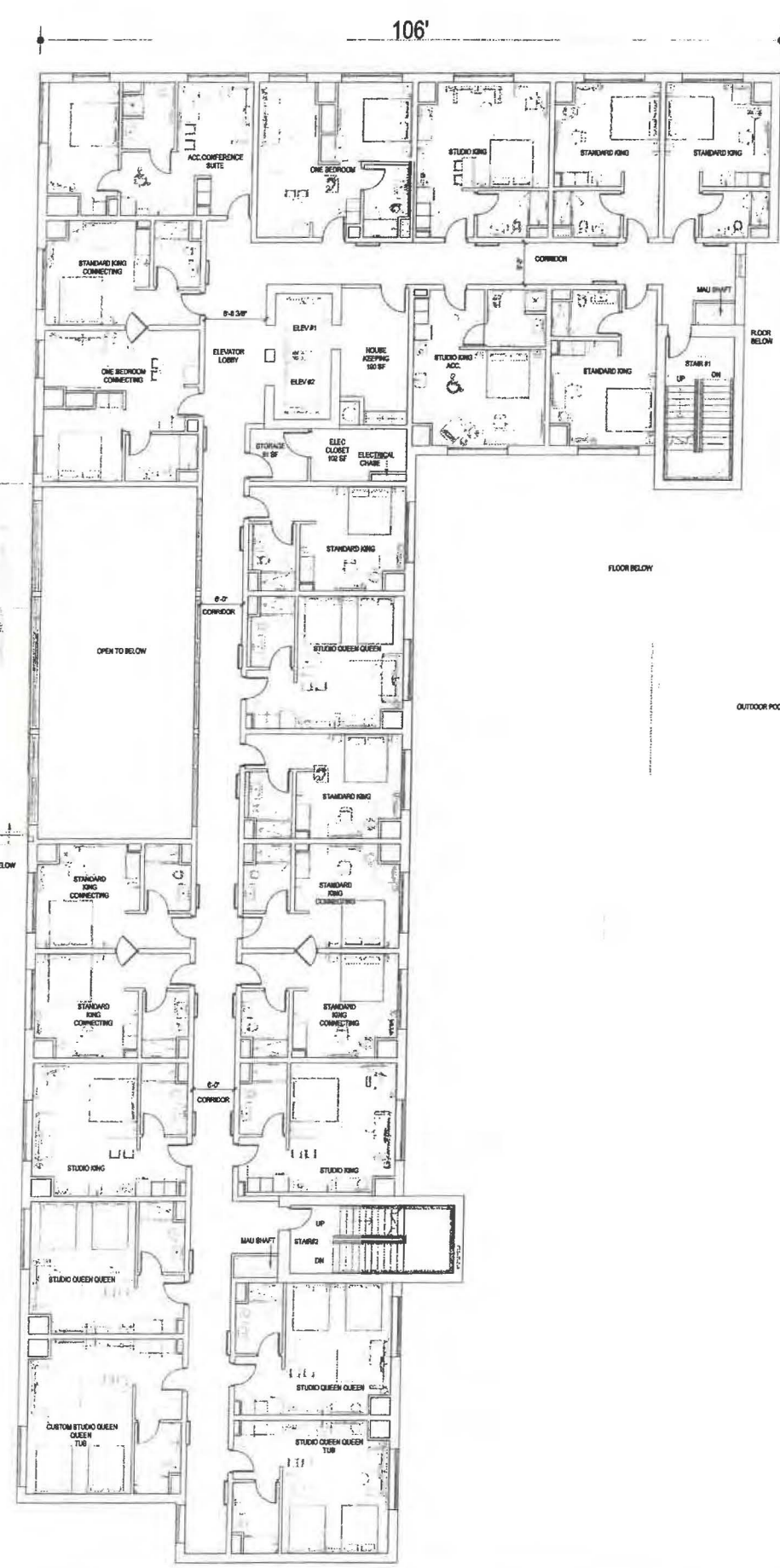
ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE	2020.01.17
DRAWN BY	SG
CHECKED BY	DH
SCALE	AS NOTED
PROJECT NO.	B4 - 176 - 1901
SHEET NAME	

FLOOR PLANS

DRAWING NO.
A2.1



ROOM TYPE	ROOM MATRIX						TOTAL	%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	6TH			
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	0	1	0	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Owner:



ALLEN SIGMON REAL ESTATE GROUP
9201 MONTGOMERY BLVD, NE BLDG 1
ALBUQUERQUE, NM 87111



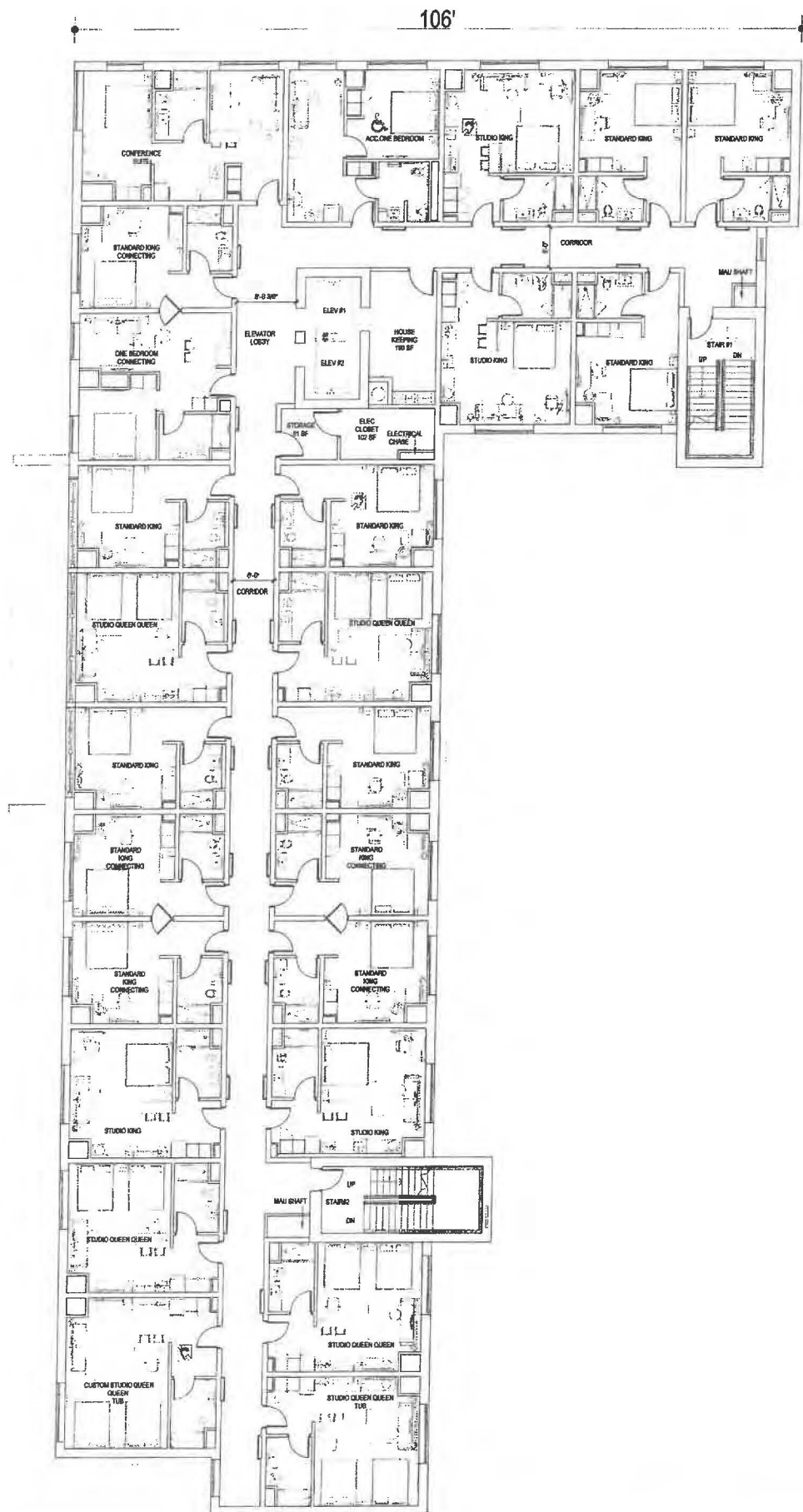
ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17
DRAWN BY SG
CHECKED BY DH
SCALE AS NOTED
PROJECT NO. B4 - 176 - 1901
SHEET NAME

FLOOR PLANS

DRAWING NO.
A2.2



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ACC. ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



BASE4
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www.base-4.com

Seal

Owner:



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ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

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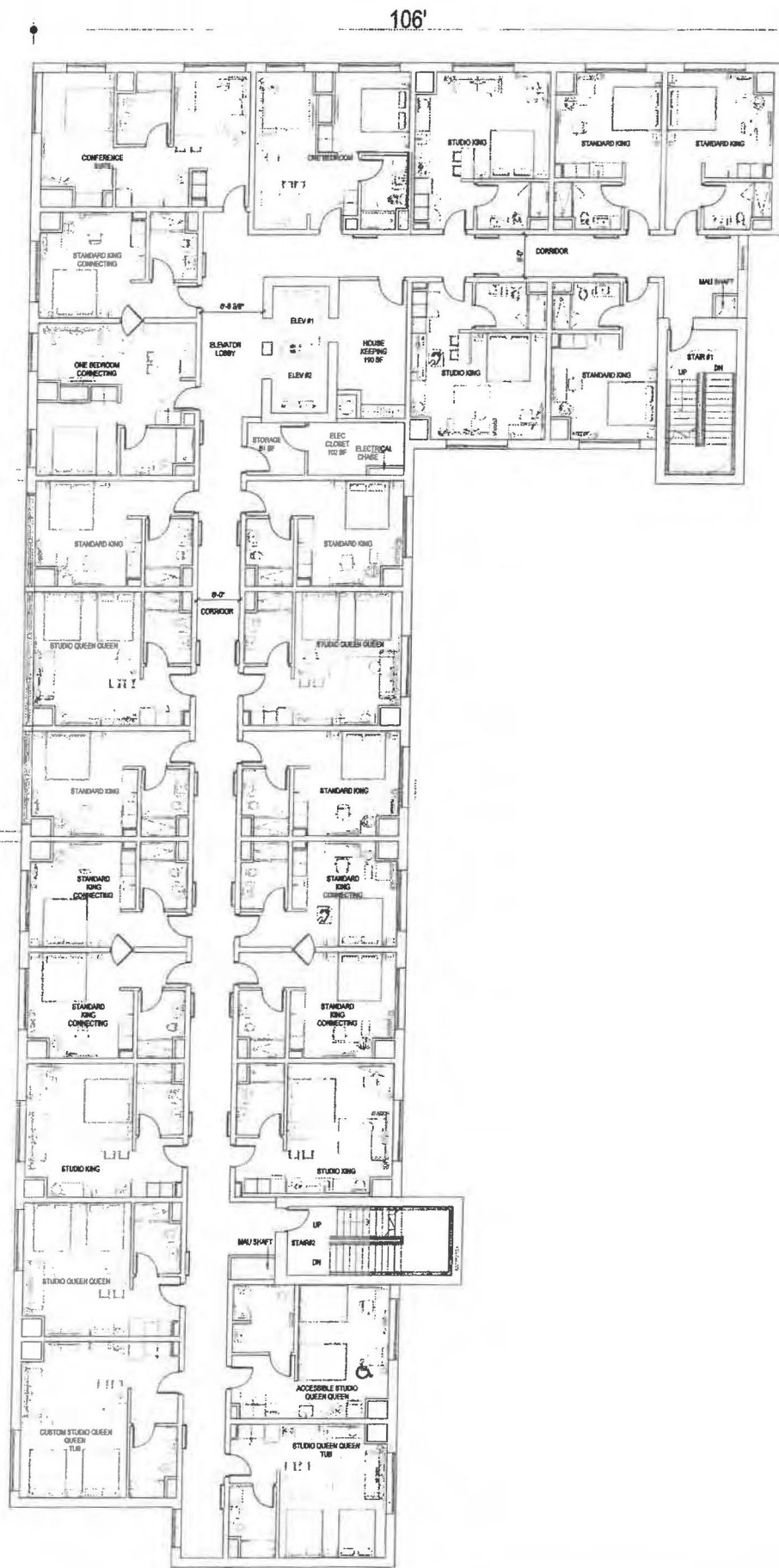
SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

FLOOR PLANS

DRAWING NO.
A2.3



ROOM MATRIX										
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%		NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	68%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%		1
STANDARD KING CONN.	0	5	5	5	5	25	25	20%		25
COMMONS KING A	0	0	0	0	3	3	6	5%		6
COMMONS KING B	0	0	0	0	0	1	1	1%		1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%		1
STUDIO KING	0	3	4	4	4	4	19	15%		19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%		1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%		22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%		12
CUSTOM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12	
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4	
ONE BEDROOM	0	1	0	1	1	1	4	3%	4	
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5	
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1	
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4	
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1	
GRAND TOTAL	4	22	25	25	25	25	126	100%	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



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ELEMENT
ALBUQUERQUE, NM

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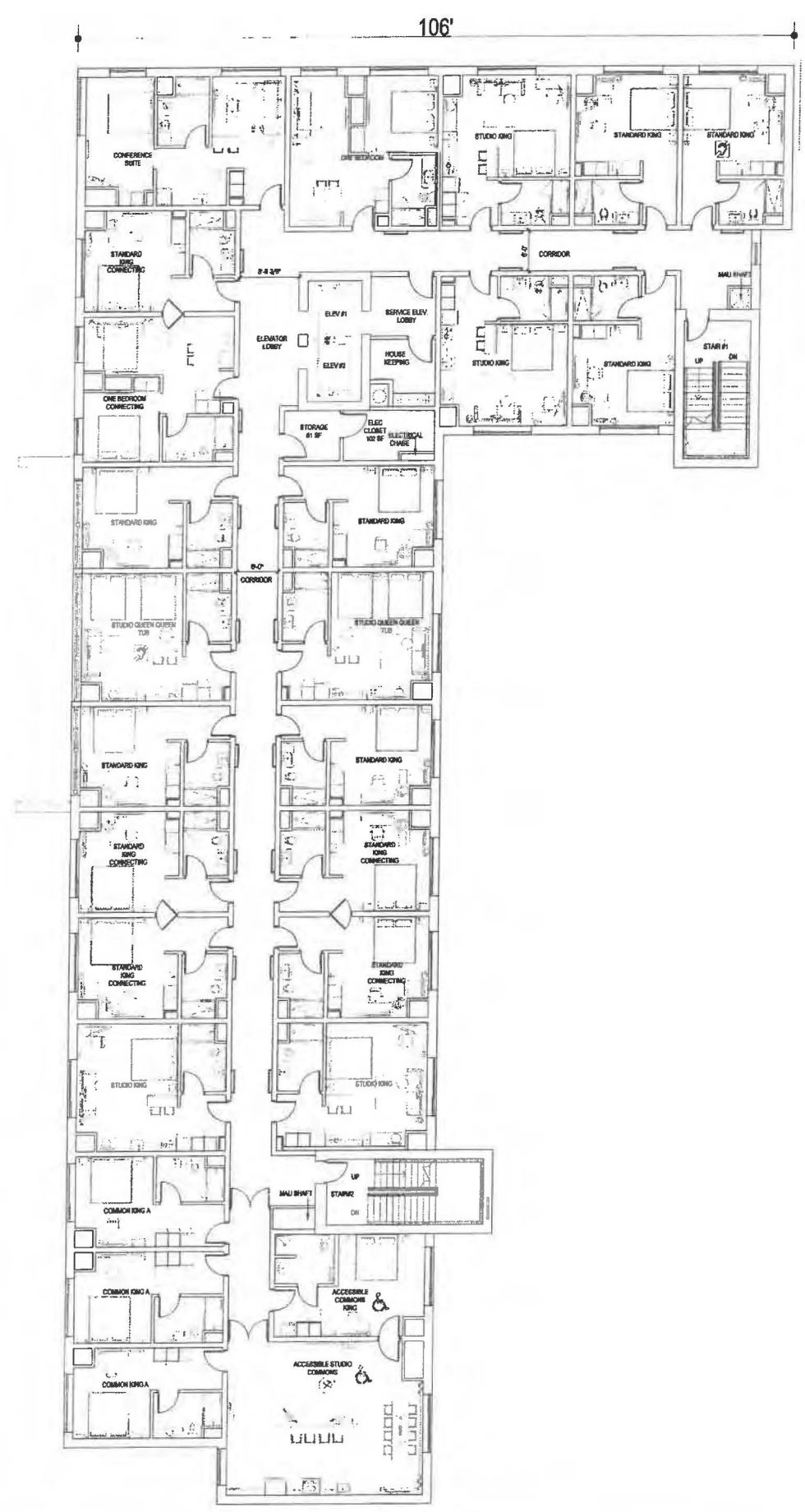
SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

FLOOR PLANS

DRAWING NO.
A2.4



ROOM MATRIX										
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS	
STANDARD KING	0	5	7	7	7	6	32	25%	32	
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1	
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25	
COMMONS KING A	0	0	0	0	3	3	6	5%	6	
COMMONS KING B	0	0	0	0	0	1	1	1%	1	
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1	
STUDIO KING	0	3	4	4	4	4	19	15%	19	
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1	
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22	
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12	
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12	
ACC.STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4	
ONE BEDROOM	0	1	0	1	1	1	4	3%	4	
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5	
ACC.ONE BEDROOM	0	0	1	0	0	0	1	1%	1	
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4	
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1	
GRAND TOTAL	4	22	25	25	25	25	126	100%	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



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Seal

Owner:



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ALBUQUERQUE, NM 87111



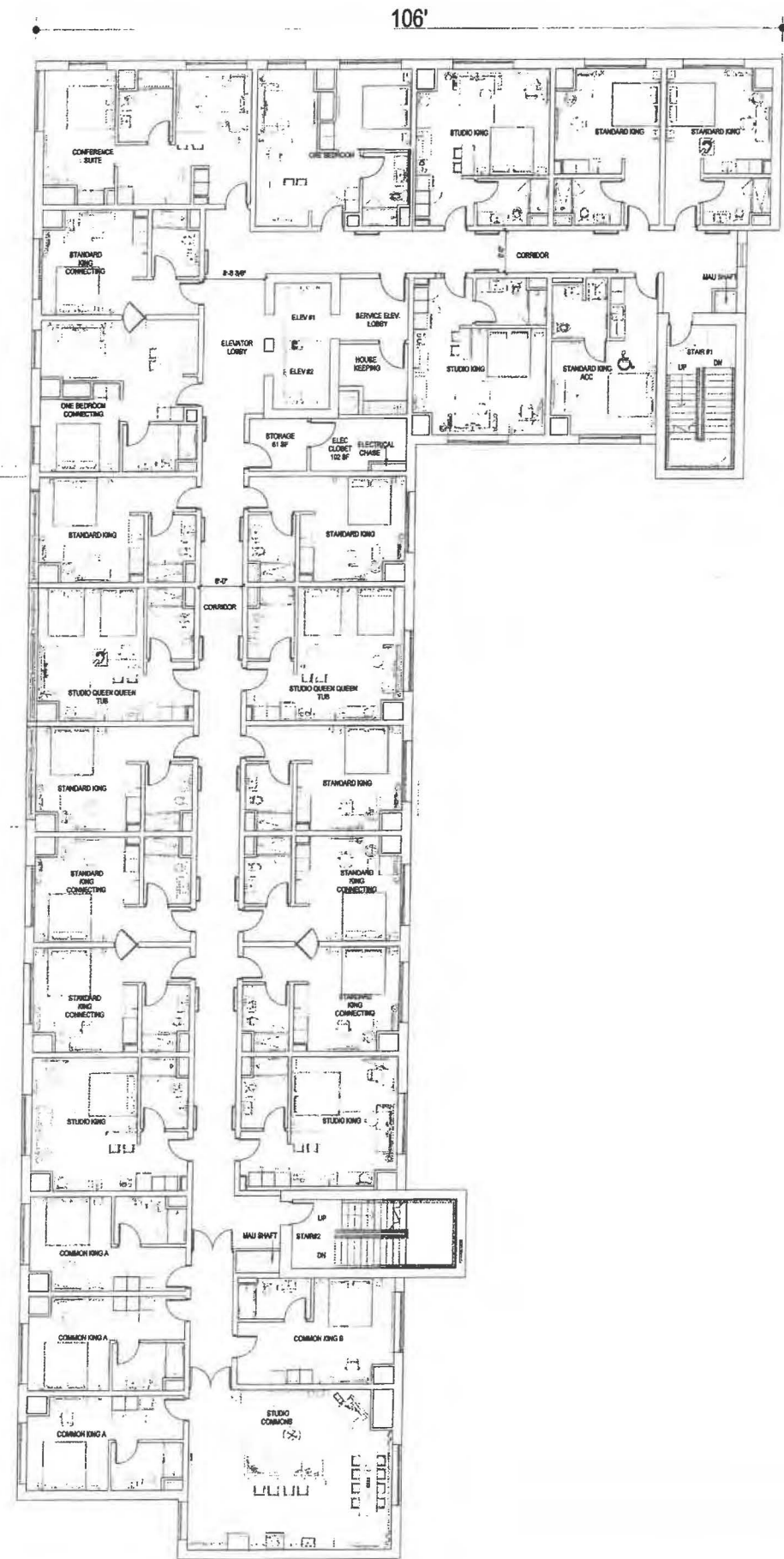
ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

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DRAWN BY SG
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SCALE AS NOTED
PROJECT NO. B4 - 176 - 1901
SHEET NAME

FLOOR PLANS

DRAWING NO.
A2.5



ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS
STANDARD KING	0	5	7	7	7	6	32	25%	32
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25
COMMONS KING A	0	0	0	0	3	3	6	5%	6
COMMONS KING B	0	0	0	0	0	1	1	1%	1
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1
STUDIO KING	0	3	4	4	4	4	19	15%	19
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	22
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	12
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	4
ONE BEDROOM	0	1	0	1	1	1	4	3%	4
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1
GRAND TOTAL	4	22	25	25	25	25	126	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



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ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

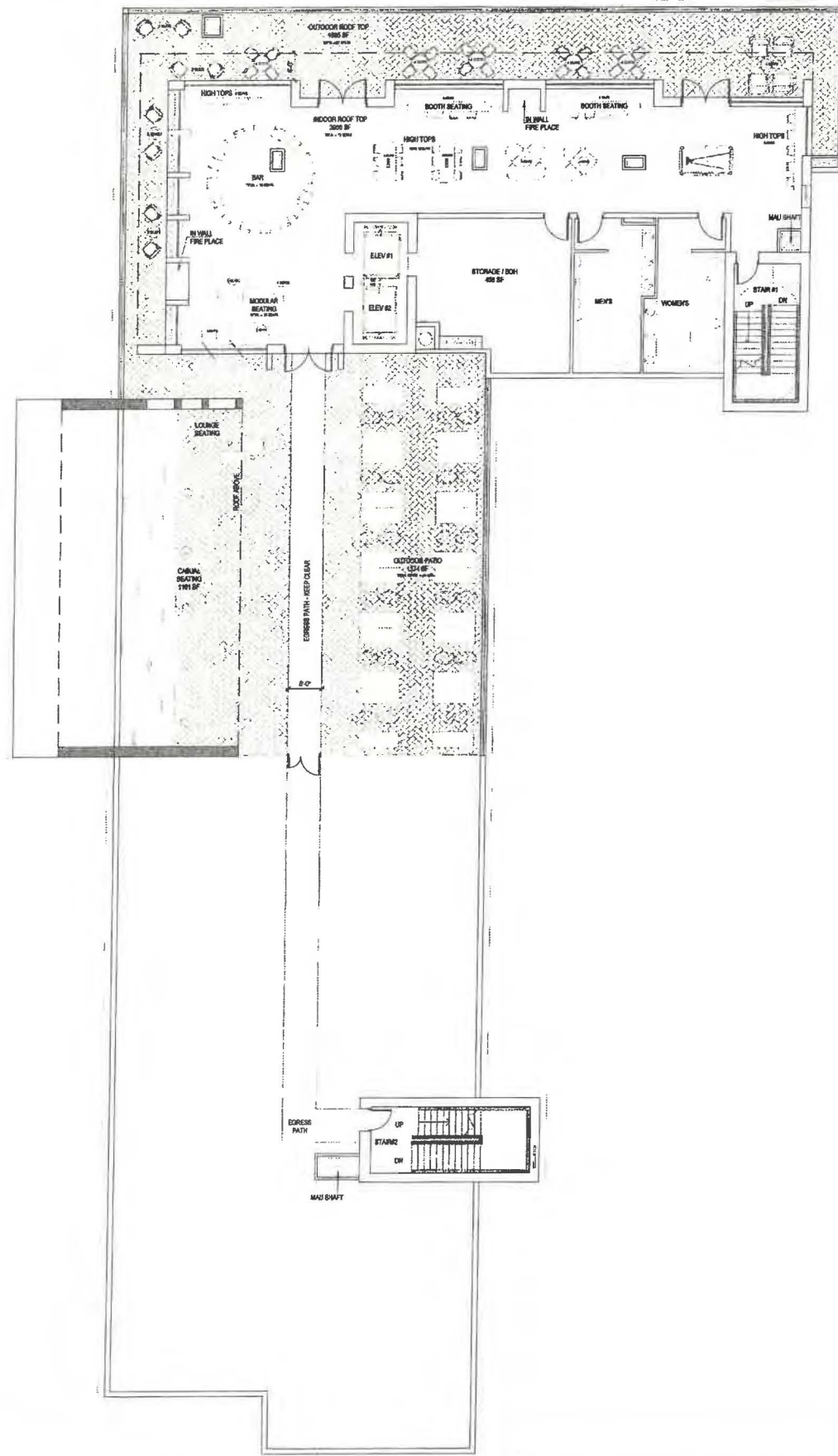
DATE 2020.01.17
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SCALE AS NOTED
PROJECT NO. B4 - 176 - 1901
SHEET NAME

