

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

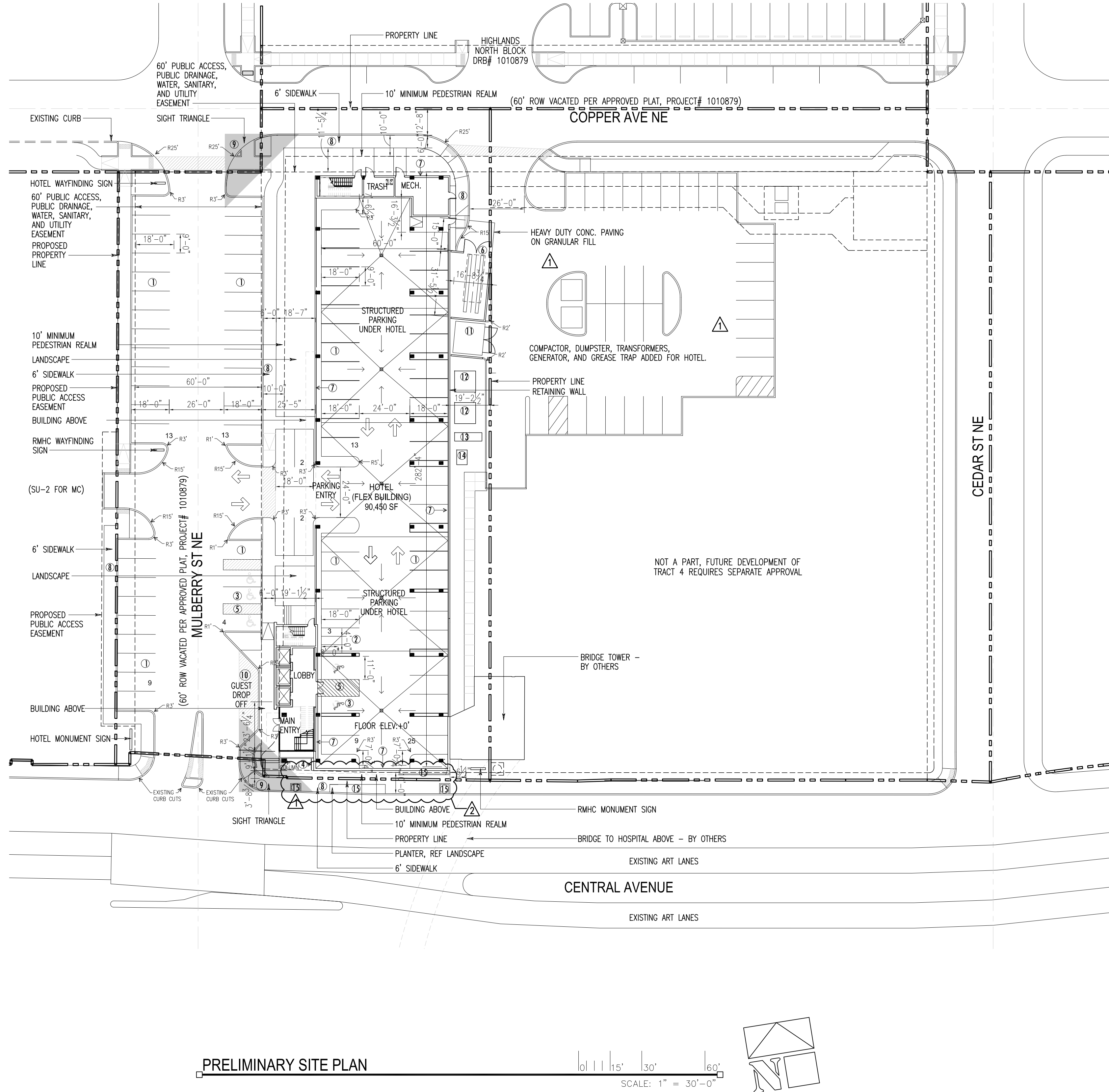
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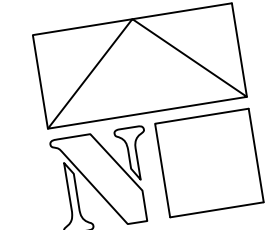
**APPROVED BY**

**DATE**



**PRELIMINARY SITE PLAN**

SCALE: 1" = 30'-0"

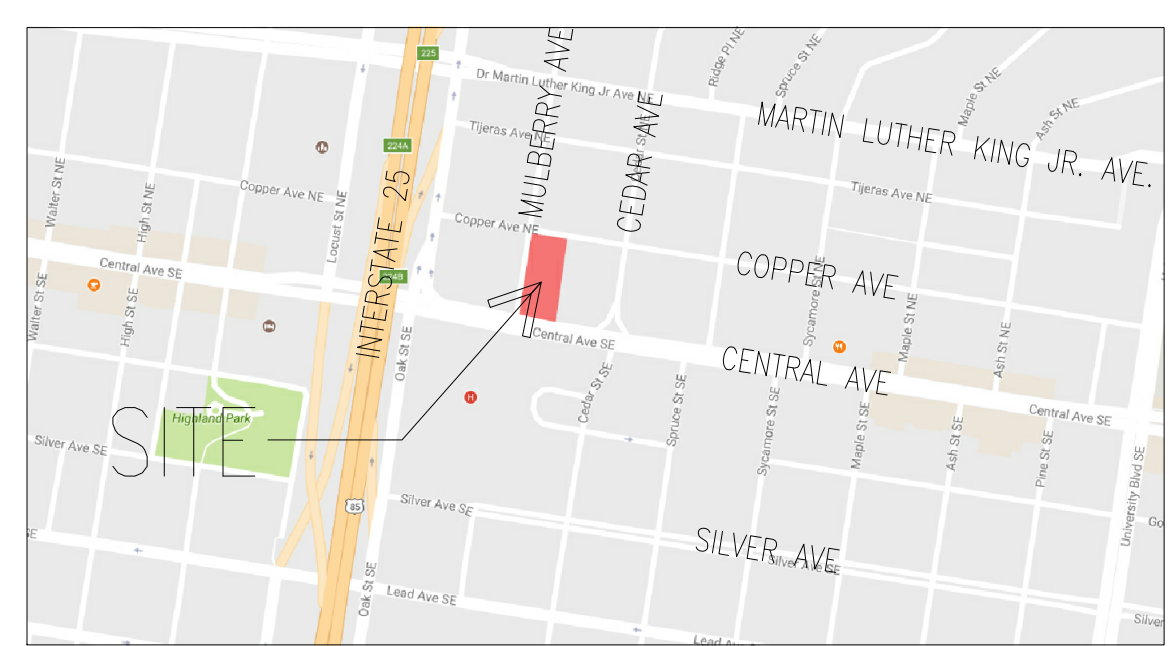


- LEGEND**
- DENOTES PROPERTY LINE
  - ① BUILDING NUMBER
  - TYPE 2 BUILDING TYPE
  - ♿ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
  - T DENOTES TRANSFORMER LOCATION
  - Ⓜ DENOTES WATER METER LOCATION
  - FIRE HYDRANT

- LIGHTING LEGEND**
- ☐ LED POLE LIGHT. +15' T.O.F. TYPE AS SHOWN ON PLAN.
  - LED POST TOP LIGHT. +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
  - LED CARPORT LIGHT. TYPE 'CP'.
  - ♀ LED WALL MINI WALL PACK. +10' B.O.F. TYPE 'WP'.
  - ⊕ LED WALL SCONCE. DECORATIVE. +6' B.O.F. TYPE 'WS'.

