



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

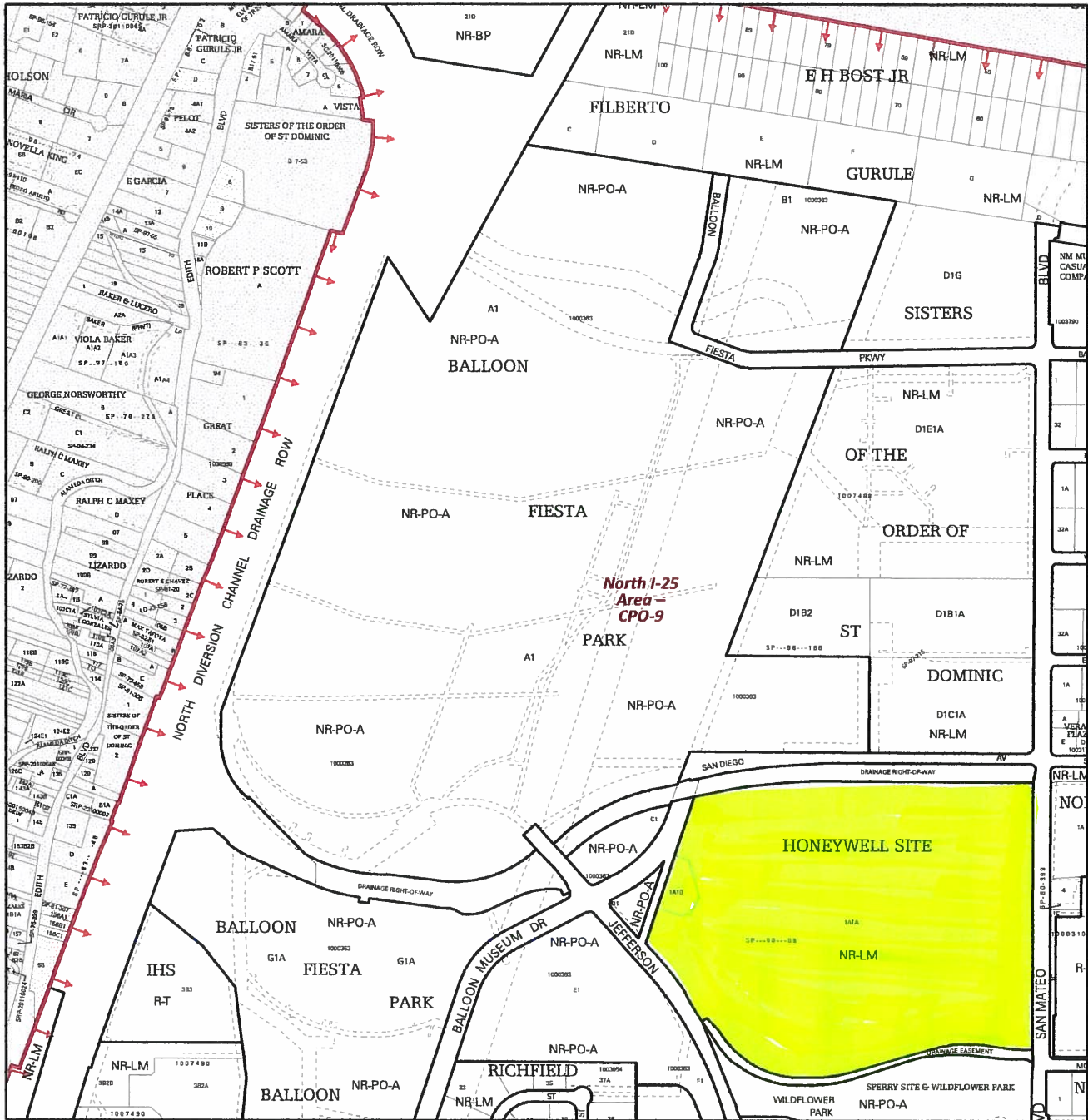
___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

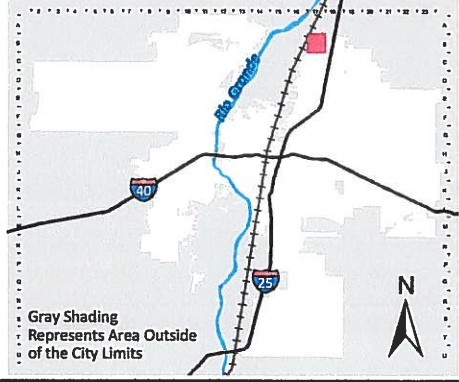


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

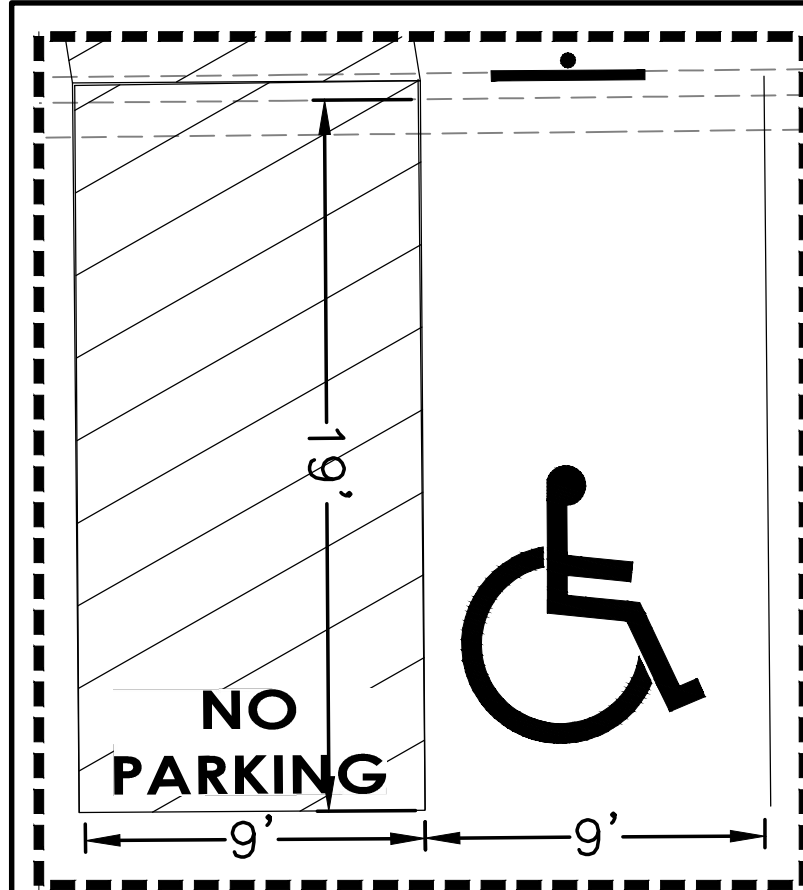


Zone Atlas Page:
B-17-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet



PARKING DETAIL
N15



VICINITY MAP

B-17

LEGAL DESCRIPTION

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B
HONEYWELL SITE CONT 59.6960 AC

SITE DATA

PROPOSED USAGE:

EXISTING BUILDING AREA: 522,928 SF
PROPOSED BUILDING AREA W/ DOCK ADDITIONS: 526,794 SF
PROPOSED LOT AREA: 1,668,330 SF (38.30 ACRES)
ZONING: NR-LM
WAREHOUSING WITH 10% OFFICE SPACE

PARKING REQUIREMENTS:

WAREHOUSING W/ 10% OFFICE SPACE PER IDO TABLE 5-5-1 FOR WAREHOUSING AND OFFICE SPACE	237 SPACES
1 SPACE/ 2,000 SQ. FT. GFA FOR 474,114.60 SQ.FT. GFA=	184 SPACES
3.5 SPACES/ 1,000 SQ. FT. GFA FOR 52,679.4 SQ. FT. GFA=	421 SPACES
TOTAL PARKING REQUIRED=	1992 SPACES
TOTAL PARKING PROVIDED=	
HC PARKING REQUIRED=	12 SPACES
HC PARKING PROVIDED=	32 SPACES
MOTORCYCLE PARKING REQUIRED=	6 SPACES
MOTORCYCLE PARKING PROVIDED=	40 SPACES
BICYCLE PARKING REQUIRED	42 SPACES
BICYCLE PARKING PROVIDED	42 SPACES
TOTAL PARKING REQUIRED=	421 SPACES
TOTAL PARKING PROVIDED=	1992 SPACES

KEYED NOTES

- | | |
|--|--|
| 1 STANDARD ASPHALT CURB (TYP), SEE DETAIL SHEET C5.0 | 13 EXISTING PARKING STALL |
| 2 NEW ASPHALT PAVEMENT (TYP), SEE DETAIL SHEET C5.0 | 14 EXISTING ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS TO BE UPDATED TO CURRENT ADA STANDARDS, SEE DETAIL SHEET C5.0 |
| 3 NEW 6" CONCRETE SIDEWALK, PER COA STD DW 2430, SEE DETAIL SHEET C5.0 | 15 EXISTING MOTORCYCLE SPACE W/SIGN |
| 4 PARALLEL CURB RAMP (TYP.) PER COA STD DWG 2443, SEE DETAIL SHEET C5.0 | 16 EXISTING BICYCLE RACK |
| 5 HANDRAIL, SEE SHEET C5.0 | 17 NOT USED |
| 6 PROPOSED STAIRS | 18 POND W/ 3:1 SLOPE |
| 7 MAIN ENTRANCE TO BUILDING | 19 REMOVAL OF CURBING AND REPLACE WITH ASPHALT |
| 8 DOCK ENTRANCE | 20 REMOVAL OF CONCRETE STRUCTURE (TYP.) |
| 9 PROPOSED PARKING STALL, SEE DETAIL THIS SHEET | 21 REMOVAL OF GUARD SHACK AND REPLACE WITH ASPHALT |
| 10 PROPOSED ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.), SEE DETAIL SHEET C5.0 | 22 REMOVAL OF COVERED PATIO |
| 11 PROPOSED MOTORCYCLE SPACE (4'X8' MIN) W/SIGN, SEE DETAIL SHEET C5.0 | 23 REMOVAL OF CURB |
| 12 PROPOSED STRIPED PARKING LOT ISLAND | 24 PROPOSED BICYCLE RACK W/ CONCRETE PAD, SEE DETAIL SHEET C5.0 |

SITE NOTES:

- ADA ACCESSIBLE PEDESTRIAN PATHWAY SHOULD NOT BE PLACED BEHIND PARKING SPACES OR ADJACENT TO A VEHICLE WAY.
- IT IS ACCEPTABLE TO KEEP EXISTING WAVE-STYLE BIKE RACK, BUT ALL NEW RACKS MUST COMPLY WITH THE DPM.

CLEAR SITE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

TRUCK TURNING MOVEMENT

SEE ALL TRUCK TURNING MOVEMENT USING A WB-65 ON SHEET C2.1

GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @ PRE-FAB METAL WALL PANELS

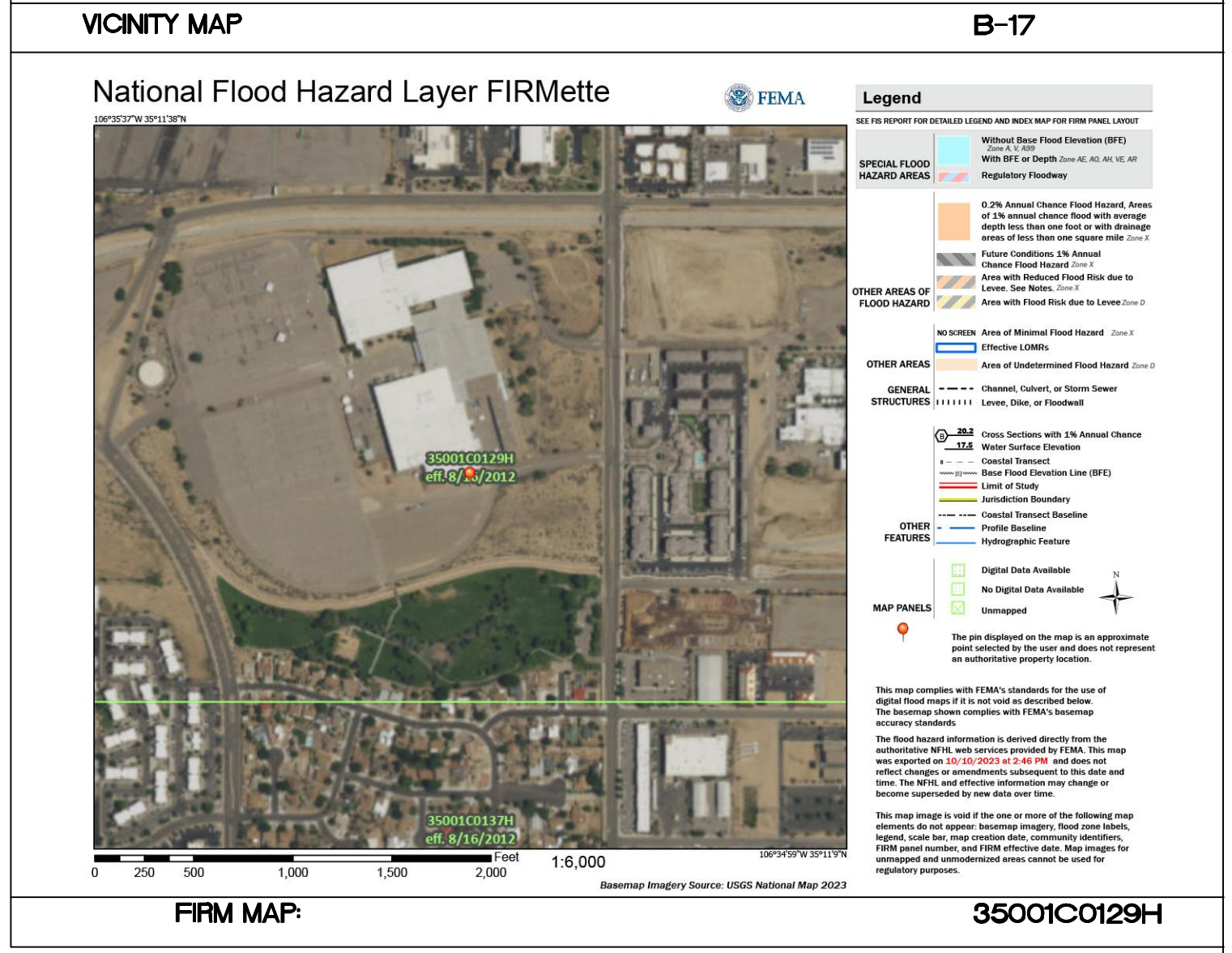
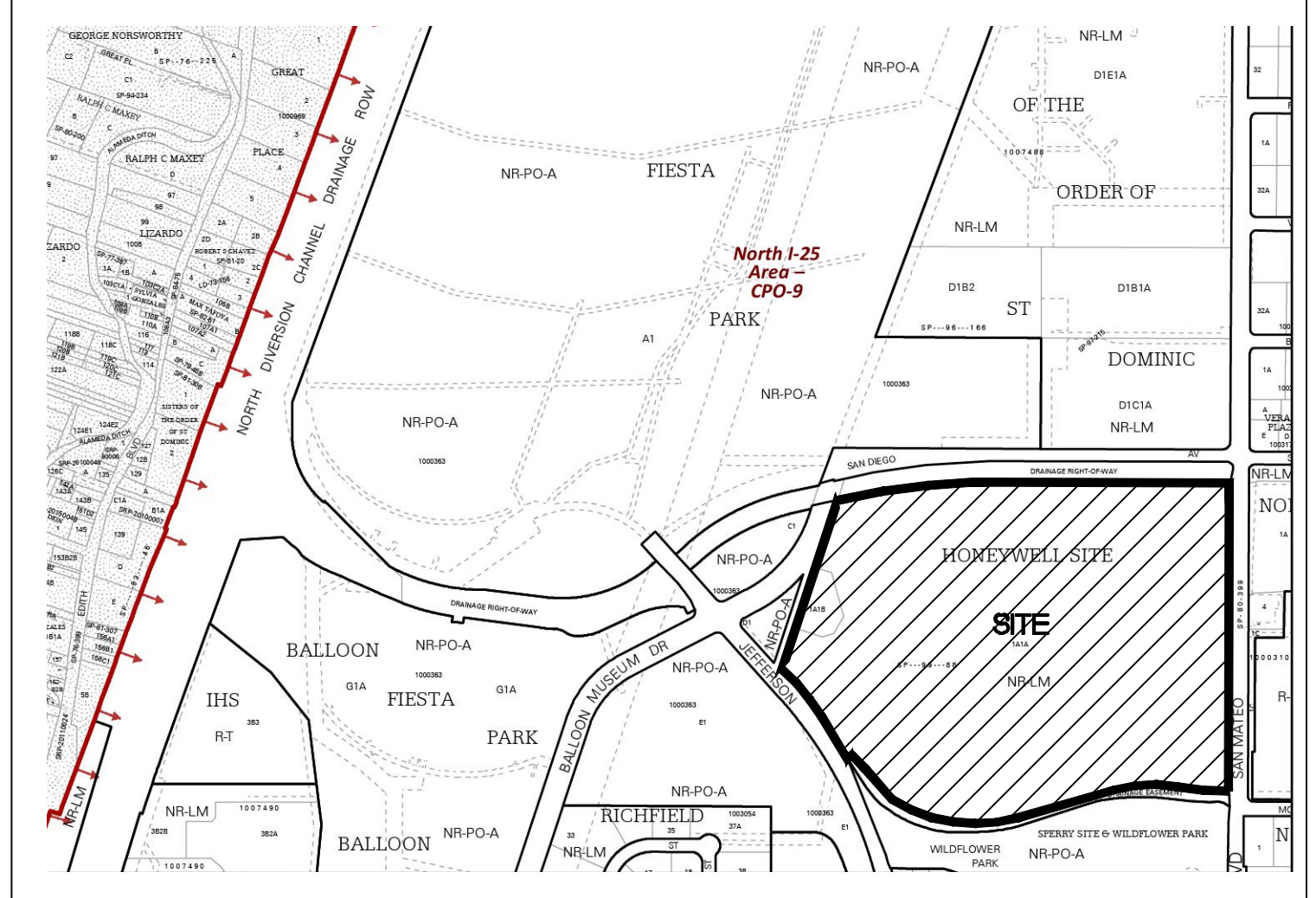
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REFER TO SHEET S1.2, S1.3, S1.4, S1.5 FOR ENLARGED FOUNDATION PLAN FOR EACH TRUCK DOCK.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN WORK ORDER.

LEGEND

- ASPHALT PINNED CURB
- - - BOUNDARY LINE
- - - EASEMENT
- - - EXISTING BUILDING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▬ PROPOSED SIDEWALK
- ▬ PROPOSED ASPHALT PAVEMENT
- ☉ LIGHT
- Ⓢ PARKING COUNT
- ADA PARKING ACCESSIBLE PATHWAY

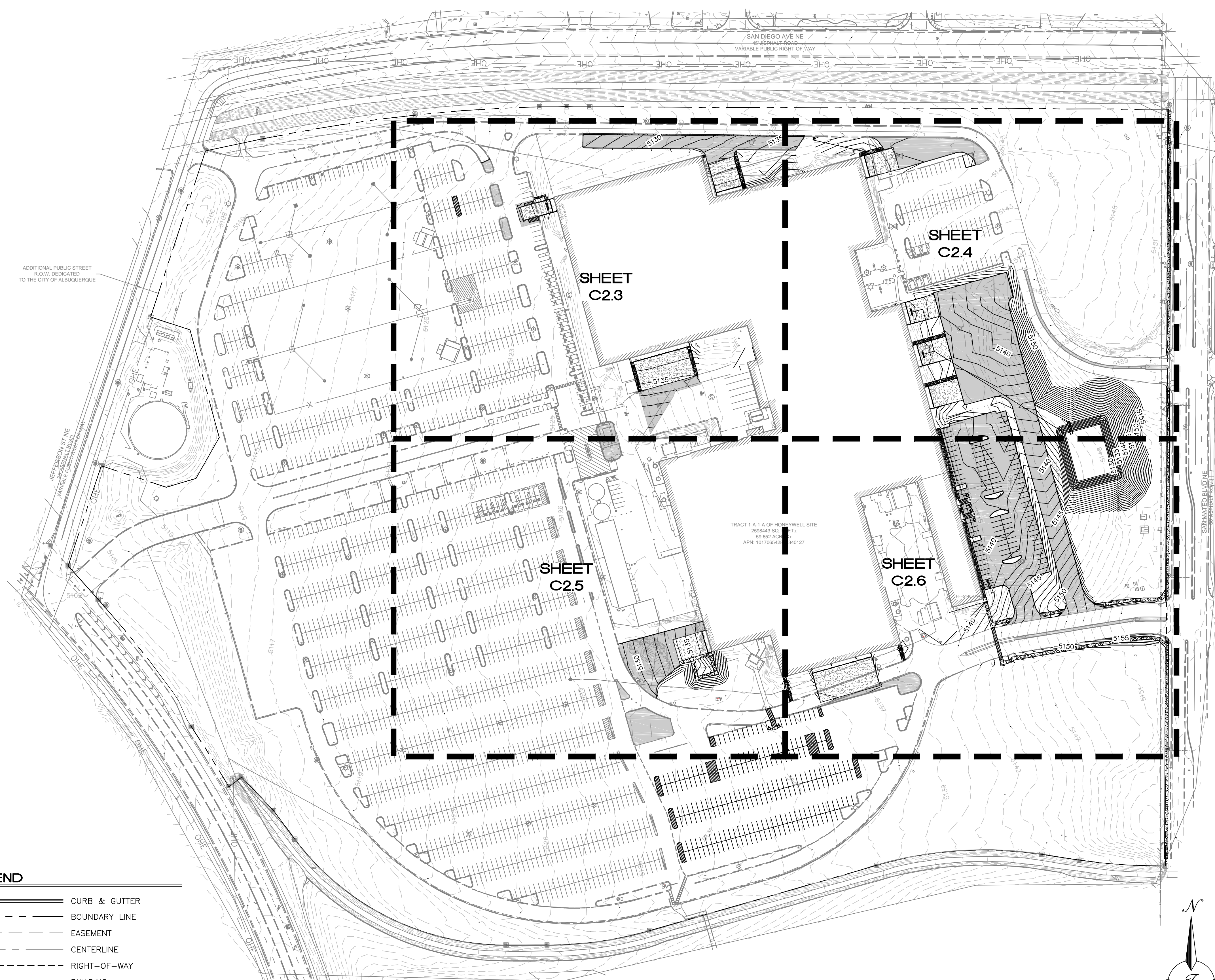
	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	SITE PLAN	DATE 6-21-24
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C1.0
		JOB # 2023090



LEGAL DESCRIPTION:
 TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B
 HONEYWELLSITE CONT 59.6960 AC

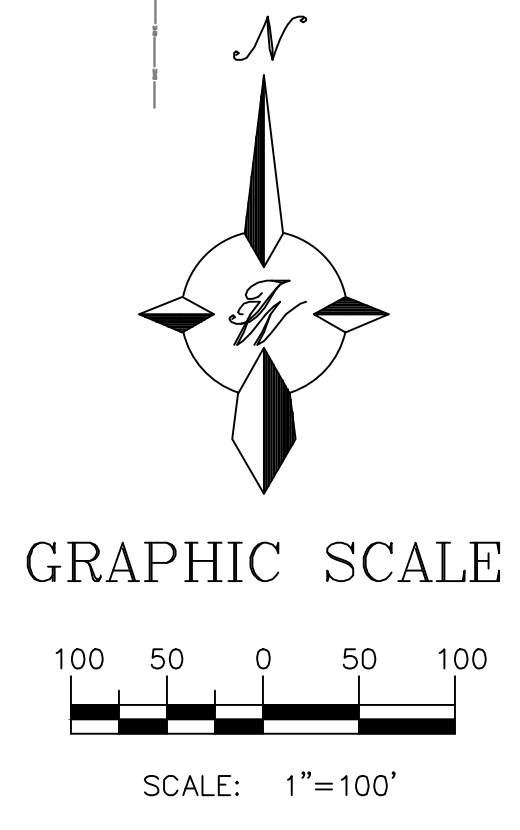
- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 - ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.
- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	OVERALL CONCEPTUAL GRADING PLAN	DATE 6-18-24
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # C2.0
		JOB # 2023090



LEGEND

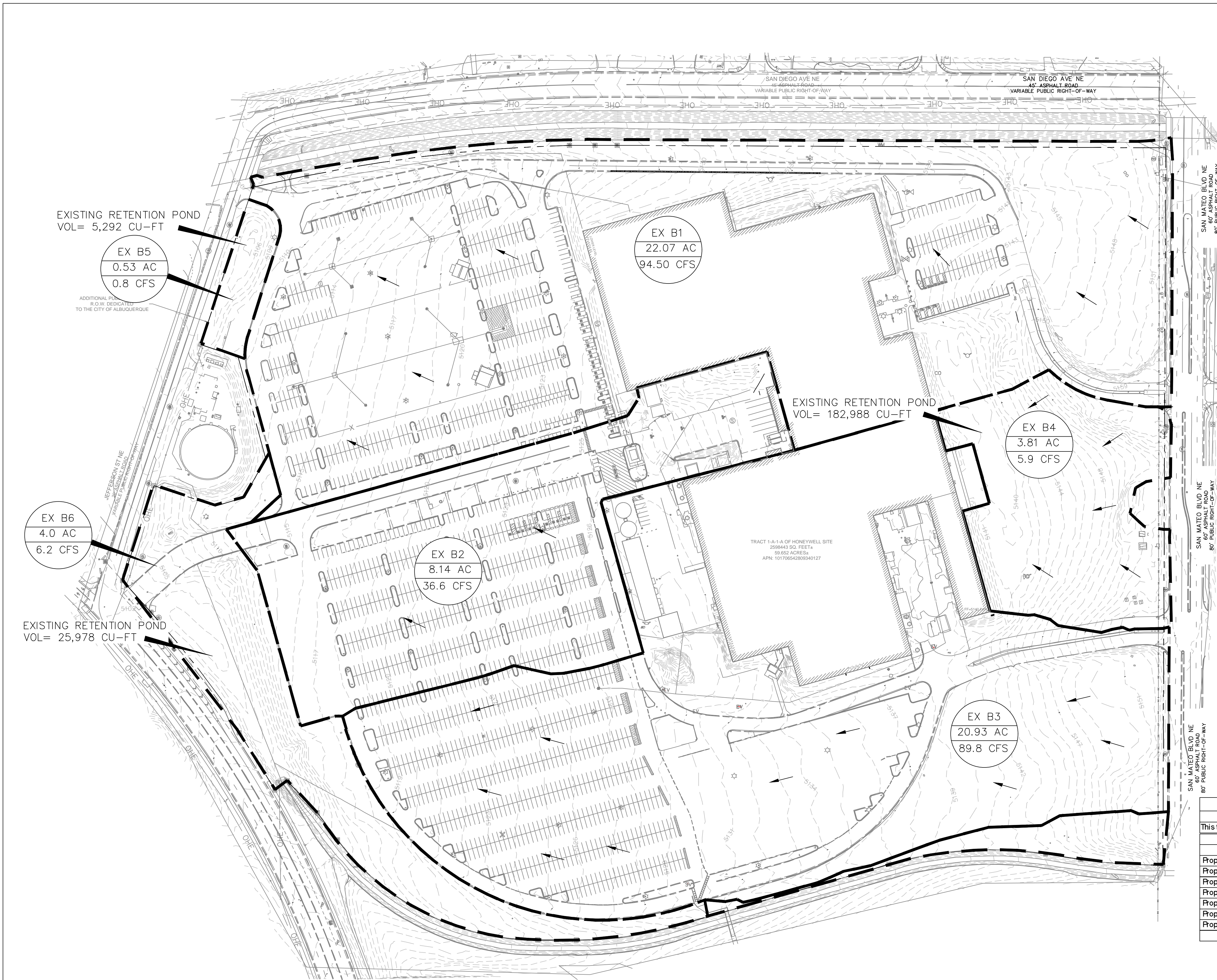
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	WATER BLOCK
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED 8" PVC SD



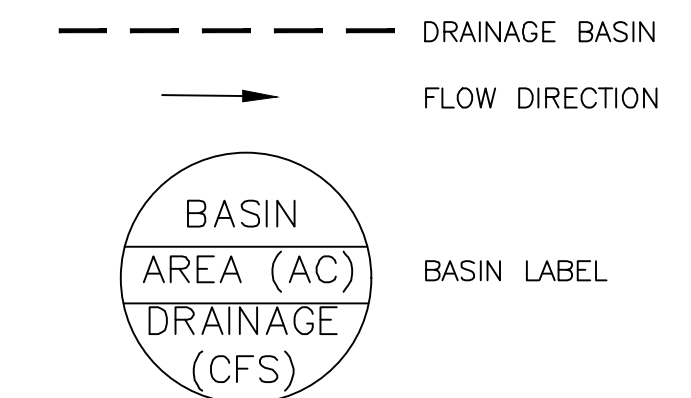
ADDITIONAL PUBLIC STREET
 R.O.W. DEDICATED
 TO THE CITY OF ALBUQUERQUE

JEFFERSON ST NE
 VARIABLE PUBLIC RIGHT-OF-WAY

SANMATEO BLVD NE
 VARIABLE PUBLIC RIGHT-OF-WAY



LEGEND



EXISTING CONDITIONS

THE EXISTING SITE IS APPROXIMATELY 60.18 ACRES. THERE ARE SEVERAL EXISTING BASINS WITHIN THE BOUNDARY OF THE SITE AS IDENTIFIED IN THE EXISTING DMP. THE EXISTING SITE IS COVERED MOSTLY BY THE EXISTING BUILDING, PARKING LOTS, AND OPEN SPACE.

EXISTING BASIN 1 IS APPROXIMATELY 22.07 ACRES AND GENERATES APPROXIMATELY 94.5 CFS IN THE 100YR STORM. THE FLOW FROM THIS BASIN GENERALLY FLOWS TO THE NORTHWEST WHERE IT IS DISCHARGED INTO THE LA CUEVA CHANNEL.

EXISTING BASIN 2 IS APPROXIMATELY 8.14 ACRES AND GENERATES APPROXIMATELY 36.6 CFS IN THE 100YR STORM. THE FLOW FROM THIS BASIN GENERALLY FLOWS TO THE NORTHWEST WHERE IT IS DISCHARGED INTO AN EXISTING CONCRETE ROUNDWAY THAT DIRECTS THE FLOW TO THE SOUTH TO FREELY DISCHARGE INTO JEFFERSON ST.

EXISTING BASIN 3 IS APPROXIMATELY 20.93 ACRES AND GENERATES APPROXIMATELY 89.8 CFS IN THE 100YR STORM. THE FLOW FROM THIS BASIN GENERALLY FLOWS TO THE WEST WHERE THE MAJORITY OF THE FLOW IS CONVEYED INTO THE EXISTING ONSITE STORM DRAIN NETWORK AND DISCHARGES TO THE PUBLIC STORM DRAIN ALONG THE WESTERN BOUNDARY OF THE SITE.

EXISTING BASIN 4 IS APPROXIMATELY 3.81 ACRES AND GENERATES APPROXIMATELY 5.9 CFS. THIS BASIN IS UNDERDEVELOPED WITH LANDSCAPING AND NATIVE VEGETATION. THE FLOW FROM THIS BASIN FLOWS TO THE WEST WHERE IT IS CONTAINED WITHIN RETENTION POND. THE 10 DAY VOLUME THAT IS GENERATED FROM THIS BASIN IS APPROXIMATELY 7,330 CF AND THE APPROXIMATE POND VOLUME FOR THIS AREA IS 182,998 CF AND THEREFOR IS ADEQUATELY SIZED AND NO IMPROVEMENTS IN THE AREA ARE REQUIRED.

EXISTING BASIN 5 IS APPROXIMATELY 0.53 ACRES AND GENERATES APPROXIMATELY 0.8 CFS. THIS BASIN IS UNDERDEVELOPED WITH LANDSCAPING AND NATIVE VEGETATION. THE FLOW FROM THIS BASIN IS CONTAINED WITHIN THE EXISTING RETENTION POND. THE 10 DAY VOLUME THAT IS GENERATED FROM THIS BASIN IS APPROXIMATELY 1,027 CF AND THE APPROXIMATE POND VOLUME FOR THIS AREA IS 5,292 CF AND THEREFOR IS ADEQUATELY SIZED AND NO IMPROVEMENTS IN THE AREA ARE REQUIRED.

EXISTING BASIN 6 IS APPROXIMATELY 4.00 ACRES AND GENERATES APPROXIMATELY 6.2 CFS. THIS BASIN IS UNDERDEVELOPED WITH LANDSCAPING AND NATIVE VEGETATION. THE FLOW FROM THIS BASIN IS CONTAINED WITHIN THE EXISTING RETENTION POND. THE 10 DAY VOLUME THAT IS GENERATED FROM THIS BASIN IS APPROXIMATELY 3,284 CF AND THE APPROXIMATE POND

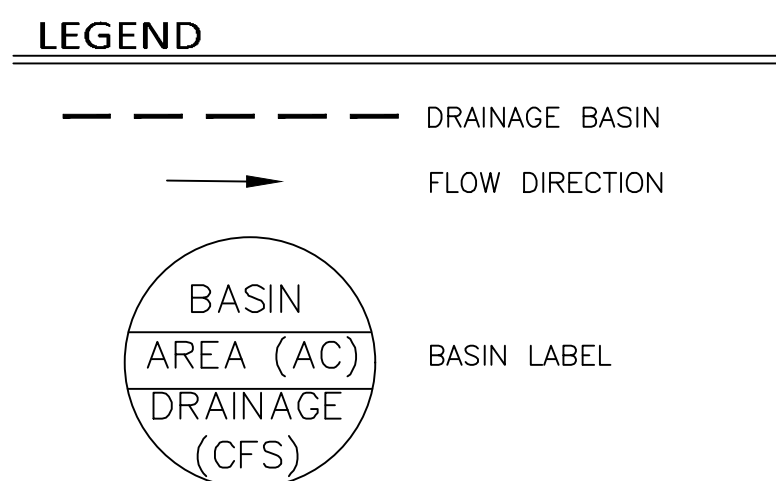
**Presbyterian Healthcare Service Honeywell Site
Proposed Ultimate Development Conditions Basin Data Table**

This table is based on the DFM Section 22.2 Zone: 2

Basin ID	Area		Land Treatment Percentage				Q(100yr)	Q(100yr-6hr)	WTE	V(100yr-6hr)	V(100yr-10day)
	(SQ.FT)	(SQ.FT)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	CF
Proposed Basin 1	961397	22.07	0.0%	0.0%	26.9%	73.1%	4.3	94.5	1.85	148527	242257
Proposed Basin 2	354527	8.14	0.0%	0.0%	13.0%	87.0%	4.5	36.6	1.99	58836	99969
Proposed Basin 3	911702	20.93	0.0%	0.0%	26.3%	73.7%	4.3	89.8	1.86	141299	230910
Proposed Basin 4	166963	3.81	100.0%	0.0%	0.0%	0.0%	1.6	5.9	0.53	7330	7330
Proposed Basin 5	23256	0.53	100.0%	0.0%	0.0%	0.0%	1.6	0.8	0.53	1027	1027
Proposed Basin 6	174138	4.00	100.0%	0.0%	0.0%	0.0%	1.6	6.2	0.53	7691	7691
Proposed Basin 7	30604	0.70	100.0%	0.0%	0.0%	0.0%	1.6	1.1	0.53	1352	1353
TOTAL	2621687	60.18						234.9		366062	590637

NOT FOR CONSTRUCTION

	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL DRAINAGE PLAN- EXISTING	DATE 6-18-24 DRAWING
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.D
RONALD R. BOHANNAN P.E. #7868		JOB # 2023090



PROPOSED DRAINAGE:

PROPOSED BASIN 1 IS APPROXIMATELY 19.69 ACRES AND GENERATES APPROXIMATELY 77.83 CFS FOR A 100 YEAR STORM. THE BASIN WILL FLOW TO THE NORTHWEST AND DISCHARGE INTO THE LA CUEVA CHANNEL.

PROPOSED BASIN 2 IS APPROXIMATELY 8.14 ACRES AND GENERATES APPROXIMATELY 34.73 CFS FOR A 100 YEAR STORM. THE BASIN WILL FLOW WEST AND DISCHARGE ONTO JEFFERSON ST.

PROPOSED BASIN 3 IS APPROXIMATELY 20.71 ACRES AND GENERATES APPROXIMATELY 83.72 CFS FOR A 100 YEAR STORM. THE BASIN WILL FLOW WEST INTO THE EXISTING STORM DRAIN AND DISCHARGE TO THE PUBLIC STORM DRAIN THAT RUNS ALONG JEFFERSON ST. THE PROPOSED DISCHARGE IS LESS THAN THE EXISTING, THEREFOR NO ADDITIONAL IMPAIRMENTS IS REQUIRED.

PROPOSED BASIN 4 IS APPROXIMATELY 4.49 ACRES AND GENERATES APPROXIMATELY 16.26 CFS FOR A 100 YEAR STORM. THE BASIN WILL FLOW WEST AND BE CONTAINED BY A PROPOSED RETENTION POND.

PROPOSED BASIN 5 IS APPROXIMATELY 0.53 ACRES AND GENERATES APPROXIMATELY 0.91 CFS FOR A 100 YEAR STORM. THIS BASIN WAS NOT AFFECTED BY CONSTRUCTION AND WILL FLOW SOUTHWEST AND BE CONTAINED BY A PROPOSED RETENTION POND.

PROPOSED BASIN 6 IS APPROXIMATELY 4.00 ACERS AND GENERATES APPROXIMATELY 6.84 CFS FOR A 100 YEAR STORM. THIS BASIN WAS NOT AFFECTED BY CONSTRUCTION AND WILL RETAINED WITHIN THE EXISTING 5,292 CF RETENTION POND.

PROPOSED BASIN 7 IS APPROXIMATELY 0.70 ACRES AND GENERATES APPROXIMATELY 1.20 CFS FOR A 100 YEAR STORM. THIS BASIN WAS NOT AFFECTED BY CONSTRUCTION AND THE RUNOFF FLOWS WILL DISCHARGE INTO JEFFERSON ST NE.

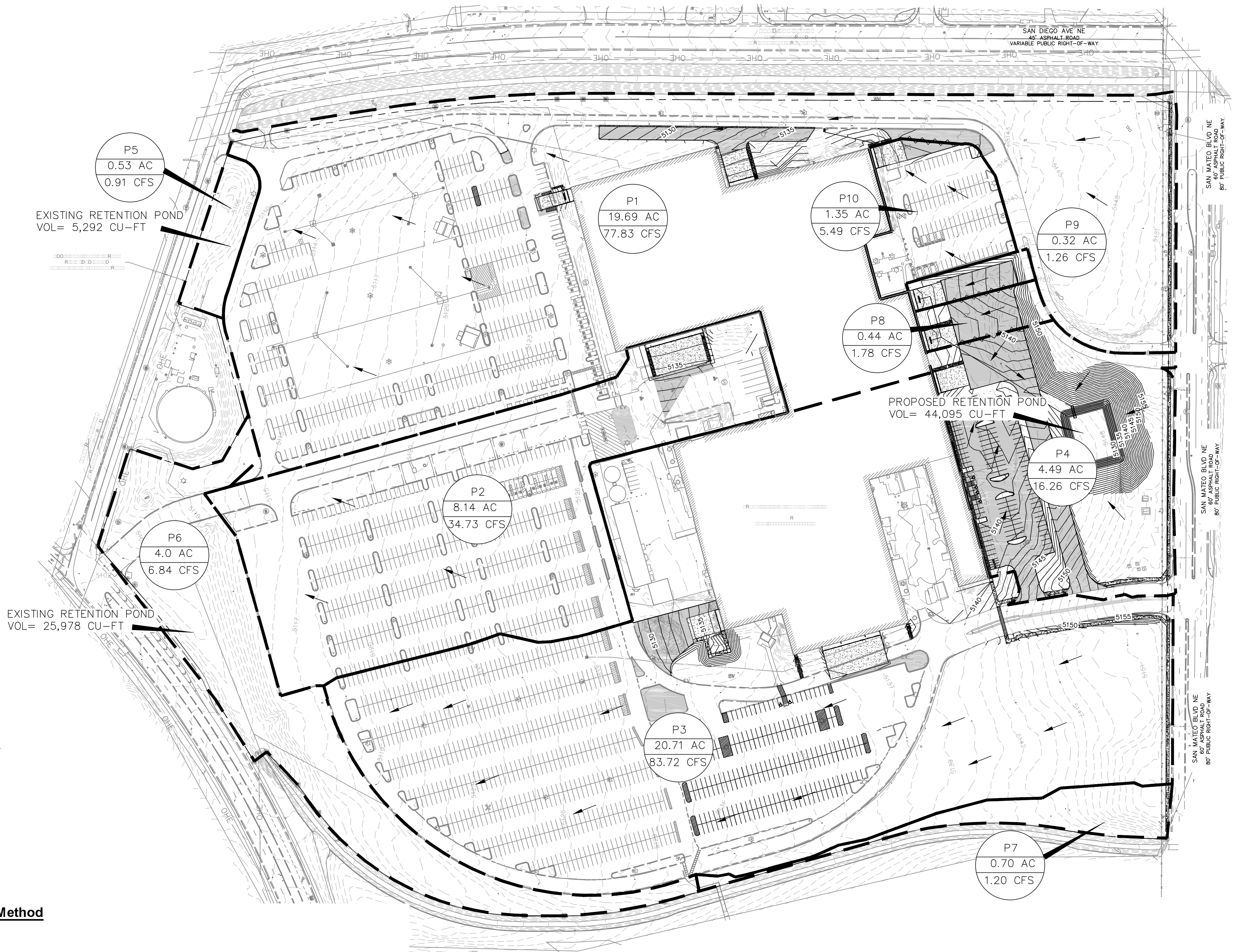
PROPOSED BASIN 8 IS APPROXIMATELY 0.44 ACRES AND GENERATES APPROXIMATELY 1.78 CFS FOR A 100 YEAR STORM. THIS BASIN WILL FLOW WEST TO THE PROPOSED INLET AND THEN DISCHARGE INTO THE PROPOSED RETENTION POND ON THE EAST SIDE.

PROPOSED BASIN 9 IS APPROXIMATELY 0.32 ACRES AND GENERATES APPROXIMATELY 1.26 CFS FOR A 100 YEAR STORM. THIS BASIN WILL FLOW WEST TO THE PROPOSED INLET AND THEN DISCHARGE INTO THE PROPOSED RETENTION POND ON THE EAST SIDE.

PROPOSED BASIN 10 IS APPROXIMATELY 1.35 ACRES AND GENERATES APPROXIMATELY 5.49 CFS FOR A 100 YEAR STORM. THIS BASIN WILL FLOW NORTHWEST TO THE PROPOSED INLET AND THEN DISCHARGE INTO THE EXISTING ONSITE NORTH ROADWAY. BASIN 10 WILL COMBINE WITH BASIN 1

BASIN 1 AND 10 WILL FREELY DISCHARGE WITH A COMBINE 83.32 CFS FOR A 100 YEAR STORM INTO THE LA CUEVA CHANNEL. THIS WOULD BE LESS THAN THE EXISTING 94.50 CFS. THERE NO ADDITIONAL IMPROVEMENTS WOULD BE REQUIRED.

BASIN 4, 8, AND 9 ALL DISCHARGE IN THE THE PROPOSED RETENTION ON ON THE EAST SIDE OF THE SITE. THE COMBINE GENERATED 10 DAY VOLUME IS APPROXIMATELY 43,868 CF AND THE PROPOSED RETENTION POND IS 44,093 CF.



Weighted E Method

Zone:
Zone 2

Proposed Basins

Basin	Basin Area			Treatments				100-Year			10-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
P1	857,658	19.69	0.031	0%	0%	0%	0%	1,940	3,183	77.83	1,201	1,971	46.74
P2	354,527.0	8.14	0.013	0%	0%	9%	92%	2,236	1,517	34.73	1,432	0,972	21.46
P3	901,909.9	20.71	0.032	0%	0%	23%	77%	2,031	3,504	83.72	1,273	2,197	50.78
P4	195,739.2	4.49	0.007	0%	0%	56%	44%	1,602	0,600	16.26	0,933	0,349	9.36
P5	23,256.0	0.53	0.001	100%	0%	0%	0%	0,620	0,028	0.91	0,150	0,007	0.22
P6	174,138.0	4.00	0.006	100%	0%	0%	0%	0,620	0,207	6.84	0,150	0,050	1.64
P7	30,604.0	0.70	0.001	100%	0%	0%	0%	0,620	0,036	1.20	0,150	0,009	0.29
P8	19,299.9	0.44	0.001	0%	0%	25%	75%	2,005	0,074	1.78	1,253	0,046	1.08
P9	13,801.0	0.32	0.000	0%	0%	28%	72%	1,966	0,052	1.26	1,222	0,032	0.76
P10	58,606.8	1.35	0.002	0%	0%	20%	80%	2,070	0,232	5.49	1,304	0,146	3.34
Total	2,629,540.1	60.366	0.09432	5.23	0.000	14.386	40.827		9.074	230.02		5.554	135.66

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
 Volume = Weighted D * Total Area
 Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

$V_{10-DAY} = V_{6HR} * A_c * (P_{10-DAYS} - P_{6HR})^{1/2} IN/FT$

$P_{10-DAYS} = 3.62 IN$

$P_{6HR} = 2.29 IN$

EAST POND(P4,P8,P9) 100YR6HR 31,617 CU.FT.
 EAST POND(P4,P8,P9) 100YR10 DAY 43,868 CU.FT.

