

B.1
HOSPITAL DIRECTIONAL
OVERALL SIZE: 6'-0" X 6'-0"
36 SF, SIGN ONLY

D1 SIGN TYPE B.1
1/2" = 1'-0"

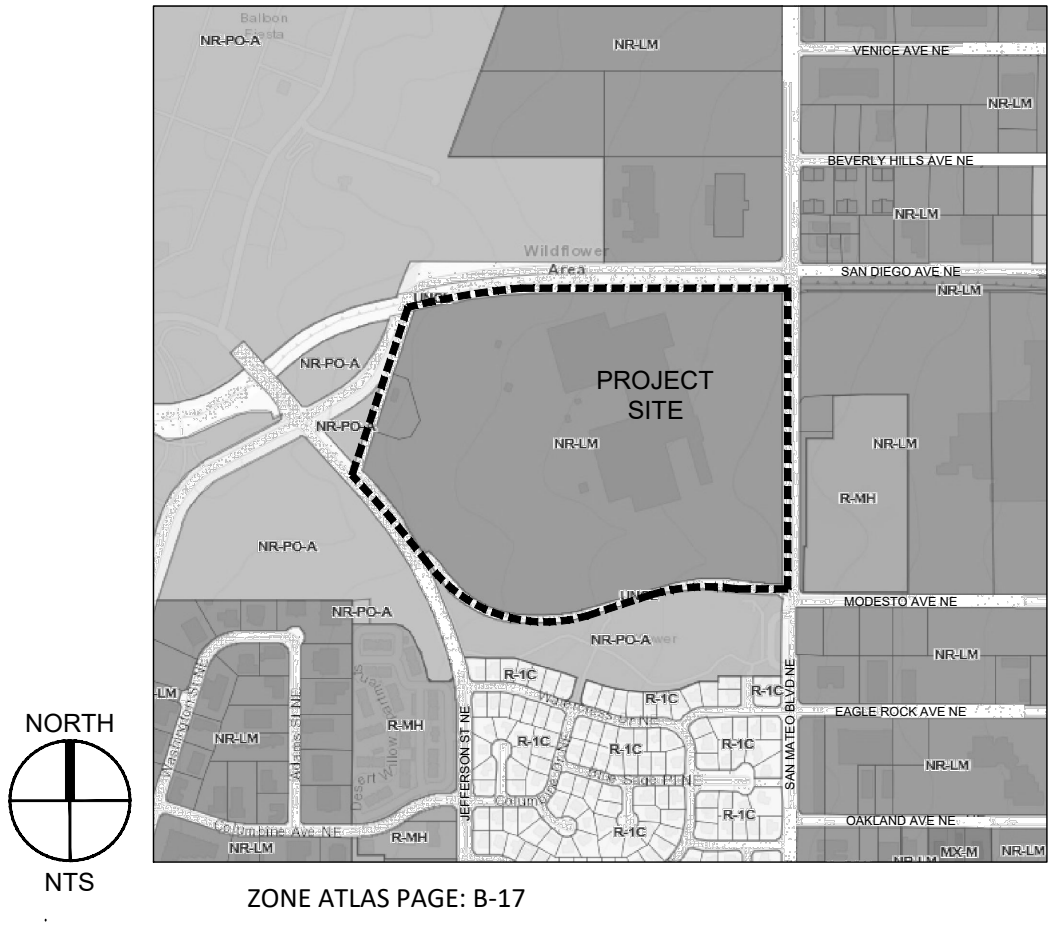
E.1
CAMPUS DIRECTIONAL
OVERALL SIZE: 1'-1" X 6'-6"
24.5 SF, SIGN ONLY

D2 SIGN TYPE E.1
1/2" = 1'-0"

A.2
HOSPITAL MONUMENT
OVERALL SIZE:
8'-0" X 13'-8"
108 SF, SIGN ONLY

D3 SIGN TYPE A.2
1/2" = 1'-0"

VICINITY MAP



DRB SIGNATURES

PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

P.1
LOT ID - LIGHT POLE ID
OVERALL SIZE: 2'-8" X 2'-3"
6 SF, SIGN ONLY

B5 SIGN TYPE P.1
1/2" = 1'-0"

H.1
DELIVERY
OVERALL SIZE: 2'-0" X 2'-6"
5 SF, SIGN ONLY

A5 SIGN TYPE H.1
1/2" = 1'-0"

GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE. CIVIL FOR SPOT ELEVATIONS, GRADING AND DRAINAGE.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ALL EGRESS AND INGRESS LOCATIONS ARE EXISTING.

PROJECT DATA

ZONING: (NR-LM) NON-RESIDENTIAL LIGHT MANUFACTURING
LEGAL DESCRIPTION:
TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B HONEYWELLSITE CONT 59.6960 AC
SITE AREA: 59.696 ACRES
ZONE ATLAS: 6-17
SETBACKS: N/A EXISTING
BUILDING HEIGHT EAST SIDE: 20'-0"
BUILDING HEIGHT WEST SIDE: 36'-0"
SPRINKLED: YES
BUILDING OCCUPANCY: B
CONSTRUCTION TYPE: 2B
BUILDING SF:
LOWER LEVEL 138,700 GSF
UPPER LEVEL 391,886 GSF
TOTAL 530,586 GSF
PARKING CALCULATION: (TABLE 6-5-1)
PARKING SPACES REQUIRED FOR LM USES = 139 (LOWER LEVEL)
PARKING SPACES REQUIRED FOR O USES = 1,371 (UPPER LEVEL)
PARKING SPACES PROVIDED = 1,747
(INCLUDES 38 ADA ACCESSIBLE SPACES)
MOTORCYCLE PARKING PROVIDED = 15