FLOOR PLANS

DRAWING NO.
A2.6

106'

213'-7"



ROOM MATRIX										
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	%	NO. OF BEDS	
STANDARD KING	0	5	7	7	7	6	32	25%	32	
STANDARD KING ACC.	0	0	0	0	0	1	1	1%	1	
STANDARD KING CONN.	0	5	5	5	5	5	25	20%	25	
COMMONS KING A	0	0	0	0	3	3	6	5%	6	
COMMONS KING B	0	0	0	0	0	1	1	1%	1	
ACCESSIBLE COMMONS KING	0	0	0	0	1	0	1	1%	1	
STUDIO KING	0	3	4	4	4	4	19	15%	19	
STUDIO KING ACC.	0	1	0	0	0	0	1	1%	1	
STUDIO QUEEN QUEEN SHOWER	1	3	4	3	0	0	11	9%	11	
STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6	
COSTUM STUDIO QUEEN QUEEN TUB	1	1	1	1	1	1	6	5%	6	
ACC. STUDIO QUEEN QUEEN	1	0	0	1	0	0	2	2%	2	
ONE BEDROOM	0	1	0	1	1	1	4	3%	4	
ONE BEDROOM CONN.	0	1	1	1	1	1	5	4%	5	
ACC. ONE BEDROOM	0	0	1	0	0	0	1	1%	1	
CONFERENCE SUITE	0	0	1	1	1	1	4	3%	4	
ACC. CONFERENCE SUITE	0	1	0	0	0	0	1	1%	1	
GRAND TOTAL	4	22	25	25	25	25	126	100%	100%	151

SHOWER FIXTURE TYPE MATRIX		
SHOWER	107	85%
TUB	12	10%
ACC. TUB	0	0%
ACC. ROLL IN SHOWER	2	2%
TRANSFER SHOWER	5	4%
TOTAL	126	100%

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	15,224
2ND LEVEL FLOOR PLAN	14,342
3RD LEVEL FLOOR PLAN	14,342
4TH LEVEL FLOOR PLAN	14,342
5TH LEVEL FLOOR PLAN	14,342
6TH LEVEL FLOOR PLAN	14,342
7TH LEVEL FLOOR PLAN	4,298
TOTAL	91,232



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ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

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SCALE AS NOTED
PROJECT NO. B4 - 176 - 1901

SHEET NAME
FLOOR PLAN

DRAWING NO.
A2.7



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	31 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	38 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	21 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTTISH OAK (D 8115 MR)	12 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	69 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	3 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	25 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTTISH OAK (D 8115 MR)	3 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



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ELEMENT
ALBUQUERQUE, NM

No.	ISSUE DATE	PROJECT STATUS

DATE 2020.01.17

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SCALE AS NOTED

PROJECT NO. B4 - 176 - 1901

SHEET NAME

ELEVATIONS

DRAWING NO.

A3.1



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	58 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	9 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	8 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	23 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



LEGEND-EXTERIOR FINISHES				
CODE	MTL-TYPE	COLOR	MATERIAL NAME	MATERIAL %
01	EIFS-DRYVIT		ELEM-01-2736-WHITE	61 %
02	EIFS-DRYVIT		ELEM-02-1022-DARK GREY	24 %
03	EIFS-DRYVIT		ELEM-03-1022-GREEN	0 %
04	ALCOA-BUILDING PANELS		COLORWELD 500XL-BRIGHT SILVER METALLIC	1 %
05	ALCOA-BUILDING PANELS		WOOD FINISH SCOTISH OAK (D 8115 MR)	14 %
06	ALCOA-BUILDING PANELS		WOOD FINISH ITALIAN WALNUT	
TOTAL				100%

3 EAST ELEVATION
SCALE: 3/32" = 1'-0"



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DATE	2020.01.17
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PROJECT NO.	84 - 176 - 1901
SHEET NAME	

ELEVATIONS

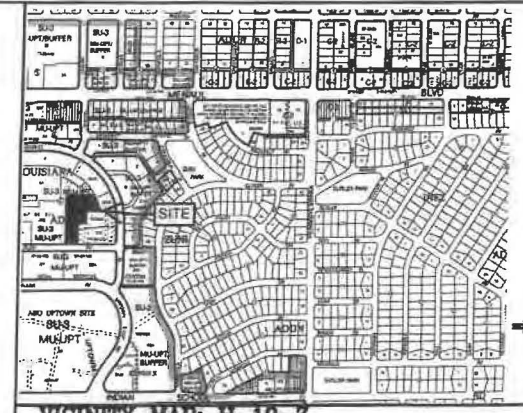
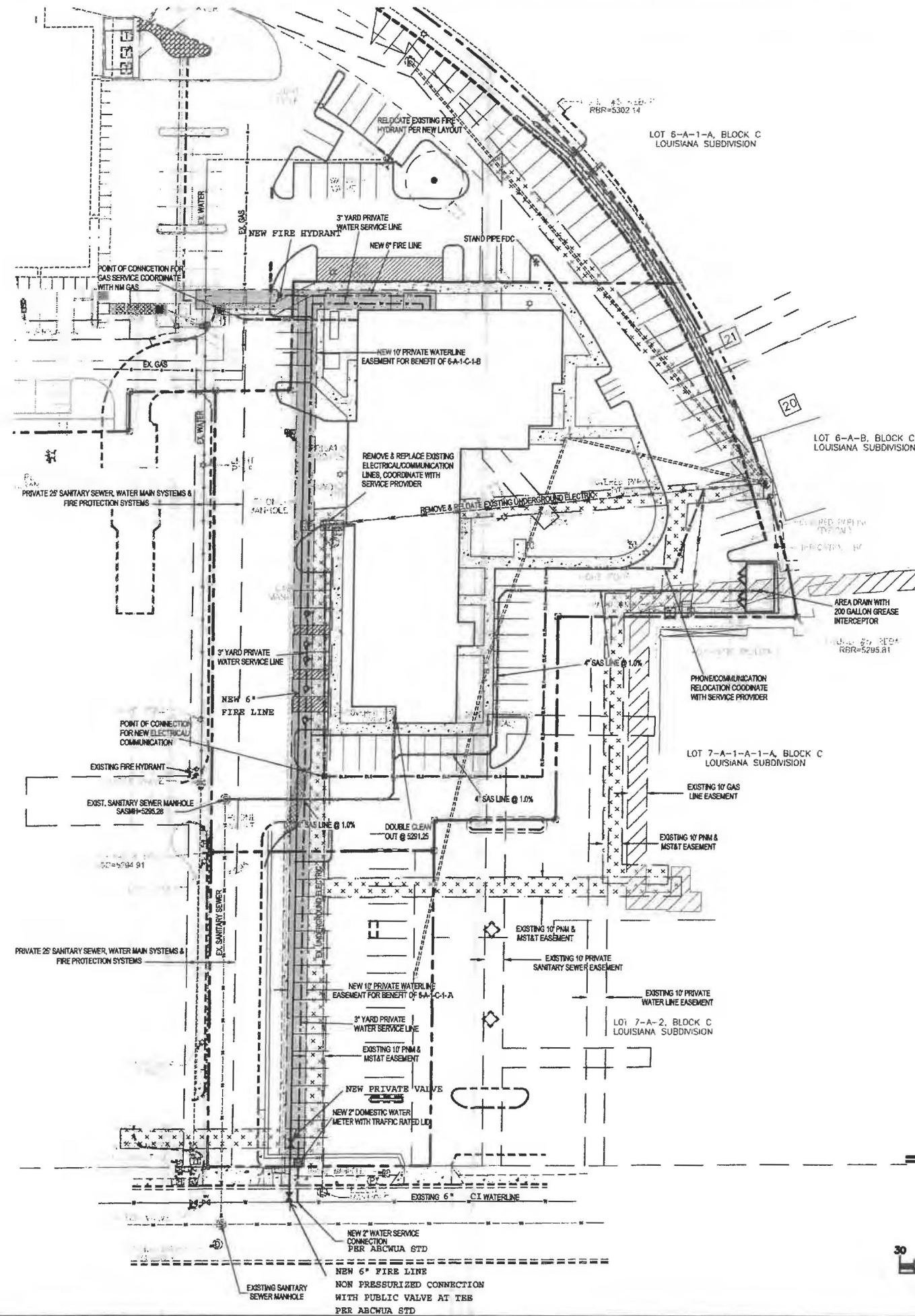
DRAWING NO.
A3.2

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, MOST RECENT EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 280-1860, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGES OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER TOWN OF BERNALILLO STANDARDS.
23. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
24. CONTRACTOR SHALL VERIFY ALL EXISTING CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



VICINITY MAP: H-19-2

WATER SHUTOFF NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.

LEGEND

---	BOUNDARY	CB	CURB
- - - - -	ADJACENT BOUNDARY	BRND	BOTTOM OF POND
- - - - -	EXISTING CURB AND GUTTER	DRN	DRAIN
SS	EXISTING SANITARY SEWER	EC	EDGE OF CONCRETE
---	EXISTING WATER LINE	FF	FINISHED FLOOR
---	PROPOSED SANITARY SEWER	FL	FLOW LINE
---	PROPOSED SANITARY SEWER	G	GROUND
---	PROPOSED ELECTRIC LINE	N&D	NAIL & DISC
---	PROPOSED FIRE PROTECTION LINE	RMP	RAMP
---	PROPOSED WATER LINE	SASMH	SANITARY SEWER MANHOLE
---	PROPOSED GAS LINE	TA	TOP OF ASPHALT
---	PROPOSED 10' PRIVATE WATER EASEMENT	☆	LIGHT POLE
---		□	CABLE BOX
---		□	IRRIGATION BOX
---		□	WATER VALVE
---		□	WATER METER
---		⊙	SANITARY SEWER MANHOLE
---		⊙	STORM DRAIN MANHOLE
---		⊙	ELECTRIC MANHOLE
---		⊙	PHONE MANHOLE



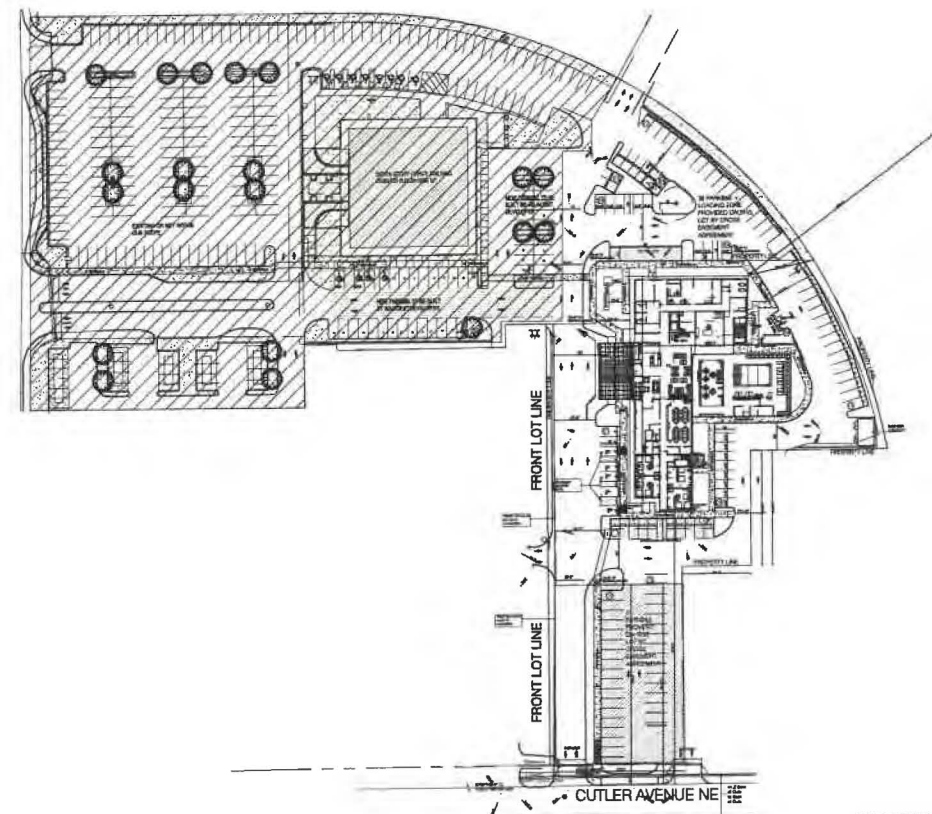
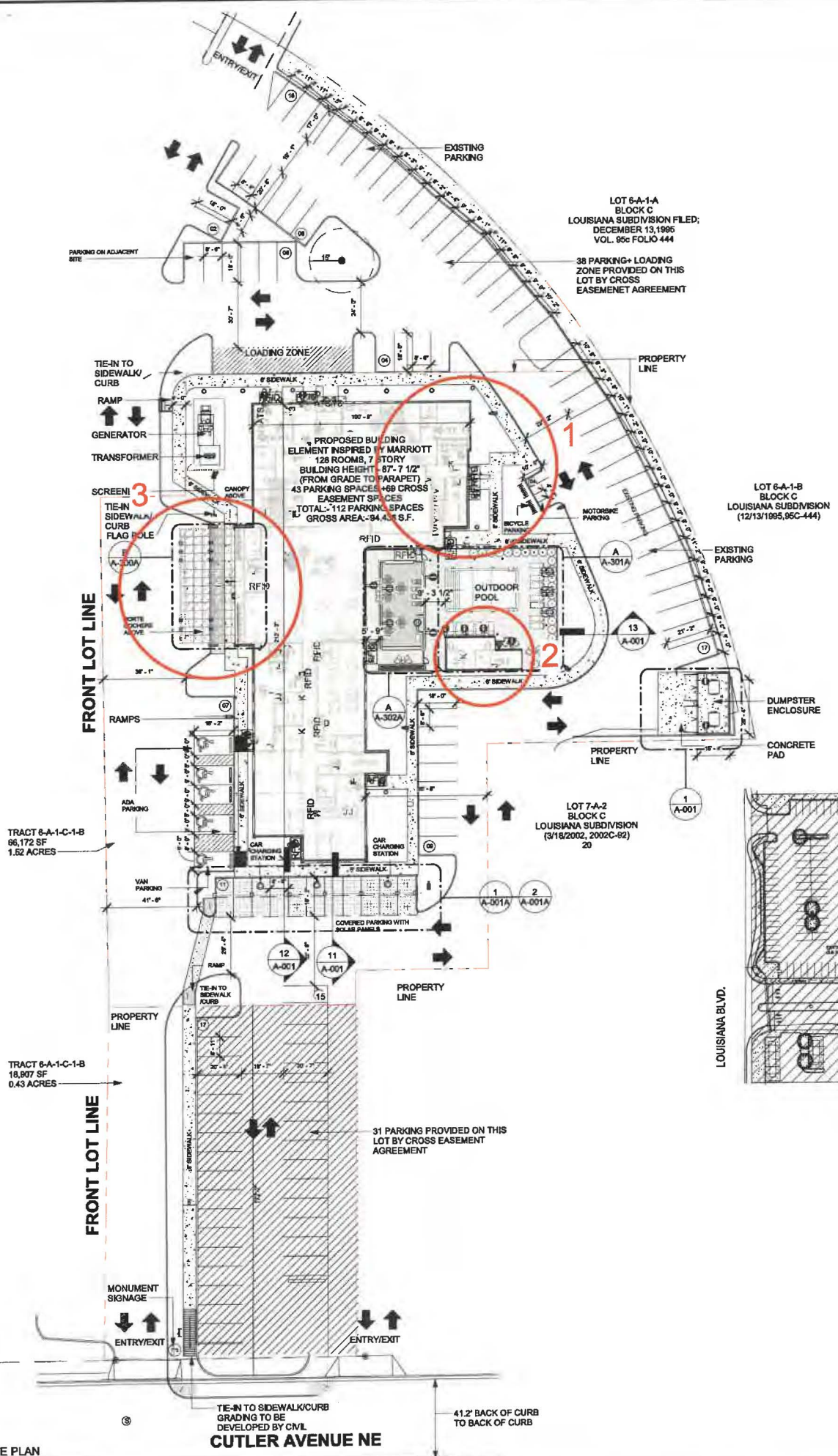
ENGINEER'S SEAL DAVID SOLLE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 3/5/20	2440 LOUISIANA BLVD. UTILITY PLAN	DRAWN BY DEM DATE 10-24-19 2440 LOUISIANA BLVD.DWG
	<i>Pio Grande Engineering</i> 1008 CENTRAL AVENUE SE SUITE 301 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # C2 JOB #

SUMMARY OF CHANGES

1. The building end has changed due to relocating guest rooms and room types.

2. The outdoor pool bathroom, shower and mechanical room have been relocated in order to provide more circulation around the pool.

3. The porte cochere canopy has been included to protect guests from the elements at the drop off.



GENERAL NOTES - SITE PLAN

- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE SHEET G-002 FOR CONTACT INFORMATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
- CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER.
- SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION. PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
- CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNERS PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
- LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.
- GC TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
- GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.
- ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.
- ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH LOCAL CODES, ADA GUIDELINES AND ANSI VERSIONS ADOPTED BY THE MUNICIPALITY. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER, SIGNAGE & FOUNDATION ARE O.F.O.I.
- COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.
- ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADI.
- LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.
- EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.


GROSS AREA (EXCLUDING COVERED OUTDOOR SPACES)

LEVEL	AREA
1ST FLOOR	19,167 SF
2ND FLOOR	12,613 SF
3RD FLOOR	13,787 SF
4TH FLOOR	13,787 SF
5TH FLOOR	13,787 SF
6TH FLOOR	13,787 SF
ROOF LEVEL	7,509 SF
TOTAL: 9	94,438 SF

PARKING MATRIX

PARKING TYPE	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	4	4
VAN PARKING SPACE	1	1
STANDARD PARKING SPACE	121	116
MEETING ROOM PARKING SPACE	11	11
RESTAURANT PARKING SPACE	7	7
MOTO PARKING SPACE	4	4
TOTAL PARKING SPACE	104*	116
BICYCLE PARKING SPACE	4	8


NOTE: *30% REDUCTION FOR PROXIMITY TO TRANSIT




BASE4

2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041


Seal: 

DATE: 2021.12.14

Owner: 

TMS
TOTAL MANAGEMENT SYSTEMS

4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A3	2021.08.24	CITY COMMENTS
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

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LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME
ARCHITECTURAL SITE PLAN

DRAWINGS NO.
A-000



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal



DATE: 2021.12.14

Owner:



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.631.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE: ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD#2
1	A8	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LAR/B

PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-1**

DRAWINGS NO.

A-606



1 SOUTH ELEVATION
A-606 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR/ OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 620	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-046	
FCP-01	FIBRE CEMENT PANEL/NICHHA	NICHIA PANEL-GLACIER	
FCS-01	FIBRE CEMENT PANEL-NICHHA	VINTAGE CEDAR BARK	



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



Owner:



4230 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD, NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE: ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
8	A7	2021.10.21	ADD#2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-2**

DRAWINGS NO.

A-607



1 EAST ELEVATION
1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL, SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

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EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EFS-PAREX	SANDBEBBLE-ELEM-01-2738-WHITE	
EF-02	EFS-PAREX	SANDBEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EFS-PAREX	SANDBEBBLE-MIDNIGHT-4C-046	
FCP-01	FIBRE CEMENT PANEL-NICHIHA	NICHA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHIHA	VINTAGE CEDAR BARK	



1 WEST ELEVATION
A-608 1/8" = 1'-0"

GENERAL ELEVATION NOTES

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EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EIFS-PAREX	SANDBLEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDBLEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDBLEBBLE-MIDNIGHT-MC-046	
FCP-01	FIBRE CEMENT PANEL-NICHIA	NICHIA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHIA	VINTAGE CEDAR BARK	



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33498
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



DATE: 2021.12.14

Owner:



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE: ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD#2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-3**

DRAWINGS NO.

A-608



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal



DATE: 2021.12.14

Owner:



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
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ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADDR2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

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CURRENT ISSUE DATE
2021.07.15

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PROJECT NO.
B4-176-1901

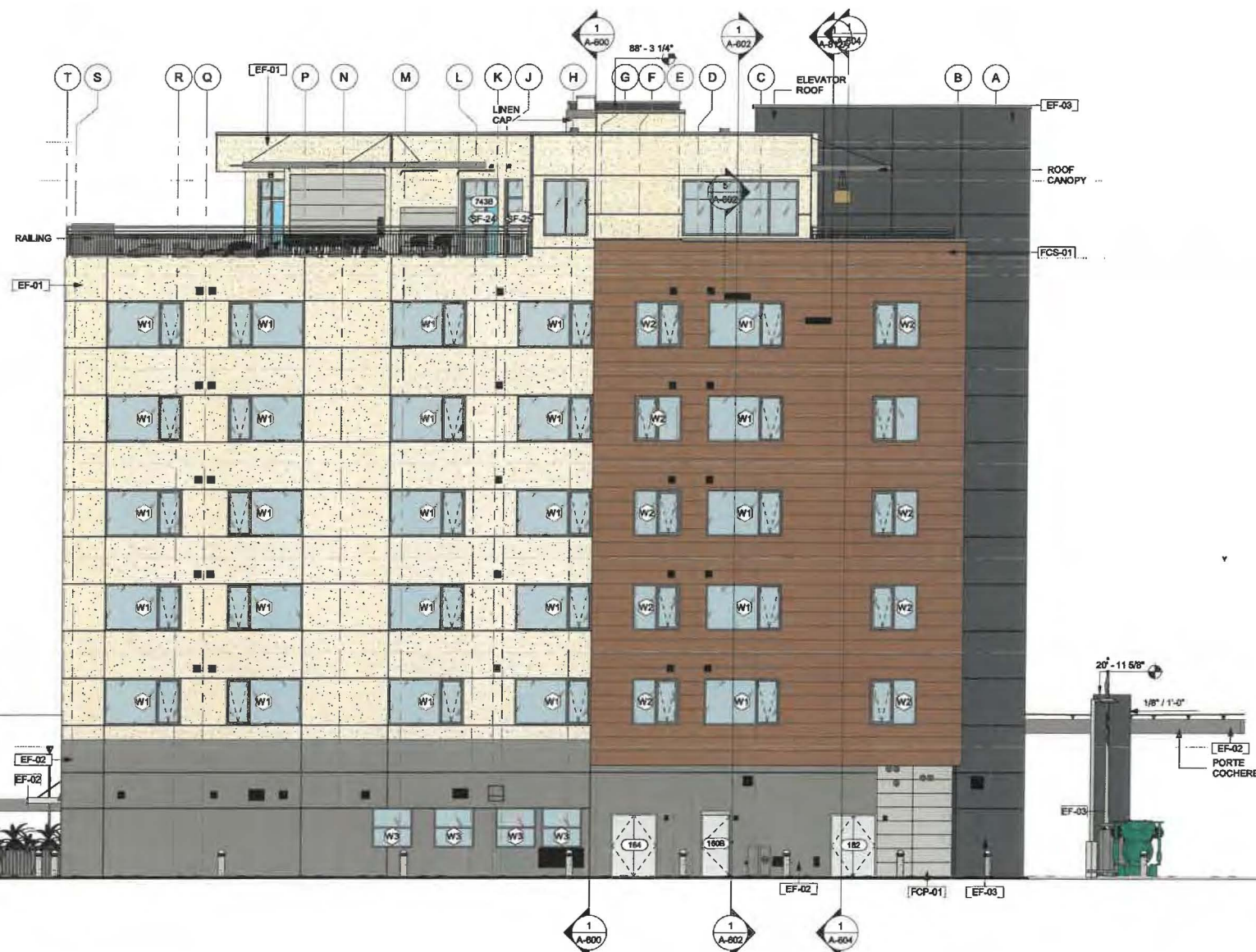
SHEET NAME

**BUILDING
ELEVATION-4**

DRAWINGS NO.