NOT FOR CONSTRUCTION

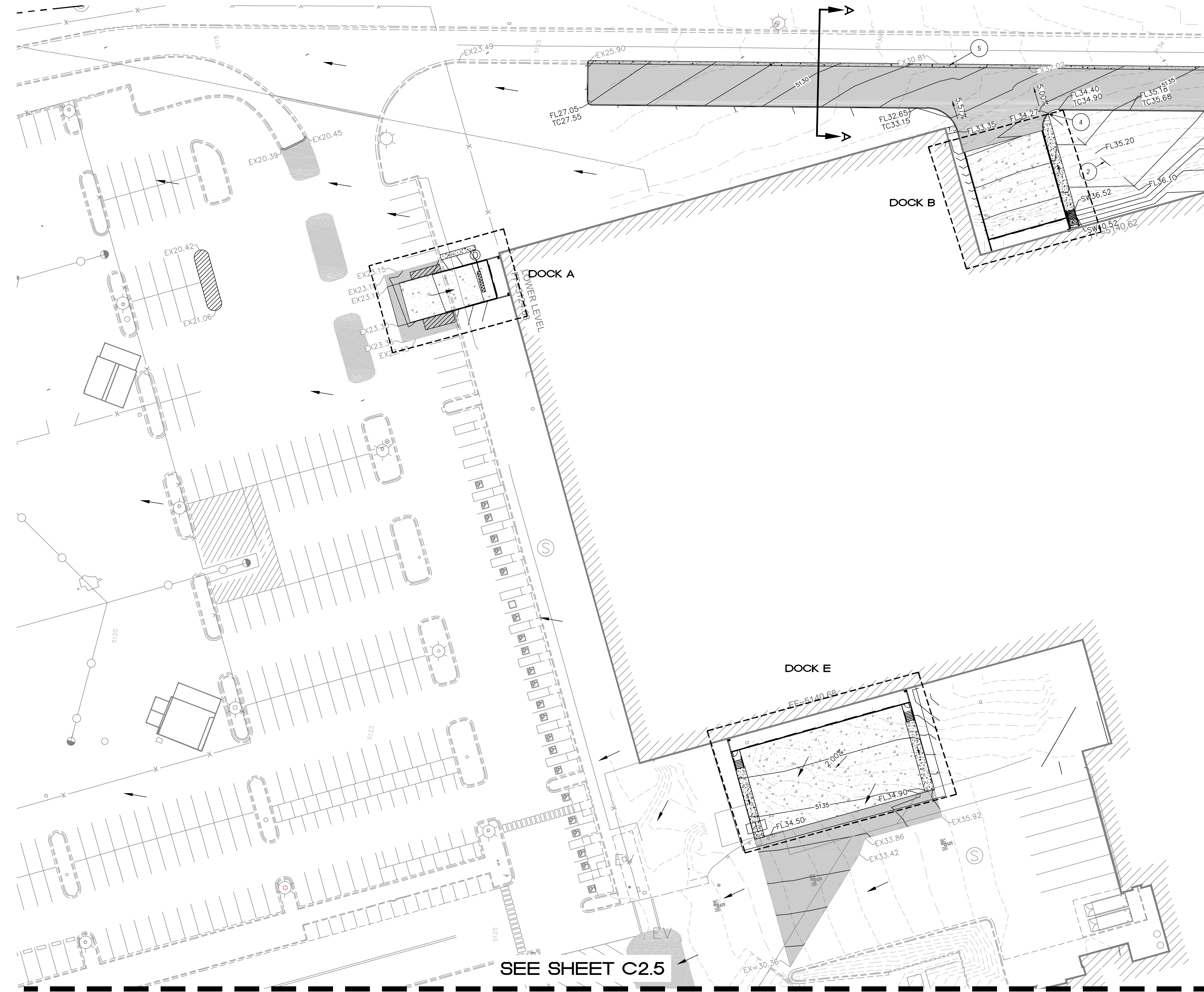
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 NEW MEXICO
 7868
 PROFESSIONAL ENGINEER
 6-18-2024
 RONALD R. BOHANNAN
 P.E. #7868

HONEYWELL
 ALBUQUERQUE, NM
 CONCEPTUAL DRAINAGE
 PLAN- PROPOSED

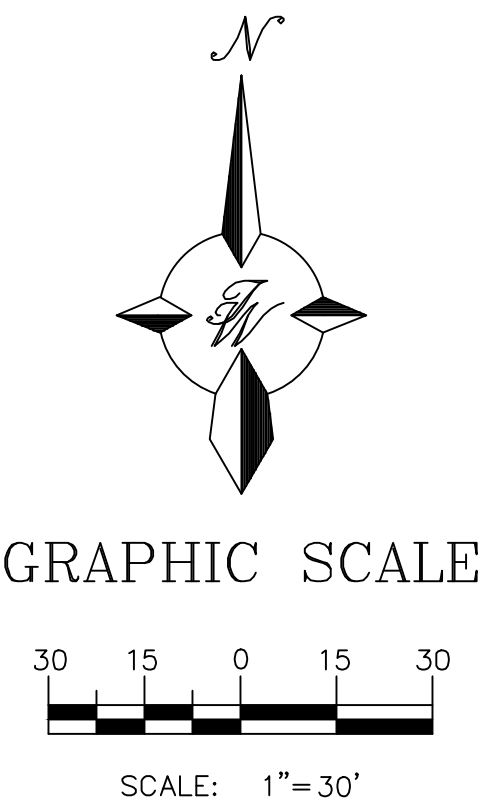
TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com

DRAWN BY
JL
 DATE
6-18-24
 DRAWING
 SHEET #
C2.0
 JOB #
2023090

SEE SECTION A-A, THIS SHEET

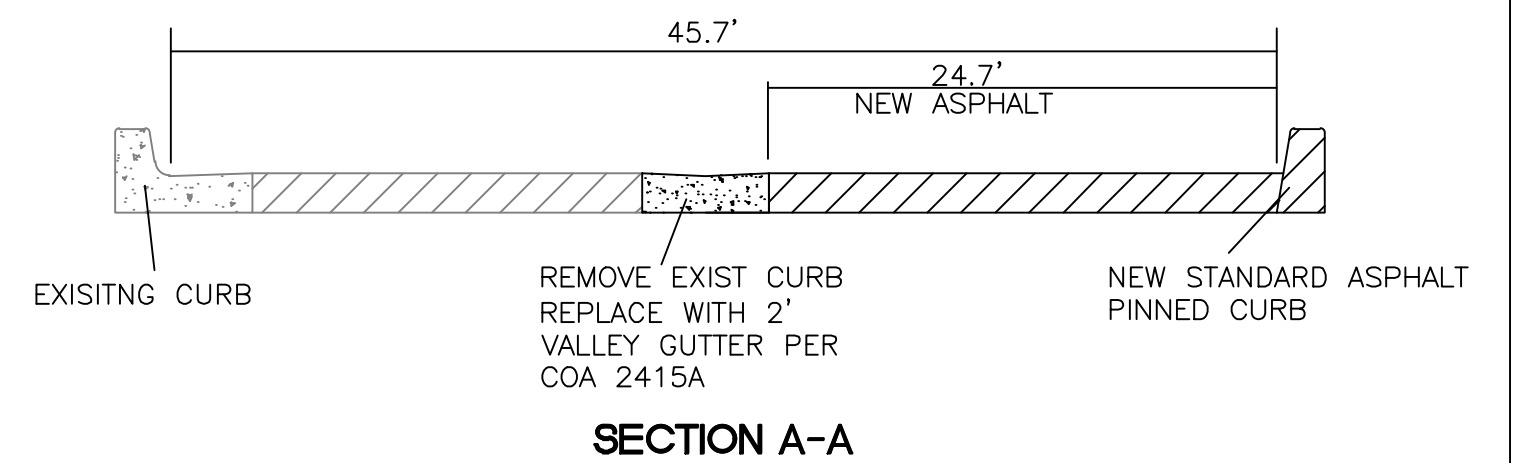


- SPOT ELEVATION NOTES**
 1. ADD 5100 TO ALL SPOT ELEVATIONS
- KEYED NOTES**
 ① 4' CURB CUT, SEE DETAIL SHEET C5.1
 ② LANDSCAPE SWALE, SEE DETAIL SHEET C5.1
 ③ 4' CONCRETE RUNDOWN, SEE DETAIL SHEET C5.1
 ④ 2' CURB CUT, SEE DETAIL SHEET C5.1
 ⑤ REMOVE EXISTING CURB, REPLACE W/ 2' VALLEY GUTTER, SEE DETAIL SHEET C5.1
 ⑥ 2' SIDEWALK CULVERT, SEE DETAIL SHEET C5.1
- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - ▭ BUILDING
 - ▭ RETAINING WALL
 - ▨ PROPOSED SIDEWALK
 - ▨ PROPOSED ASPHALT
 - ▨ EXISTING CURB & GUTTER
 - - - EXISTING INDEX CONTOUR
 - - - EXISTING CONTOUR
 - - - PROPOSED INDEX CONTOUR
 - - - PROPOSED CONTOUR
 - ▨ WATER BLOCK
 - ▨ PROPOSED 8" PVC SD



SEE SHEET C2.4

SEE SHEET C2.7 FOR DOCK DETAILS

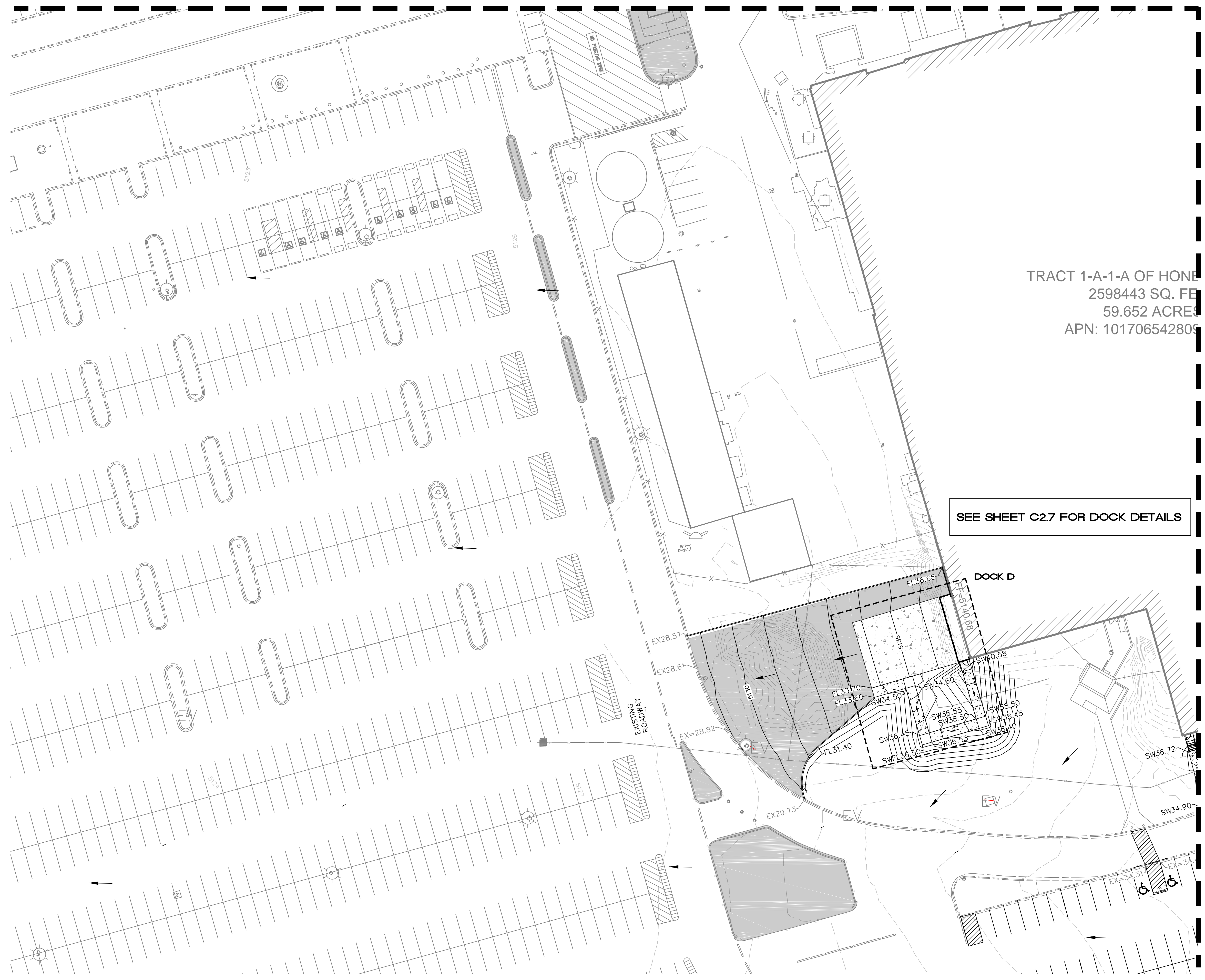


SEE SHEET C2.5

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOT FOR CONSTRUCTION		
	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL GRADING PLAN	DATE 6-18-24
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C2.3
		JOB # 2023090

SEE SHEET C2.3



TRACT 1-A-1-A OF HONE
 2598443 SQ. FE
 59.652 ACRES
 APN: 101706542809

SEE SHEET C2.7 FOR DOCK DETAILS

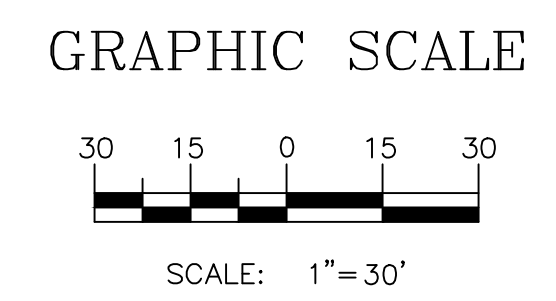
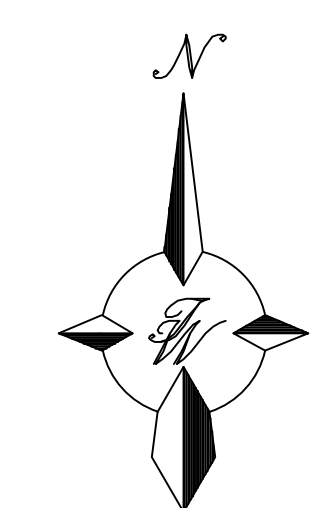
SEE SHEET C2.6

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	RETAINING WALL
	PROPOSED SIDEWALK
	PROPOSED ASPHALT
	EXISTING CURB & GUTTER
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED CONTOUR
	WATER BLOCK
	PROPOSED 8" PVC SD

SPOT ELEVATION NOTES
 1. ADD 5100 TO ALL SPOT ELEVATIONS

- KEYED NOTES**
- ① 4' CURB CUT, SEE DETAIL SHEET C5.1
 - ② LANDSCAPE SWALE, SEE DETAIL SHEET C5.1
 - ③ 4' CONCRETE RUNDOWN, SEE DETAIL SHEET C5.1
 - ④ 2' CURB CUT, SEE DETAIL SHEET C5.1
 - ⑤ REMOVE EXISTING CURB, REPLACE W/ 2' VALLEY GUTTER, SEE DETAIL SHEET C5.1
 - ⑥ 2' SIDEWALK CULVERT, SEE DETAIL SHEET C5.1



CAUTION
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NOT FOR CONSTRUCTION		
 6-18-2024 RONALD R. BOHANNAN P.E. #7868	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL GRADING PLAN	DATE 6-18-24 DRAWING
 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.5	JOB # 2023090

SEE SHEET C2.4

OF HONEYWELL SITE
 3 SQ. FEET±
 2 ACRES±
 16542809340127

SEE SHEET C2.5

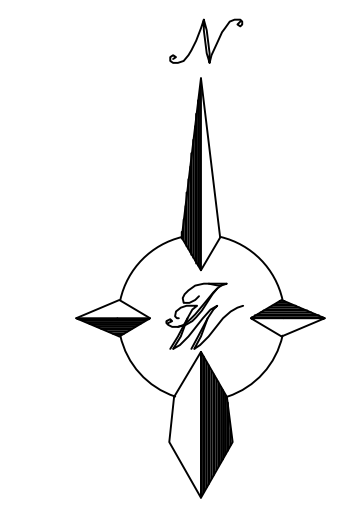
SEE SHEET C2.7 FOR DOCK DETAILS

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	RETAINING WALL
	PROPOSED SIDEWALK
	PROPOSED ASPHALT
	EXISTING CURB & GUTTER
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED CONTOUR
	WATER BLOCK
	PROPOSED 8" PVC SD

SPOT ELEVATION NOTES
 1. ADD 5100 TO ALL SPOT ELEVATIONS

- KEYED NOTES**
- ① 4' CURB CUT, SEE DETAIL SHEET C5.1
 - ② LANDSCAPE SWALE, SEE DETAIL SHEET C5.1
 - ③ 4' CONCRETE RUNDOWN, SEE DETAIL SHEET C5.1
 - ④ 2' CURB CUT, SEE DETAIL SHEET C5.1
 - ⑤ REMOVE EXISTING CURB, REPLACE W/ 2' VALLEY GUTTER, SEE DETAIL SHEET C5.1
 - ⑥ 2' SIDEWALK CULVERT, SEE DETAIL SHEET C5.1

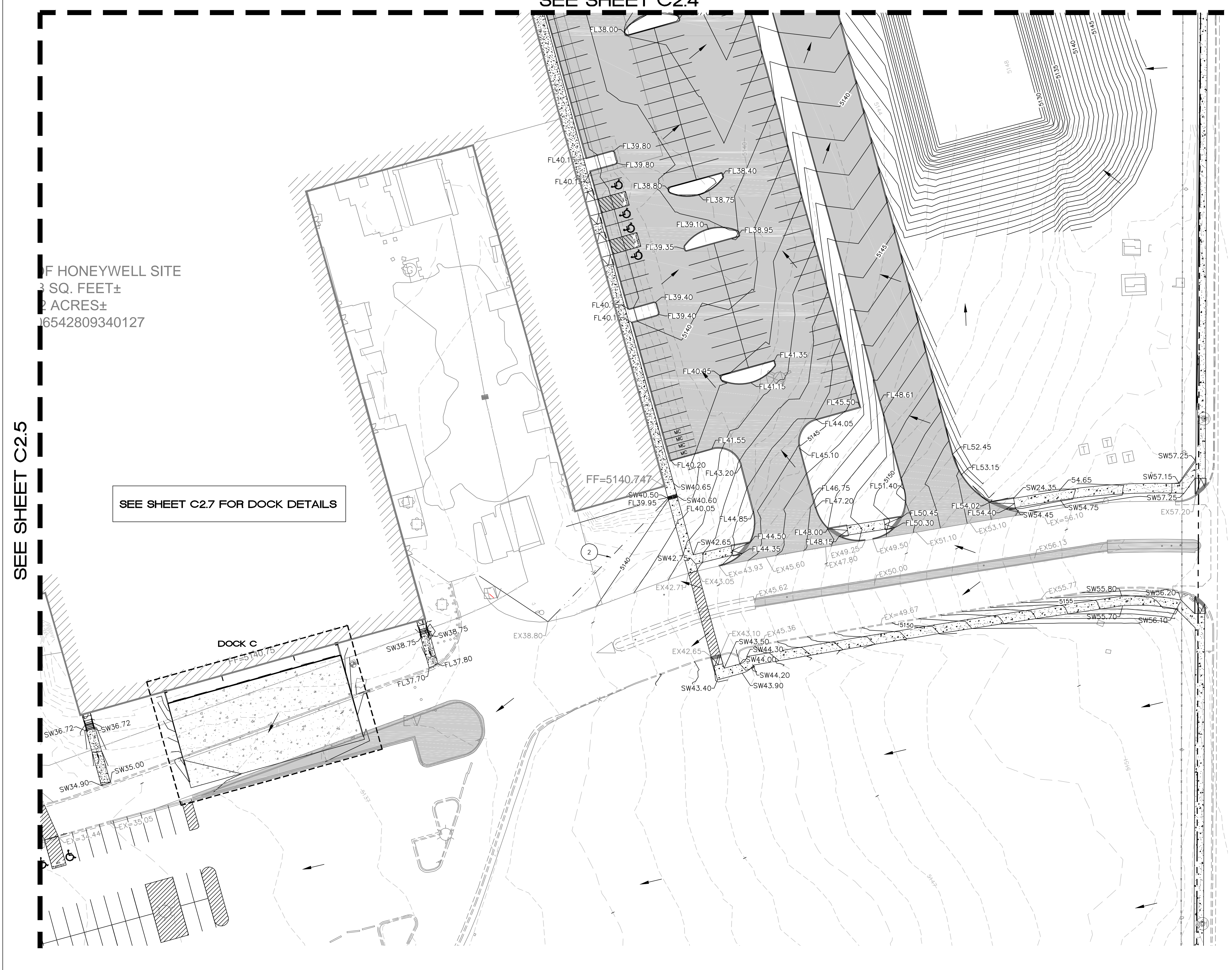


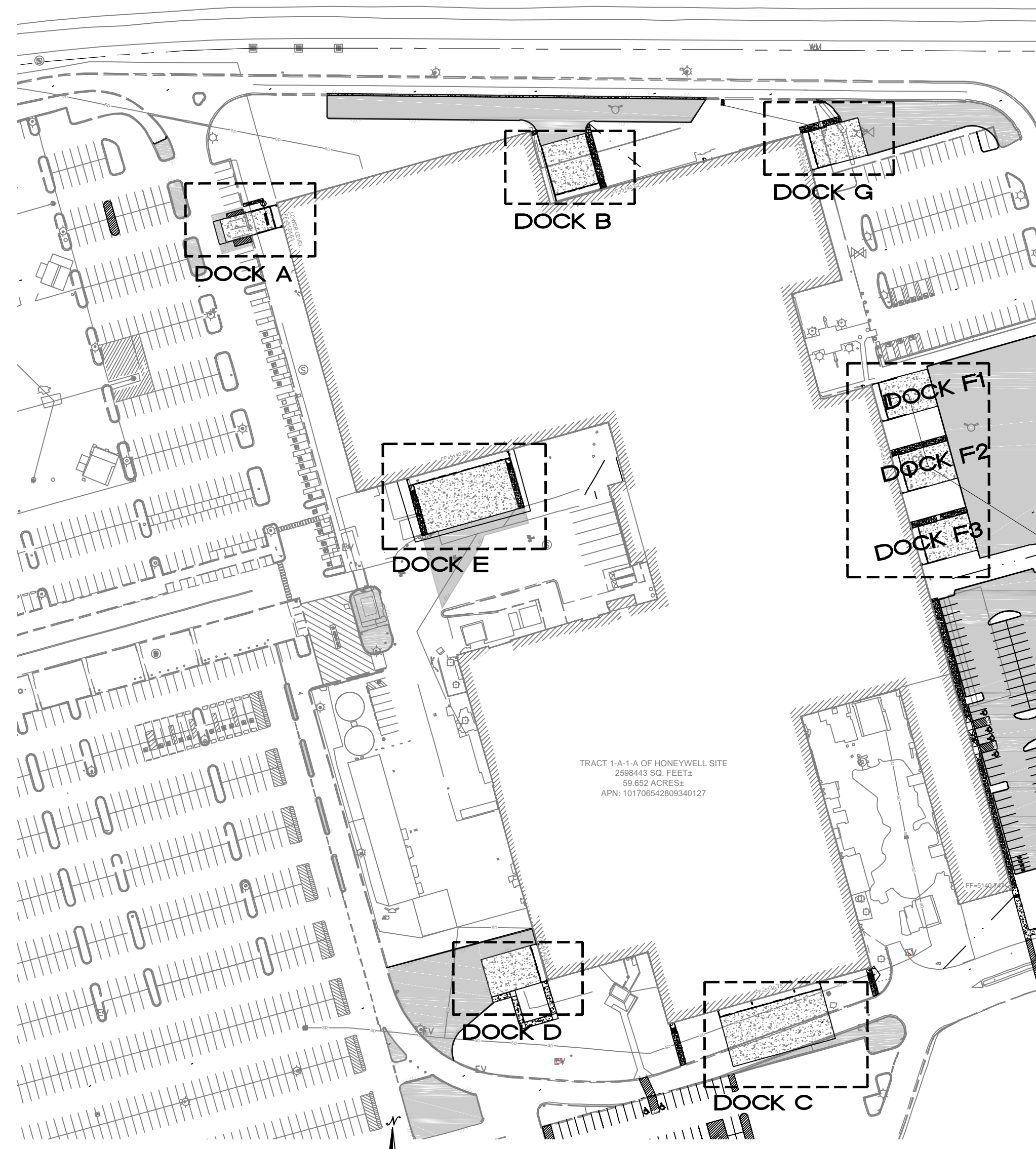
GRAPHIC SCALE
 30 15 0 15 30
 SCALE: 1" = 30'

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

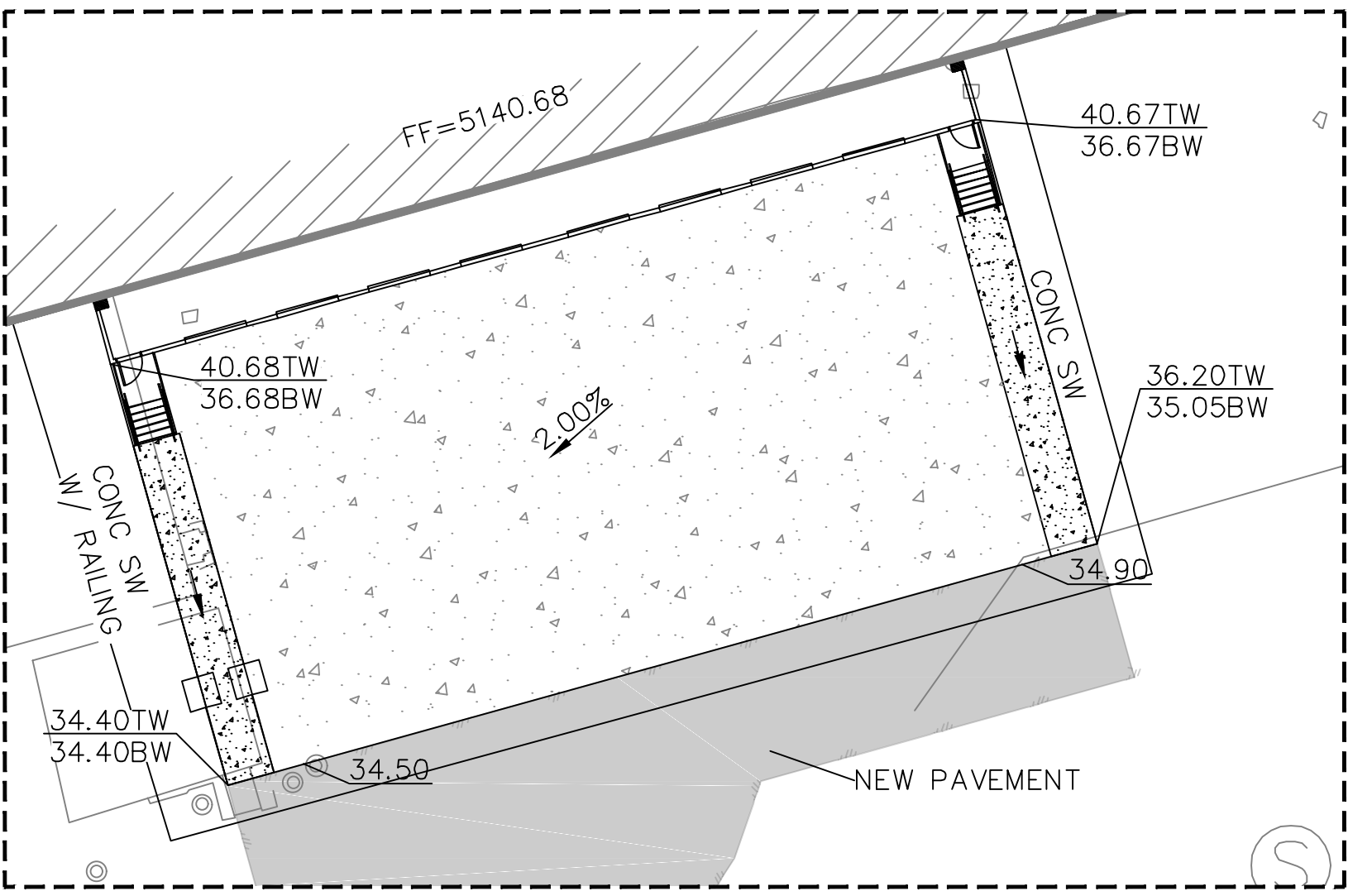
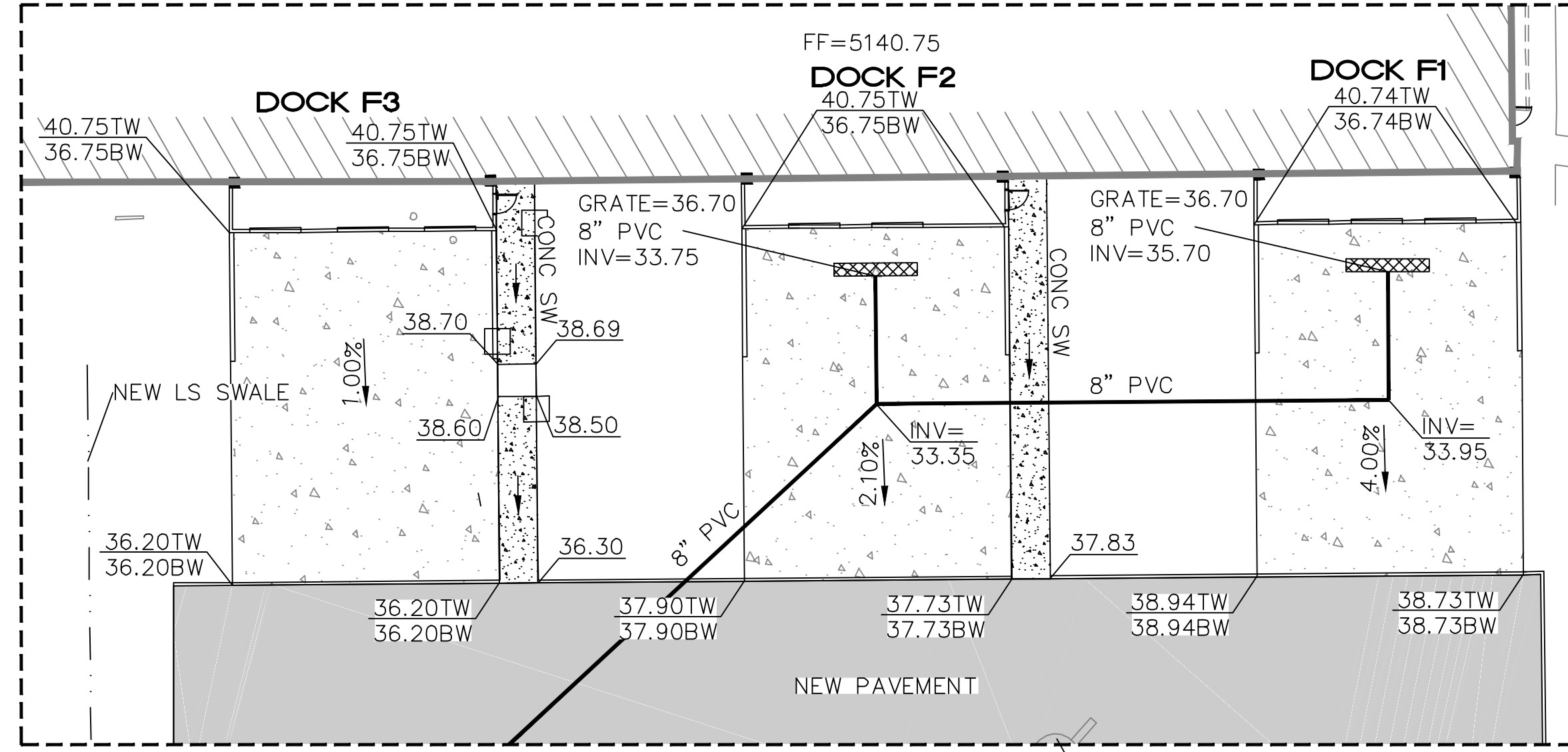
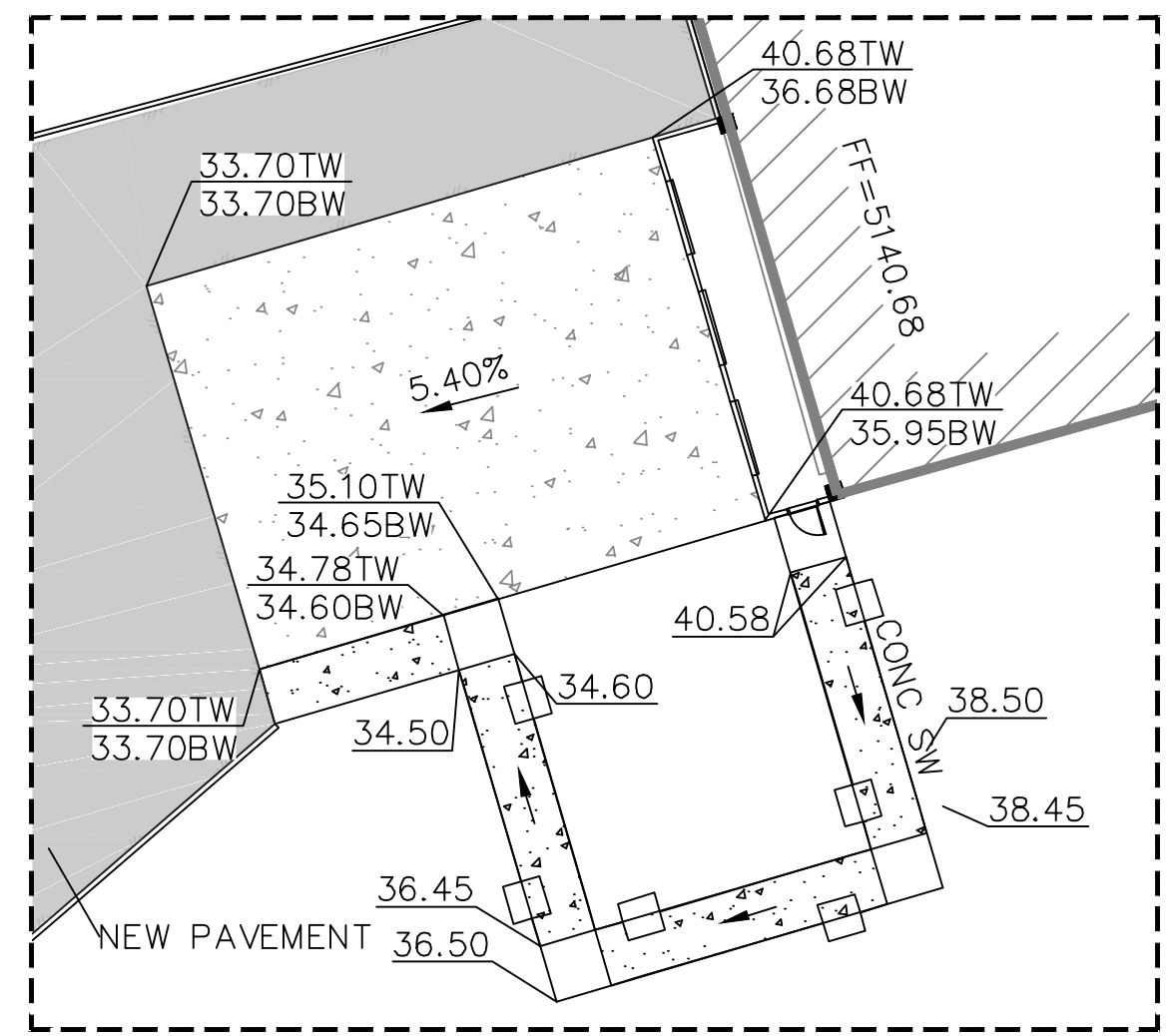
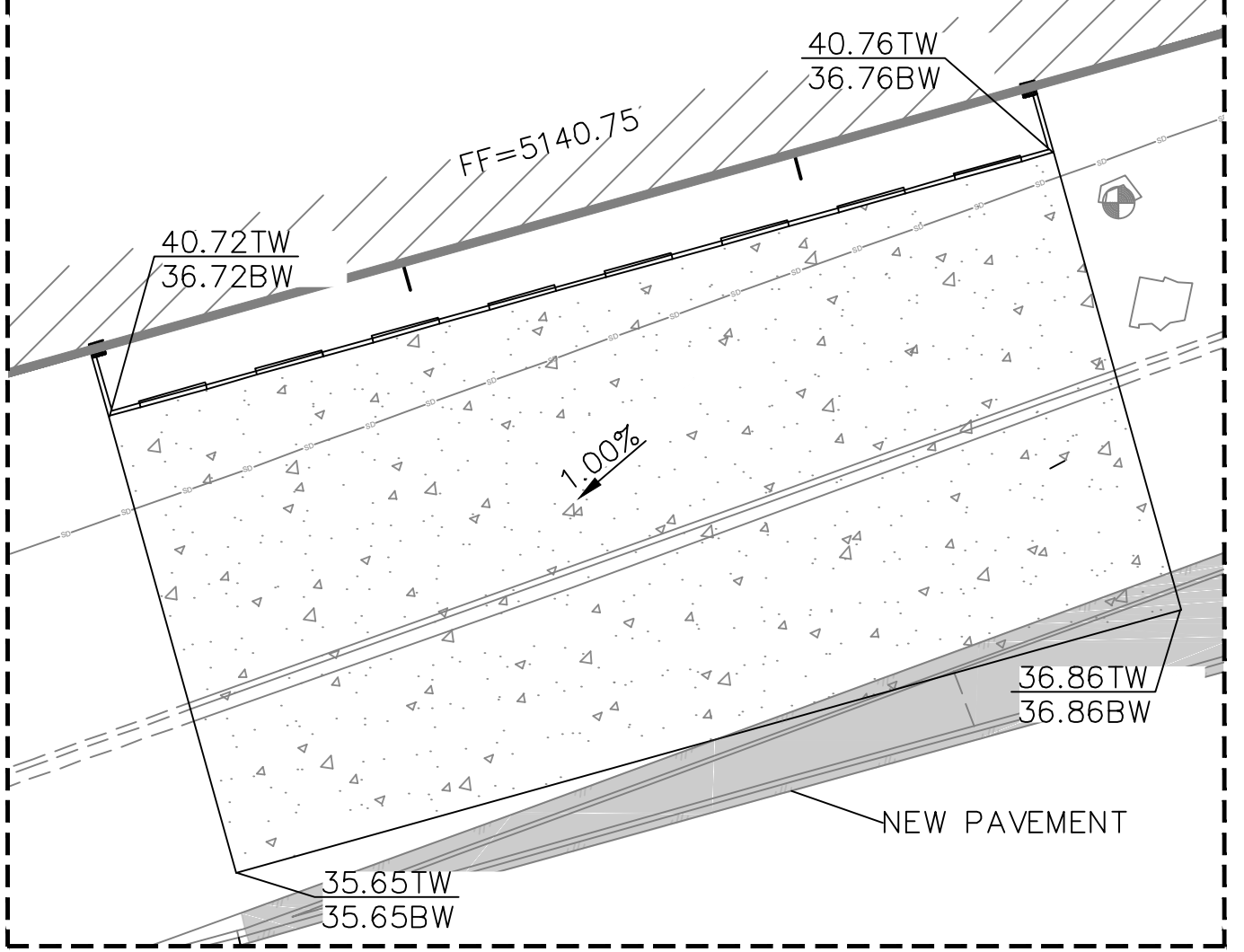
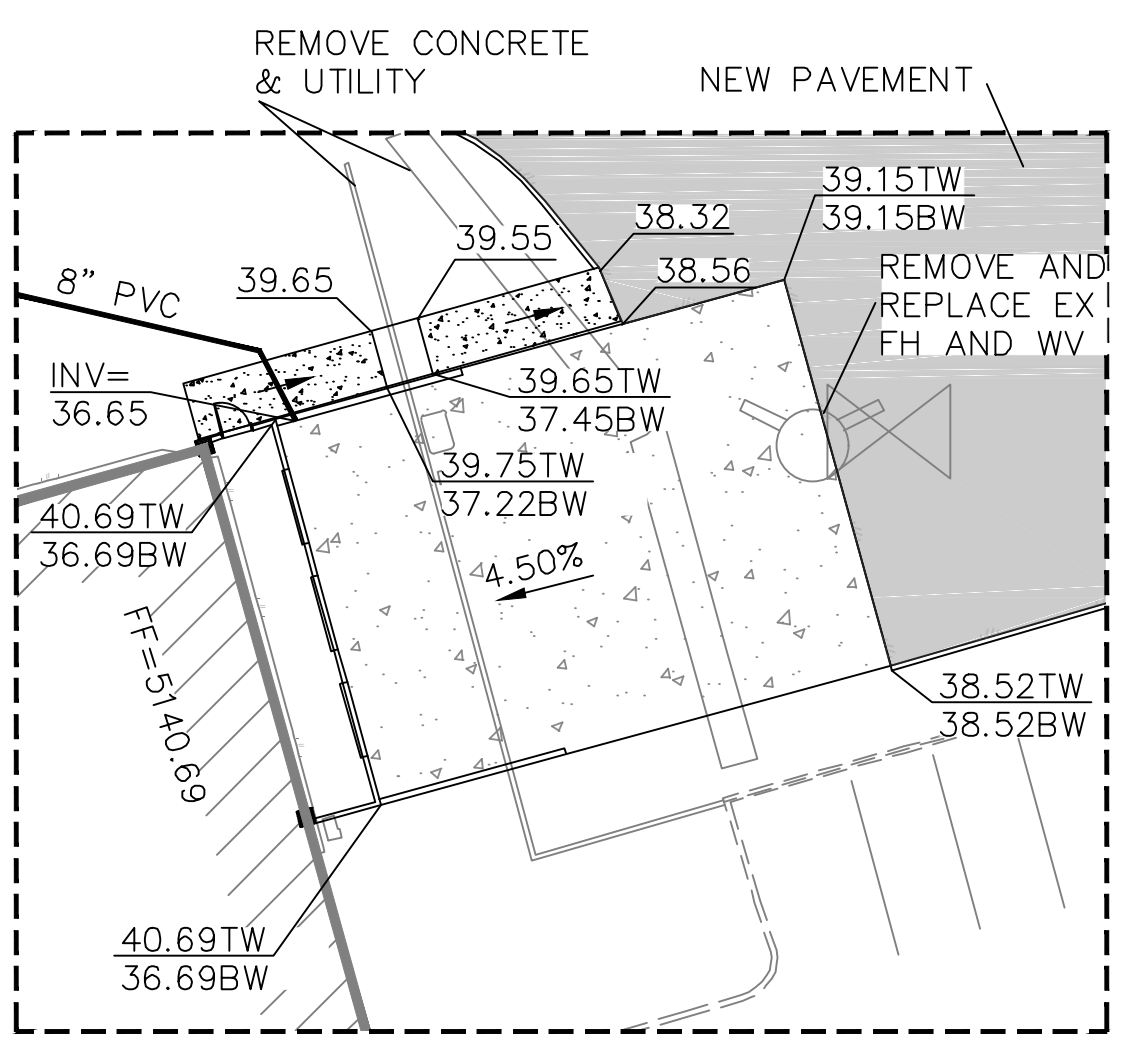
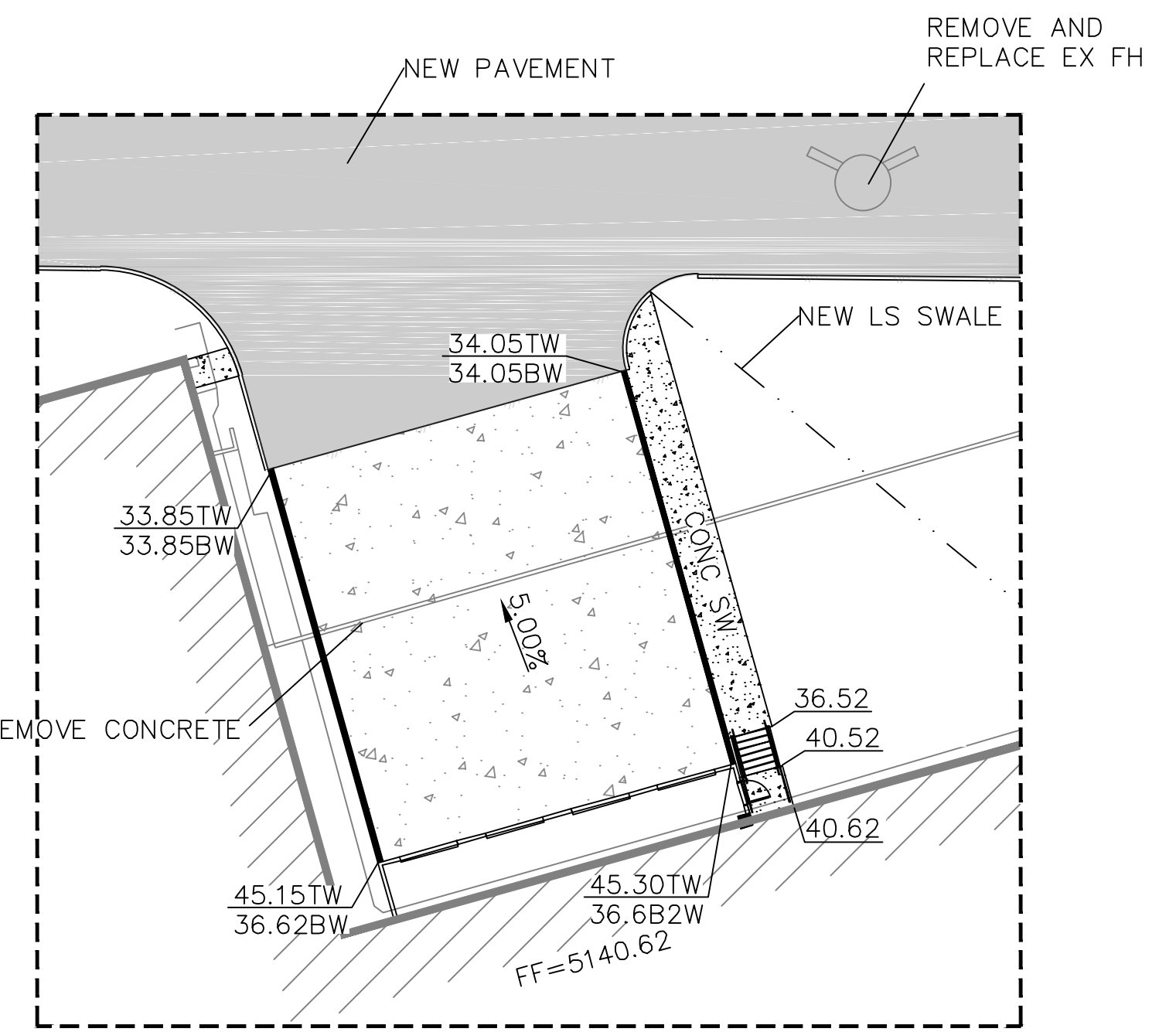
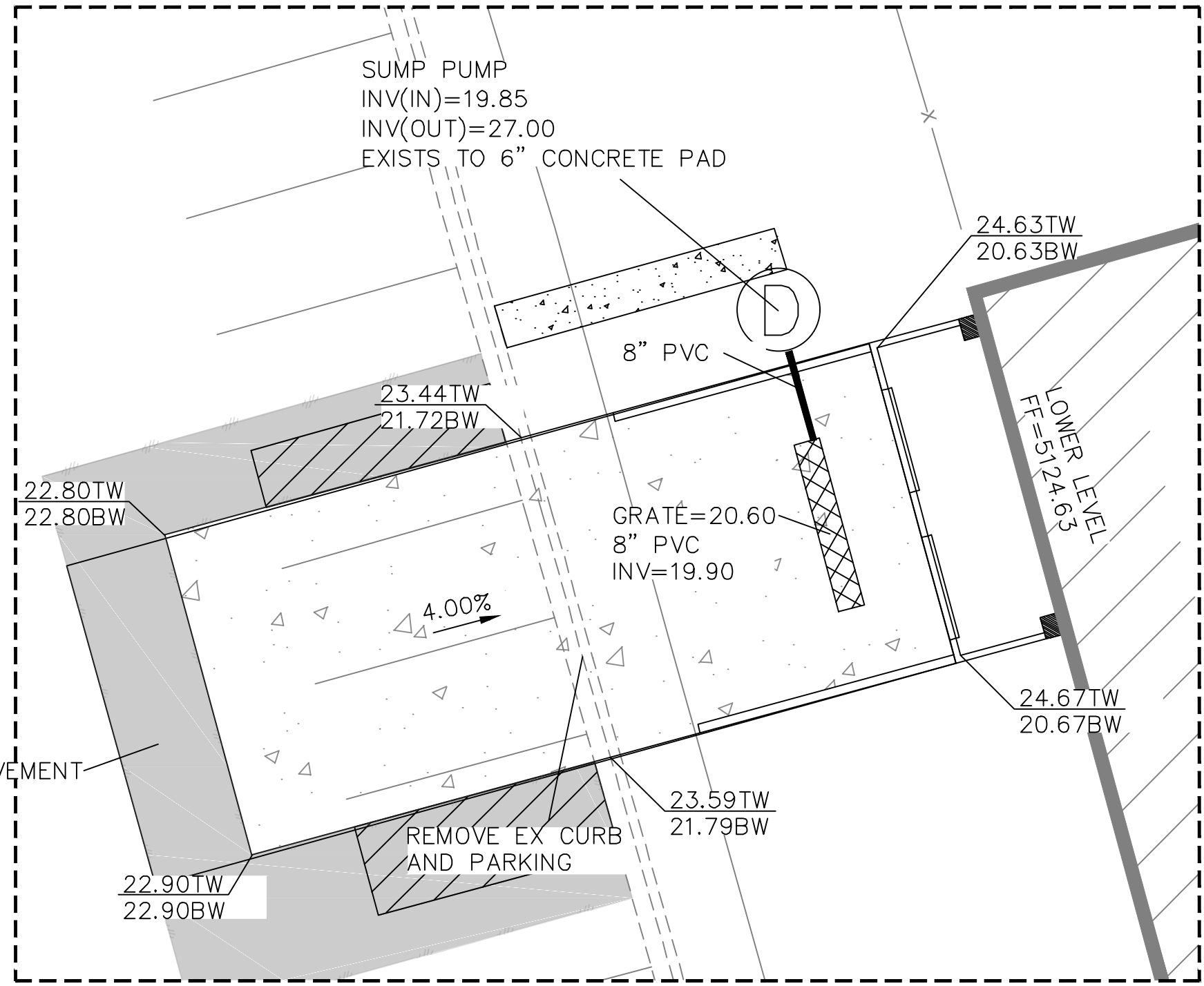
NOT FOR CONSTRUCTION

 RONALD R. BOHANNAN P.E. #7868	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL GRADING PLAN	DATE 6-18-24
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.6	JOB # 2023090





KEY MAP
NTS



NOT FOR CONSTRUCTION

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
6-18-2024
RONALD R. BOHANNAN
P.E. #7868

HONEYWELL
ALBUQUERQUE, NM

DOCK DETAILS

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

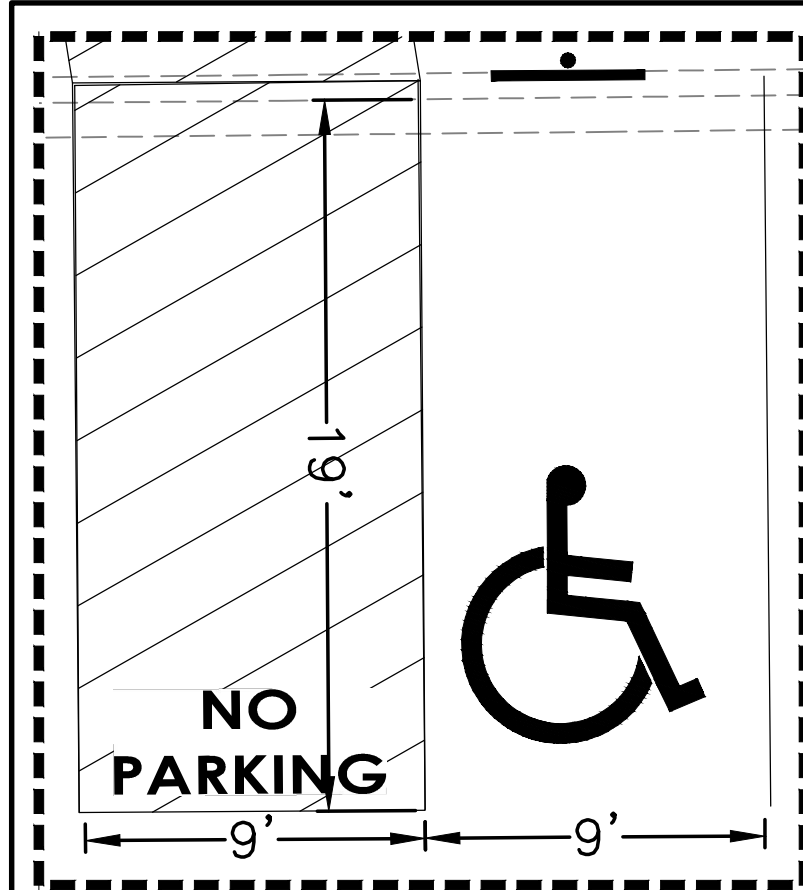
DRAWN BY
JL

DATE
6-18-24

DRAWING

SHEET #
C27

JOB #
2023090



PARKING DETAIL
N15



VICINITY MAP

B-17

LEGAL DESCRIPTION

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B
HONEYWELL SITE CONT 59.6960 AC

SITE DATA

PROPOSED USAGE:

EXISTING BUILDING AREA: 522,928 SF
PROPOSED BUILDING AREA W/ DOCK ADDITIONS: 526,794 SF
PROPOSED LOT AREA: 1,668,330 SF (38.30 ACRES)
ZONING: NR-LM
WAREHOUSING WITH 10% OFFICE SPACE

PARKING REQUIREMENTS:

WAREHOUSING W/ 10% OFFICE SPACE PER IDO TABLE 5-5-1 FOR WAREHOUSING AND OFFICE SPACE	237 SPACES
1 SPACE/ 2,000 SQ. FT. GFA FOR 474,114.60 SQ.FT. GFA=	184 SPACES
3.5 SPACES/ 1,000 SQ. FT. GFA FOR 52,679.4 SQ. FT. GFA=	421 SPACES
TOTAL PARKING REQUIRED=	1992 SPACES
TOTAL PARKING PROVIDED=	1992 SPACES
HC PARKING REQUIRED=	12 SPACES
HC PARKING PROVIDED=	32 SPACES
MOTORCYCLE PARKING REQUIRED=	6 SPACES
MOTORCYCLE PARKING PROVIDED=	40 SPACES
BICYCLE PARKING REQUIRED	42 SPACES
BICYCLE PARKING PROVIDED	42 SPACES
TOTAL PARKING REQUIRED=	421 SPACES
TOTAL PARKING PROVIDED=	1992 SPACES

KEYED NOTES

- | | |
|--|--|
| 1 STANDARD ASPHALT CURB (TYP), SEE DETAIL SHEET C5.0 | 13 EXISTING PARKING STALL |
| 2 NEW ASPHALT PAVEMENT (TYP), SEE DETAIL SHEET C5.0 | 14 EXISTING ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS TO BE UPDATED TO CURRENT ADA STANDARDS, SEE DETAIL SHEET C5.0 |
| 3 NEW 6" CONCRETE SIDEWALK, PER COA STD DW 2430, SEE DETAIL SHEET C5.0 | 15 EXISTING MOTORCYCLE SPACE W/SIGN |
| 4 PARALLEL CURB RAMP (TYP.) PER COA STD DWG 2443, SEE DETAIL SHEET C5.0 | 16 EXISTING BICYCLE RACK |
| 5 HANDRAIL, SEE SHEET C5.0 | 17 ADA PARKING ACCESSIBLE PATHWAY |
| 6 PROPOSED STAIRS | 18 POND W/ 3:1 SLOPE |
| 7 MAIN ENTRANCE TO BUILDING | 19 REMOVAL OF CURBING AND REPLACE WITH ASPHALT |
| 8 DOCK ENTRANCE | 20 REMOVAL OF CONCRETE STRUCTURE (TYP.) |
| 9 PROPOSED PARKING STALL, SEE DETAIL THIS SHEET | 21 REMOVAL OF GUARD SHACK AND REPLACE WITH ASPHALT |
| 10 PROPOSED ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.), SEE DETAIL SHEET C5.0 | 22 REMOVAL OF COVERED PATIO |
| 11 PROPOSED MOTORCYCLE SPACE (4'X8' MIN) W/SIGN, SEE DETAIL SHEET C5.0 | 23 REMOVAL OF CURB |
| 12 PROPOSED STRIPED PARKING LOT ISLAND | 24 PROPOSED BICYCLE RACK W/ CONCRETE PAD, SEE DETAIL SHEET C5.0 |

SITE NOTES:

- ADA ACCESSIBLE PEDESTRIAN PATHWAY SHOULD NOT BE PLACED BEHIND PARKING SPACES OR ADJACENT TO A VEHICLE WAY.
- IT IS ACCEPTABLE TO KEEP EXISTING WAVE-STYLE BIKE RACK, BUT ALL NEW RACKS MUST COMPLY WITH THE DPM.