- GENERAL NOTES**
- THE PROPOSED BUILDING TYPE IS A FLEX BUILDING. PER THE FLEX BUILDING REQUIREMENTS, THE MARROT SPRINGHILL SUITES WILL BE A STANDARD RECTANGULAR URBAN BUILDING FORM, AND ACCESS TO THE LEVELS ABOVE THE STRUCTURED PARKING WILL BE PROVIDED VIA A GROUND FLOOR LOBBY WITH DIRECT ACCESS TO THE STREET. PARKING WILL BE LOCATED UNDER THE PRINCIPAL BUILDING AND IN A COMMON ON-STREET PARKING AREA. THE GROUND LEVEL FRONTAGE FOR THE BUILDING'S GROUND FLOOR LOBBY WILL BE GLASS STOREFRONT.
  - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER WITH DRC APPROVED PLANS.
  - PREVIOUS BUILDINGS WILL BE DEMOLISHED. ALL EXISTING DOORS, STRUCTURES, SIDEWALKS, CURBS, DRIVE PADS, WALL AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
  - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
  - PROVIDE NEW CURB AND GUTTER WITH ON STREET PARKING ON ALL 4 SIDES PER STD DWG 2415A, 2418, 2406 AND ANY OTHER THAT MAY APPLY. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.
  - THE PROPOSED DEVELOPMENT WILL FEATURE AN APPROXIMATELY 15-FOOT-WIDE URBAN PEDESTRIAN REALM ALONG CENTRAL AVENUE AND ADJACENT RIGHT-OF-WAY. THE PEDESTRIAN REALM WILL BE AN INVITING AND PLEASANT ENVIRONMENT FOR WALKERS, GUESTS, AND OTHER VISITORS. THIS AREA WILL FEATURE STREET TREES, PLANTERS, SPECIALTY PAVING, GLAZING, AND OTHER AMENITIES. THIS AREA IS CONSISTENT WITH THE FORM BASED CODE, WHICH SPECIFIES A "USABLE PEDESTRIAN REALM" THAT ACCOMMODATES STREET DESIGN AND APPROPRIATE BUILDING PLACEMENT.
  - ACCESSIBLE PARKING SPACES MUST HAVE A SIGN THAT INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED PARKING." ACCESSIBLE VAN PARKING SPACES WILL STATE "VAN ACCESSIBLE." ACCESSIBLE SIGN WILL BE 12"WX18"H AND VAN ACCESSIBLE SIGN WILL BE 12"WX4". SYMBOL OF ACCESSIBILITY SHOULD BE 4"H. SIGNS WILL HAVE GREEN LETTERING AND BORDER ON A WHITE BACKGROUND. SIGNS SHOULD BE MOUNTED AT LEAST 60 INCHES ABOVE PARKING SURFACE.
  - THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-4-8 NMSA SUB) 8
  - PER ZONING CODE, A 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
  - WHEELCHAIR RAMPS REQUIRED BY ADA, WILL BE PROVIDED. WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE DETECTABLE WARNING SURFACES. "CAST-IN-PLACE" TRUNCATED DOMES. ALL CURB RAMPS WILL MEET THE 2010 ADA STANDARD REQUIREMENTS FOR NEWLY CONSTRUCTED OR ALTERED STRUCTURES AND STREET-LEVEL PEDESTRIAN WALKWAYS.
  - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
  - FUTURE CHANGES TO PROPOSED SIGNAGE CAN BE AMENDED ADMINISTRATIVELY. SIGNAGE WILL COMPLY WITH 14-16-3-22(B)(3)(N) AND 14-16-3-22(C)(7) AND WILL REMAIN WITHIN THE PROPERTY LINE. BUILDING MOUNTED LIGHTS SHALL BE BETWEEN 6' AND 14' ABOVE ADJACENT GRADE. SEE 14-16-3-22(C)(6) FOR DETAILS AND OTHER REFERENCES.
  - EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-3-18(C)(6)(A) OF THE CITY OF ALBUQUERQUE ZONING CODE.
  - THE 20 PERCENT BUILDING HEIGHT MODIFICATION WILL COMPLY WITH SECTION 14-16-3-22(A)(6)(B)(1)(C) OF THE CITY OF ALBUQUERQUE ZONING CODE.
  - MULBERRY STREET AND COPPER AVENUE RIGHTS-OF-WAY HAVE BEEN VACATED. AN OFFICIAL NOTICE OF DECISION WAS ISSUED BY THE CITY PLANNING DEPARTMENT ON JANUARY 23, 2017 FOR PROJECT #1010879, 16DRB-70447, THE PLAT ASSOCIATED WITH THIS ACTION WAS RECORDED ON JUNE 13, 2017 FOR PROJECT #1010879, 17DRB-70119.
  - DETAIL TO BE PROVIDED IN BUILDING PERMIT SET FOR FIRE AND SOLID WASTE.

- KEYNOTES**
- 9'x18' PARKING SPACE. TYPICAL.
  - 4'x8' MOTORCYCLE PARKING SPACE.
  - 8'x18' ACCESSIBLE PARKING SPACE. ACCESSIBLE GARAGE SPACE.
  - BICYCLE PARKING. 5 SPACES PROVIDED.
  - ACCESSIBLE DRIVEWAY CROSSING PAINTED MARKING.
  - TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL WITH EIFS FINISH TO MATCH THE BUILDING. SEE SHEET 8 OF 8 FOR TRASH ENCLOSURE PLANS AND ELEVATIONS.
  - ENCLOSED STRUCTURED PARKING GARAGE.
  - 6' SIDEWALK. GRAY CONCRETE COLOR.
  - 35'x35' SIGHT VISIBILITY TRIANGLE AT STREET CORNER.
  - ENHANCED PAVING AT MAIN ENTRY AUTO COURT.
  - RECYCLING DUMPSTER.
  - HOTEL TRANSFORMER.
  - HOTEL GENERATOR.
  - HOTEL GREASE TRAP.
  - PLANTERS, REF LANDSCAPE



**VICINITY MAP**  
NOT TO SCALE

**DEVELOPMENT DATA**

**NET SITE AREA:**  
1.23 ACRES (53,549 S.F.)

**ZONING AND LAND USE:**  
CURRENT: SU-2 FOR CMU (C-2)  
PROPOSED: SU-2/SU-1 FOR MIXED USE (FORM BASED CODE)  
LAND USE: COMMERCIAL

**BUILDING HEIGHT:**

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
ALLOWED:	72 FEET*	72'	72'	72'
PROPOSED:	72'	67'	67'	67'

\*60 FEET, PLUS AN ADDITIONAL 20% DUE TO LOCATION ALONG TRANSIT CORRIDOR. REFER TO GENERAL NOTE #19.