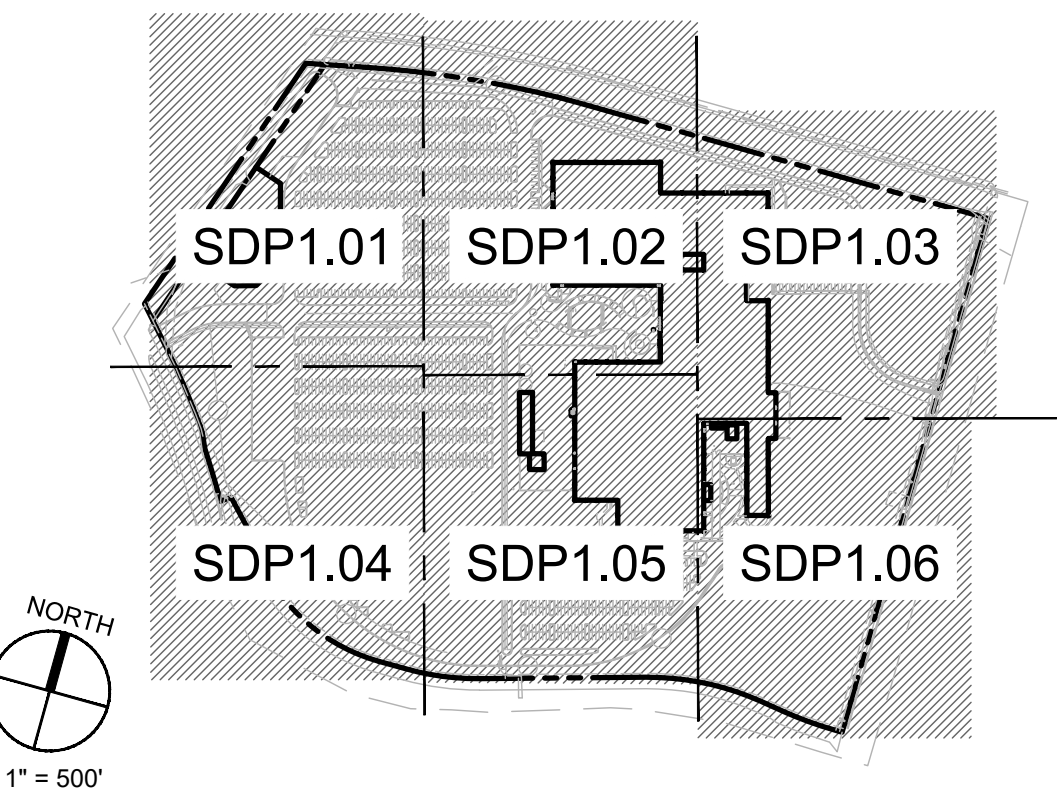
LEGEND

- PROPERTY LINE
- FUTURE PHASE
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION, SEE AS/LP100
- LANDSCAPE AREA
- SITE AREA TO REMAIN UNDISTURBED
- OUTDOOR SEATING WITH TABLE
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT

LANDFILL DISCLOSURE

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

KEYPLAN



DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT

PHS ALOFT PLAZA

9201 SAN MATEO
ALBUQUERQUE, NM 87113

DRB
SUBMITTAL

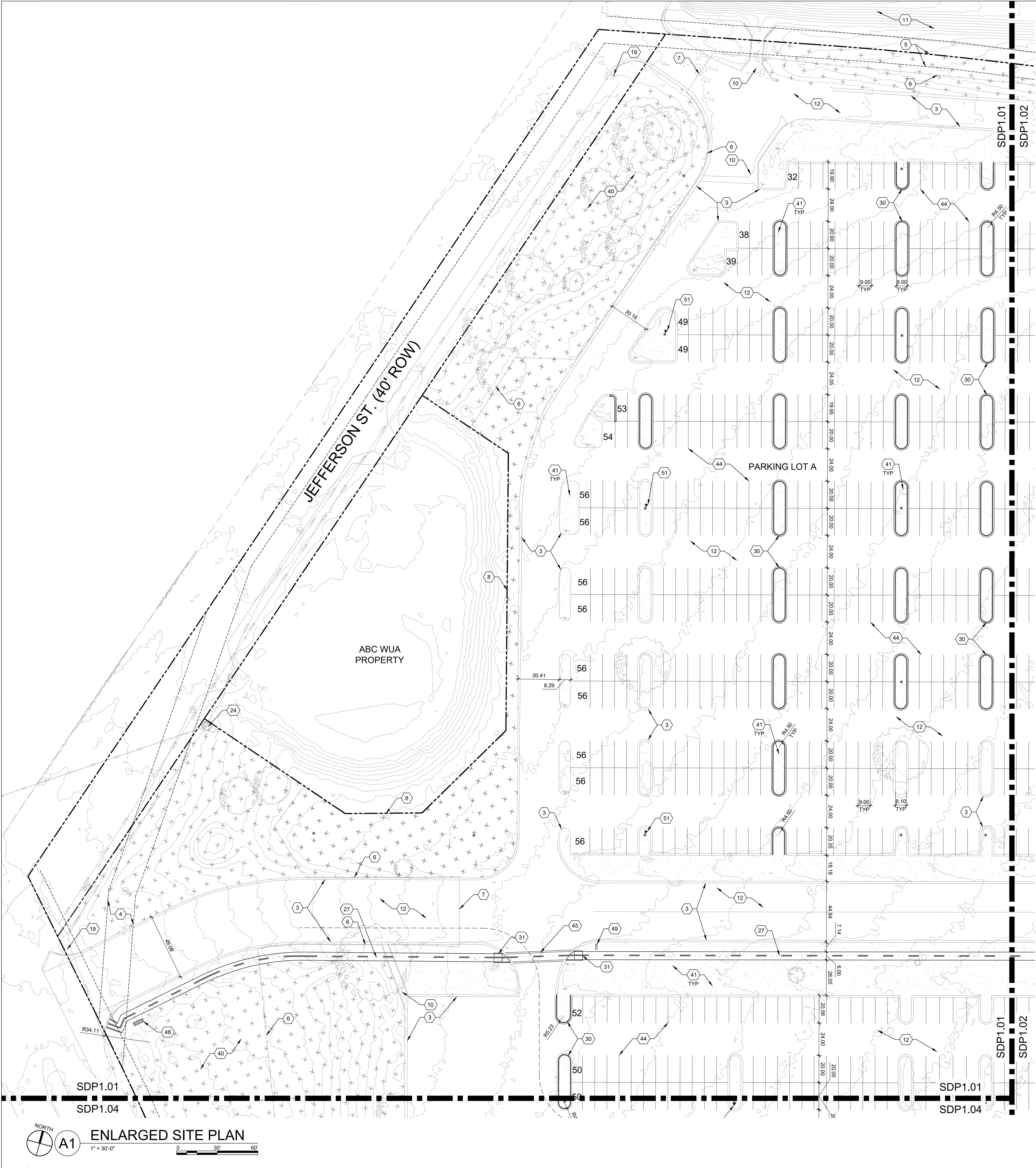
REVISIONS

DRAWN BY	TC, CD
REVIEWED BY	CM
DATE	01/17/2020
PROJECT NO.	19-0008
DRAWING NAME	OVERALL SITE PLAN

SHEET NO.

SDP1.00

OF



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- L. WORK BEYOND PROPERTY LINES WILL BE PART OF A SEPARATE CITY WORK ORDER.