CLEAR SITE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

TRUCK TURNING MOVEMENT

SEE ALL TRUCK TURNING MOVEMENT USING A WB-65 ON SHEET C2.1

GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @ PRE-FAB METAL WALL PANELS

NOTICE TO CONTRACTORS

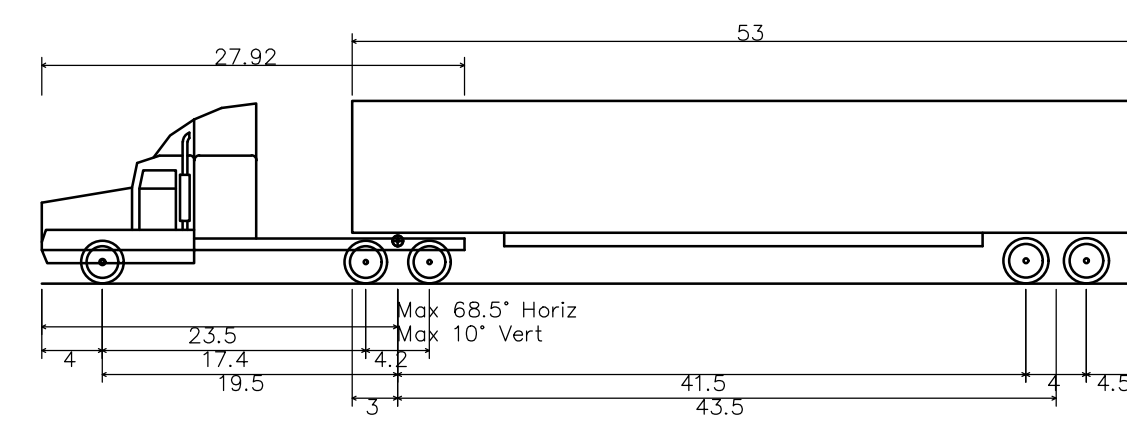
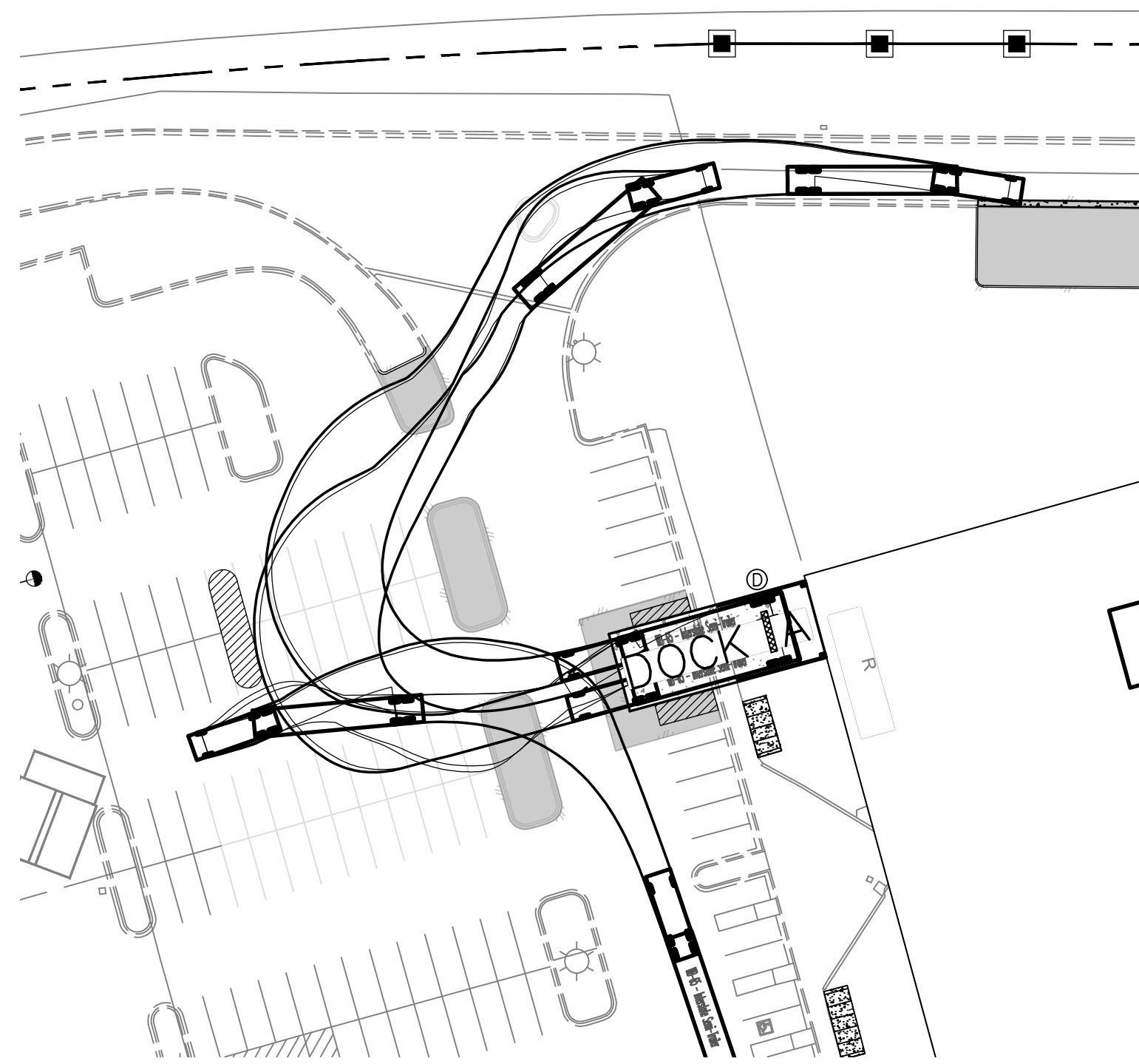
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REFER TO SHEET S1.2, S1.3, S1.4, S1.5 FOR ENLARGED FOUNDATION PLAN FOR EACH TRUCK DOCK.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN WORK ORDER.

LEGEND

	ASPHALT PINNED CURB
	BOUNDARY LINE
	EASEMENT
	EXISTING BUILDING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	LIGHT
	PARKING COUNT
	ADA PARKING ACCESSIBLE PATHWAY

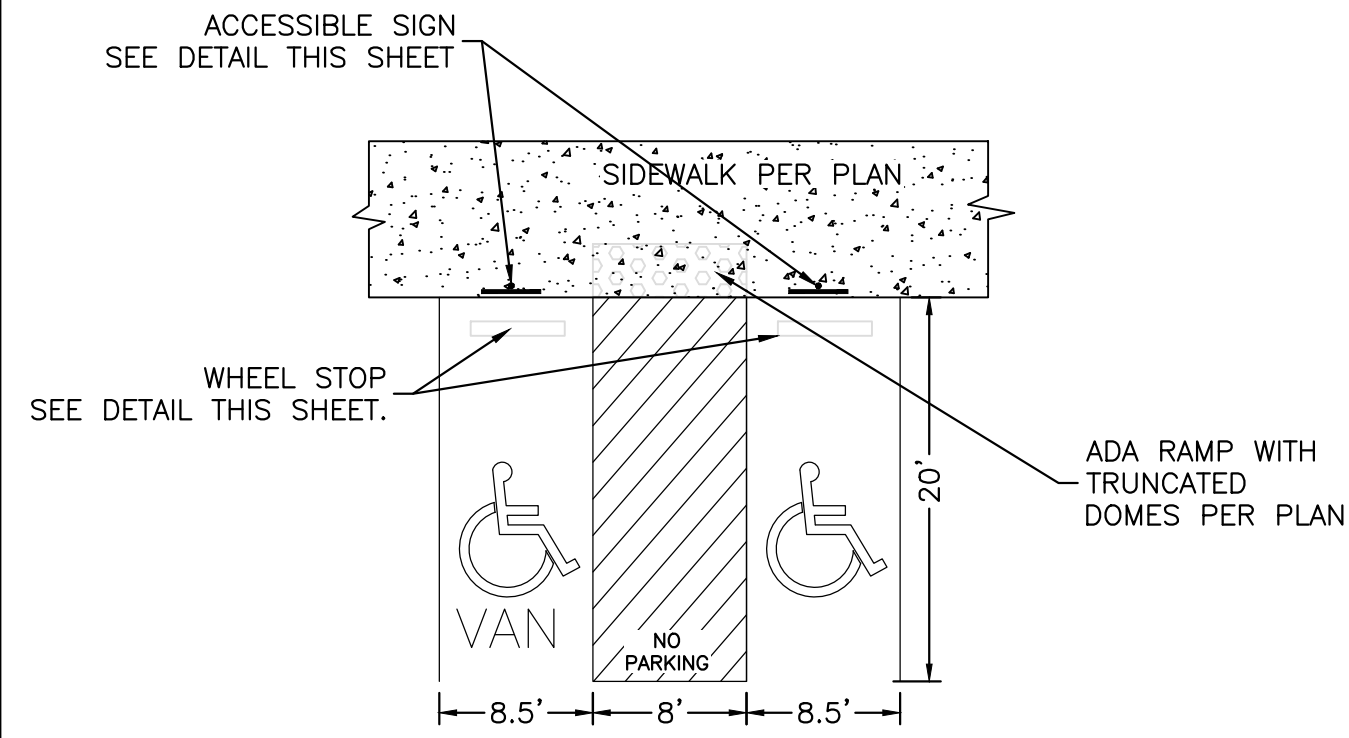
NOT FOR CONSTRUCTION

	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL TRAFFIC CONTROL LAYOUT	DATE 6-21-24
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.0
		JOB # 2023090



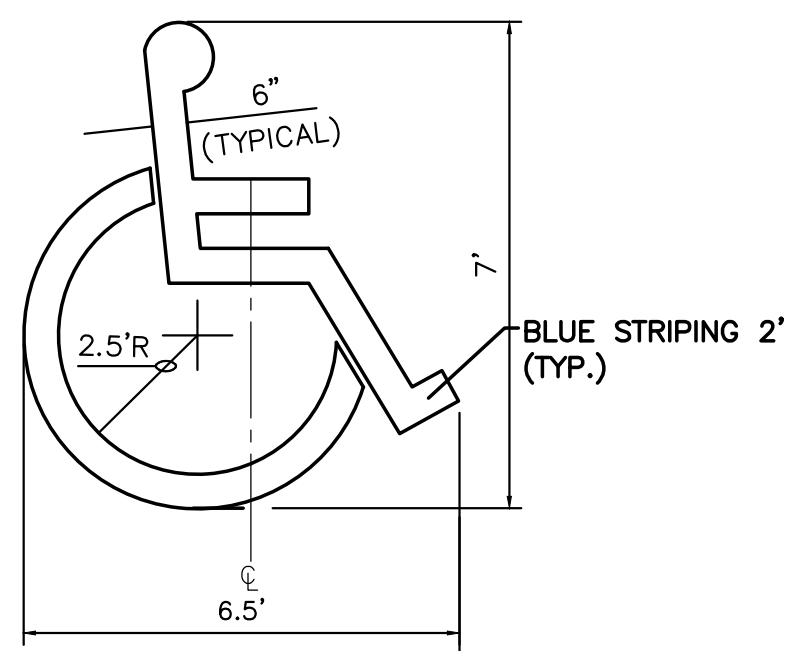
WB-65 - Interstate Semi-Trailer

Overall Length	73.500ft
Overall Width	8.500ft
Overall Body Height	12.052ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40



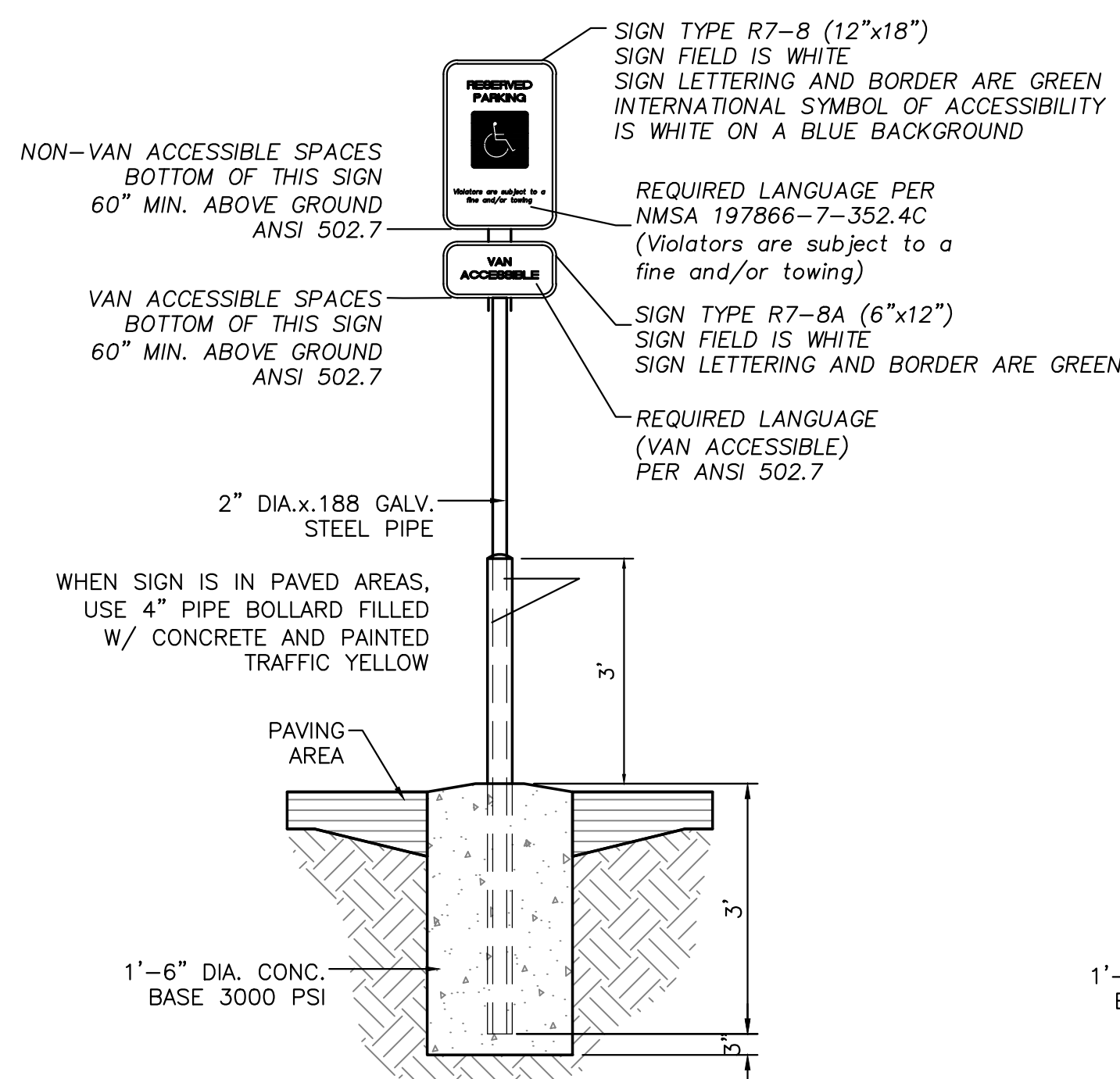
- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
 - 4) ADA parking areas - not to exceed a slope greater than 2% in any direction

(1) HC PARKING DETAIL
SCALE: NTS

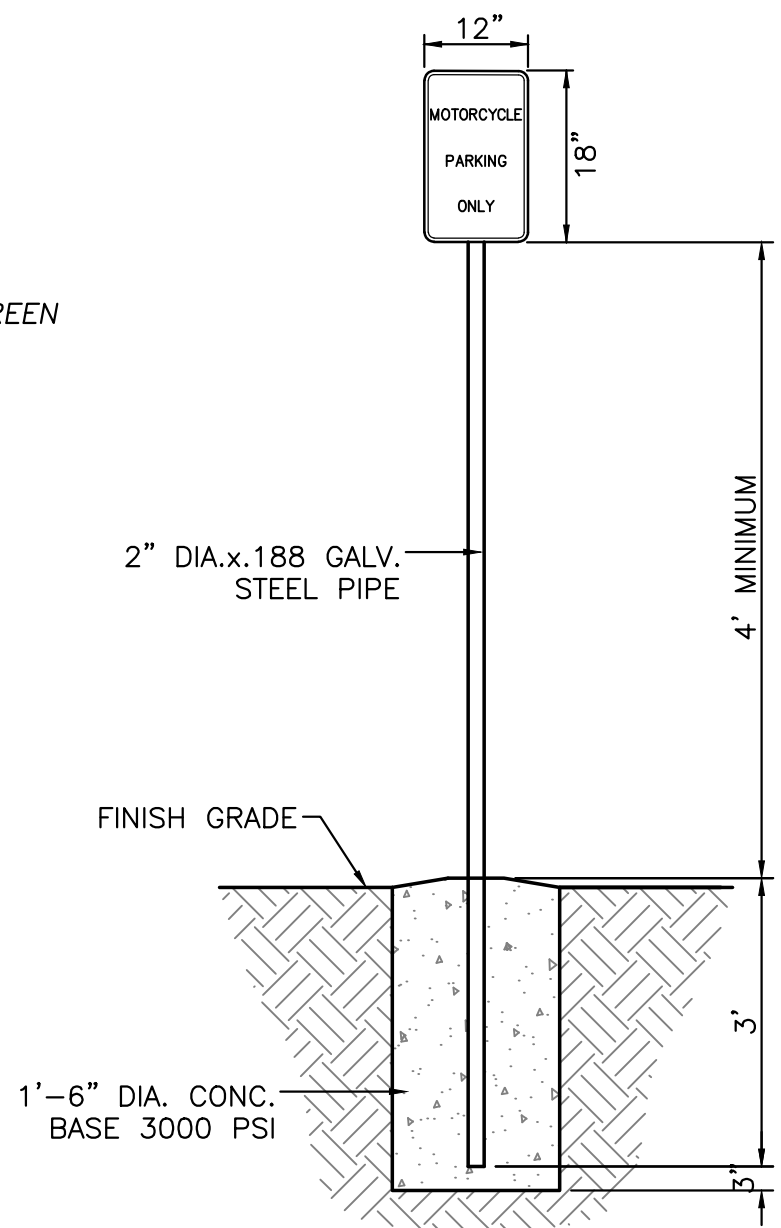


ACCESSIBLE PARKING SYMBOL
NTS

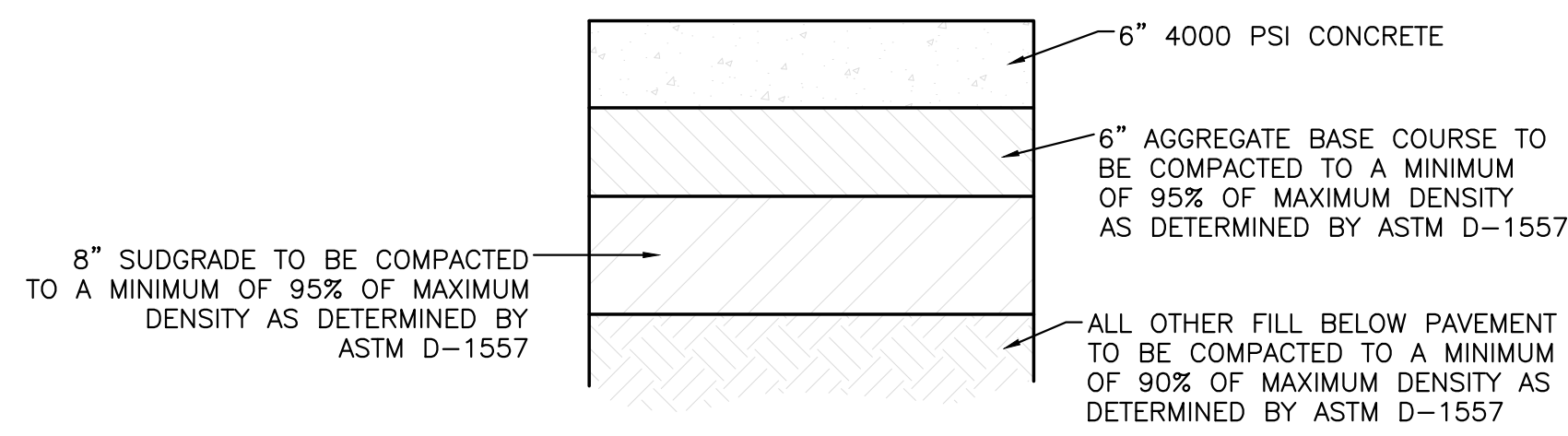
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



ACCESSIBLE PARKING SIGN
NTS

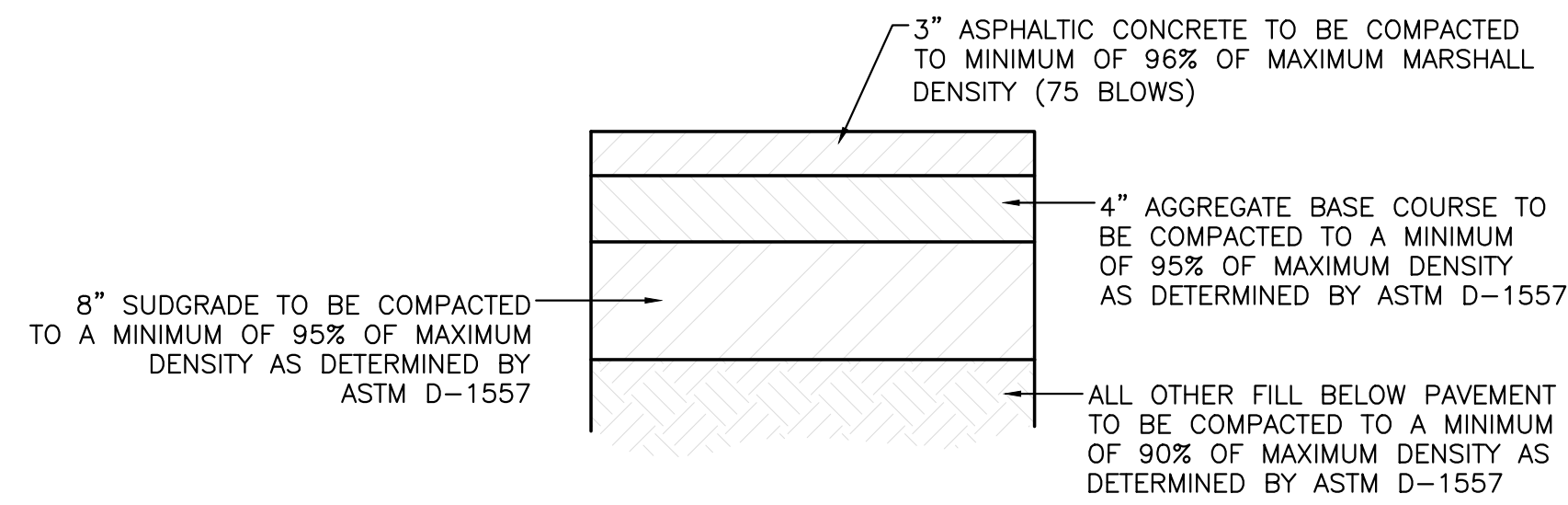


MOTORCYCLE PARKING SIGN
NTS

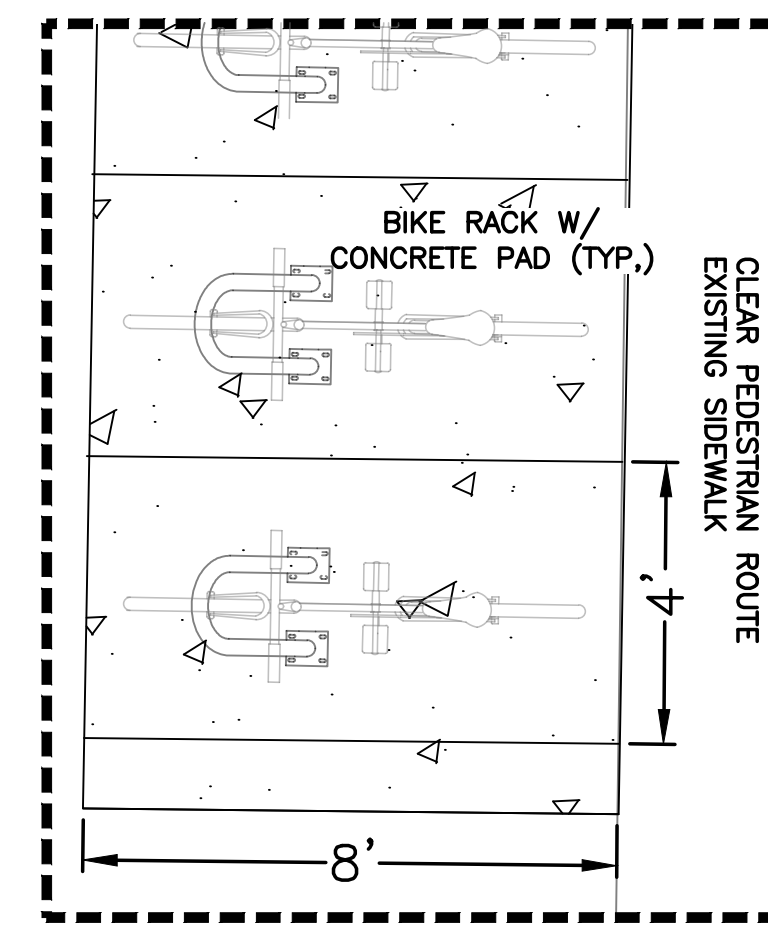


LOADING RAMP FOR SEMI-TRUCKS

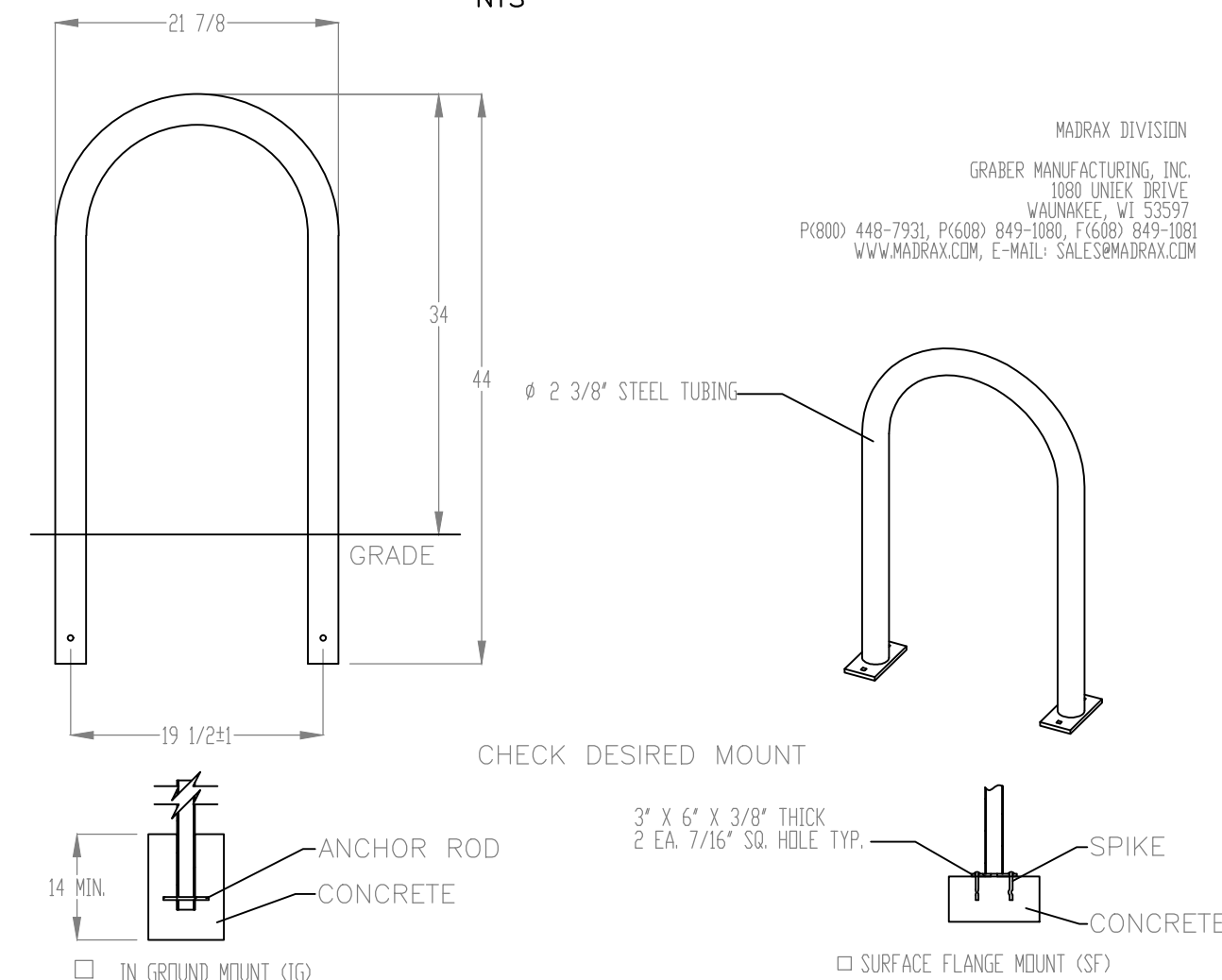
NTS
NOTE: CONTRACTOR TO VERIFY WITH OWNER PROVIDED SOILS REPORT.



AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION
NTS



PROPOSED BICYCLE RACK W/ CONCRETE PAD DETAIL
NTS

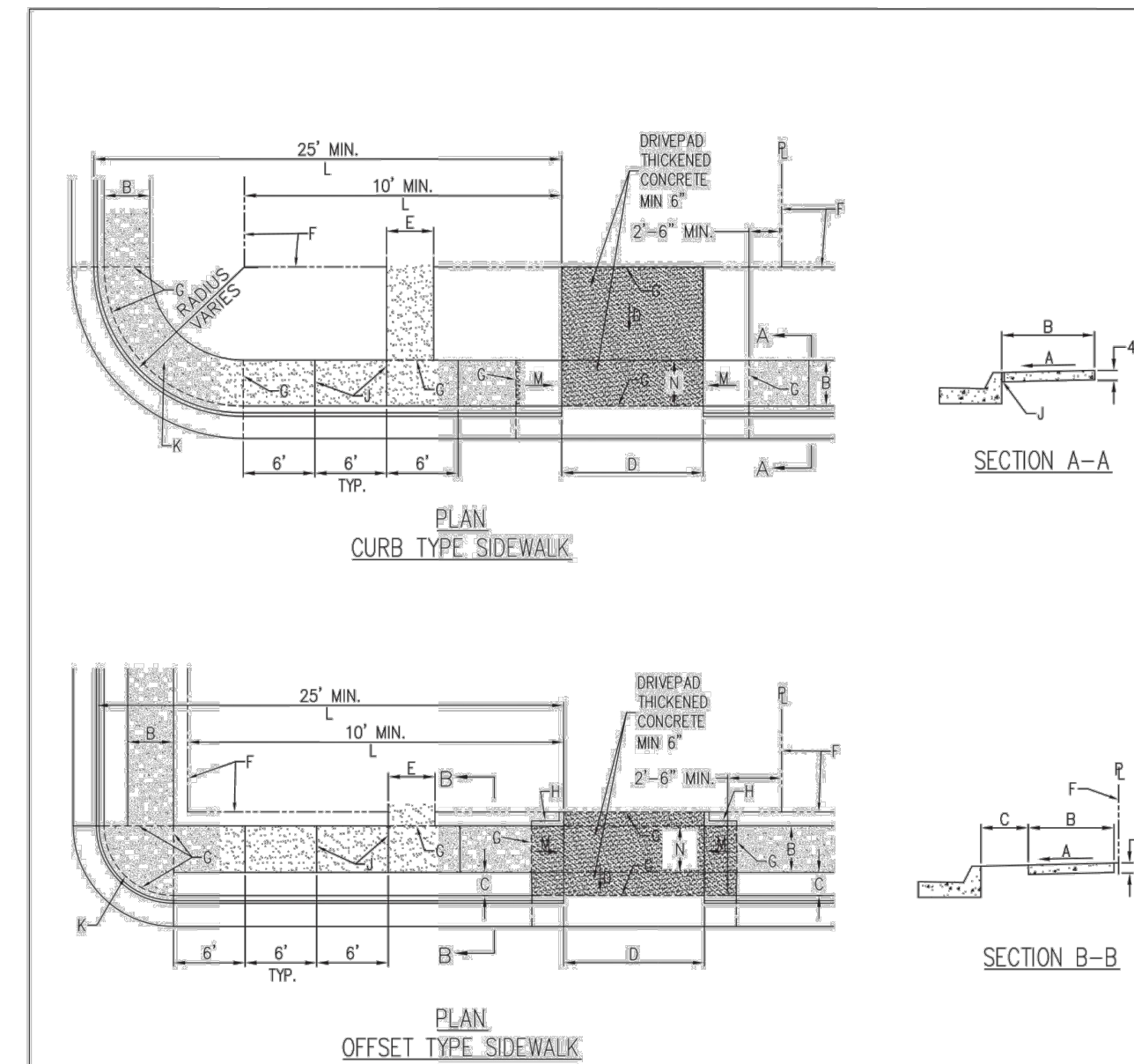


PRODUCT: U238-1G(SF)
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SNC

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BIKE RACK DETAIL
SCALE: NONE

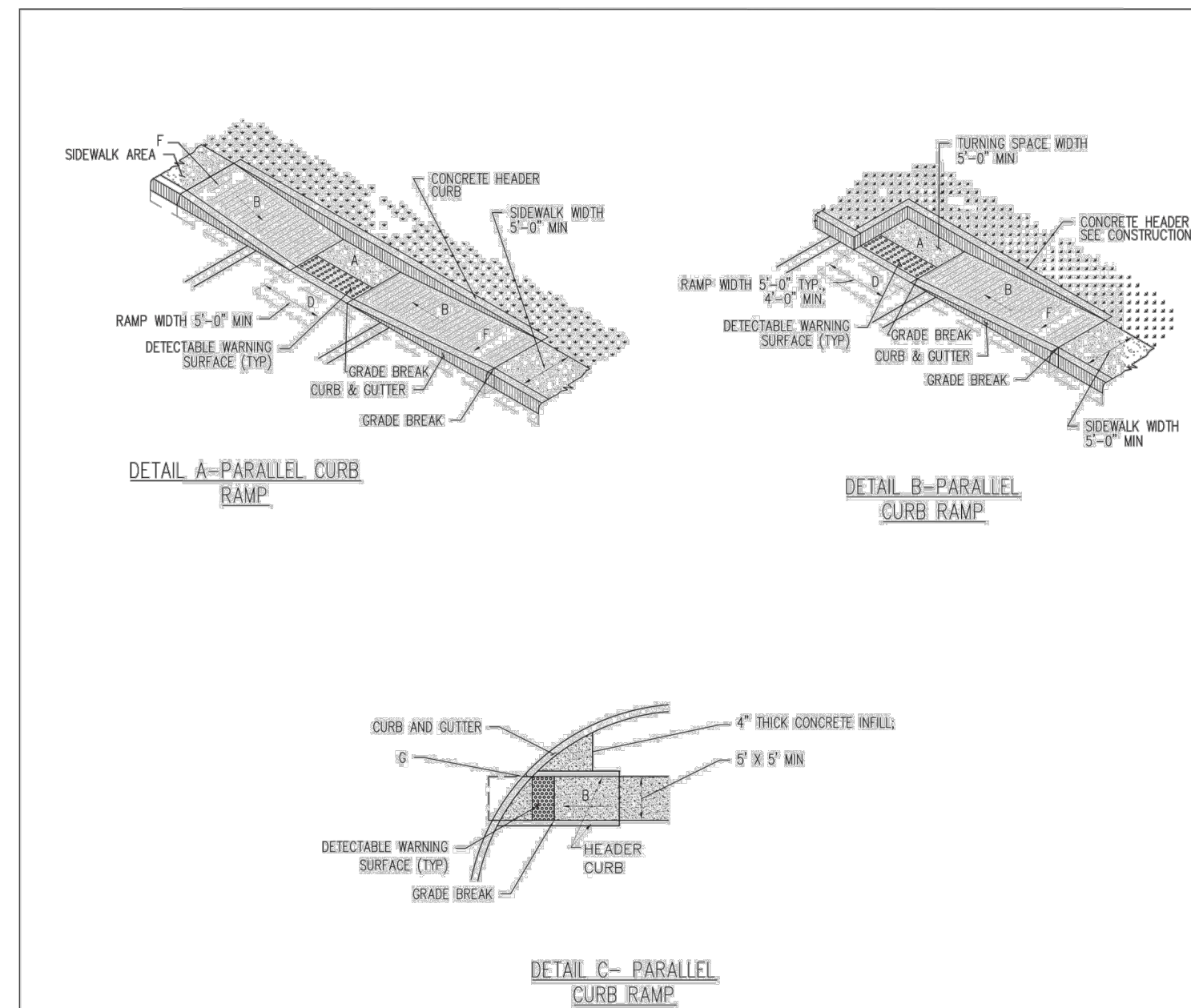


- GENERAL NOTES**
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
 3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
 4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 3/4" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
 5. ALONG THE ACCESSIBLE ROUTE CHANGES IN LEVEL BETWEEN 1/4" AND 3/4" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2% TO. CHANGES IN LEVEL GREATER THAN 3/4" REQUIRE A RAMP.
 6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
 7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

CONSTRUCTION NOTES

- A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- E. WALKWAY VARIABLE (4' MINIMUM).
- F. PROPERTY LINE.
- G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT ROCK-UP SIDEWALK. SEE STD. DWG. 2415.
- I. CONTRACTION JOINTS.
- J. FOR CURB ACCESS RAMPS. SEE DWGS. 2440 THROUGH 2445.
- K. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- L. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.5% MAX. SLOPE. 5% PREFERRED SLOPE.
- M. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING SIDEWALK DETAILS
	DWG. 2430 JUNE 2019

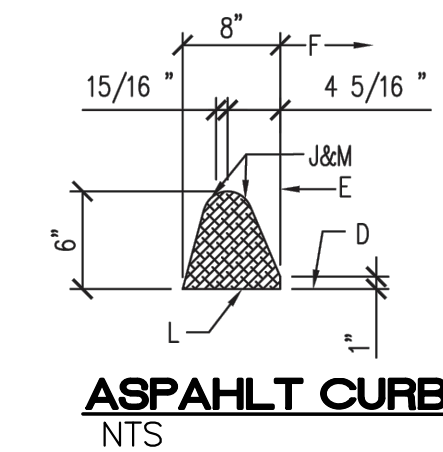


- GENERAL NOTES**
1. TURNING SPACE OF A CURB RAMP SHALL NOT EXCEED THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHANGING THE SLOPE FREQUENTLY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE TURNING SPACE OF THE CURB RAMP SHALL BE EXTENDED AS FAR AS THE MAXIMUM EXTENT AS FEASIBLE.
 2. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING SURFACE DETAILS.

CONSTRUCTION NOTES

- A. TURNING SPACE SHALL HAVE MAXIMUM CROSS-SLOPE AND LONGITUDINAL SLOPE OF 2.0% PREFERRED SLOPE OF 1.5%. TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- B. 8.5% MAX. SLOPE OF RAMPS 2% PREFERRED SLOPE OF RAMPS.
- C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, HIGH OR TURNING SPACE, SHALL BE 5% MAX.
- E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- F. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- G. PAVEMENT SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADII.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING PARALLEL AND DIAGONAL CURB RAMPS
	DWG. 2443 JUNE 2019



- D. EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
- E. FACE OF CURB/FLOW LINE.
- F. TRAFFIC SIDE.
- J. 2" RADIUS.
- L. TACK COAT.
- M. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINE.

NOT FOR CONSTRUCTION

ENGINEER'S SEAL

RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER

6-21-2024

RONALD R. BOHANNAN
P.E. #7868

HONEYWELL
ALBUQUERQUE, NM

DETAIL SHEET

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrowestllc.com

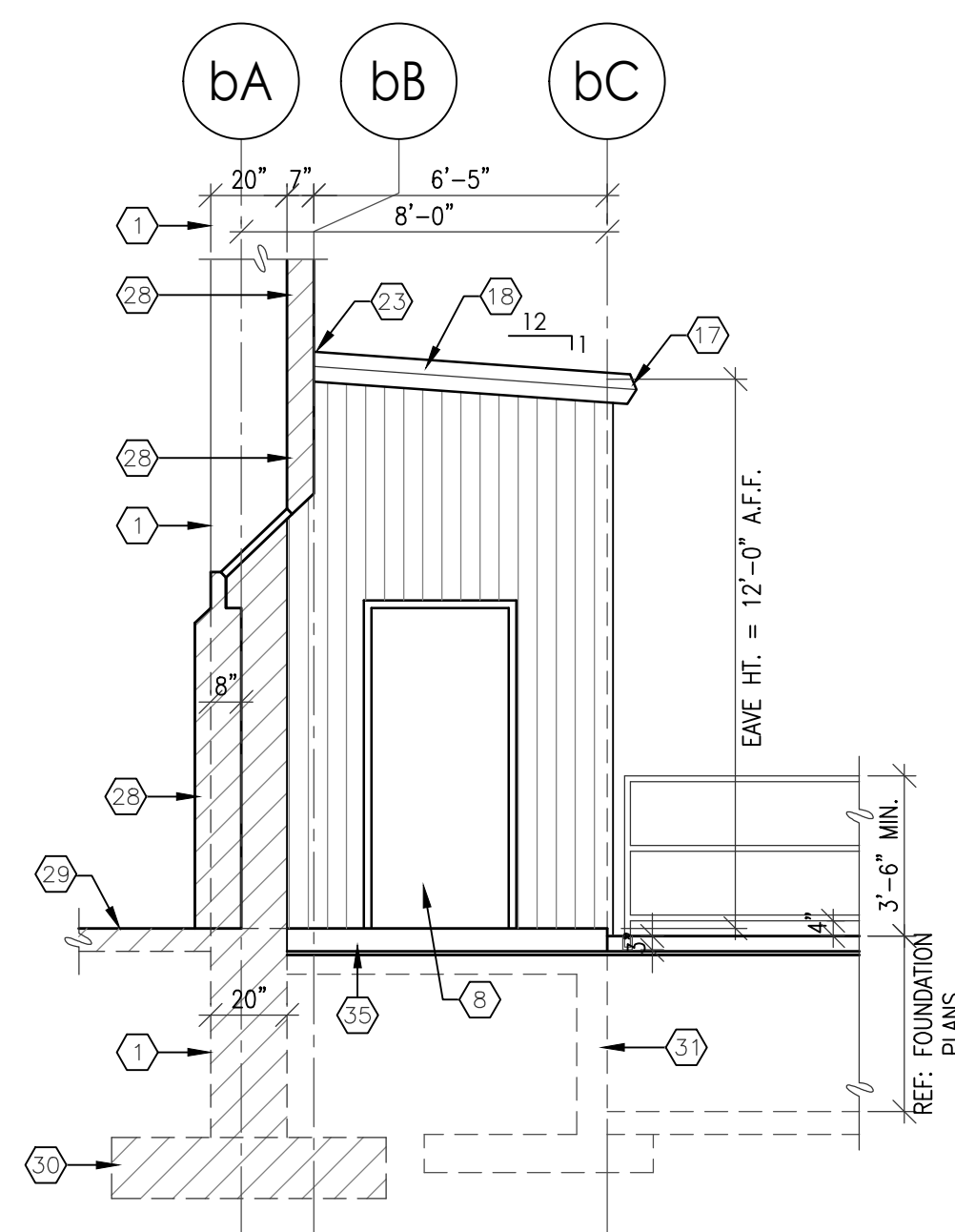
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JL

DATE
6-21-24

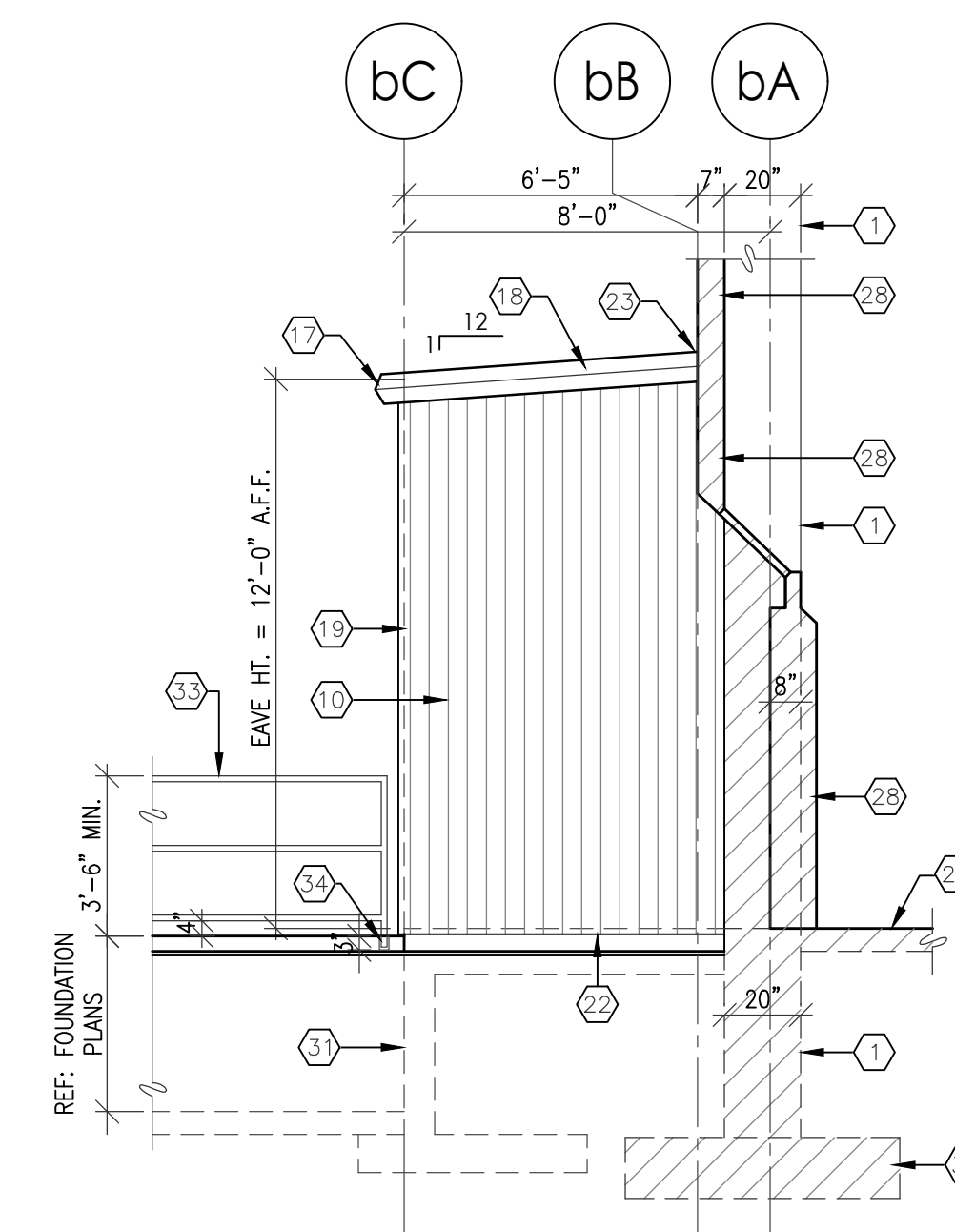
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SHEET #
C5.0

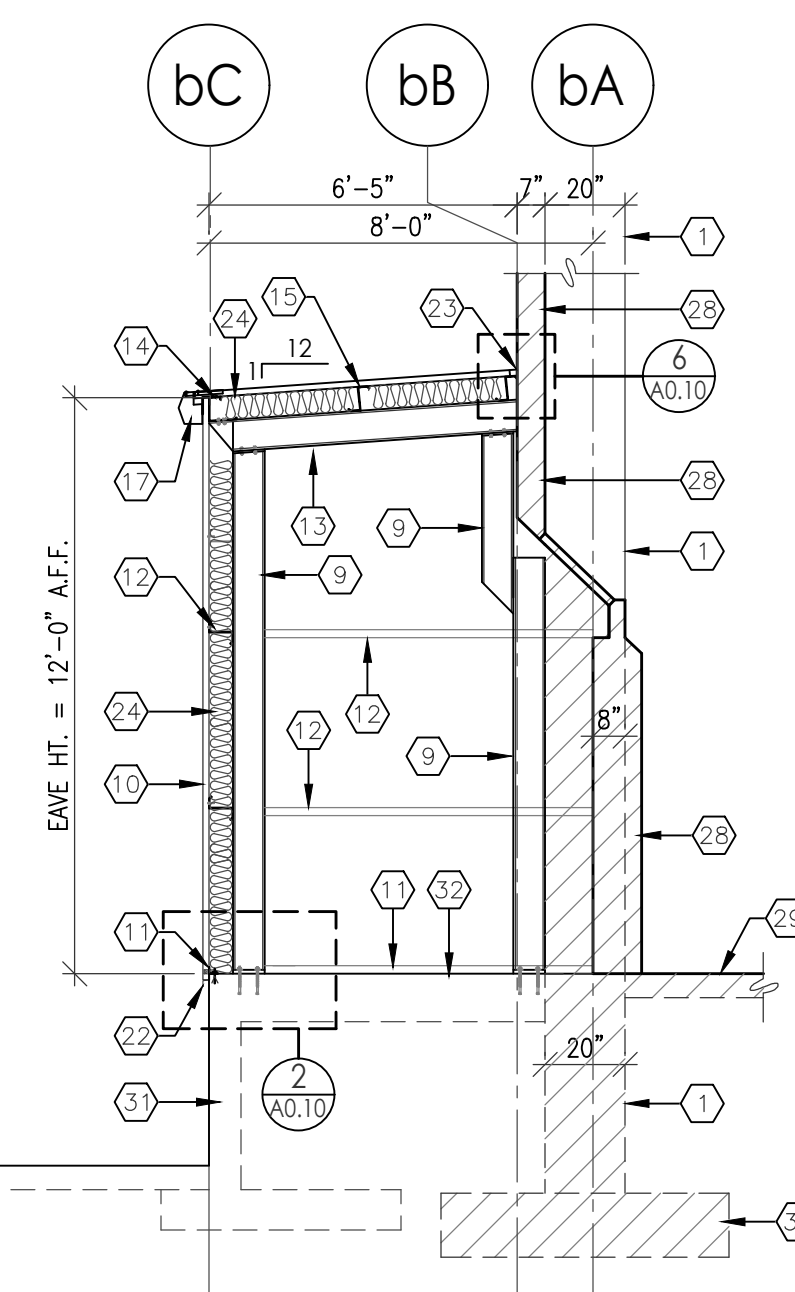
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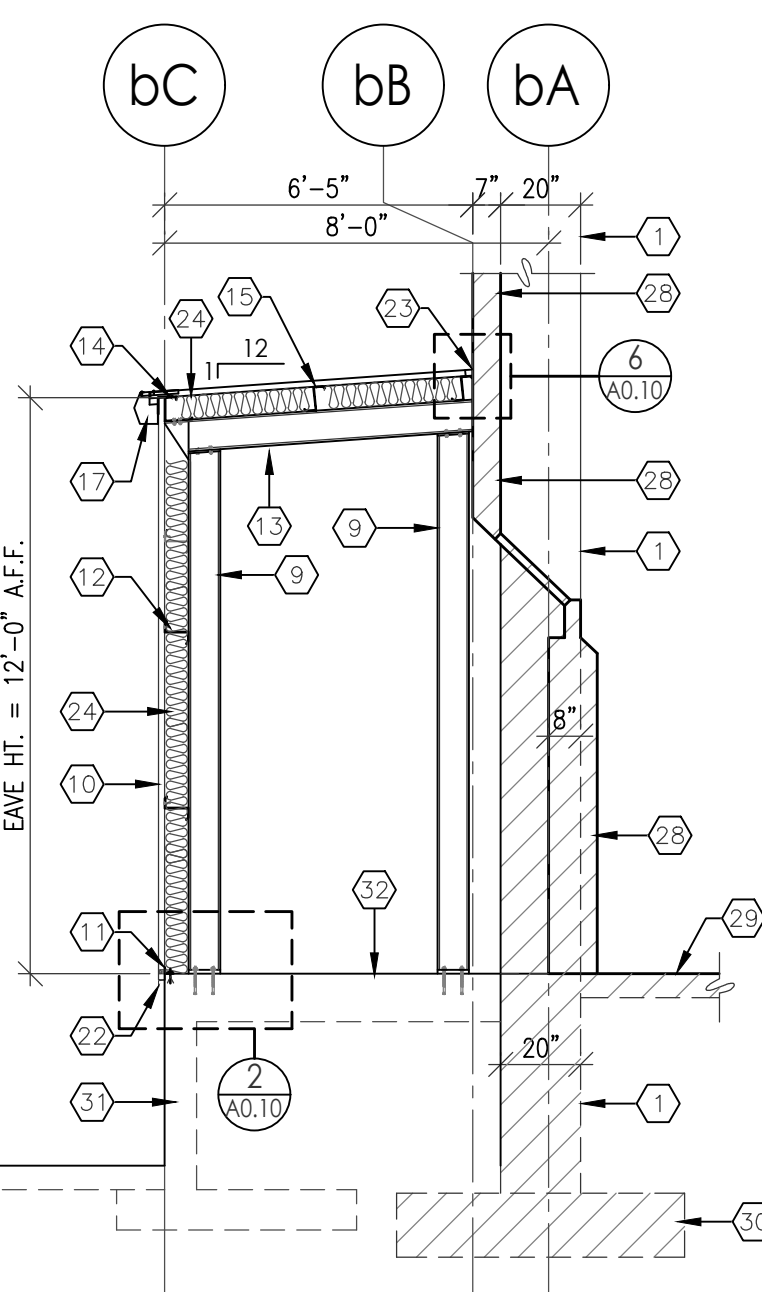
6 NORTH ELEVATION
SCALE: 1/4"=1'-0"



7 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

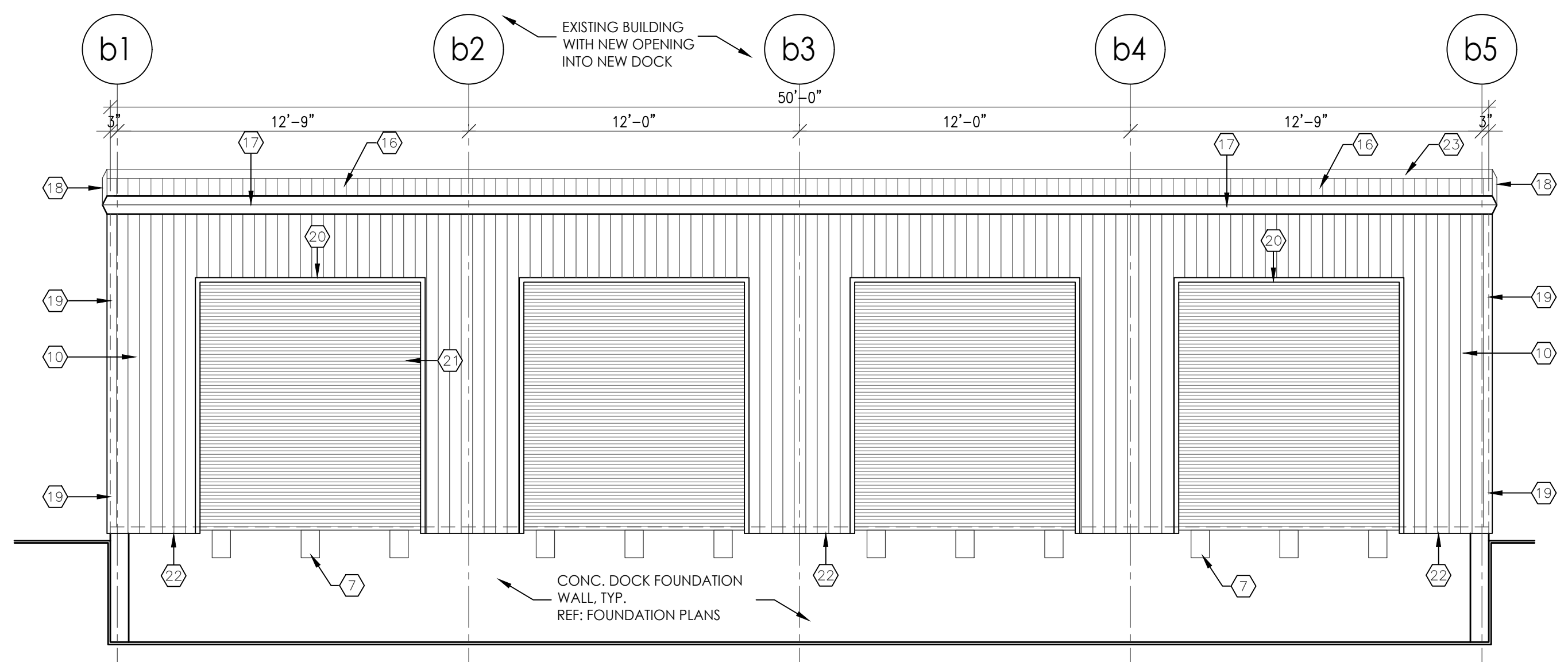
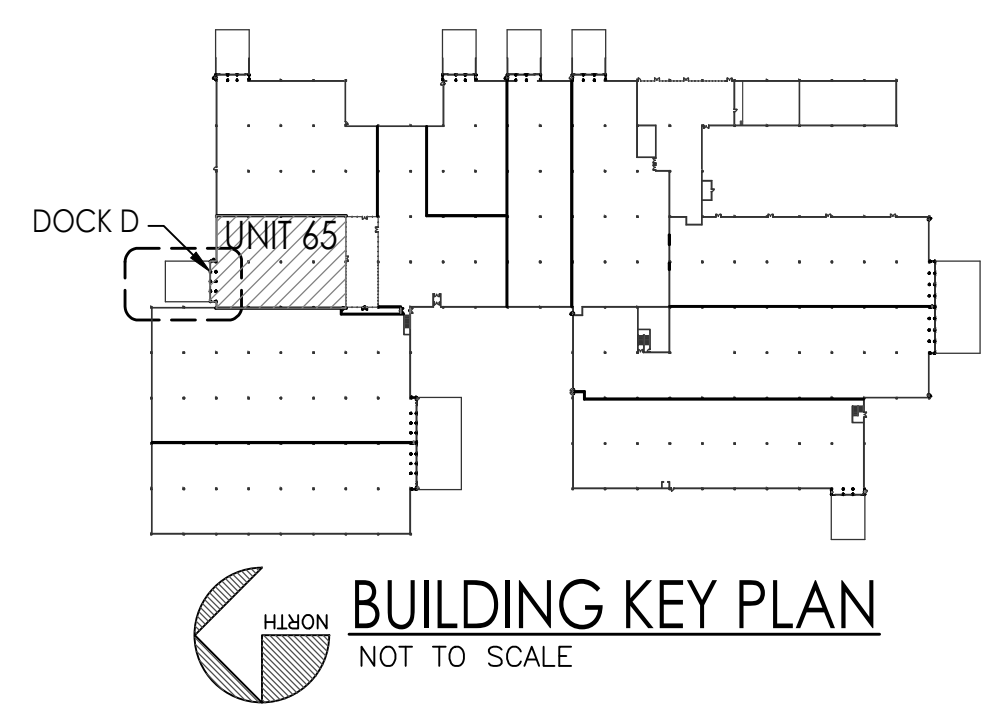


A SECTION
SCALE: 1/4"=1'-0"

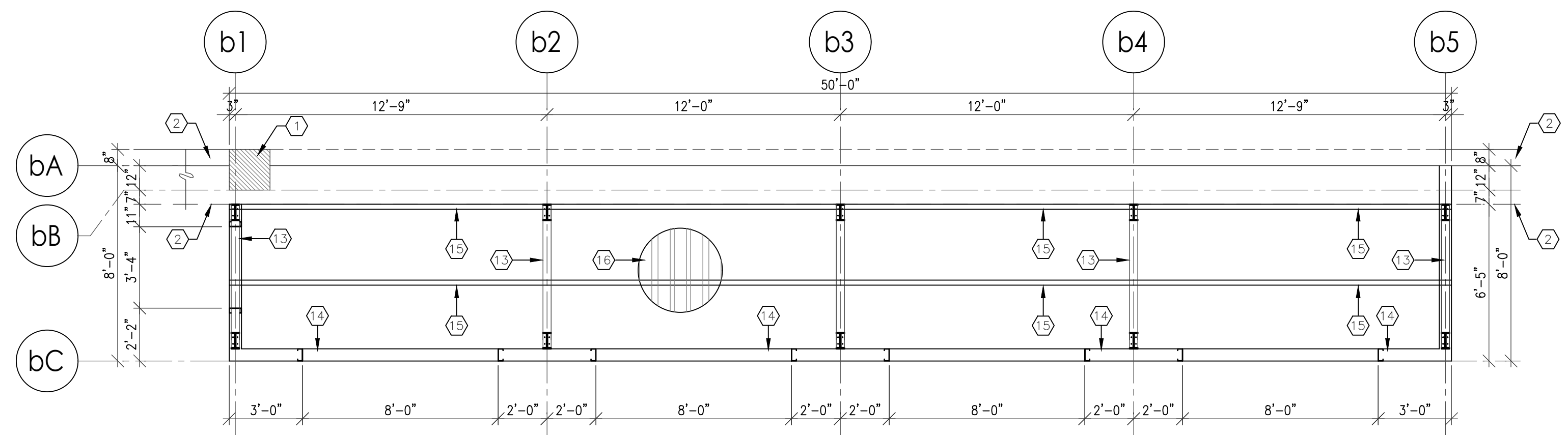


B SECTION
SCALE: 1/4"=1'-0"

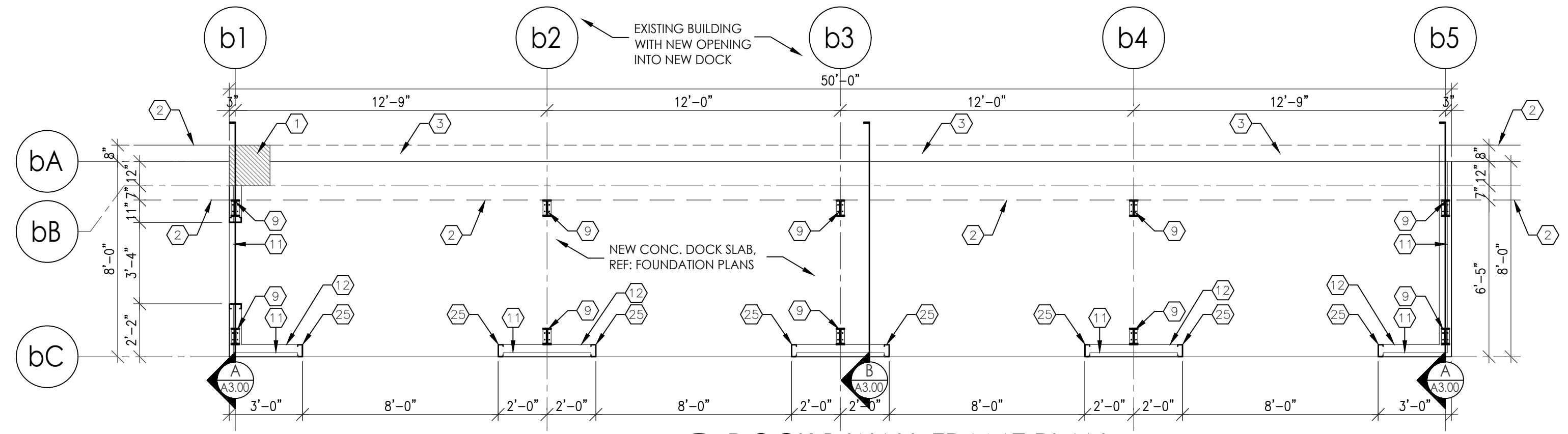
- KEYED NOTES**
- EXISTING 20" x 20" CONCRETE COLUMN.
 - EXISTING EXTERIOR WALL.
 - EXISTING WALL TO BE REMOVED.
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH BATTERY BACK-UP, REF: ELECTRICAL PLANS.
 - EMERGENCY LIGHT WITH BATTERY BACK-UP, REF: ELECTRICAL PLANS.
 - WALL MOUNTED FIRE EXTINGUISHER 2A-10-BC, TYP.
 - DOCK BUMPERS, TYP.
 - 3070 INSULATED METAL DOOR IN HOLLOW METAL FRAME WITH 1/2" MAX. ALUM. THRESHOLD, DOOR WITH PANIC HARDWARE, KEYS LOCKSET, DOOR STOP, WEATHER STRIPPING AND AUTO CLOSURE.
 - W8 x 10 COLUMN, TYP.
 - 26 GA. METAL WALL PANEL, TYP.
 - 14 GA. BASE ANGLE, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE GIRT, TYP.
 - W8 x 10 BEAM, TYP.
 - 6" x 3" EAVE STRUT, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE PURLIN, TYP.
 - 26 GA. FRB ROOF PANEL, TYP.
 - CONT. METAL EAVE GUTTER TRIM AND DOWNSPOUT (DOWNSPOUT NOT SHOWN).
 - CONT. RAKE/GABLE METAL TRIM, TYP.
 - METAL CORNER TRIM, TYP.
 - METAL HEAD TRIM, TYP.
 - METAL JAMB TRIM, TYP.
 - CONT. METAL WALL BASE TRIM, TYP.
 - CONT. METAL WALL FLASHING, TYP.
 - R-20 VINYL FACED INSULATION AT ROOF, FULL COVERAGE AND R-13 VINYL FACED INSULATION AT WALL, FULL HEIGHT OF WALL, TYP.
 - 6" x 12 GA. CEE JAMB, TYP.
 - R-13 VINYL FACED INSULATION, FULL HEIGHT OF WALL, TYP.
 - 6" x 14 GA. CEE HEADER, TYP.
 - NEW DEMISING WALL, REF: OVERALL FLOOR PLAN FOR WALL CONTINUATION AND WALL TYPE TAG.
 - CROSS HATCH DENOTES EXIST. EXTERIOR WALL.
 - EXIST. CONC. SLAB, TYP.
 - EXIST. CONC. COLUMN FOOTING, TYP.
 - NEW CONC. DOCK WALL, REF: FOUNDATION PLANS.
 - NEW CONC. SLAB AT NEW DOCK, REF: FOUNDATION PLANS.
 - 42" HIGH MIN. 1 1/4" DIA. PAINTED STEEL GUARDRAIL, G.C. TO INSTALL GUARDRAIL PER 2021 I.B.C. SECTION 1015.2. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW, G.C. TO FIELD VERIFY GUARDRAIL LENGTH TO BE BUILT.
 - CORE DRILL CONC. RETAINING WALL FOR GUARDRAIL POST AND EPOXY POST IN PLACE, TYP. GUARDRAIL POSTS AT 8'-0" O.C. MAX.
 - 4" THICK x 5' x 5' CONCRETE STOOP AT EXIT DOOR, SLOPE CONC. 1/4"/FT. SLOPE MIN. AWAY FOR DOOR.



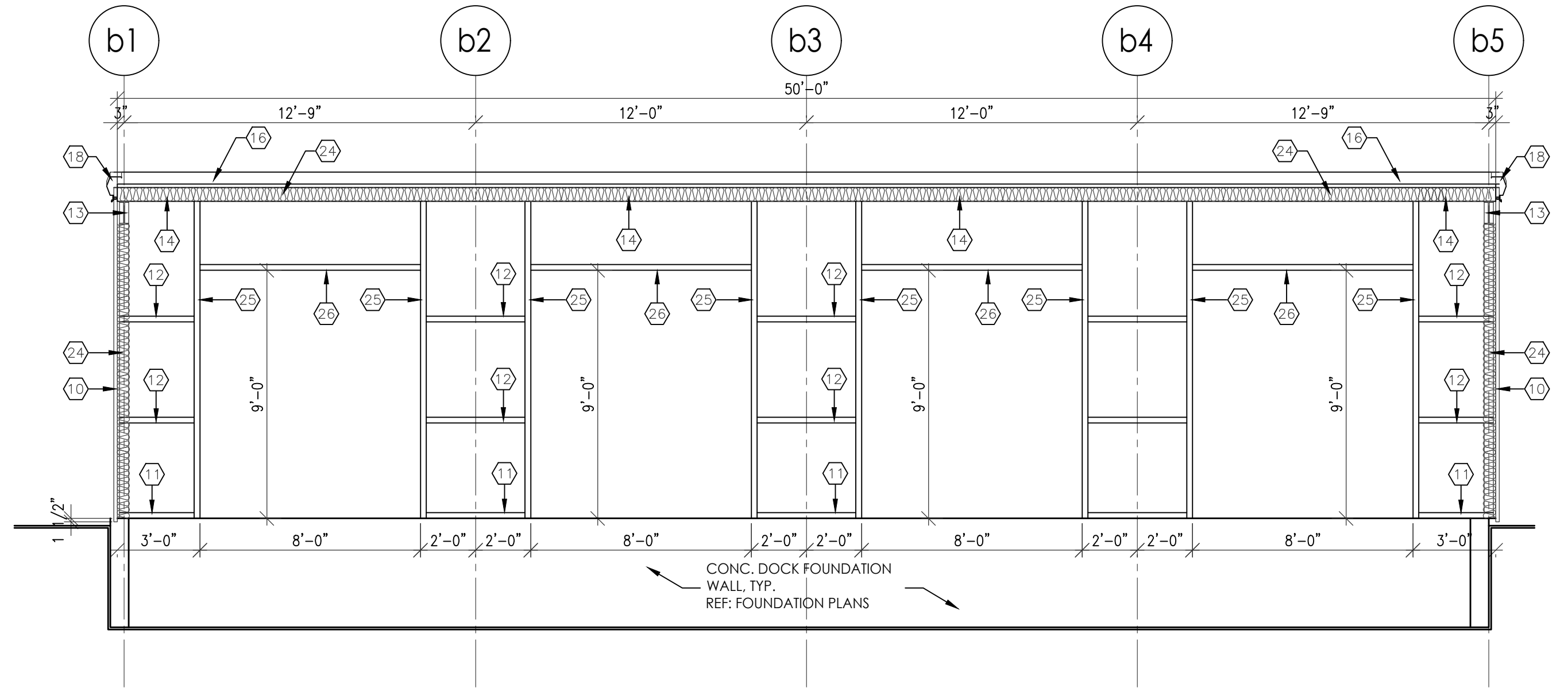
5 DOCK B NORTH ELEVATION
SCALE: 1/4"=1'-0"



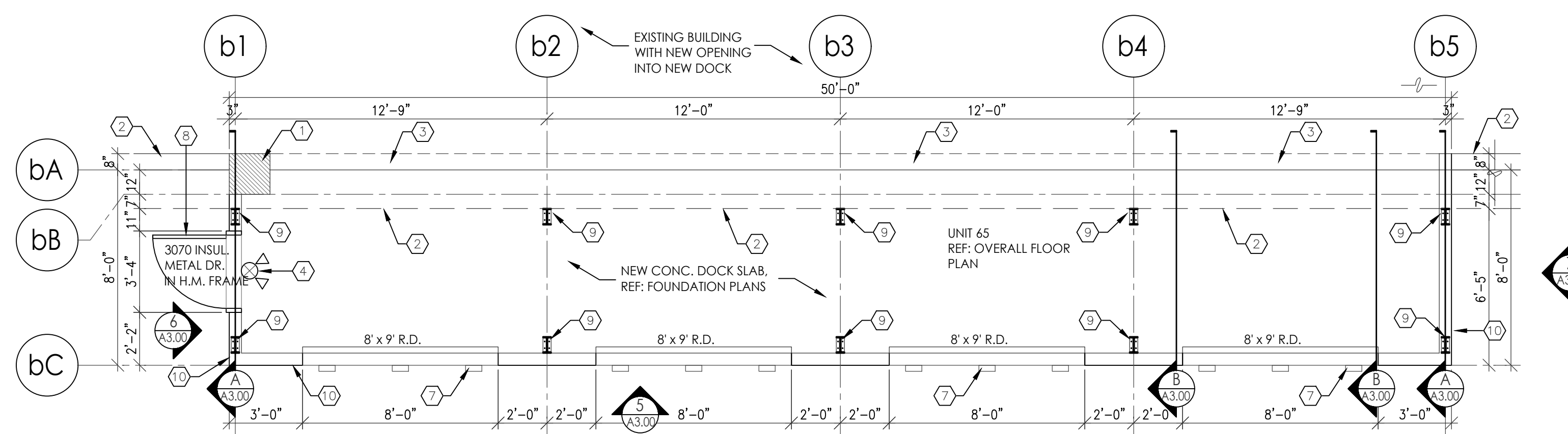
3 DOCK B ROOF FRAME PLAN
SCALE: 1/4"=1'-0"



2 DOCK B WALL FRAME PLAN
SCALE: 1/4"=1'-0"



4 DOCK B WALL FRAME ELEVATION
SCALE: 1/4"=1'-0"



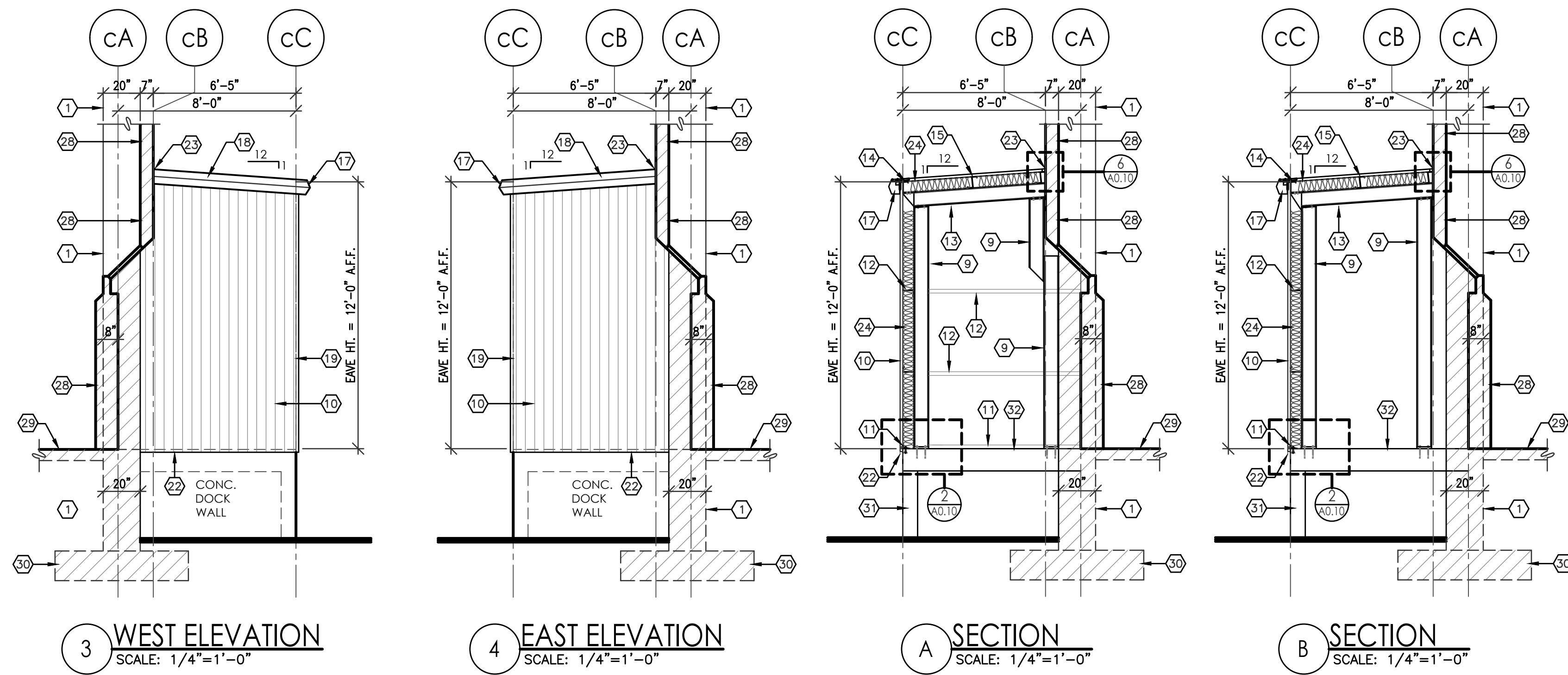
1 DOCK B FLOOR PLAN
SCALE: 1/4"=1'-0"

NEW DOCK B ADDITION
AREA = 396 S.F.

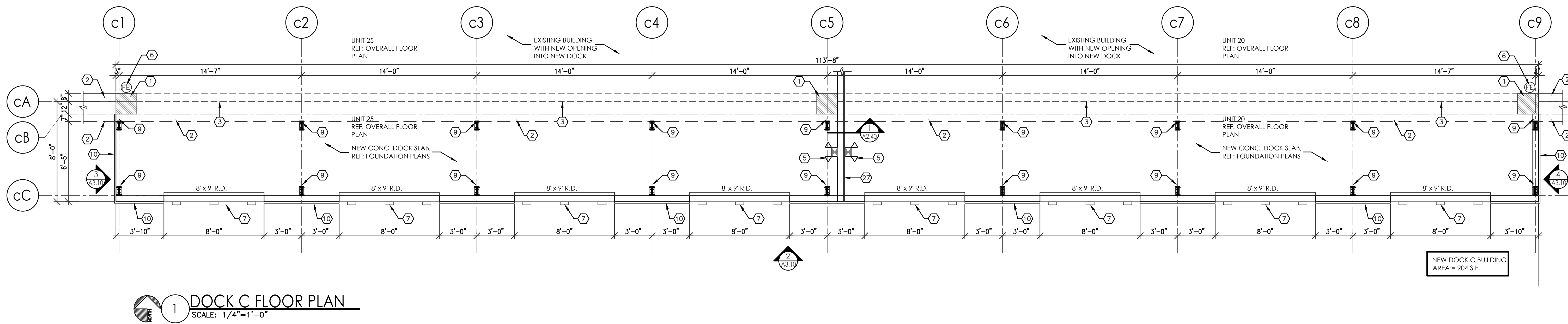
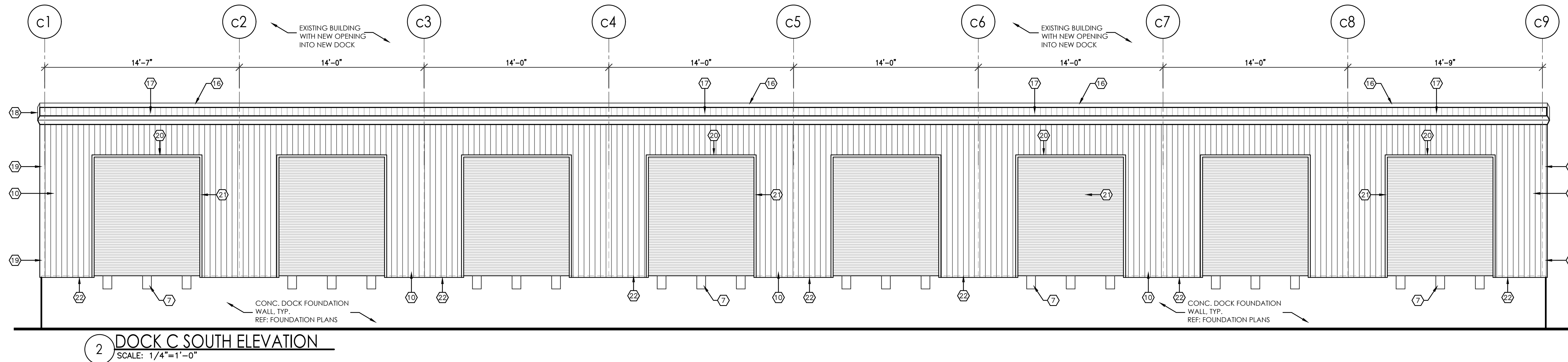
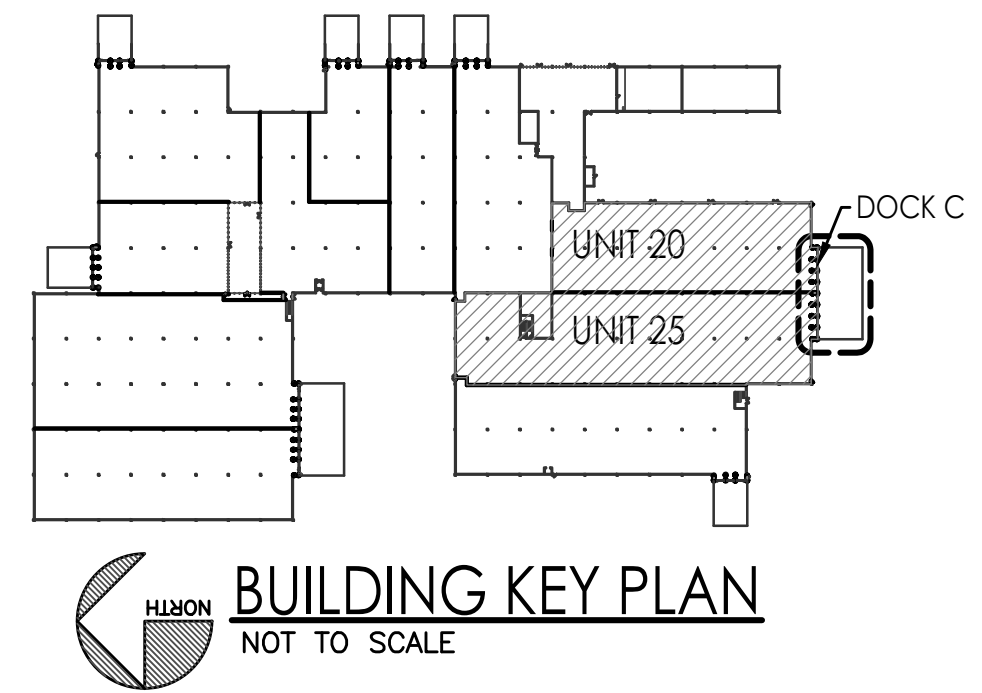
HONEYWELL WAREHOUSES
DOCK B ARCH AND STRUCTURAL PLANS
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

REVISION DATE
DATE 3/22/2024
SHEET NUMBER A-3.00



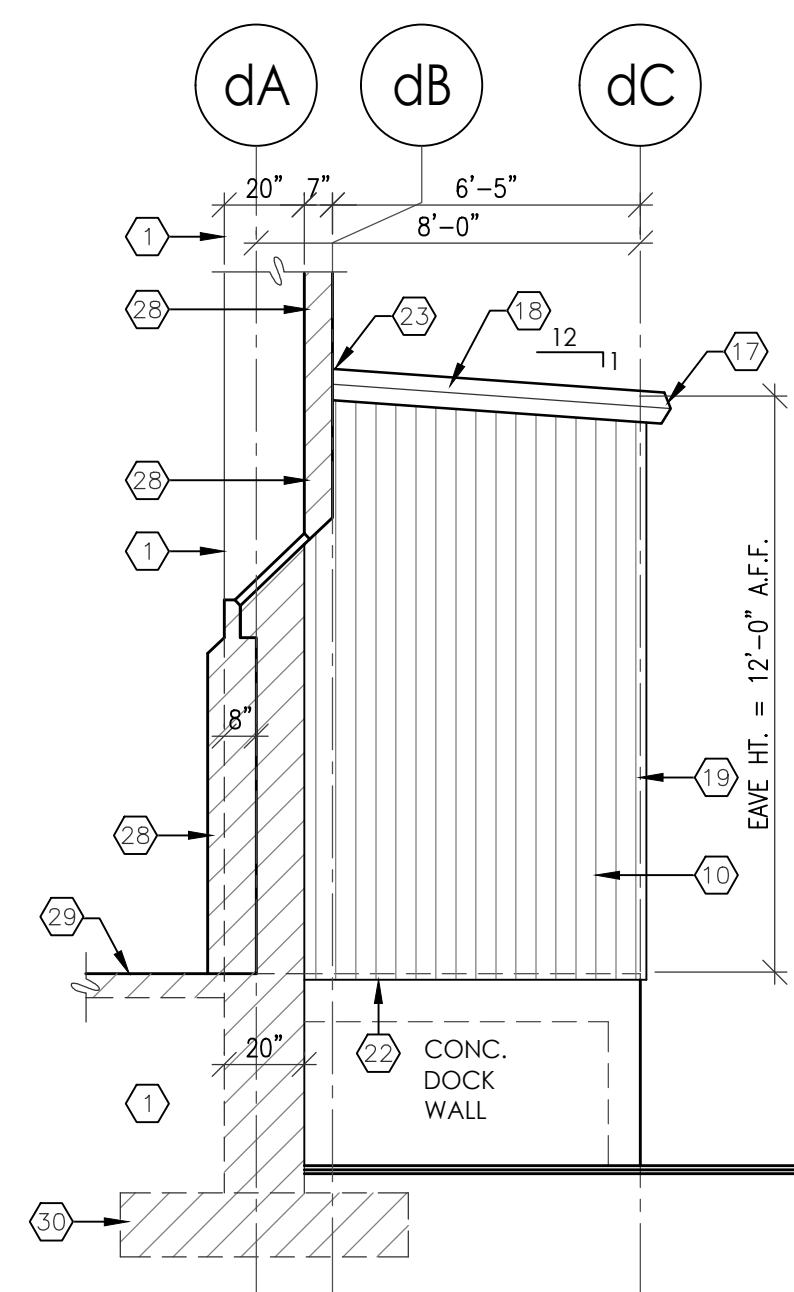


- KEYED NOTES**
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 - EXISTING EXTERIOR WALL.
 - EXISTING WALL TO BE REMOVED.
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH BATTERY BACK-UP, REF: ELECTRICAL PLANS.
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 - 14 GA. BASE ANGLE, TYP.
 - 2 1/2" x 6" x 1/4 GA. ZEE GIRL, TYP.
 - W8 x 10 BEAM, TYP.
 - 5' x 3" EAVE STRUT, TYP.
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 - 26 GA. PRB ROOF PANEL, TYP.
 - CONT. METAL EAVE GUTTER TRIM AND DOWNSPOUT (DOWNSPOUT NOT SHOWN).
 - CONT. RAKE/GABLE METAL TRIM, TYP.
 - METAL CORNER TRIM, TYP.
 - METAL HEAD TRIM, TYP.
 - METAL JAMB TRIM, TYP.
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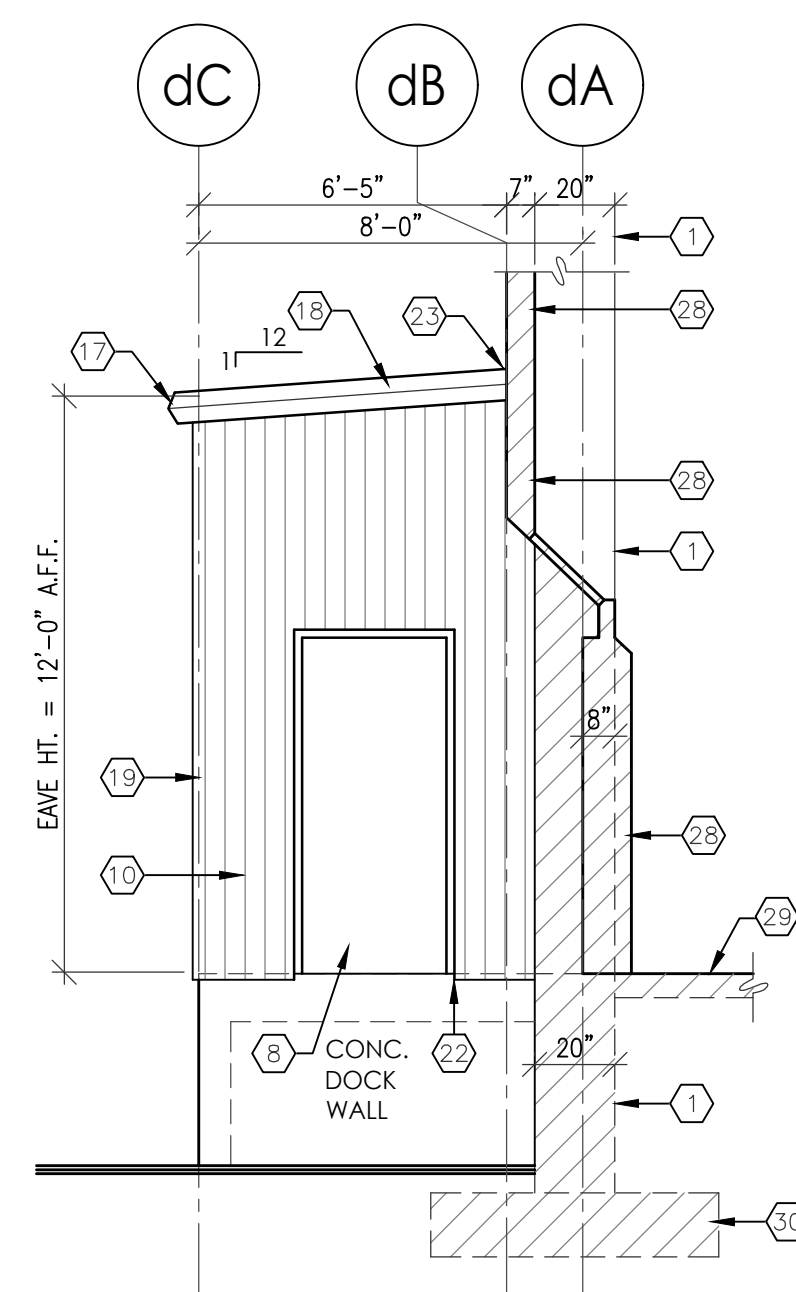


HONEYWELL WAREHOUSES
DOCK C, METAL STRUCTURE PLAN
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

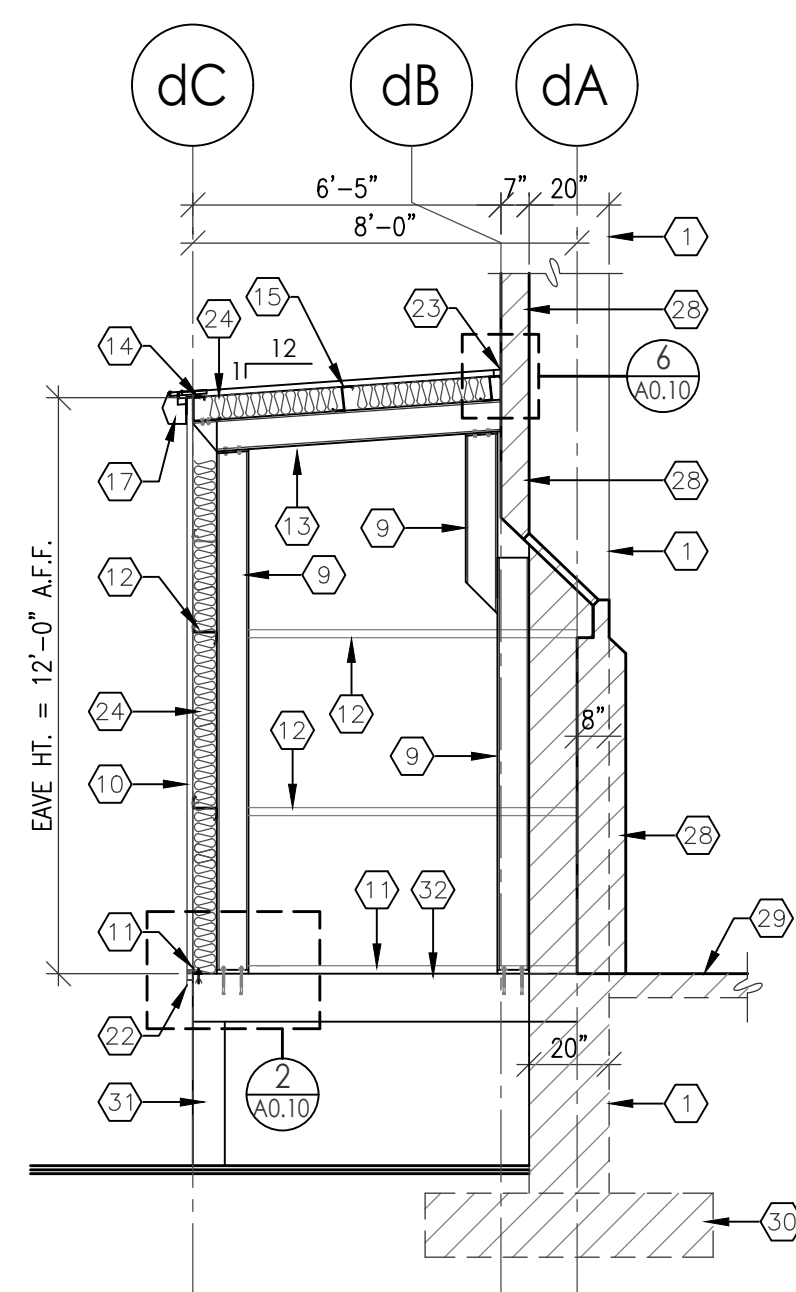
REVISION DATE
RBA ARCHITECTURE, P.C. ARCHITECTURE PLANNING DESIGN 1000 UNIVERSITY BLVD NE ALBUQUERQUE, NM 87102 WWW.RBAARCH.COM
DATE 3/22/2024
SHEET NUMBER A-3.10



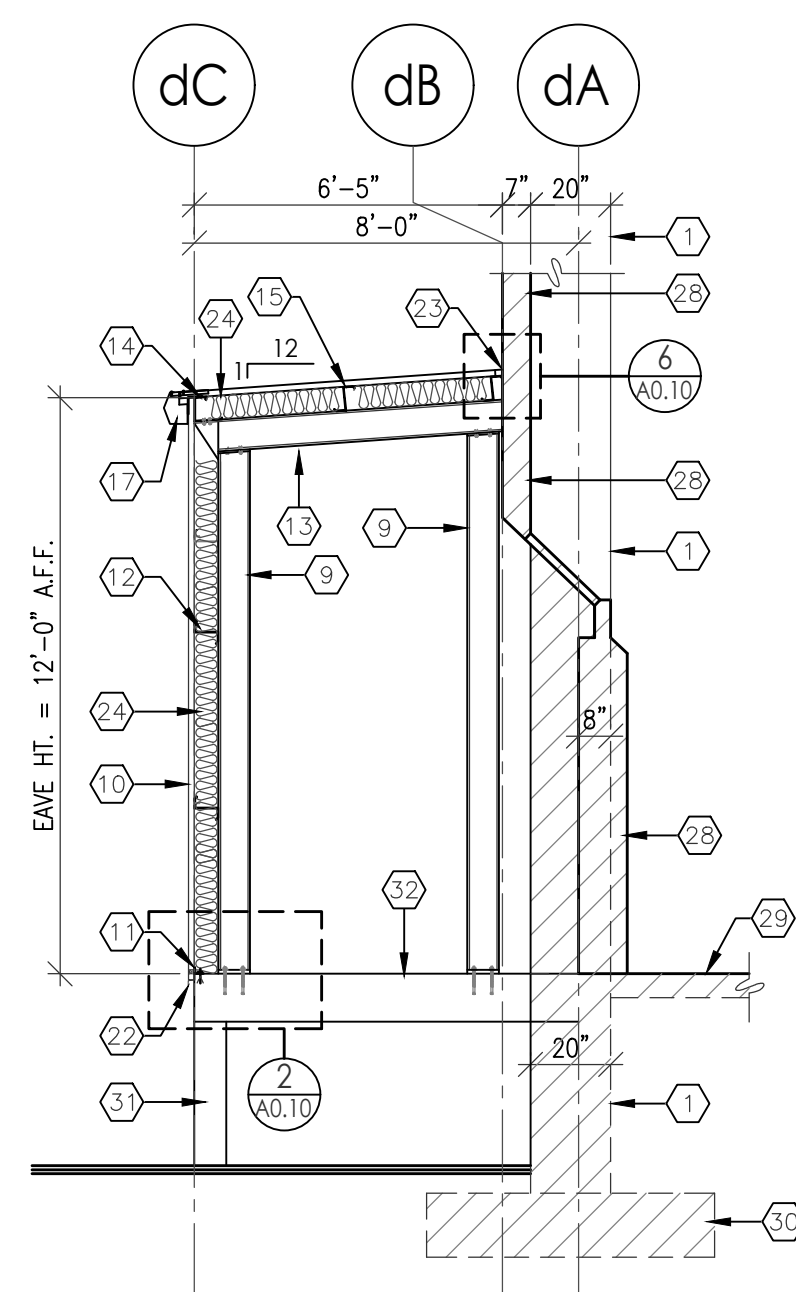
6 NORTH ELEVATION
SCALE: 1/4"=1'-0"



7 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

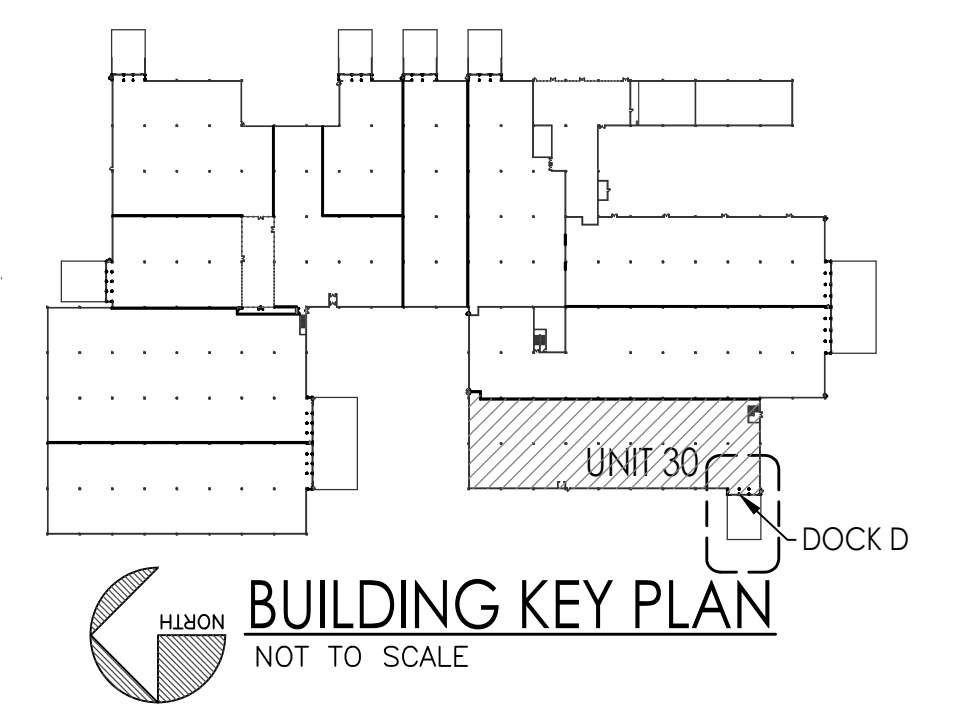


A SECTION
SCALE: 1/4"=1'-0"

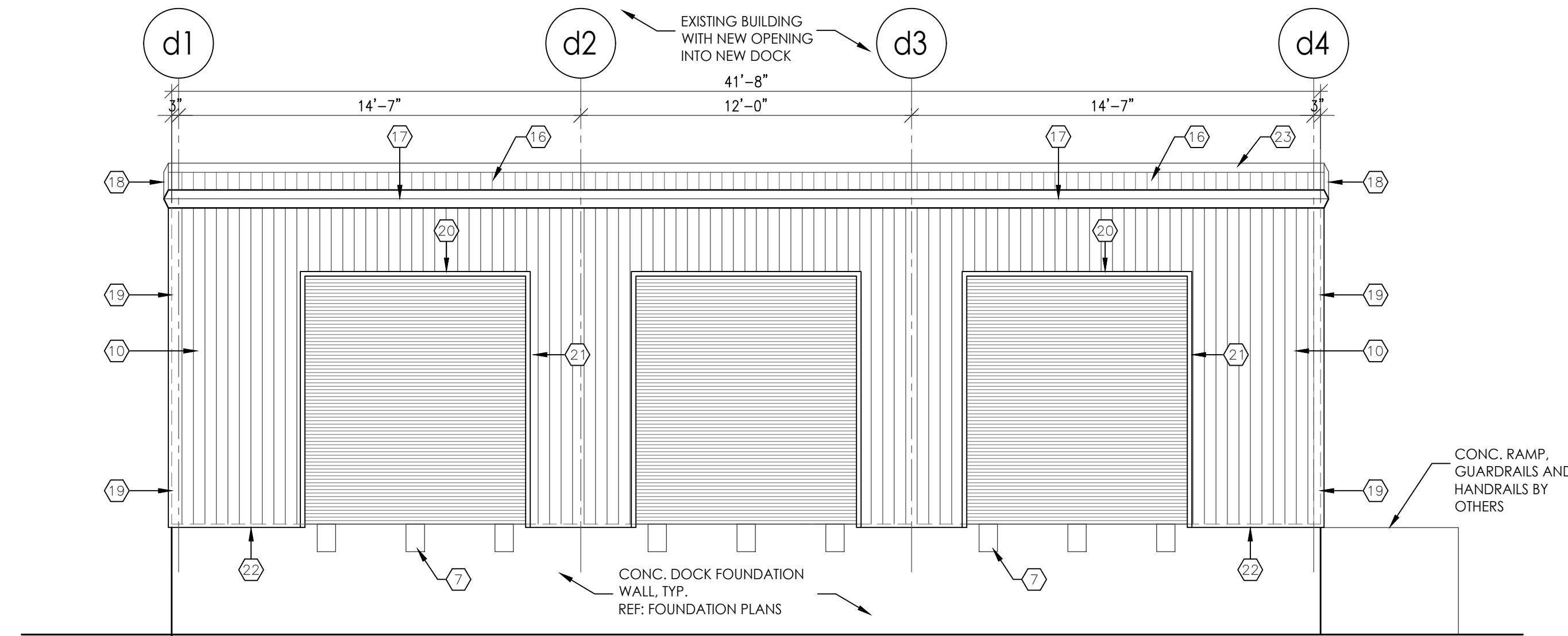


B SECTION
SCALE: 1/4"=1'-0"

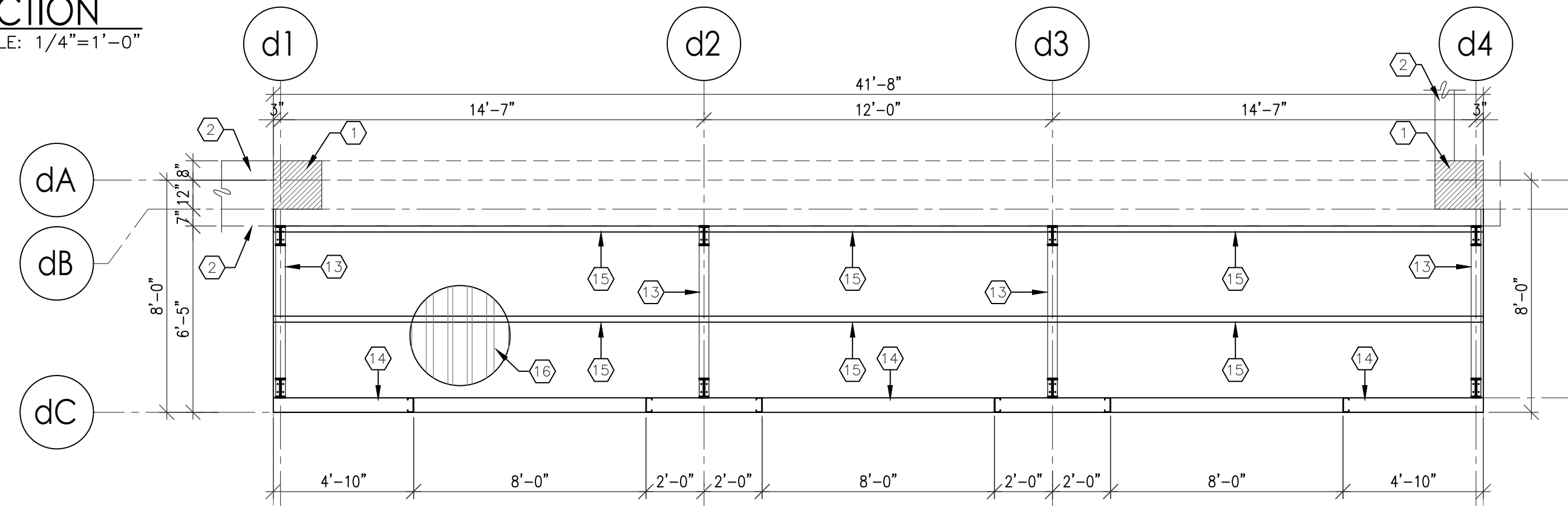
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 - 4" THICK x 5' x 5' CONCRETE STOOP AT EXIT DOOR, SLOPE CONC. 1/4"/FT. SLOPE MIN. AWAY FOR DOOR.



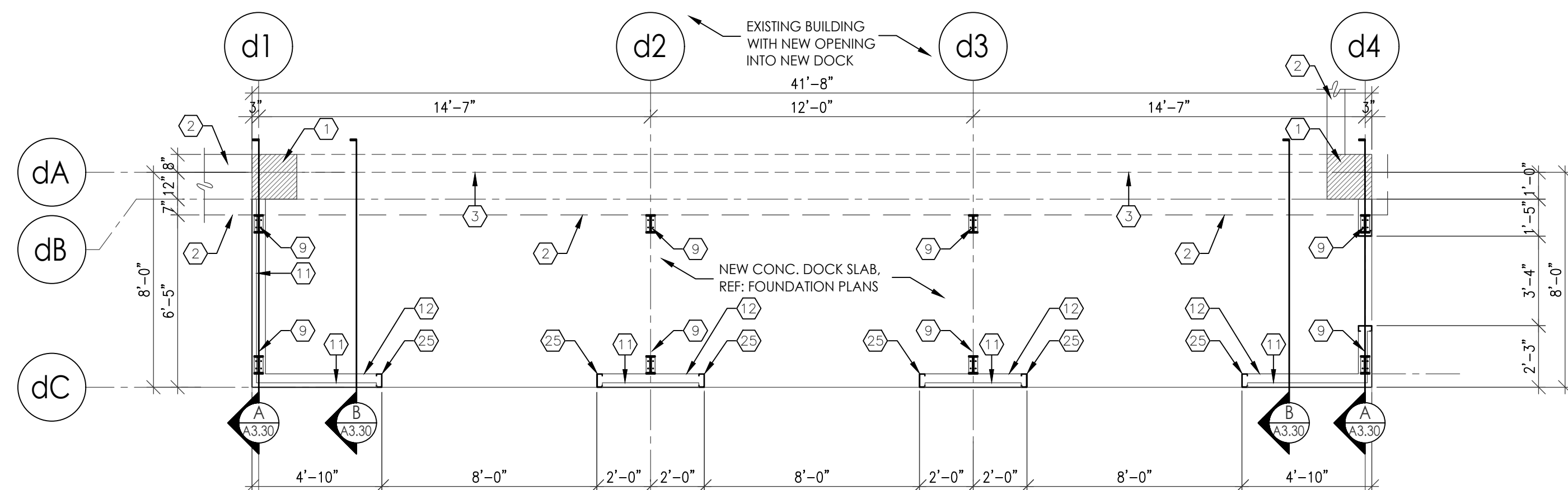
BUILDING KEY PLAN
NOT TO SCALE



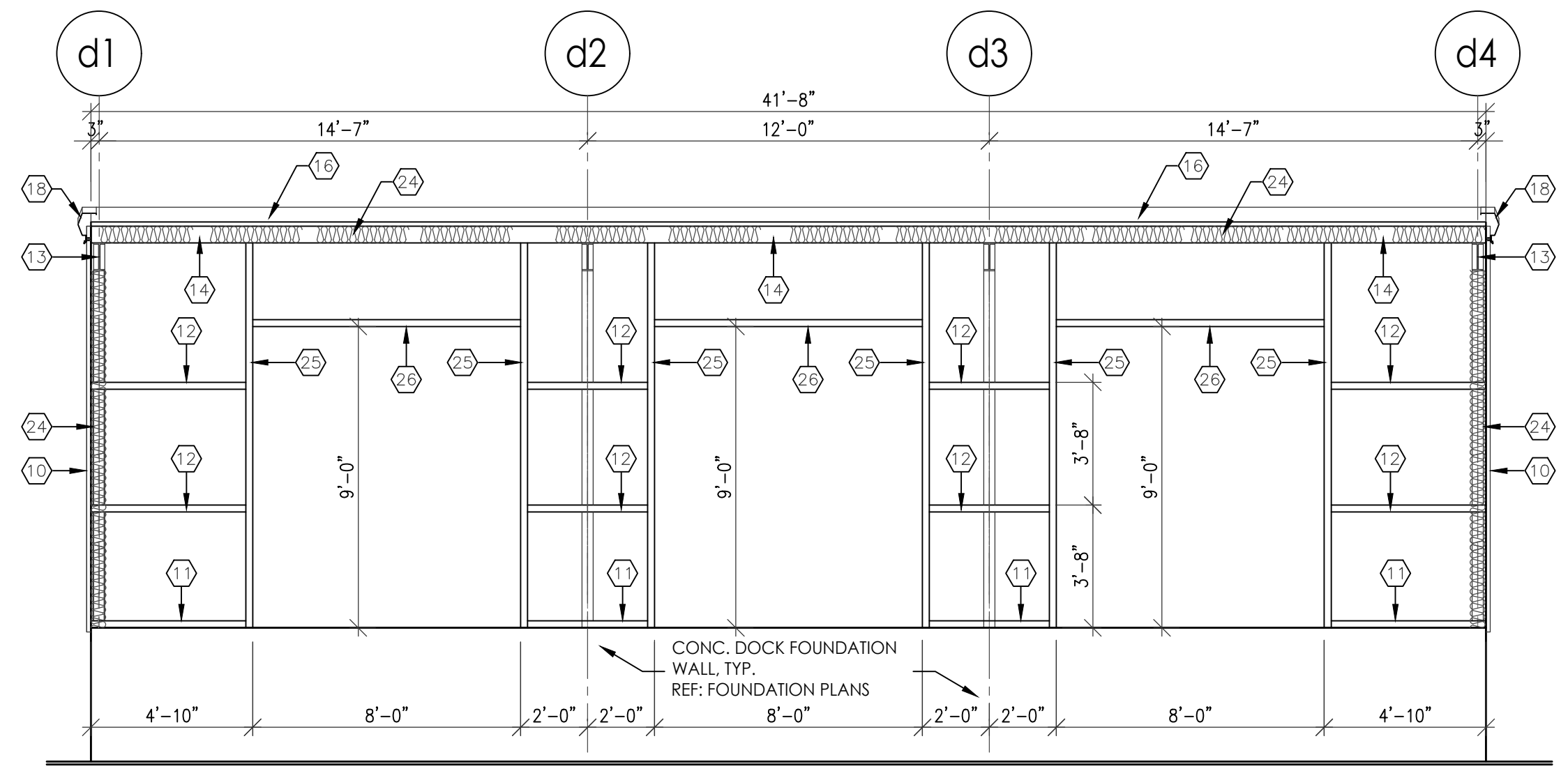
5 DOCK D WEST ELEVATION
SCALE: 1/4"=1'-0"



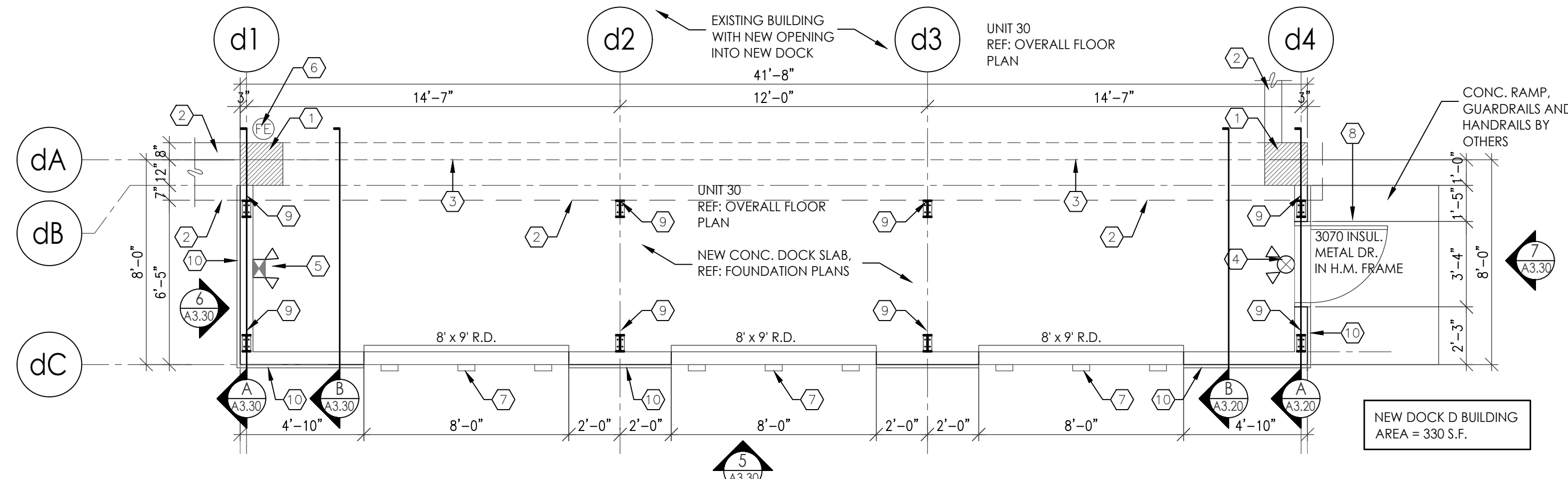
3 DOCK D ROOF FRAME PLAN
SCALE: 1/4"=1'-0"



2 DOCK D WALL FRAME PLAN
SCALE: 1/4"=1'-0"



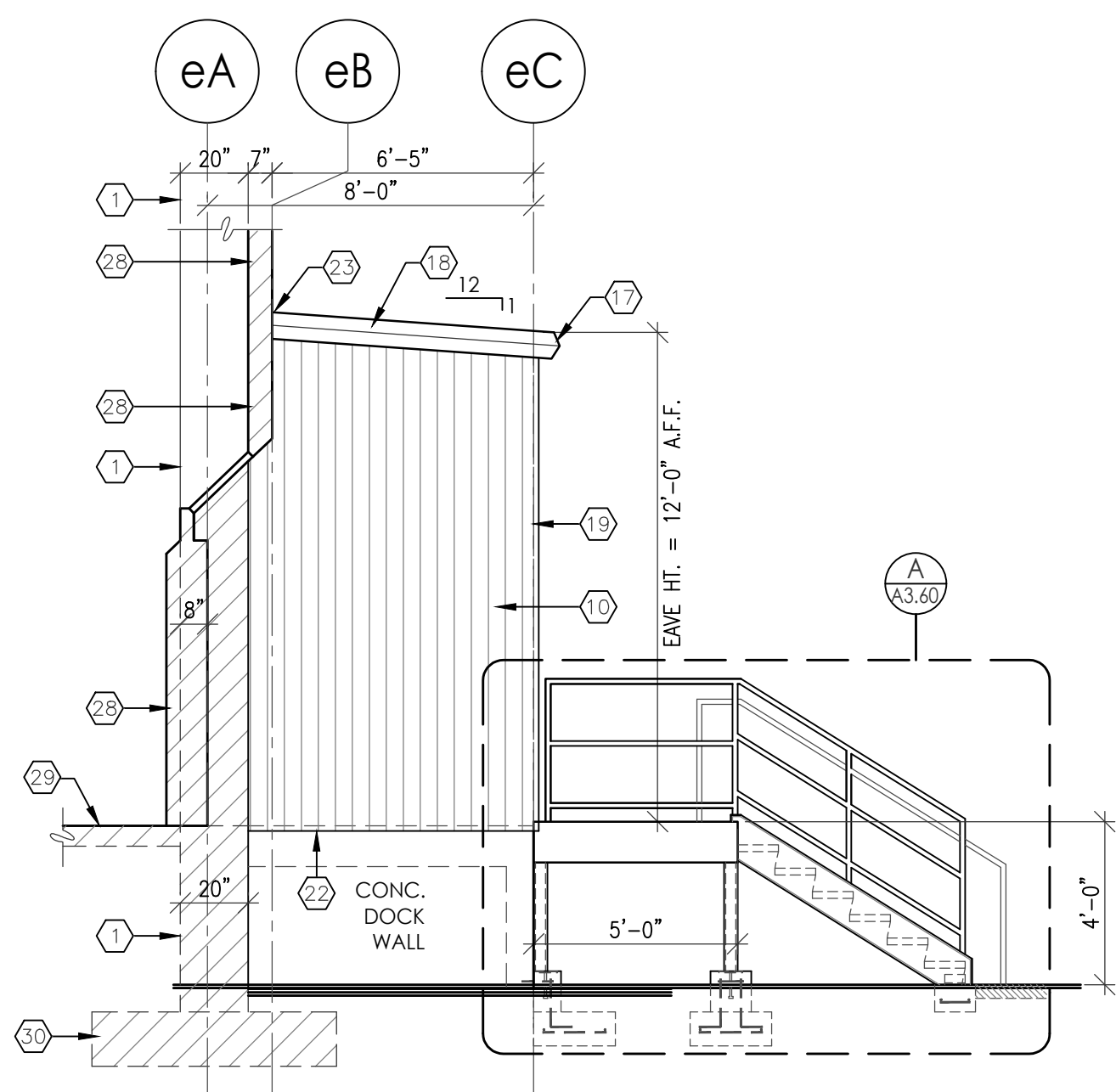
4 DOCK D WALL FRAME ELEVATION
SCALE: 1/4"=1'-0"



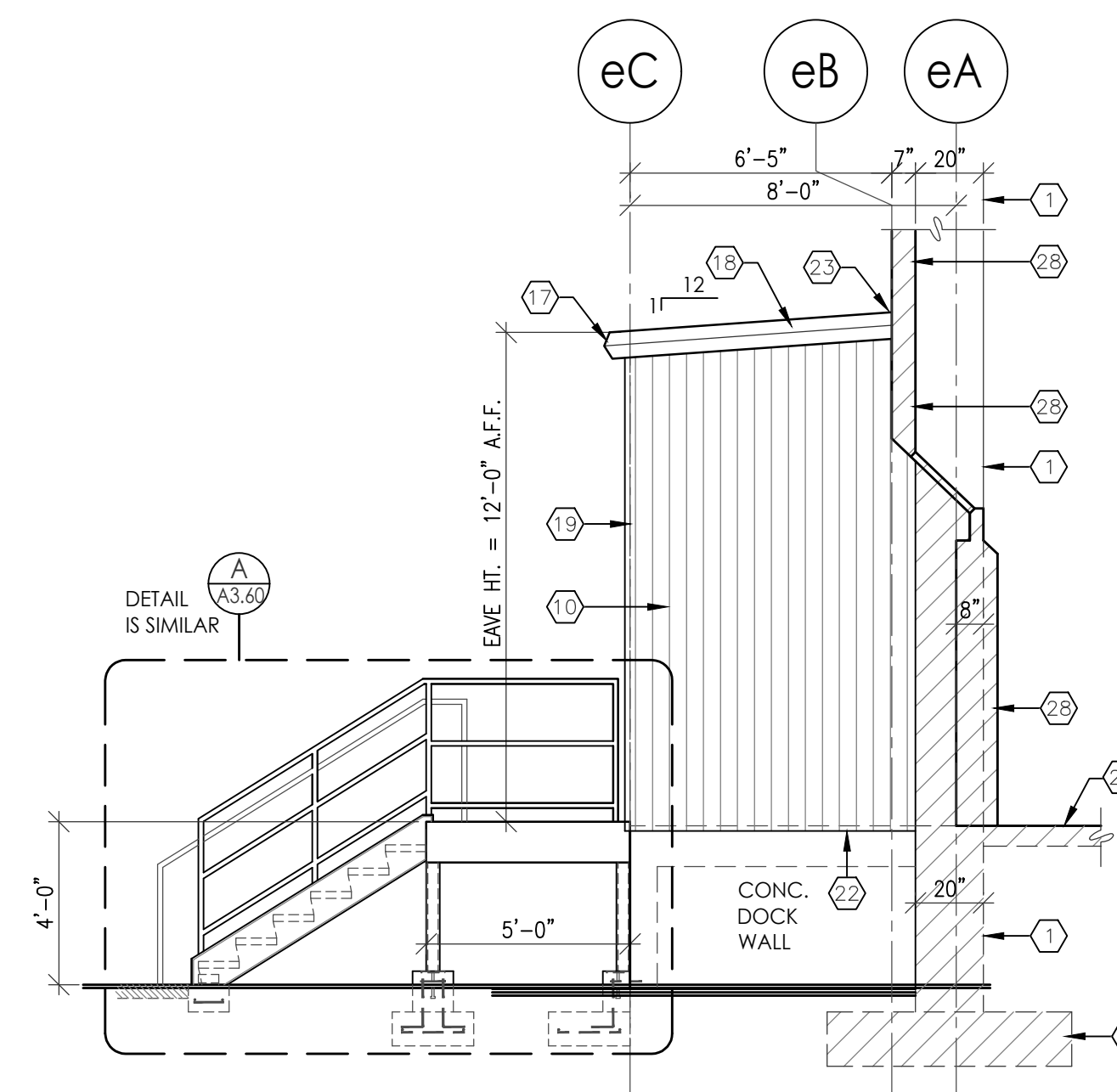
1 DOCK D FLOOR PLAN
SCALE: 1/4"=1'-0"

HONEYWELL WAREHOUSES
DOCK D ARCH AND STRUCTURAL PLANS
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

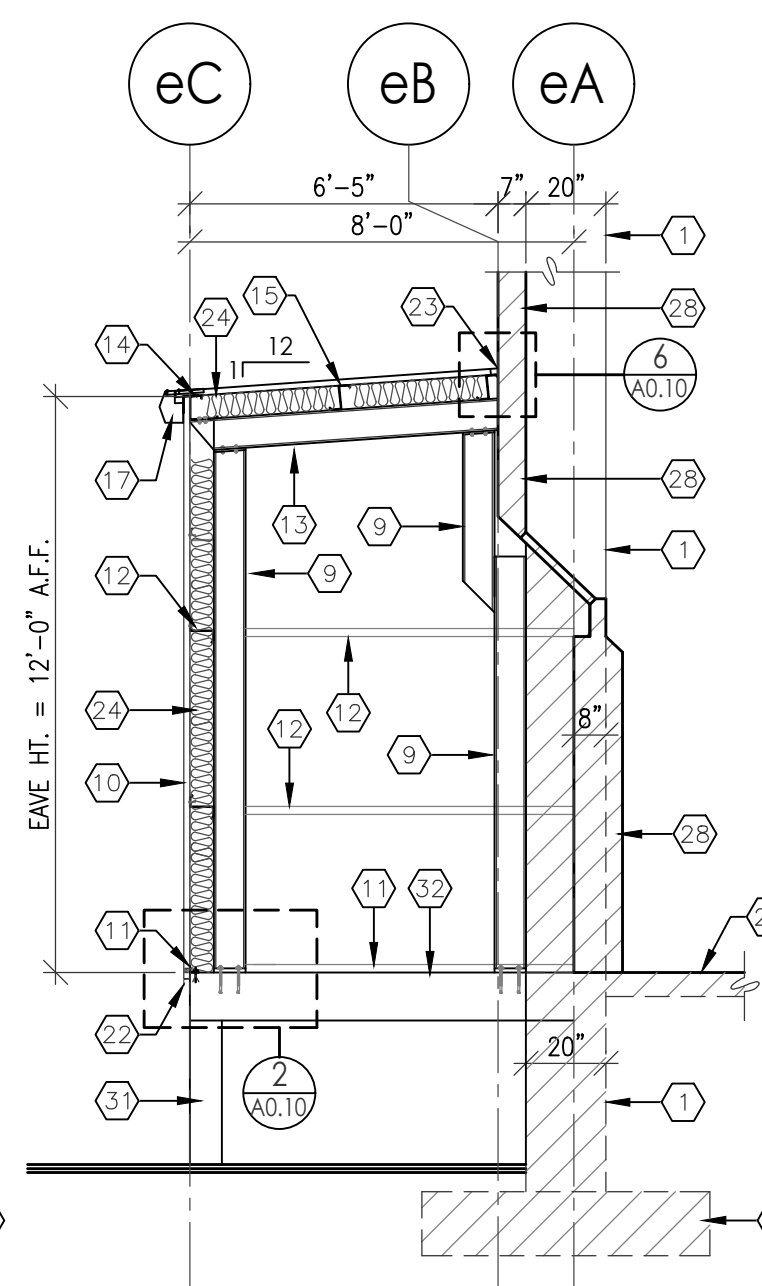
REVISION	DATE
DATE	3/22/2024
SHEET NUMBER	A-3.30



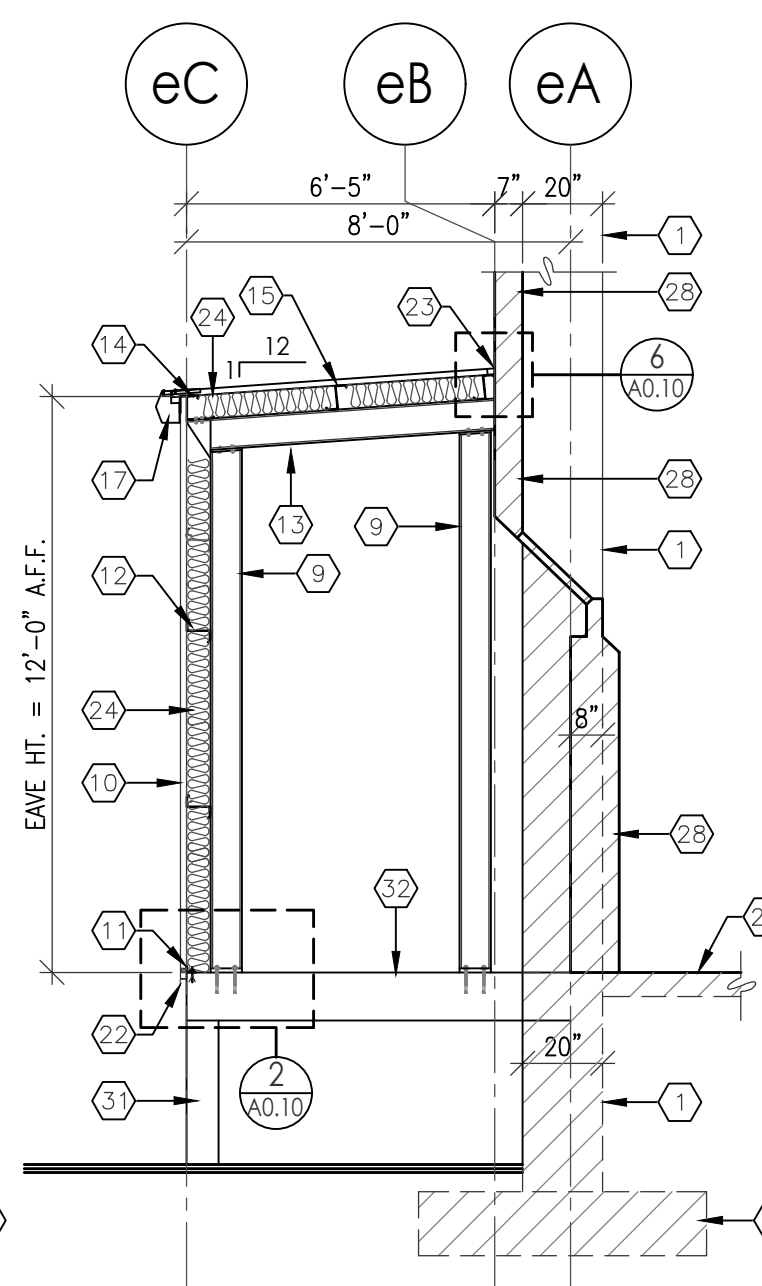
3 DOCK E WEST ELEVATION
SCALE: 1/4"=1'-0"



4 DOCK E EAST ELEVATION
SCALE: 1/4"=1'-0"

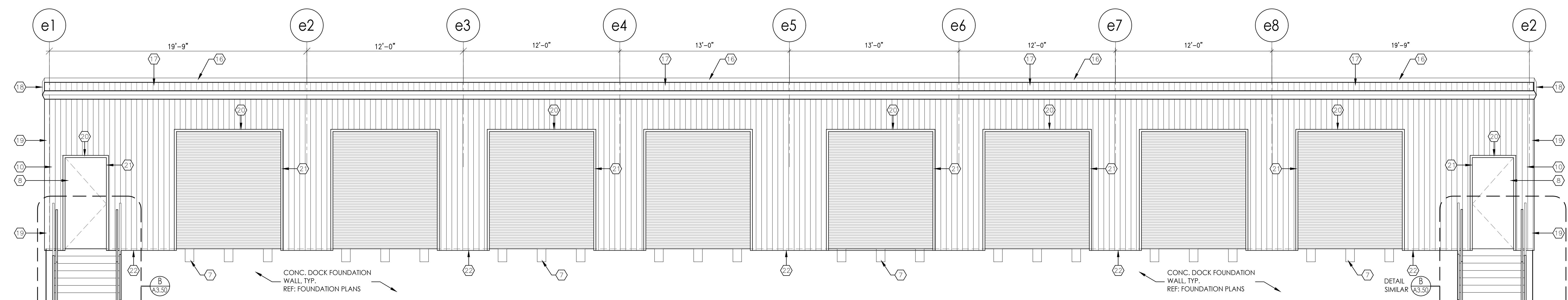
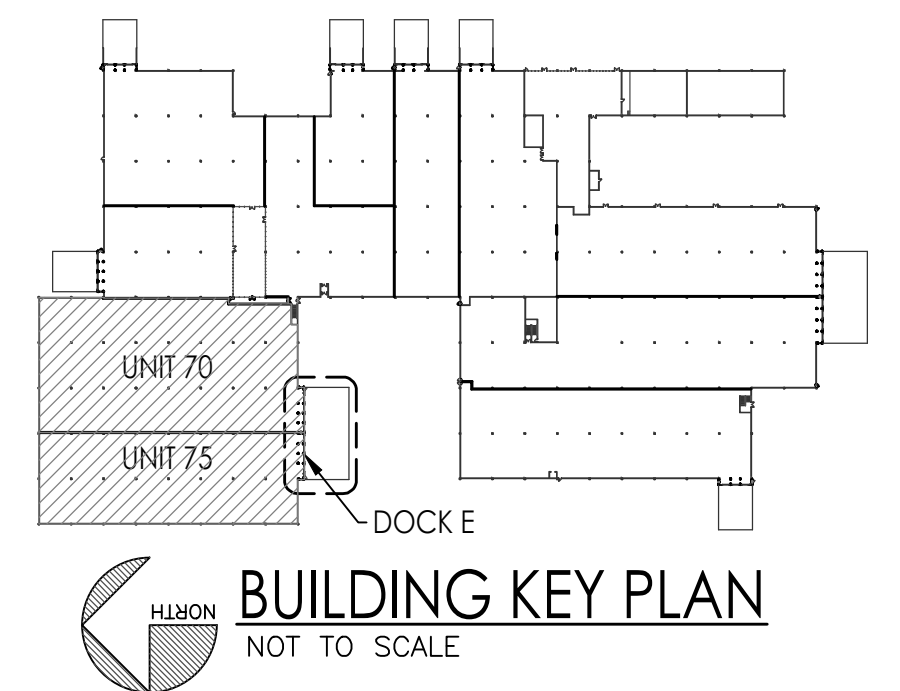


A SECTION
SCALE: 1/4"=1'-0"

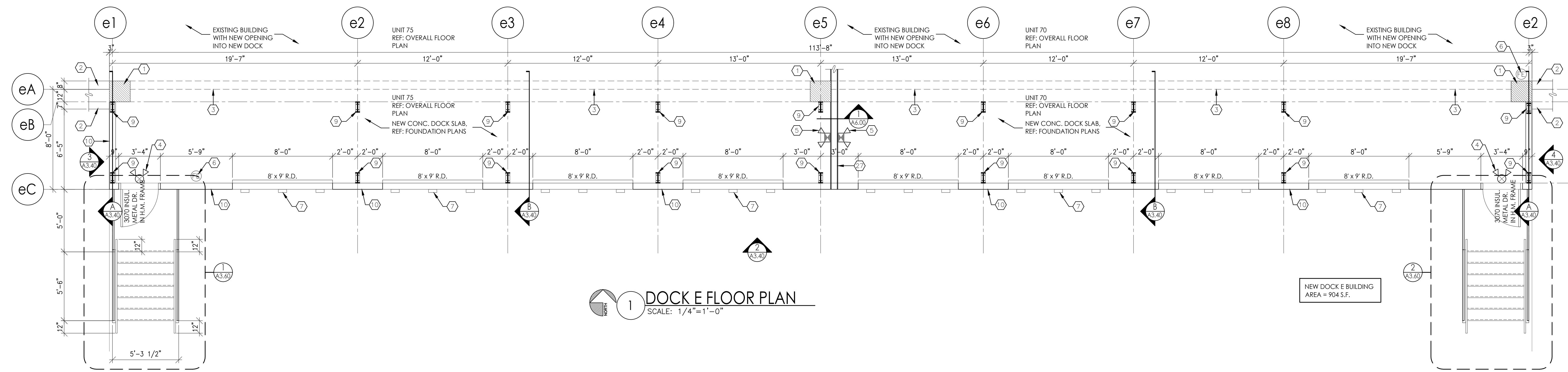


B SECTION
SCALE: 1/4"=1'-0"

- KEYED NOTES**
- EXISTING 20" x 20" CONCRETE COLUMN.
 - EXISTING EXTERIOR WALL.
 - EXISTING WALL TO BE REMOVED.
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH BATTERY BACK-UP. REF: ELECTRICAL PLANS.
 - EMERGENCY LIGHT WITH BATTERY BACK-UP. REF: ELECTRICAL PLANS.
 - WALL MOUNTED FIRE EXTINGUISHER 2A-10-BC, TYP.
 - DOCK BUMPERS, TYP.
 - 3070 INSULATED METAL DOOR IN HOLLOW METAL FRAME WITH 1/2" MAX. ALUM. THRESHOLD, DOOR WITH PANIC HARDWARE, KEYS LOCKSET, DOOR STOP, WEATHER STRIPPING AND AUTO CLOSURE.
 - W8 x 10 COLUMN, TYP.
 - 26 GA. METAL WALL PANEL, TYP.
 - 14 GA. BASE ANGLE, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE GIRT, TYP.
 - W8 x 10 BEAM, TYP.
 - 6" x 3" EAVE STRUT, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE PURLIN, TYP.
 - 26 GA. FRB ROOF PANEL, TYP.
 - CONT. METAL WALL BASE FLASHING, TYP.
 - CONT. RAKE/GABLE METAL TRIM, TYP.
 - METAL CORNER TRIM, TYP.
 - METAL HEAD TRIM, TYP.
 - METAL JAMB TRIM, TYP.
 - CONT. METAL WALL BASE TRIM, TYP.
 - CONT. METAL WALL BASE FLASHING, TYP.
 - R-20 VINYL FACED INSULATION AT ROOF, FULL COVERAGE AND R-13 VINYL FACED INSULATION AT WALL, FULL HEIGHT OF WALL, TYP.
 - 6" x 12 GA. CEE JAMB, TYP.
 - 6" x 14 GA. CEE HEADER, TYP.
 - NEW DEMISING WALL. REF: OVERALL FLOOR PLAN FOR WALL CONTINUATION AND WALL TYPE TAG.
 - CROSS HATCH DENOTES EXIST. EXTERIOR WALL.
 - EXIST. CONC. SLAB, TYP.
 - EXIST. CONC. COLUMN FOOTING, TYP.
 - NEW CONC. DOCK WALL, REF: FOUNDATION PLANS.
 - NEW CONC. SLAB AT NEW DOCK, REF: FOUNDATION PLANS.



2 DOCK E SOUTH ELEVATION
SCALE: 1/4"=1'-0"

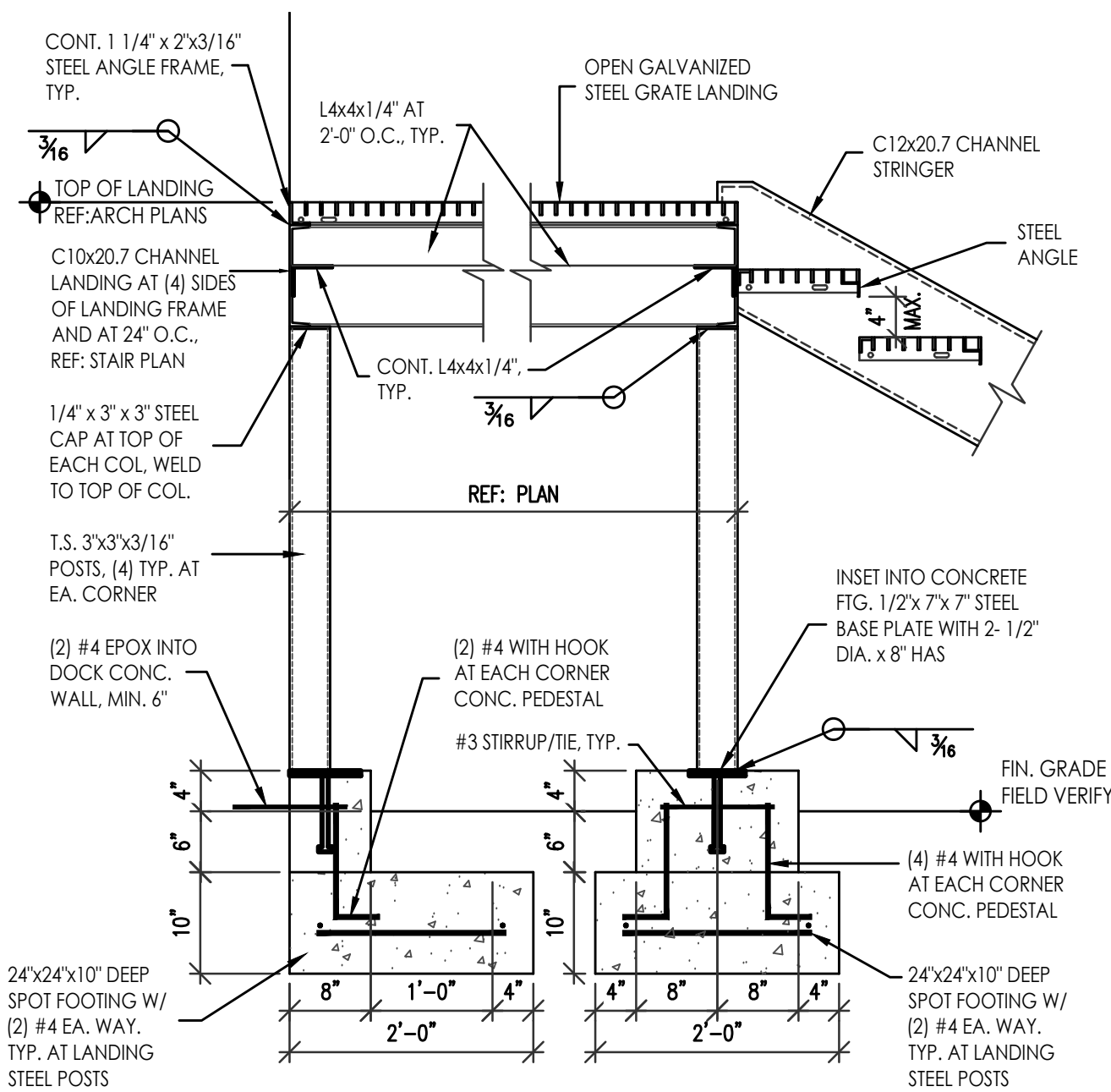


1 DOCK E FLOOR PLAN
SCALE: 1/4"=1'-0"

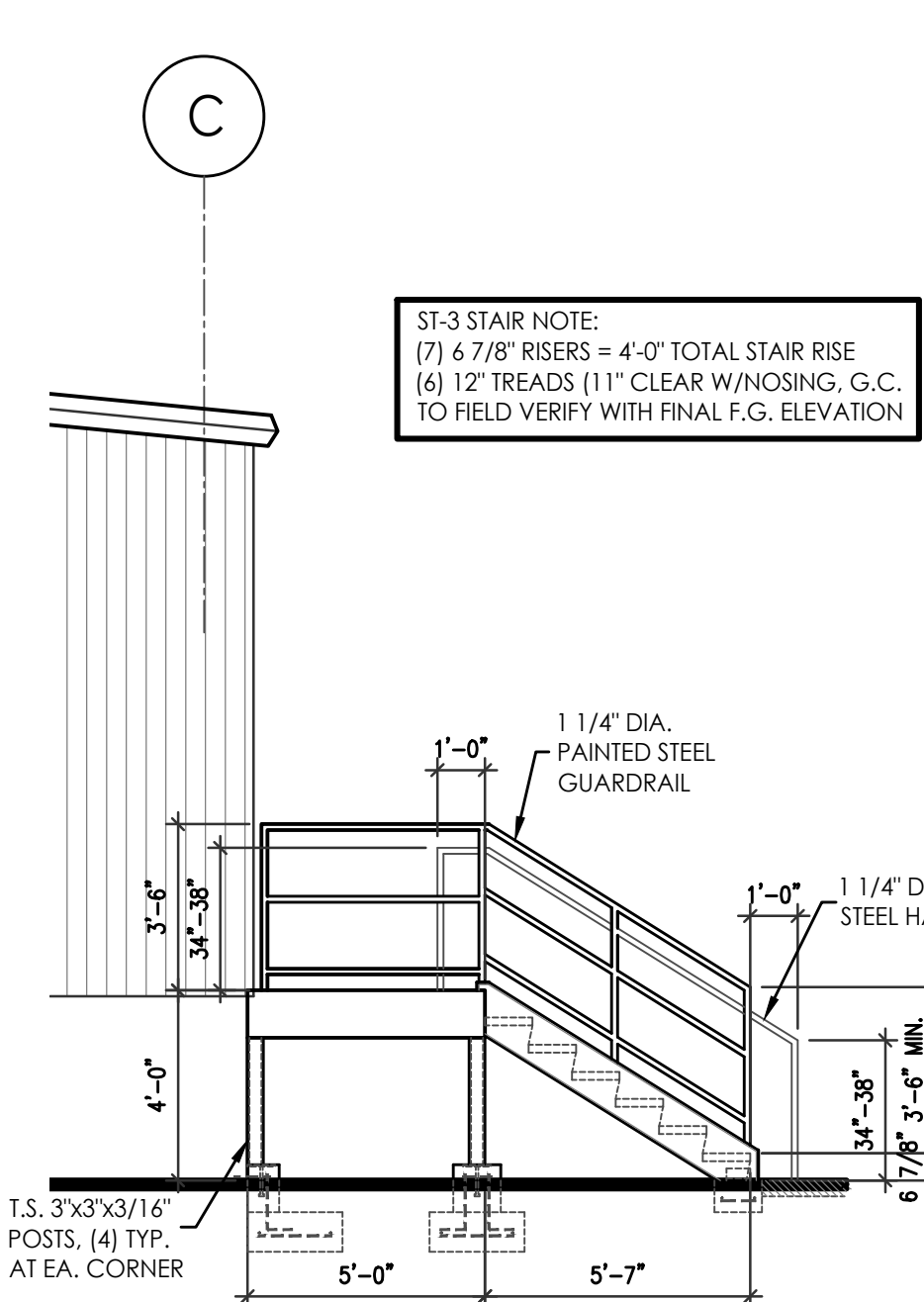
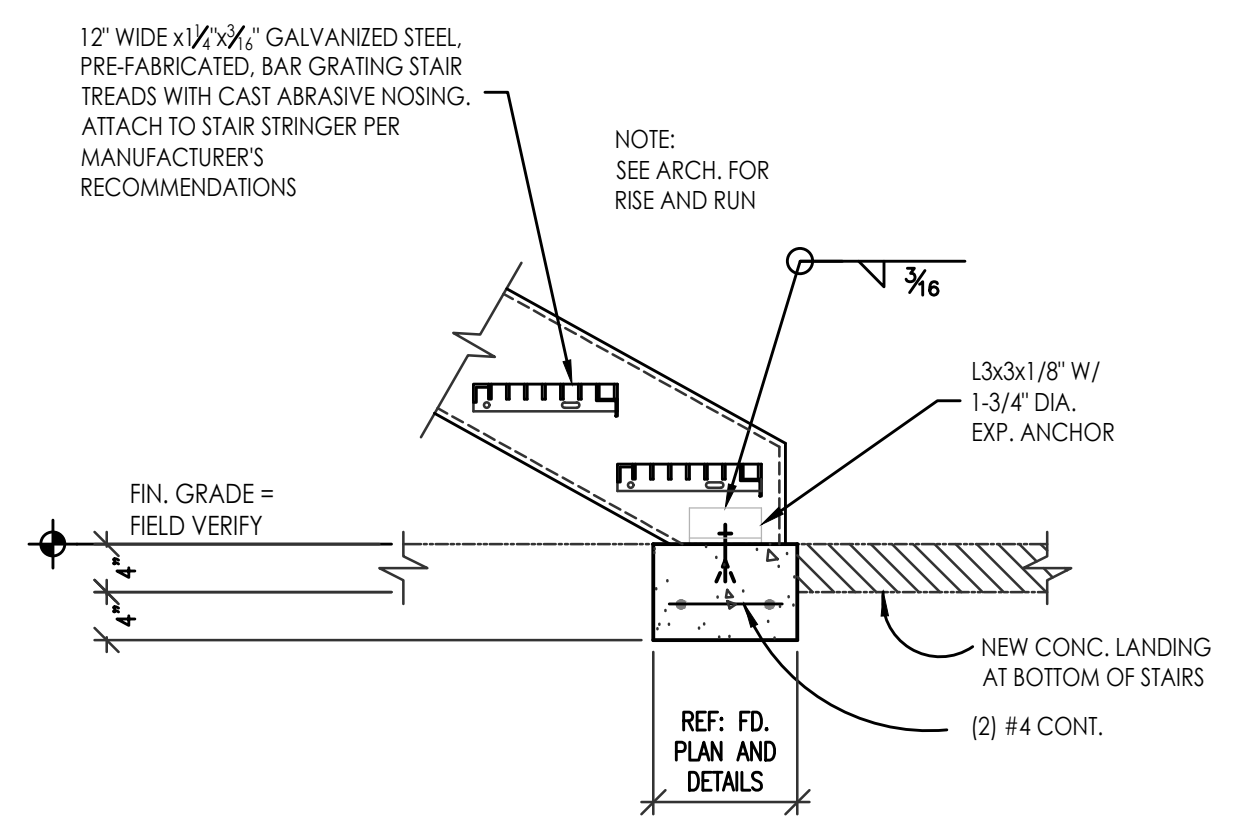
NEW DOCK E BUILDING
AREA = 904 S.F.

HONEYWELL WAREHOUSES
DOCK E FLOOR PLAN AND ELEVATIONS
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

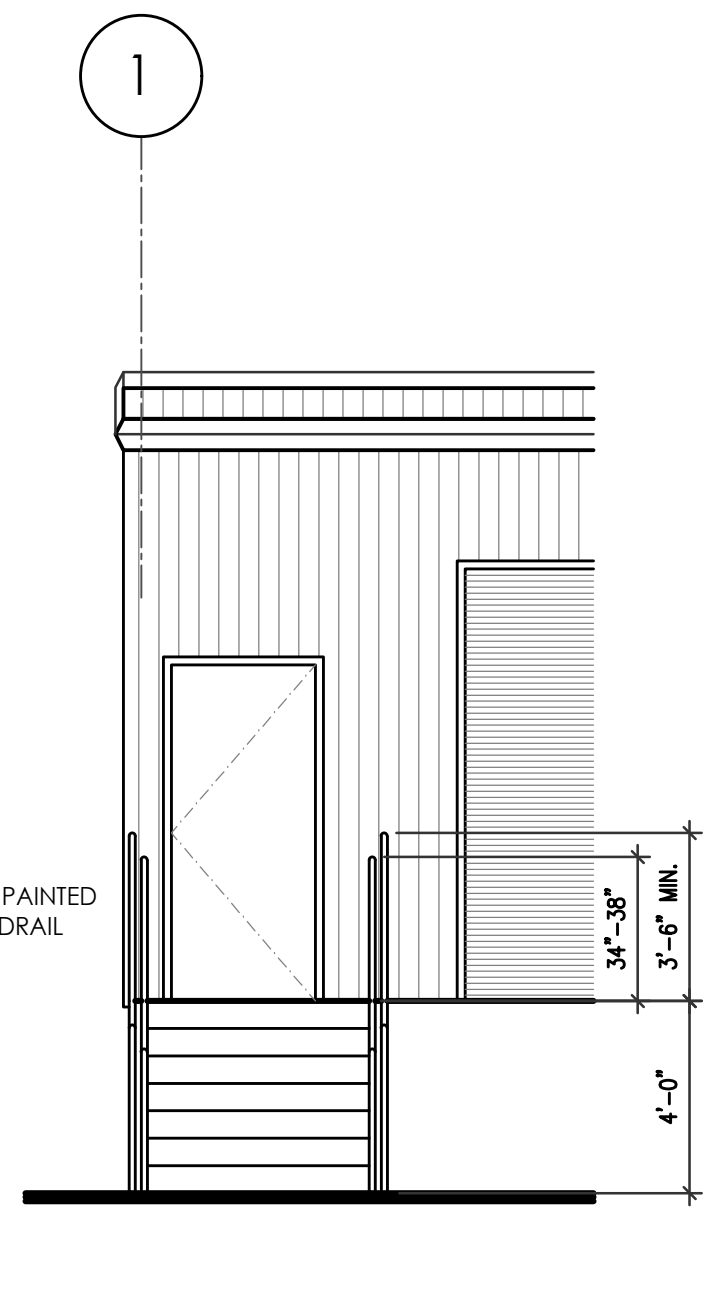
REVISION	DATE
DATE	3/22/2024
SHEET NUMBER	S-3.40



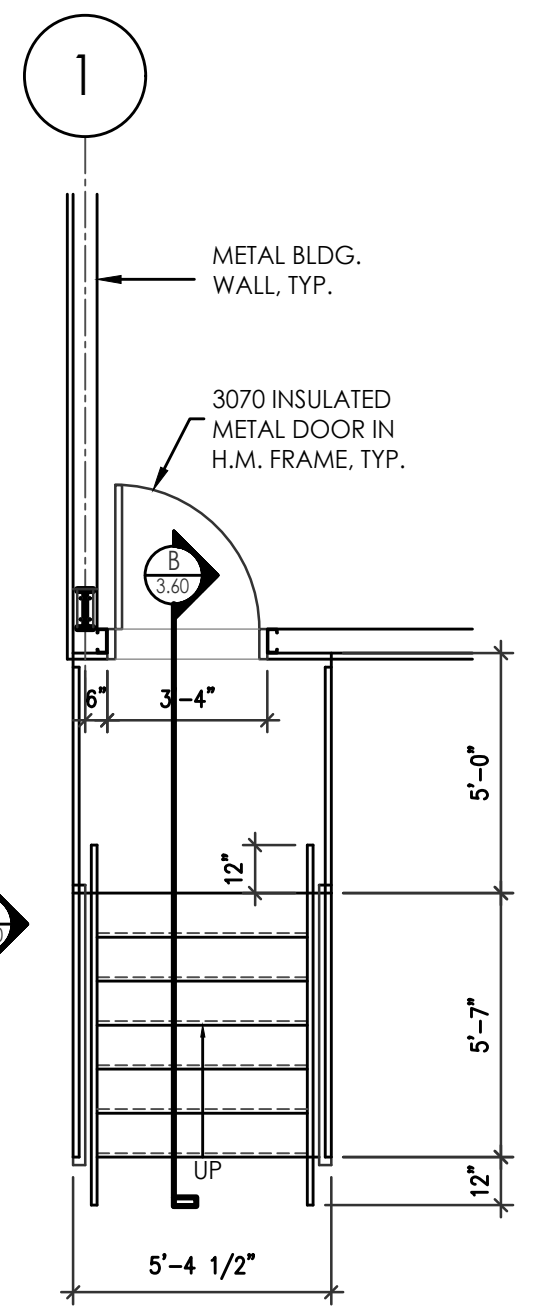
B DOCK E STAIR AND LANDING DETAIL
SCALE: 3/4"=1'-0"



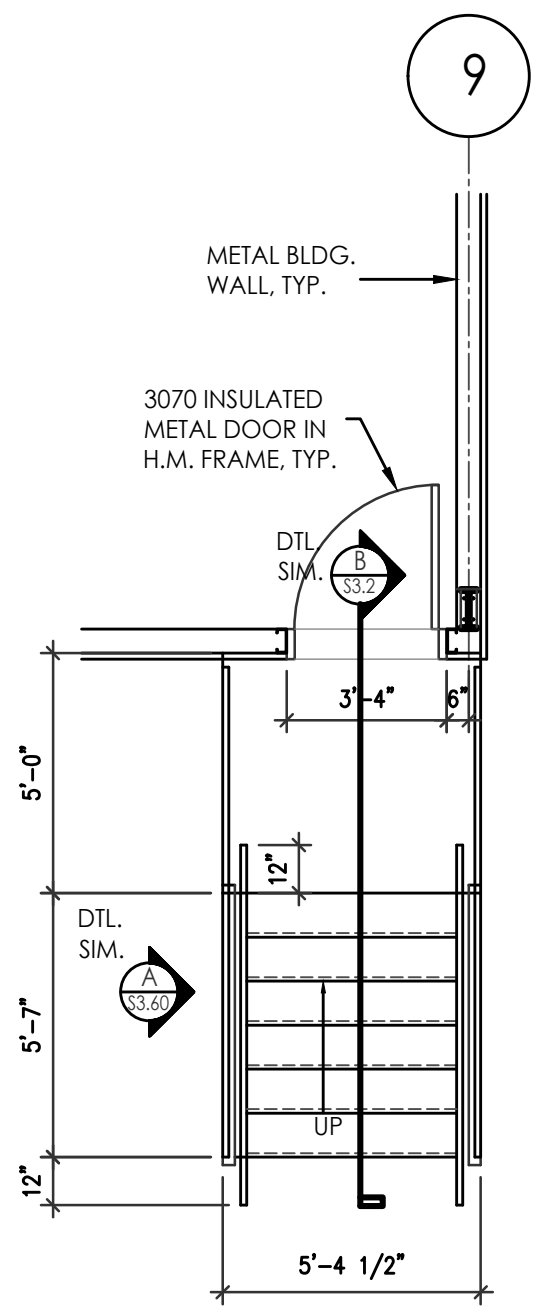
A DOCK E STAIR ELEVATION
SCALE: 1/4"=1'-0"



B DOCK E STAIR ELEVATION
SCALE: 1/4"=1'-0"



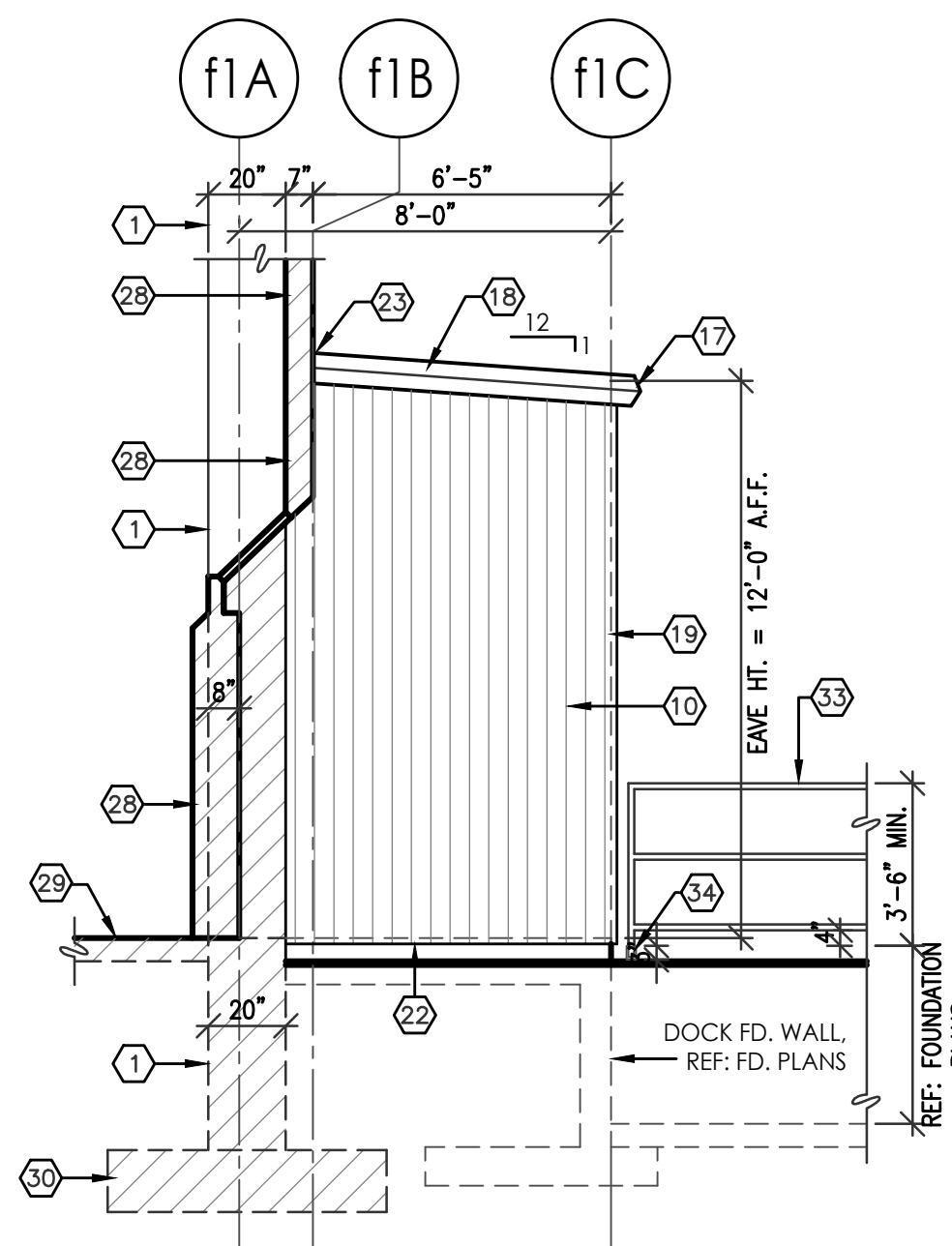
2 DOCK E STAIR PLAN
SCALE: 1/4"=1'-0"



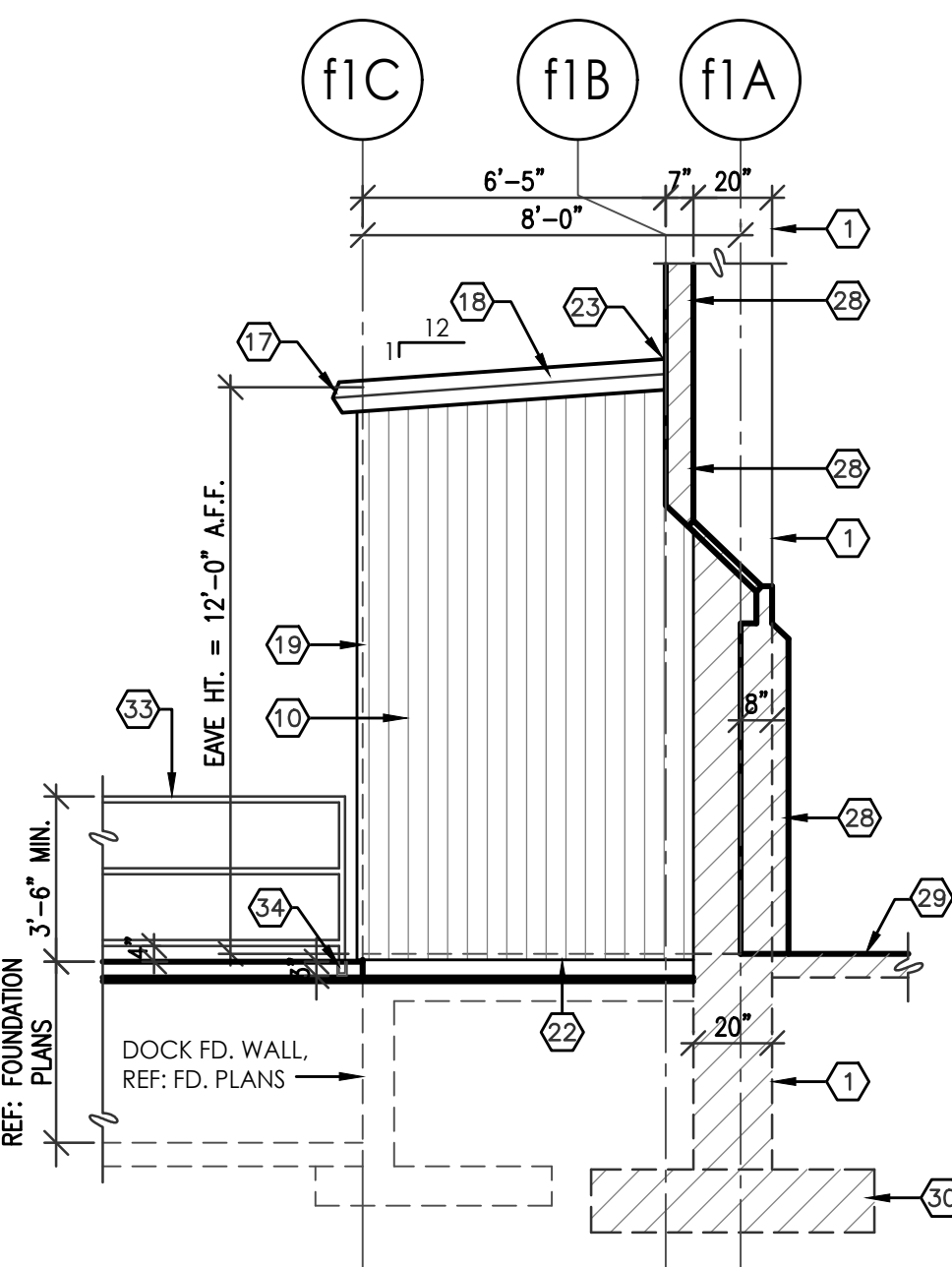
1 DOCK E STAIR PLAN
SCALE: 1/4"=1'-0"

HONEYWELL WAREHOUSES
DOCK E STAIR DETAILS
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

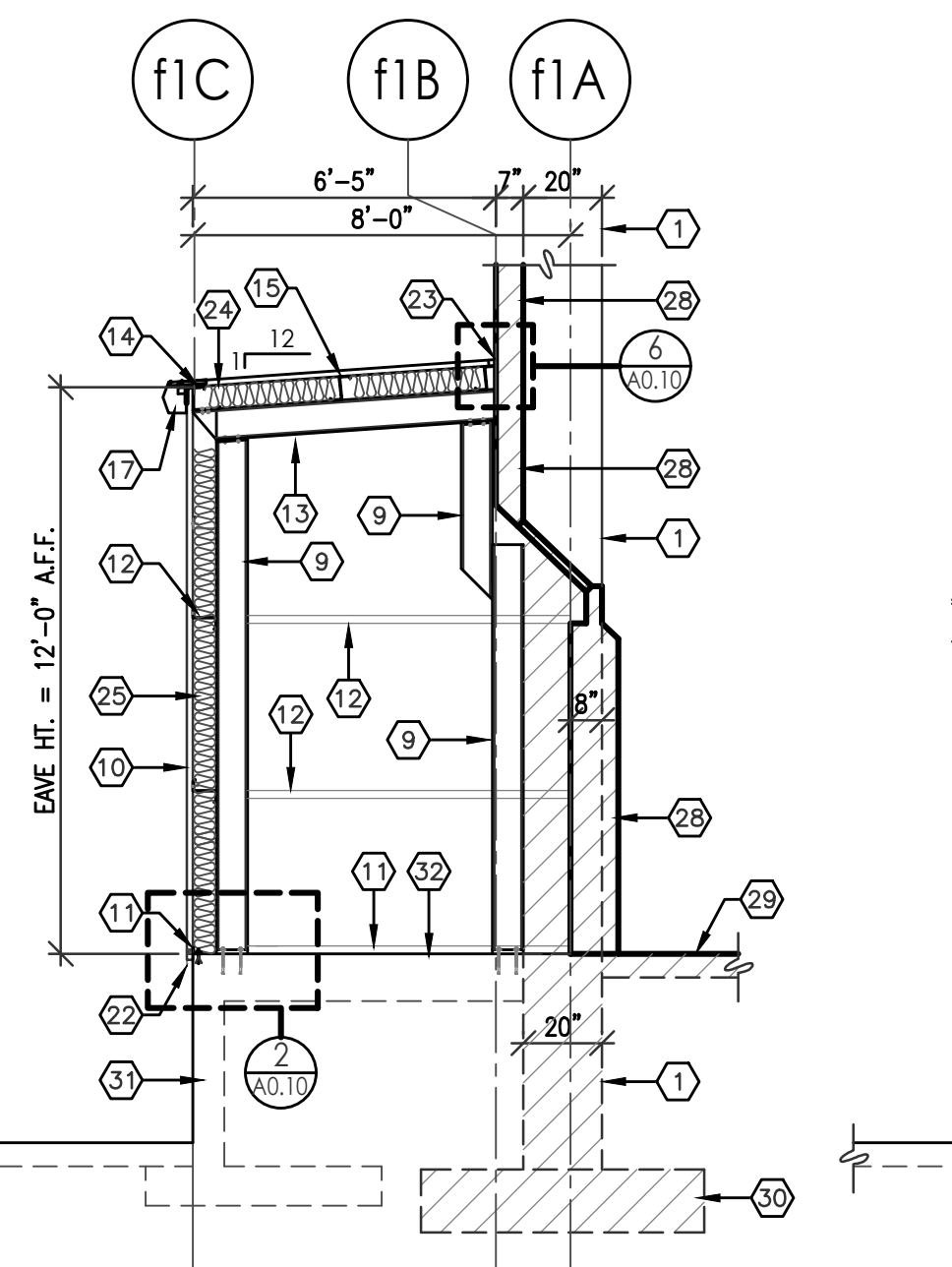
REVISION	DATE
DATE	3/22/2024
SHEET NUMBER	A-3.60



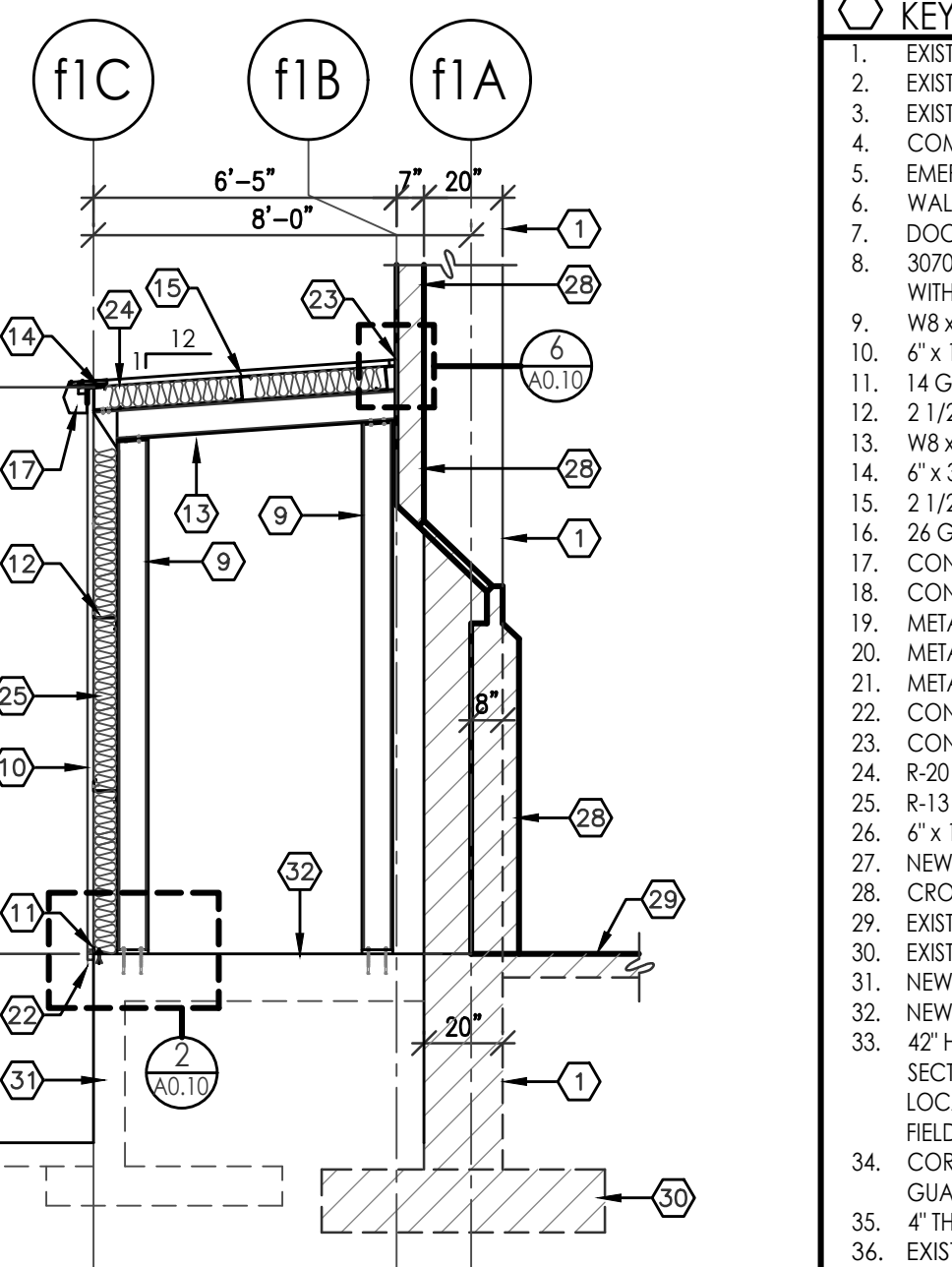
6 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



7 NORTH ELEVATION
SCALE: 1/4"=1'-0"

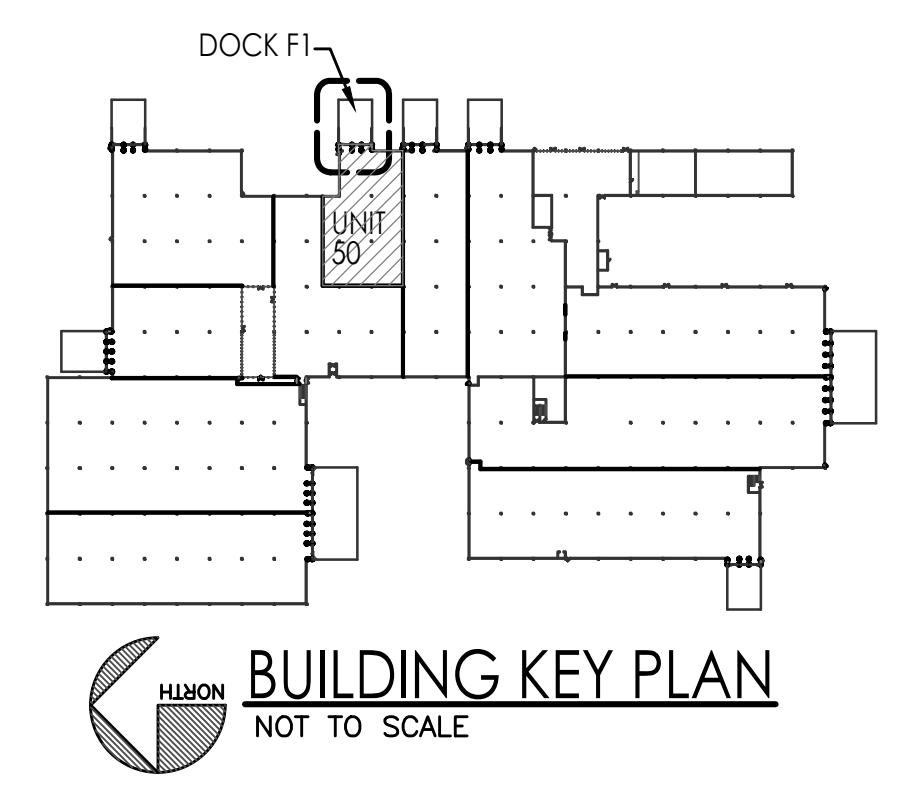


A SECTION
SCALE: 1/4"=1'-0"

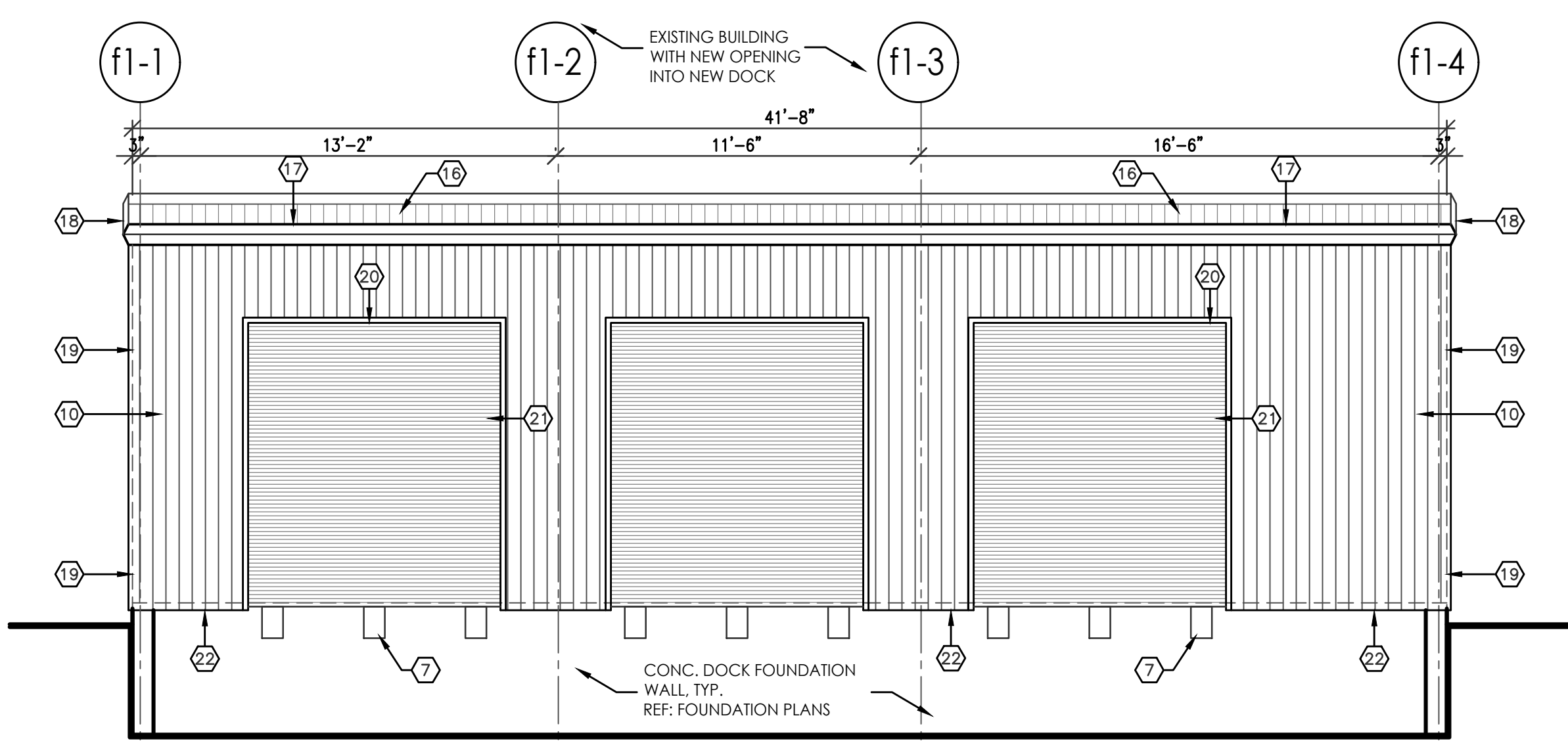


B SECTION
SCALE: 1/4"=1'-0"

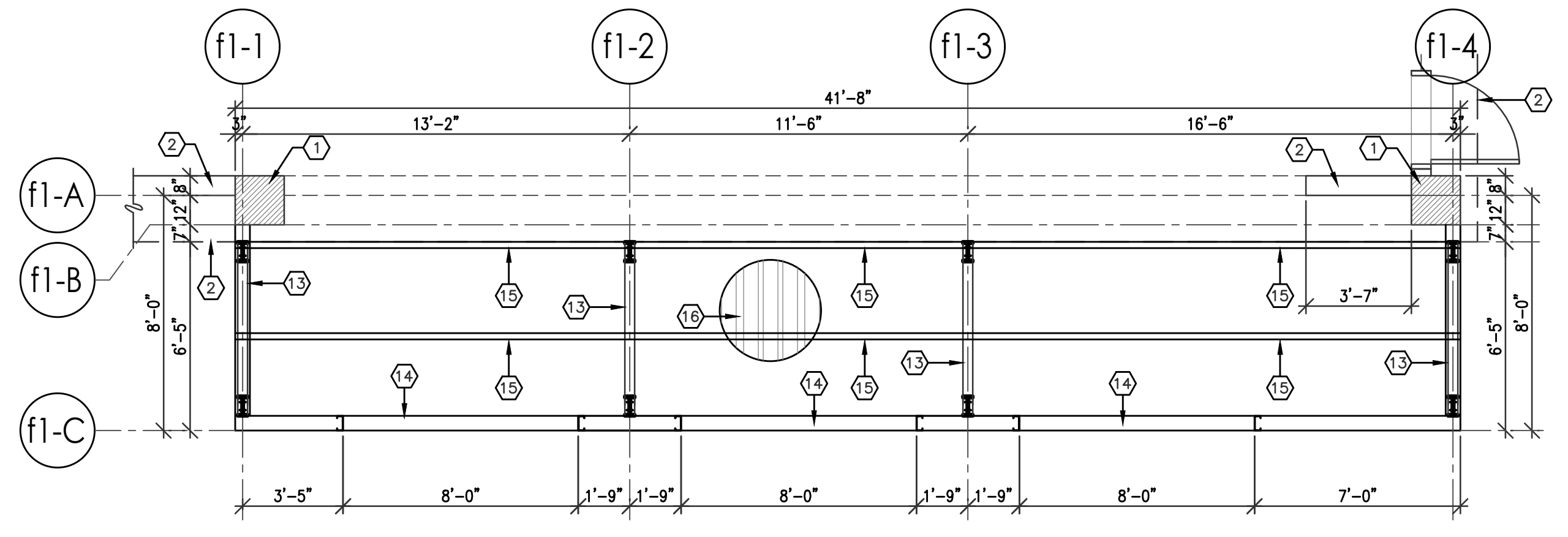
- KEYED NOTES**
- EXISTING 20" x 20" CONCRETE COLUMN.
 - EXISTING EXTERIOR WALL.
 - EXISTING WALL TO BE REMOVED.
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH BATTERY BACK-UP, REF. ELECTRICAL PLANS.
 - EMERGENCY LIGHT WITH BATTERY BACK-UP, REF. ELECTRICAL PLANS.
 - WALL MOUNTED FIRE EXTINGUISHER 2A-10-BC, TYP.
 - DOCK BUMPER, TYP.
 - 3070 INSULATED METAL DOOR IN HOLLOW METAL FRAME WITH 1/2" MAX. ALUM. THRESHOLD, DOOR WITH PANIC HARDWARE, KEYPAD LOCKSET, DOOR STOP, WEATHER STRIPPING AND AUTO CLOSURE.
 - W8 x 10 COLUMN, TYP.
 - 6" x 12 GA. CEE JAMB, TYP.
 - 14 GA. BASE ANGLE, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE GIRT, TYP.
 - W8 x 10 BEAM, TYP.
 - 6" x 3" EAVE STRUT, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE PURLIN, TYP.
 - 26 GA. PRB ROOF PANEL, TYP.
 - CONT. METAL EAVE GUTTER TRIM AND DOWNSPOUT (DOWNSPOUT NOT SHOWN).
 - CONT. RAKE/GABLE METAL TRIM, TYP.
 - METAL CORNER TRIM, TYP.
 - METAL HEAD TRIM, TYP.
 - METAL JAMB TRIM, TYP.
 - CONT. METAL WALL BASE TRIM, TYP.
 - CONT. METAL WALL BASE FLASHING, TYP.
 - R-20 VINYL FACED INSULATION, FULL COVERAGE, TYP.
 - R-13 VINYL FACED INSULATION, FULL HEIGHT OF WALL, TYP.
 - 6" x 14 GA. CEE HEADER, TYP.
 - NEW DENING WALL, REF. OVERALL FLOOR PLAN FOR WALL CONTINUATION AND WALL TYPE TAG.
 - CROSS HATCH DENOTES EXIST. EXTERIOR WALL.
 - EXIST. CONC. SLAB, TYP.
 - EXIST. CONC. COLUMN FOOTING, TYP.
 - NEW CONC. DOCK WALL, REF. FOUNDATION PLANS.
 - NEW CONC. SLAB AT NEW DOCK.
 - 42" HIGH MIN. 1 1/4" DIA. PAINTED STEEL GUARDRAIL, G.C. TO INSTALL GUARDRAIL PER 2021 I.B.C. SECTION 1015.2. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW, G.C. TO FIELD VERIFY GUARDRAIL LENGTH TO BE BUILT.
 - CORE DRILL CONC. RETAINING WALL FOR GUARDRAIL POST AND EPOXY POST IN PLACE, TYP., GUARDRAIL POSTS AT 8'-0" O.C. MAX.
 - 4" THICK x 5' x 5' CONCRETE STOOP AT EXIT DOOR, SLOPE CONC. 1/4" FT. SLOPE MIN. AWAY FOR DOOR.
 - EXIST. STOREFRONT DOOR TO REMAIN, G.C. TO ADD NEW DOOR HARDWARE, PANIC BAR, KEYPAD LOCKSET, DOOR STOP, AUTO CLOSURE, WEATHER STRIPPING, NEW 1/2" MAX. ALUM. THRESHOLDS AND NEW LIGHTER EXIT SIGNS WITH BATTERY BACK-UP AS REQUIRED.



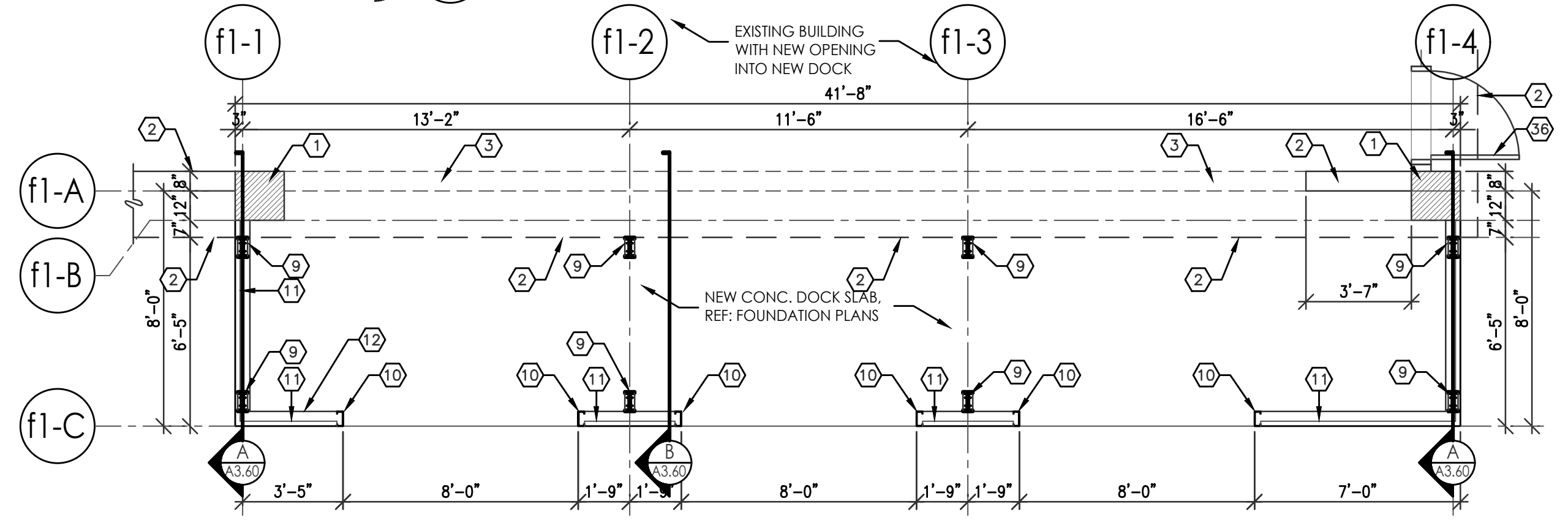
BUILDING KEY PLAN
NOT TO SCALE



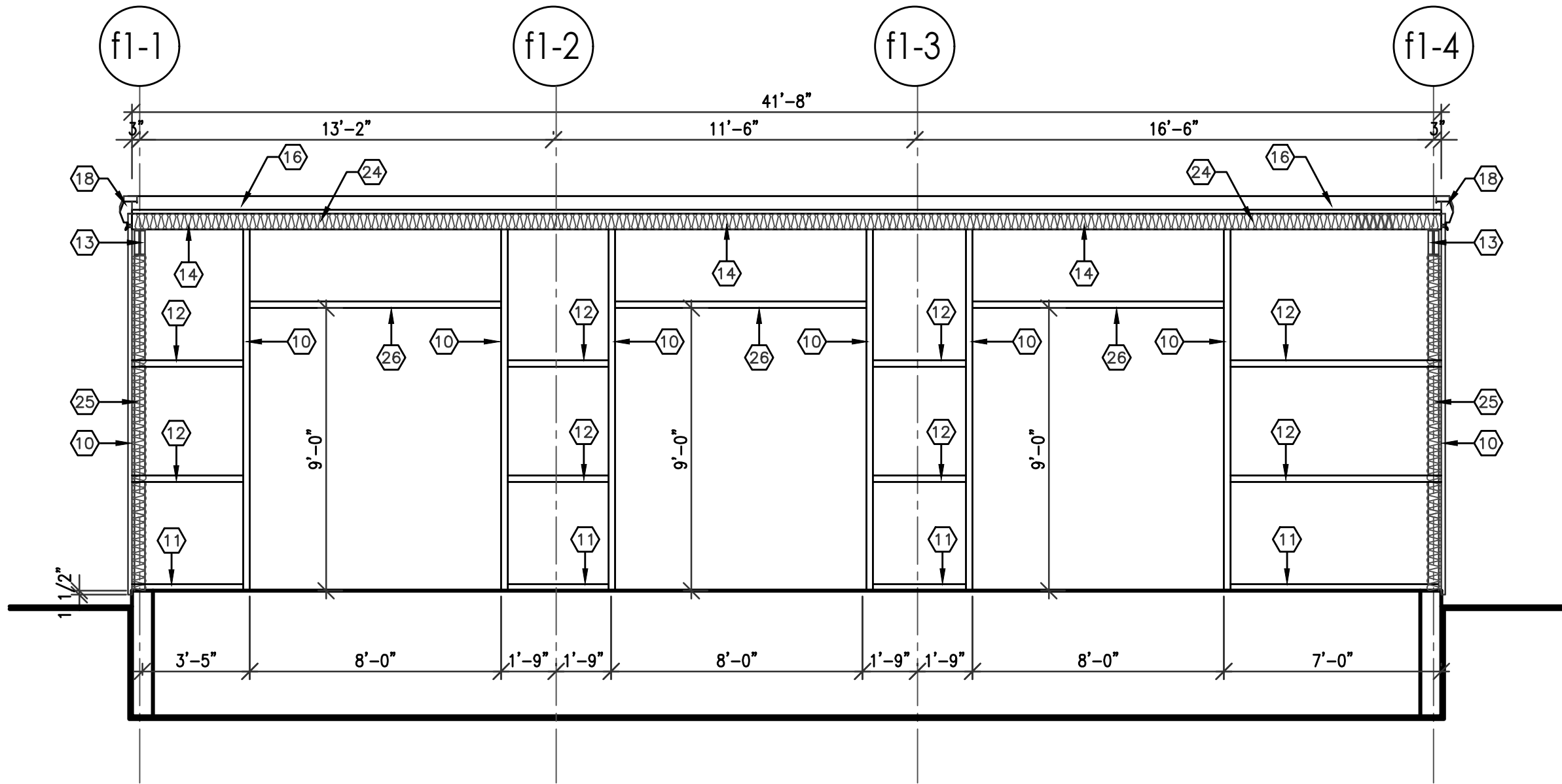
5 DOCK F1 EAST ELEVATION
SCALE: 1/4"=1'-0"



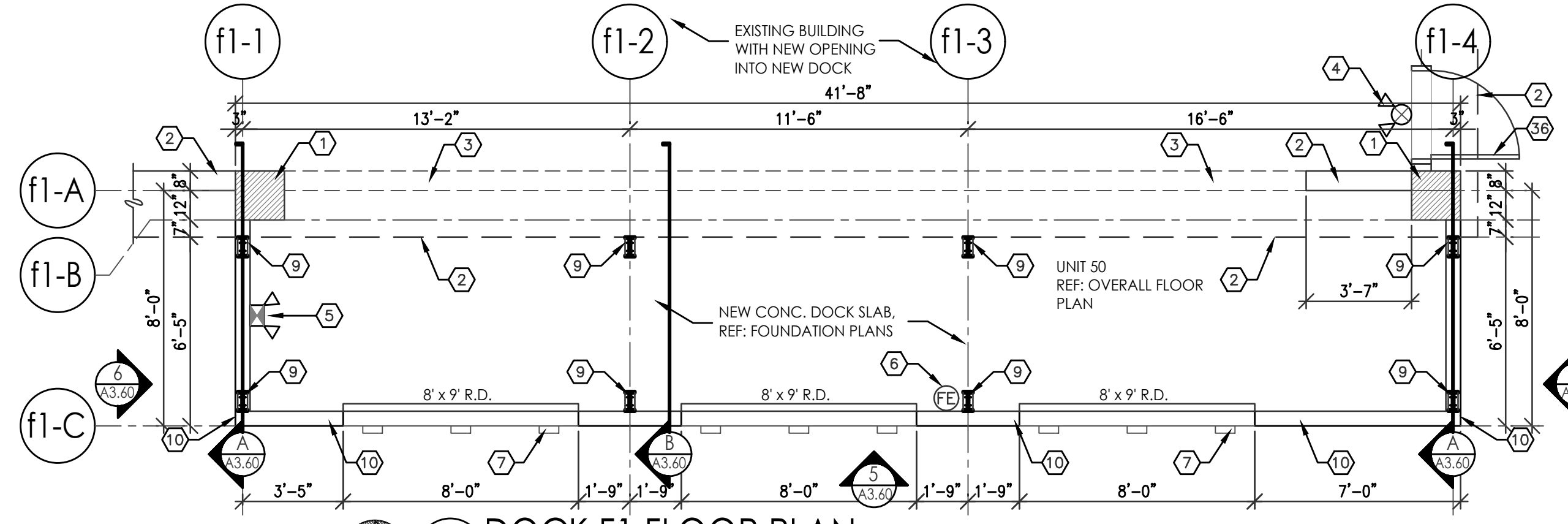
3 DOCK F1 ROOF FRAME PLAN
SCALE: 1/4"=1'-0"



2 DOCK F1 WALL FRAME PLAN
SCALE: 1/4"=1'-0"



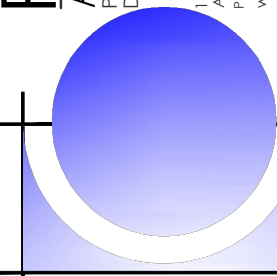
DOCK F1 WALL FRAME ELEVATION
SCALE: 1/4"=1'-0"

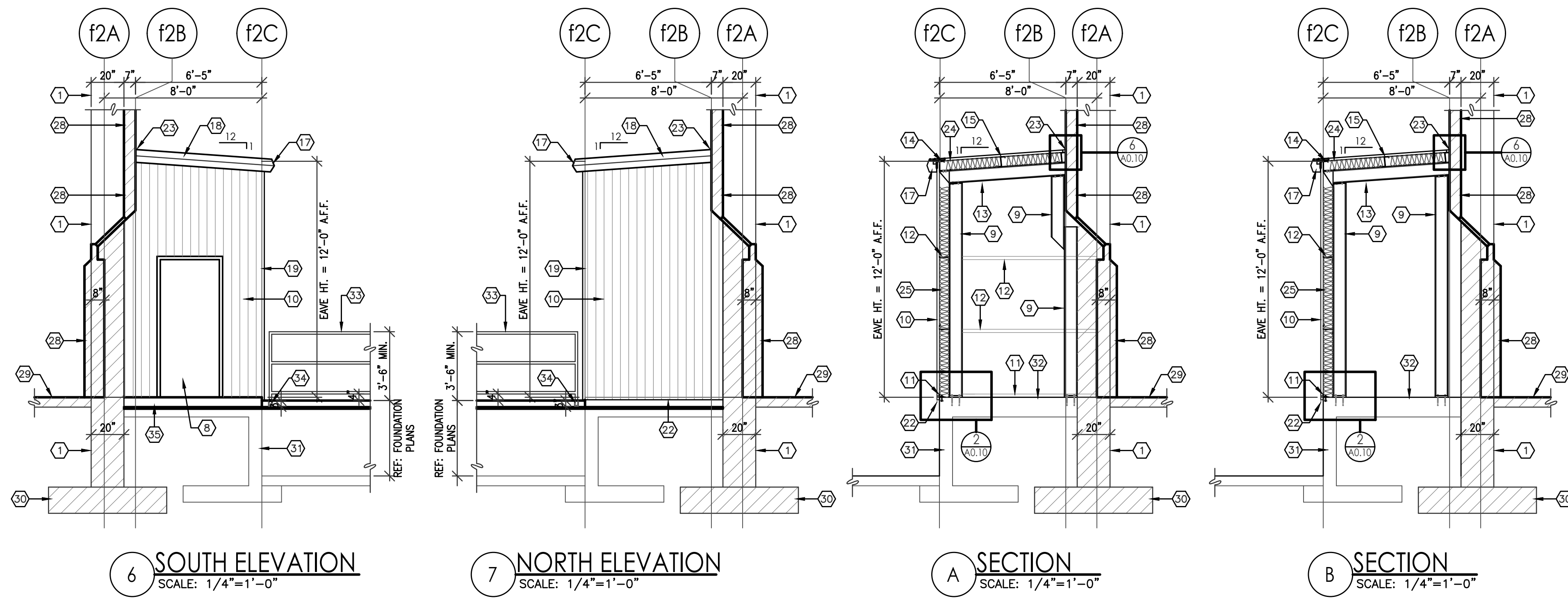


1 DOCK F1 FLOOR PLAN
SCALE: 1/4"=1'-0"

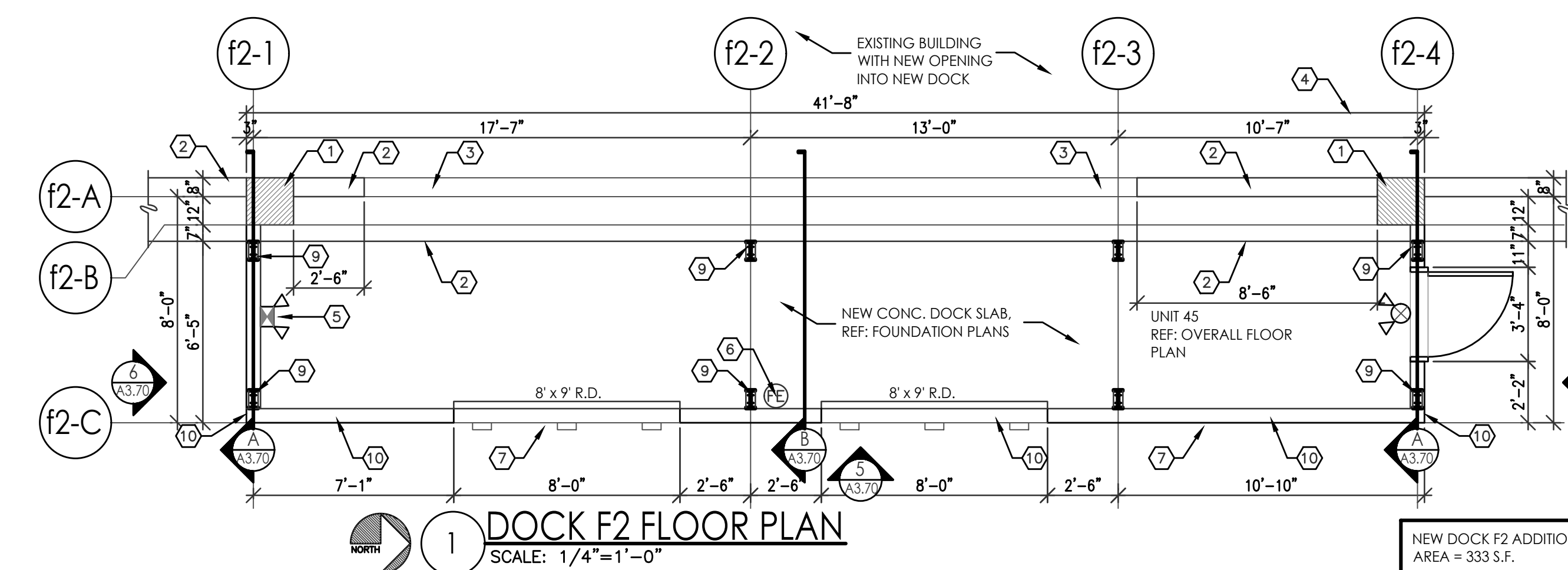
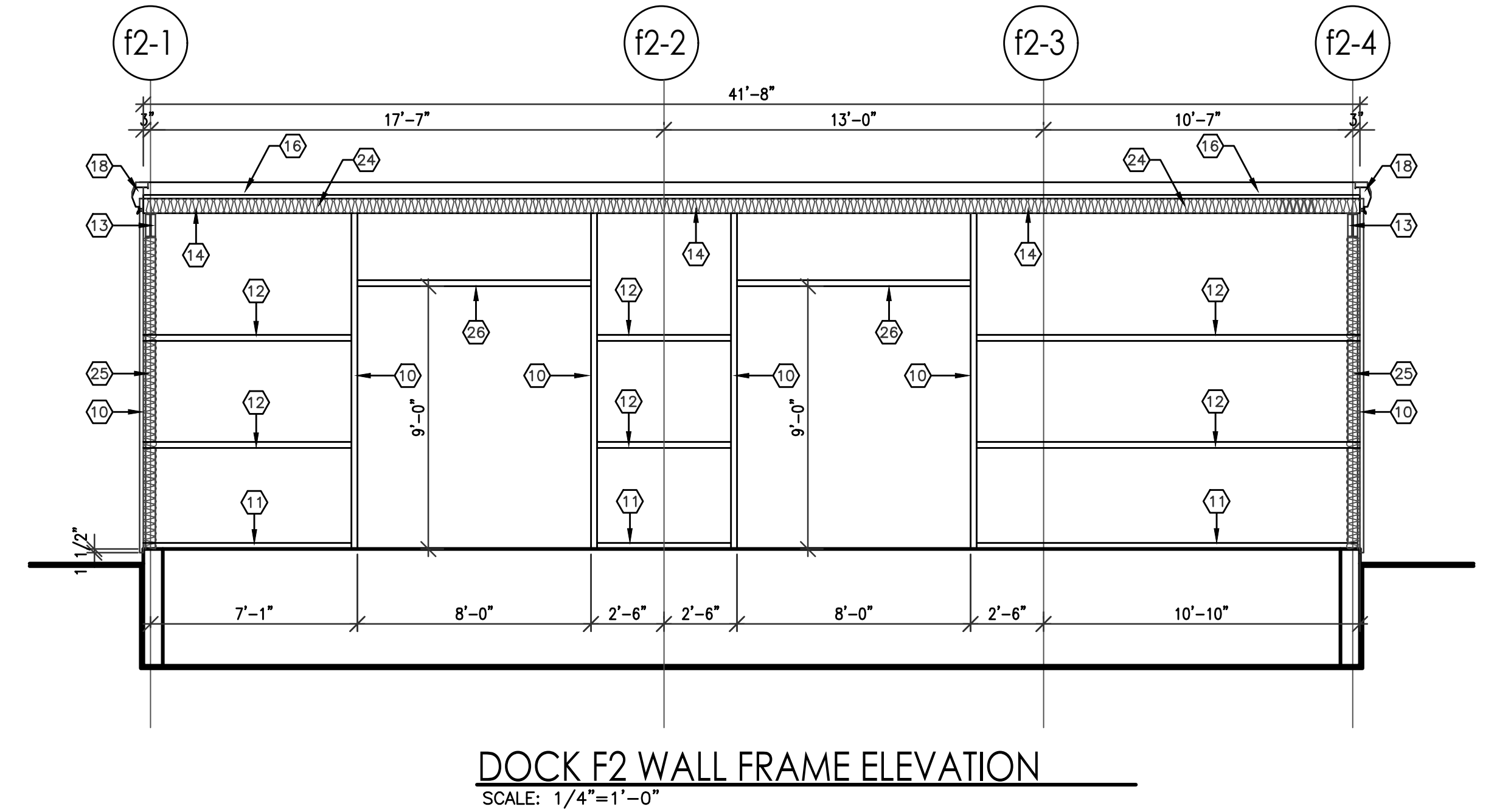
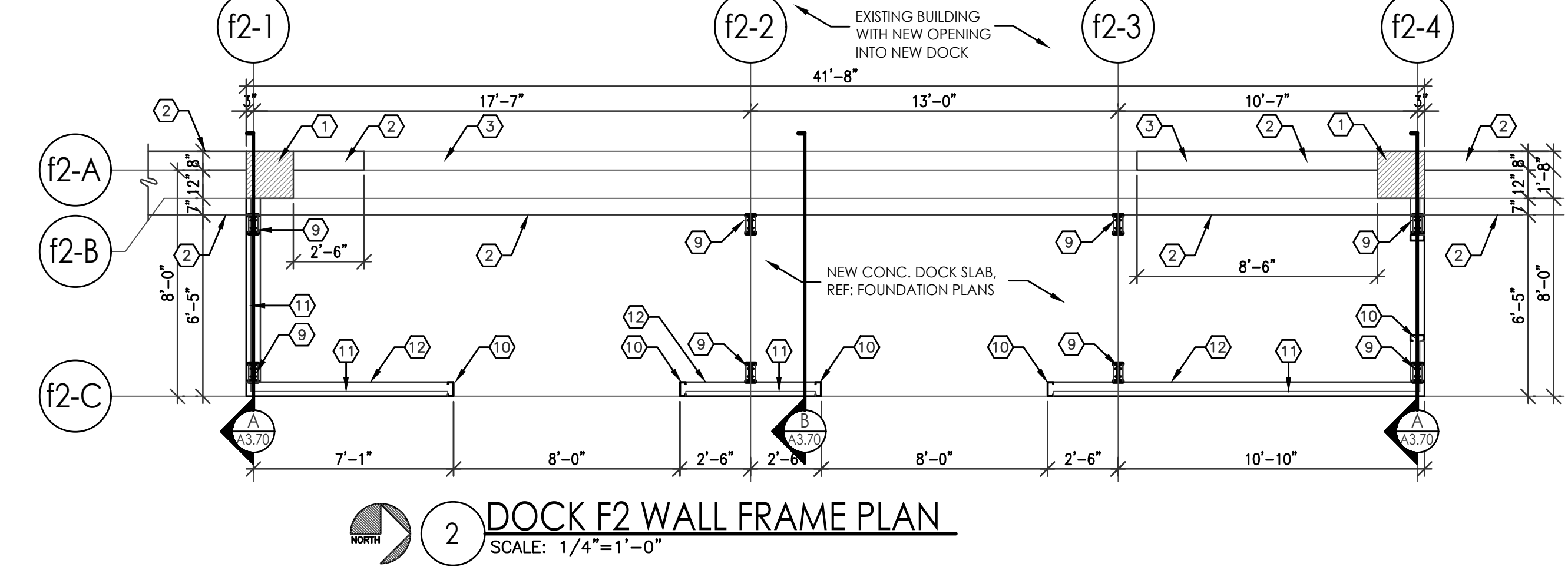
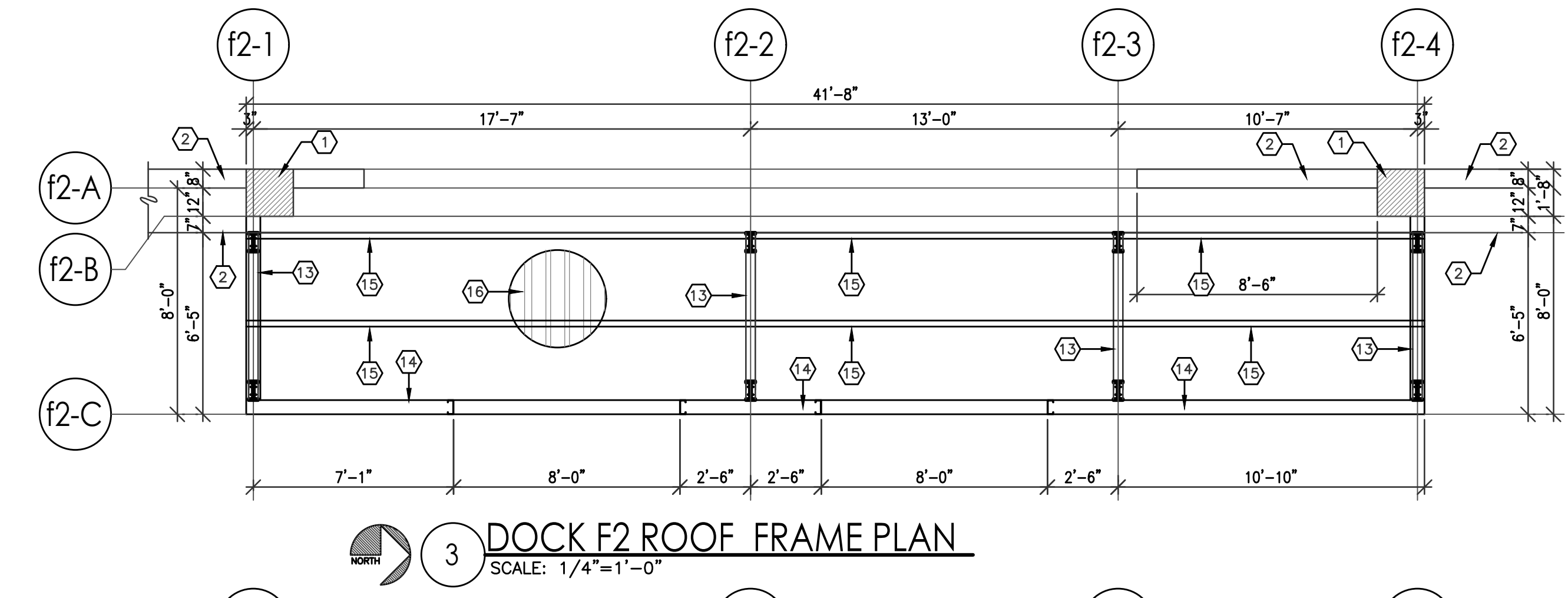
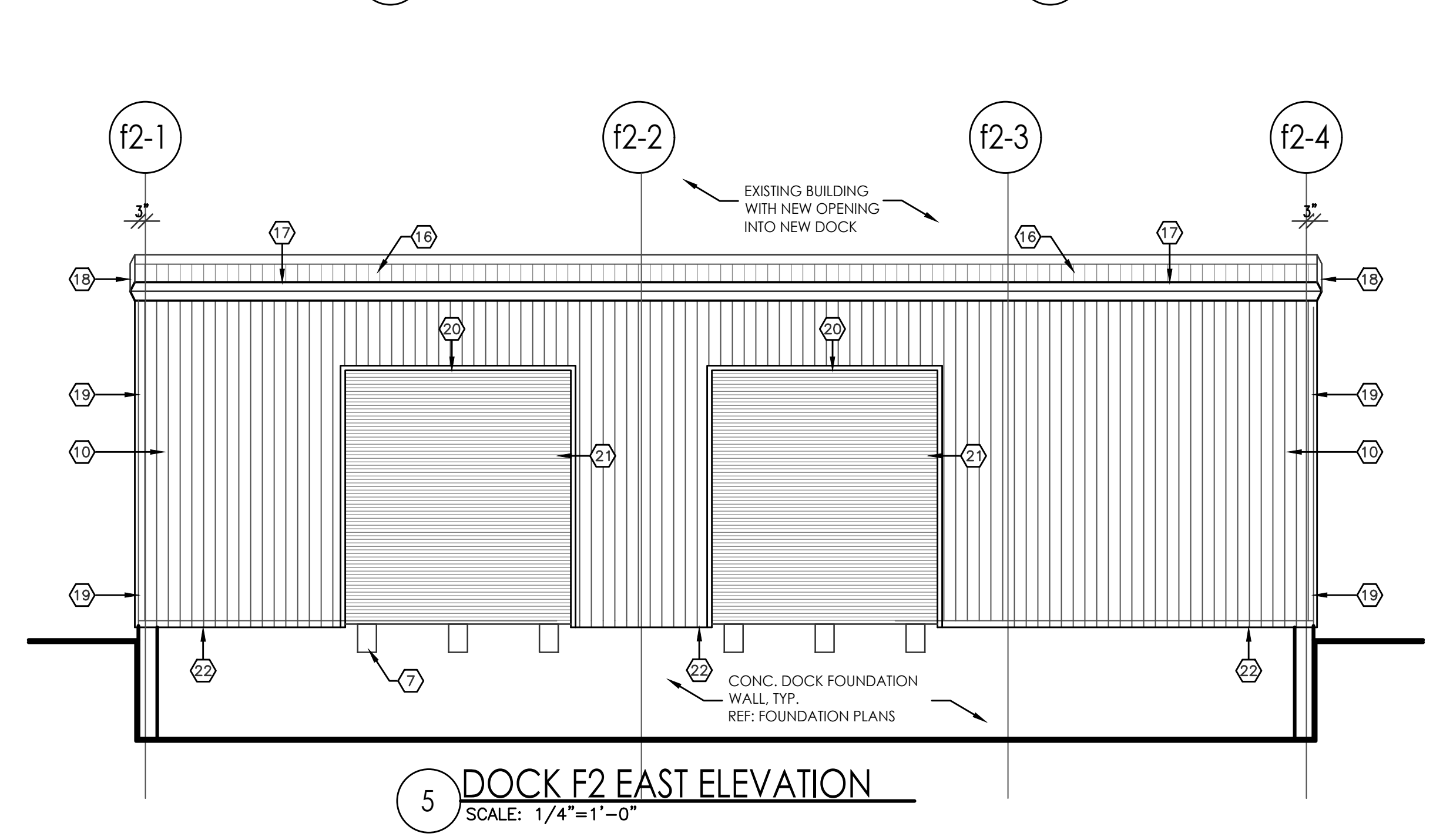
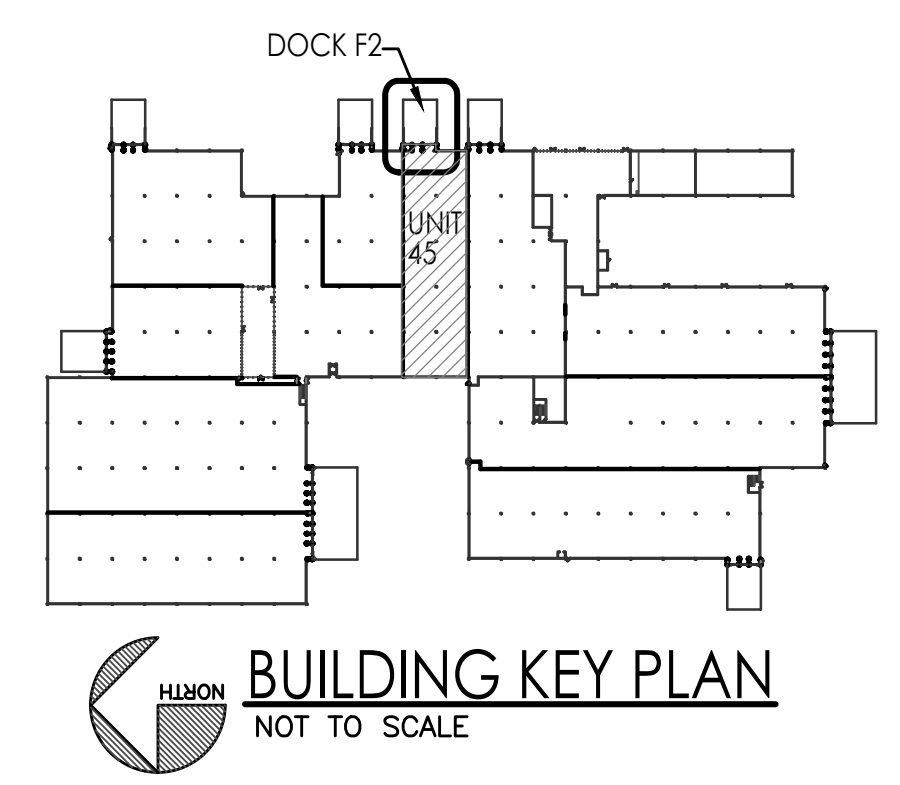
NEW DOCK F1 ADDITION
AREA = 333 S.F.

HONEYWELL WAREHOUSES
DOCK F1 ARCH AND STRUCTURAL PLANS
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

REVISION DATE
<p>RBA ARCHITECTURE, PC ARCHITECTURE PLANNING DESIGN</p> 
DATE 3/22/2024
SHEET NUMBER A-3.60



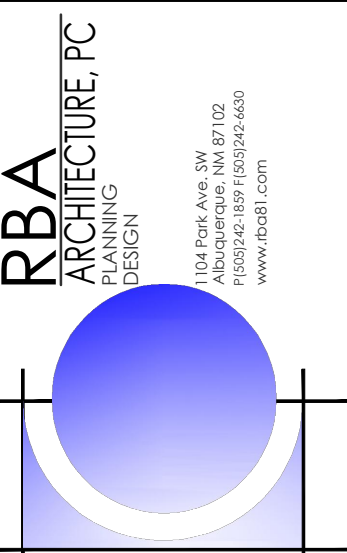
- KEYED NOTES**
- EXISTING 20" x 20" CONCRETE COLUMN.
 - EXISTING EXTERIOR WALL.
 - EXISTING WALL TO BE REMOVED.
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH BATTERY BACK-UP, REF: ELECTRICAL PLANS.
 - EMERGENCY LIGHT WITH BATTERY BACK-UP, REF: ELECTRICAL PLANS.
 - WALL MOUNTED FIRE EXTINGUISHER 2A-10-BC, TYP.
 - DOCK BUMPER, TYP.
 - 3070 INSULATED METAL DOOR IN HOLLOW METAL FRAME WITH 1/2" MAX. ALUM. THRESHOLD, DOOR WITH PANIC HARDWARE, KEYS LOCKSET, DOOR STOP, WEATHER STRIPPING AND AUTO CLOSURE.
 - W8 x 10 COLUMN, TYP.
 - 6" x 12 GA. CEE JAMB, TYP.
 - 14 GA. BASE ANGLE, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE GIRT, TYP.
 - W8 x 10 BEAM, TYP.
 - 6" x 3" EAVE STRUT, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE PURLIN, TYP.
 - 26 GA. PRB ROOF PANEL, TYP.
 - CONT. METAL EAVE GUTTER TRIM AND DOWNSPOUT (DOWNSPOUT NOT SHOWN).
 - CONT. RAKE/GABLE METAL TRIM, TYP.
 - METAL CORNER TRIM, TYP.
 - METAL HEAD TRIM, TYP.
 - METAL JAMB TRIM, TYP.
 - CONT. METAL WALL BASE TRIM, TYP.
 - CONT. METAL WALL BASE FLASHING, TYP.
 - R-20 VINYL FACED INSULATION, FULL COVERAGE, TYP.
 - R-13 VINYL FACED INSULATION, FULL HEIGHT OF WALL, TYP.
 - 6" x 14 GA. CEE HEADER, TYP.
 - NEW DENSING WALL, REF: OVERALL FLOOR PLAN FOR WALL CONTINUATION AND WALL TYPE TAG.
 - CROSS HATCH DENOTES EXIST. EXTERIOR WALL.
 - EXIST. CONC. SLAB, TYP.
 - EXIST. CONC. COLUMN FOOTING, TYP.
 - NEW CONC. DOCK WALL, REF: FOUNDATION PLANS.
 - NEW CONC. SLAB AT NEW DOCK.
 - 42" HIGH MIN. 1 1/4" DIA. PAINTED STEEL GUARDRAIL, G.C. TO INSTALL GUARDRAIL PER 2021 I.B.C. SECTION 1015.2. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW, G.C. TO FIELD VERIFY GUARDRAIL LENGTH TO BE BUILT.
 - CORE DRILL CONC. RETAINING WALL FOR GUARDRAIL POST AND EPOXY POST IN PLACE, TYP., GUARDRAIL POSTS AT 8'-0" O.C. MAX.
 - 4" THICK x 5' x 5' CONCRETE STOOP AT EXIT DOOR, SLOPE CONC. 1/4" FT. SLOPE MIN. AWAY FOR DOOR.
 - EXIST. STOREFRONT DOOR TO REMAIN, G.C. TO ADD NEW DOOR HARDWARE, PANIC BAR, KEYS LOCKSET, DOOR STOP, AUTO CLOSURE, WEATHER STRIPPING, NEW 1/2" MAX. ALUM. THRESHOLDS AND NEW LIGHTER EXIT SIGNS WITH BATTERY BACK-UP AS REQUIRED.

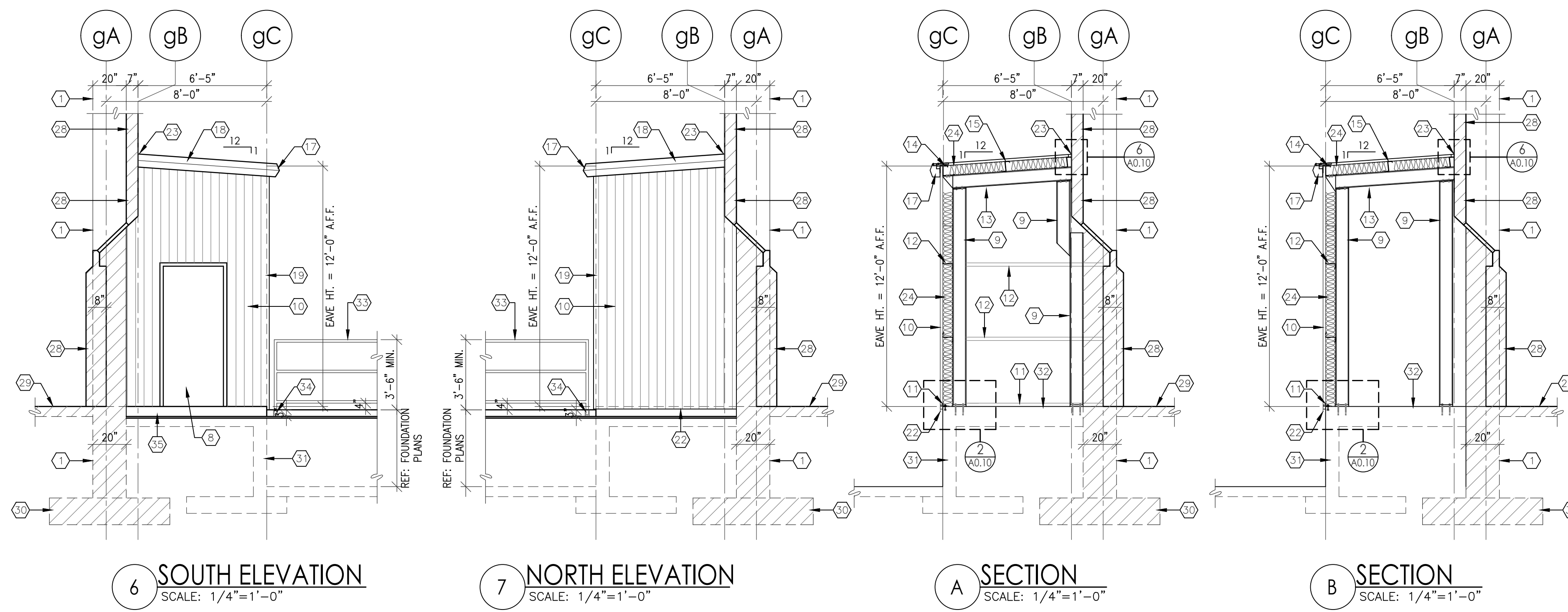


NEW DOCK F2 ADDITION
AREA = 333 S.F.

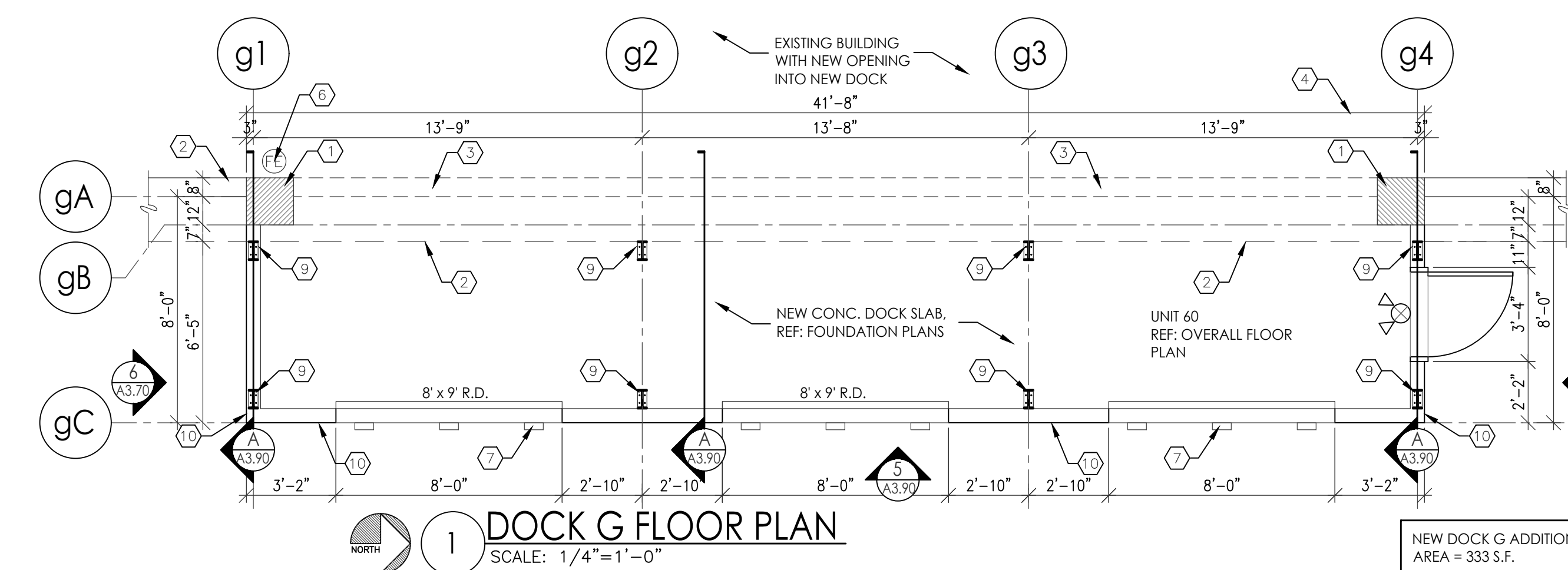
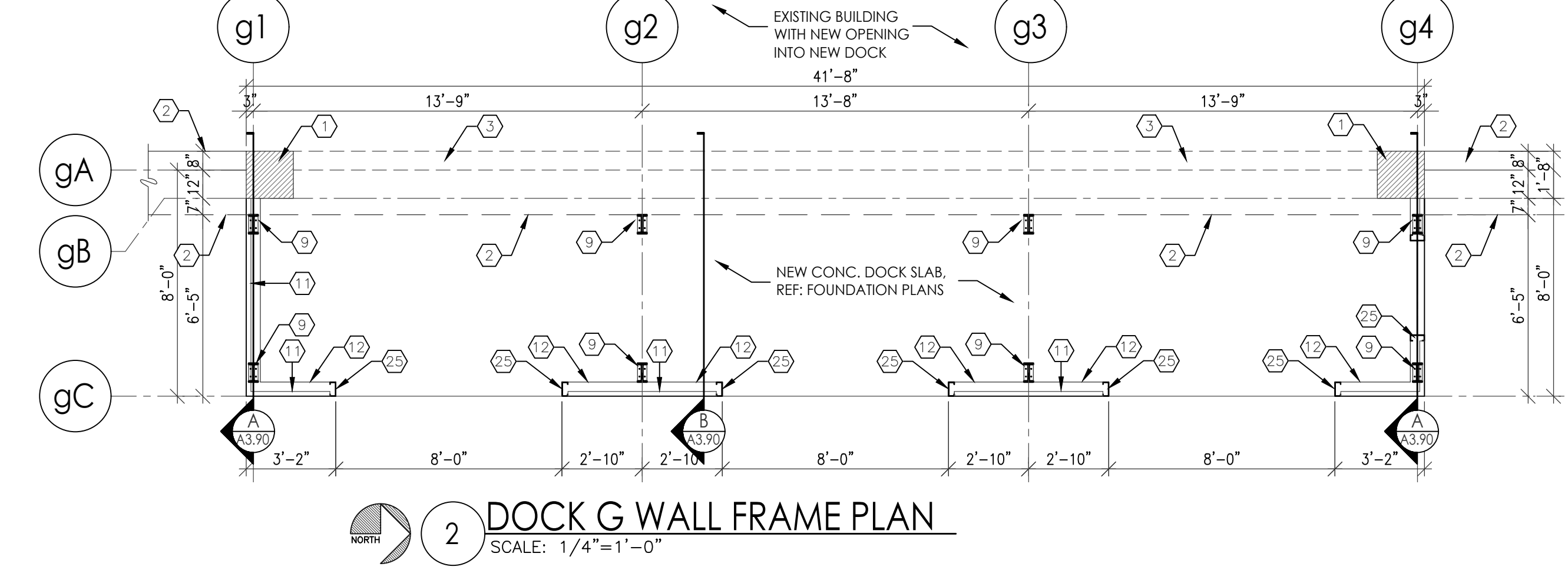
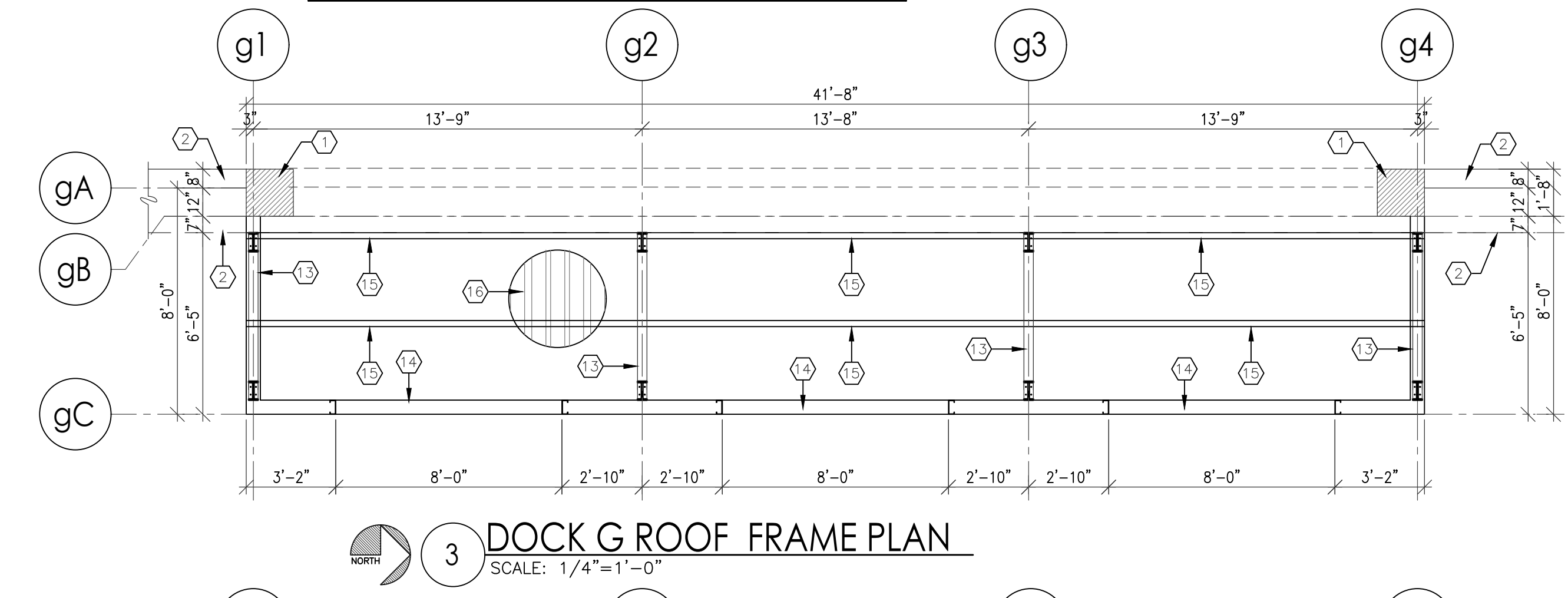
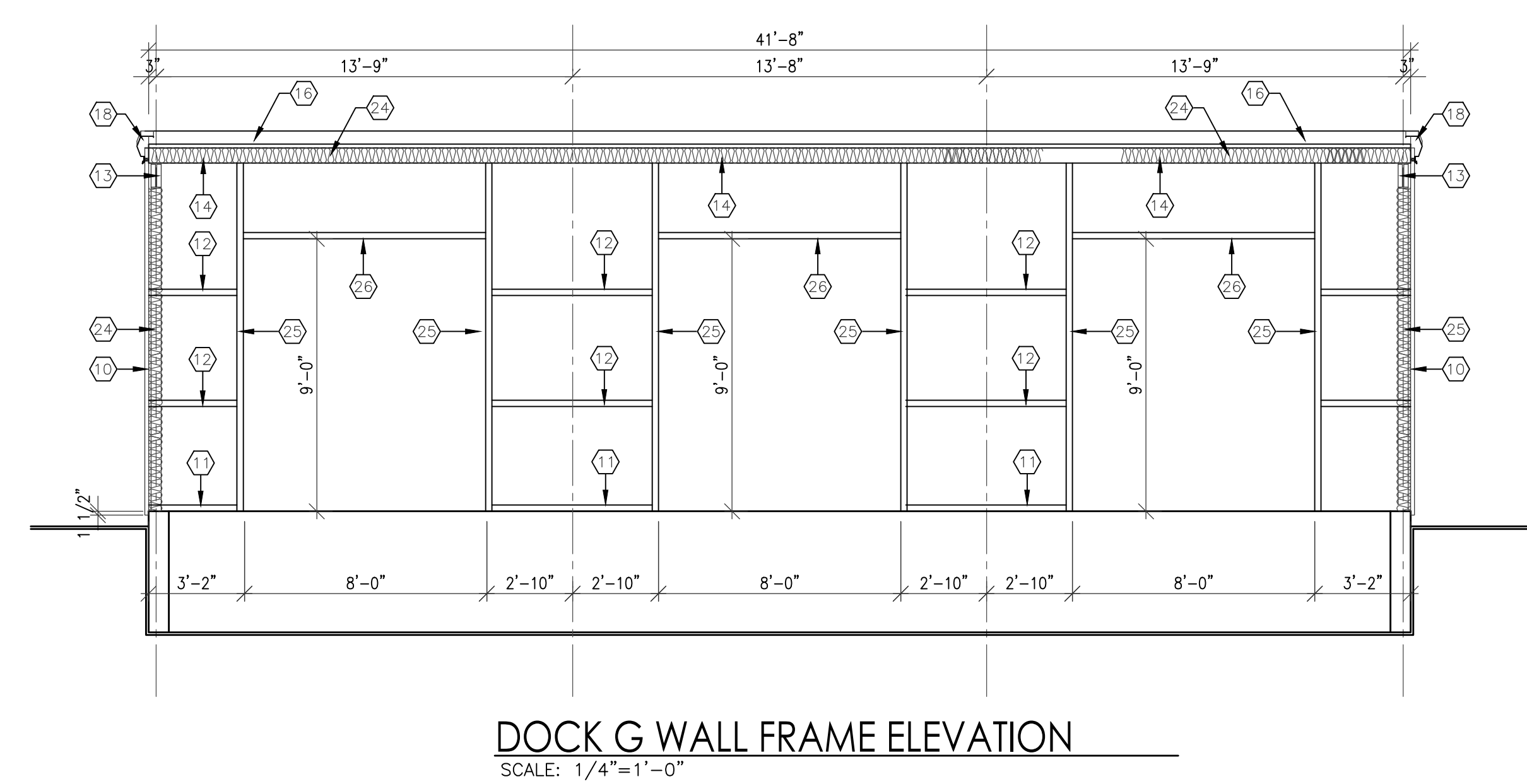
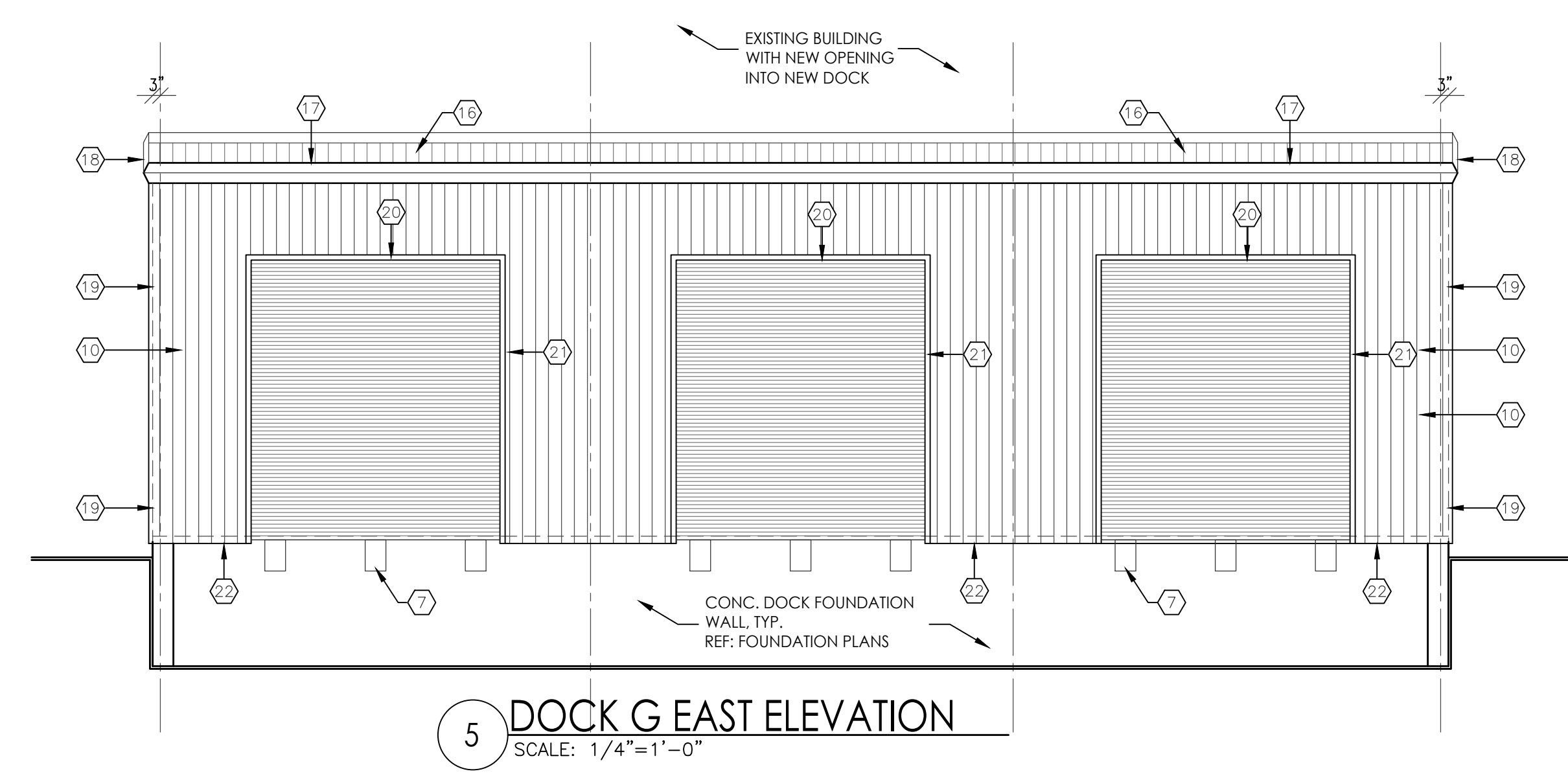
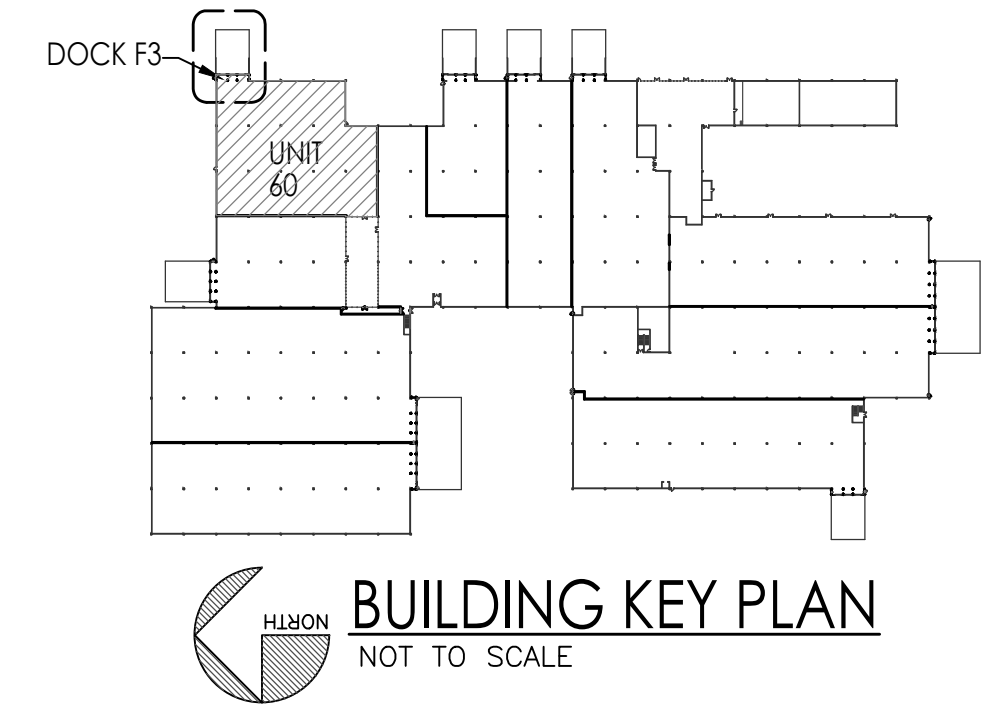
HONEYWELL WAREHOUSES
DOCK F2 ARCH AND STRUCTURAL PLANS
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

REVISION DATE
DATE 3/22/2024
SHEET NUMBER A-3.70





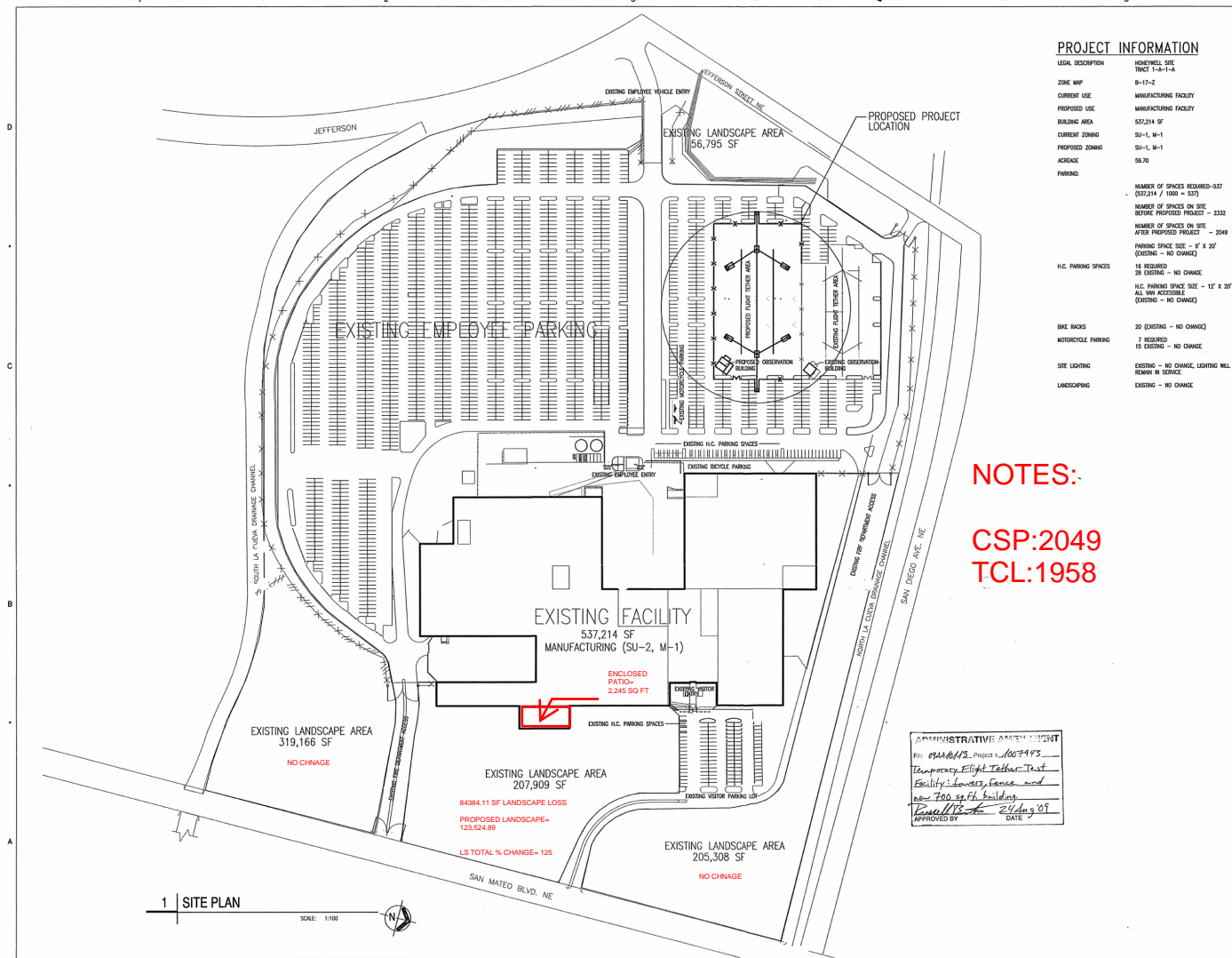
- KEYED NOTES**
- EXISTING 20" x 20" CONCRETE COLUMN.
 - EXISTING EXTERIOR WALL.
 - EXISTING WALL TO BE REMOVED.
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH BATTERY BACK-UP, REF: ELECTRICAL PLANS.
 - EMERGENCY LIGHT WITH BATTERY BACK-UP, REF: ELECTRICAL PLANS.
 - WALL MOUNTED FIRE EXTINGUISHER 2A-10-BC, TYP.
 - DOCK BUMPERS, TYP.
 - 3070 INSULATED METAL DOOR IN HOLLOW METAL FRAME WITH 1/2" MAX. ALUM. THRESHOLD, DOOR WITH PANIC HARDWARE, KEYPED LOCKSET, DOOR STOP, WEATHER STRIPPING AND AUTO CLOSURE.
 - W8 x 10 COLUMN, TYP.
 - 24 GA. METAL WALL PANEL, TYP.
 - 14 GA. BASE ANGLE, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE GIRT, TYP.
 - W8 x 10 BEAM, TYP.
 - 6" x 3" EAVE STRUT, TYP.
 - 2 1/2" x 6" x 14 GA. ZEE PURLIN, TYP.
 - 24 GA. PRB ROOF PANEL, TYP.
 - CONT. METAL LEAVE GUTTER TRIM AND DOWNSPOUT (DOWNSPOUT NOT SHOWN).
 - CONT. RAKE/GABLE METAL TRIM, TYP.
 - METAL CORNER TRIM, TYP.
 - METAL HEAD TRIM, TYP.
 - METAL JAMB TRIM, TYP.
 - CONT. METAL WALL BASE TRIM, TYP.
 - CONT. METAL WALL BASE FLASHING, TYP.
 - R-20 VINYL FACED INSULATION AT ROOF, FULL COVERAGE AND R-13 VINYL FACED INSULATION AT WALL, FULL HEIGHT OF WALL, TYP.
 - 6" x 12 GA. CEE JAMB, TYP.
 - R-13 VINYL FACED INSULATION, FULL HEIGHT OF WALL, TYP.
 - 6" x 14 GA. CEE HEADER, TYP.
 - NEW DEMISING WALL, REF: OVERALL FLOOR PLAN FOR WALL CONTINUATION AND WALL TYPE TAG.
 - CROSS HATCH DENOTES EXIST. EXTERIOR WALL.
 - EXIST. CONC. SLAB, TYP.
 - EXIST. CONC. COLUMN FOOTING, TYP.
 - NEW CONC. DOCK WALL, REF: FOUNDATION PLANS.
 - NEW CONC. SLAB AT NEW DOCK, REF: FOUNDATION PLANS.
 - 42" HIGH MIN. 1 1/4" DIA. PAINTED STEEL GUARDRAIL, G.C. TO INSTALL GUARDRAIL PER 2021 I.B.C. SECTION 1015.2. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW, G.C. TO FIELD VERIFY GUARDRAIL LENGTH TO BE BUILT. CORE DRILL CONC. RETAINING WALL FOR GUARDRAIL POST AND EPOXY POST IN PLACE, TYP., GUARDRAIL POSTS AT 8'-0" O.C. MAX.
 - 4" THICK x 5' x 5' CONCRETE STOOP AT EXIT DOOR, SLOPE CONC. 1/4"/FT. SLOPE MIN. AWAY FOR DOOR.



NEW DOCK G ADDITION AREA = 333 S.F.

HONEYWELL WAREHOUSES
DOCK G ARCH AND STRUCTURAL PLANS
9201 SAN MATEO BLVD NE.
ALBUQUERQUE, NM 87113
#2354

REVISION DATE
RBA ARCHITECTURE, P.C. ARCHITECTURE PLANNING DESIGN 1000 University Blvd. NE Albuquerque, NM 87102 www.rba.com
DATE 3/22/2024
SHEET NUMBER A-3.90

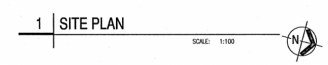


PROJECT INFORMATION

LEGAL DESCRIPTION	HONEYWELL SITE TRACT 1-A-1-A
ZONE MAP	SI-17-2
CURRENT USE	MANUFACTURING FACILITY
PROPOSED USE	MANUFACTURING FACILITY
BUILDING AREA	537,214 SF
CURRENT ZONING	SI-1, M-1
PROPOSED ZONING	SI-1, M-1
ACREAGE	58.70
PARKING	
NUMBER OF SPACES REQUIRED-SIT	14
(537,214 / 1,000 = 537)	
NUMBER OF SPACES ON SITE BEFORE PROPOSED PROJECT	- 2332
NUMBER OF SPACES ON SITE AFTER PROPOSED PROJECT	- 2049
PARKING SPACE SIZE - 8' X 20'	(EXISTING - NO CHANGE)
14 REQUIRED	
28 EXISTING	- NO CHANGE
H.C. PARKING SPACE SIZE - 12' X 20'	ALL NOW ACCESSIBLE (EXISTING - NO CHANGE)
20 (EXISTING - NO CHANGE)	
BIKE RACKS	7 REQUIRED
MOTORCYCLE PARKING	15 EXISTING - NO CHANGE (EXISTING - NO CHANGE)
SITE LIGHTING	EXISTING - NO CHANGE. LIGHTING WILL REMAIN IN SERVICE (EXISTING - NO CHANGE)
LANDSCAPING	EXISTING - NO CHANGE

NOTES:
CSP:2049
TCL:1958

ADMINISTRATIVE AMENDMENT
 FOR: *02/06/12* Project # *ACT1493*
Temporary Flight Test Facility: Lower Fence, Test Area 700 sq. ft. building
 APPROVED BY: *[Signature]* DATE: *2/14/12*



CLIENT
Honeywell
Defense Avionics Systems

DESIGNER
AECOM
201 THIRD STREET N.W., ALBUQUERQUE, NEW MEXICO
E: 505-883-4100 F: 505-884-7231 www.aecom.com

CONSULTANTS

REGISTRATION

ISSUE

MARK	DATE	DESCRIPTION
PROJECT NO:	60095680.0003	
DRAWN BY:	TM	
CHECKED BY:	TL	

KEY PLAN

SHEET TITLE
CIVIL SITE PLAN

C0.3

LANDSCAPING

TOTAL EXISTING-732,383 SF
TOTAL PROPOSED- 647,999 SF
PERCENT CHANGE=11.5%

BUILDING REDUCTION
EXISTING- 537,214 SF
REDUCTION- 534,969
PERCENT= 0.42%

PROPOSED DOCKS= 28,086.67 SF



VICINITY MAP B-17

LEGAL DESCRIPTION:

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B HONEYWELL SITE CONT 59.6960 AC

SITE DATA

PROPOSED USAGE:

EXISTING BUILDING AREA: 537,214 SF
 PROPOSED LOT AREA: 1,668,330 SF (38.30 ACRES)
 ZONING: NR-LM

WAREHOUSING WITH 10% OFFICE SPACE (504,694 SQ. FT.)
 RECREATIONAL WITH GENERAL RETAIL (17,589 SQ. FT.)
 RESTAURANT (14,931 SQ. FT.)

NOTE: WITHOUT THE PERMANENT CERTIFICATION OF OCCUPANCY, THE PROPOSED USAGE WITH THE HIGHER PARKING REQUIREMENT WAS USED FOR PARKING REQUIREMENT CALCULATION.

PARKING REQUIREMENTS:

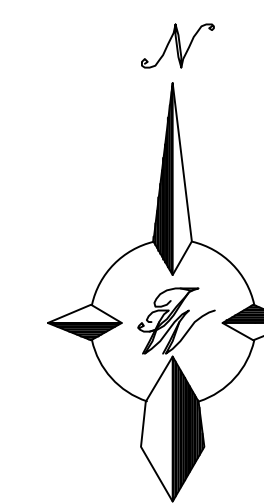
WAREHOUSING W/ 10% OFFICE SPACE PER IDO TABLE 5-5-1 FOR HEAVY MANUFACTURING 1 SPACE/ 5,000 SQ. FT. GFA FOR 454,224.6 SQ.FT. GFA= 3.5 SPACES/ 1,000 SQ. FT. GFA FOR 50,469.4 SQ. FT. GFA= TOTAL PARKING REQUIRED= TOTAL PARKING PROVIDED=	90.85 SPACES 176.65 SPACES 268 SPACES 474 SPACES
HC PARKING REQUIRED= HC PARKING PROVIDED= MOTORCYCLE PARKING REQUIRED= MOTORCYCLE PARKING PROVIDED=	8 SPACES 5 SPACES 32 SPACES 36 SPACES
RECREATIONAL W/ GENERAL RETAIL PER IDO TABLE 5-5-2 & TABLE 5-5-1 1 SPACE/ 2 BATTING SPACES FOR 15 BATTING SPACES= 3.5 SPACES/ 1,000 SQ.FT. GFA FOR 820 SQ. FT. GFA= TOTAL PARKING REQUIRED= TOTAL PARKING PROVIDED=	8.5 SPACES 3.5 SPACES 12 SPACES 13 SPACES
HC PARKING REQUIRED HC PARKING PROVIDED MOTORCYCLE SPACES REQUIRED MOTORCYCLE SPACES PROVIDED	1 SPACE 1 SPACE 1 SPACE 2 SPACE
RESTAURANT PER IDO TABLE 5-5-1 5.6 SPACES/ 1,000 SQ. FT. GFA FOR 14,931 SQ. FT. GFA= TOTAL PARKING REQUIRED= TOTAL PARKING PROVIDED=	83.6 SPACES 84 SPACE 121 SPACES
HC PARKING REQUIRED= HC PARKING PROVIDED= MOTORCYCLE PARKING REQUIRED= MOTORCYCLE PARKING PROVIDED=	4 SPACES 4 SPACES 3 SPACES 4 SPACES
TOTAL PARKING REQUIRED= TOTAL PARKING PROVIDED=	364 SPACES 608 SPACES

KEYED NOTES

- ① STANDARD ASPHALT PINNED CURB (TYP)
- ② NEW ASPHALT PAVEMENT (TYP), SEE DETAIL SHEET C5.0
- ③ NEW 6' CONCRETE SIDEWALK, PER COA STD DW 2430, SEE DETAIL SHEET C5.0
- ④ DOCK ENTRANCE (TYP)
- ⑤ EXISTING ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.)
- ⑥ EXISTING MOTORCYCLE SPACE W/SIGN
- ⑦ EXISTING BIKE RACK
- ⑧ EXISTING PARKING STALL
- ⑨ PROPOSED ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.)
- ⑩ PROPOSED RESTRIPE PARKING STALL, SEE DETAIL THIS SHEET
- ⑪ PROPOSED STRIPED PARKING LOT ISLAND
- ⑫ MAIN ENTRANCE TO BUILDING
- ⑬ MODIFICATION TO CURB RETURN

LEGEND

- ASPHALT PINNED CURB
- - - BOUNDARY LINE
- - - EASEMENT
- - - EXISTING BUILDING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - PROPOSED SIDEWALK
- - - PROPOSED ASPHALT PAVEMENT
- ☉ LIGHT
- PARKING COUNT



GRAPHIC SCALE

SCALE: 1"=100'

BUILDING REDUCTION
 EXISTING- 537,214 SF
 REDUCTION(DEMOED ENCLOSED PATIO)- 534,969 SF
 % CHANGE= -0.42%

BUILDING ADDITION
 EXISTING- 537,214 SF
 ADDITION(DOCK SHELTER)- 4085.36
 % CHANGE= +0.76%

PARKING COUNTS
 EXISTING= 2,049
 PROPOSED PARKING= 2,016

LANDSCAPING
 EXISTING- 732,383 SF
 PROPOSED- 647,999 SF
 % CHANGE= 11.5%

	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	TRAFFIC CONTROL LAYOUT	DATE 3/6/2024
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # C2.0
		JOB # 2023090

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Marwa,

Thank you for the review. I will get these comments addressed and provide a response to comments. Can I email you the re submittal directly?

Thank you,
Jacob

From: Al-najjar, Marwa G. <malnajjar@cabq.gov>

Sent: Thursday, June 13, 2024 2:05 PM

To: Jacob Liberman <jliberman@tierrawestllc.com>

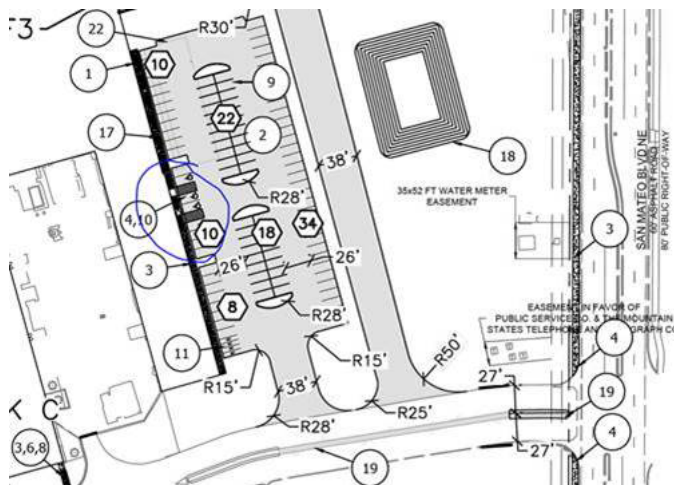
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>

Subject: Honeywell San Mateo Blvd. NE (B17D001B)

Good afternoon Jacob,

Prior to approve the TCL for the project mentioned above, please provide the following items:

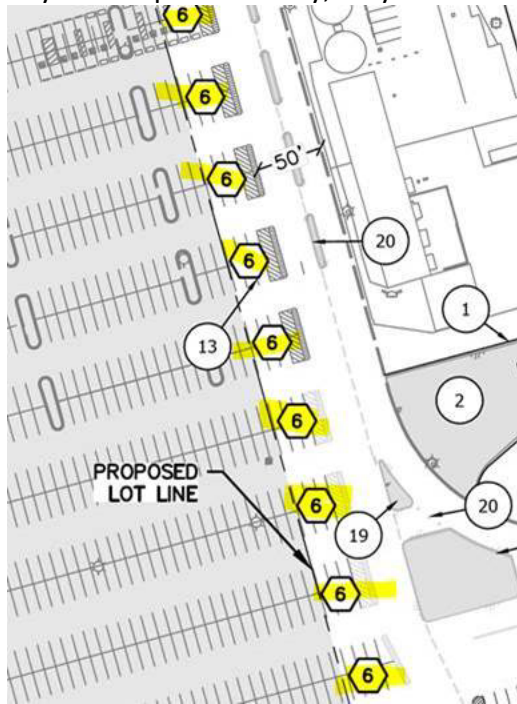
1. Due to proposing a Lot Line:
 - DFT approval is required.
 - Shared parking and shared access easement are required.
2. Approved infrastructure list showing the proposed sidewalk off San Mateo Blvd is required.
3. List the number of Bicycle parking spaces required by the IDO.
4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
5. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
7. Please show on the site plan the main entrance for the proposed east side ADA parking spaces.



8. Keynote 14: the existing ADA parking spaces at the northeast side of the site, must have been updated to current ADA standard. Also, provide 6' wide ADA pathway from each ADA parking aisle to building

entrance. Please note that ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.

9. Keynote 6: please clarify, why stairs have been proposed in the parking lot?



10. Show the INTERSECTION clear sight triangle and add the following note to the plan: “Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
11. Please add a note on the plan stating “All improvements located in the Right of Way must be included on the work order.”
12. Please provide a letter of response for all comments given.

If you have any questions, let me know.



Marwa Al-najjar
Associate Engineer/ Development Review Services
(505)-924-3675
malnajjar@cabq.gov

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING. _____
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ___ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ___ A. Existing, indicating whether it is to be preserved or removed.
 - ___ B. Proposed, to be established for general landscaping.
 - ___ C. Proposed, to be established for screening/buffering.
- ___ 8. Describe irrigation system – Phase I & II . . .
- ___ 9. Planting Beds, indicating square footage of each bed
- ___ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ___ 11. Responsibility for Maintenance (statement)
- ___ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ___ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ___ 14. Planting or tree well detail
- ___ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ___ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ___ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ___ 1. Scale - must be same as Sheet #1 - Site Plan
- ___ 2. Bar Scale
- ___ 3. North Arrow
- ___ 4. Property Lines
- ___ 5. Existing and proposed easements
- ___ 6. Building footprints
- ___ 7. Location of Retaining walls

B. Grading Information

- ___ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ___ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ___ 3. Identify ponding areas, erosion and sediment control facilities.
- ___ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

Development Facilitation Team
City of Albuquerque Planning Department
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

RE: Letter of Authorization for Entitlement and Permit Applications for proposed Site Plan TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B HONEYWELLSITE ZONE ATLAS PAGE: M-10-Z

SANPREVEST, LLC hereby authorizes Tierra West, LLC to obtain information and submit entitlement and permit applications, including DFT Site Plan Review, for the above referenced Property, and act as SANPREVEST, LLC's agent for the limited purpose of entitling, permitting, and subdividing the above referenced Property owned by SANPREVEST, LLC.

Sincerely,

SANPREVEST, LLC

Print Name

Signature

Title

Date

Robert Toledo

Digitally signed by Robert Toledo

DN: C=US,

E=robert@kcommercial.com,

O=KCommercial, OU=Special

Trustee, CN=Robert Toledo

Date: 2024.06.24

07:32:36-06'00'

June 19, 2024
DFT
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: SITE PLAN – MAJOR AMENDMENT for TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B HONEYWELLSITE ZONE ATLAS PAGE: M-10-Z

Dear Mrs. Jolene Wolfley

Request

Tierra West LLC on behalf of SANPREVEST, LLC respectfully requests a Site Plan – Admin Review for a Major Amendment to a Site Plan that was originally reviewed and approved by the Development Review Board. The amendments are as follows:

1. New uses which are permissive in the NR-LM (M-1 equivalent)
 - a. Warehousing
 - b. Restaurant
 - c. Recreational
 - d. Existing Light Manufacturing uses allowed within NR-LM zone district
2. Eight (8) new standard docking areas with enclosed docking shelter
3. One (1) new drive-in docking area
4. One (1) enclosed patio area of approximately 2,245 square feet will be removed.
5. One (1) guard shack will be removed.
6. A reduction of landscaped areas from 732,383 square feet to 647,999 square feet. This is an 11.5% reduction which exceeds the minor amendment thresholds.

Site Plan History

The most recent approval on the subject site was an Administrative Amendment for a temporary flight tether test facility which included towers, fence, and an addition of 700 square feet under 09AA10113, 1007943. The Amendment was to a **DRB Site Plan DRB-99-88** for Honeywell.

Site Information

The subject site is comprised of approximately 60 acres and is currently zoned NR-LM, Non-Residential – Light Manufacturing. The proposed development includes new uses on the easternly portion of the lot to include recreational use, restaurant, and warehousing. The westerly portion of the lot includes a potential subdivision and subsequent sale.

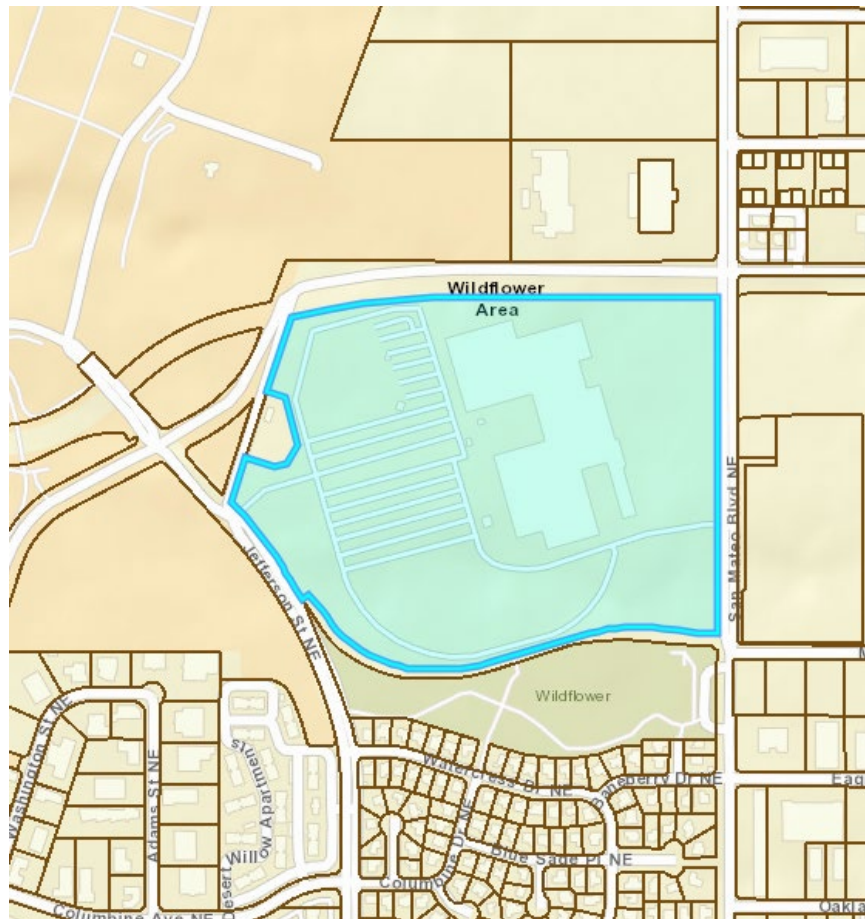


Figure 1: Subject Site

Site Plan

The proposed site plan will include the addition of a restaurant and recreational use, in addition to the existing warehouse uses. This Site Plan will be reviewed under the Site Plan – DFT (Site Plan – Administrative) process for Major Amendment. The amendments are as follows:

1. New uses which are permissive in the NR-LM (M-1 equivalent)
 - a. Warehousing
 - b. Restaurant
 - c. Recreational
 - d. Existing Light Manufacturing uses allowed within NR-LM zone district
2. Eight (8) new standard docking areas with enclosed docking shelter
3. One (1) new drive-in docking area
4. One (1) enclosed patio area of approximately 2,245 square feet will be removed.
One (1) guard shack will be removed.
5. A reduction of landscaped areas from 732,383 square feet to 647,999 square feet. This is an 11.5% reduction which exceeds the minor amendment thresholds.

Existing Zoning and Land Use

The subject site is zoned NR-LM (Non-Residential – Light Manufacturing) and is surrounded by various zoning and land use intensities. To the North of the subject site are parcels zoned NR-LM (Non-Residential – Light Manufacturing) and include office and light industrial uses. Northwest and west of the subject site are parcels zoned NR-PO-A (City-owned or Managed Public Parks) which is used for Balloon Fiesta Park events and activities. Directly abutting the southern boundary of the subject site is a parcel zoned NR-PO-A (City-owned or Managed Public Parks). Beyond the park to the south are lots zoned R-1C (Single Family) which are developed with Single-Family residential dwellings. East of the subject site are parcels zoned R-MH (Residential – Multi-Family) and NR-LM(Non-residential – Light Manufacturing).

Surrounding Zoning and Land Use		
NORTH	NR-LM	Industrial / Offices
EAST	R-MH, NR-LM	Multi-Family / Industrial
SOUTH	R-1C, R-MH, NR-PO-A, NR-LM	City Owned Park / Single-Family, Residential
WEST	NR-PO-A, NR-LM	

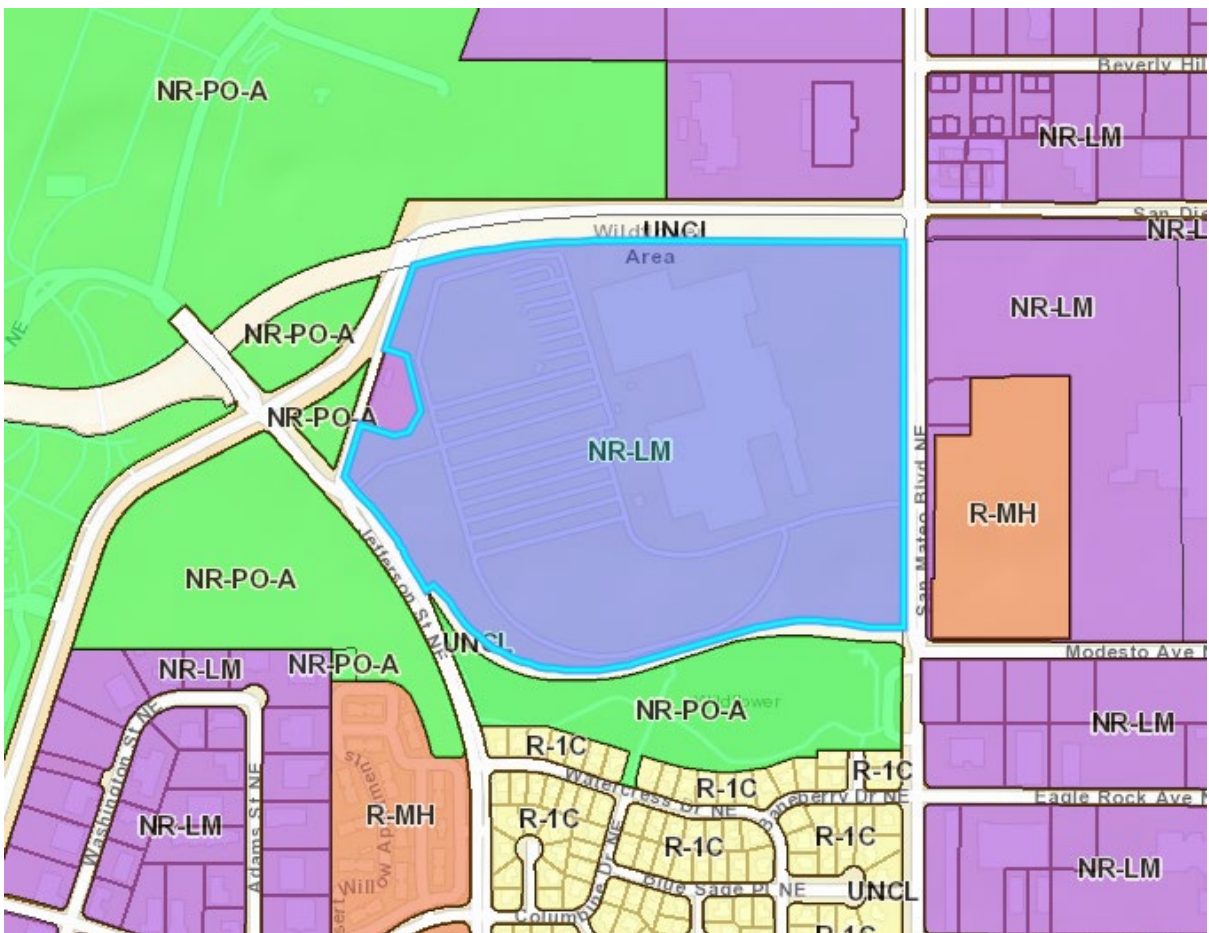


Figure 2: Zoning

Justification

The request meets the criteria for a Major Amendment as outlined in IDO 6-4(Z)(1)(b) 1, as it exceeds the thresholds outlined in Table 6-4-4 as follows:

Any other numerical standard – 10% Change.

This 10% change is a reduction of landscaped areas from 732,383 square feet to 647,999 square feet for an 11.5% reduction which exceeds the minor amendment thresholds.

Per IDO 6-4(Z)(1)(b) Major Amendments,

- 1. Except as noted in Subsection 2 below, major amendments shall be reviewed and decided by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement), including any required application fee, public notice, referral to commenting agencies, and public hearing.*

Because this amendment exceeds the Minor Amendment threshold, we are requesting a Major Amendment. As noted above, Major Amendments are reviewed by the original decision-making body. Our site plan was originally approved and reviewed by the Development Review Board, which no longer exists. Therefore, our site plan shall be reviewed by the DFT per the Site Plan Administrative Review Criteria, outlined below.

6-5(G)(3) Review and Decision Criteria

An application for Site Plan – Administrative shall be approved if it meets all of the following criteria.

6-5(G)(3)(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

As shown on the proposed Site Plan, the request complies with all applicable standards in the IDO, the DPM and other adopted City regulations.

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

As shown in the submittal, the request will have adequate capacity from existing City infrastructure to serve the proposed development. We are providing an infrastructure list and agree to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan area.

6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

The subject property is not within an approved Framework Plan.



Sergio Lozoya

Cc:

JN: 2023090
sl/jg/aj

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 24th, 2024 To August 8th, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Sergio Lozoya
(Applicant or Agent)

7.15.24
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

9201 SAN MATEO BLVD NE _Public Notice Inquiry Sheet Submission

Office of Neighborhood Coordination <onc@cabq.gov>

Tue 6/25/2024 4:04 PM

To:Adam Johnstone <AJohnstone@tierrawestllc.com>

1 attachments (214 KB)

4 - Zone Atlas Map B-17-Z.pdf;

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Alternative Email	Address Line 1	City	State	Zip
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	sec.dist4@gmail.com	PO Box 90986	Albuquerque	NM	87199
District 4 Coalition of Neighborhood Associations	Ellen	Dueweke	edueweke@juno.com		8409 Cherry Hills RD NE	Albuquerque	NM	87111
Wildflower Area NA	Rebecca	Hall	kbbh@hotmail.com		8908 Bluegrass Court NE	Albuquerque	NM	87113
Wildflower Area NA	Glenn	Garcia	ggarcia103@comcast.net		4901 Goldenthread NE	Albuquerque	NM	87113

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, June 25, 2024 3:39 PM
To: Office of Neighborhood Coordination <AJohnstone@tierrawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

DFT Major Amendment to Site Plan

Contact Name

Adam Johnstone

Telephone Number

(505) 858-3100

Email Address

AJohnstone@tierrawestllc.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Pl NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B HONEYWELLSITE CONT 59.6960 AC

Physical address of subject site:

9201 SAN MATEO BLVD NE ALBUQUERQUE NM 87113-2227

Subject site cross streets:

Jefferson St NE / Balloon Museum Dr NE

Other subject site identifiers:

UPC: 101706542809340127

This site is located on the following zone atlas page:

B-17-Z

Captcha

x

Sergio Lozoya

From: Sergio Lozoya
Sent: Friday, May 10, 2024 11:40 AM
To: mgriffee@noreste.org; edueweke@juno.com; kbbh@hotmail.com; ggarcia103@comcast.net
Cc: Adam Johnstone; Jacob Liberman
Subject: [#2023090] Site Plan - Administrative Neighborhood Meeting Request
Attachments: 3 - Zone Atlas Map B-17-Z.pdf; Controlling Site Plan and Amended Plan.pdf; Rebecca Hall Wildflower NA.pdf; Mildred Griffee District 4.pdf; Glenn Garcia Wildflower NA.pdf; Ellen Dueweke District 4.pdf

12d Synergy: -1
12d Synergy Job: Tierra West llc/Projects/2023/2023090 Honeywell Site
12d Synergy Project: Tierra West llc/Projects/2023/2023090 Honeywell Site
12dSynergySendGUID: 48da75e3-0be2-4047-be4c-0dadd2d62f4c

Greetings,

You are receiving this email as a notification and meeting request to discuss a proposed Site Plan – Administrative (Major Amendment to existing Site Plan).

The subject site is zoned Non-Residential – Light Manufacturing (NR-LM) and is located on 9201 San Mateo Blvd NE.

We are requesting a Major Amendment to the existing, controlling Site Plan. The site plan was previously reviewed and approved by the DRB (Development Review Board) and will now be reviewed by the DFT (Development Facilitation Team).

Attachments are as follows:

1. Zone Atlas Map
2. Existing Site Plan
3. Proposed Site Plan

Proposed Uses are as follows:

1. Light Manufacturing
2. Wholesale Distribution
3. Warehousing
4. Office Space

Please notify me within 15 days of receipt of this e-mail if you would like to meet and discuss the project. If a meeting is requested, the City will provide a facilitator to coordinate and facilitate the meeting.

Please let me know if you have any questions or comments regarding the request.

Thanks,

Sergio Lozoya

Senior Planner



5571 Midway Park Pl., NE

Albuquerque, NM 87109

505-278-7088

505-858-1118 (fax)

SLozoya@tierrawestllc.com

www.tierrawestllc.com

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 5.10.24

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Wildflower Area NA

Name of NA Representative*: Glenn Garcia

Email Address* or Mailing Address* of NA Representative¹: ggarcia103@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: slozoya@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Will coordinate if meeting is requested

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 San Mateo Blvd NE
Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Site Plan

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

Other: _____

Summary of project/request^{3*}:

This is a Major Amendment to a DRB Site Plan, now reviewed by DFT

5. This application will be decided administratively by the Development Facilitation Team (DFT)

Application materials: <https://www.cabq.gov/planning/development-review-services/site-plan-admin-dft>

To contact staff, email PLNDRS@cabq.gov or call the Planning Department at 505-924-3946.

6. Where more information about the project can be found^{4*}:

slozoya@tierrawestllc.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁵ B-17-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards will be requested for this project^{*}:

Deviation(s) Variance(s) Waiver(s)

Explanation:

slozoya@tierrawestllc.com

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

Attached to email

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 59.69 acres
 - b. IDO Zone District Non-Residential - Light Manufacturing
 - c. Overlay Zone(s) [if applicable] North I-25 Overlay Zone CPO-10
 - d. Center or Corridor Area [if applicable] NA
 - 2. Current Land Use(s) [vacant, if none] Honeywell Building - Vacant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 5.10.24

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Mildred Griffiee

Email Address* or Mailing Address* of NA Representative¹: mgriffiee@noreste.org

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: slozoya@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Will coordinate if meeting is requested

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 San Mateo Blvd NE
Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Site Plan

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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[Note: Items with an asterisk (*) are required.]

Other: _____

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To contact staff, email PLNDRS@cabq.gov or call the Planning Department at 505-924-3946.

6. Where more information about the project can be found^{4*}:

slozoya@tierrawestllc.com

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Explanation:

slozoya@tierrawestllc.com

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⁴ Address (mailing or email), phone number, or website to be provided by the applicant

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 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 59.69 acres
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 - 2. Current Land Use(s) [vacant, if none] Honeywell Building - Vacant
-

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Cc: _____ [Other Neighborhood Associations, if any]

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Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 5.10.24

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Wildflower Area NA

Name of NA Representative*: Rebecca Hall

Email Address* or Mailing Address* of NA Representative¹: kbbh@hotmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: slozoya@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Will coordinate if meeting is requested

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

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Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Site Plan

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This is a Major Amendment to a DRB Site Plan, now reviewed by DFT

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To contact staff, email PLNDRS@cabq.gov or call the Planning Department at 505-924-3946.

6. Where more information about the project can be found^{4*}:

slozoya@tierrawestllc.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁵ B-17-Z

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3. The following exceptions to IDO standards will be requested for this project^{*}:

Deviation(s) Variance(s) Waiver(s)

Explanation:

slozoya@tierrawestllc.com

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

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 - d. **For residential development***: Maximum number of proposed dwelling units.
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Additional Information:

- 1. From the IDO Zoning Map⁶:
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Cc: _____ [Other Neighborhood Associations, if any]

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[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 5.10.24

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Ellen Dueweke

Email Address* or Mailing Address* of NA Representative¹: edueweke@juno.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: slozoya@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Will coordinate if meeting is requested

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 San Mateo Blvd NE
Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
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To contact staff, email PLNDRS@cabq.gov or call the Planning Department at 505-924-3946.

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slozoya@tierrawestllc.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

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Explanation:

slozoya@tierrawestllc.com

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Useful Links

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IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Sergio Lozoya

From: webmaster@cabq.gov
Sent: Wednesday, June 19, 2024 4:25 PM
To: Sergio Lozoya
Cc: onc@cabq.gov
Subject: Public Notice Inquiry Sheet Submission
Attachments: 4 - Zone Atlas Map B-17-Z.pdf

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Sergio Lozoya

Telephone Number

5052787088

Email Address

slozoya@tierrawestllc.com

Company Name

Tierra West LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B HONEYWELLSITE ZONE ATLAS PAGE: M-10-Z

Physical address of subject site:

9201 SAN MATEO NE ALBUQUERQUE NM 87113

Subject site cross streets:

San Mateo and San Diego

Other subject site identifiers:

Between San Mateo and Jefferson

This site is located on the following zone atlas page:

M-10-Z

Captcha

x

9201 SAN MATEO BLVD NE _Public Notice Inquiry Sheet Submission

Office of Neighborhood Coordination <onc@cabq.gov>

Tue 6/25/2024 4:04 PM

To:Adam Johnstone <AJohnstone@tierrawestllc.com>

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PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Alternative Email	Address Line 1	City	State	Zip
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	sec.dist4@gmail.com	PO Box 90986	Albuquerque	NM	87199
District 4 Coalition of Neighborhood Associations	Ellen	Dueweke	edueweke@juno.com		8409 Cherry Hills RD NE	Albuquerque	NM	87111
Wildflower Area NA	Rebecca	Hall	kbbh@hotmail.com		8908 Bluegrass Court NE	Albuquerque	NM	87113
Wildflower Area NA	Glenn	Garcia	ggarcia103@comcast.net		4901 Goldenthread NE	Albuquerque	NM	87113

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, June 25, 2024 3:39 PM
To: Office of Neighborhood Coordination <AJohnstone@tierrawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

DFT Major Amendment to Site Plan

Contact Name

Adam Johnstone

Telephone Number

(505) 858-3100

Email Address

AJohnstone@tierrawestllc.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Pl NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B HONEYWELLSITE CONT 59.6960 AC

Physical address of subject site:

9201 SAN MATEO BLVD NE ALBUQUERQUE NM 87113-2227

Subject site cross streets:

Jefferson St NE / Balloon Museum Dr NE

Other subject site identifiers:

UPC: 101706542809340127

This site is located on the following zone atlas page:

B-17-Z

Captcha

x

Sergio Lozoya

From: April Christie
Sent: Friday, June 21, 2024 11:34 AM
To: ggarcia103@comcast.net; kbbh@hotmail.com
Cc: Donna Bohannon; Jacob Liberman; Sergio Lozoya; Adam Johnstone
Subject: [#2023090] 2023090 Honeywell -Neighborhood Association Notice
Attachments: Glenn Garcia Wildflower NA 06.21.24.pdf; Rebecca Hall Wildflower NA 06.21.24.pdf; Elevations.pdf; Proposed Site Plan.pdf; Existing Controlling Site Plan.pdf; 3 - Zone Atlas Map B-17-Z.pdf

12d Synergy: -1
12d Synergy Job: Tierra West llc/Projects/2023/2023090 Honeywell Site
12d Synergy Project: Tierra West llc/Projects/2023/2023090 Honeywell Site
12dSynergySendGUID: 47ab5baf-ad37-45e7-bc6e-7aaa770ca7e8

Greetings,

You are receiving this email as a notification and meeting request to discuss a proposed Site Plan – Administrative (Major Amendment to existing Site Plan).

The subject site is zoned Non-Residential – Light Manufacturing (NR-LM) and is located on 9201 San Mateo Blvd NE.

We are requesting a Major Amendment to the existing, controlling Site Plan. The site plan was previously reviewed and approved by the DRB (Development Review Board) and will now be reviewed by the DFT (Development Facilitation Team).

Attachments are as follows:

1. Zone Atlas Map
2. Existing Controlling Site Plan
3. Proposed Site Plan
4. Dock Shelter Elevations

Proposed Uses are as follows:

1. Light Manufacturing
2. Wholesale Distribution
3. Warehousing
4. Office Space

Please notify me within 15 days of receipt of this e-mail if you would like to meet and discuss the project. If a meeting is requested, the City will provide a facilitator to coordinate and facilitate the meeting.

Please let me know if you have any questions or comments regarding the request.

Thanks,

April Christie

Administrative Assistant
Tierra West LLC
5571 Midway Park Pl., NE
Albuquerque, NM 87109
505-858-3100
505-858-1118 (fax)
achristie@tierrawestllc.com
www.tierrawestllc.com

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: June 21, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Ellen Dueweke

Email Address* or Mailing Address* of NA Representative¹: edueweke@juno.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 San Mateo Blvd NE
Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Site Plan
 - Other: _____

Summary of project/request²*: _____

This is a Major Amendment to a DRB Site Plan, now reviewed by DFT

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. This application will be decided administratively by the Development Facilitation Team (DFT)

Application materials: <https://www.cabq.gov/planning/development-review-services/site-plan-admin-dft>

To contact staff, email PLNDRS@cabq.gov or call the Planning Department at 505-924-3946.

- 6. Where more information about the project can be found*⁴:
slozoya@tierrawestllc.com
-

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)*⁵ B-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

slozoya@tierrawestllc.com

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 59.69 acres
 - 2. IDO Zone District Non-Residential - Light Manufacturing
 - 3. Overlay Zone(s) [if applicable] North I-25 Overlay Zone CPO-10
 - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Honeywell Building - Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: June 21, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Wildflower Area NA

Name of NA Representative*: Glenn Garcia

Email Address* or Mailing Address* of NA Representative¹: ggarcia103@comcast.net

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 San Mateo Blvd NE
Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
3. Agent/Applicant* *[if applicable]* Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Site Plan
 - Other: _____

Summary of project/request²*: _____

This is a Major Amendment to a DRB Site Plan, now reviewed by DFT

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6. Where more information about the project can be found*⁴:
slozoya@tierrawestllc.com
-

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Explanation*:
slozoya@tierrawestllc.com

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

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Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Mildred Griffiee

Email Address* or Mailing Address* of NA Representative¹: mgriffiee@noreste.org

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 San Mateo Blvd NE
Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
3. Agent/Applicant* *[if applicable]* Tierra West LLC
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Explanation*:

slozoya@tierrawestllc.com

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
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Date of Notice*: June 21, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Wildflower Area NA

Name of NA Representative*: Rebecca Hall

Email Address* or Mailing Address* of NA Representative¹: kbbh@hotmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 San Mateo Blvd NE
Location Description Between Jefferson and San Mateo Blvd NE
2. Property Owner* San Prevest LLC
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Cc: _____ [Other Neighborhood Associations, if any]

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