



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Stacy Herrera, City of Albuquerque DMD		Phone: (505) 328-7471
Address: One Civic Plaza		Email: sherrera@cabq.gov
City: Albuquerque	State: NM	Zip:
Professional/Agent (if any): Scott Eddings, Huitt-Zollars		Phone: (505) 235-7211
Address: 333 Rio Rancho Blvd		Email:
City: Rio Rancho	State: NM	Zip: 87124
Proprietary Interest in Site:	List <u>all</u> owners:	

### BRIEF DESCRIPTION OF REQUEST

Parking lot shade structure approximately 1,440 square feet.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract A	Block: 0000	Unit:
Subdivision/Addition: Sanchez-Mel & Lath & Plaster Supply Company	MRGCD Map No.:	UPC Code: 101506112520231150
Zone Atlas Page(s): F15	Existing Zoning: NR-SU	Proposed Zoning: NR-SU
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 12.24

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5350 2nd Street NW	Between: 2nd Street	and: Montano
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2020-003264

<b>Signature:</b>	<b>Date:</b> June 2, 2022
<b>Printed Name:</b> Scott Eddings	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

### **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

### **ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

### **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

***Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.***

### **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- not locatable  The approved Site Development Plan being amended
- not locatable  Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- NA  Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

***Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.***

### **ACCELERATED EXPIRATION SITE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

### **ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

### **ALTERNATIVE LANDSCAPE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan





# CITY OF ALBUQUERQUE

Department of Municipal Development



June 14, 2022

Timothy Keller, Mayor

Mr. Jay Rodenbeck, Planning Manager  
City of Albuquerque  
Development Review Services  
600 Second Street NW  
Albuquerque, NM 87102

RE: Agent Authorization Letter – APD Crime Lab Improvements

Dear Mr. Rodenbeck,

Please find this letter as Authorization for the Site Plan Amendment submittal as well as the associated matters for approval associated with the APD Crime Lab Improvements at 5360 Second Street NW.

PO Box 1293

These actions will be represented by the following entities:

Albuquerque Huitt-Zollars Inc - Scott Eddings, PE or other designated members of Huitt-Zollars, Inc.

New Mexico 87103

Feel free to contact me if you have any questions or concerns.

[www.cabq.gov](http://www.cabq.gov)

Respectfully,

Patrick Montoya,  
Director  
Department of Municipal Development  
City of Albuquerque



## Memorandum

DATE: June 2, 2022  
TO: Jay Rodenbeck, Planning Department  
FROM: Scott Eddings  
SUBJECT: Parking Lot Shade Canopy Structure – APD Crime Lab

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City of Albuquerque Police Department is seeking to install a shade structure at the Crime Lab facility located at 5350 Second Street NW. The DRB or EPC approved Site Plan for this facility cannot be located and we have made a formal records request to the City Clerk. Attached for your approval are AA Site Plan, Site Plan and Canopy Structure.

The City Project Team includes:

Stacy Herrera  
DMD, Construction Project Manager  
[sherrera@cabq.gov](mailto:sherrera@cabq.gov)

Maria Garcia-Cunningham  
APD  
[mgarcia-cunningham@cabq.gov](mailto:mgarcia-cunningham@cabq.gov)

City of Albuquerque DMD seeks approval so canopy installation may begin as soon as possible.

Attachment: Crime Lab Canopy Structure.pdf

June 17, 2022

Mr. Jay Rodenbeck  
Planning Manager  
Development Review Services  
City of Albuquerque Planning Department  
PO Box 1293  
Albuquerque, NM 87103

**RE: APD Crime Lab Administrative Site Plan Amendment  
SI-2020-00011 & PR-2020-003264**

Dear Mr. Rodenbeck,

Thank you for your review of the Administrative Amendment to the Site Plan for the installation of a 1,920 sf canopy shade structure and paving improvements at the APD Crime Lab facility. These minor improvements are below the maximum thresholds within table 6-4-4 of the IDO.

Building Gross Floor Area	0% Change
Front Setback, Minimum	0% Change
Side Setback, Minimum	0% Change
Rear Setback, Minimum	0% Change
Building Height, Maximum	0% Change
Wall and Fence Height	No Change to Walls or Fences
Any Other Numerical Standard	No Change to Occupied Spaces
Any Other Addition or revision that Would Otherwise be decided as a Permit – Sign, Permit – Wall or Fence – Minor, or Site Plan – Administrative	New 1,920 sf Shade Canopy within Parking Lot
Any Standard Cited in an Application for “Reasonable Accommodation” or “Reasonable Modification” Under the Federal Fair Housing Act Amendments Of 1998 (or as amended)	No Change – 0% Housing

We greatly appreciate your time and consideration. Please contact me if you have any questions.

Sincerely,



Scott Eddings, P.E.  
Project Engineer





ADMINISTRATIVE AMENDMENT  
 FILE # SI-2020-0001 PROJECT # PR-2020-0326

Shade structure.

[Signature] 23 Jan 2020  
 APPROVED BY DATE

Owner Name: CITY OF ALBUQUERQUE  
 Owner Address: PO BOX 1293, ALBUQUERQUE NM 87103-2248  
 UPC: 101506112520231150  
 Tax Year: 2017 Tax District: A1AM  
 Legal Description: TRACT A PLAT OF DIVISION OF LAND OF MEL SANCHEZ & LATH & PLASTER SUPPLY CO  
 Property Class: C Document Number: 8998866 111389  
 Acres: 12.24

City Zoning and Services  
 IDO Zone District: NR-SU  
 IDO District Definition: Sensitive Use  
 Old Zoning Designation: SU-1  
 Old Zoning Description: POLICE SUBSTATION & CENTRAL FAC OR SU-2 NFTOD  
 Land Use: 17 | Community  
 Lot: A Block: 0000 Subdivision: SANCHEZ-MEL & LATH & PLASTER SUPPLY COMPANY  
 Police Beat: 239 Area Command: VALLEY  
 Jurisdiction: ALBUQUERQUE  
 Zone Atlas Page: [F15](#) (opens in new window)  
 City Neighborhood Association: Greater Gardner & Monkbridge NA