SHEET KEYED NOTES

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3	EXISTING CURB AND GUTTER TO REMAIN
4	EXISTING 10'-0" WIDE PUBLIC UTILITY EASEMENT
5	EXISTING 10'-0" WIDE DRAINAGE EASEMENT
6	EXISTING CHAINLINK FENCING TO REMAIN, REMOVE BARBED WIRE TOP RAILS ON PERIMETER FENCE
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8	EXISTING RETAINING WALL TO REMAIN
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10	EXISTING DRAINAGE FEATURE TO REMAIN, SEE CIVIL
11	EXISTING CONCRETE DRAINAGE DITCH TO REMAIN
12	EXISTING ASPHALT PAVING TO REPAIR AND TOPCOAT, SEE CIVIL
13	EXISTING FIRE DEPARTMENT BASE COURSE ACCESS DRIVE
14	EXISTING SERVICE AREA WITH ASPHALT PAVING
15	EXISTING MOTORCYCLE PARKING AND SIGNAGE
16	EXISTING BUILDING MOUNTED SIGN TO REMAIN
17	EXISTING LEFT TURN LANE INTO SITE
18	EXISTING DECELERATION LANE INTO SITE
19	EXISTING STOP SIGN TO REMAIN
20	EXISTING MEDIAN IN ROAD
21	EXISTING PEDESTRIAN CONNECTION TO PARK
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23	EXISTING ELECTRICAL EQUIPMENT, SEE ELECTRICAL
24	APPROXIMATE LOCATION OF PUBLIC TRANSIT STOP
25	ASPHALT PAVING, SEE CIVIL
26	CONCRETE SERVICE VEHICLE ACCESS DRIVE
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42	GENERATOR, SEE ELECTRICAL
43	ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING
44	PARKING STRIPING, 4" WIDE, COLOR: WHITE
45	PAINTED CROSSWALK, COLOR: WHITE
46	TRASH COMPACTOR WITH CONCRETE SLAB, DRAINAGE INLET, AND 3 PHASE POWER
47	MONUMENT SIGN TYPE A.2, SEE D3/SDP 1.00
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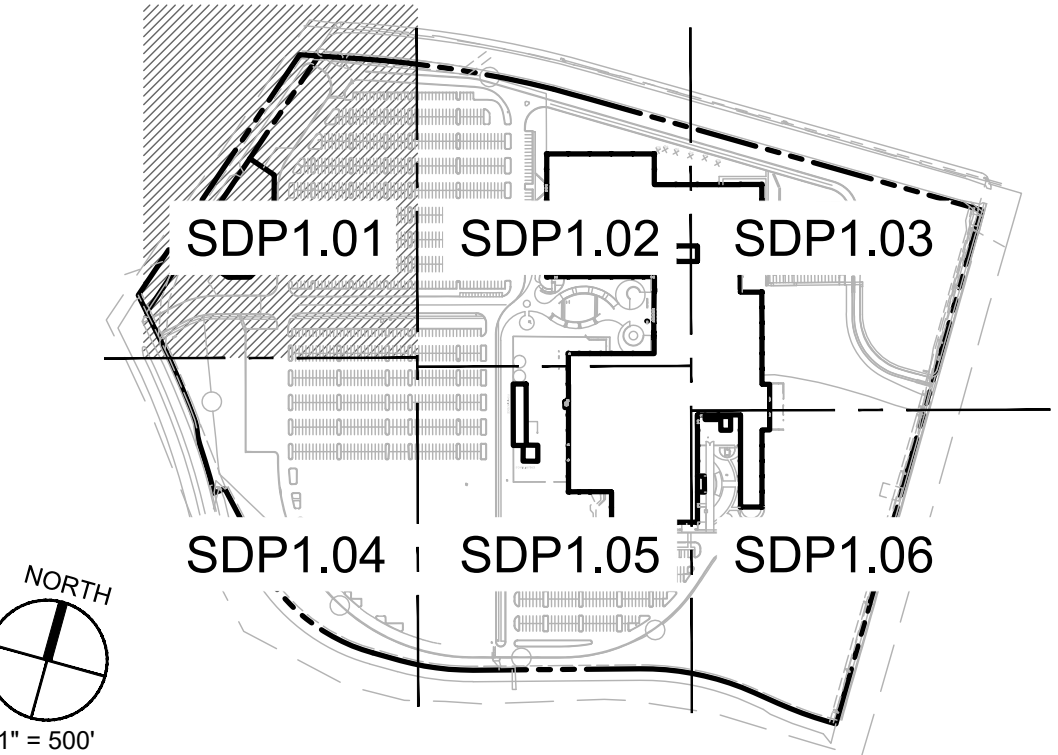
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	LANDSCAPE AREA
	INTEGRAL COLORED CONCRETE, COLOR: TBD
	SITE AREA TO REMAIN UNDISTURBED
	TABLE AND CHAIRS
	EXISTING LIGHT POLE TO REMAIN
	EXISTING FIRE HYDRANT