**BUILDING GSF:**  
90,450 SF

**SETBACKS REQUIRED:**

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	0	10'-0"	0	0

**SETBACKS PROVIDED:**

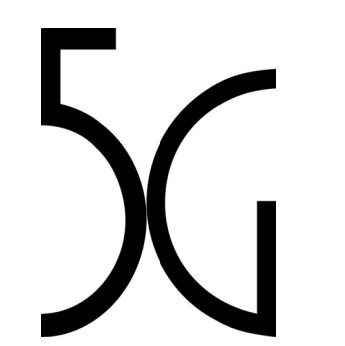
	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	71'-1"	30'-1"	19'-1"	2'-8"

MINIMUM USABLE OPEN SPACE REQUIRED AND PROVIDED	
REQUIRED (10% OF SITE AREA)	5,355 SQ FT
PROVIDED (INCLUDING LANDSCAPING AND PEDESTRIAN-ORIENTED HARDSCAPE)	11,784 SQ FT

PARKING SPACE REQUIREMENTS		
PARKING RATIO REQUIRED - 1 SPACE PER 1,000 SF		PARKING SPACES
REDUCE BY 15% PER TRANSIT REDUCTION		
<b>Total Parking Spaces Required</b>	<b>73</b>	
ON-STREET PARKING PROVIDED	39	
OFF-STREET PARKING PROVIDED	47	
<b>Total Vehicle Parking Provided</b>	<b>86</b>	
<b>Accessible Parking Required</b>	<b>5</b>	
ON-STREET PARKING PROVIDED	3	
OFF-STREET PARKING PROVIDED	2	
<b>Total Accessible Parking Provided</b>	<b>5</b>	
<b>Total Motorcycle Parking Required</b>	<b>3</b>	
<b>Total Bicycle Parking Provided</b>	<b>5</b>	

**GLAZING CALCULATIONS FOR STREET FACING FACADES (NORTH, WEST, AND SOUTH FACADES)**

TOTAL GLAZING AREA AT GROUND FLOOR	403 SF
TOTAL AVAILABLE STREET-FACING GROUND FLOOR FACADE AREA (EXCLUDES WALL ASSEMBLIES)	1,518 SF
PERCENTAGE OF GROUND FLOOR STREET FRONTAGE GLAZING	26.55%
TOTAL GLAZING AREA AT UPPER FLOORS	5,358 SF
TOTAL AVAILABLE STREET-FACING FACADE AREA AT UPPER FLOORS (EXCLUDES FLOOR, WALL, AND ROOF ASSEMBLIES)	18,574 SF
PERCENTAGE OF STREET FRONTAGE GLAZING AT UPPER FLOORS	28.85%



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(505-823-1000 Mike Balaskovits)

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(505-898-9615 John Braly)

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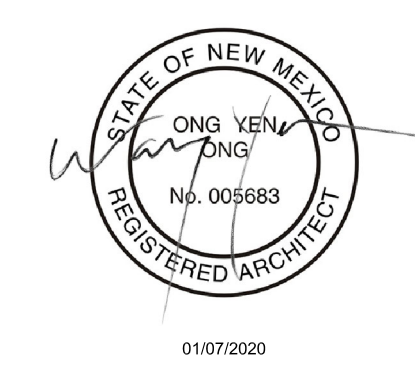
**INTERIOR DESIGNER**  
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**OPERATOR**  
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(318-812-7126 Dave Raymond)

DATE	ISSUE TITLE
01/12/18	100% DESIGN DEVELOPMENT
04/23/18	ISSUE FOR PERMIT
06/08/18	ISSUE FOR MARROTT'S 90% SET
11/29/18	REVISIONS FOR CITY

REV.	DATE	ISSUE TITLE
1	04/28/20	CITY REVISIONS
2	06/23/20	CITY REVISIONS



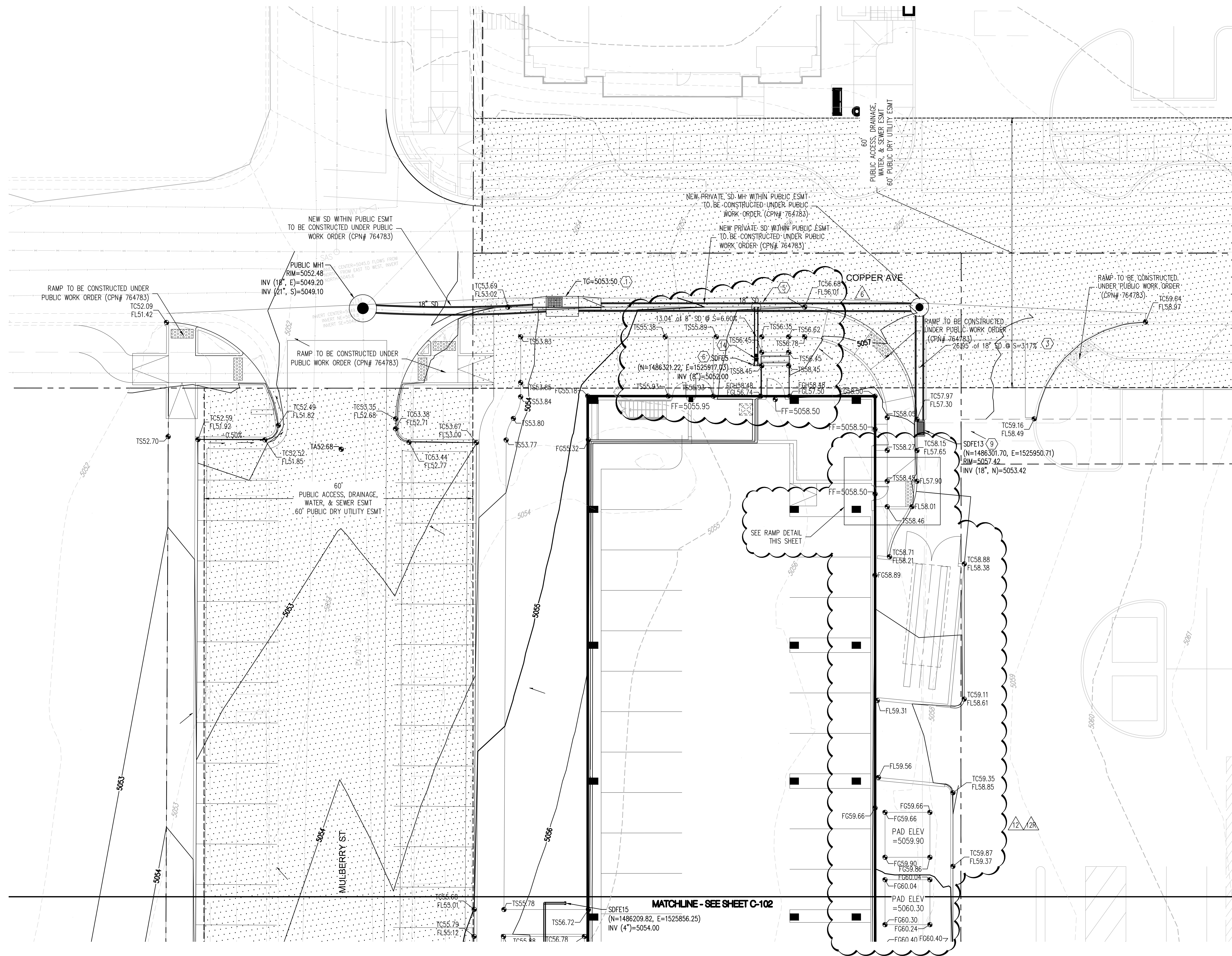
**SPRINGHILL SUITES - ALBUQUERQUE**  
CENTRAL AVE. & MULBERRY ST.  
ALBUQUERQUE, NM 87106