A-609

- PARAPET 4
84' - 7 1/2"
- BAR ROOF
83' - 8 1/8"
- PARAPET 3
80' - 2"
- PARAPET 2
73' - 4 5/8"
- PARAPET 1
71' - 3 1/2"
- BAR LEVEL
70' - 3 1/2"
- ROOF LEVEL
69' - 3 1/2"
- 6TH FLOOR
58' - 5"
- 5TH FLOOR
47' - 6 1/2"
- 4TH FLOOR
36' - 8"
- 3RD FLOOR
25' - 9 1/2"
- 2ND FLOOR
14' - 11"
- 1ST FLOOR
0"



1 NORTH ELEVATION
1/8" = 1'-0"

GENERAL ELEVATION NOTES

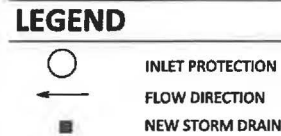
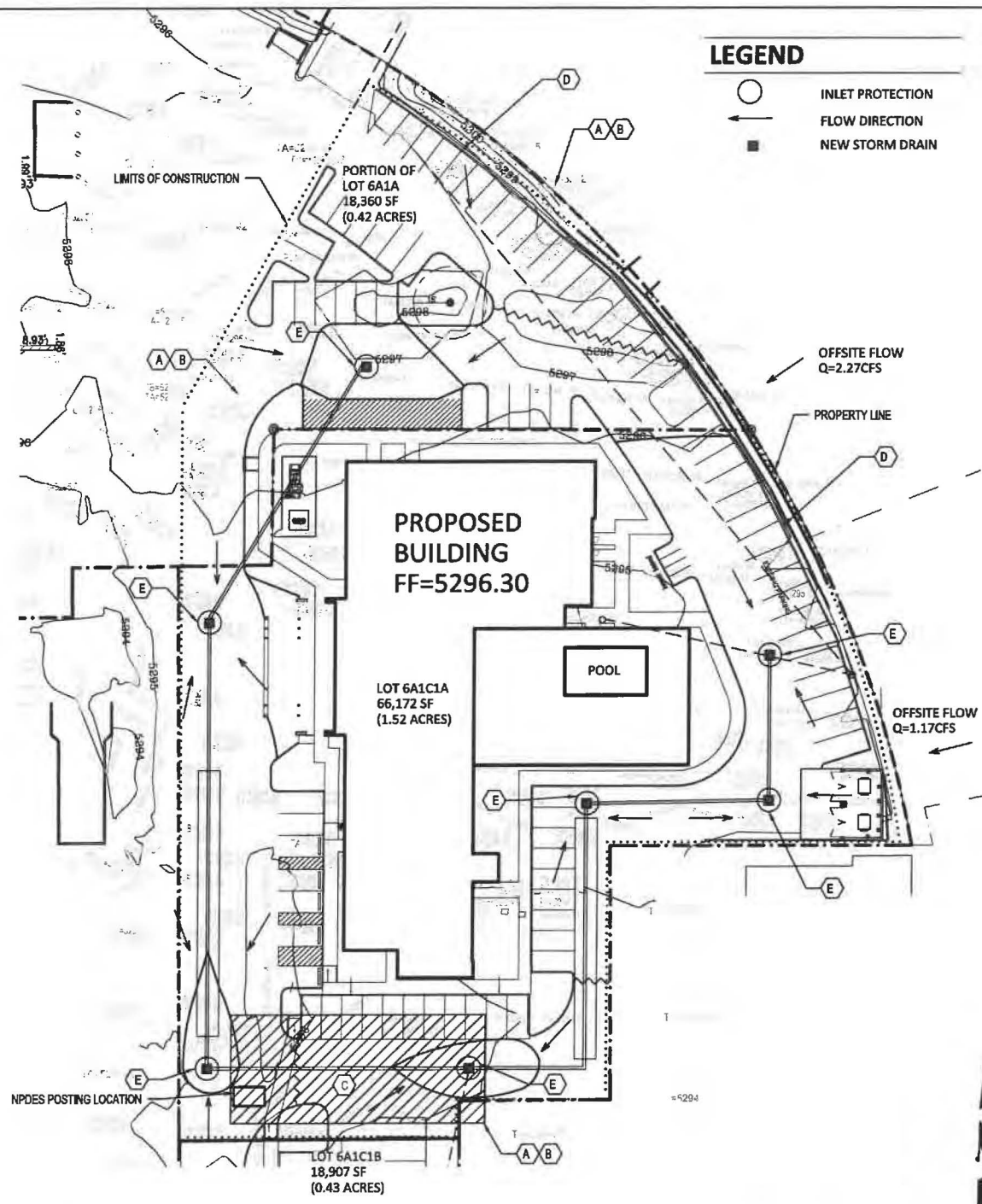
- VIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL, SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
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GENERAL SIGNAGE NOTES

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EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-048	
FCP-01	FIBRE CEMENT PANEL/NICHIHA	NICHIHA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL/NICHIHA	VINTAGE CEDAR BARK	



EROSION CONTROL PLAN & POLLUTION PREVENTION NOTES

- All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
 - The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - The EPA's 2017 Construction General Permit (CGP), and
 - The City Of Albuquerque Construction BMP Manual.
- All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP's and prior to beginning construction.
- Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
- BMP's shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMP's and discontinuation of inspections.



VICINITY MAP

H-19-Z

KEYED NOTES

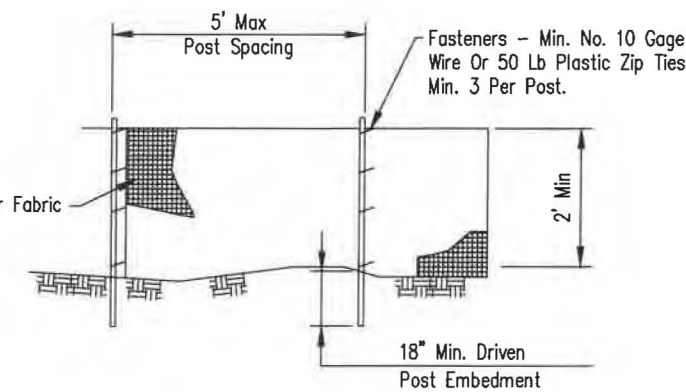
- CONTRACTOR SHALL INSTALL PERIMETER BMP PROTECTION TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTY.
- CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE ENTIRE PERIMETER OF CONSTRUCTION FACILITIES.
- CONTRACTOR SHALL INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- EXISTING CURB AND GUTTER TO REMAIN.
- CONTRACTOR SHALL INSTALL INLET PROTECTION.

ESC NOTES

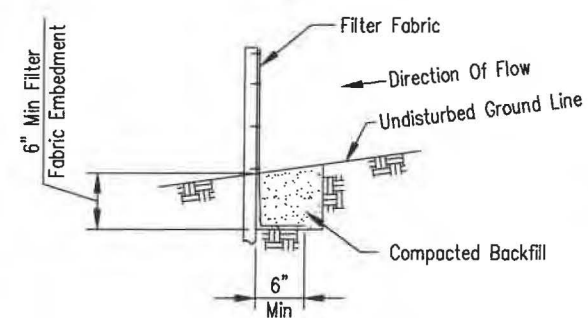
ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 6-A-1-C-1-A, BLOCK 'C' LOUISIANA SUBDIVISION
 SITE AREA: 66,172 SF (1.519 acres)
 EXISTING CONDITIONS: The site is a fully developed portion of an existing commercial site with asphalt parking and landscaping. The site slopes down slightly to the southwest at approximately 1.5% and runoff discharges to the public R/W of Cutler Ave NE.
 EROSION CONTROL: Disturbed portions of the site shall be kept wetted to minimize wind erosion. A temporary construction fence with screening will follow the site perimeter which will help mitigate windblown sediment. The impact on surrounding streets and properties should be minimized.

NOTES:

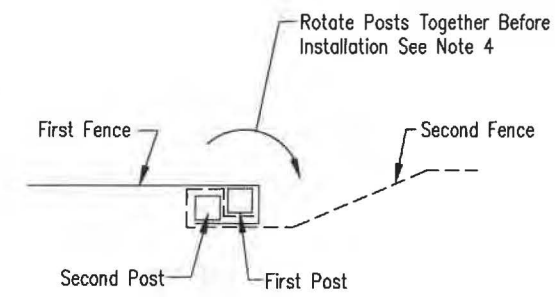
- TEMPORARY SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED, FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
- FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION S92 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
- FENCE POSTS SHALL BE WITHER WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA 1.5"x1.5" OR A STANDARD STEEL POST
- WHEN SPLICES ARE NECESSARY, MAKE SPLICE AT POST ACCORDING TO SPLICE DETAIL. PLACE THE END POSE OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE. ROTATE BOTH POSTS TOGETHER AT LEAST 180 DEGREES TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL. CUT THE FABRIC NEAR THE BOTTOM OF THE POSTS TO ACCOMMODATE THE 6" FLAP. THEN DRIVE BOTH POSTS AND BURY THE FLAP. COMPACT BACKFILL WELL.



ELEVATION



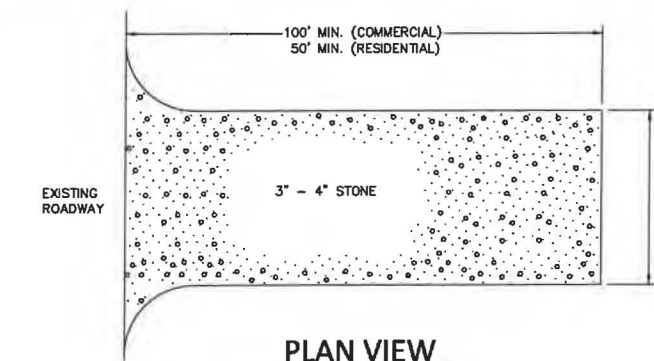
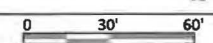
FABRIC ANCHOR DETAIL
SILT FENCE DETAILS



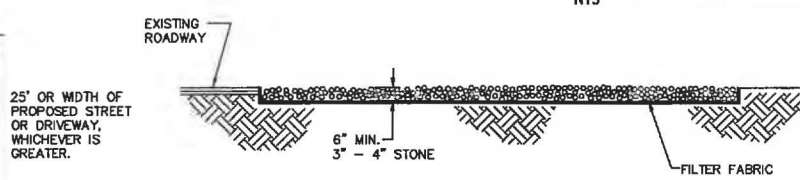
SPLICE DETAIL PLAN VIEW

ESC PLAN

1" = 30'



PLAN VIEW



SIDE CROSS SECTION VIEW

CONSTRUCTION ENTRANCE FOR EROSION CONTROL

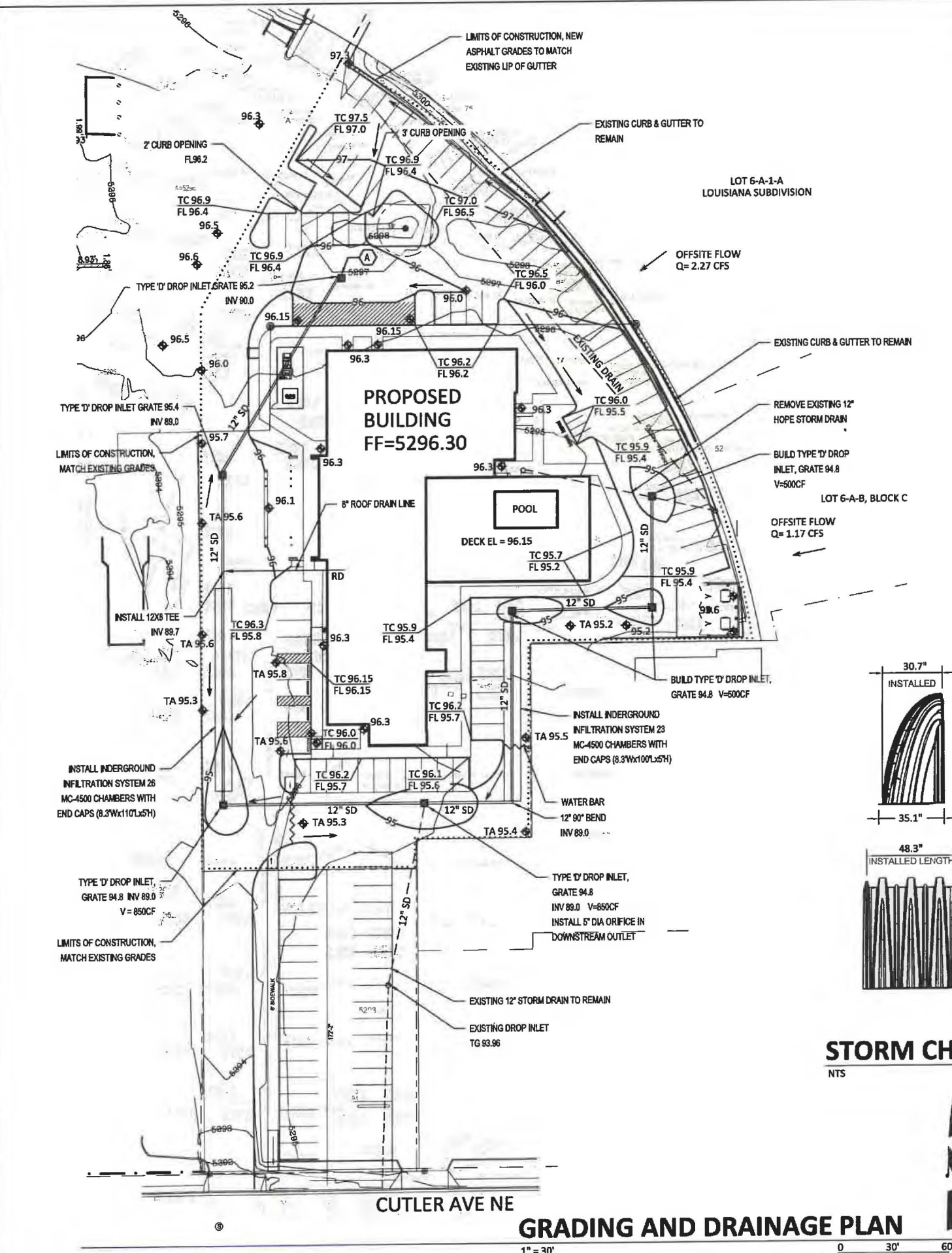
NTS

NOTES:

- ENTRANCE(S) SHALL BE LOCATED TO PROVIDE MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
- TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED
- MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT PERIODIC TOPDRESSING WITH STONE WITH BE NECESSARY. CONTRACTOR SHALL MAINTAIN AS NECESSARY.
- ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
- FREQUENT CHECKS OF THE ENTRANCE(S) AND TIMELY MAINTENANCE SHALL BE PROVIDED.
- NOTES ARE APPLICABLE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED.
- UTILIZE FILTER FABRIC IN CLAY SOILS.



ELEMENT HOTEL
 2440 LOUISIANA BLVD NE
Scott M McGee PE
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 Albuquerque, NM 87122
 505.263.2905
 scottmmcgee@gmail.com



DRAINAGE ANALYSIS

ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 6-A-1-C-1-A, BLOCK 'C' LOUISIANA SUBDIVISION
 SITE AREA: 66,172 SF (1.519 acres)
 BENCHMARK: City of Albuquerque Station '15-H18' being a brass cap. ELEV= 5303.391 (NAVD 1988)
 SURVEYOR: Survey Office LLC, dated July 2019
 PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0352H (8/16/12), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does accept offsite flows from two tracts adjacent to the east as shown on the plan. The total Q=3.44 CFS will continue to be accepted onsite and carried south toward Cutler per the historic flow pattern.

EXISTING CONDITIONS: The site is a fully developed portion of an existing site with asphalt parking and some landscaping. The prior drainage file (H16-D1) was revised by BHI in 1984 and again by Larry Read in 2004. This site has an allowable discharge rate of 1.6 CFS. The site slopes down slightly to the southwest at approximately 1.5% and runoff discharges to the public R/W of Cutler Ave NE.

PROPOSED IMPROVEMENTS: The proposed redevelopment of the site includes a new 7-story hotel, a swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the Storm Water Quality (SWQ) volume. Private storm drains will be extended onsite to provide for catch basins to intercept site runoff with underground retention chambers proposed.

Existing land treatment: 10% C and 90% D
 $Q = [(1.0)(3.45) + (0.90)(5.02)](1.52) = 7.4$ CFS

Proposed land treatment: 2% B, 2% C and 96% D
 $Q = [(0.02)(2.60) + (0.02)(3.45) + (0.96)(5.02)](1.52) = 7.5$ CFS

Redevelopment SWQ V = (63,525)(0.26/12) = 1,376 CF
 The Hydrograph for Q=3.44+7.5=10.94 CFS and allowable Q=1.6 CFS (peak time of 11.4 mins and base time of 24.7 mins) gives a required V=11,124 CF.

Total underground detention volume provided onsite is 8,428 CF (49 chambers x 162.6 CF/EA)+(4 end caps x 115.3 CF/EA) using 9" deep stone base= 8,248.6 CF
 Surface storage volume is 2,700 CF at water surface elevation 5295.1

The proposed detention (8,428+2,700)=11,128 CF will contain the SWQ volume and restrict discharge to 1.7 CFS. Site runoff will increase from historic but the proposed onsite retention storage will reduce runoff rate to the allowable rate.

Orifice equation for H=5.0' and 5" diameter orifice:
 $Q = KxA(2gh)^{1/2} = (0.7)(0.136)(17.9) = 1.7$ CFS

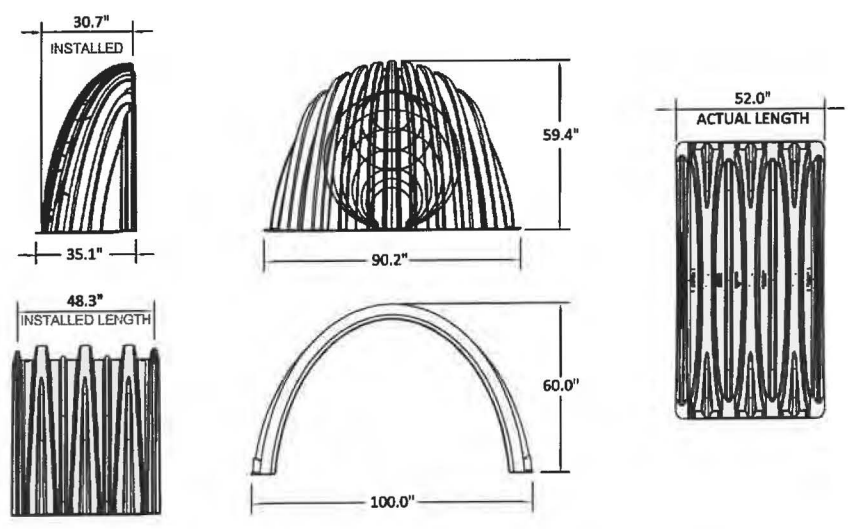


VICINITY MAP

H-19-Z

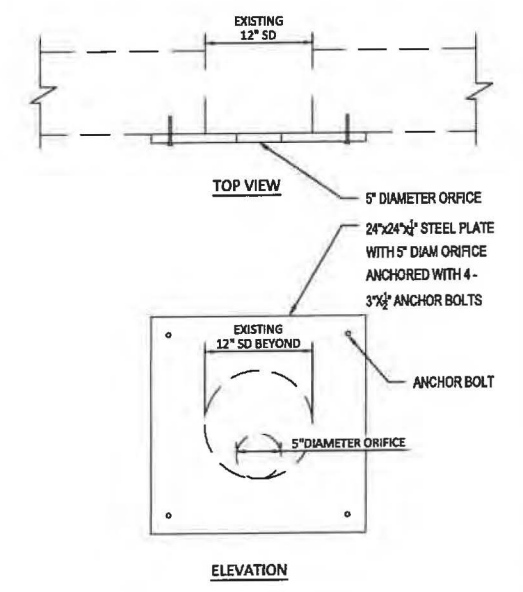
LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5296.30 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- LIMITS OF CONSTRUCTION



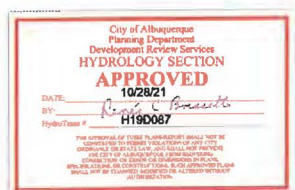
STORM CHAMBER

NTS



EXISTING INLET W/ORIFICE PLATE

NTS



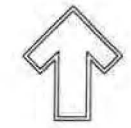
ELEMENT HOTEL
2440 LOUISIANA BLVD NE

Scott M McGee PE

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GRADING AND DRAINAGE PLAN

1" = 30' 0 30' 60'



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Cont. Lic. #26-458
Ph. (505) 899-9650
Fax (505) 899-1131
derry@hilltoplandscape.com

Landscape Architect



2440 Louisiana
Proposed Hotel
Albuquerque, NM
Landscape Plan

The design contained herein meets the property requirements of The Hilltop Landscape Architects and is not to be construed as a contract. The design is the property of The Hilltop Landscape Architects and shall not be used for any other project without the written consent of The Hilltop Landscape Architects.



DRAWN BY: JH
REVISION: *
DATE: 09/29/2021

SHEET #
LS-101

LANDSCAPE LEGEND

QTY SIZE COMMON BOTANICAL H2O USE

Trees

2	2" cal	Chinese Platane <i>Pistacia chinensis</i>	35x25	125	2400 M
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	4650 M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	625	625 M
2	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	20x20	400	1200 M

11	15 Gal	Oklahoma Reedbud <i>Cercis reniformis</i>	15x12	144	5625 M
2	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	625	1812 M

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	15x6	36	144 M
10	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5	25	250 M
34	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	2.5x2	4	136 M
13	5 Gal	Gravel Coneaster <i>Coneaster glaucophyllus</i>	5x5	25	380 M
1	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x7	49	343 M
2	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x2	144	288 M
13	5 Gal	Buffalo Juniper <i>Juniperus sabinna 'Buffalo'</i>	1x2	144	1728 M
15	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	162 M
22	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	9	180 M
1	5 Gal	Fern Bush <i>Chenabotaria millefolium</i>	5x6	36	288 L
12	5 Gal	Knock Out Rose <i>Rosa 'Knock Out'</i>	3x4	12	180 L
24	2-3cf	Boulders Seat Height Boulders, buried 1/3		4848	
		Landscape Gravel / Filter Fabric Santa Fe Brown		10761	

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas unless otherwise specified.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytype with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

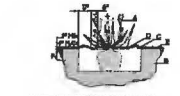
LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	66291
TOTAL BUILDING AREA (sf)	-19485
TOTAL LOT AREA (sf)	46802
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (sq ft)	7020
TOTAL ON-SITE LANDSCAPE PROVIDED	8183
TOTAL LIVE GROUNDCOVER REQUIRED	2425
TOTAL LIVE GROUNDCOVER PROVIDED	4649



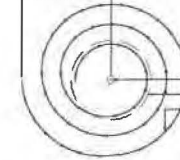
TREE PLANTING DETAIL

1. TREE SHALL BE PLACED ON COMPACTED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL TO BE LOCATED 1" BELOW FINISH GRADE.
3. SOIL TO BE REPLACED OR ENRICHED WITH COMPOST TO MATCH ORIGINAL SOIL.
4. MULCH TO BE APPLIED TO THE SOIL SURFACE TO PREVENT SOIL FROM DRYING OUT.
5. TREE TO BE WATERED REGULARLY TO PREVENT DRYING OUT.
6. TREE TO BE PROTECTED FROM VEHICLES AND OTHER DAMAGE.
7. TREE TO BE MAINTAINED AND WATERED AS NEEDED.