PARKING INFORMATION

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ALBUQUERQUE, NM 87113

DRB
SUBMITTAL

REVISIONS

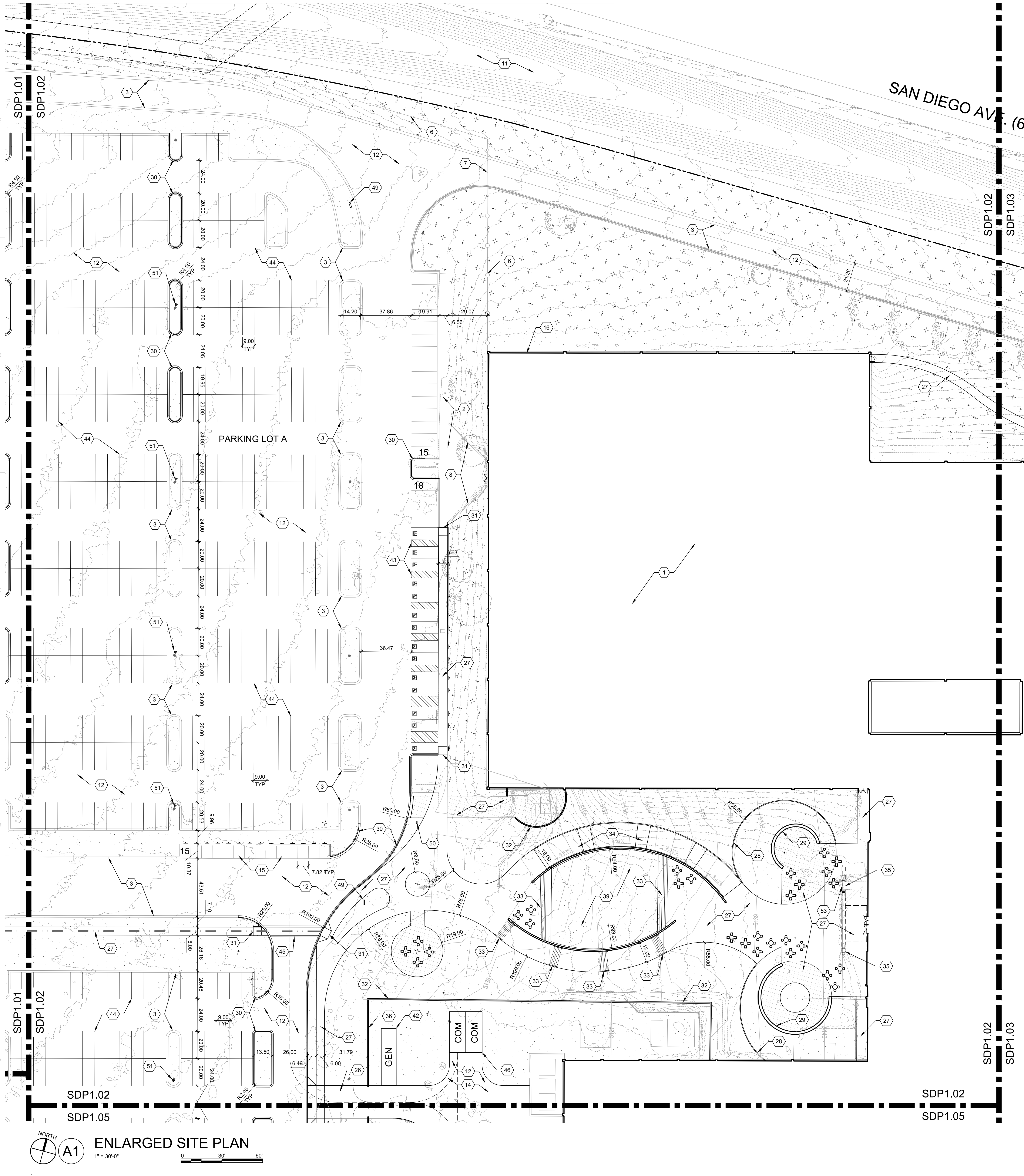


DRAWN BY	TC, CD
REVIEWED BY	CM
DATE	01/17/2020
PROJECT NO.	19-0008
DRAWING NAME	

ENLARGED
SITE PLAN

SHEET NO.

SDP1.01
OF



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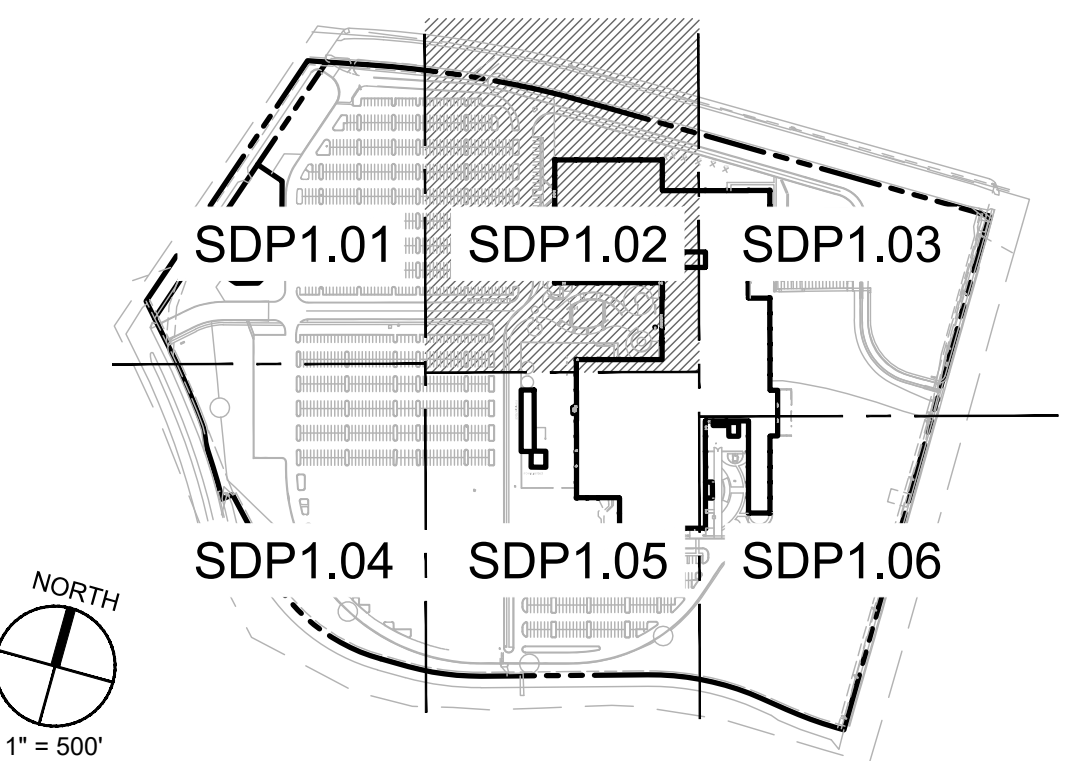
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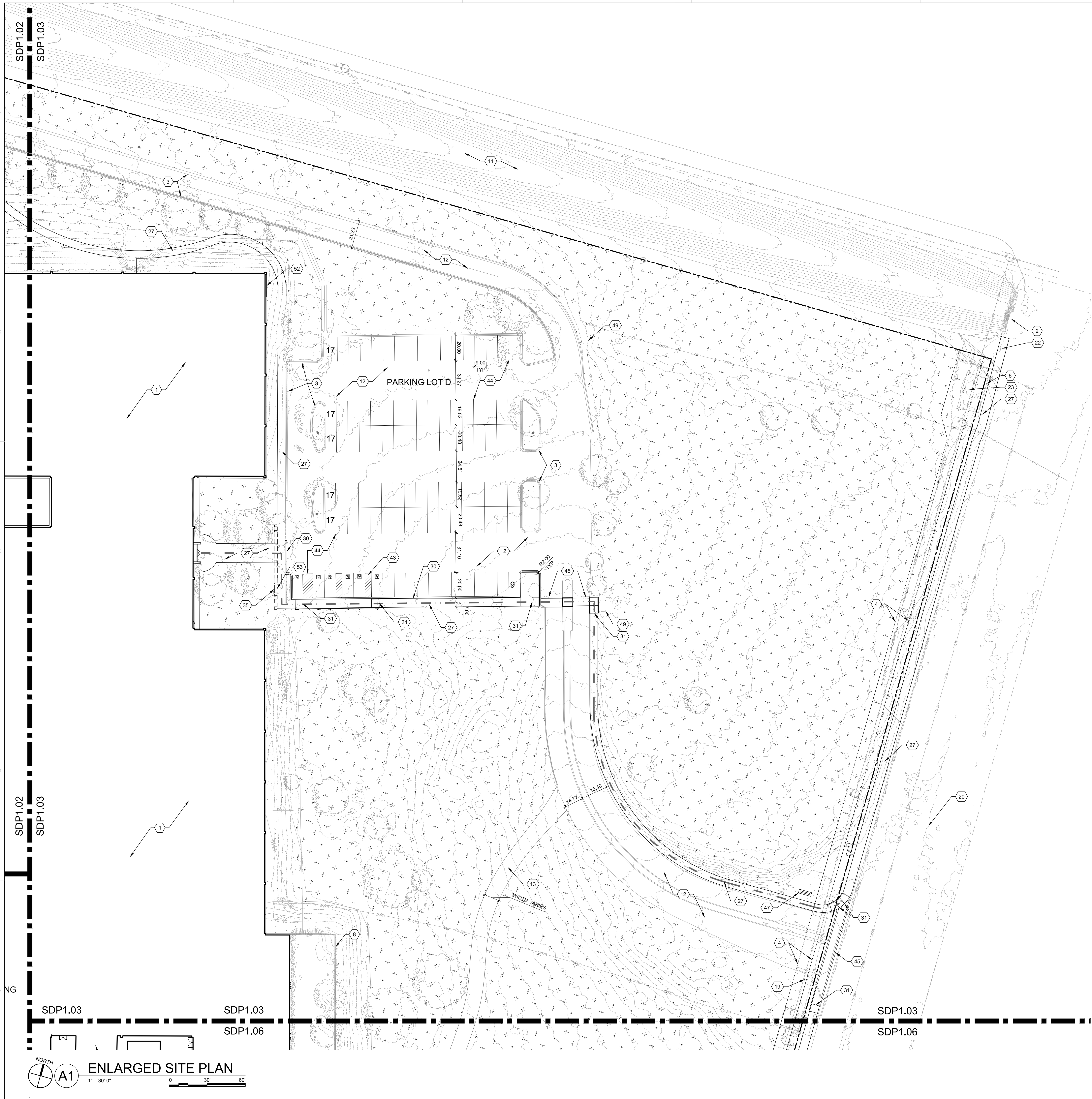
PHS ALOFT PLAZA
9201 SAN MATEO
ALBUQUERQUE, NM 87113