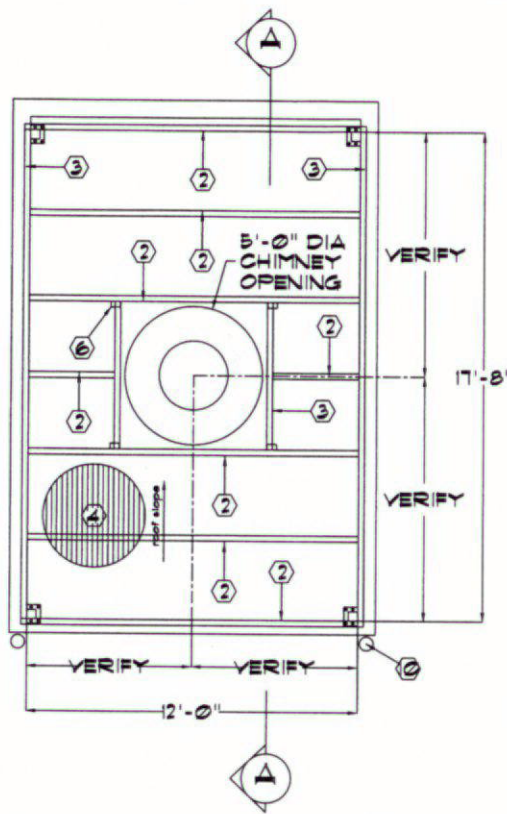
SCIENTIFIC EVIDENCE INCINERATOR SHELTER

City of Albuquerque  
 Building Safety

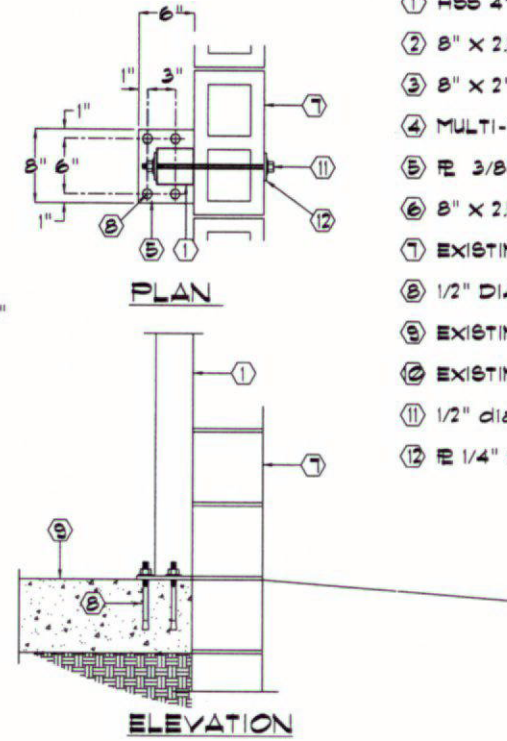
JUL 24 2019

I.B.C.  
 Plan Check Section





**ROOF FRAMING PLAN**  
3/16" = 1'-0"



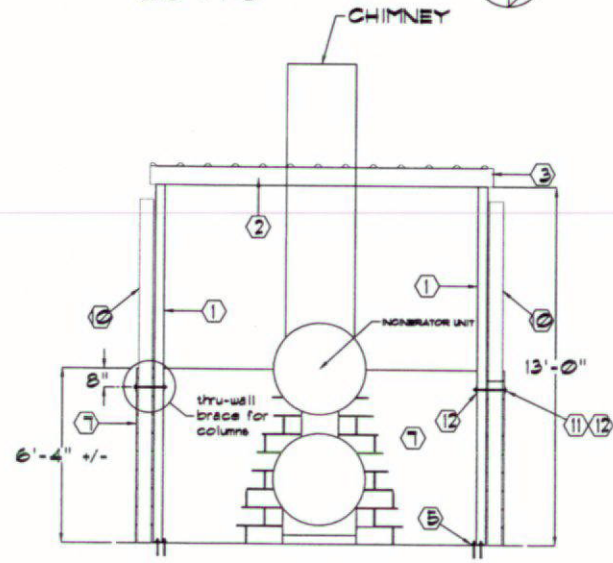
**COLUMN ANCHORING**  
1" = 1'-0"

**KEYED NOTES**

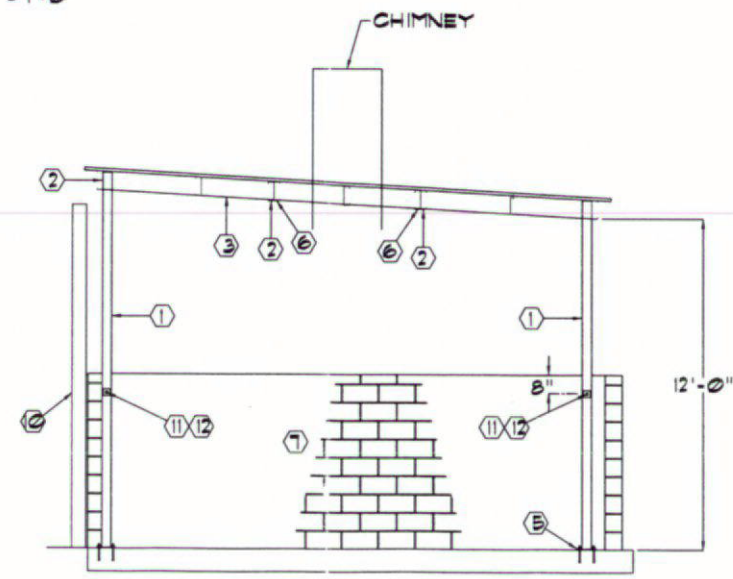
- ① H88 4" X 4" X 14 GA COLUMNS
- ② 8" X 2.5" X 14 GA C-PURLIN
- ③ 8" X 2" X 14 GA RECEIVERS
- ④ MULTI-RIB BRITE WHITE 26 GA ROOF PANELS
- ⑤ PL 3/8" X 6" X 0'-8" (COLUMN BASE PLATE)
- ⑥ 8" X 2.5" X 14 GA C-PURLIN X 4" CLIP
- ⑦ EXISTING CMU WALL
- ⑧ 1/2" DIAMETER X 6" EXPANSION ANCHOR
- ⑨ EXISTING 8" THICK +/- CONCRETE SLAB
- ⑩ EXISTING STEEL GATE POST
- ⑪ 1/2" diameter bolt or all-thread with nuts and washers
- ⑫ PL 1/4" X 3" X 0'-3" with 5/8" dia hole centered

**GENERAL STRUCTURAL NOTES**

- INTERNATIONAL BUILDING CODE, 2015 EDITION  
ACI 318-05  
AISC MANUAL OF STEEL CONSTRUCTION 8TH EDITION
2. DESIGN LOADS:  
A. Vertical:  
1. Roof Live Load = 20 psf (non-reduced)
- B. Horizontal:  
1. Seismic \*  
Site Class D  
Importance Factor = 1.00
2. WIND \*  
ULTIMATE WIND SPEED = 115 mph  
Importance Factor = 1.00  
\* Allowable 1/3 stress increase for combined gravity and lateral loading.
- C. Assumed maximum allowable soil bearing pressure: 1,500 psf.  
The foundations have been designed upon the assumption that the underlying soils are neither expansive or subject to consolidation and will provide suitable support for the structure. A geotechnical investigation was not performed and the soil conditions are the responsibility of the owner.
3. GENERAL:  
A. The Contractor shall verify all dimensions in the field.  
B. The Contractor shall be responsible for providing safe and adequate shoring for all parts of the structure during construction.
4. MATERIALS:  
A. Cast-in-place Concrete:  
1. Hardrock Concrete (Unit Wt.=150 pcf)  
a. 2,500 psi @ 28 days (air entrained) - All exterior concrete.
- B. Structural Steel:  
1. All cold formed structural steel tubing shall conform to ASTM A500 Grade B, Fy = 46 ksi.  
2. All miscellaneous steel members and connections shall conform to ASTM A36  
3. All welding shall be done by certified welders and shall be in accordance with the latest standards of the AWS and AISC.
- C. Lightgage Structural Steel:  
1. Carbon sheet steel must meet the minimum requirements of ASTM A570 Grade 50 ksi for 12 gage, ASTM A570 Grade 50 ksi or Grade 33 ksi for 14 and 16 gage and Grade 33 ksi for 18 gage and lighter members. Carbon sheet steel products must be thoroughly coated with a rust inhibitive paint.  
2. All structural members shall be designed in accordance with American Iron and Steel Institute (AISI) "Specification for the Design of Cold-Formed Steel Structural Members" 1986 edition, with 1989 amendments.  
3. Provide all miscellaneous accessories as per manufacturer's recommendations.  
4. Erect lightgage steel framing as per manufacturer's recommendations.