**SITE PLAN**

IMM012 PROJECT NUMBER **A10.00** SHEET NUMBER



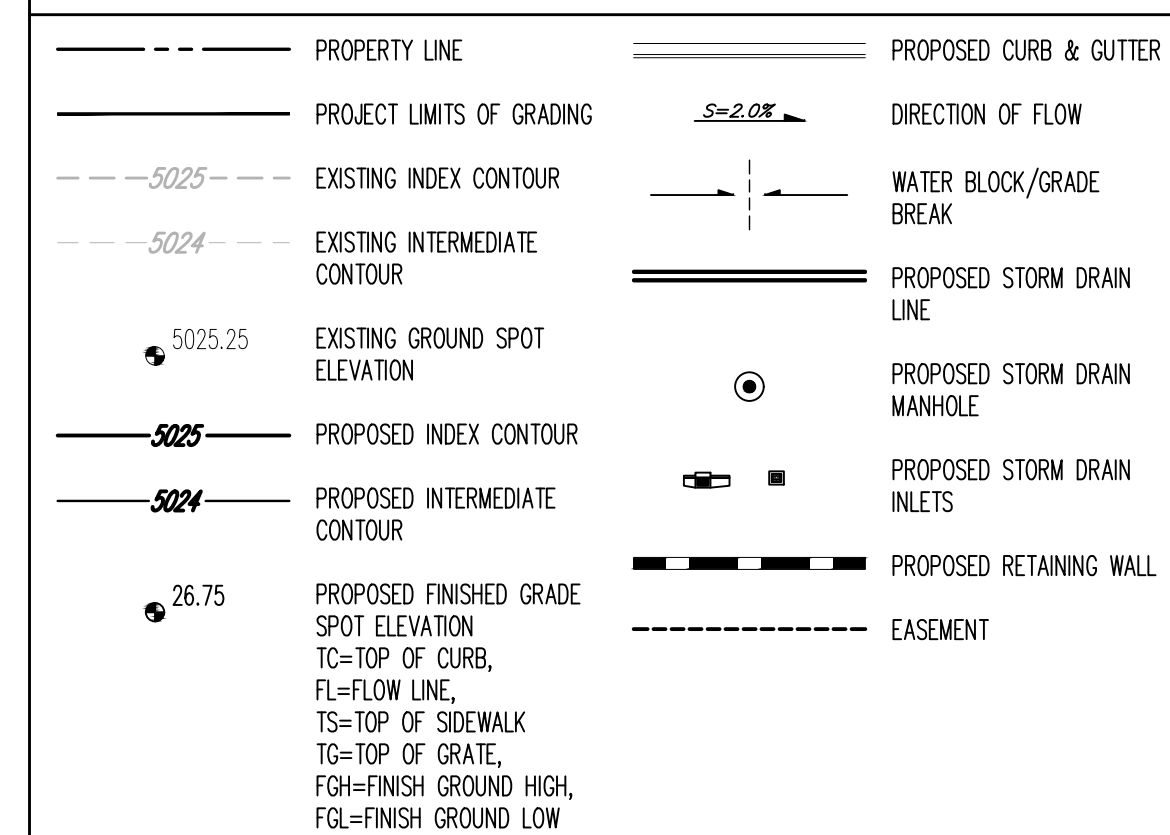




**GRADING KEYNOTES**

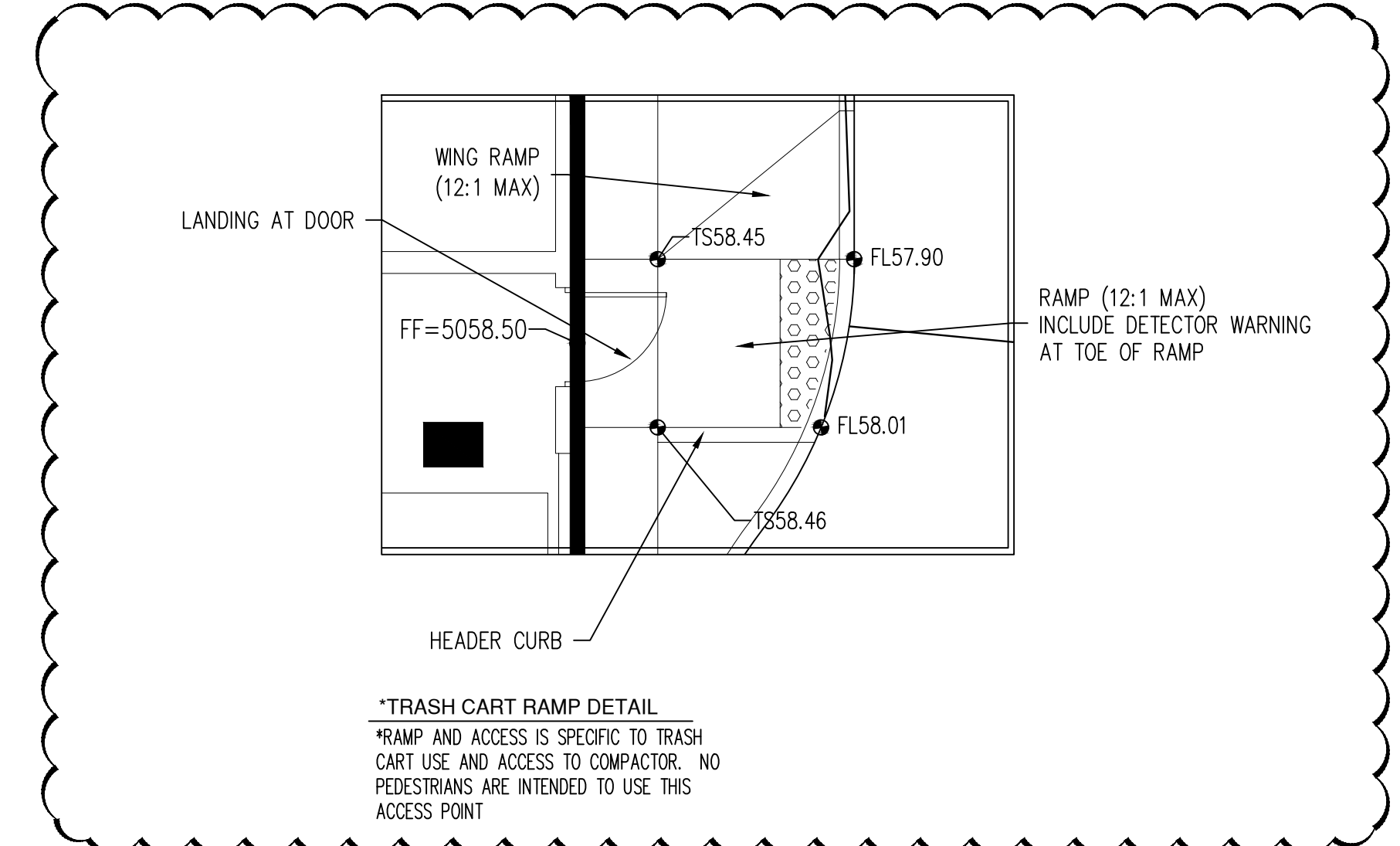
- PUBLIC SINGLE GRATE TYPE 'A' INLET. SEE PUBLIC WORK ORDER (CPN # 764783). GRATE ELEVATION FOR REFERENCE ONLY.
- PUBLIC TYPE 'D' INLET. SEE PUBLIC WORK ORDER (CPN #764783). GRATE ELEVATION FOR REFERENCE ONLY.
- INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE (SIZE PER PLAN).
- INSTALL 18" NYLOPLAST STORM DRAIN INLET OR APPROVED EQUAL PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL PRE-FABRICATED STORM DRAIN FITTING.
- STUB PROPOSED ROOF DRAIN CONNECTIONS WITHIN 5' OF THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO PROVIDE APPROPRIATE FITTINGS.
- REMOVE EXISTING STORM DRAIN.
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- INSTALL 30" NYLOPLAST DRAIN BASIN AND SOLID H-20 GRATE (OR APPROVED EQUAL) PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL DOUBLE CLEANOUT PER DETAIL A2 ON SHEET C-400.