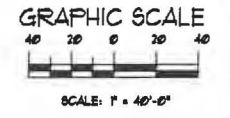
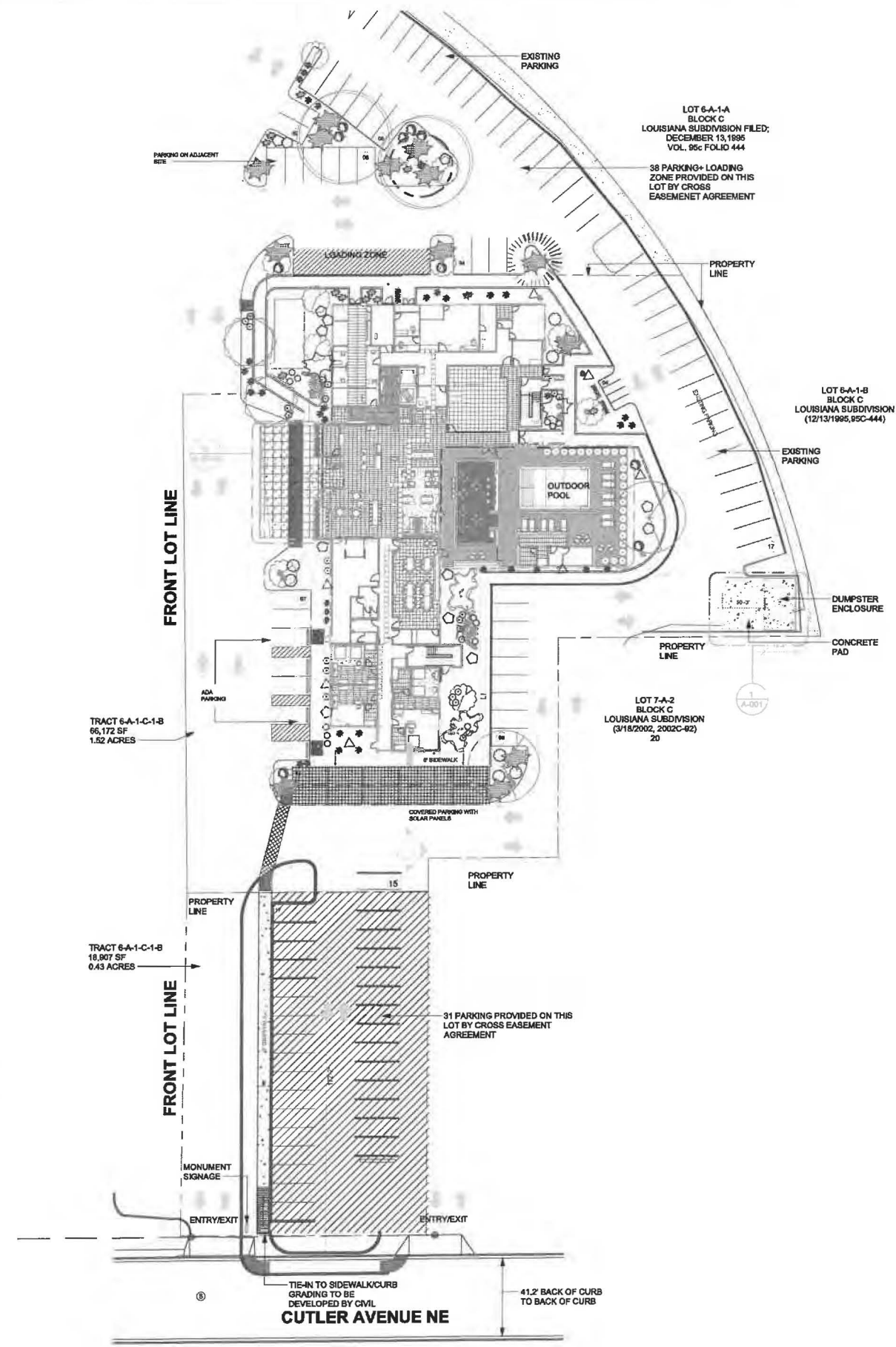
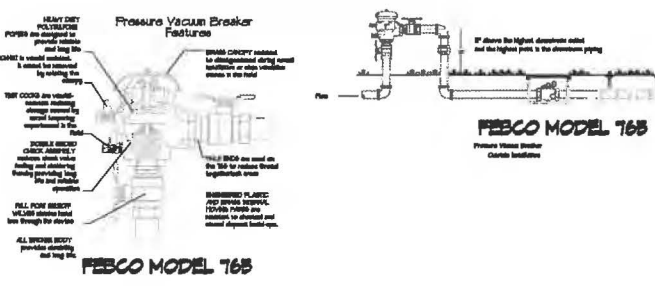


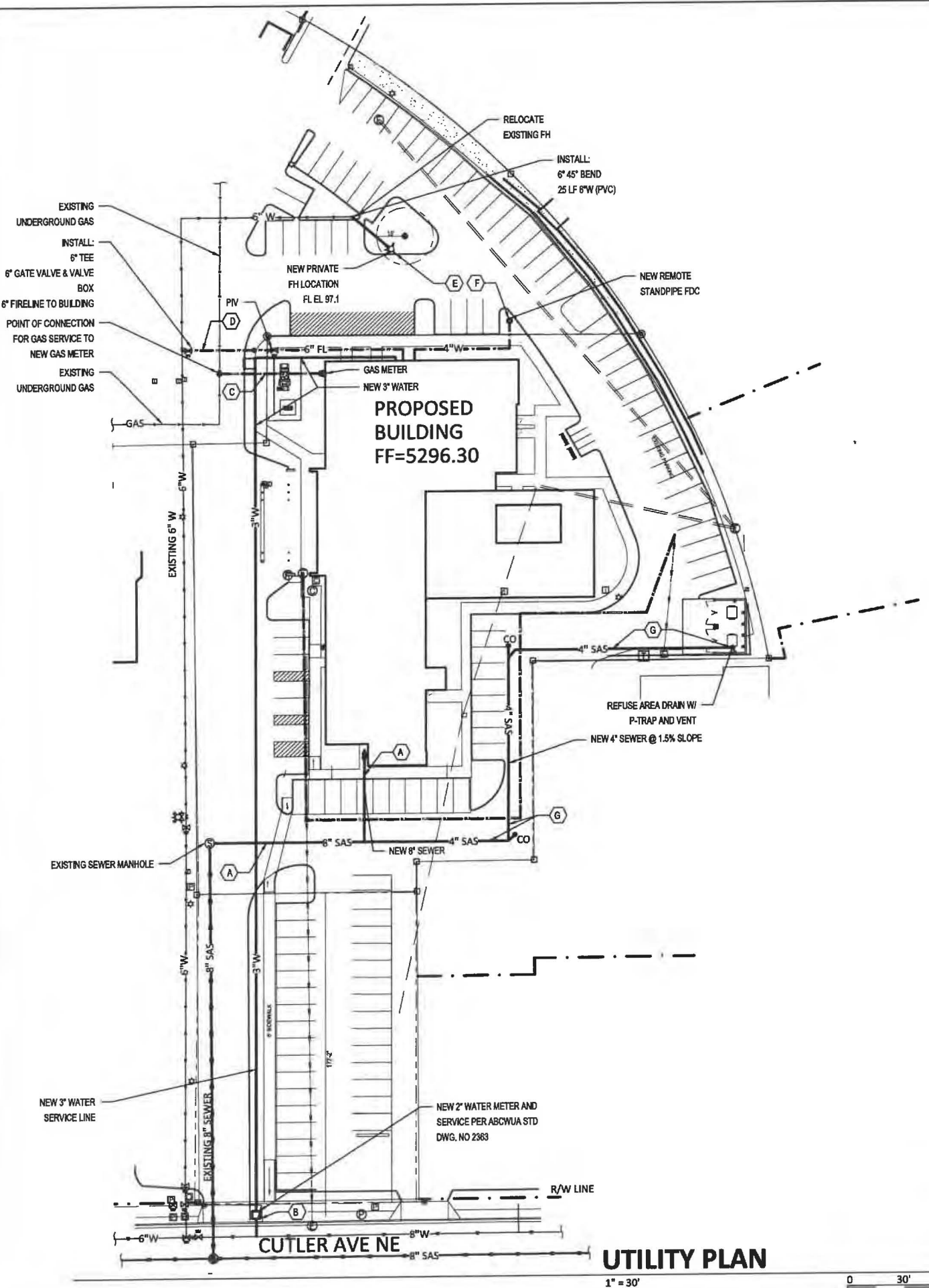
SHRUB PLANTING DETAIL

1. SHRUB SHALL BE PLACED ON COMPACTED SOIL TO PREVENT SHRUB FROM SETTLING.
2. TOP OF ROOTBALL TO BE LOCATED 1" BELOW FINISH GRADE.
3. SOIL TO BE REPLACED OR ENRICHED WITH COMPOST TO MATCH ORIGINAL SOIL.
4. MULCH TO BE APPLIED TO THE SOIL SURFACE TO PREVENT SOIL FROM DRYING OUT.
5. SHRUB TO BE WATERED REGULARLY TO PREVENT DRYING OUT.
6. SHRUB TO BE PROTECTED FROM VEHICLES AND OTHER DAMAGE.
7. SHRUB TO BE MAINTAINED AND WATERED AS NEEDED.



Netafim Spiral Detail





LEGEND

CO	CLEAN OUT
W	WATER LINE WITH SIZE
ELE	ELECTRIC LINE
SAS	SANITARY SEWER
G	GAS LINE
FH	FIRE HYDRANT
FDC	FIRE DEPT SONNECTION

KEYED NOTES

- A. CONNECT NEW 8" SANITARY SEWER SERVICE TO EXISTING ONSITE MANHOLE AS SHOWN. SEE PLUMBING PLAN FOR CONTINUATION.
- B. NEW 2" DOMESTIC WATER SERVICE FROM WATER MAIN TO METER AND 3" WATERLINE FROM METER TO THE BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- C. NEW GAS SERVICE TO METER—SIZE PER MECHANICAL PLAN. CONTRACTOR TO COORDINATE WITH NEW MEXICO GAS COMPANY.
- D. NEW 6" FIRELINE TO BUILDING FROM WATER MAIN. INSTALL POST INDICATOR VALVE (PIV) AS SHOWN.
- E. RELOCATE PRIVATE FIRE HYDRANT ONSITE AS SHOWN.
- F. INSTALL REMOTE STANPIPE FIRE DEPT CONNECTION (FDC) AS SHOWN.
- G. INSTALL 4" WASTE LINE FROM REFUSE AREA DRAIN AT MIN. 2% SLOPE. INSTALL DRAIN, P-TRAP, AND 2" VENT AS REQUIRED. ROUTE VENT UP ALONG REFUSE ENCLOSURE WALL TO ABOVE WALL AND BRACE AS REQUIRED.

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UTILITY PLAN

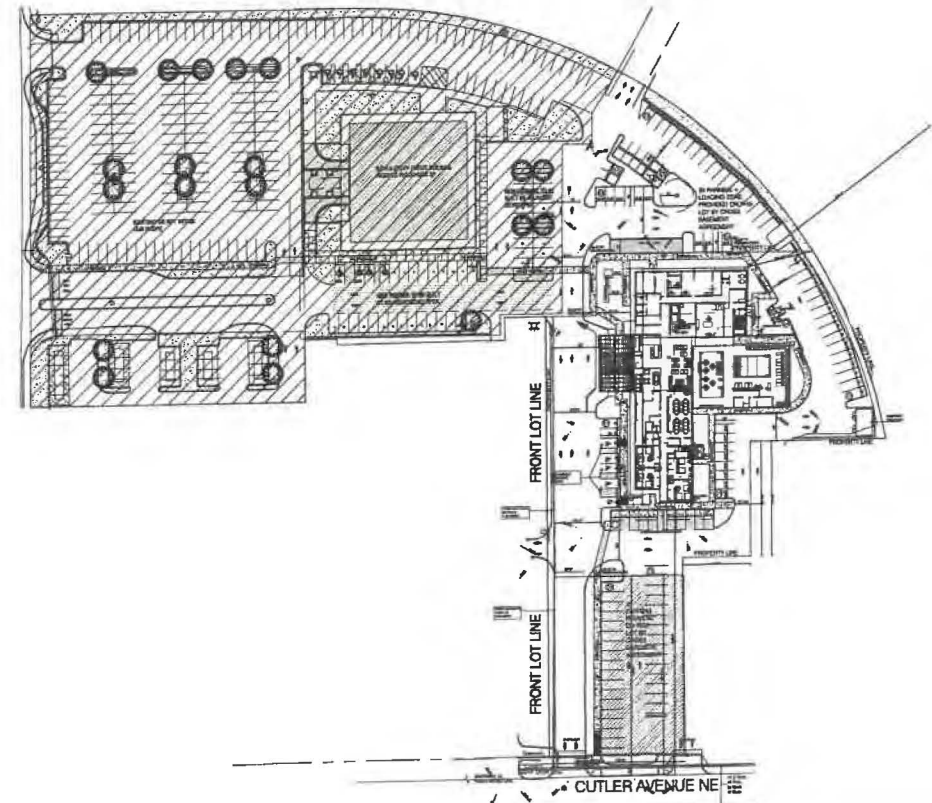
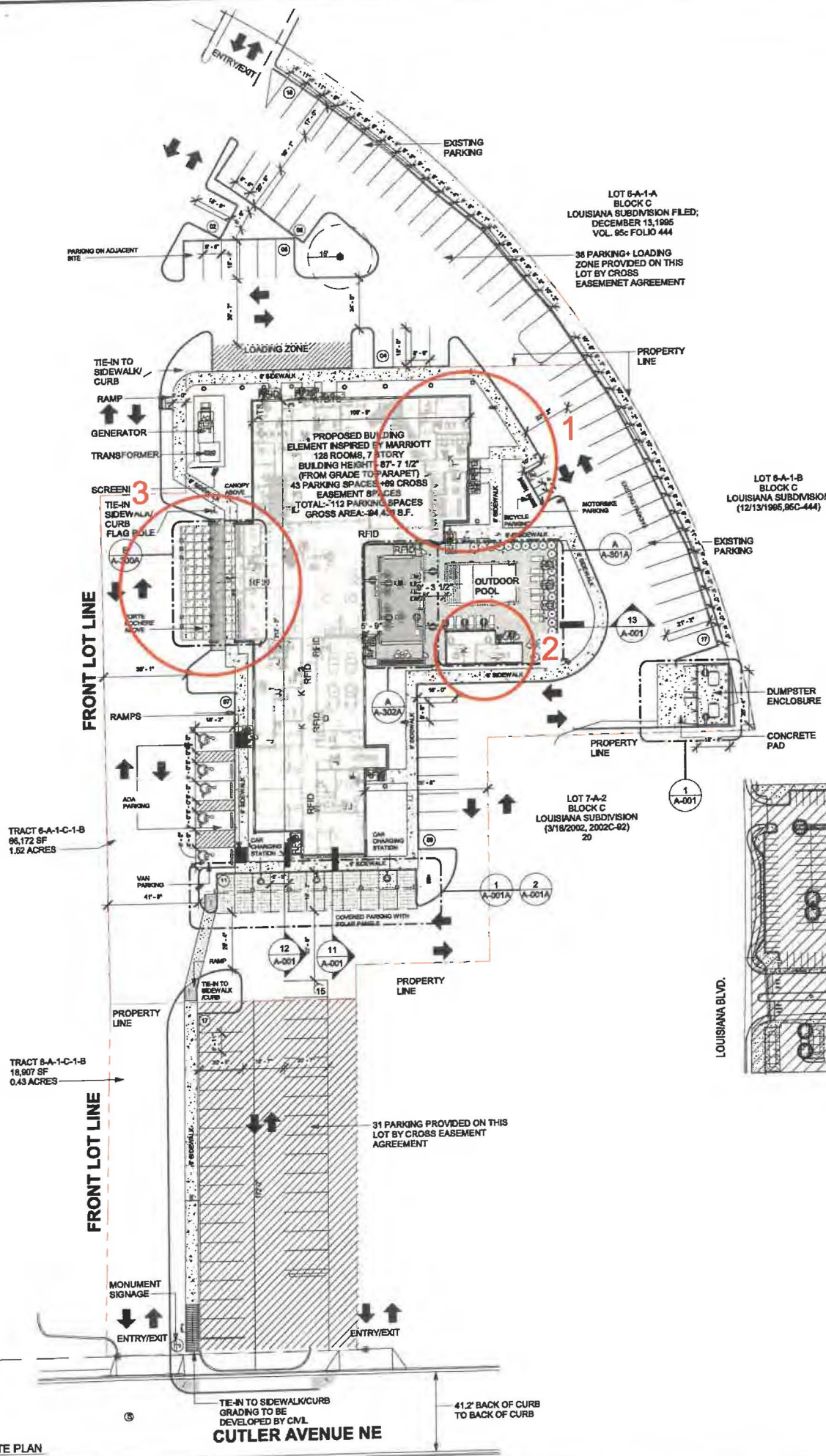
1" = 30' 0 30' 60'

SUMMARY OF CHANGES

1. The building end has changed due to relocating guest rooms and room types.

2. The outdoor pool bathroom, shower and mechanical room have been relocated in order to provide more circulation around the pool.

3. The porte cochere canopy has been included to protect guests from the elements at the drop off.



GENERAL NOTES - SITE PLAN

- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE SHEET G-002 FOR CONTACT INFORMATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
- CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER.
- SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION.
- PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
- CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNERS PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
- LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.
- GC TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
- GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.
- ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 20'-0" O.C.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.
- ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH LOCAL CODES, ADA GUIDELINES AND ANSI VERSIONS ADOPTED BY THE MUNICIPALITY. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER SIGNAGE & FOUNDATION ARE O.F.O.I.
- COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.
- ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURBS AND GUTTER DETAILS AND RADI.
- LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.
- EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

GROSS AREA (EXCLUDING COVERED OUTDOOR SPACES)

LEVEL	AREA
1ST FLOOR	19,187 SF
2ND FLOOR	12,813 SF
3RD FLOOR	13,787 SF
4TH FLOOR	13,787 SF
5TH FLOOR	13,787 SF
6TH FLOOR	13,787 SF
ROOF LEVEL	7,609 SF
TOTAL: 9	84,438 SF

PARKING MATRIX

PARKING TYPE	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	4	4
VAN PARKING SPACE	1	1
STANDARD PARKING SPACE	121	116
MEETING ROOM PARKING SPACE	11	11
RESTAURANT PARKING SPACE	7	7
MOTO PARKING SPACE	4	4
TOTAL PARKING SPACE	164	118
BICYCLE PARKING SPACE	4	8

NOTE: *30% REDUCTION FOR PROXIMITY TO TRANSIT



BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87108
505.831.4200



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
4	A3	2021.08.24	CITY COMMENTS
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE
ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME

**ARCHITECTURAL
SITE PLAN**

DRAWINGS NO.

A-000

NOTE: 6" CURB HEIGHT TYPICAL AT SIDEWALK ADJOINING PARKING STALLS AT BUILDING.



BASE4

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BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



DATE : 2021.12.14

Owner:



4236 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD, NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD#2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

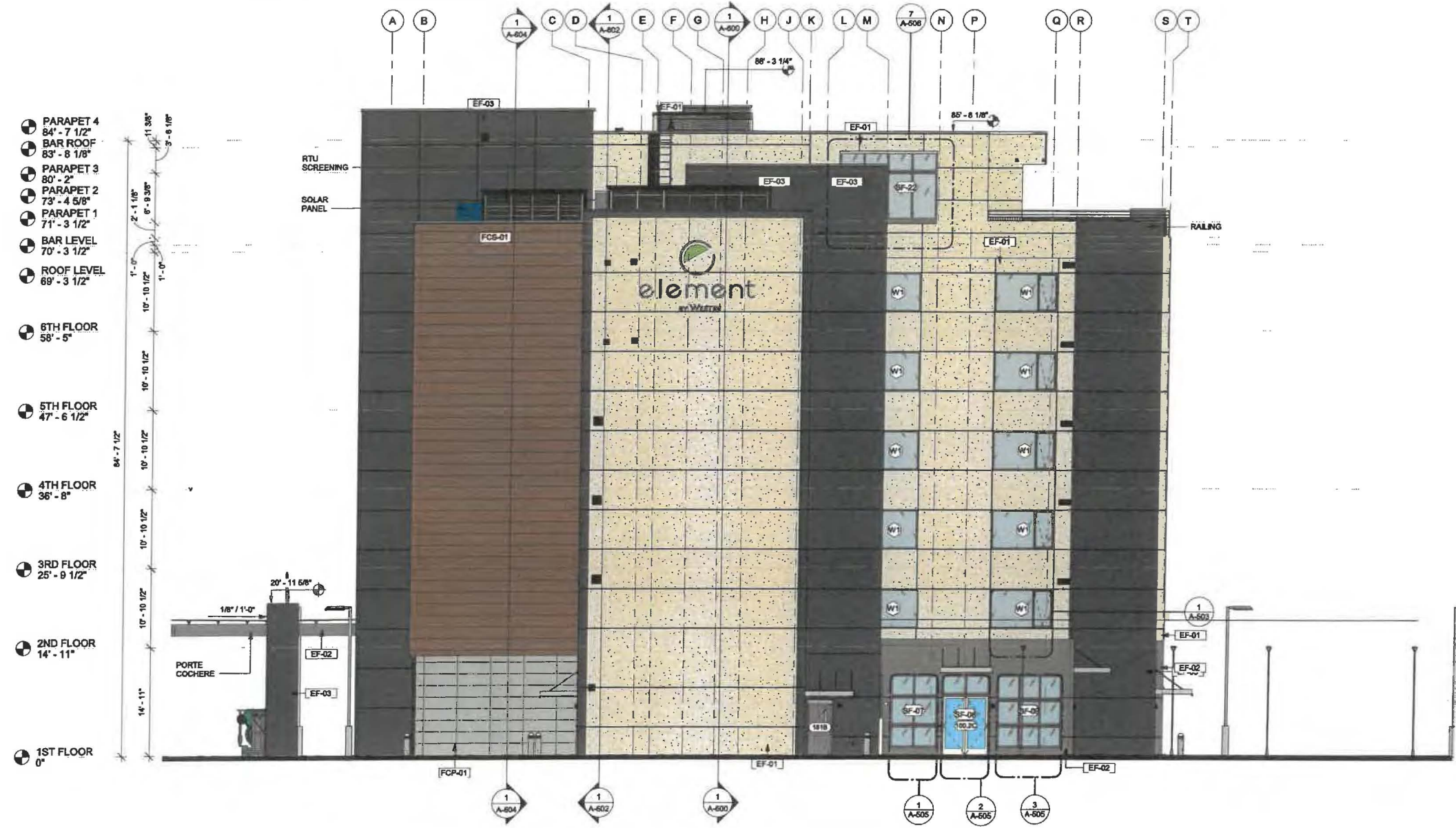
PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-1**

DRAWINGS NO.