**EAST ELEVATION**  
3/16" = 1'-0"



**SECTION A-A**  
3/16" = 1'-0"

City of Albuquerque  
Building Safety

JUL 24 2019

I.B.C.  
Plan Check Section



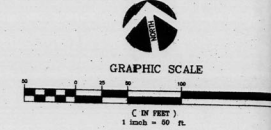
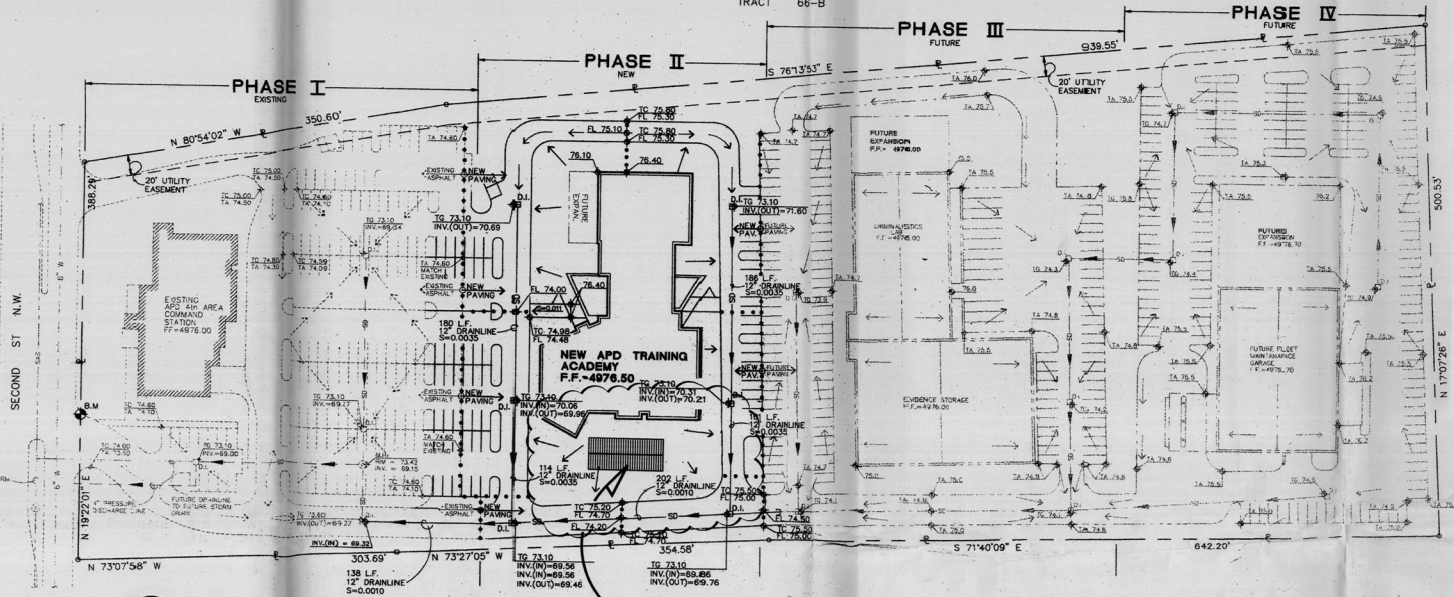
**RADER**  
AWNING

12' X 18' INCINERATOR SHELTER  
CABQ - SCIENTIFIC EVIDENCE DIVISION  
5350 2ND, NW  
ALBUQUERQUE, NM 87107  
SHEET 1 OF 1 JULY 23, 2019





TRACT 66-B



**APD GRADING AND DRAINAGE PLAN (CONCEPTUAL)**

RONDE MAY KELLER MCNAMARA  
ARCHITECTURE

**DRAINAGE PLAN**

The conceptual grading and drainage plan presented herewith has been prepared to assist in the planning and design of the proposed improvements to the site. The plan is intended to be used in conjunction with the proposed site plan and the proposed site plan shall be subject to the approval of the City of Albuquerque. The following items concerning the proposed improvements are contained herein:

1. Grading plan
2. Drainage plan
3. Erosion control plan

The proposed improvements are located on the east side of Second Street N.W. between Montana Street N.W. and 61st Avenue N.W. as shown on the attached site plan. The proposed improvements are shown on the attached site plan. The proposed improvements are shown on the attached site plan. The proposed improvements are shown on the attached site plan.

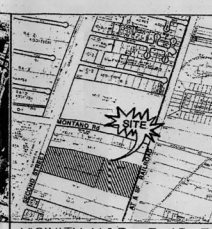
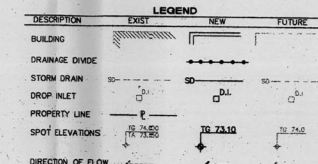
**PROFESSIONAL CORPORATION**

PROJECT

**CITY OF ALBUQUERQUE  
SITE PLAN AMENDMENT  
5412 Second Street NW**

APD Training Center  
Temporary Classroom Addition

**CLOSED AREAS HAVE BEEN DERIVED FROM THE APPROVED SITE PLAN 290-56 TO INDICATE THE ADDITION OF A PORTABLE CLASSROOM BUILDING IN AN AREA PREVIOUSLY ASSIGNED AS OPENWALK.**



AMDS PLATE F-15

VICINITY MAP F-15-Z

**ABBREVIATIONS**

TC TOP OF CURB TO TOP OF GRATE  
TA TOP OF ASPHALT INV. INVERT  
FL FLOWLINE S SLOPE  
FF FINISHED FLOOR

**LEGAL DESCRIPTION**

TRACT A, AN AMENDED PLAT (DIVISION OF LANDS OF MEL SANCHES AND LATH & PLASTER SUPPLY CO.

**CHAVEZ-GRIEVEB / CONSULTING ENGINEERS, INC.**  
4800-C Montgomery Blvd. N.E.  
Albuquerque, New Mexico 87109  
(505) 881-7379

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP**

TITLE: **ALBUQUERQUE POLICE DEPARTMENT  
TRAINING ACADEMY  
GRADING AND DRAINAGE PLAN (CONCEPTUAL)**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.A.C. Chief			Water		
Trans. Dir.			Wastewater		
Hydrology					
Const. Coord.					

DRAWING NO. **F-15-Z** SHEET **2** OF **5**

**AS BUILT INFORMATION**

NO.	DATE	BY	REVISIONS
			DESIGN
	DATE: 8-29	BY: E. J. CHAVEZ	
	DATE: 8-29	BY: E. J. CHAVEZ	

**BENCH MARKS**

PROJECT BENCH MARK - IS A STANDARD MARIAS BRASS  
LOCATED AT THE NORTH INTERSECTION OF SECOND  
STREET AND MONTANA BLVD.  
ELEVATION = 4973.80 FEET (M.S.L.D.)

**SURVEY INFORMATION**

NO.	DATE	BY	REVISIONS
			DESIGN
	DATE: 8-29	BY: E. J. CHAVEZ	
	DATE: 8-29	BY: E. J. CHAVEZ	

**FIELD NOTES**

NO.	DATE	BY	REVISIONS
			DESIGN
	DATE: 8-29	BY: E. J. CHAVEZ	
	DATE: 8-29	BY: E. J. CHAVEZ	

**ENGINEER'S SEAL**

DATE: 8-29  
BY: E. J. CHAVEZ

FILE NO. APD-CO-DRNG 2430S EXTENTS 1-50 DATE: 8-11-92 REV: B-15-92





ROHDE MAY KELLER McNAMARA  
ARCHITECTURE

PROFESSIONAL CORPORATION

900 Gold Avenue, SW Suite 1100 Santa Fe, Albuquerque, New Mexico 87102 USA Tel. 505 243 5454

JULY 3, 2007

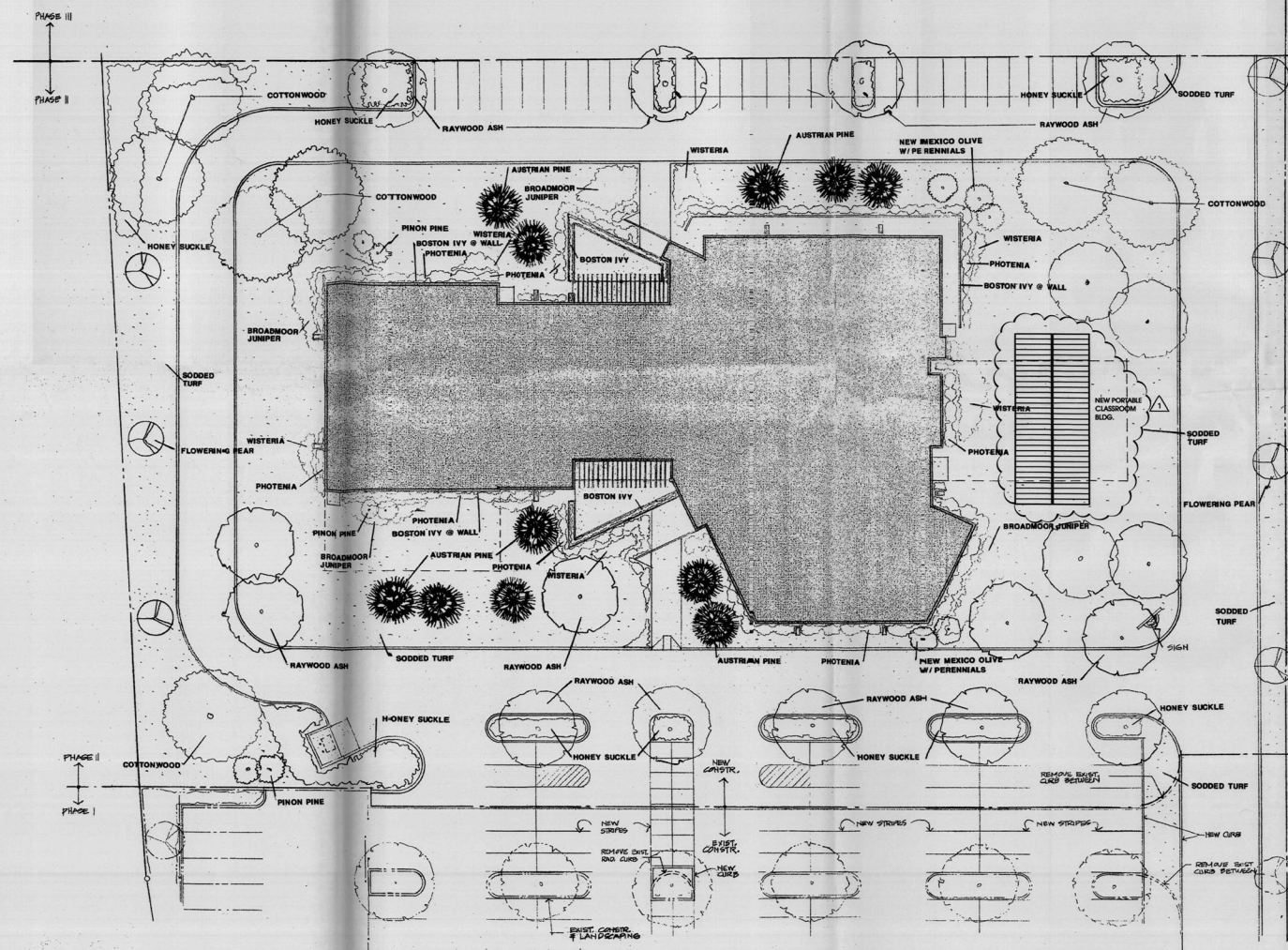
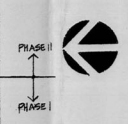
PROJECT  
CITY OF ALBUQUERQUE  
SITE PLAN AMENDMENT  
5412 Second Street NW