**GRADING LEGEND**

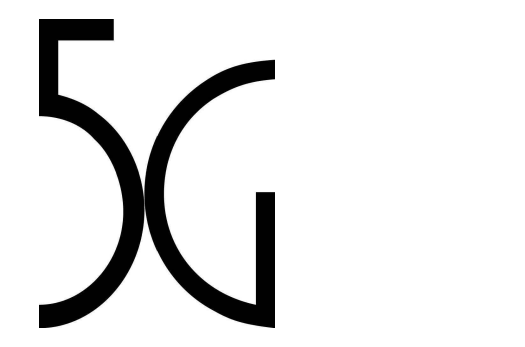
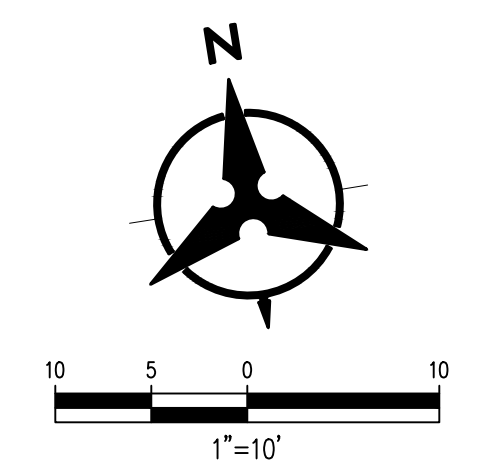


NOTE: NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW AND PUBLIC EASEMENTS WITHOUT AN APPROVED PUBLIC WORK ORDER.

NOTE: ALL WORK SHOWN IN THE RW AND PUBLIC EASEMENTS SHALL BE CONSTRUCTED PER COA PUBLIC WORK ORDER CPN #764783. GRADES SHOWN WITHIN THE RW AND PUBLIC EASEMENTS ARE FOR REFERENCE ONLY. IF PROPOSED GRADES IN RW DIFFER FROM ON-SITE GRADES SHOWN, CONTACT ENGINEER IMMEDIATELY.



\*TRASH CART RAMP DETAIL  
 \*RAMP AND ACCESS IS SPECIFIC TO TRASH CART USE AND ACCESS TO COMPACTOR. NO PEDESTRIANS ARE INTENDED TO USE THIS ACCESS POINT



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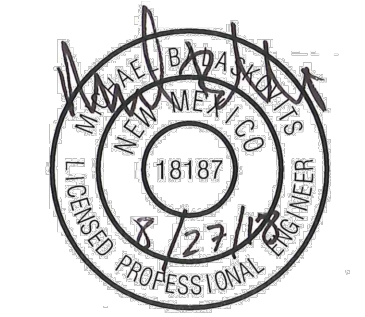
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DATE	ISSUE TITLE
01/12/18	ISSUE FOR DESIGN DEVELOPMENT
04/23/18	ISSUE FOR PERMIT
06/08/18	ISSUE FOR MARKET/TOI/BOI/SET

REV.	DATE	ISSUE TITLE
1	06/18/18	CITY PERMIT REVIEW
2	08/27/18	CITY PERMIT REVIEW
3	08/31/18	ISSUE FOR CONSTRUCTION
6	03/04/19	ASI 03
12	12/20/19	ASI 12
12R	01/03/20	ASI 12R



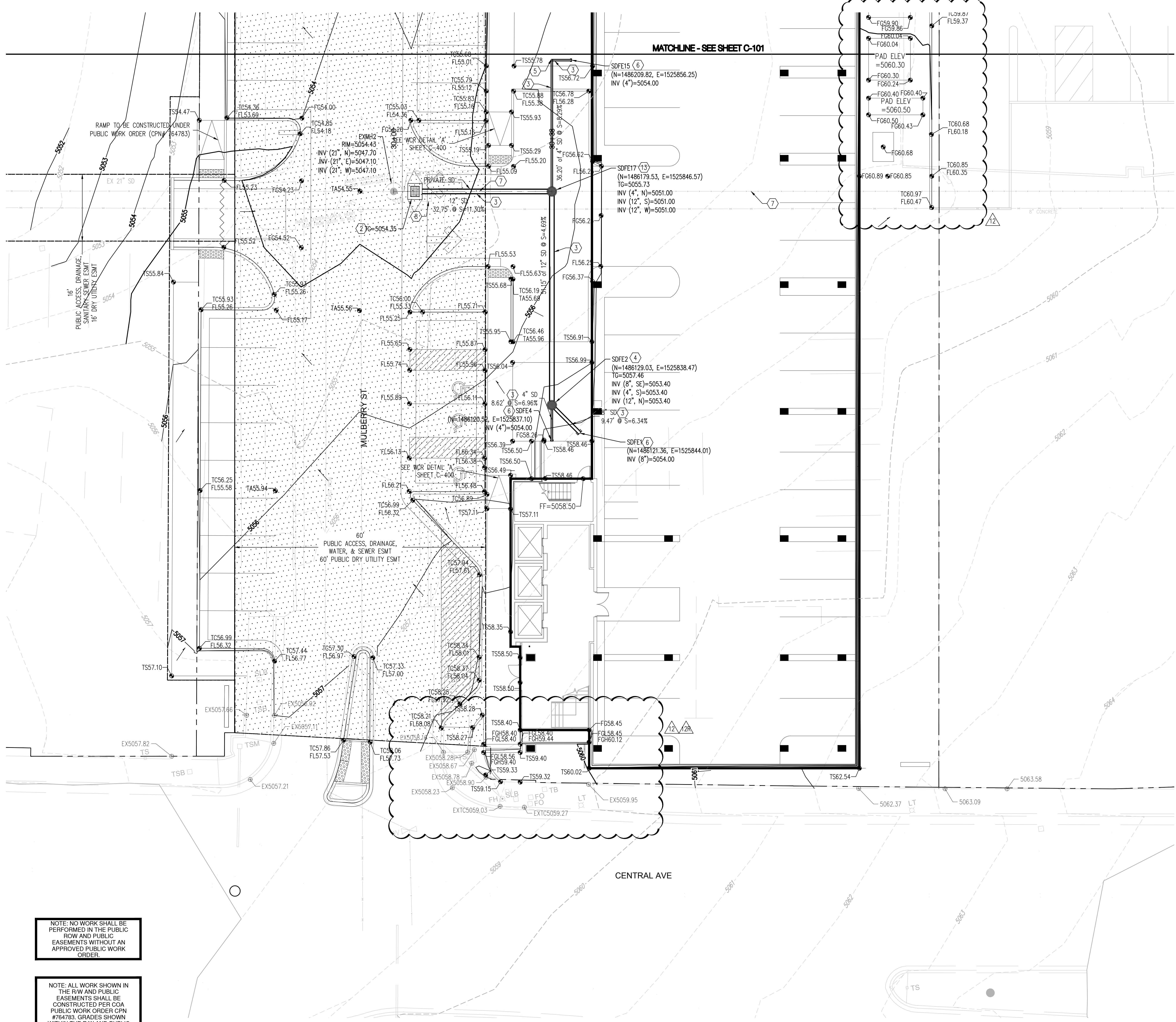
SPRINGHILL SUITES - ALBUQUERQUE  
 CENTRAL AVE. & MULBERRY ST.  
 ALBUQUERQUE, NM 87106

**GRADING & DRAINAGE PLAN**

IMM12 PROJECT NUMBER **C-101** SHEET NUMBER

**Bohannon Huston**  
 www.bhinc.com 800.877.5332

MATCHLINE - SEE SHEET C-101



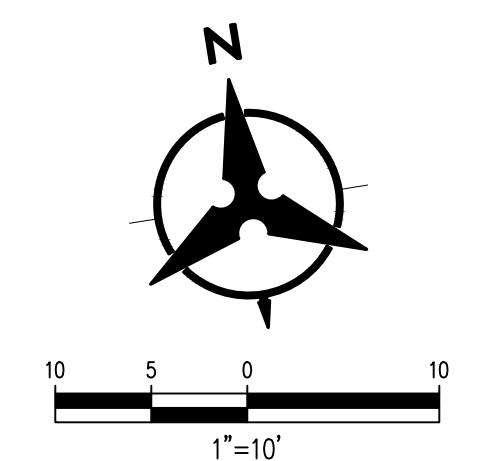
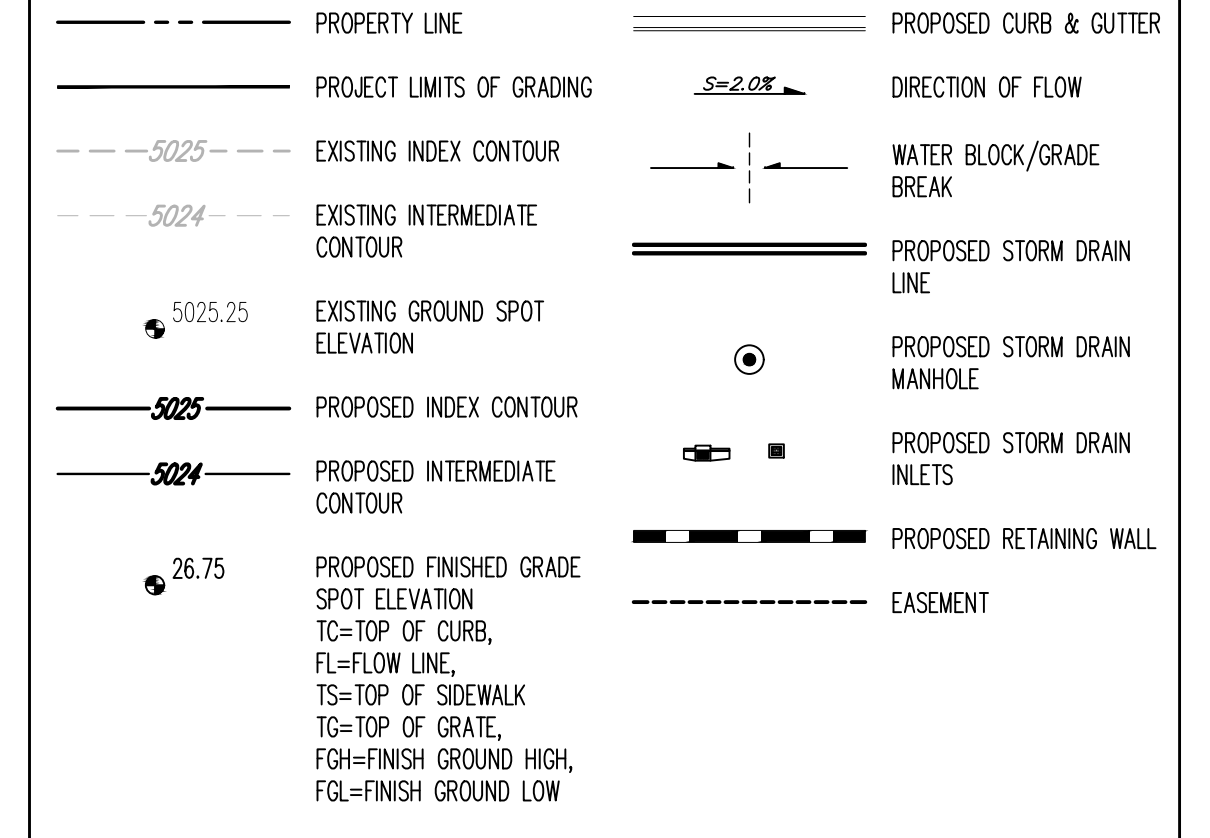
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GRADING KEYNOTES

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- INSTALL HOPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE (SIZE PER PLAN).
- INSTALL 18" NYLOPLAST STORM DRAIN INLET OR APPROVED EQUAL PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL PRE-FABRICATED STORM DRAIN FITTING.
- STUB PROPOSED ROOF DRAIN CONNECTIONS WITHIN 5' OF THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO PROVIDE APPROPRIATE FITTINGS.
- REMOVE EXISTING STORM DRAIN.
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- INSTALL MEDIAN CURB & GUTTER PER COA STD. DWG. 2415B.
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- INSTALL 30" NYLOPLAST DRAIN BASIN AND SOLID 14-20 GRATE (OR APPROVED EQUAL) PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL DOUBLE CLEANOUT PER DETAIL A2 ON SHEET C-400.

GRADING LEGEND



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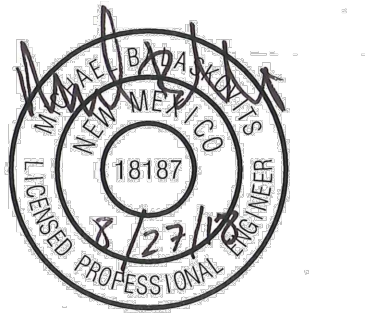
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(318-812-7126) Dave Raymond

DATE	ISSUE TITLE
01/12/18	ISSUE FOR DESIGN DEVELOPMENT
04/23/18	ISSUE FOR PERMIT
06/08/18	ISSUE FOR MANHOLE'S 90% SET

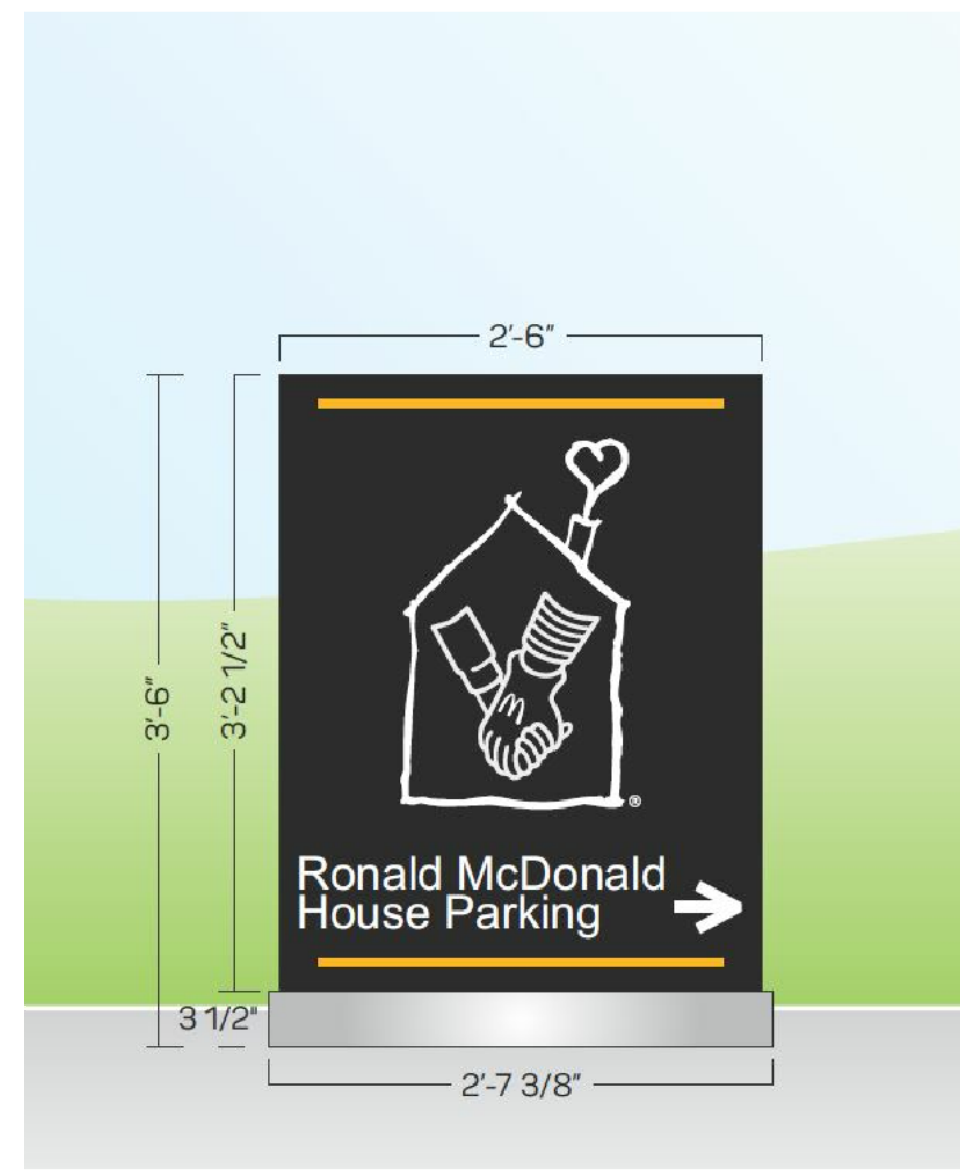
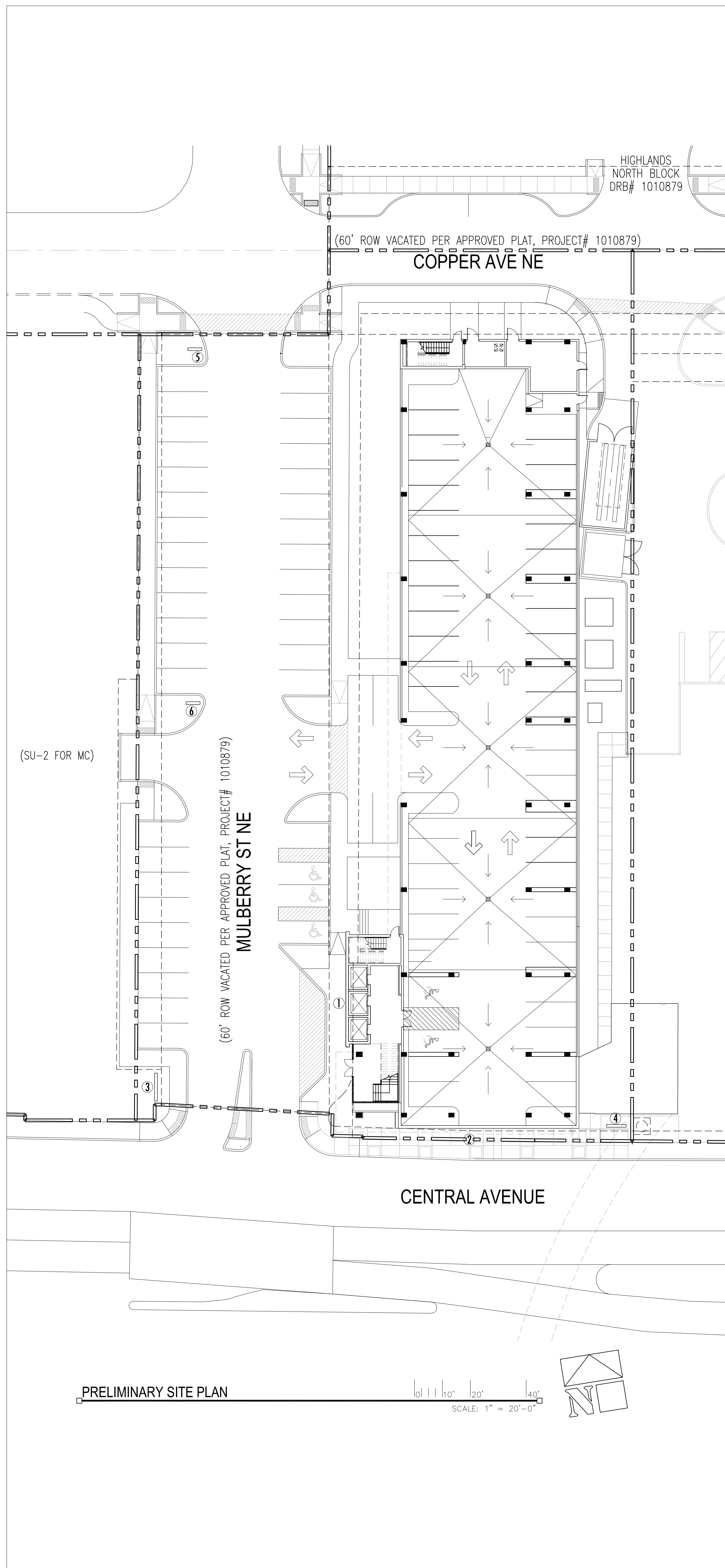
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1	06/18/18	CITY PERMIT REVIEW
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12	12/20/19	ASI 12
12R	01/02/20	ASI 12R