A-606



1 SOUTH ELEVATION
A-606 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MUST BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR/ OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-046	
FCP-01	FIBRE CEMENT PANEL-NICHHA	NICHIA PANEL-GLACIER	
FCS-01	FIBRE CEMENT PANEL-NICHHA	VINTAGE CEDAR BARK	



BASE4

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RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



Owner:



4230 BALLOON PARK ROAD
ALBUQUERQUE, NM 87108
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- EN/LIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD#2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

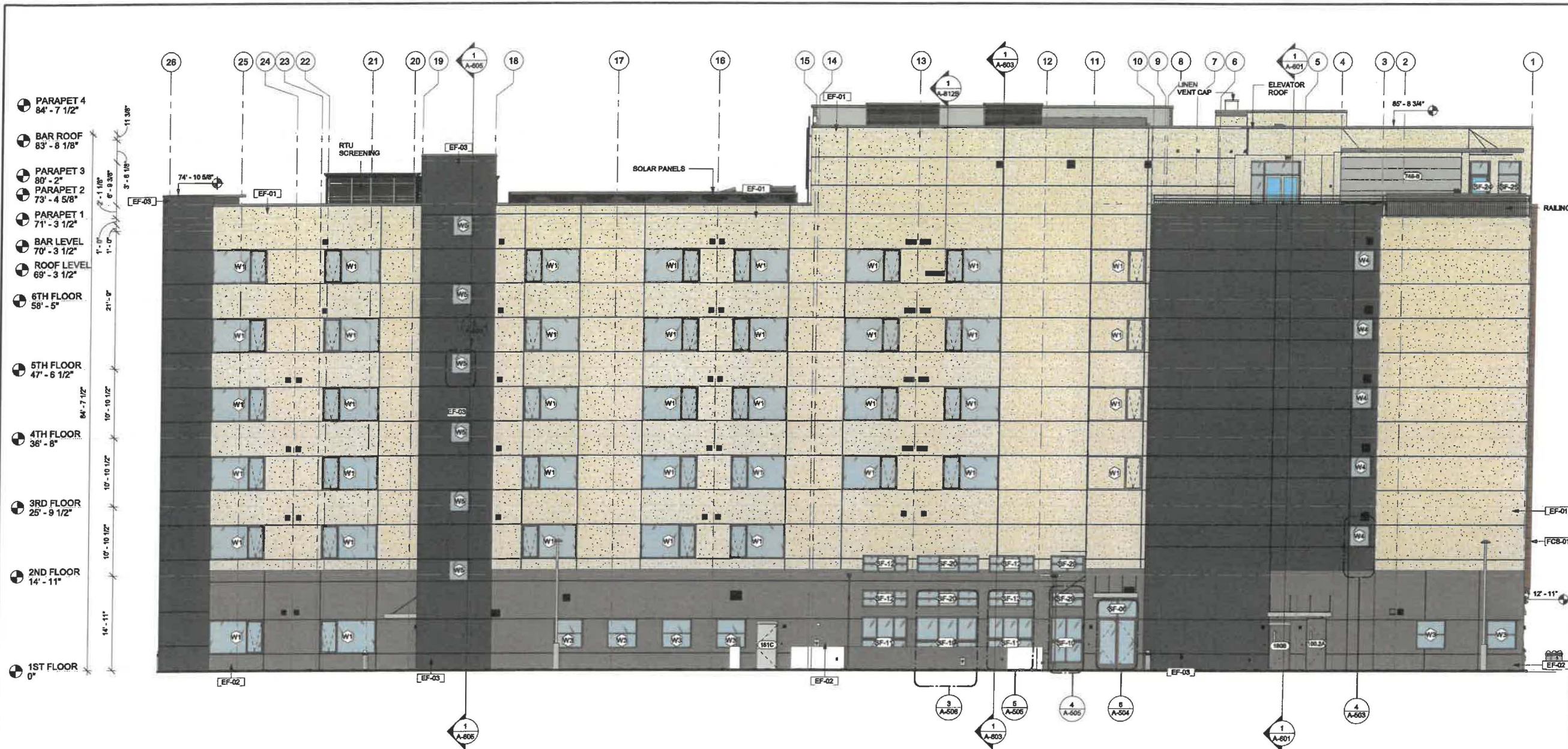
PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-2**

DRAWINGS NO.

A-607



1 EAST ELEVATION
A-607
1/8" = 1'-0"

GENERAL ELEVATION NOTES

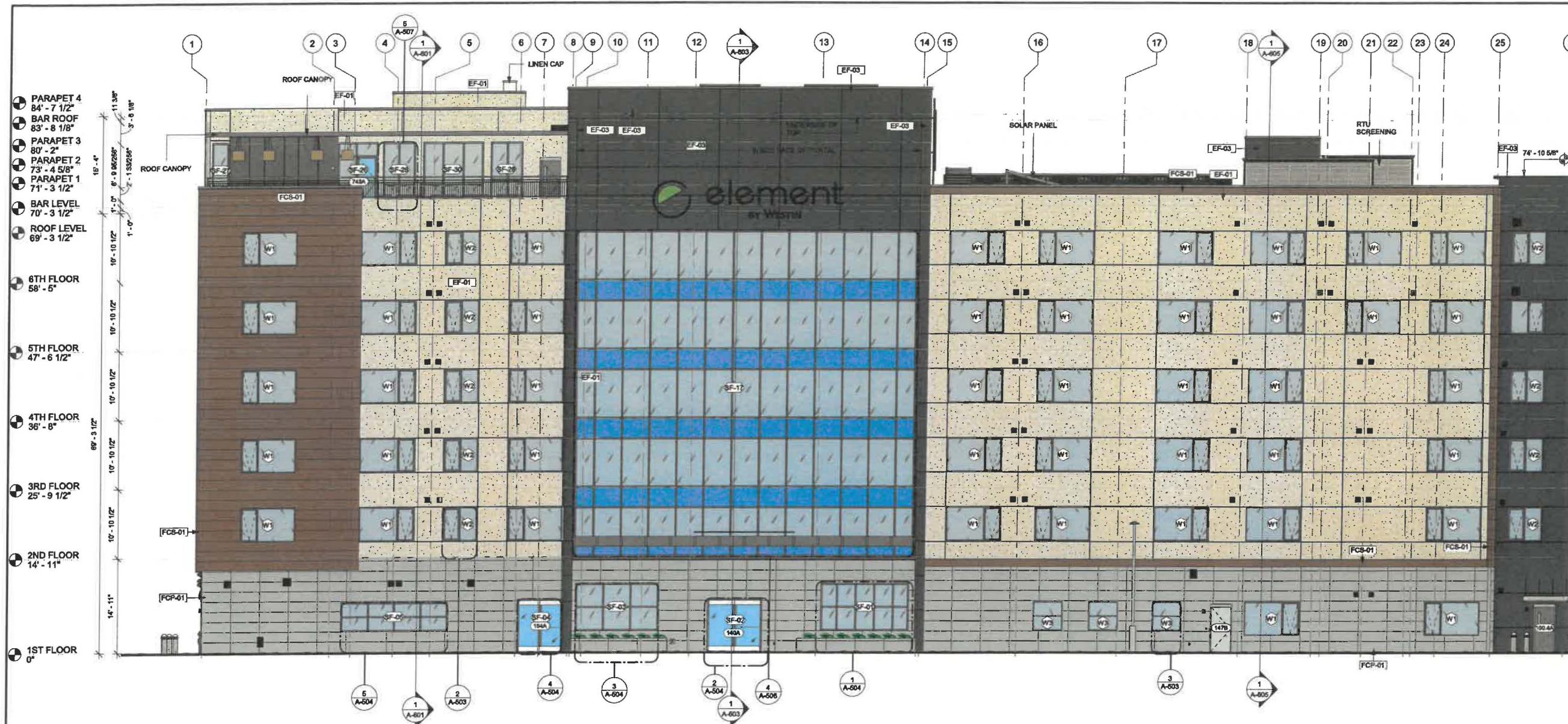
- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
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- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

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EXTERIOR FINISH LEGEND

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BK-01		ASHEN BLACK - B20	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-046	
FCP-01	FIBRE CEMENT PANEL-NICHIA	NICHIA PANEL-GLACIER	
FCB-01	FIBRE CEMENT PANEL-NICHIA	VINTAGE CEDAR BARK	



1 WEST ELEVATION
A-608 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GO TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
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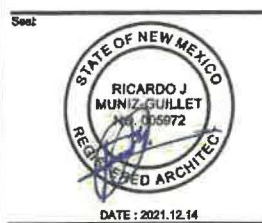
EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - B20	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-048	
FCP-01	FIBRE CEMENT PANEL-NICHIIA	NICHIIA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHIIA	VINTAGE CEDAR BARK	



BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33498
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041



4230 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A7	2021.10.21	ADDR2
1	A8	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE
ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME

BUILDING ELEVATION-3

DRAWINGS NO.
A-608



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal



DATE: 2021.12.14

Owner:



4230 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD, NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.6
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD/REV
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

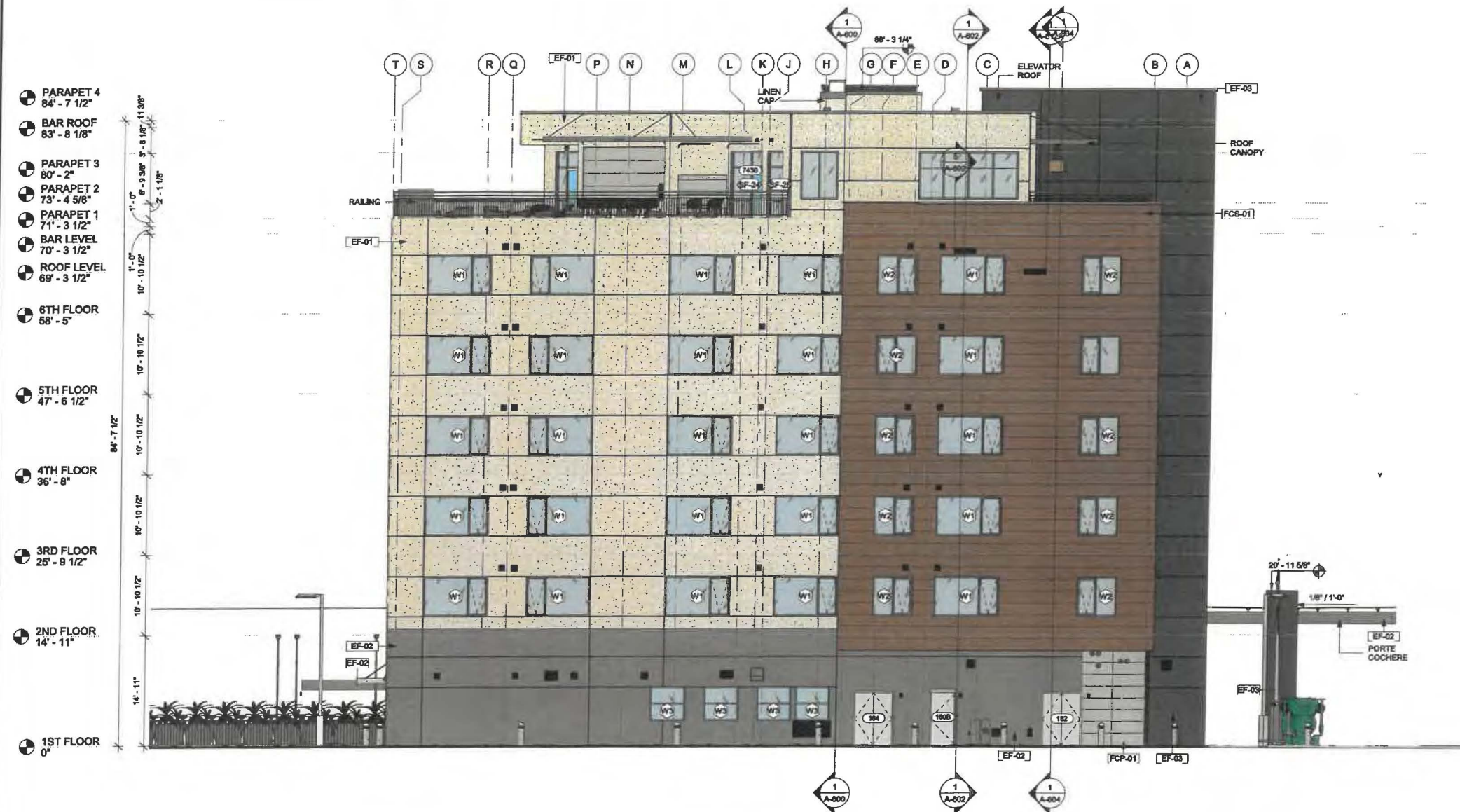
PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-4**

DRAWINGS NO.

A-609



1 NORTH ELEVATION
A-609 1/8" = 1'-0"

GENERAL ELEVATION NOTES

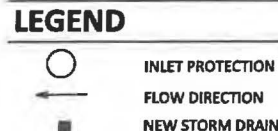
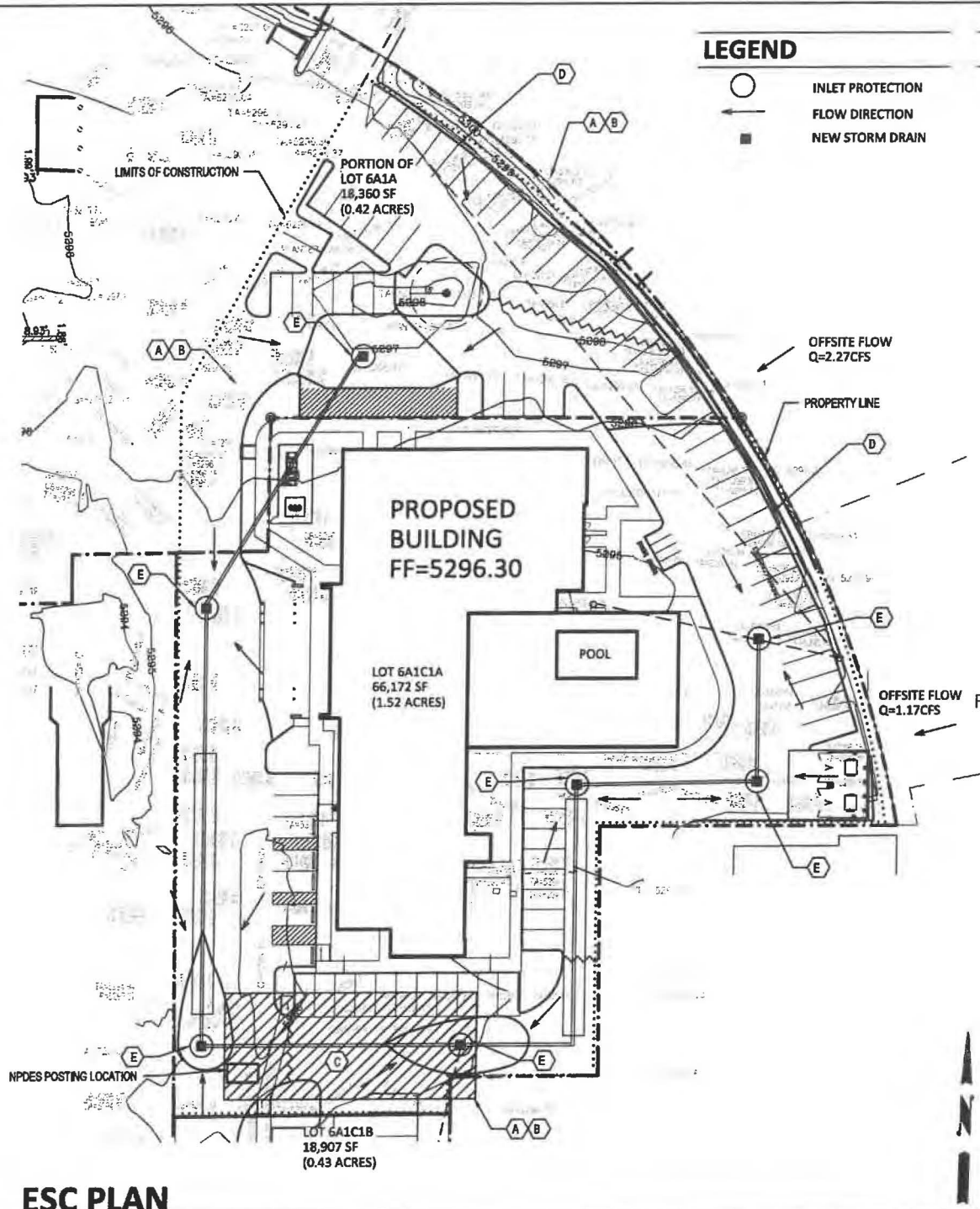
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EXTERIOR FINISH LEGEND

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FCP-01	FIBRE CEMENT PANEL-NICHIA	NICHIA PANEL-GLACIER	
FCB-01	FIBRE CEMENT PANEL-NICHIA	VINTAGE CEDAR BARK	



EROSION CONTROL PLAN & POLLUTION PREVENTION NOTES

- All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
 - The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - The EPA's 2017 Construction General Permit (CGP), and
 - The City Of Albuquerque Construction BMP Manual.
- All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP's and prior to beginning construction.
- Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
- BMP's shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMP's and discontinuation of inspections.



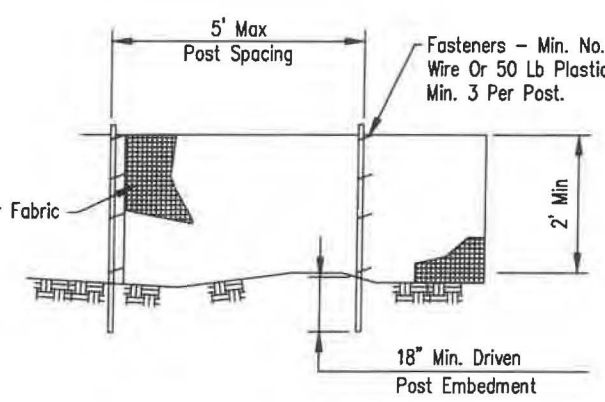
VICINITY MAP H-19-Z

KEYED NOTES

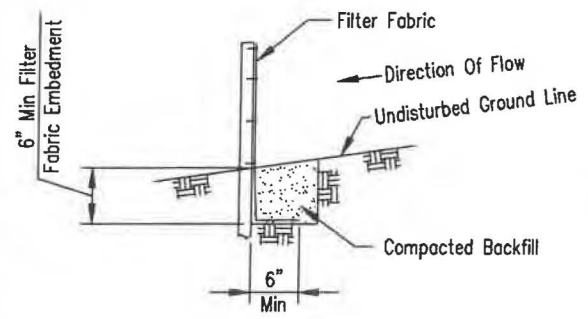
- CONTRACTOR SHALL INSTALL PERIMETER BMP PROTECTION TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTY.
- CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE ENTIRE PERIMETER OF CONSTRUCTION FACILITIES.
- CONTRACTOR SHALL INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- EXISTING CURB AND GUTTER TO REMAIN.
- CONTRACTOR SHALL INSTALL INLET PROTECTION.

ESC NOTES

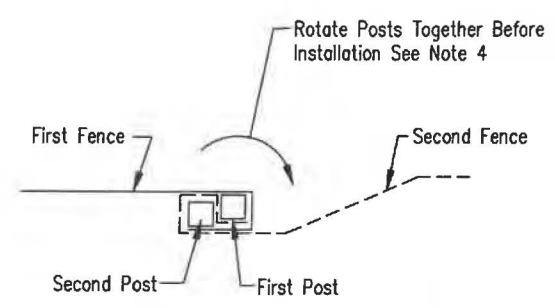
ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 6-A-1-C-1-A, BLOCK 'C' LOUISIANA SUBDIVISION
 SITE AREA: 66,172 SF (1.519 acres)
 EXISTING CONDITIONS: The site is a fully developed portion of an existing commercial site with asphalt parking and landscaping. The site slopes down slightly to the southwest at approximately 1.5% and runoff discharges to the public R/W of Cutler Ave NE.
 EROSION CONTROL: Disturbed portions of the site shall be kept wetted to minimize wind erosion. A temporary construction fence with screening will follow the site perimeter which will help mitigate windblown sediment. The impact on surrounding streets and properties should be minimized.



ELEVATION



FABRIC ANCHOR DETAIL SILT FENCE DETAILS

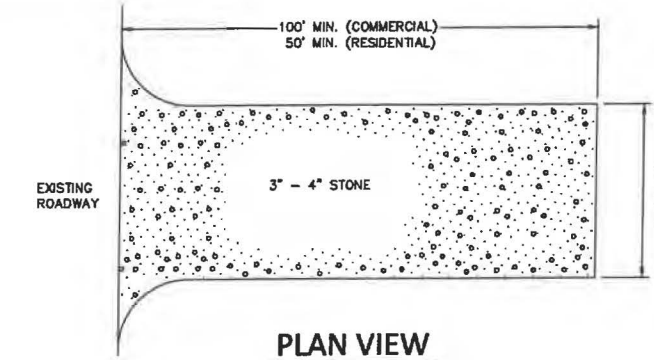


SPlice DETAIL PLAN VIEW

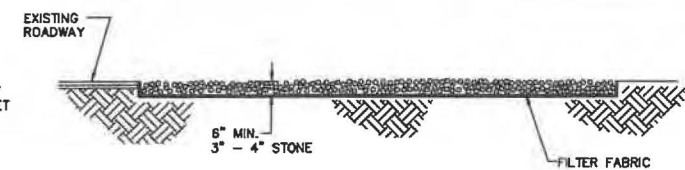
- NOTES:
- TEMPORARY SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED, FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 - FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 - FENCE POSTS SHALL BE WITHER WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA 1.5"x1.5" OR A STANDARD STEEL POST
 - WHEN SLICES ARE NECESSARY, MAKE SPLICE AT POST ACCORDING TO SPLICE DETAIL. PLACE THE END POSE OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE. ROTATE BOTH POSTS TOGETHER AT LEAST 180 DEGREES TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL. CUT THE FABRIC NEAR THE BOTTOM OF THE POSTS TO ACCOMMODATE THE 6" FLAP. THEN DRIVE BOTH POSTS AND BURY THE FLAP. COMPACT BACKFILL WELL.

ESC PLAN

1" = 30'



PLAN VIEW



SIDE CROSS SECTION VIEW

CONSTRUCTION ENTRANCE FOR EROSION CONTROL

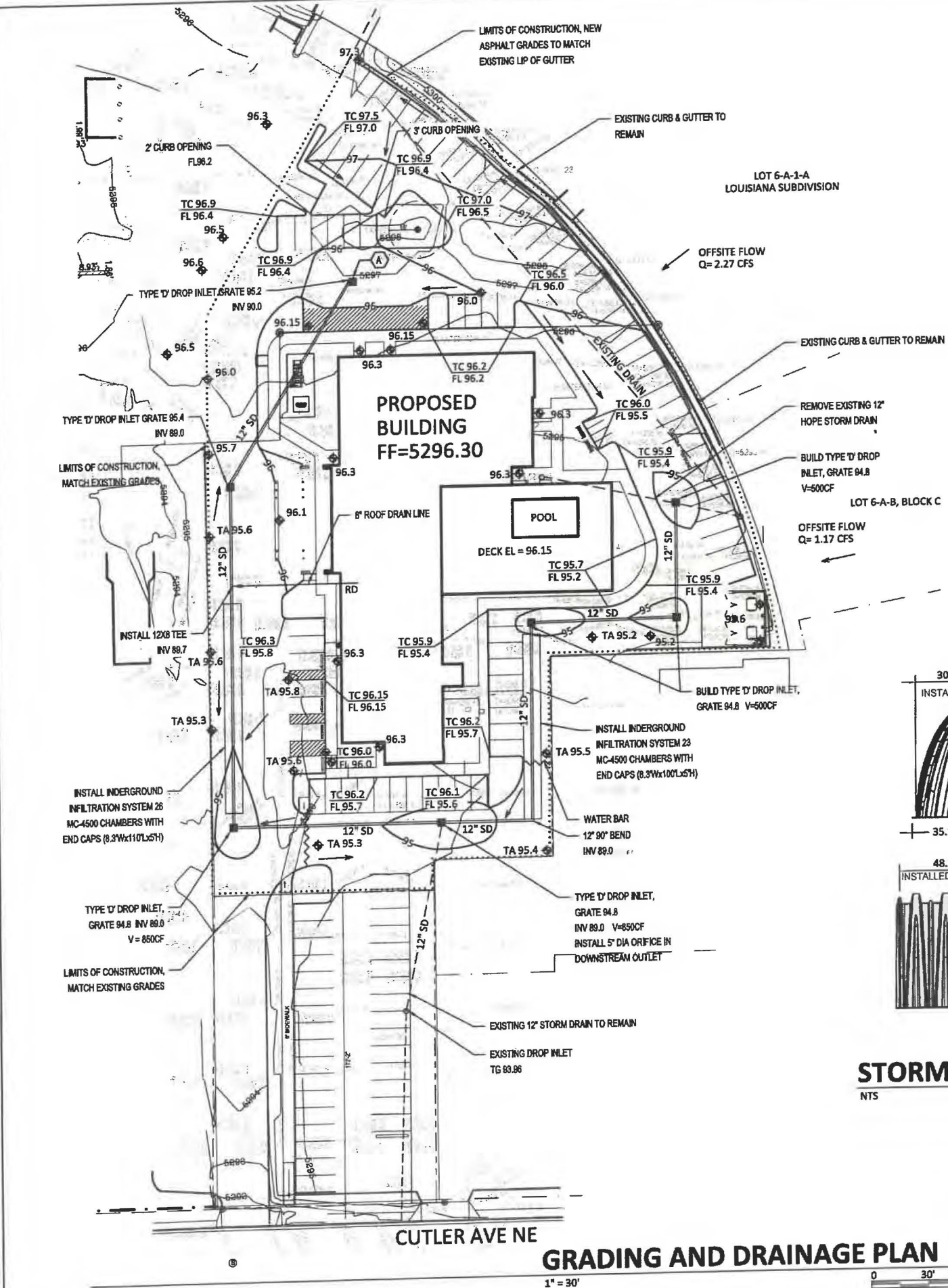
NTS

- NOTES:
- ENTRANCE(S) SHALL BE LOCATED TO PROVIDE MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
 - TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED
 - MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT PERIODIC TOPDRESSING WITH STONE WITH BE NECESSARY. CONTRACTOR SHALL MAINTAIN AS NECESSARY.
 - ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
 - FREQUENT CHECKS OF THE ENTRANCE(S) AND TIMELY MAINTENANCE SHALL BE PROVIDED.
 - NOTES ARE APPLICABLE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED.
 - UTILIZE FILTER FABRIC IN CLAY SOILS.