APD Training Center  
Temporary Classroom Addition

CLOUDED AREAS HAVE BEEN REVISED FROM THE APPROVED SITE PLAN: Z-90-56 TO INDICATE THE ADDITION OF A PORTABLE CLASSROOM BUILDING IN AN AREA PREVIOUSLY ASSIGNED AS EXPANSION. ALL LANDSCAPING IS EXISTING.

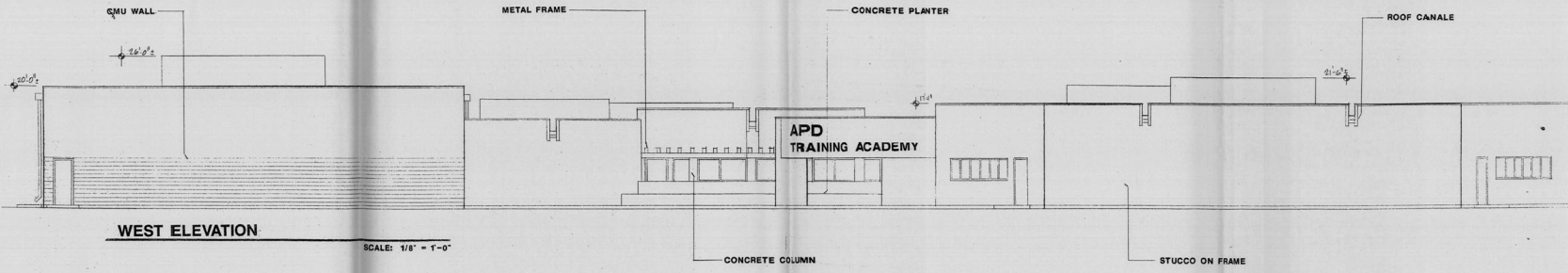
BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING
Populus Fremontii	Cottonwood	1 1/2" cal., 15gal.	N/A
Pyrus calleryana 'Aristocrat'	Flowering Pear	1 1/2" cal., 15gal.	N/A
Fraxinus oxycarpa 'Raywood'	Raywood Ash	1 1/2" cal., 15gal.	N/A
Pinus nigra	Austrian Pine	6 - 8" HC.	N/A
Pinus rigida	Pinon Pine	6 - 6" HC.	N/A
Pinus edulis	New Mexico Olive	15gal., multi	5' o.c.
Toxostelea neomexicana	Honey Suckle	1gal.	10' o.c.
Lonicera japonica	Boston Ivy	1gal.	5' o.c.
Sarcocissus trilobata	English Ivy	1gal.	5' o.c.
Hedera helix	Photinia	15gal.	4' o.c.
Rhodnia fraseri	Broadmoor Juniper	1gal.	4' o.c.
Juniperus sabina 'Broadmoor'	Wisteria	1gal.	N/A
Wisteria sinensis			

- NOTES:
1. ALL PLANTING BEDS SHALL HAVE A 4" LAYER OF SHREDED BARK MULCH APPLIED AFTER THE COMPLETION OF PLANTING.
  2. MAINTENANCE: THE CITY OF ALBUQUERQUE WILL MAINTAIN ALL THE LANDSCAPING SHOWN ON THE PLAN.
  3. IRRIGATION GENERAL NOTE: ALL PLANTING AND LAWN AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER, TIED INTO THE EXISTING SUBSTATION IRRIGATION SYSTEM.
  4. REQUIRED LANDSCAPE AREA = 15% (121,608 - 24,623) = 14,106  
PROVIDED LANDSCAPE AREA = 96,435



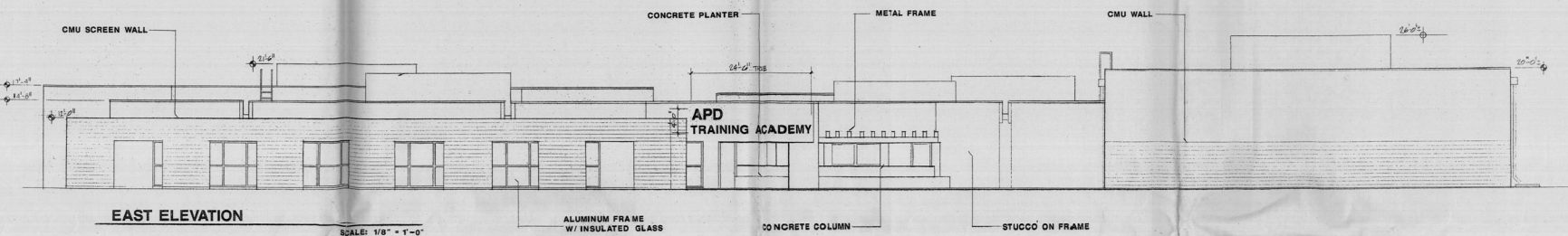
APD TRAINING ACADEMY		
LANDSCAPING PLAN		
CUSTER-BASARICH LTD. ARCHITECTS-PLANNERS AIA		DATE 9-10-92
		SHEET 4 of 5

215 CENTRAL NW, SUITE 38  
ALBUQUERQUE, NM 87102  
TELEPHONE: 505 765-1020



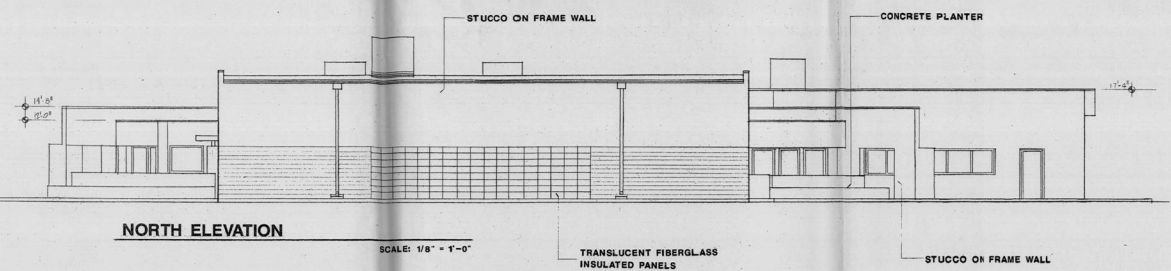
**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



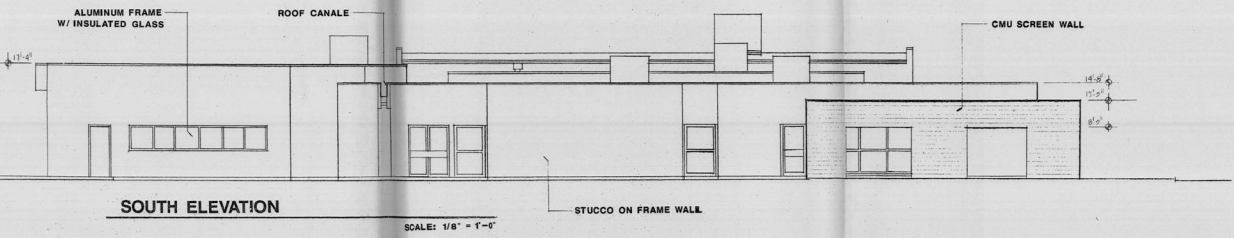
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

**BUILDING COLORS**  
 THE BUILDING IS PROPOSED TO BE COLORED  
 IN TWO WARM TONE, MONOCHROMATIC EARTH  
 COLORS, WITH BROWN TRIM.