DRB
SUBMITTAL

REVISIONS
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△
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△
△
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△

DRAWN BY CD, TC
REVIEWED BY CM
DATE 01/17/2020
PROJECT NO. 19-0008
DRAWING NAME
ENLARGED
SITE PLAN

SHEET NO.
SDP1.02
OF



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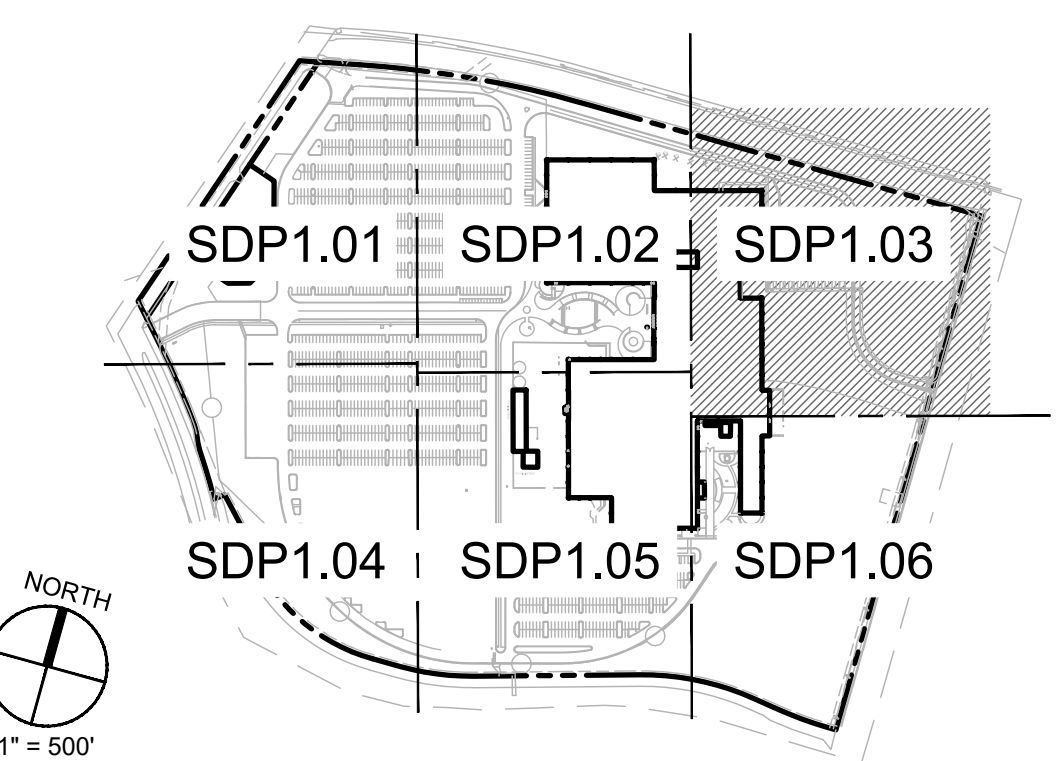
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9201 SAN MATEO
ALBUQUERQUE, NM 87113

