

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

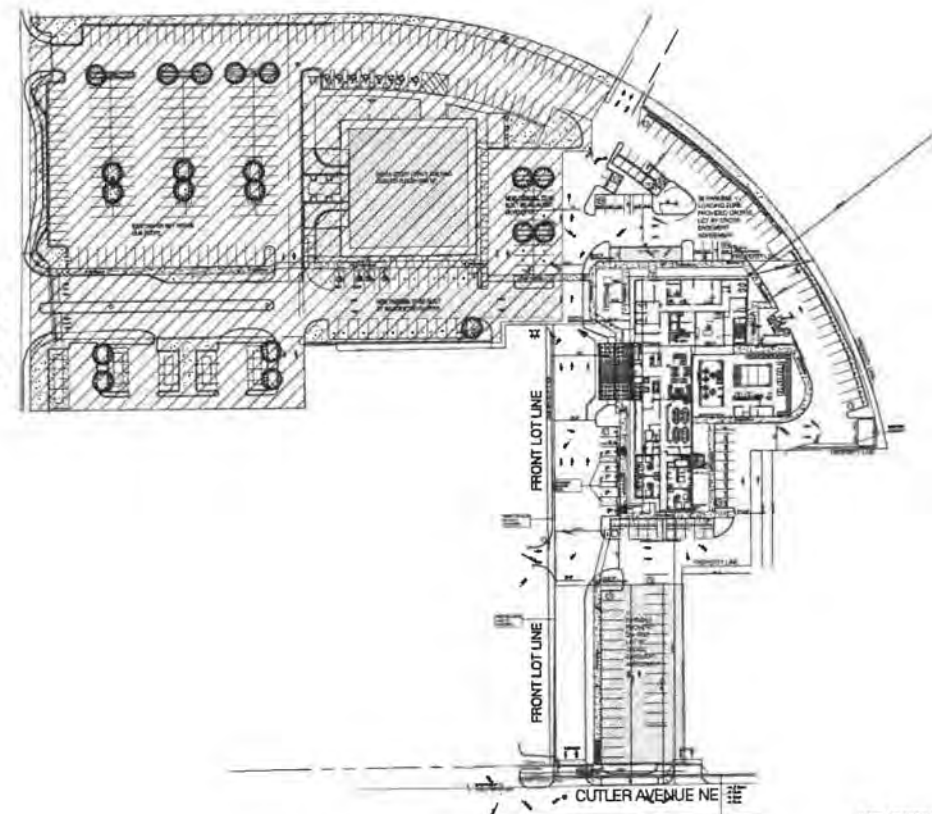
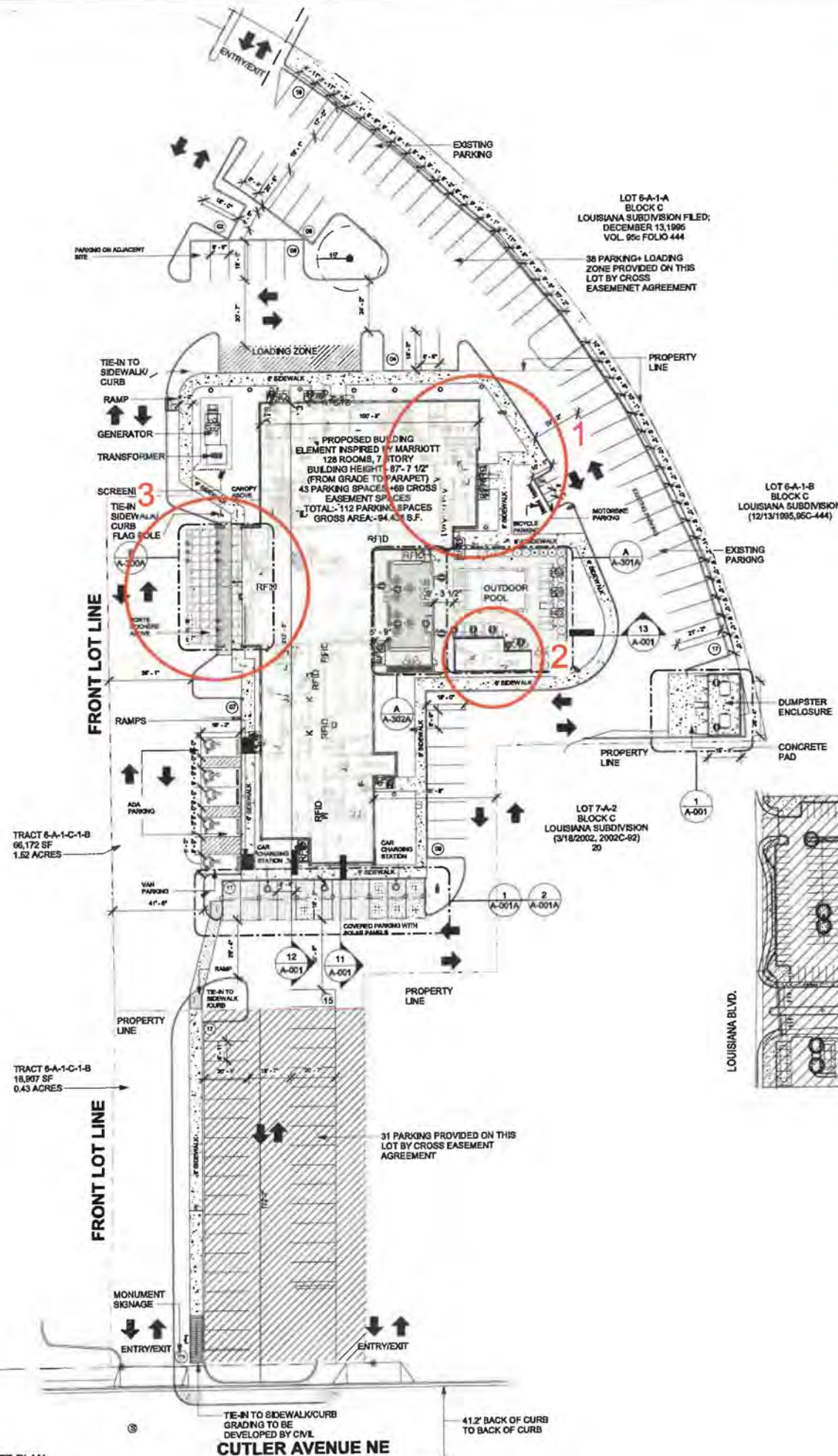
DATE