TWO-TONE STUCCO - EL RAY NO. 121 SANDALWOOD  
 EL RAY NO. 106 BUCKSKIN  
 TRIM - WELLBORN NO. Q12-63U

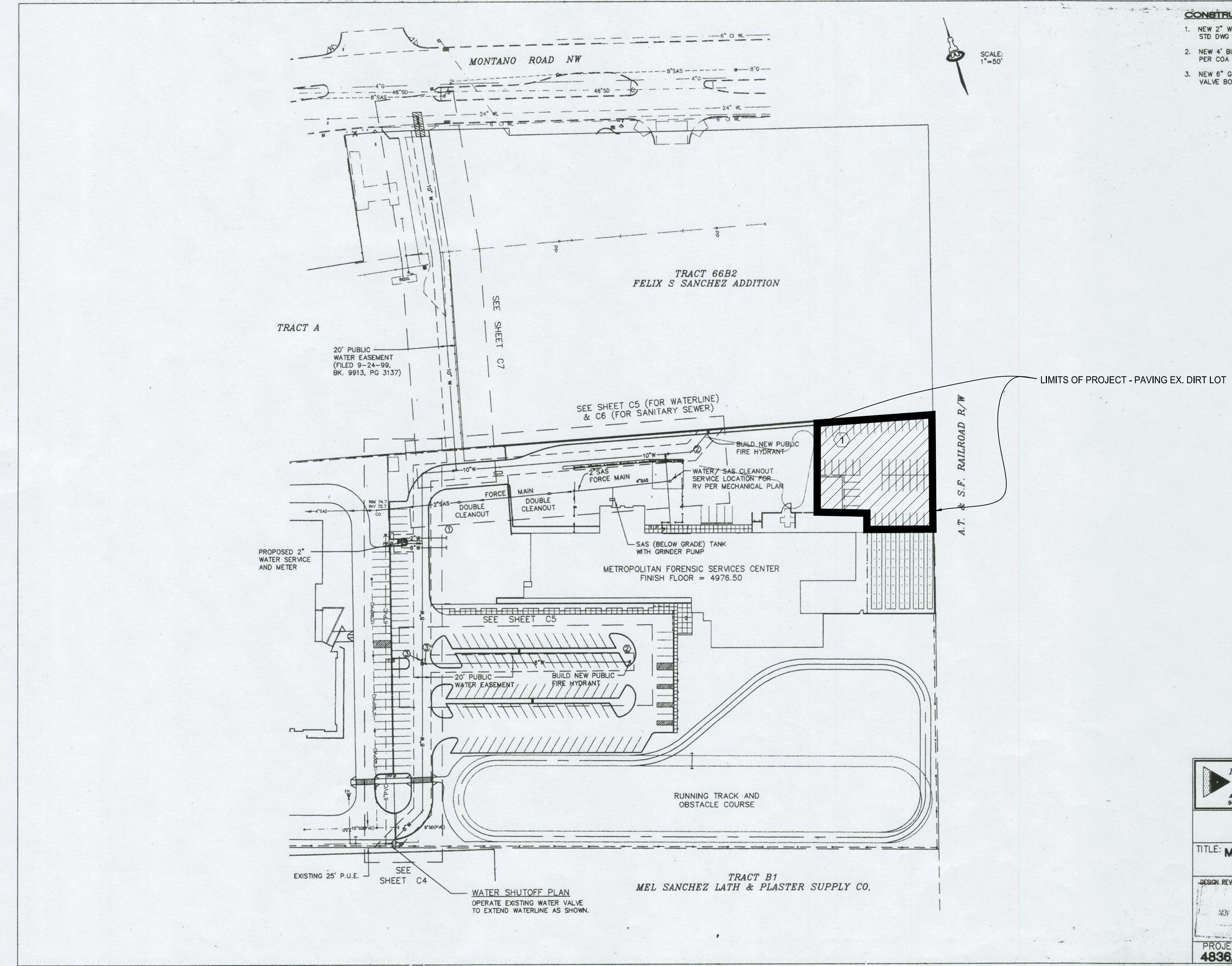
<b>APD TRAINING ACADEMY</b>		
<b>EXTERIOR ELEVATIONS</b>		
CUSTER-BASARICH LTD. ARCHITECTS-PLANNERS AIA		DATE 9-10-92
215 CENTRAL HW. SUITE 38 ALBUQUERQUE, NM 87102 TELEPHONE 505/764-1028		SHEET 5 of 5



Plotted: 6/2/2022 2:43:35 PM, By: Edgings, Scott  
 H:\p\9\1314022.01 - CABO Crime Lab\10 CAD & BIM\10.1 AutoCAD\Sheet Set\AA SITE PLAN.dwg  
 Last Saved: 6/2/2022 2:32:08 PM, settings

**SHEET KEYED NOTES**

- SHADE STRUCTURE



- CONSTRUCTION NOTES**
- NEW 2" WATER SERVICE PER COA STD DWG NOS. 2363 AND 2367.
  - NEW 4" BURY FIRE HYDRANTS PER COA STD DWG NO. 2340.
  - NEW 8" GATE VALVE AND TYPE 'A' VALVE BOX.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	MONUMENT IS A STANDARD INCH BRASS CAP LOCATED ON THE NORTH MEDIAN ROSE AT THE INTERSECTION OF 2ND ST. AND MONTANO RD. N.W. - STATION IS STAMPED 'STANMAY-0'	DATE	NO.	BY	NO.	DATE
			8/97	24	C.C.A.	DESIGN	DATE 12/14/08
						DRAWN BY	DATE 12/14/08
						CHECKED BY	DATE 6/15/09

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 120 Alvarado Street N.E.  
 Albuquerque, New Mexico 87102  
 Phone (505) 883-8114 Fax (505) 883-5022

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

**TITLE: METROPOLITAN FORENSIC SERVICES CENTER WATER & SANITARY SEWER PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO./DAY/YR.	NO./DAY/YR.

PROJECT: 4836.91 DRAWING: C3 MAP NO: F-15-Z SHEET OF: 11 C3 207

**PROJECT #:** 1002809

**OWNER NAME:** CITY OF ALBUQUERQUE  
**OWNER ADDRESS:** PO BOX 1293, ALBUQUERQUE NM 87103-2248  
**UPC:** 101506112520231150  
**TAX YEAR:** 2020  
**TAX DISTRICT:** A1AM  
**LEGAL DESCRIPTION:** TRACT A PLAT OF DIVISION OF LAND OF MEL SANCHEZ & LATH & PLASTER SUPPLY CO  
**PROPERTY CLASS:** C  
**DOCUMENT NUMBER:** 8998866 111389  
**ACRES:** 12.24

**CITY ZONING AND SERVICES**  
 IDO ZONE DISTRICT: NR-SU  
 IDO DISTRICT DEFINITION: SENSITIVE USE  
 OLD ZONE DESIGNATION: SU-1  
 OLD ZONING DESCRIPTION: POLICE SUBSTATION & CENTRAL FAC OR SU-2 NFT OD  
 LAND USE: 17 | COMMUNITY  
 LOT: A  
 BLOCK: 0000 S  
 SUBDIVISION: SANCHEZ-MEL & LATH & PLASTER SUPPLY COMPANY  
 POLICE BEAT: 239  
 AREA COMMAND: VALLEY  
 JURISDICTION: ALBUQUERQUE  
 IDO ZONE ATLAS PAGE: F15  
 CITY NEIGHBORHOOD ASSOCIATION: GREATER GARDNER & MONKBRIDGE NA