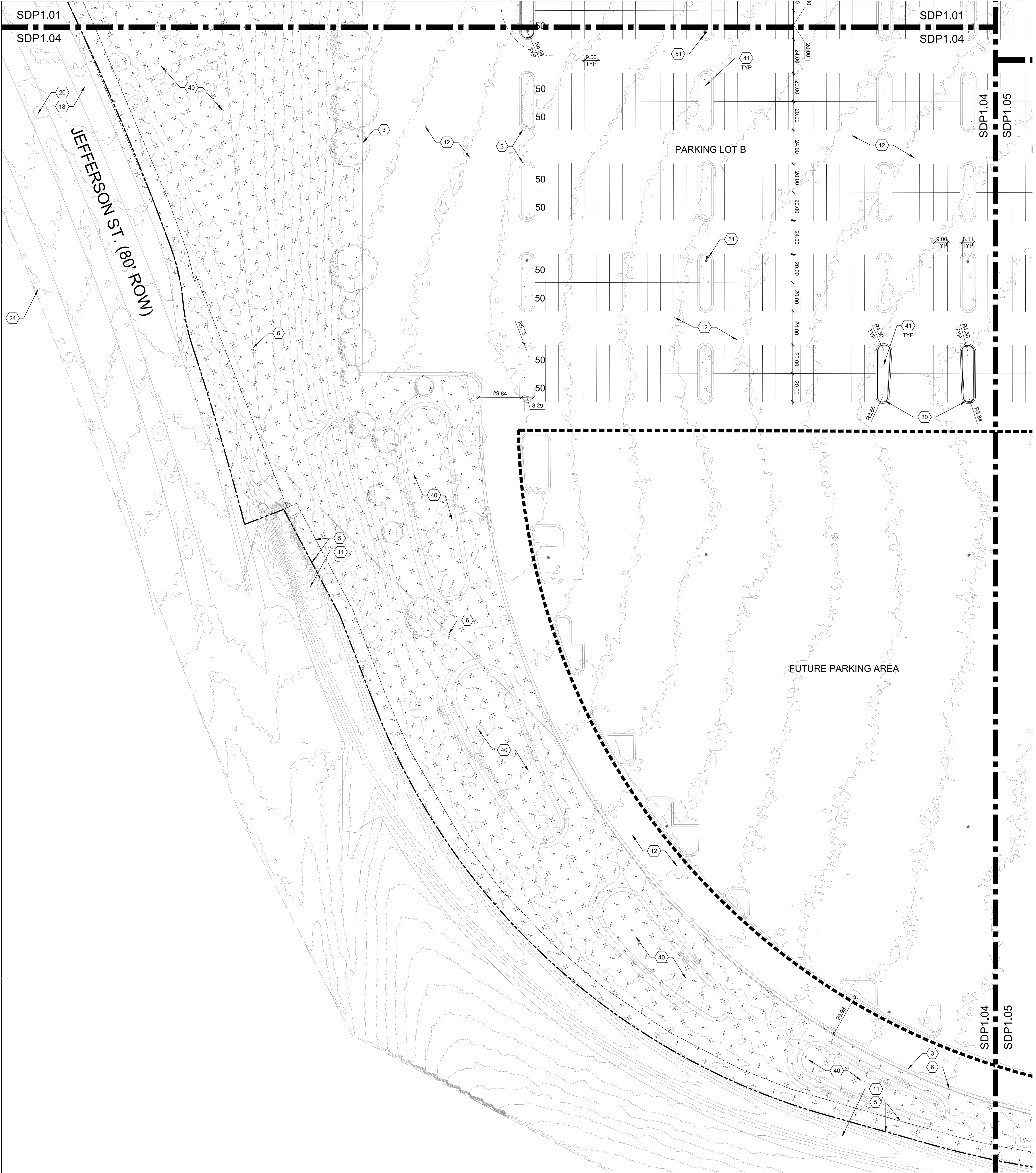
DRB
SUBMITTAL

REVISIONS
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DRAWN BY	CD, TC
REVIEWED BY	CM
DATE	01/17/2020
PROJECT NO.	19-0008
DRAWING NAME	

ENLARGED
SITE PLAN

SHEET NO.
SDP1.03
OF



NORTH
A1
1" = 30'-0"
0 30' 60'

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
E. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
F. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8 OUTDOOR LIGHTING.
G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
H. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
I. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE. CIVIL FOR SPOT ELEVATIONS, GRADING AND DRAINAGE.
J. SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
K. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
L. WORK BEYOND PROPERTY LINES WILL BE PART OF A SEPARATE CITY WORK ORDER.

SHEET KEYED NOTES

CODE	DESCRIPTION
1	EXISTING BUILDING OR STRUCTURE TO REMAIN
2	EXISTING SIDEWALK TO REMAIN
3	EXISTING CURB AND GUTTER TO REMAIN
4	EXISTING 10'-0" WIDE PUBLIC UTILITY EASEMENT
5	EXISTING 10'-0" WIDE DRAINAGE EASEMENT
6	EXISTING CHAINLINK FENCING TO REMAIN, REMOVE BARBED
7	WIRE TOP RAILS ON PERIMETER FENCE
8	EXISTING VEHICULAR GATE TO REMAIN
9	EXISTING RETAINING WALL TO REMAIN
10	EXISTING GAS METER TO REMAIN, SEE CIVIL
11	EXISTING DRAINAGE FEATURE TO REMAIN, SEE CIVIL
12	EXISTING CONCRETE DRAINAGE DITCH TO REMAIN
13	EXISTING ASPHALT PAVING TO REPAIR AND TOPCOAT, SEE CIVIL
14	EXISTING FIRE DEPARTMENT BASE COURSE ACCESS DRIVE
15	EXISTING SERVICE AREA WITH ASPHALT PAVING
16	EXISTING MOTORCYCLE PARKING AND SIGNAGE
17	EXISTING BUILDING MOUNTED SIGN TO REMAIN
18	EXISTING LEFT TURN LANE INTO SITE
19	EXISTING DECELERATION LANE INTO SITE
20	EXISTING STOP SIGN TO REMAIN
21	EXISTING MEDIAN IN ROAD
22	EXISTING PEDESTRIAN CONNECTION TO PARK
23	EXISTING PEDESTRIAN CONNECTION TO NORTH
24	EXISTING ELECTRICAL EQUIPMENT, SEE ELECTRICAL
25	APPROXIMATE LOCATION OF PUBLIC TRANSIT STOP
26	ASPHALT PAVING, SEE CIVIL
27	CONCRETE SERVICE VEHICLE ACCESS DRIVE
28	CONCRETE SIDEWALK
29	CONCRETE MOWCURB
30	CONCRETE SEATWALL
31	CONCRETE CURB AND GUTTER
32	CONCRETE CURB RAMP
33	CONCRETE RETAINING WALL
34	CONCRETE STAIRS W/ HANDRAILS
35	ACCESSIBLE RAMP WITH LANDINGS AND HANDRAILS
36	ARCHITECTURAL ENTRY WAYFINDING WALL, SEE ARCHITECTURE
37	CMU SCREEN WALL
38	DECORATIVE SCREEN WALL
39	SHADE STRUCTURE
40	COURTYARD AMENITY WITH BENCHES, TABLES, LIGHTING
41	PONDING AREA, SEE CIVIL
42	RECESSED AREA FOR WATER HARVESTING, SEE CIVIL
43	GENERATOR, SEE ELECTRICAL
44	ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING
45	PARKING STRIPING, 4" WIDE, COLOR: WHITE
46	PAINTED CROSSWALK, COLOR: WHITE
47	TRASH COMPACTOR WITH CONCRETE SLAB, DRAINAGE INLET, AND 3 PHASE POWER
48	MONUMENT SIGN TYPE A.2, SEE D3/SDP 1.00
49	MONUMENT SIGN TYPE B.1, SEE D1/SDP 1.00
50	WAYFINDING SIGN TYPE E.1, SEE D2/SDP 1.00
51	WAYFINDING SIGN TYPE H.1, SEE A5/SDP 1.00
52	POLE-MOUNTED SIGN TYPE P.1, SEE B5/SDP 1.00
53	BUILDING-MOUNTED SIGN, ILLUMINATED, SEE ARCHITECTURE ELEVATIONS
	FUTURE BUILDING MOUNTED TENANT SIGNAGE