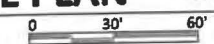
ELEMENT HOTEL
 2440 LOUISIANA BLVD NE
Scott M McGee PE

9700 Sand Verbena Trail NE
 Albuquerque, NM 87122
 505.263.2905
 scottmcmgee@gmail.com



GRADING AND DRAINAGE PLAN

1" = 30'



DRAINAGE ANALYSIS

ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT 6-A-1-C-1-A, BLOCK 'C' LOUISIANA SUBDIVISION

SITE AREA: 66,172 SF (1.519 acres)

BENCHMARK: City of Albuquerque Station '15-H18' being a brass cap. ELEV= 5303.391 (NAVD 1988)

SURVEYOR: Survey Office LLC, dated July 2019

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0352H (8/16/12), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does accept offsite flows from two tracts adjacent to the east as shown on the plan. The total Q=3.44 CFS will continue to be accepted onsite and carried south toward Cutler per the historic flow pattern.

EXISTING CONDITIONS: The site is a fully developed portion of an existing site with asphalt parking and some landscaping. The prior drainage file (H16-D1) was revised by BHI in 1984 and again by Larry Read in 2004. This site has an allowable discharge rate of 1.6 CFS. The site slopes down slightly to the southwest at approximately 1.5% and runoff discharges to the public R/W of Cutler Ave NE.

PROPOSED IMPROVEMENTS: The proposed redevelopment of the site includes a new 7-story hotel, a swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the Storm Water Quality (SWQ) volume. Private storm drains will be extended onsite to provide for catch basins to intercept site runoff with underground retention chambers proposed.

Existing land treatment: 10% C and 90% D
 $Q = [(10)(3.45) + (90)(5.02)](1.52) = 7.4$ CFS

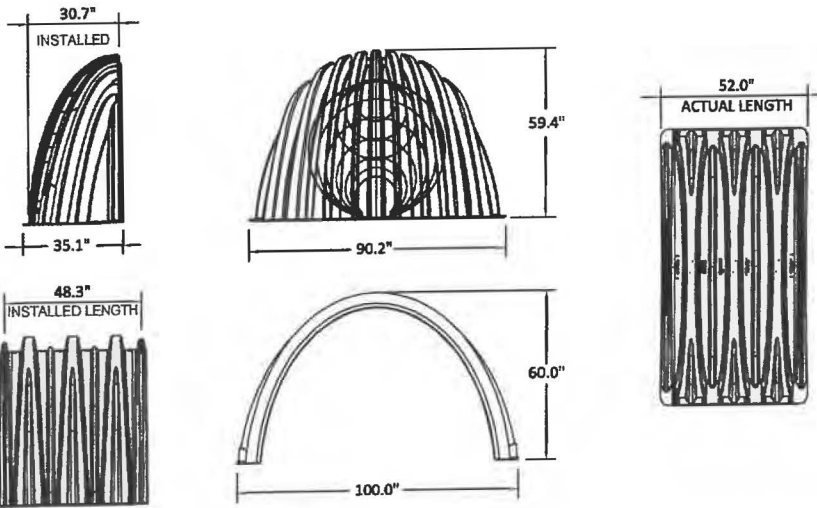
Proposed land treatment: 2% B, 2% C and 96% D
 $Q = [(0.02)(2.60) + (0.02)(3.45) + (0.96)(5.02)](1.52) = 7.5$ CFS

Redevelopment SWQ $V = (63,525)(0.26/12) = 1,376$ CF
 The Hydrograph for $Q = 3.44 + 7.5 = 10.94$ CFS and allowable $Q = 1.6$ CFS (peak time of 11.4 mins and base time of 24.7 mins) gives a required $V = 11,124$ CF.

Total underground detention volume provided onsite is 8,428 CF (49 chambers x 162.6 CF/EA) + (4 end caps x 115.3 CF/EA) using 9" deep stone base = 8,248.6 CF
 Surface storage volume is 2,700 CF at water surface elevation 5295.1

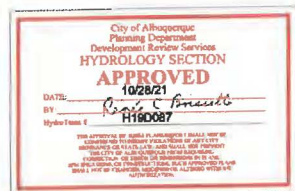
The proposed detention (8,428 + 2,700) = 11,128 CF will contain the SWQ volume and restrict discharge to 1.7 CFS. Site runoff will increase from historic but the proposed onsite retention storage will reduce runoff rate to the allowable rate.

Orifice equation for $H = 5.0'$ and 5" diameter orifice:
 $Q = K_d A (2gH)^{1/2} = (0.7)(0.136)(17.9) = 1.7$ CFS



STORM CHAMBER

NTS

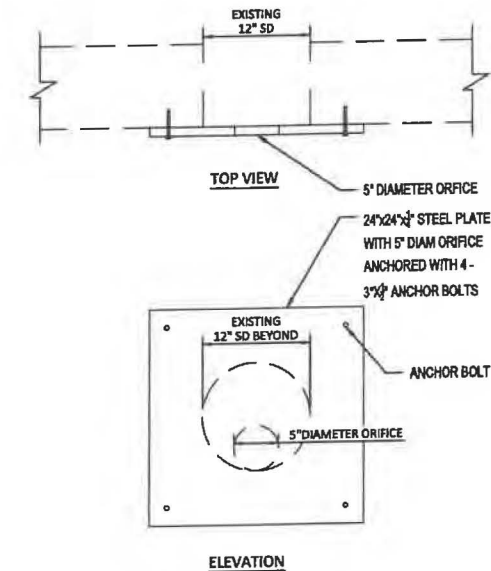


VICINITY MAP

H-19-Z

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5296.30 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- LIMITS OF CONSTRUCTION



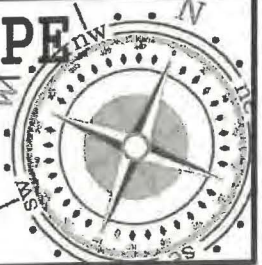
EXISTING INLET W/ORIFICE PLATE

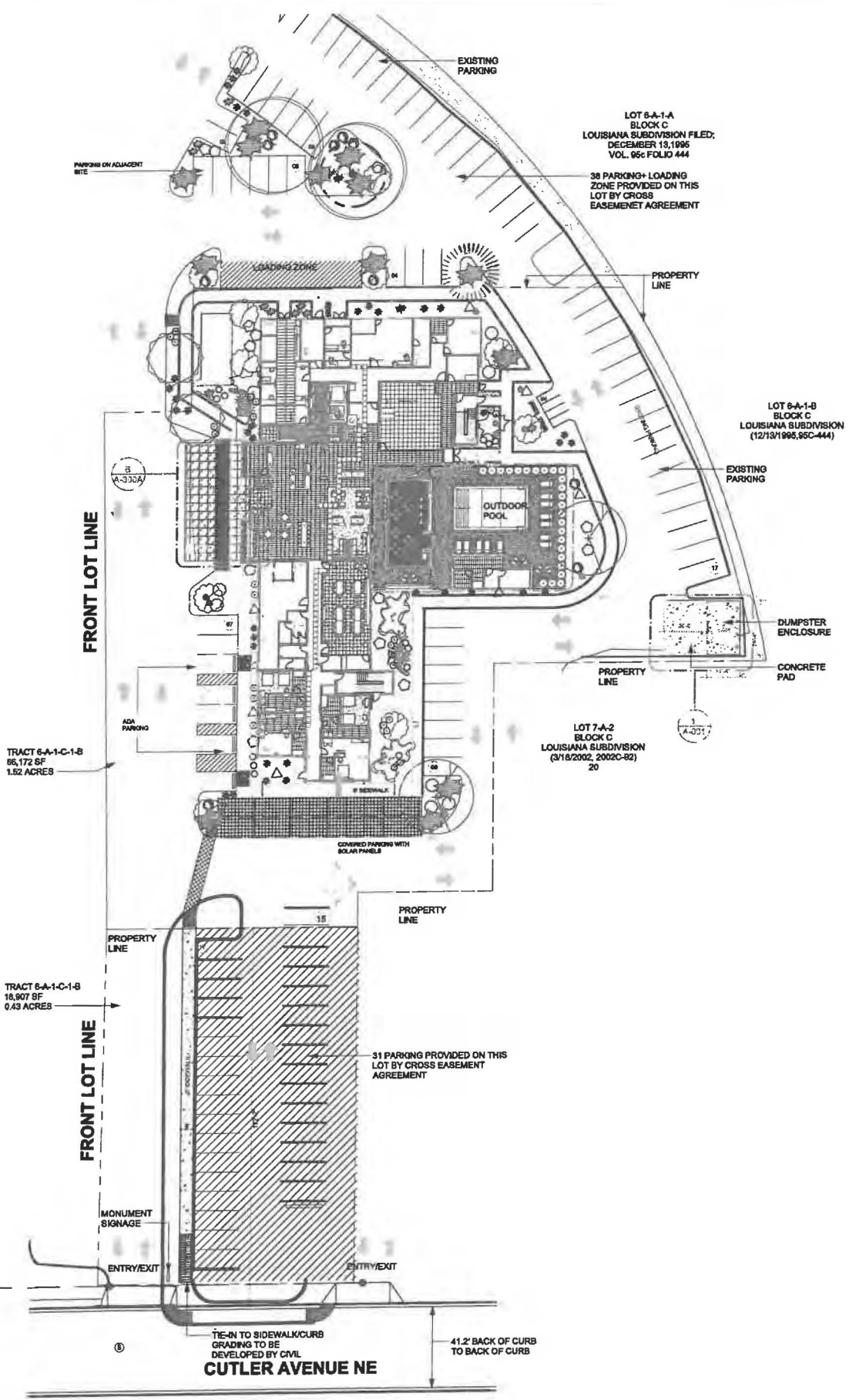
NTS

ELEMENT HOTEL
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LANDSCAPE LEGEND

QTY SIZE COMMON BOTANICAL H2O USE

Trees

2	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	35x35	025	2450 M
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	4050 M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	625	625 M
2	5 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	28x28	400	1200 M
11	5 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	8x12	144	5625 M
2	5 Gal	Desert Willow <i>Chilopsis linearis</i>	28x25	625	1872 M

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	8x6	36	144 M
10	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x3	25	250 M
34	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	12x2	4	136 M
8	5 Gal	Grassleaf Coleonaster <i>Coleonaster glaucophyllus</i>	5x5	25	280 M
1	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x7	49	343 M
2	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x2	144	288 M
13	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	6x2	144	1728 M
5	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	162 M
22	5 Gal	Blue Mist <i>Cynopterus x clandonensis</i>	3x3	9	180 M
1	5 Gal	Fern Bush <i>Chamaecrista nillifolia</i>	5x6	36	288 L
12	5 Gal	Knock Out Rose <i>Rosa 'Knock Out'</i>	3x4	12	180 L
24	2-3cf	Boulders Seat Height Boulders, buried 1/3		4848	
10167		Landscape Gravel / Filter Fabric Santa Fe Brown			

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas unless otherwise specified.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1" Natam spritz (30" length) with 3 loops at a final radius of 45" from tree trunk, placed in place. Natam shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytype with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

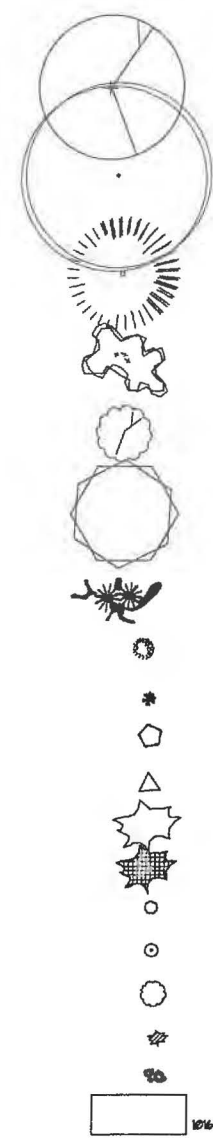
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	66751
TOTAL BUILDING AREA (sf)	-15488
TOTAL LOT AREA (sf)	46263
LANDSCAPE REQUIREMENT	X .25
TOTAL LANDSCAPE REQUIRED (sf)	11566
TOTAL ON-SITE LANDSCAPE PROVIDED	8183
TOTAL LIVE GROUNDCOVER REQUIRED	2483
TOTAL LIVE GROUNDCOVER PROVIDED	4848



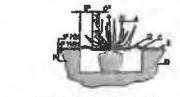
1. TREE SHALL BE PLANTED ON ESTABLISHED SOIL TO PREVENT SOIL COMPACTION.

2. TOP OF ROOTBALL TO BE EXPOSED TO GRADE AT TIME OF PLANTING. SOIL TO BE REFINISHED TO GRADE. SOIL TO BE REFINISHED TO GRADE. SOIL TO BE REFINISHED TO GRADE.

3. TREE TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE. TREE TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE.

4. TREE TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE. TREE TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE.

5. TREE TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE. TREE TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE.



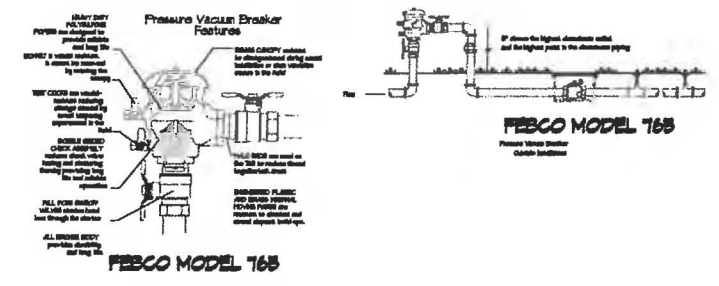
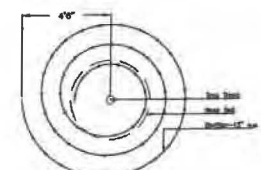
1. SHRUB SHALL BE PLANTED ON ESTABLISHED SOIL TO PREVENT SOIL COMPACTION.

2. TOP OF ROOTBALL TO BE EXPOSED TO GRADE AT TIME OF PLANTING. SOIL TO BE REFINISHED TO GRADE. SOIL TO BE REFINISHED TO GRADE.

3. SHRUB TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE. SHRUB TO BE PLANTED WITH ALL SOIL AND ROOTBALL REMOVED FROM SITE.

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The Hilltop
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Ph. (505) 259-5650
Fax. (505) 259-7131
denny@hilltoplandscaping.com



2440 Louisiana
Proposed Hotel
Albuquerque, NM

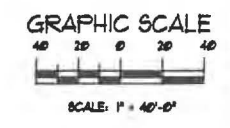
Landscape Plan

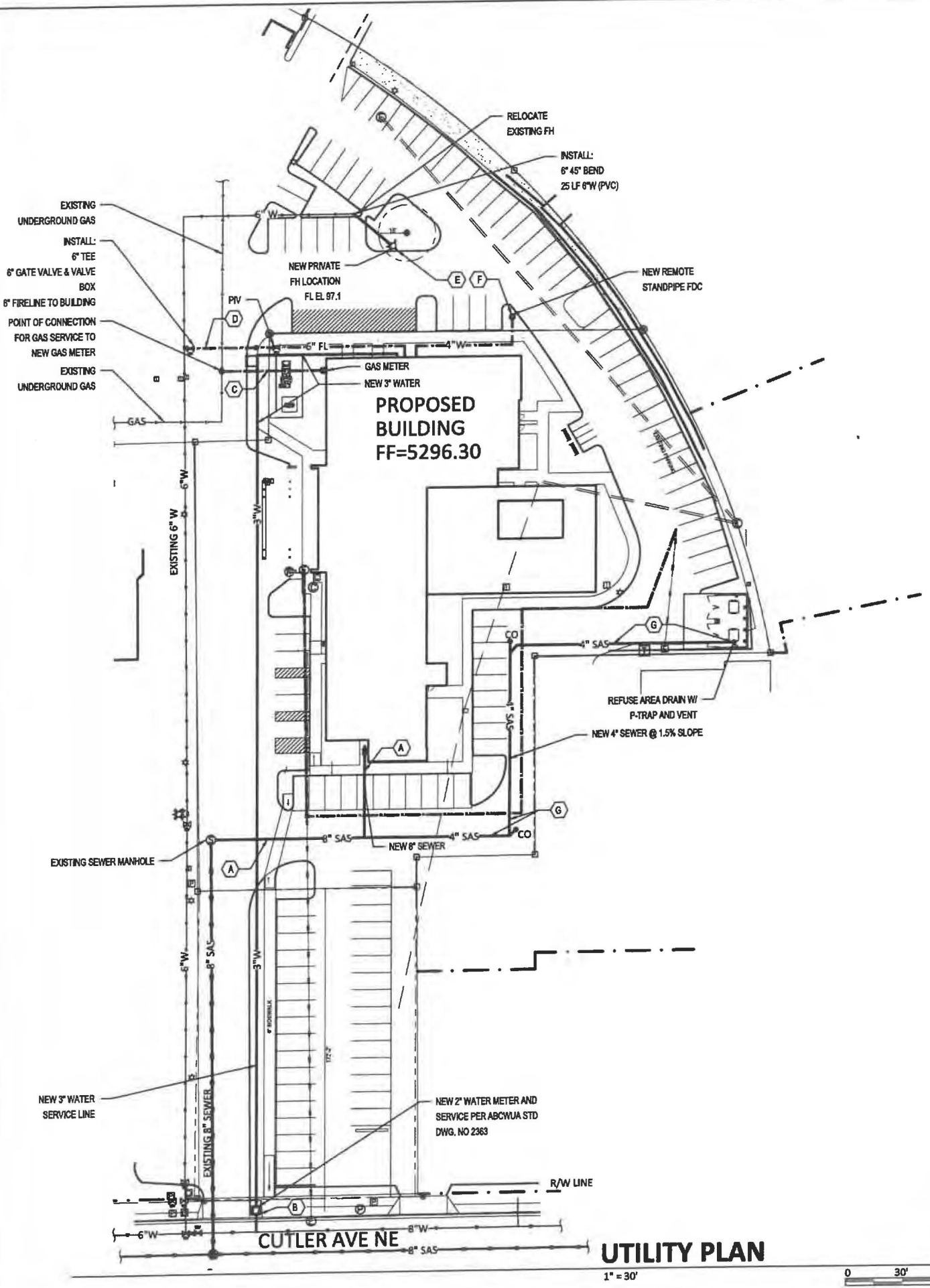
The design contained herein represents the property of The Hilltop Landscape Architects and Contractors, Inc. This is an original design and shall not be released or copied unless applicable laws have been met or a job order placed.



DRAWN BY: JT
REVISION: 1
DATE: 08/25/2021

SHEET #
LS-101





LEGEND

- CO — CLEAN OUT
- W — WATER LINE WITH SIZE
- ELE — ELECTRIC LINE
- SAS — SANITARY SEWER
- G — GAS LINE
- FH — FIRE HYDRANT
- FDC — FIRE DEPT SONNECTION

KEYED NOTES

- A. CONNECT NEW 8" SANITARY SEWER SERVICE TO EXISTING ONSITE MANHOLE AS SHOWN. SEE PLUMBING PLAN FOR CONTINUATION.
- B. NEW 2" DOMESTIC WATER SERVICE FROM WATER MAIN TO METER AND 3" WATERLINE FROM METER TO THE BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- C. NEW GAS SERVICE TO METER—SIZE PER MECHANICAL PLAN. CONTRACTOR TO COORDINATE WITH NEW MEXICO GAS COMPANY.
- D. NEW 6" FIRELINE TO BUILDING FROM WATER MAIN. INSTALL POST INDICATOR VALVE (PIV) AS SHOWN.
- E. RELOCATE PRIVATE FIRE HYDRANT ONSITE AS SHOWN.
- F. INSTALL REMOTE STANPIPE FIRE DEPT CONNECTION (FDC) AS SHOWN.
- G. INSTALL 4" WASTE LINE FROM REFUSE AREA DRAIN AT MIN. 2% SLOPE. INSTALL DRAIN, P-TRAP, AND 2" VENT AS REQUIRED. ROUTE VENT UP ALONG REFUSE ENCLOSURE WALL TO ABOVE WALL AND BRACE AS REQUIRED.

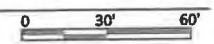
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505.263.2905
scottmmcgee@gmail.com

UTILITY PLAN

1" = 30'

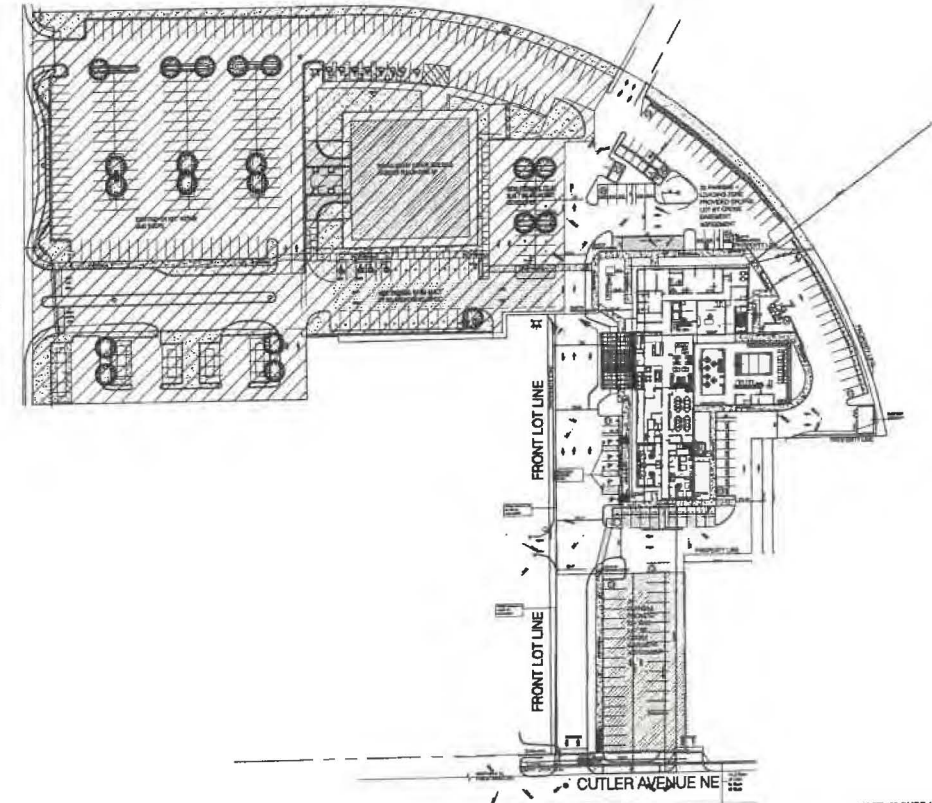
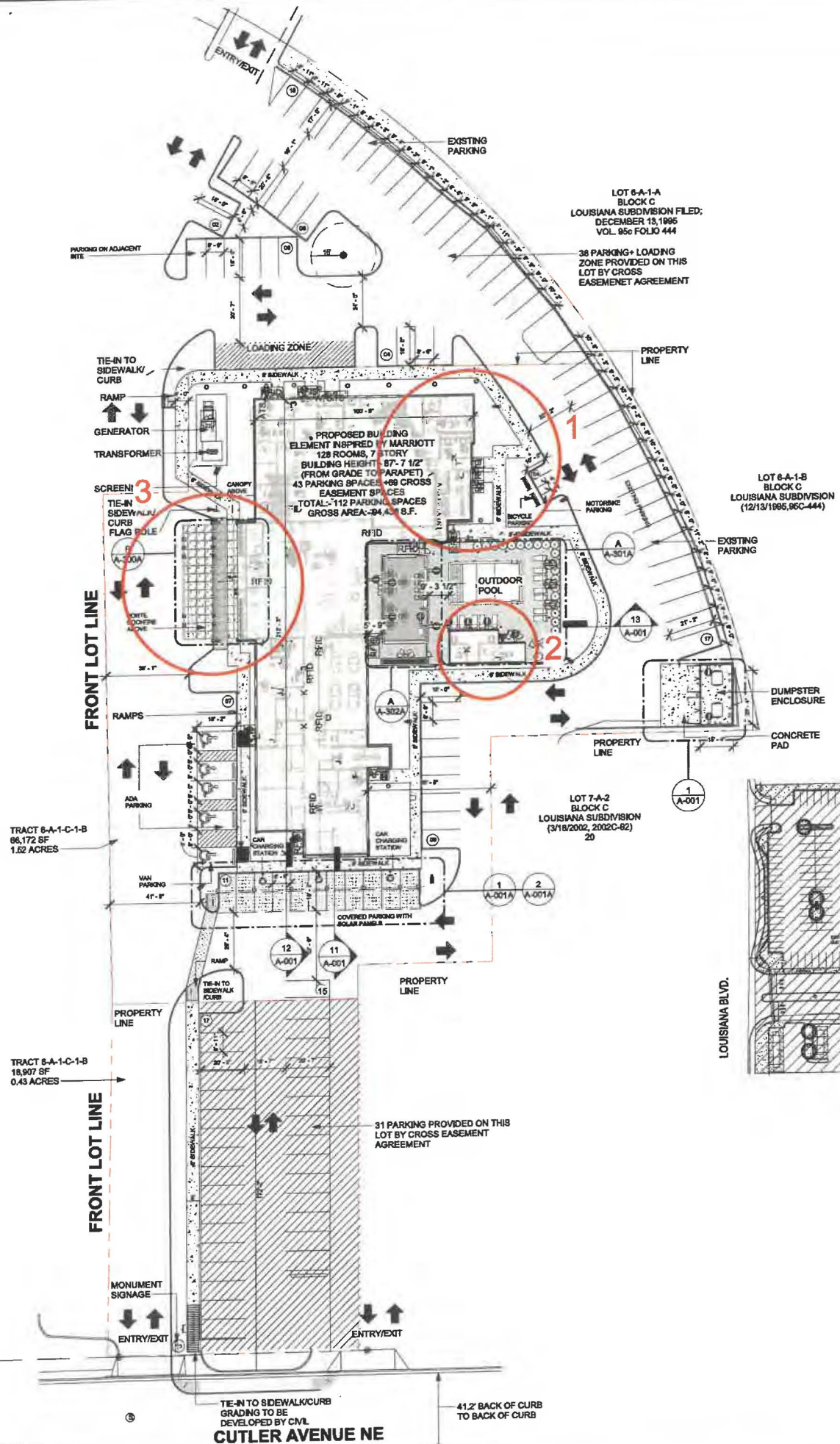


SUMMARY OF CHANGES

1. The building end has changed due to relocating guest rooms and room types.

2. The outdoor pool bathroom, shower and mechanical room have been relocated in order to provide more circulation around the pool.