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	MONUMENT IS A STANDARD INCH BRASS CAP LOCATED ON THE NORTH MEDIAN ROSE AT THE INTERSECTION OF 2ND ST. AND MONTANO RD. N.W. - STATION IS STAMPED 'STANMAY-0'	DATE	NO.	BY	NO.	DATE
			8/97	24	C.C.A.	DESIGN	DATE 12/14/08
						DRAWN BY	DATE 12/14/08
						CHECKED BY	DATE 6/15/09

Designed By:

**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Albuquerque  
 6501 Americas Pkwy NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

**MEVACON, LLC**  
 APD CRIME LAB

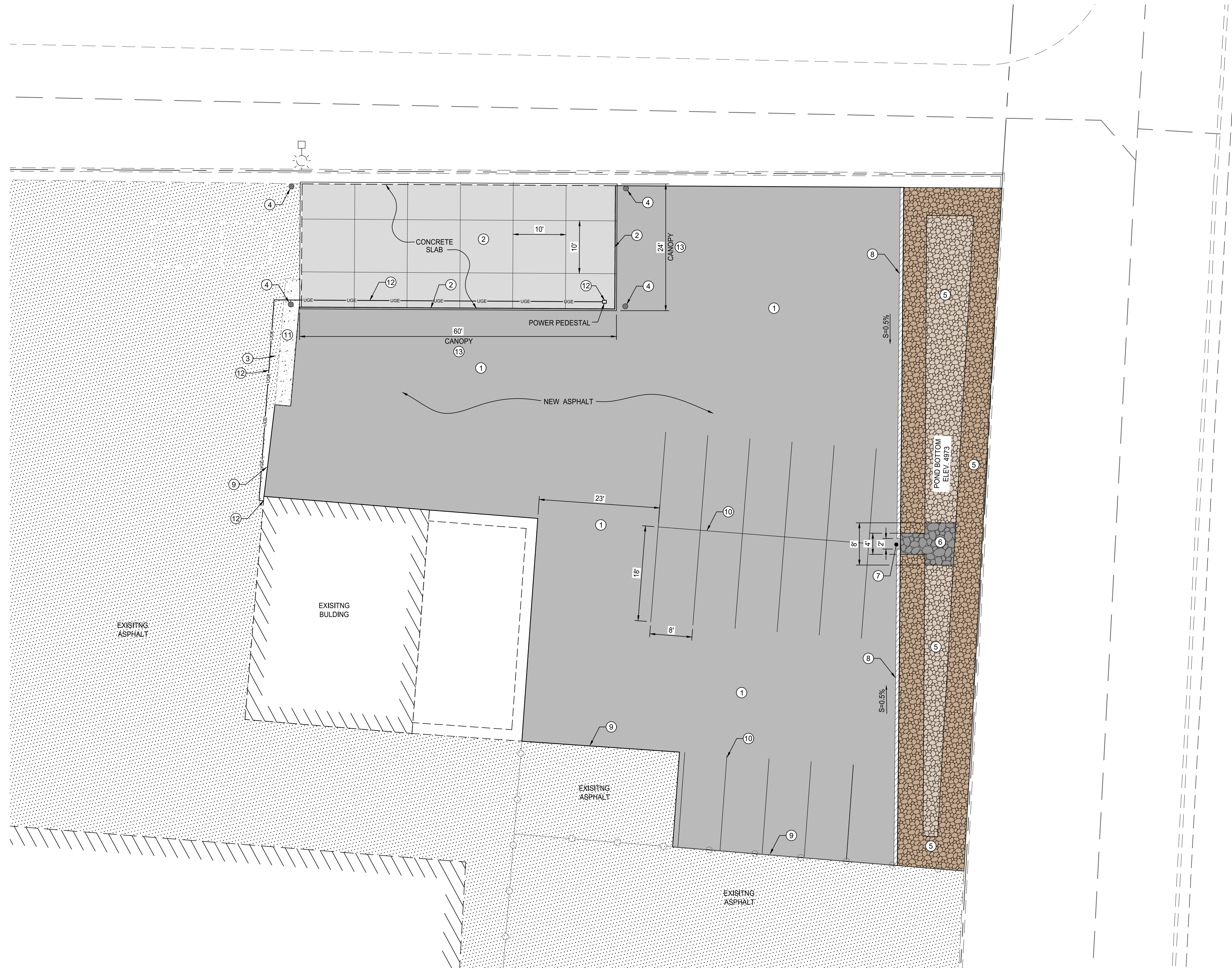
**TITLE: ADMINISTRATIVE AMENDMENT SITE PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. - Zone Map No. F-15-Z Sheet 1 Of 1



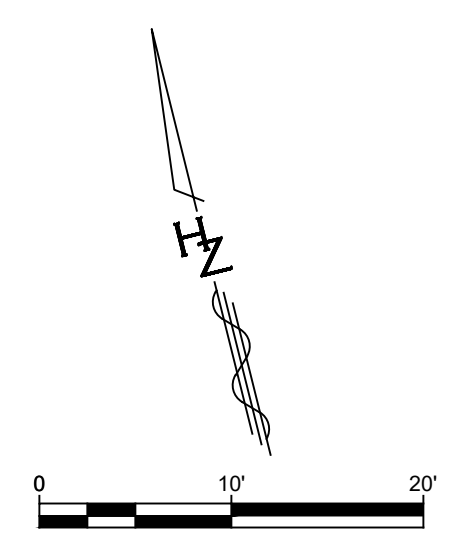
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**SITE PLAN**

**KEYED CONSTRUCTION NOTES**

- ① CONSTRUCT 3" SP-III ASPHALT PAVEMENT OVER 4" AGGREGATE BASE COURSE OVER 12" PREPARED SUBGRADE.
- ② CONSTRUCT CARPORT FOUNDATION AND CANOPY
- ③ REMOVE EXISTING FENCE
- ④ INSTALL BOLLARDS, PAINT YELLOW
- ⑤ 1" BROWN TONED SUB-ANGULAR LANDSCAPE ROCK, "MOUNTAIN BROW", OAE, OVER 4 OZ NON-WOVEN FILTER FABRIC (6" TURN DOWN WITH 3" OVERLAP)
- ⑥ 6" DIA ROCK, 12" DEEP
- ⑦ 2' WIDE OPENING
- ⑧ INSTALL ASPHALT CURB PER ABCVUA STD DWG 2415B.
- ⑨ CONSTRUCT EX/NEW ASPHALT PAVEMENT JOINT
- ⑩ 4" SOLID WHITE PAVEMENT MARKING
- ⑪ EXIST. CONCRETE TO REMAIN IN PLACE
- ⑫ INSTALL POWER PEDESTAL FOR MOBILE CRIME LAB. INSTALL PANEL VE TO MARKED OUT LOCATION ON NORTH SIDE OF PROPERTY. PENETRATE THROUGH MASONRY WALL AND TRENCH OVER 100FT FOR UNDERGROUND RACEWAY TO PEDESTAL. INSTALL NEW 120/240 VOLT 50 AMP PEDESTAL WITH 20 AMP CONVENIENCE GFCI RECEPTACLE. PROVIDE CORRECT 50 AMP RECEPTACLE TO MATCH MOBILE UNIT CORD & PLUG. VERIFY VOLTAGE AND OPERATION.
- ⑬ CANOPY DETAILS. SEE SHEETS 6 - 9



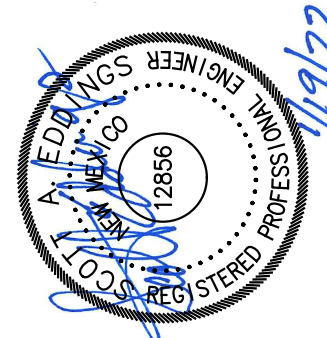
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**MEVACON, LLC**  
**APD CRIME LAB**