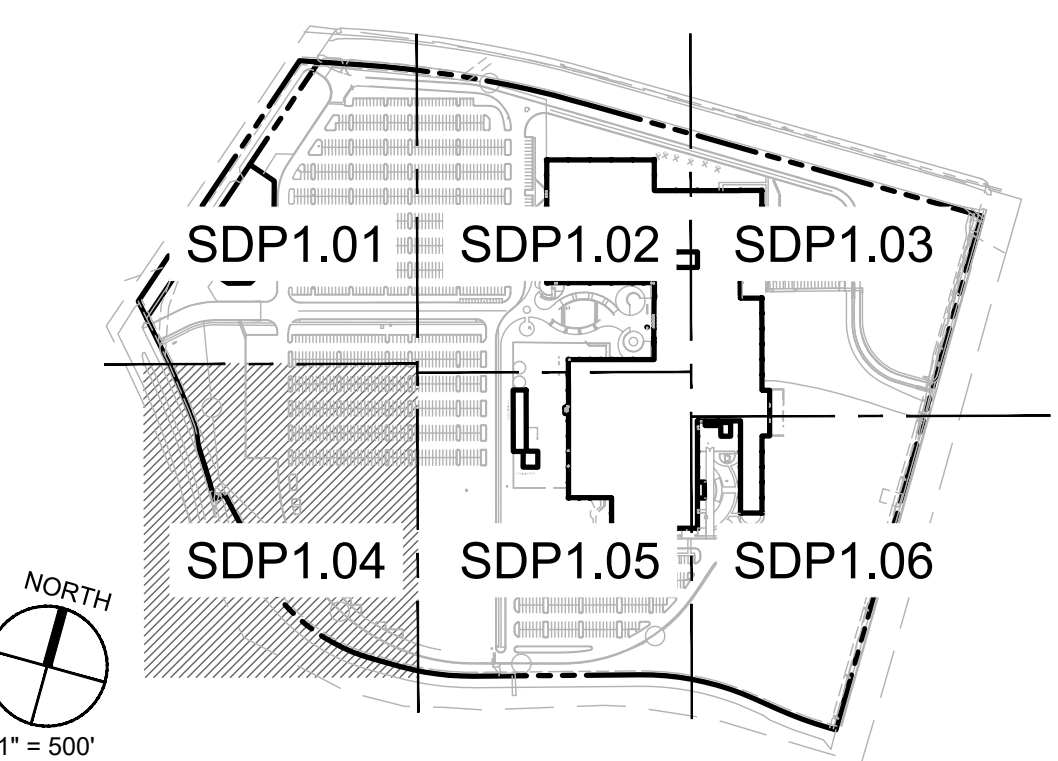
LEGEND

	PROPERTY LINE
	FIRELANE STRIPING MARKING FIRE ACCESS LANE
	FUTURE PHASE LINE
	ACCESSIBLE ROUTE TO PUBLIC WAY
	EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION, SEE D5/LP100
	LANDSCAPE AREA
	INTEGRAL COLORED CONCRETE, COLOR: TBD
	SITE AREA TO REMAIN UNDISTURBED
	TABLE AND CHAIRS
	EXISTING LIGHT POLE TO REMAIN
	EXISTING FIRE HYDRANT

PARKING INFORMATION

LOT A:	851 TOTAL STANDARD SPACES 10 STANDARD ADA 4 VAN ADA 15 MOTORCYCLE
LOT B:	552 TOTAL STANDARD SPACES
LOT C:	239 TOTAL STANDARD SPACES 12 STANDARD ADA 6 VAN ADA
LOT D:	103 TOTAL STANDARD SPACES 4 STANDARD ADA 2 VAN ADA

KEYPLAN



DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



ENGINEER

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT

PHS ALOFT PLAZA

9201 SAN MATEO
ALBUQUERQUE, NM 87113

DRB
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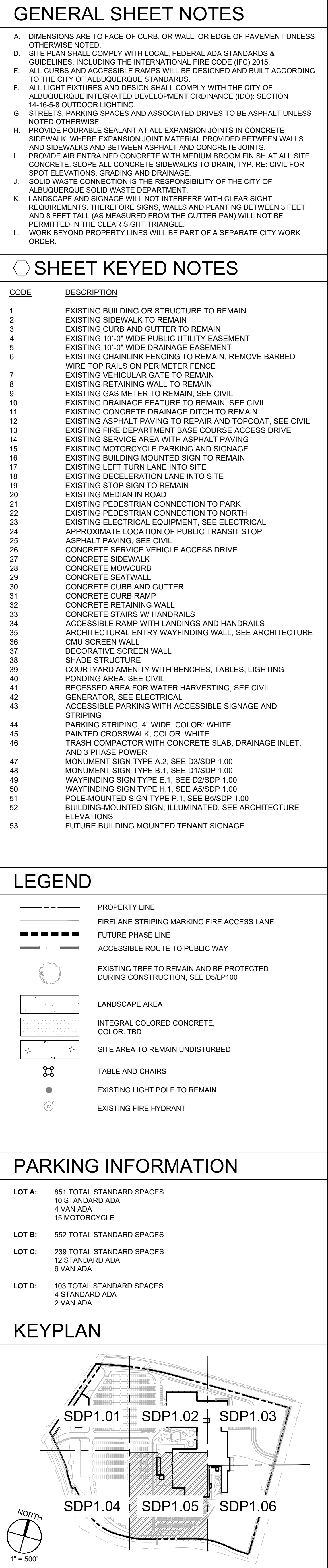


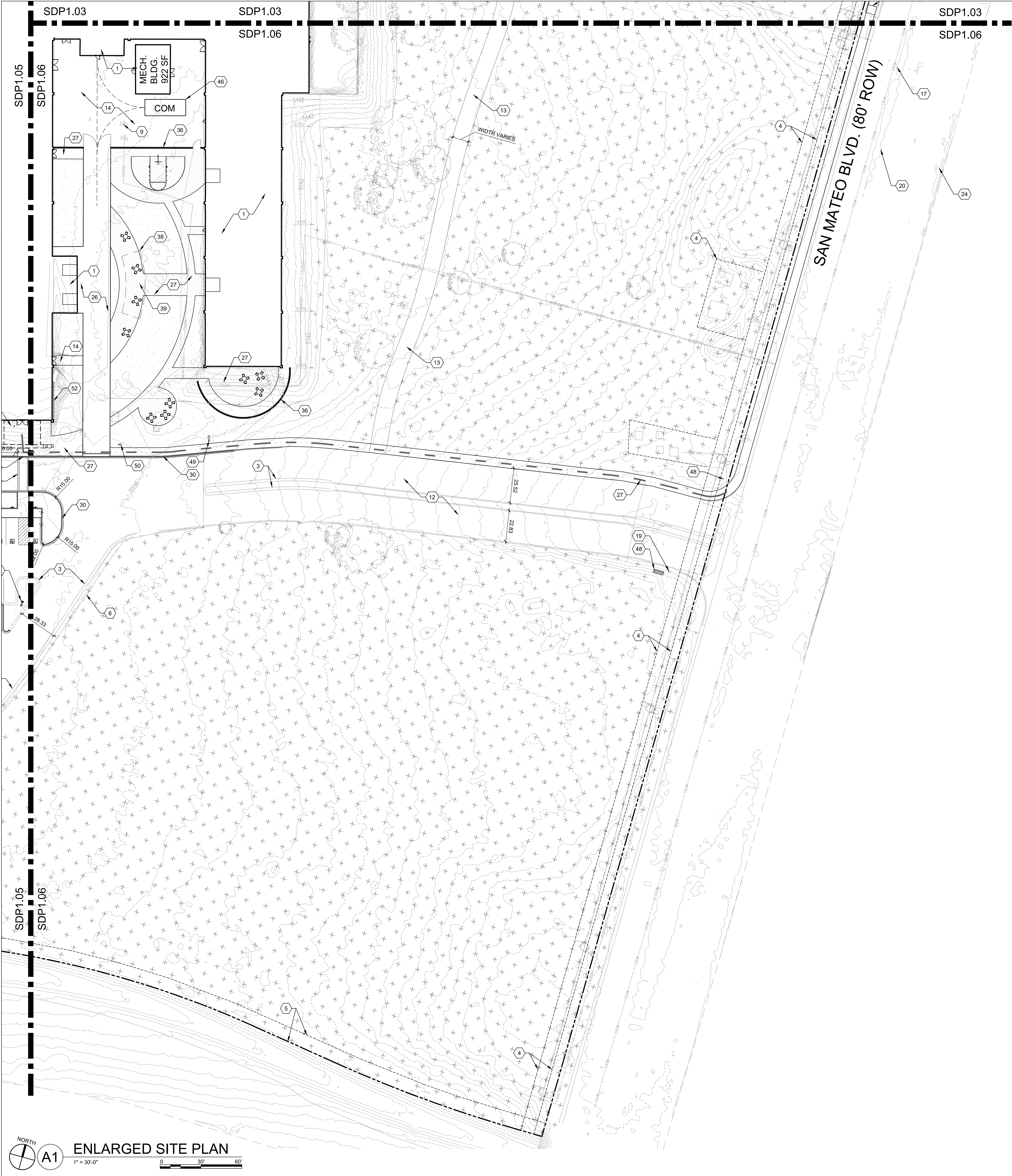
DRAWN BY	CD, TC
REVIEWED BY	CM
DATE	01/17/2020
PROJECT NO.	19-0008
DRAWING NAME	

ENLARGED
SITE PLAN

SHEET NO.

SDP1.04
OF





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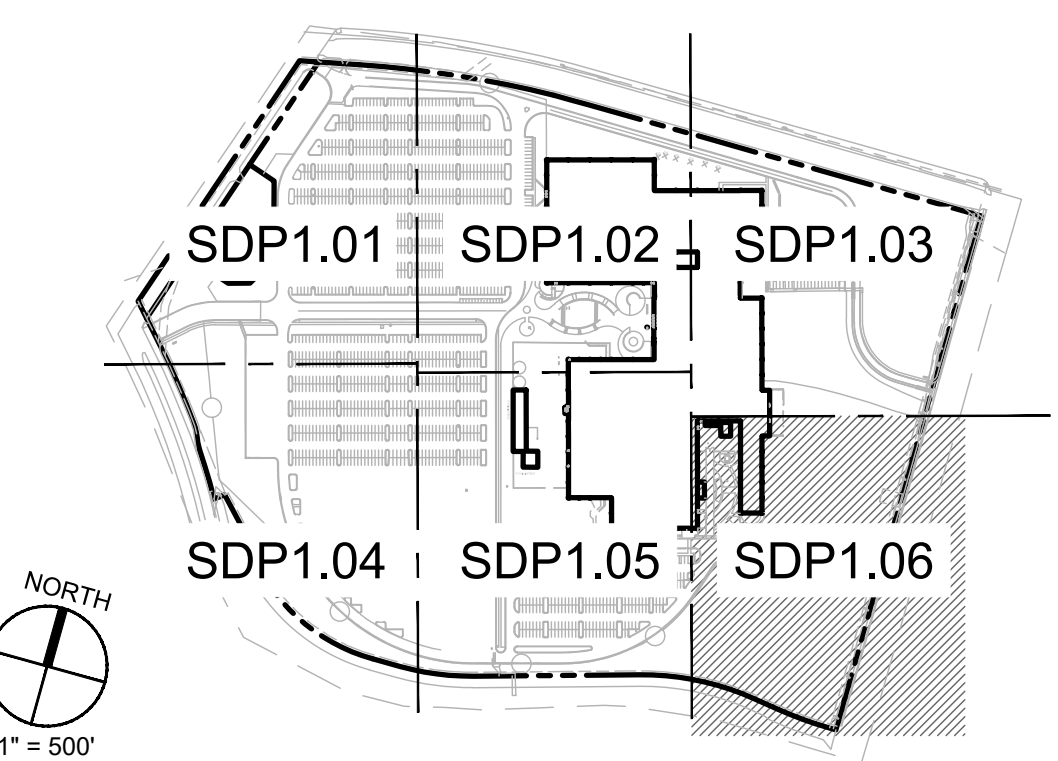
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DRAWN BY	CD, TC
REVIEWED BY	CM
DATE	01/17/2020
PROJECT NO.	19-0008
DRAWING NAME	

ENLARGED
SITE PLAN

SHEET NO.
SDP1.06
OF