3. The porte cochere canopy has been included to protect guests from the elements at the drop off.



MASTER SITE PLAN

NOTE: 6" CURB HEIGHT TYPICAL AT SIDEWALK ADJOINING PARKING STALLS AT BUILDING.

GENERAL NOTES - SITE PLAN

- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE SHEET G-002 FOR CONTACT INFORMATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
- CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER.
- SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION.
- PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
- CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
- LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.
- GC TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
- GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.
- ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.
- ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH LOCAL CODES, ADA GUIDELINES AND ANSI VERSIONS ADOPTED BY THE MUNICIPALITY. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER, SIGNAGE & FOUNDATION ARE O.F.O.I.
- COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.
- ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADI.
- LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.
- EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

GROSS AREA (EXCLUDING COVERED OUTDOOR SPACES)

LEVEL	AREA
1ST FLOOR	19,187 SF
2ND FLOOR	12,813 SF
3RD FLOOR	13,787 SF
4TH FLOOR	13,787 SF
5TH FLOOR	13,787 SF
6TH FLOOR	13,787 SF
ROOF LEVEL	7,509 SF
TOTAL: 9	94,438 SF

PARKING MATRIX

PARKING TYPE	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	4	4
VAN PARKING SPACE	1	1
STANDARD PARKING SPACE	121	116
MEETING ROOM PARKING SPACE	11	11
RESTAURANT PARKING SPACE	7	7
MOTO PARKING SPACE	4	4
TOTAL PARKING SPACE	164	116
BICYCLE PARKING SPACE	4	8

NOTE: *30% REDUCTION FOR PROXIMITY TO TRANSIT



BASE4
2901 CLINT MOORE ROAD, #114
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888.901.8008 www.base4.com

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2030 HABERSHAM TRACE,
CUMMING, GA 30041



4238 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200

2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A3	2021.08.24	CITY COMMENTS
1	AD	2020.12.01	ISSUED FOR PERMIT

ISSUED FOR PERMIT

CURRENT ISSUE DATE: 2021.07.15

DRAWN BY: SB/NS

CHECKED BY: LA/RB

PROJECT NO.: B4-178-1901

SHEET NAME

ARCHITECTURAL SITE PLAN

DRAWINGS NO.

A-000



BASE4

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BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



DATE: 2021.12.14

Owner:



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2450 LOUISIANA BLVD, NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE: ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADDR2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-1**

DRAWINGS NO.

A-606

- PARAPET 4
84' - 7 1/2"
- BAR ROOF
83' - 8 1/8"
- PARAPET 3
50' - 2"
- PARAPET 2
73' - 4 5/8"
- PARAPET 1
71' - 3 1/2"
- BAR LEVEL
70' - 3 1/2"
- ROOF LEVEL
69' - 3 1/2"

● 6TH FLOOR
58' - 5"

● 5TH FLOOR
47' - 6 1/2"

● 4TH FLOOR
38' - 8"

● 3RD FLOOR
25' - 9 1/2"

● 2ND FLOOR
14' - 11"

● 1ST FLOOR
0"



1 SOUTH ELEVATION
A-606 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR/ OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - R20	
EF-01	EFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-048	
FCP-01	FIBRE CEMENT PANEL-NICHIHA	NICHIHA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHIHA	VINTAGE CEDAR BARK	



BASE4

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Owner:
TMS
TOTAL MANAGEMENT SYSTEMS

4230 BALLOON PARK ROAD
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505.831.4200

2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD#2
1	A8	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

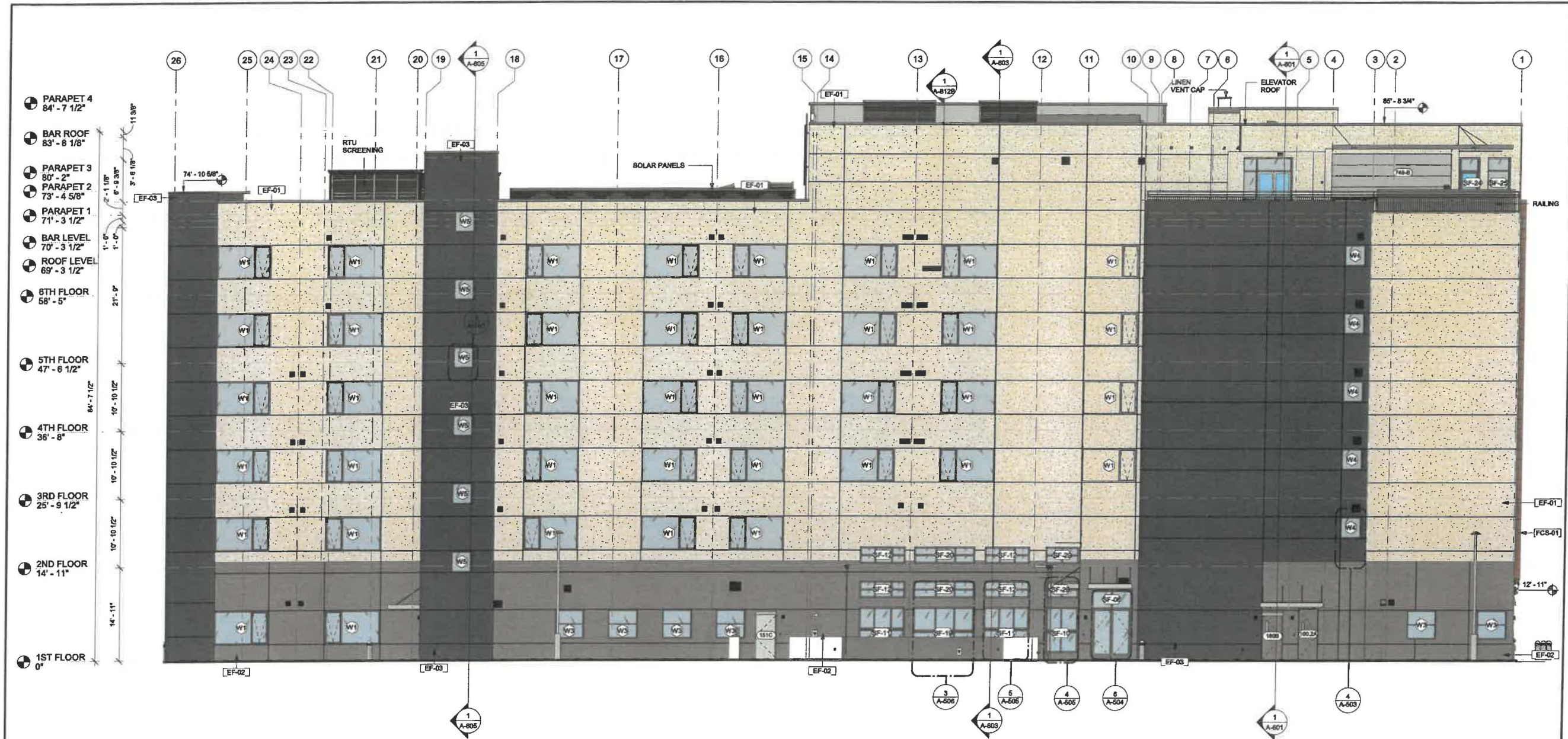
PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-2**

DRAWINGS NO.

A-607



1 EAST ELEVATION
1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GO TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
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- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

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EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 620	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-046	
FCP-01	FIBRE CEMENT PANEL-NICHIA	NICHIA PANEL-GLACIER	
FCS-01	FIBRE CEMENT PANEL-NICHIA	VINTAGE CEDAR BARK	



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33498
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



DATE: 2021.12.14

Owner:



4238 BALLOON PARK ROAD
ALBUQUERQUE, NM 87108
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADDR2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

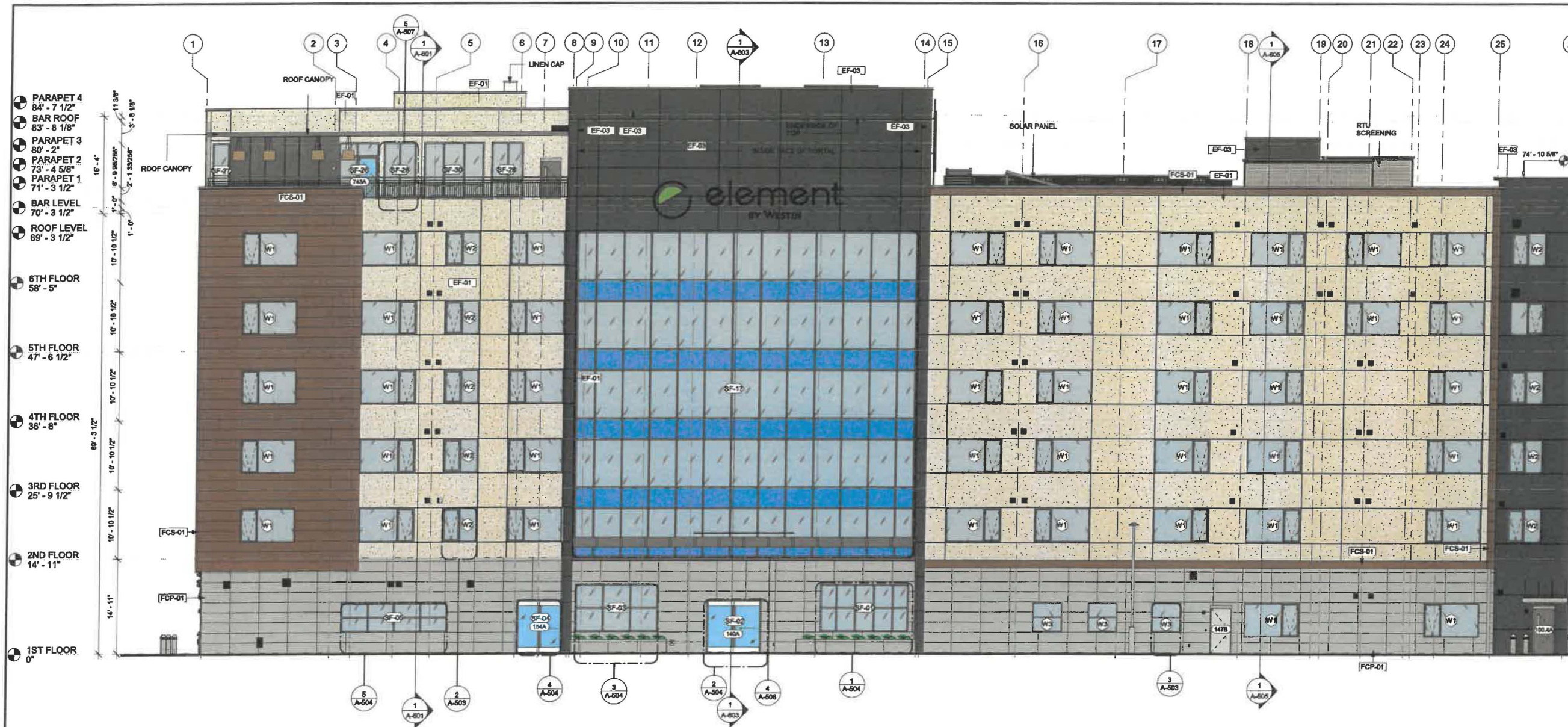
PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-3**

DRAWINGS NO.

A-608



1 WEST ELEVATION
A-608 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GO TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPERS RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
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EXTERIOR FINISH LEGEND

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BK-01		ASHEN BLACK - B20	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-048	
FCP-01	FIBRE CEMENT PANEL-NICHIA	NICHIA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHIA	VINTAGE CEDAR BARK	



BASE4

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RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041



DATE: 2021.12.14



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD#2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE
ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-175-1901

SHEET NAME

**BUILDING
ELEVATION-4**

DRAWINGS NO.

A-609

- PARAPET 4
84' - 7 1/2"
- BAR ROOF
83' - 8 1/8"
- PARAPET 3
80' - 2"
- PARAPET 2
73' - 4 5/8"
- PARAPET 1
71' - 3 1/2"
- BAR LEVEL
70' - 3 1/2"
- ROOF LEVEL
69' - 3 1/2"
- 6TH FLOOR
58' - 5"
- 5TH FLOOR
47' - 6 1/2"
- 4TH FLOOR
36' - 8"
- 3RD FLOOR
25' - 9 1/2"
- 2ND FLOOR
14' - 11"
- 1ST FLOOR
0"



1 NORTH ELEVATION
A-609 1/8" = 1'-0"

GENERAL ELEVATION NOTES

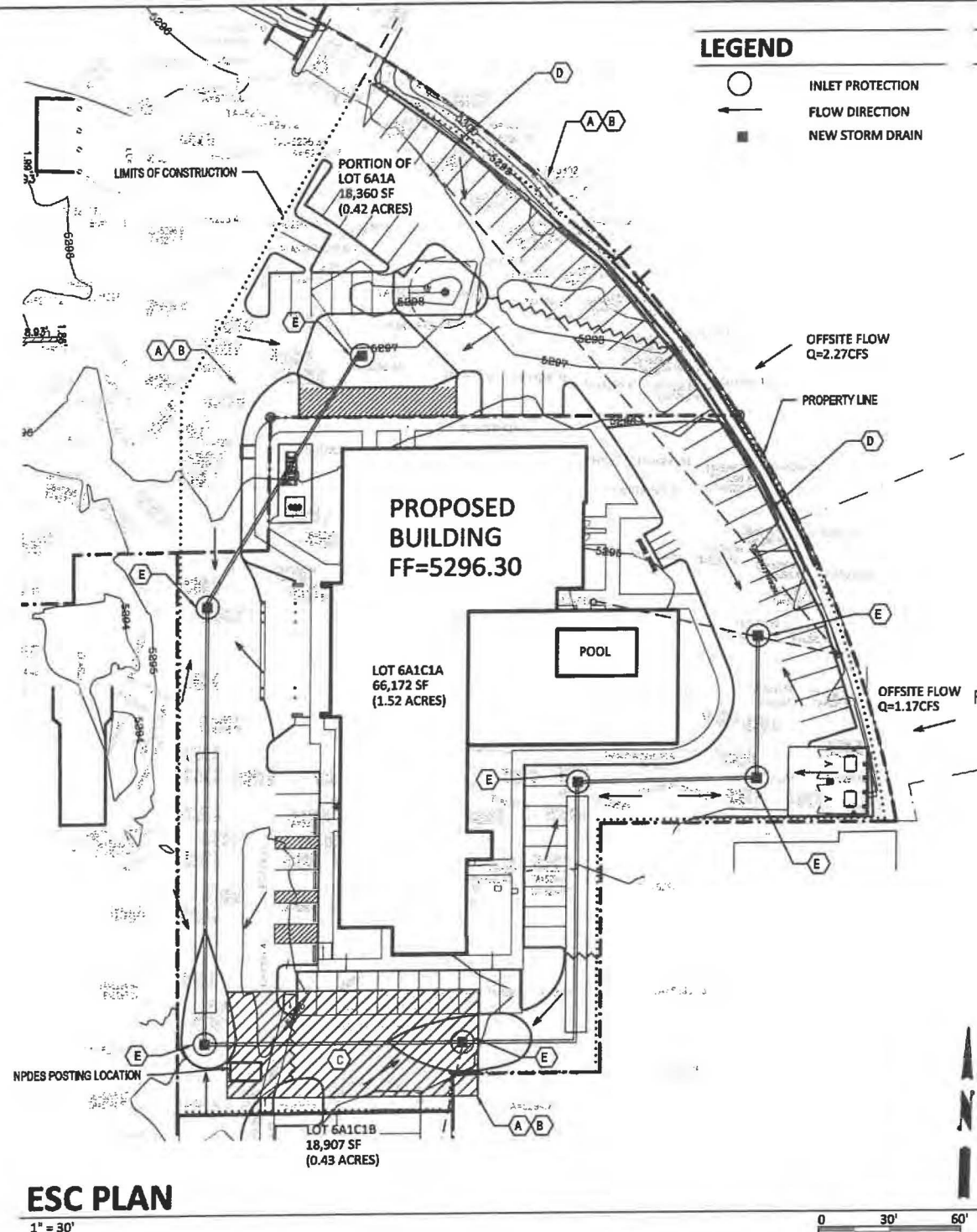
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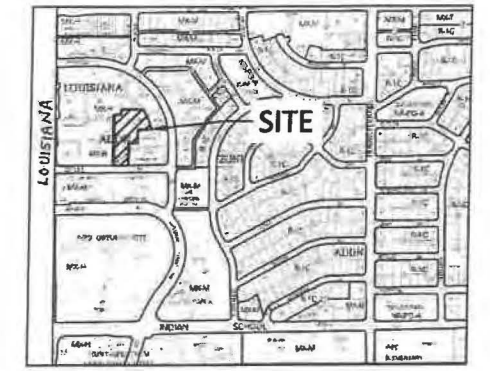
EXTERIOR FINISH LEGEND

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FCP-01	FIBRE CEMENT PANEL-NICHIHA	NICHA PANEL-GLACIER	
FCB-01	FIBER CEMENT PANEL-NICHIHA	VINTAGE CEDAR BARK	



EROSION CONTROL PLAN & POLLUTION PREVENTION NOTES

1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
- a. The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - b. The EPA's 2017 Construction General Permit (CGP), and
 - c. The City Of Albuquerque Construction BMP Manual.
2. All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP's and prior to beginning construction.
3. Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
5. Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
6. BMP's shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMP's and discontinuation of inspections.



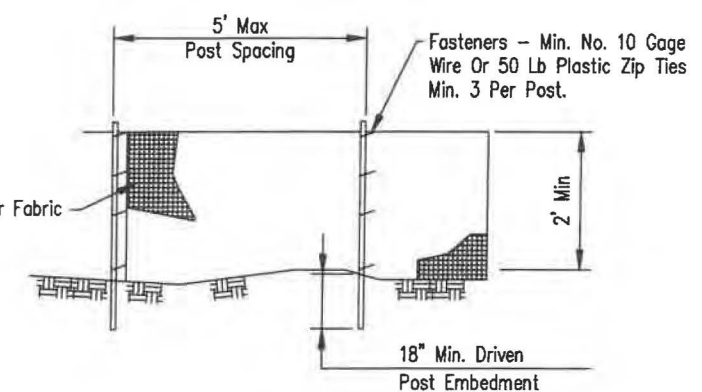
VICINITY MAP H-19-Z

KEYED NOTES

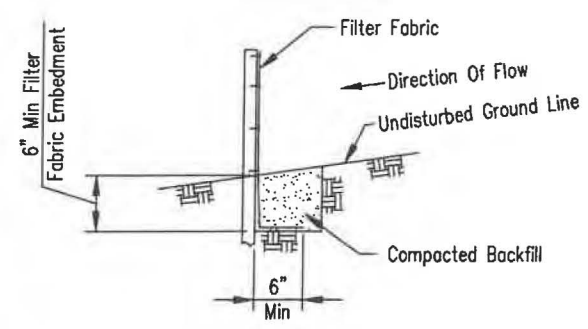
- A. CONTRACTOR SHALL INSTALL PERIMETER BMP PROTECTION TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTY.
- B. CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE ENTIRE PERIMETER OF CONSTRUCTION FACILITIES.
- C. CONTRACTOR SHALL INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- D. EXISTING CURB AND GUTTER TO REMAIN.
- E. CONTRACTOR SHALL INSTALL INLET PROTECTION.

ESC NOTES

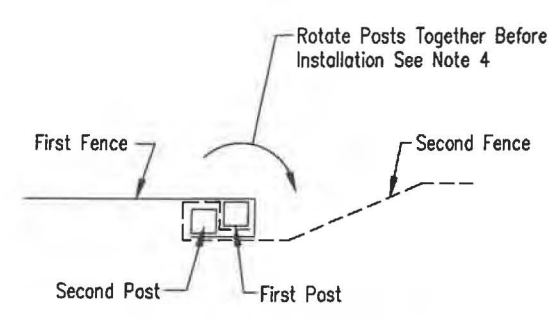
ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 6-A-1-C-1-A, BLOCK 'C' LOUISIANA SUBDIVISION
 SITE AREA: 66,172 SF (1.519 acres)
 EXISTING CONDITIONS: The site is a fully developed portion of an existing commercial site with asphalt parking and landscaping. The site slopes down slightly to the southwest at approximately 1.5% and runoff discharges to the public R/W of Outler Ave NE.
 EROSION CONTROL: Disturbed portions of the site shall be kept wetted to minimize wind erosion. A temporary construction fence with screening will follow the site perimeter which will help mitigate windblown sediment. The impact on surrounding streets and properties should be minimized.



ELEVATION



FABRIC ANCHOR DETAIL



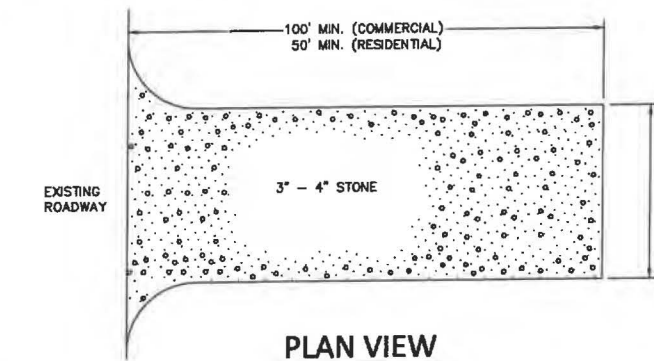
SPLICE DETAIL PLAN VIEW

SILT FENCE DETAILS

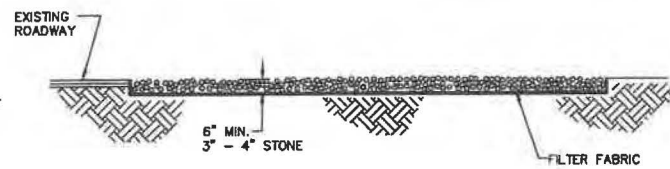
- NTS
- NOTES:
1. ENTRANCE(S) SHALL BE LOCATED TO PROVIDE MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
 2. TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED
 3. MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT PERIODIC TOPDRESSING WITH STONE WITH BE NECESSARY. CONTRACTOR SHALL MAINTAIN AS NECESSARY.
 4. ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
 5. FREQUENT CHECKS OF THE ENTRANCE(S) AND TIMELY MAINTENANCE SHALL BE PROVIDED.
 6. NOTES ARE APPLICABLE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED.
 7. UTILIZE FILTER FABRIC IN CLAY SOILS.