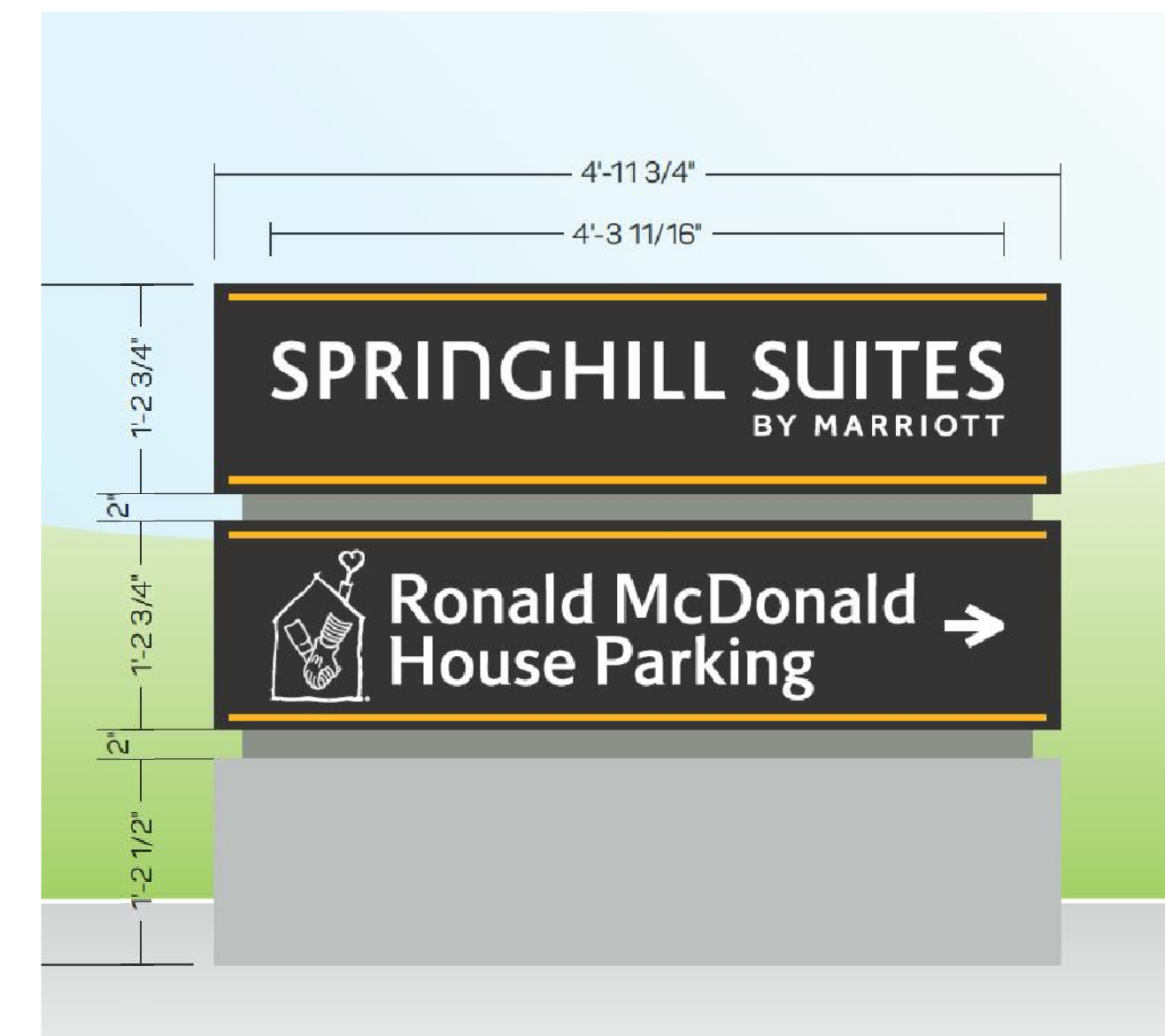
SPRINGHILL SUITES - ALBUQUERQUE  
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ALBUQUERQUE, NM 87106

GRADING & DRAINAGE PLAN  
IMM012 PROJECT NUMBER SHEET NUMBER  
**C-102**

**Bohannon Huston**  
www.bhinc.com 800.877.5332



**C3 SIGNAGE DETAIL 6**  
SCALE: 1" = 1'-0"



**C2 SIGNAGE DETAIL 5**  
SCALE: 1" = 1'-0"



**C1 SIGNAGE DETAIL 4**  
SCALE: 1" = 1'-0"



**B1 SIGNAGE DETAIL 3**  
SCALE: 1" = 1'-0"



**A3 SIGNAGE DETAIL 2**  
SCALE: 1/4" = 1'-0"



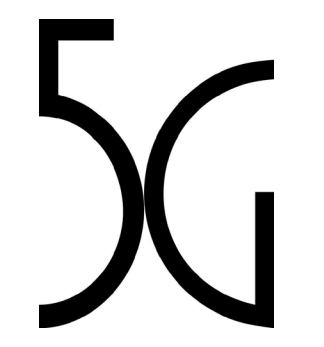
**A1 SIGNAGE DETAIL 1**  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES**

- SIGNAGE DETAILS ARE DESIGNED BY SIGN MANUFACTURER

**KEYNOTES**

- 24" 2-LINE LETTER SET (WHITE FACE).
- 23"-2" X 2'-9 3/4" BLADE SIGN.
- 2'-3" X 9'-1 3/4" AT 4'-0" OAH MONUMENT SIGN.
- 4'-6" X 2'-6" MONUMENT SIGN.
- (2) 1'-2 1/2" X 4'-11 3/8" SHARED DIRECTIONAL SIGN AT 4' OAH.
- 3'-2 1/2" X 2'-6" AT 3'-6" DIRECTIONAL SIGN.



**ARCHITECT**  
SG Studio Collaborative, LLC.  
1217 Main Street  
Dallas, TX 75202  
(214-470-0050) Christine Robbins-Eldred

**CIVIL ENGINEER**  
Bahamian Huston  
7500 Jefferson Street NE  
Albuquerque, New Mexico 87109  
(505-623-1000) Mike Babaskovits

**LANDSCAPE**  
Heads Up Landscaping  
7525 Second Street NW  
Albuquerque, New Mexico 87107  
(505-698-8815) John Braly

**STRUCTURAL ENGINEER**  
MK Engineers and Associates, Inc.  
400 Chisholm Place, Suite 106  
Plano, TX 75075  
(214-501-5354) Mohammad Kabir

**MEP ENGINEER**  
MEP Systems Design & Engineering, Inc.  
918 Dragon Street, Suite 500  
Dallas, TX 75207  
(214-515-9229) Mark Portnoy

**INTERIOR DESIGNER**  
IRC, L.L.C.  
2360 Tower Drive, Suite 101  
Monroe, LA 71201  
(318-812-7708) Colby Weaver Walker

**OWNER/DEVELOPER**  
Titan Development  
6300 Riverside Plaza Lane NW, Ste 200  
Albuquerque, New Mexico 87120  
(505-698-0165) Josh Rogers

**OPERATOR**  
Intermountain Management, LLC  
2390 Tower Drive  
Monroe, Louisiana 71201  
(318-612-7126) Dave Raymond

DATE	ISSUE TITLE
01/12/18	100% DESIGN DEVELOPMENT
04/23/18	ISSUE FOR PERMIT
06/05/18	ISSUE FOR MARRIOTT'S SIGN SET
11/09/18	REVISIONS FOR CITY

REV.	DATE	ISSUE TITLE
1	10/31/19	CITY REVISIONS

SPRINGHILL SUITES - ALBUQUERQUE  
CENTRAL AVE. & MULBERRY ST.  
ALBUQUERQUE, NM 87106

**SIGNAGE DETAILS**

IMM012  
PROJECT NUMBER

**A10.02**  
SHEET NUMBER