TITLE:  
**SITE PLAN**

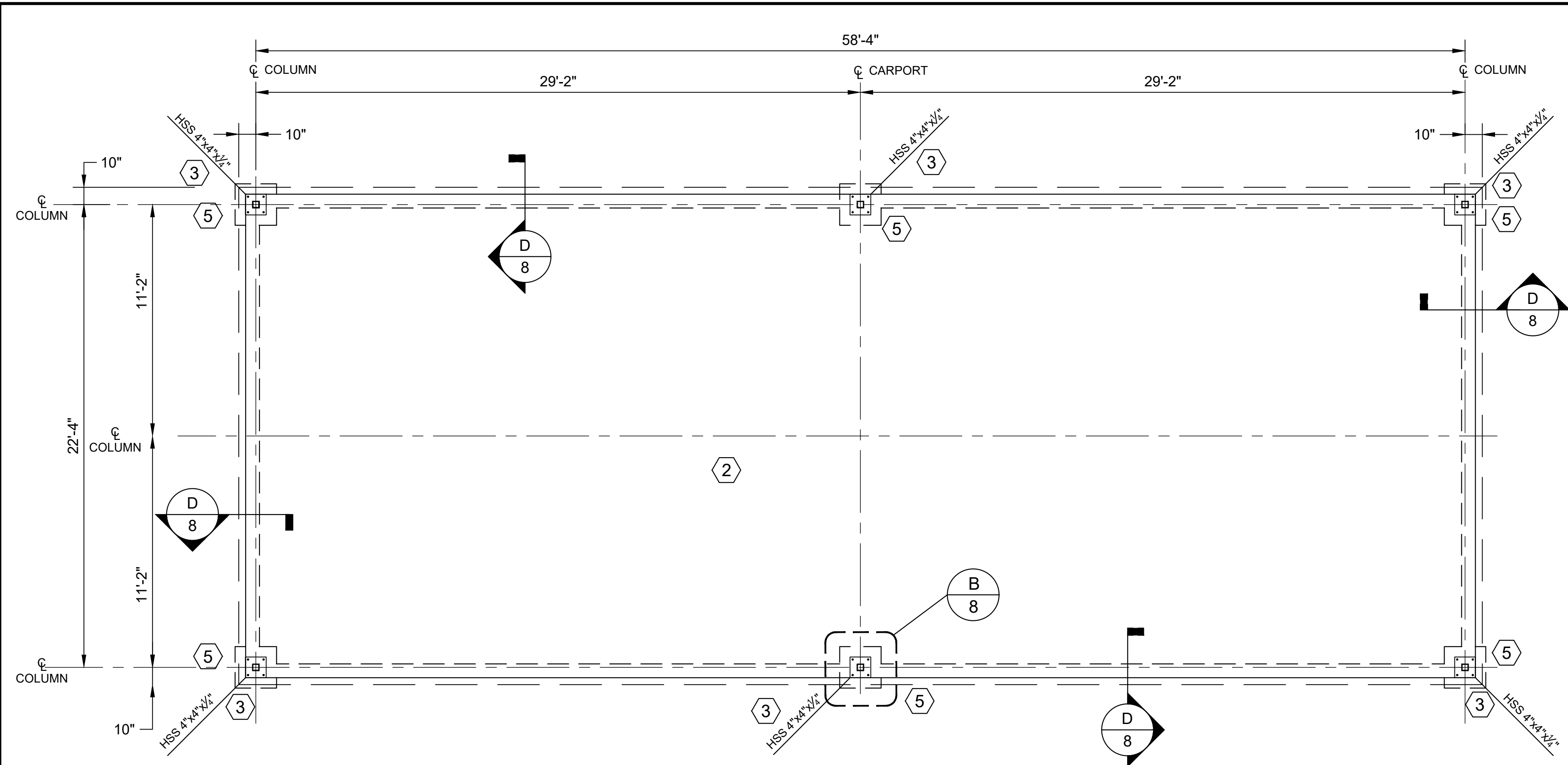
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
-	F-16-Z	5	11

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORKS STAMPED BY	DATE	BY	DATE	REVISIONS	DATE	REMARKS	BY
INSPECTOR'S FIELD VERIFICATION BY	DATE			DESIGN	JAN. 19, 2022		
FIELD CORRECTED BY	DATE				JAN. 19, 2022		
MICRO-FILM INFORMATION	DATE				PROJ.#: R314022.01		
PREPARED BY	DATE				DATE: JAN. 19, 2022		
NO.							

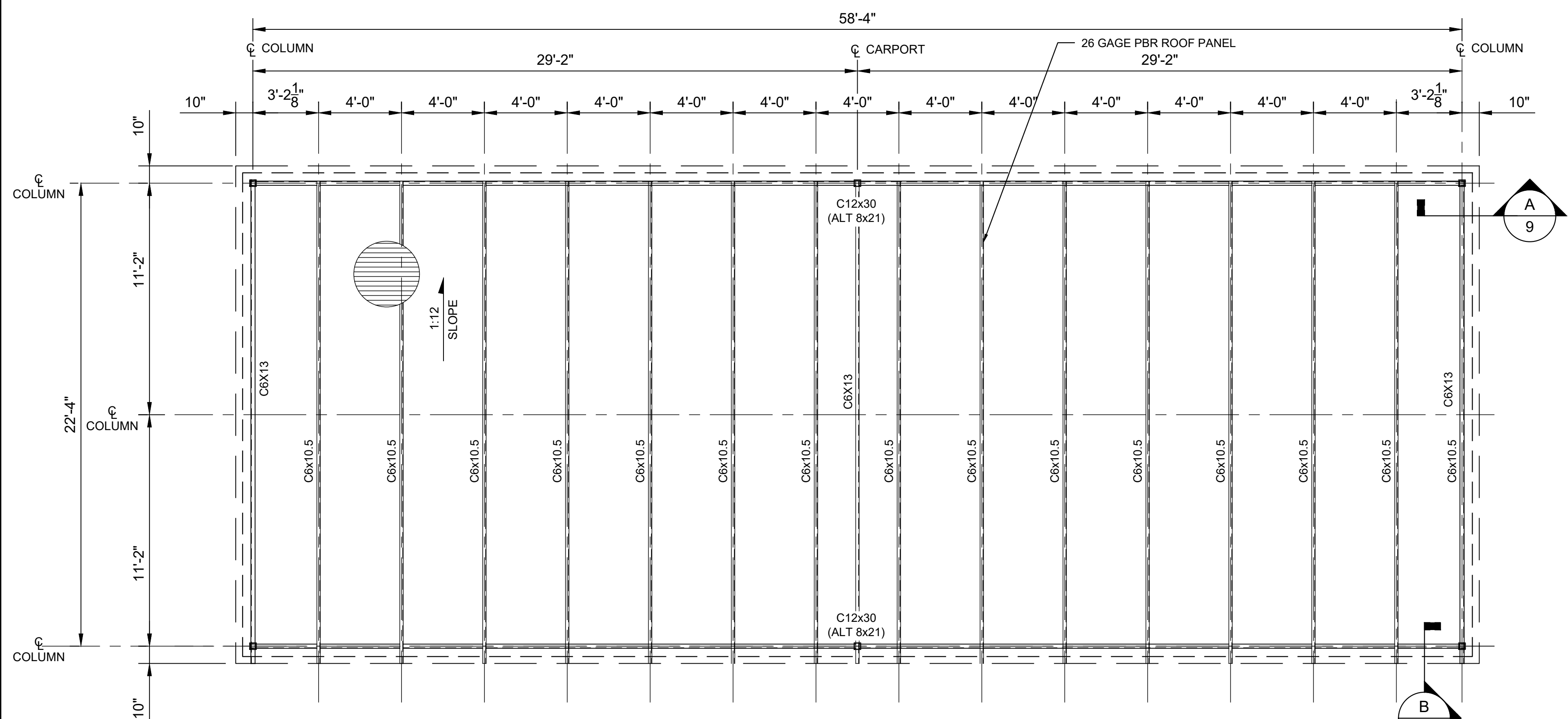




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**A FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



**B ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**KEYED NOTES**

- 1 HSS 4"x4"x $\frac{1}{4}$ " TUBE COLUMN. RE: DETAIL A/ SHEET 8
- 2 5" CONCRETE SLAB ON GRADE, REINFORCE WITH WWF 4x4, EACH WAY
- 3 BASE PLATE  $\frac{1}{2}$ "x1'-0"x1'-0", RE: DETAIL C/ SHEET 8
- 4 PROVIDE (24) -  $\frac{3}{4}$ " DIA. ANCHOR BOLTS FOR BASE PLATES TO PILASTERS
- 5 PROVIDE A 3'-6"x3'-6"x0'-8 PAD WITH 3- #5 EACH WAY BOTTOM REINFORCEMENT

AS BUILT INFORMATION		CONTRACTOR		DATE	
WORK	DATE	CONTRACTOR	DATE	INSPECTOR'S	DATE
STAMPED BY	DATE	INSPECTOR'S	DATE	FIELD CHANGE BY	DATE
FIELD	DATE	VERIFICATION BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE	PREPARED BY	NO.		