ESC PLAN

1" = 30'



PLAN VIEW



SIDE CROSS SECTION VIEW

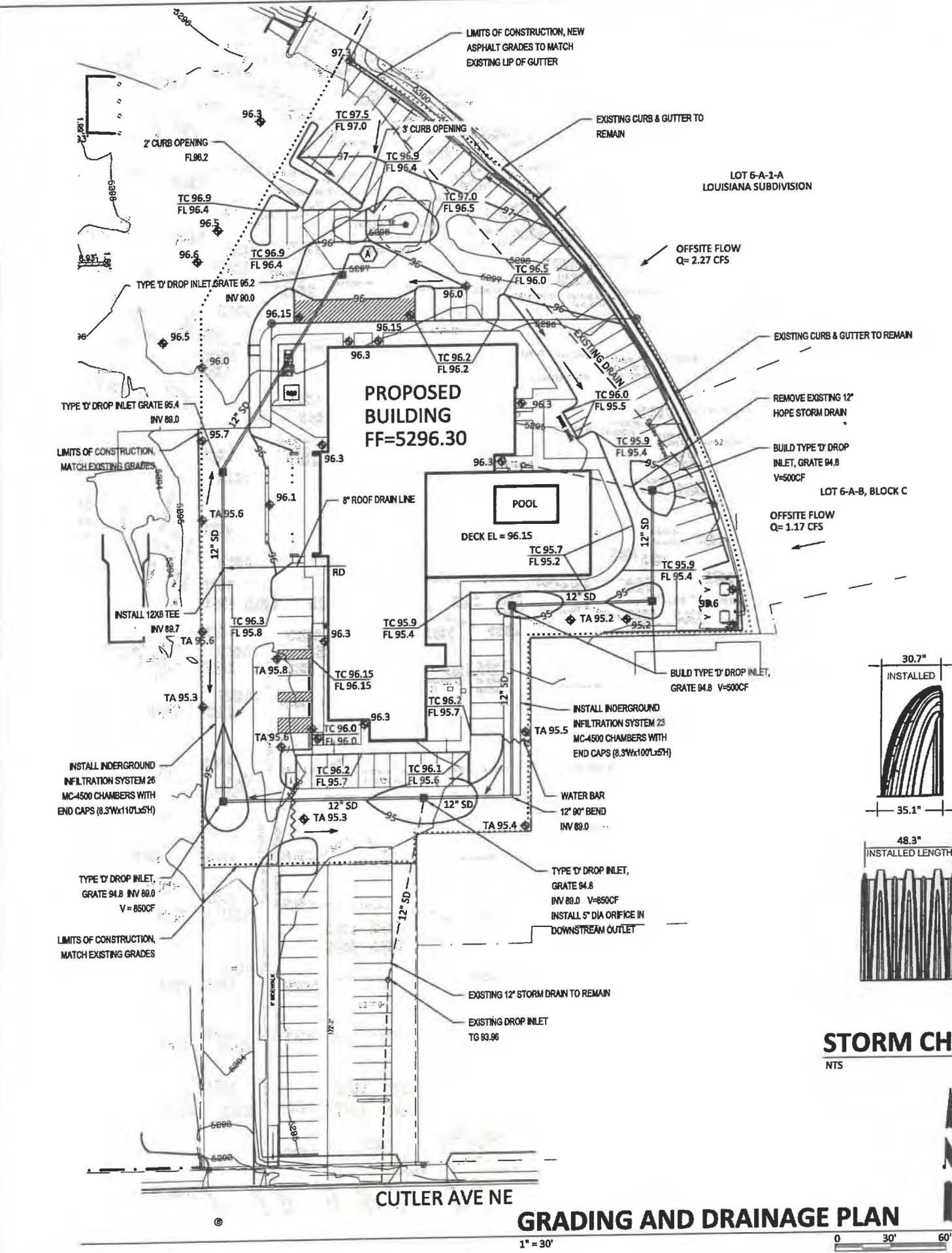
CONSTRUCTION ENTRANCE FOR EROSION CONTROL

NTS

ELEMENT HOTEL
 2440 LOUISIANA BLVD NE

Scott M McGee PE

9700 Sand Verbena Trail NE
 Albuquerque, NM 87122
 505.263.2905
 scottmmcgee@gmail.com



DRAINAGE ANALYSIS

ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT 6-A-1-C-1-A, BLOCK 'C' LOUISIANA SUBDIVISION

SITE AREA: 66,172 SF (1.519 acres)

BENCHMARK: City of Albuquerque Station '15-H18' being a brass cap. ELEV= 5303.391 (NAVD 1988)

SURVEYOR: Survey Office LLC, dated July 2019

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0352H (8/16/12), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does accept offsite flows from two tracts adjacent to the east as shown on the plan. The total Q=3.44 CFS will continue to be accepted onsite and carried south toward Cutler per the historic flow pattern.

EXISTING CONDITIONS: The site is a fully developed portion of an existing site with asphalt parking and some landscaping. The prior drainage file (H16-D1) was revised by BHI in 1984 and again by Larry Read in 2004. This site has an allowable discharge rate of 1.6 CFS. The site slopes down slightly to the southwest at approximately 1.5% and runoff discharges to the public R/W of Cutler Ave NE.

PROPOSED IMPROVEMENTS: The proposed redevelopment of the site includes a new 7-story hotel, a swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the Storm Water Quality (SWQ) volume. Private storm drains will be extended onsite to provide for catch basins to intercept site runoff with underground retention chambers proposed.

Existing land treatment: 10% C and 90% D
 $Q = [(1.0)(3.45) + (0.90)(5.02)](1.52) = 7.4$ CFS

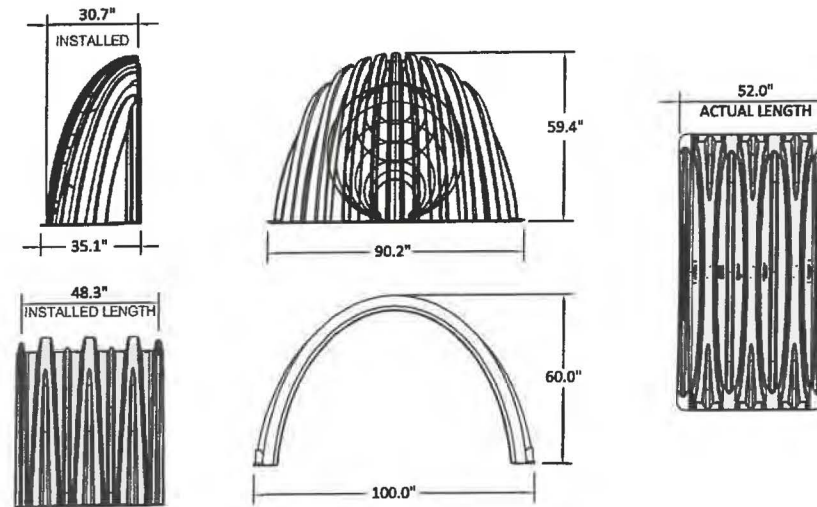
Proposed land treatment: 2% B, 2% C and 96% D
 $Q = [(0.02)(2.60) + (0.02)(3.45) + (0.96)(5.02)](1.52) = 7.5$ CFS

Redevelopment SWQ V = $(63,525)(0.26/12) = 1,376$ CF
 The Hydrograph for $Q = 3.44 + 7.5 = 10.94$ CFS and allowable $Q = 1.6$ CFS (peak time of 11.4 mins and base time of 24.7 mins) gives a required V = 11,124 CF.

Total underground detention volume provided onsite is 8,428 CF (49 chambers x 162.6 CF/EA) + (4 end caps x 115.3 CF/EA) using 9" deep stone base = 8,248.6 CF
 Surface storage volume is 2,700 CF at water surface elevation 5295.1

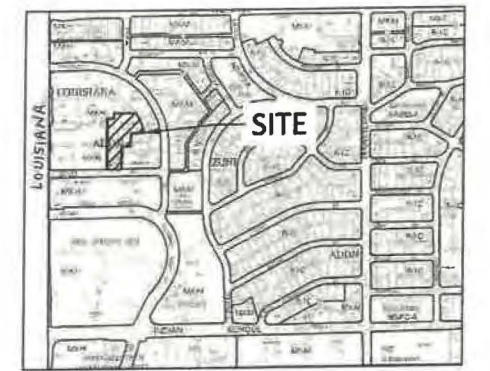
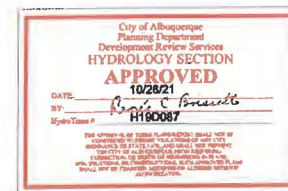
The proposed detention $(8,428 + 2,700) = 11,128$ CF will contain the SWQ volume and restrict discharge to 1.7 CFS. Site runoff will increase from historic but the proposed onsite retention storage will reduce runoff rate to the allowable rate.

Orifice equation for H=5.0' and 5" diameter orifice:
 $Q = K_o A (2gh)^{1/2} = (0.7)(0.136)(17.9) = 1.7$ CFS



STORM CHAMBER

NTS

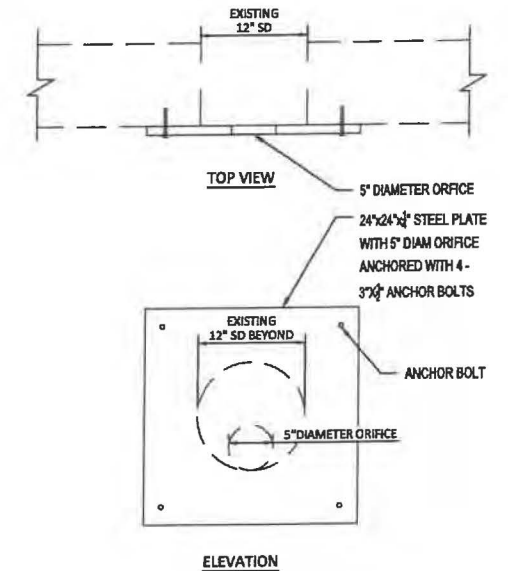


VICINITY MAP

H-19-Z

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5296.30 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- LIMITS OF CONSTRUCTION



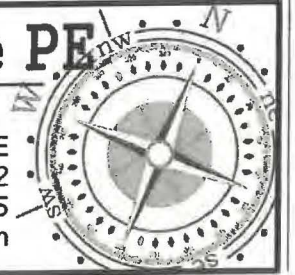
EXISTING INLET W/ORIFICE PLATE

NTS

ELEMENT HOTEL
2440 LOUISIANA BLVD NE

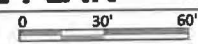
Scott M McGee PE

9700 Sand Verbena Trail NE
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505.263.2905
scottmmcgee@gmail.com



GRADING AND DRAINAGE PLAN

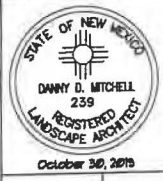
1" = 30'





The Hilltop
 7805 East NE
 Albuquerque, NM 87110
 Phone: (505) 888-9630
 Fax: (505) 888-1131
 design@hilltoplandscape.com

Landscape Architect



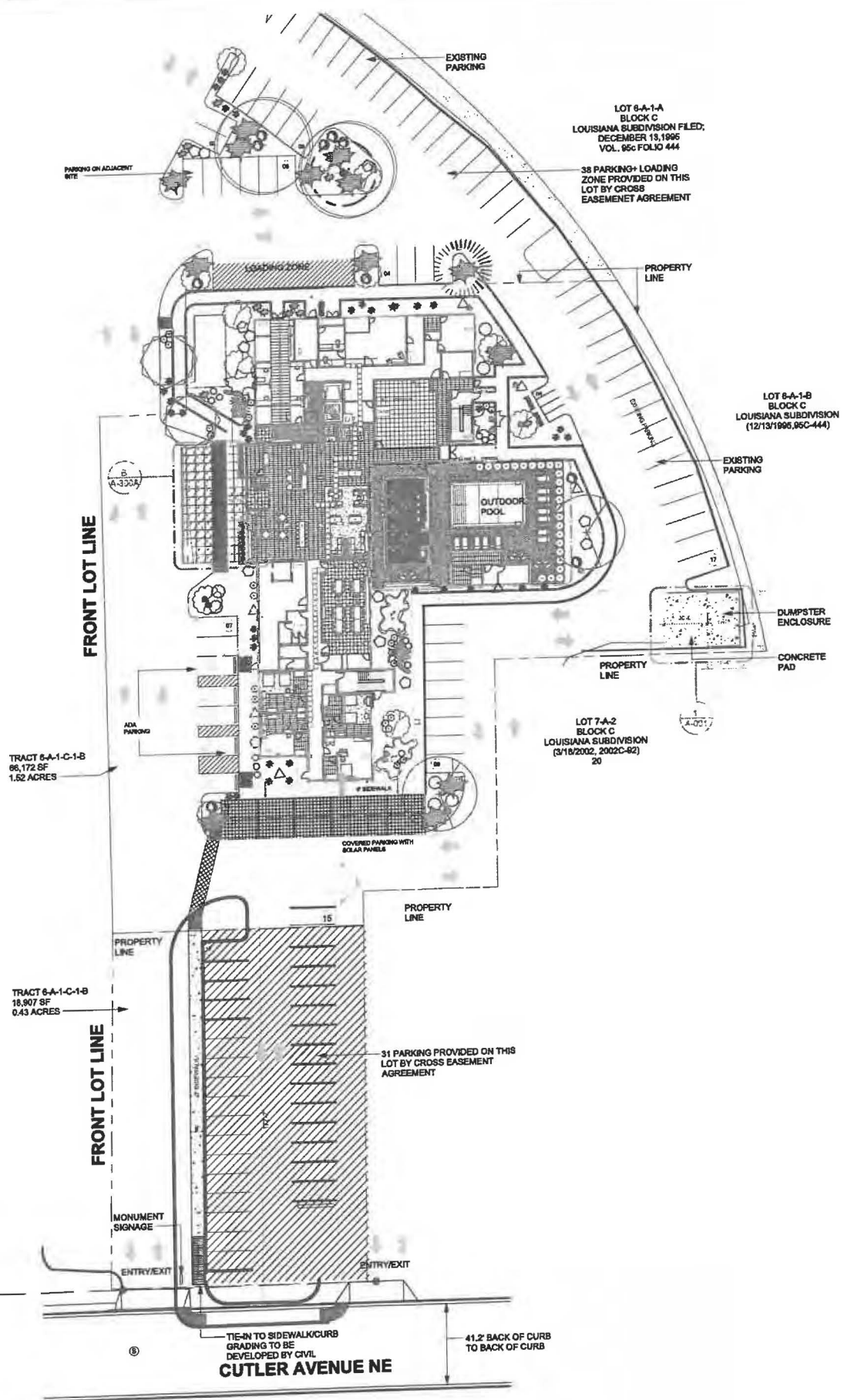
2440 Louisiana
 Proposed Hotel
 Albuquerque, NM
 Landscape Plan

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DRAWN BY: JT
 REVISION:
 DATE: 09/25/2021

SHEET #
 LS-101



LANDSCAPE LEGEND

QTY SIZE CERTHONBOTANICAL H2O USE

Trees

2	2' cal	Chinese Pistache <i>Pistacia chinensis</i>	35x35	025	2450	M
2	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	4050	M
1	6' B'	Austrian Pine <i>Pinus nigra</i>	35x25	625	625	M
2	5 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	20x20	400	0800	M
11	5 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	144	5625	M
2	5 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	625	1012	M

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	5x6	36	144	M
10	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5	75	250	M
34	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	23x2	4	136	M
13	5 Gal	Gravel Coneaster <i>Cotoneaster glaucophyllus</i>	5x5	75	350	M
1	5 Gal	Budding Bush <i>Buddlia davidii</i>	5x1	49	343	M
2	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x2	144	288	M
13	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x2	144	1728	M
15	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	162	M
22	5 Gal	Blue Yucca <i>Cynopterus x clandonensis</i>	3x3	9	180	M
1	5 Gal	Fern Bush <i>Chamaebotrys millefolium</i>	3x6	36	288	L
12	5 Gal	Knock Out Rose <i>Rosa 'Knock Out'</i>	3x4	12	180	L
24	2-3c'	Boulders Seat Height Boulders, buried 1/3 Landscape Gravel / Filter Fabric Santa Fe Brown		4048		

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas unless otherwise specified.

IRRIGATION NOTES:
 Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 43' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 4 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubble systems to be used to 1/2" polytape with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valves shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	66291
TOTAL BUILDING AREA (sf)	-15485
TOTAL LOT AREA (sf)	46802
LANDSCAPE REQUIREMENT	X .25
TOTAL LANDSCAPE REQUIRED (15%)	11701
TOTAL ON-SITE LANDSCAPE PROVIDED	8183
TOTAL LIVE GROUNDCOVER REQUIRED	2455
TOTAL LIVE GROUNDCOVER PROVIDED	4048



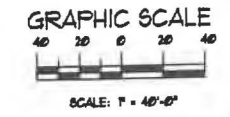
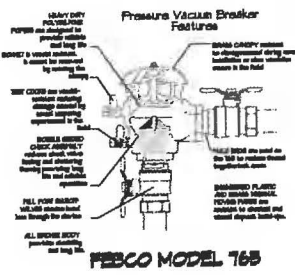
TREE PLANTING DETAIL
 1. Tree shall be placed on approved soil to provide proper drainage.
 2. Top of rootball shall be 2" above grade at time of planting and shall be maintained for 1 year.
 3. Tree shall be watered for 1 year after planting.
 4. Tree shall be supported by a tree stake for 1 year after planting.
 5. Tree shall be watered for 1 year after planting.
 6. Tree shall be watered for 1 year after planting.
 7. Tree shall be watered for 1 year after planting.
 8. Tree shall be watered for 1 year after planting.



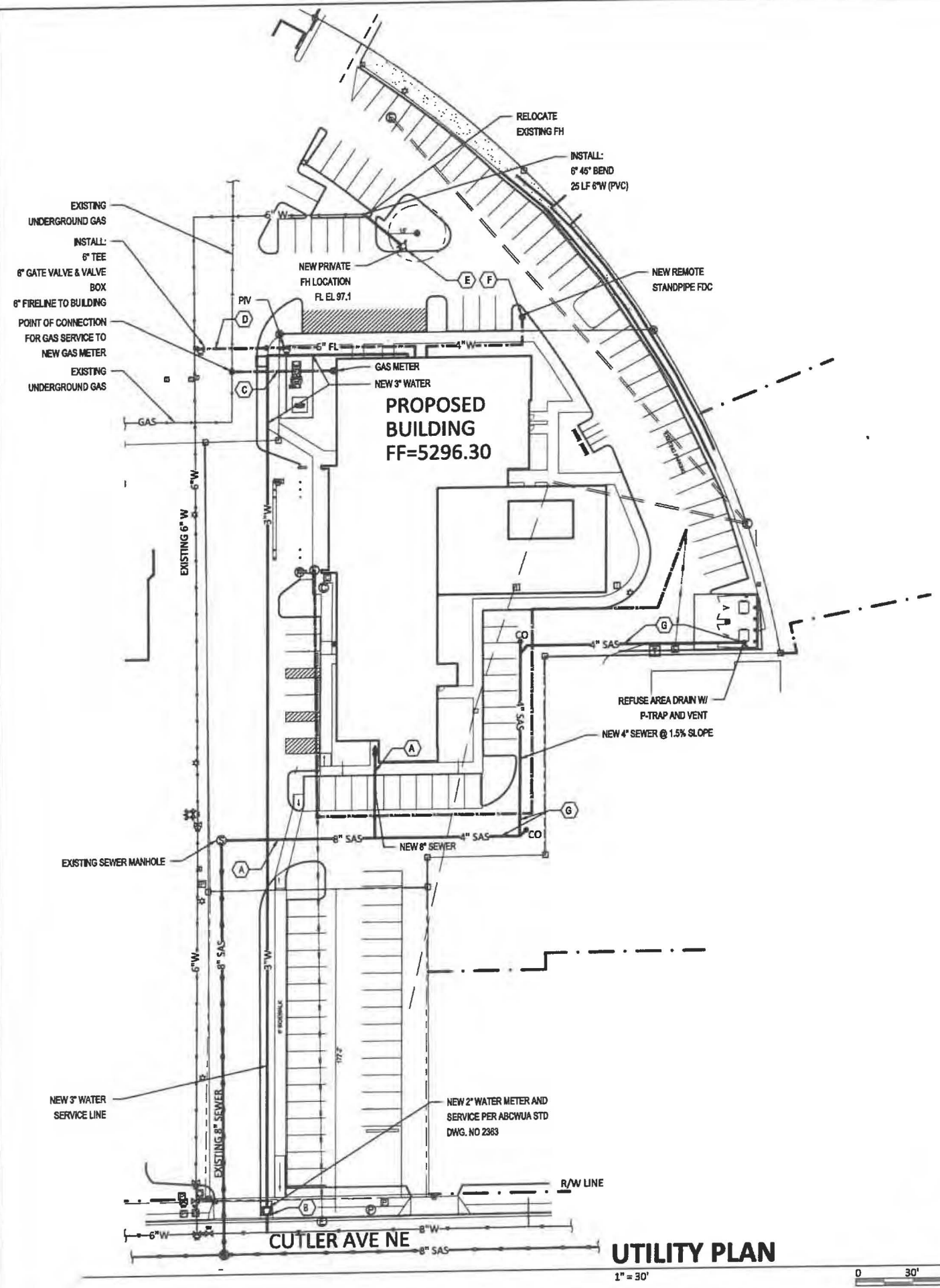
SHRUB PLANTING DETAIL
 1. Shrub shall be placed on approved soil to provide proper drainage.
 2. Shrub shall be watered for 1 year after planting.
 3. Shrub shall be supported by a tree stake for 1 year after planting.
 4. Shrub shall be watered for 1 year after planting.
 5. Shrub shall be watered for 1 year after planting.



Netafim Spiral Detail



SCALE: 1" = 40'-0"



LEGEND

- CO CLEAN OUT
- W WATER LINE WITH SIZE
- ELE ELECTRIC LINE
- SAS SANITARY SEWER
- G GAS LINE
- FH FIRE HYDRANT
- FDC FIRE DEPT SONNECTION

KEYED NOTES

- A. CONNECT NEW 8" SANITARY SEWER SERVICE TO EXISTING ONSITE MANHOLE AS SHOWN. SEE PLUMBING PLAN FOR CONTINUATION.
- B. NEW 2" DOMESTIC WATER SERVICE FROM WATER MAIN TO METER AND 3" WATERLINE FROM METER TO THE BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- C. NEW GAS SERVICE TO METER—SIZE PER MECHANICAL PLAN. CONTRACTOR TO COORDINATE WITH NEW MEXICO GAS COMPANY.
- D. NEW 6" FIRELINE TO BUILDING FROM WATER MAIN. INSTALL POST INDICATOR VALVE (PIV) AS SHOWN.
- E. RELOCATE PRIVATE FIRE HYDRANT ONSITE AS SHOWN.
- F. INSTALL REMOTE STANPIPE FIRE DEPT CONNECTION (FDC) AS SHOWN.
- G. INSTALL 4" WASTE LINE FROM REFUSE AREA DRAIN AT MIN. 2% SLOPE. INSTALL DRAIN, P-TRAP, AND 2" VENT AS REQUIRED. ROUTE VENT UP ALONG REFUSE ENCLOSURE WALL TO ABOVE WALL AND BRACE AS REQUIRED.

ELEMENT HOTEL
2440 LOUISIANA BLVD NE

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UTILITY PLAN

1" = 30'



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action [Refresh](#)

SUBDIVISION	PIN	Jurisdiction	ADDRESS
LOUISIANA	ABQ216747	City	2430 LOUISIANA BLVD NE



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-19-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet