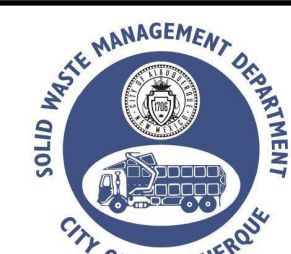


PARKING DETAIL  
N/S



Approved for access by the Solid Waste Department.  
All containers must be made accessible for pick up  
between the hours of 5AM and 8PM.  
Reviewer: *Human Services*  
Date: 06-25-24  
\*Existing contractors\*\*  
Gates opened 24/7\*\*

#### SITE NOTES:

- ADA ACCESSIBLE PEDESTRIAN PATHWAY SHOULD NOT BE PLACED BEHIND PARKING SPACES OR ADJACENT TO A VEHICLE WAY.
- IT IS ACCEPTABLE TO KEEP EXISTING WAVE-STYLE BIKE RACK, BUT ALL NEW RACKS MUST COMPLY WITH THE DPM.

#### CLEAR SITE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

#### TRUCK TURNING MOVEMENT

SEE ALL TRUCK TURNING MOVEMENT USING A WB-65 ON SHEET C2.1

#### GENERAL NOTES - SITE PLANS:

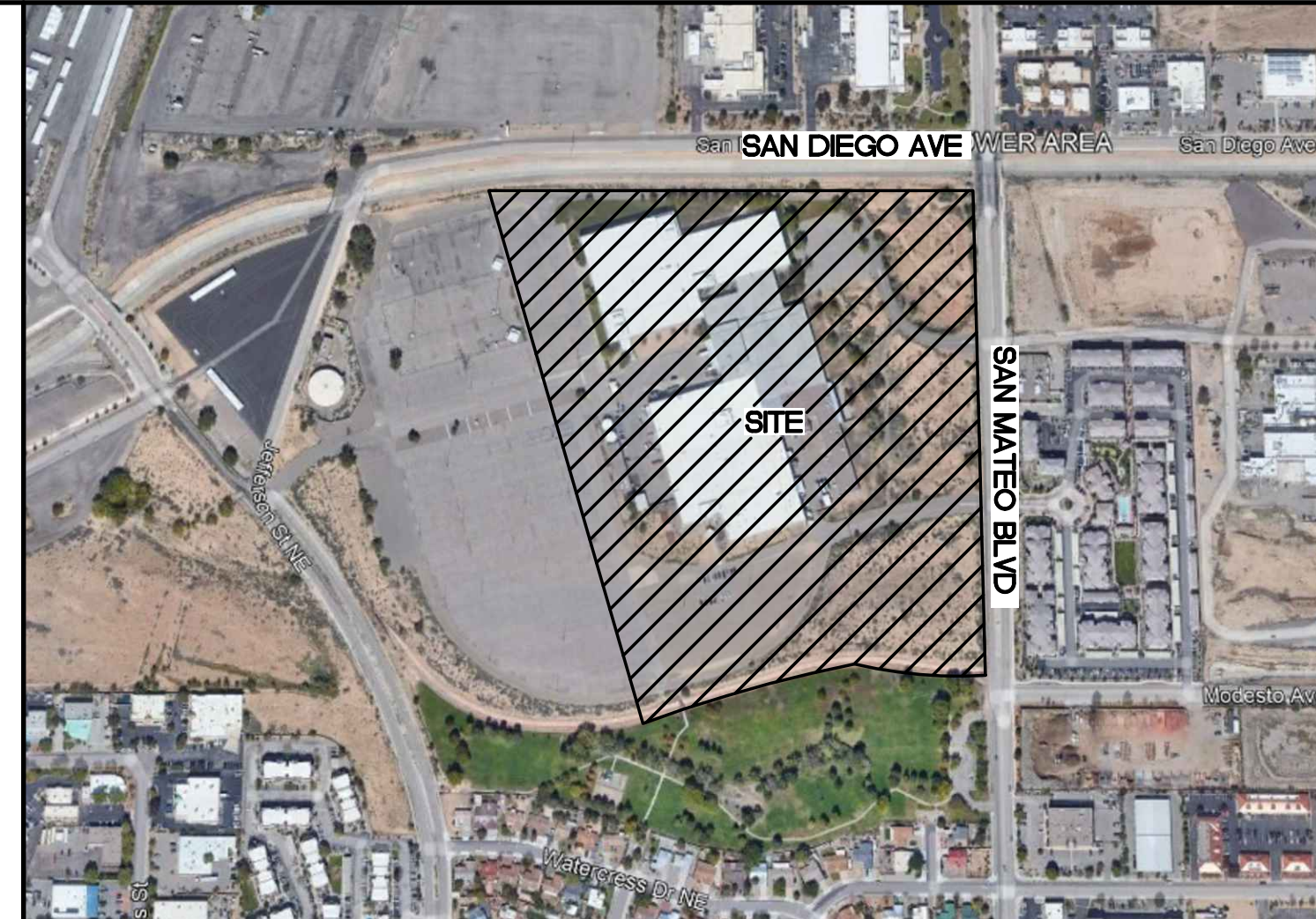
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
  - 1/2" @ ALL EXIT DOORS
  - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
  - 1 1/2" @ OVERHEAD DOORS
  - 1 1/2" @ PRE-FAB METAL WALL PANELS

#### NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REFER TO SHEET S1.2, S1.3, S1.4, S1.5 FOR ENLARGED FOUNDATION PLAN FOR EACH TRUCK DOCK.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN WORK ORDER.

#### LEGEND

	ASPHALT PINNED CURB
	BOUNDARY LINE
	EASEMENT
	EXISTING BUILDING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	LIGHT
	PARKING COUNT
	ADA PARKING ACCESSIBLE PATHWAY



VICINITY MAP

B-17

#### LEGAL DESCRIPTION:

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B  
HONEYWELL SITE CONT 59.6960 AC

#### SITE DATA

#### PROPOSED USAGE:

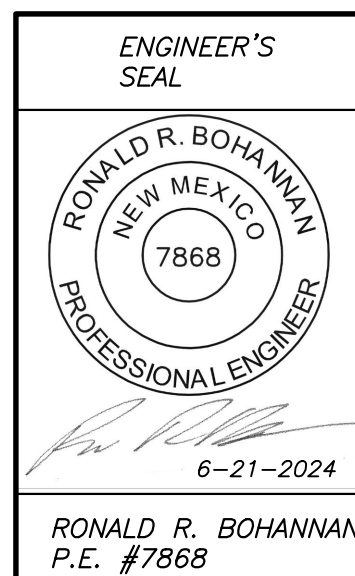
EXISTING BUILDING AREA: 522,928 SF  
PROPOSED BUILDING AREA W/ DOCK ADDITIONS: 526,794 SF  
PROPOSED LOT AREA: 1,668,330 SF (38.30 ACRES)  
ZONING: NR-LW  
WAREHOUSING WITH 10% OFFICE SPACE

#### PARKING REQUIREMENTS:

WAREHOUSING W/ 10% OFFICE SPACE PER IDO TABLE 5-5-1 FOR WAREHOUSING AND OFFICE SPACE 1 SPACE/ 2,000 SQ. FT. GFA FOR 474,114.60 SQ.FT. GFA= 3.5 SPACES/ 1,000 SQ. FT. GFA FOR 52,679.4 SQ. FT. GFA= TOTAL PARKING REQUIRED= TOTAL PARKING PROVIDED=	237 SPACES 184 SPACES 421 SPACES 1992 SPACES
HC PARKING REQUIRED= HC PARKING PROVIDED=	12 SPACES 32 SPACES
MOTORCYCLE PARKING REQUIRED= MOTORCYCLE PARKING PROVIDED=	6 SPACES 40 SPACES
BICYCLE PARKING REQUIRED BICYCLE PARKING PROVIDED	42 SPACES 42 SPACES
TOTAL PARKING REQUIRED= TOTAL PARKING PROVIDED=	421 SPACES 1992 SPACES

#### KEYED NOTES

- |  |  |
|--|--|
| (1) STANDARD ASPHALT CURB (TYP), SEE DETAIL SHEET C5.0                                   | (13) EXISTING PARKING STALL  |
| (2) NEW ASPHALT PAVEMENT (TYP), SEE DETAIL SHEET C5.0                                    | (14) EXISTING ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS TO BE UPDATED TO CURRENT ADA STANDARDS, SEE DETAIL SHEET C5.0 |
| (3) NEW 6" CONCRETE SIDEWALK, PER COA STD DW 2430, SEE DETAIL SHEET C5.0                 | (15) EXISTING MOTORCYCLE SPACE W/SIGN  |
| (4) PARALLEL CURB RAMP (TYP.) PER COA STD DWG 2443, SEE DETAIL SHEET C5.0                | (16) EXISTING BICYCLE RACK   |
| (5) HANDRAIL, SEE SHEET C5.0   | (17) NOT USED  |
| (6) PROPOSED STAIRS  | (18) POND W/ 3:1 SLOPE   |
| (7) MAIN ENTRANCE TO BUILDING  | (19) REMOVAL OF CURBING AND REPLACE WITH ASPHALT   |
| (8) DOCK ENTRANCE  | (20) REMOVAL OF CONCRETE STRUCTURE (TYP.)  |
| (9) PROPOSED PARKING STALL, SEE DETAIL THIS SHEET  | (21) REMOVAL OF GUARD SHACK AND REPLACE WITH ASPHALT   |
| (10) PROPOSED ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.), SEE DETAIL SHEET C5.0 | (22) REMOVAL OF COVERED PATIO  |
| (11) PROPOSED MOTORCYCLE SPACE (4'X8' MIN) W/SIGN, SEE DETAIL SHEET C5.0                 | (23) REMOVAL OF CURB   |
| (12) PROPOSED STRIPED PARKING LOT ISLAND   | (24) PROPOSED BICYCLE RACK W/ CONCRETE PAD, SEE DETAIL SHEET C5.0  |
|  | (25) EXISTING TRASH COMPACTORS TO REMAIN   |



HONEYWELL  
ALBUQUERQUE, NM

#### SITE PLAN

TIERRA WEST, LLC  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
JL

DATE  
6-21-24

DRAWING

SHEET #  
C1.0

JOB #  
2023090