SUMMARY OF CHANGES

1. The building end has changed due to relocating guest rooms and room types.

2. The outdoor pool bathroom, shower and mechanical room have been relocated in order to provide more circulation around the pool.

3. The porte cochere canopy has been included to protect guests from the elements at the drop off.



MASTER SITE PLAN

NOTE: 6" CURB HEIGHT TYPICAL AT SIDEWALK ADJOINING PARKING STALLS AT BUILDING.

GENERAL NOTES - SITE PLAN

- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE SHEET G-002 FOR CONTACT INFORMATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
- CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER.
- SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION. PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
- CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNERS PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
- LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.
- GC TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
- GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.
- ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.
- ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH LOCAL CODES, ADA GUIDELINES AND ANSI VERSIONS ADOPTED BY THE MUNICIPALITY. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER, SIGNAGE & FOUNDATION ARE O.F.O.I.
- COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.
- ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADI.
- LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS. EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

GROSS AREA (EXCLUDING COVERED OUTDOOR SPACES)

LEVEL	AREA
1ST FLOOR	19,167 SF
2ND FLOOR	12,513 SF
3RD FLOOR	13,787 SF
4TH FLOOR	13,787 SF
5TH FLOOR	13,787 SF
6TH FLOOR	13,787 SF
ROOF LEVEL	7,509 SF
TOTAL	94,438 SF

PARKING MATRIX

PARKING TYPE	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	4	4
VAN PARKING SPACE	1	1
STANDARD PARKING SPACE	121	116
MEETING ROOM PARKING SPACE	11	11
RESTAURANT PARKING SPACE	7	7
MOTO PARKING SPACE	4	4
TOTAL PARKING SPACE	164	116
BICYCLE PARKING SPACE	4	8

NOTE: *30% REDUCTION FOR PROXIMITY TO TRANSIT



BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
A3		2021.08.24	CITY COMMENTS
A0		2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME

ARCHITECTURAL SITE PLAN

DRAWINGS NO.

A-000



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal



DATE: 2021.12.14

Owner:



4230 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.631.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE: EHLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADDR2
1	A8	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-1**

DRAWINGS NO.

A-606



1 SOUTH ELEVATION
A-606 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR/ OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MDNIGHT-MC-048	
FCP-01	FIBRE CEMENT PANEL-NICHHA	NICHIA PANEL-GLACIER	
FCS-01	FIBRE CEMENT PANEL-NICHHA	VINTAGE CEDAR BARK	



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



Owner:



4230 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD, NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.0
REVISION DATE: 2020.02.11
ID PACKAGE: ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
7	A7	2021.10.21	ADD#2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

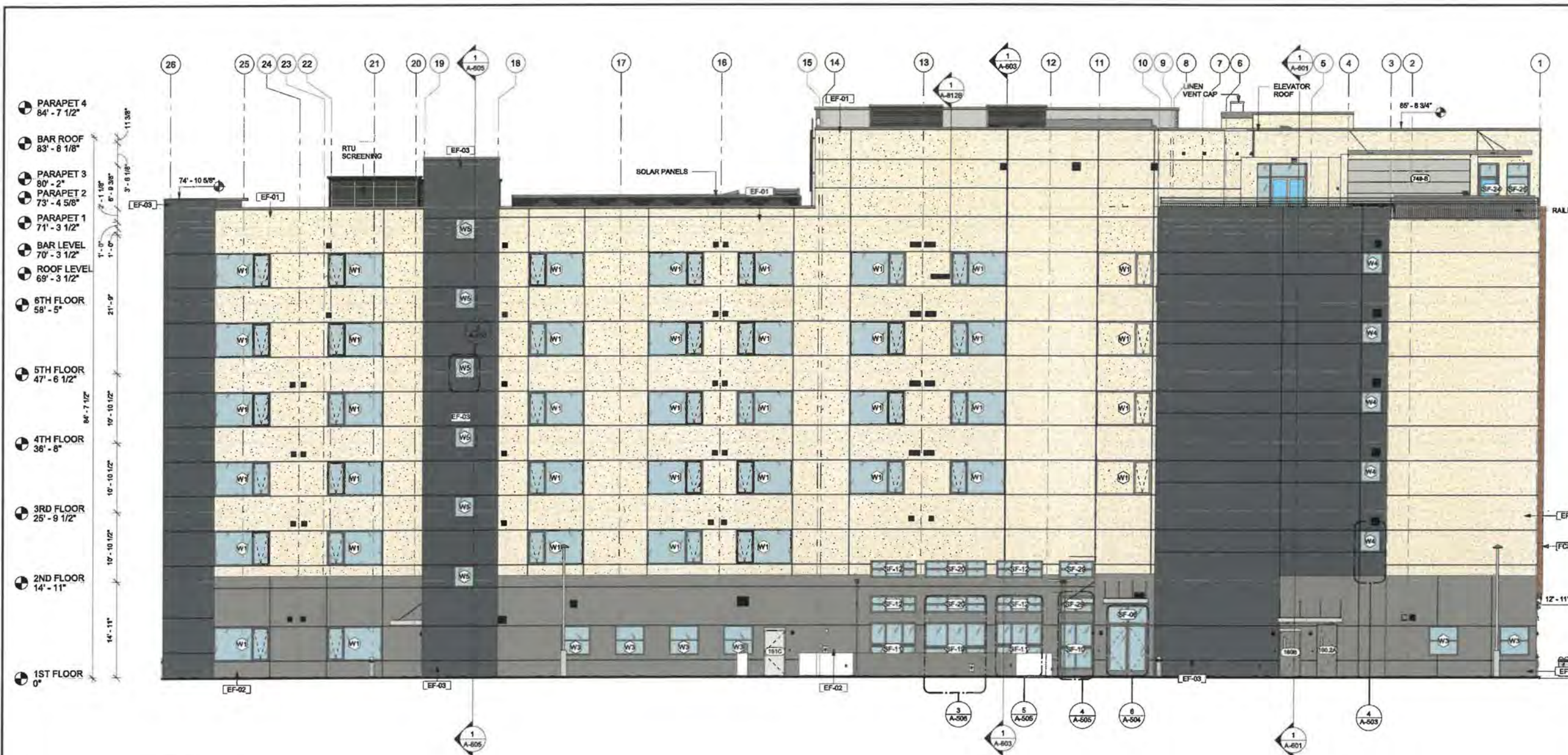
PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-2**

DRAWINGS NO.

A-607



1 EAST ELEVATION
1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. INSIDE PARAPET WALL PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EFS-PAREX	SANDPEBBLE-ELEM-01-2738-WHITE	
EF-02	EFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EFS-PAREX	SANDPEBBLE-MIDNIGHT-4C-046	
FCP-01	FIBRE CEMENT PANEL-NICHIHA	NICHA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHIHA	VINTAGE CEDAR BARK	



1 WEST ELEVATION
A-606 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
- ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS

GENERAL SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR/ OR WET CONDITIONS MAY APPLY.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EIFS-PAREX	SANDEBBLE-ELEB4-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDEBBLE-MIDNIGHT-4C-046	
FCP-01	FIBRE CEMENT PANEL-NICHHA	NICHIA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHHA	VNTAGE CEDAR BARK	



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal:



DATE: 2021.12.14

Owner:



4239 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD, NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE: - ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	A7	2021.10.21	ADD#2
1	A0	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

PROJECT NO.
B4-176-1901

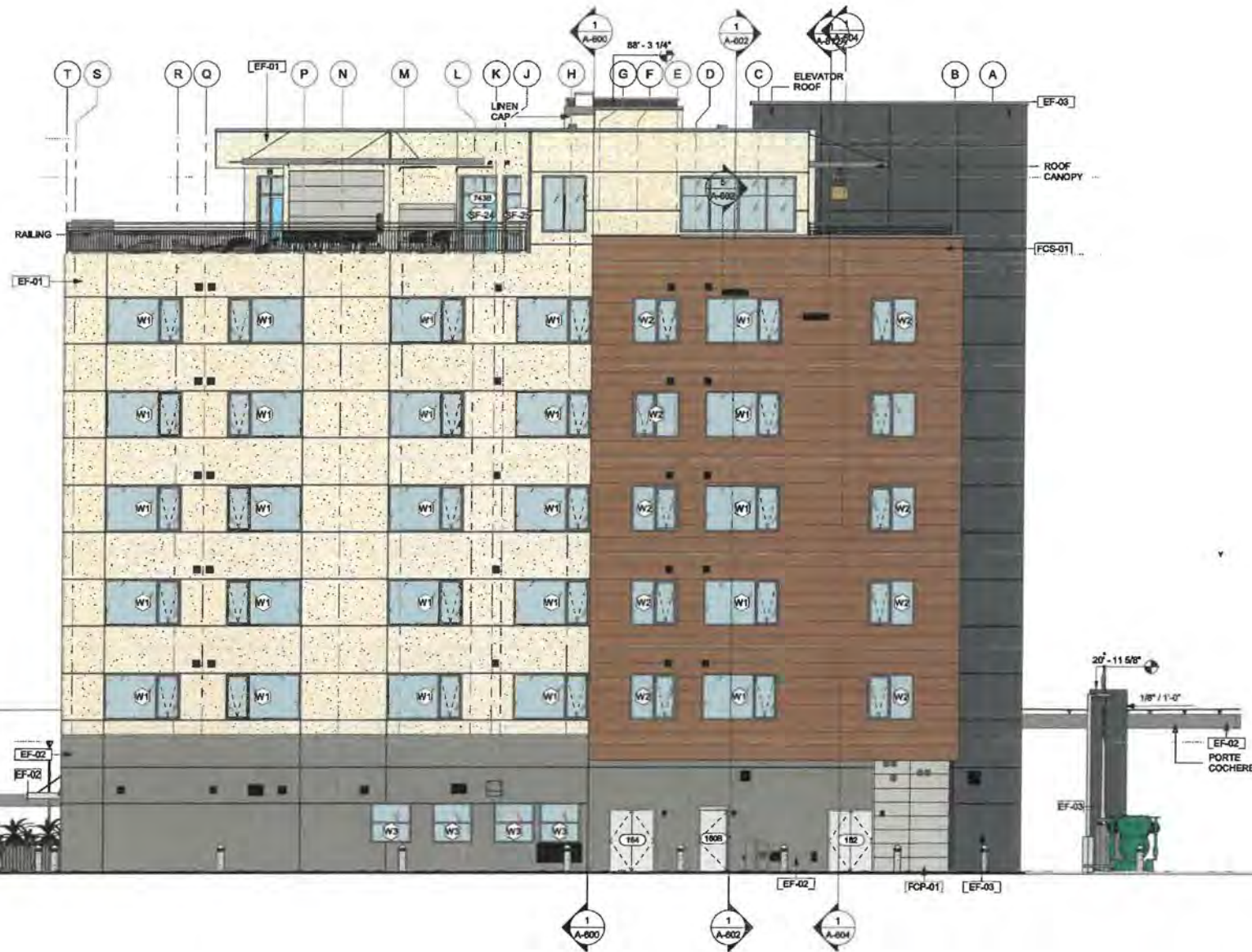
SHEET NAME

**BUILDING
ELEVATION-3**

DRAWINGS NO.

A-608

- PARAPET 4
84' - 7 1/2"
- BAR ROOF
83' - 8 1/8"
- PARAPET 3
80' - 2"
- PARAPET 2
73' - 4 5/8"
- PARAPET 1
71' - 3 1/2"
- BAR LEVEL
70' - 3 1/2"
- ROOF LEVEL
69' - 3 1/2"
- 6TH FLOOR
58' - 5"
- 5TH FLOOR
47' - 6 1/2"
- 4TH FLOOR
36' - 8"
- 3RD FLOOR
25' - 9 1/2"
- 2ND FLOOR
14' - 11"
- 1ST FLOOR
0"



1 NORTH ELEVATION
1/8" = 1'-0"

GENERAL ELEVATION NOTES

1. REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
2. GC TO PROVIDE A MOCK WALL SHOWING A FULL WINDOW INSTALL WITH FLASHING. GC CAN USE A PROPORTIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW.
3. ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.
4. ALL BUILDING PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLAN SETS, SO IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE PLAN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
5. ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
6. ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

GENERAL SIGNAGE NOTES

1. ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
2. MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
4. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. INSIDE PARAPET WALL PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MAY APPLY.
5. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL IMAGE
BK-01		ASHEN BLACK - 820	
EF-01	EIFS-PAREX	SANDPEBBLE-ELEM-01-2736-WHITE	
EF-02	EIFS-PAREX	SANDPEBBLE-ELEM-01-1022-DARK GREY	
EF-03	EIFS-PAREX	SANDPEBBLE-MIDNIGHT-MC-048	
FCP-01	FIBRE CEMENT PANEL-NICHIHA	NICHIHA PANEL-GLACIER	
FCS-01	FIBER CEMENT PANEL-NICHIHA	VINTAGE CEDAR BARK	



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRACE,
CUMMING, GA 30041

Seal



DATE: 2021.12.14

Owner:



4230 BALLOON PARK ROAD
ALBUQUERQUE, NM 87109
505.831.4200



2430 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110, USA
PROTOTYPE VERSION: GEN 2.5
REVISION DATE: 2020.02.11
ID PACKAGE- ENLIVEN DECOR
PACKAGE VERSION 2.5

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
0	AT	2021.10.21	ADMR2
1	AO	2020.12.01	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2021.07.15

DRAWN BY
SB/NS

CHECKED BY
LA/RB

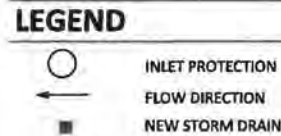
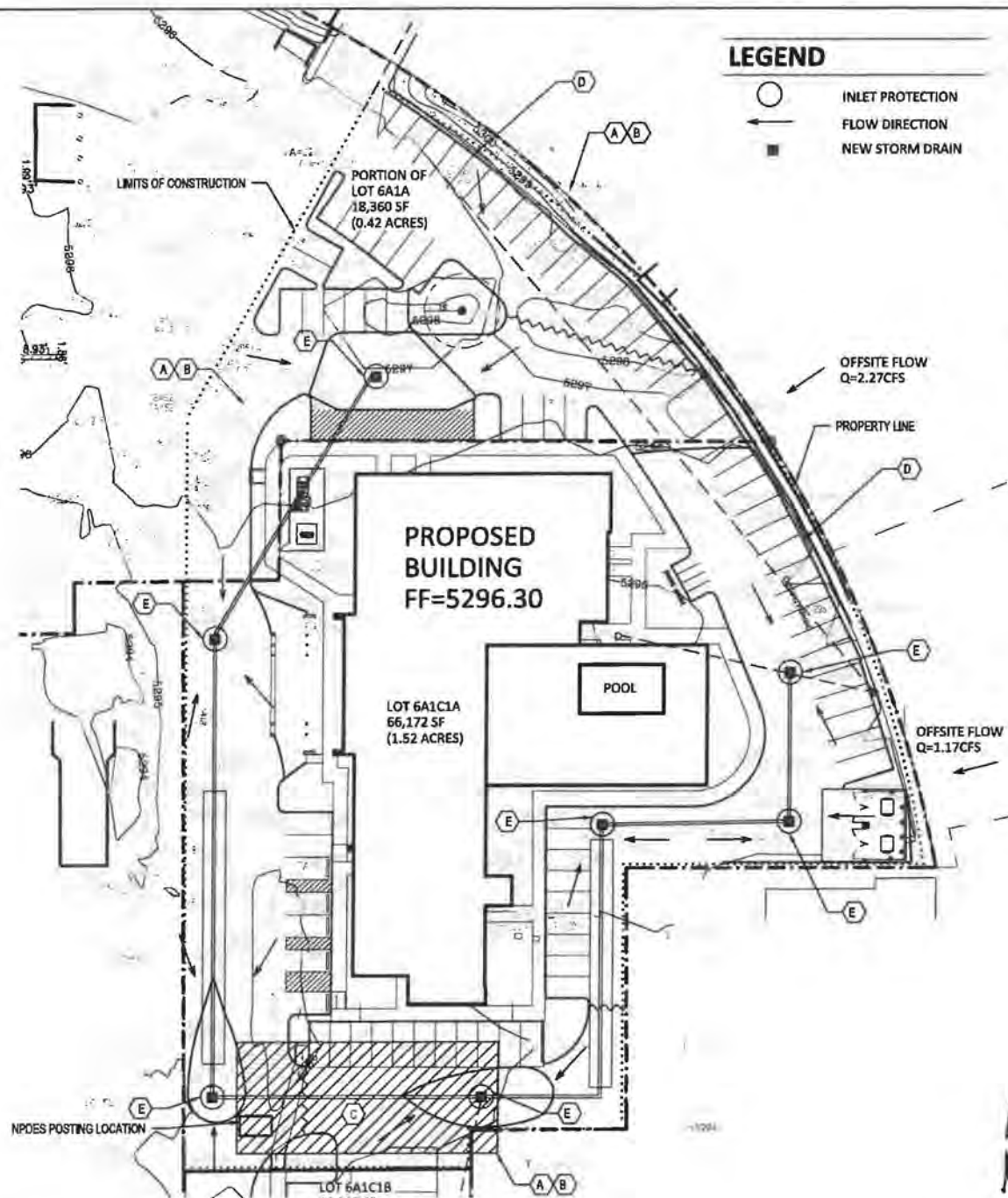
PROJECT NO.
B4-176-1901

SHEET NAME

**BUILDING
ELEVATION-4**

DRAWINGS NO.

A-609



EROSION CONTROL PLAN & POLLUTION PREVENTION NOTES

- All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
 - The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - The EPA's 2017 Construction General Permit (CGP), and
 - The City Of Albuquerque Construction BMP Manual.
- All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP's and prior to beginning construction.
- Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
- BMP's shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMP's and discontinuation of inspections.



VICINITY MAP

H-19-Z

KEYED NOTES

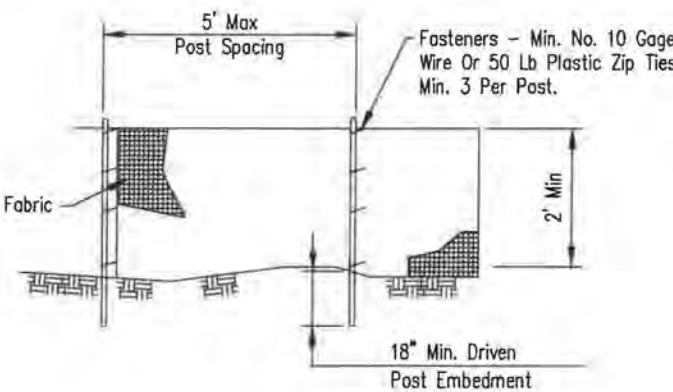
- CONTRACTOR SHALL INSTALL PERIMETER BMP PROTECTION TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTY.
- CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE ENTIRE PERIMETER OF CONSTRUCTION FACILITIES.
- CONTRACTOR SHALL INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- EXISTING CURB AND GUTTER TO REMAIN.
- CONTRACTOR SHALL INSTALL INLET PROTECTION.

ESC NOTES

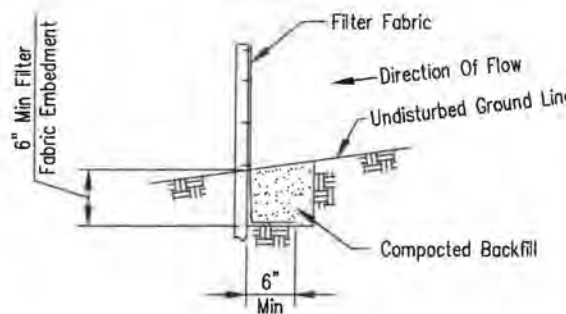
ADDRESS: 2440 Louisiana Blvd NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 6-A-1-C-1-A, BLOCK 'C' LOUISIANA SUBDIVISION
 SITE AREA: 66,172 SF (1.519 acres)
 EXISTING CONDITIONS: The site is a fully developed portion of an existing commercial site with asphalt parking and landscaping. The site slopes down slightly to the southwest at approximately 1.5% and runoff discharges to the public R/W of Outler Ave NE.
 EROSION CONTROL: Disturbed portions of the site shall be kept wetted to minimize wind erosion. A temporary construction fence with screening will follow the site perimeter which will help mitigate windblown sediment. The impact on surrounding streets and properties should be minimized.

NOTES:

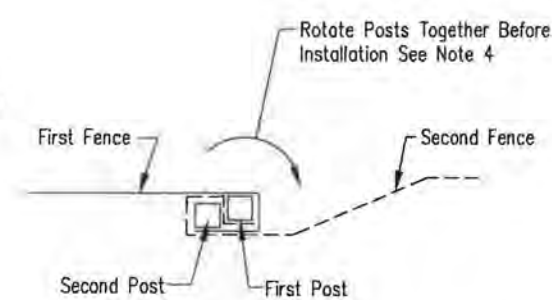
- TEMPORARY SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED, FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
- FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION S92 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
- FENCE POSTS SHALL BE WITHER WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA 1.5"x1.5" OR A STANDARD STEEL POST
- WHEN SLICES ARE NECESSARY, MAKE SPLICE AT POST ACCORDING TO SPLICE DETAIL. PLACE THE END POSE OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE. ROTATE BOTH POSTS TOGETHER AT LEAST 180 DEGREES TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL. CUT THE FABRIC NEAR THE BOTTOM OF THE POSTS TO ACCOMMODATE THE 6" FLAP. THEN DRIVE BOTH POSTS AND BURY THE FLAP. COMPACT BACKFILL WELL.



ELEVATION



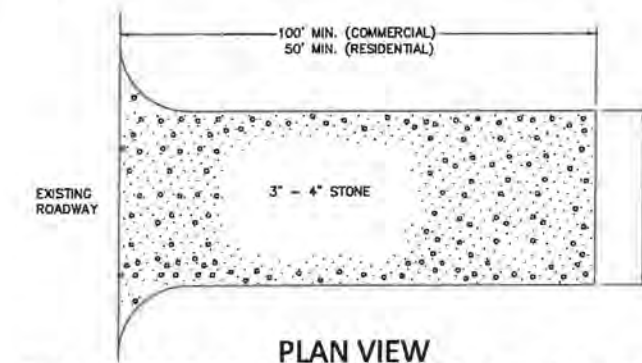
FABRIC ANCHOR DETAIL
SILT FENCE DETAILS



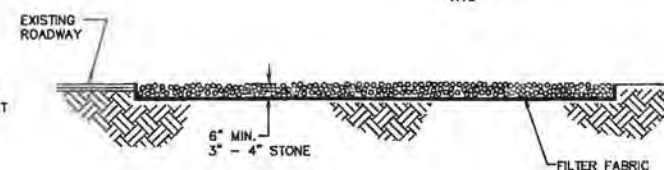
SPLICE DETAIL PLAN VIEW

ESC PLAN

1" = 30'



PLAN VIEW



SIDE CROSS SECTION VIEW

CONSTRUCTION ENTRANCE FOR EROSION CONTROL

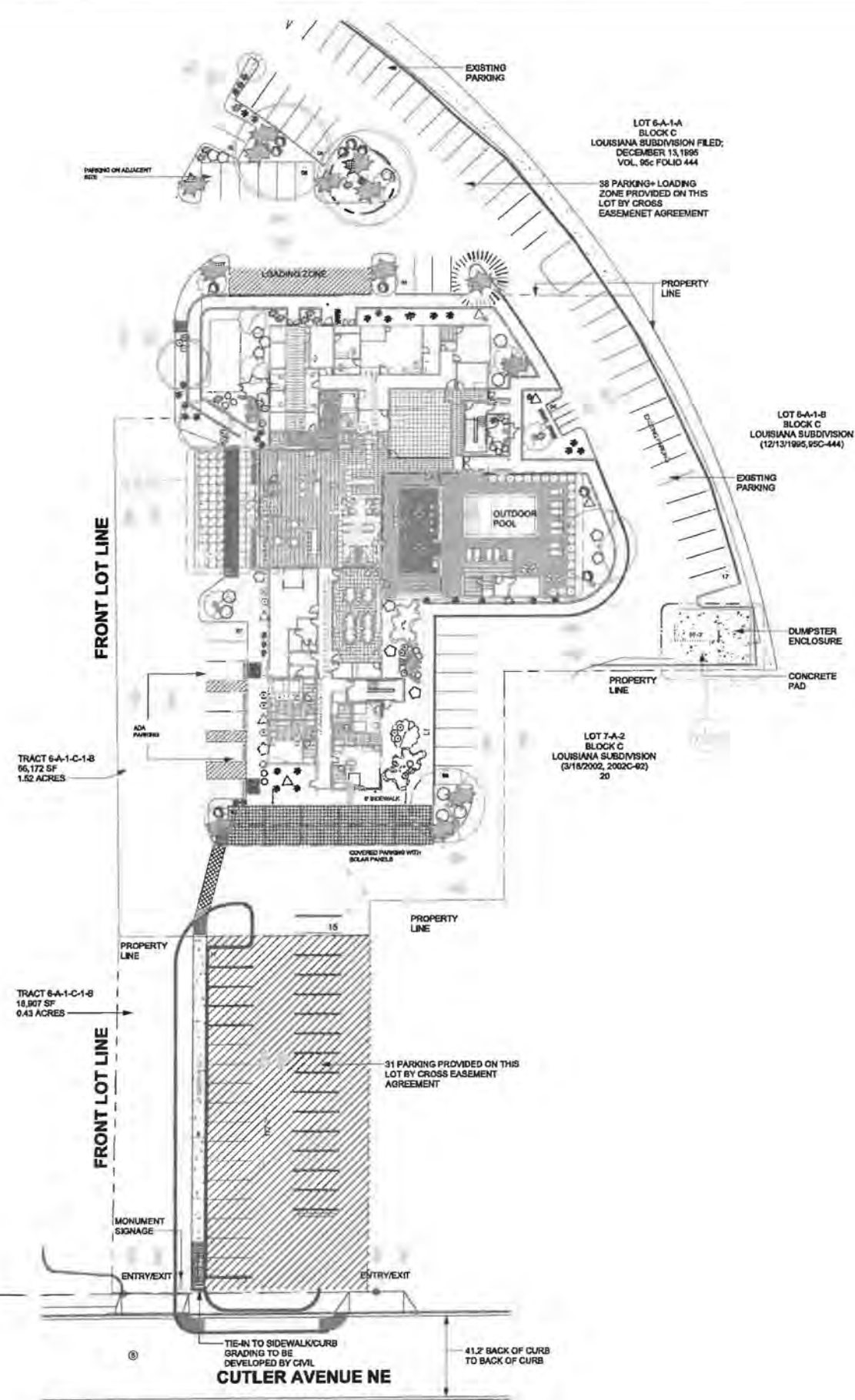
NTS

NOTES:

- ENTRANCE(S) SHALL BE LOCATED TO PROVIDE MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
- TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED
- MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT PERIODIC TOPPRESSING WITH STONE WITH BE NECESSARY. CONTRACTOR SHALL MAINTAIN AS NECESSARY.
- ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
- FREQUENT CHECKS OF THE ENTRANCE(S) AND TIMELY MAINTENANCE SHALL BE PROVIDED.
- NOTES ARE APPLICABLE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED.
- UTILIZE FILTER FABRIC IN CLAY SOILS.



ELEMENT HOTEL
 2440 LOUISIANA BLVD NE
Scott M McGee PE
 9700 Sand Verbena Trail NE
 Albuquerque, NM 87122
 505.263.2905
 scottmmcgee@gmail.com



LANDSCAPE LEGEND

QTY SIZE CERT/BOTANICAL H2O USE

Trees

2	2" cal	Chinese Platane <i>Platanus chinensis</i>	35x25	025	2450 M
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	4050 M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	625	625 M
2	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	20x20	400	0200 M

11	5 Gal	Oklahoma Rockbush <i>Cercis reniformis</i>	15x12	144	0675 M
2	5 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	625	0121 M

Shrubs & Groundcovers

4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	5x6	36	144 M
10	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5	25	250 M
34	5 Gal	Festher Reed Grass <i>Calamagrostis arundinacea</i>	25x2	4	036 M
13	5 Gal	Grassleaf Colanaster <i>Colanaster glaucophyllus</i>	5x5	25	350 M
1	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x7	49	343 M
2	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x2	14	288 M
13	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	5x2	14	172 M
16	5 Gal	Cherry Begonia <i>Salmia greggii</i>	2x3	9	162 M
22	5 Gal	Blue Hiel <i>Caryopteris x clandonensis</i>	3x5	9	180 M
1	5 Gal	Fern Bush <i>Chenabettaria milleriana</i>	3x6	36	288 L
12	5 Gal	Knock Out Rose <i>Rosa 'Knock Out'</i>	3x4	12	180 L
24	7-3ct	Boulders Seat Height Boulders, buried 1/3		4044	
		Landscape Gravel / Filter Fabric Santa Fe Brown			

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas unless otherwise specified.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive a Netajim spiral (150' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netajim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10' GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end.

Run time per each shrub drip valve will be approximately 5 minutes per day. Tree drip valves shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	66,231
TOTAL BUILDING AREA (sf)	-19,485
TOTAL LOT AREA (sf)	46,746
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (sf)	7,012
TOTAL ON-SITE LANDSCAPE PROVIDED	6883
TOTAL LIVE GROUNDCOVER REQUIRED	2455
TOTAL LIVE GROUNDCOVER PROVIDED	4649



TREE PLANTING DETAIL

NETAJIM SPIRAL: THE PLANTING DETAIL IS TO BE PLACED ON THE TRUNK OF THE TREE. THE SPIRAL SHALL BE PLACED ON THE TRUNK OF THE TREE. THE SPIRAL SHALL BE PLACED ON THE TRUNK OF THE TREE. THE SPIRAL SHALL BE PLACED ON THE TRUNK OF THE TREE.

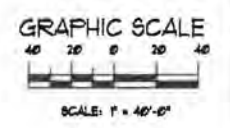


IRRIGATION DETAIL

NETAJIM SPIRAL DETAIL: THE PLANTING DETAIL IS TO BE PLACED ON THE TRUNK OF THE TREE. THE SPIRAL SHALL BE PLACED ON THE TRUNK OF THE TREE. THE SPIRAL SHALL BE PLACED ON THE TRUNK OF THE TREE.



Netajim Spiral Detail



The Hilltop
7809 Edith NE
Albuquerque, NM 87113
Cont. Lic. #6-450
Ph: (505) 899-9630
Fax: (505) 899-7131
denny@thehilltop.com

Landscape Architect



October 30, 2019

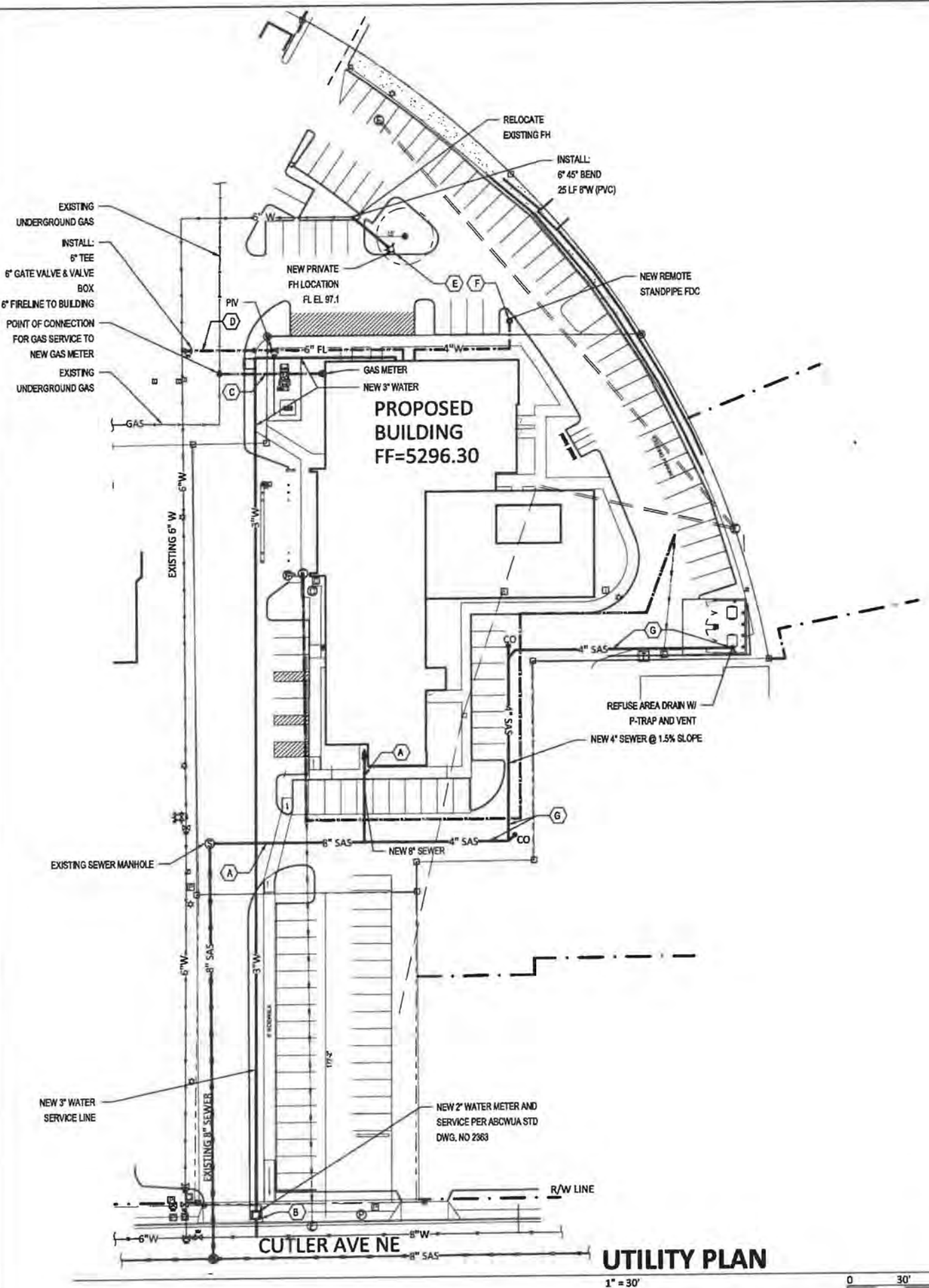
2440 Louisiana
Proposed Hotel
Albuquerque, NM
Landscape Plan

The design contained herein is the property of The Hilltop Landscape Architects and is not to be reproduced, copied, or used in any way without the written consent of The Hilltop Landscape Architects. This is an original design and must not be used in any other project without the written consent of The Hilltop Landscape Architects.



DRAWN BY: JT
REVISION:
DATE: 09/16/2019

6-SHEET
LS-101



LEGEND

CO	CLEAN OUT
W	WATER LINE WITH SIZE
ELE	ELECTRIC LINE
SAS	SANITARY SEWER
G	GAS LINE
FH	FIRE HYDRANT
FDC	FIRE DEPT SONNECTION

KEYED NOTES

- A. CONNECT NEW 8" SANITARY SEWER SERVICE TO EXISTING ONSITE MANHOLE AS SHOWN. SEE PLUMBING PLAN FOR CONTINUATION.
- B. NEW 2" DOMESTIC WATER SERVICE FROM WATER MAIN TO METER AND 3" WATERLINE FROM METER TO THE BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- C. NEW GAS SERVICE TO METER—SIZE PER MECHANICAL PLAN. CONTRACTOR TO COORDINATE WITH NEW MEXICO GAS COMPANY.
- D. NEW 6" FIRELINE TO BUILDING FROM WATER MAIN. INSTALL POST INDICATOR VALVE (PIV) AS SHOWN.
- E. RELOCATE PRIVATE FIRE HYDRANT ONSITE AS SHOWN.
- F. INSTALL REMOTE STANPIPE FIRE DEPT CONNECTION (FDC) AS SHOWN.
- G. INSTALL 4" WASTE LINE FROM REFUSE AREA DRAIN AT MIN. 2% SLOPE. INSTALL DRAIN, P-TRAP, AND 2" VENT AS REQUIRED. ROUTE VENT UP ALONG REFUSE ENCLOSURE WALL TO ABOVE WALL AND BRACE AS REQUIRED.

ELEMENT HOTEL
2440 LOUISIANA BLVD NE

Scott M McGee PE

9700 Sand Verbena Trail NE
Albuquerque, NM 87122
505.263.2905
scottmmcgee@gmail.com

UTILITY PLAN

1" = 30' 0 30' 60'