SURVEY INFORMATION		FIELD NOTES	
NO.	BY	NO.	DATE

ENGINEER'S SEAL	
	DATE: JAN. 19, 2022
	DATE: JAN. 19, 2022
	PROJ.#: R314022.01
	DATE: JAN. 19, 2022

NO.	DATE	REVISIONS	REMARKS	BY
		DESIGN		

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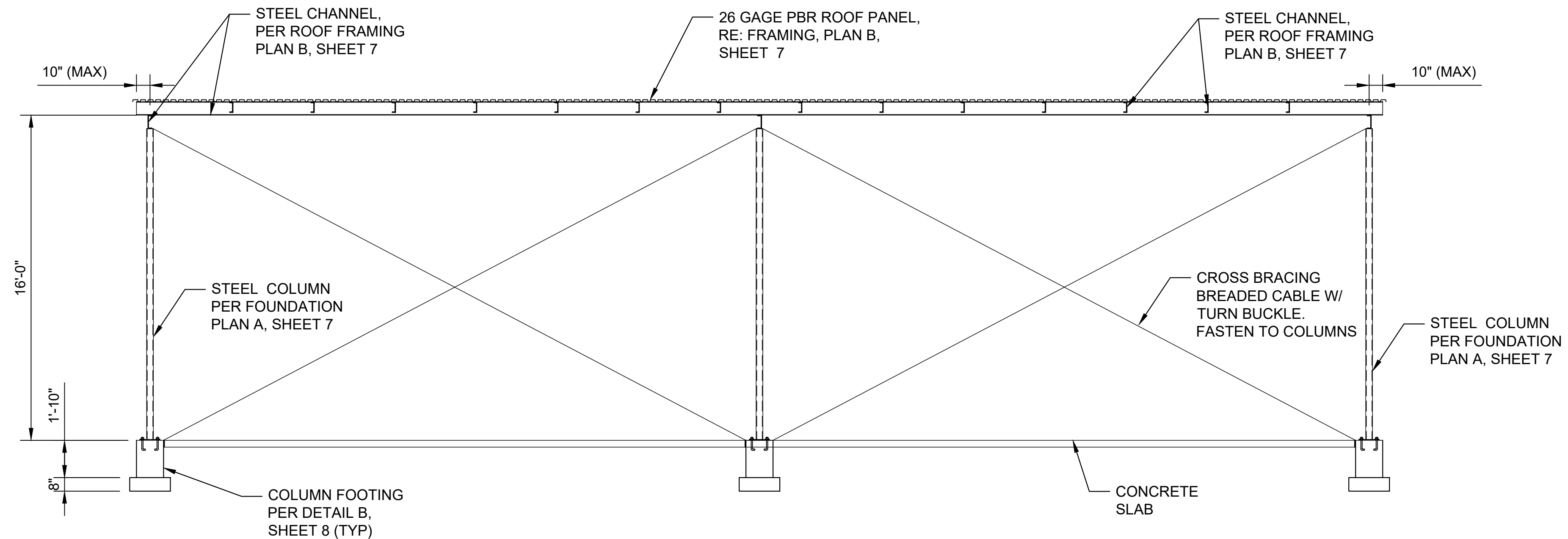
**MEVACON, LLC**  
**APD CRIME LAB**

**ROOF & FOUNDATION PLAN**

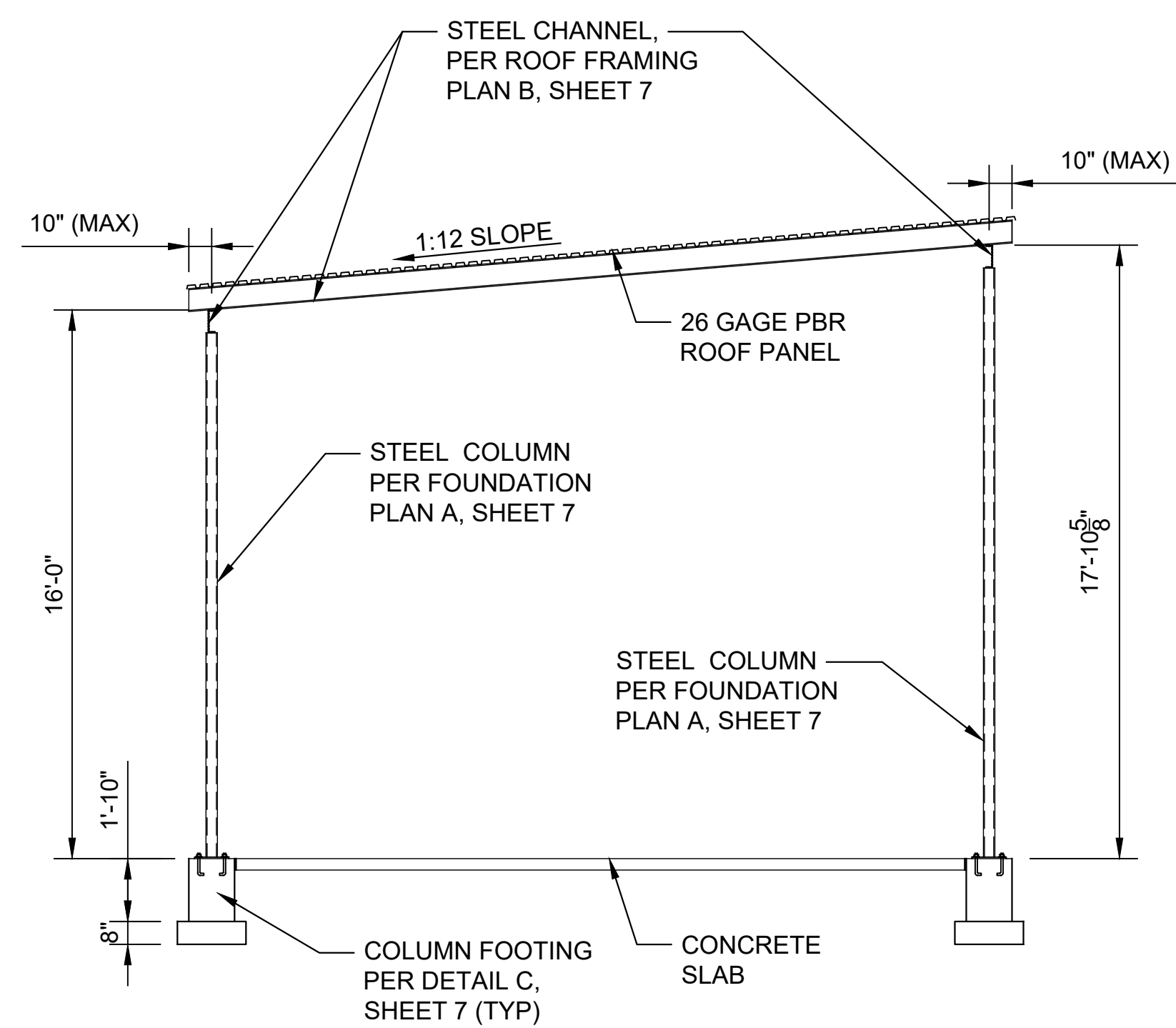
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. -		Zone Map No. F-16-Z	Sheet 7 Of 11



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**A** FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



**B** FRAMING SECTION  
 SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- SEE SHEET 6 FOR GENERAL STRUCTURAL NOTES AND GENERAL SHEET NOTES.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STAMPED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
INSPECTOR'S FIELD VERIFICATION BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
FIELD CORRECTED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
MICRO-FILM INFORMATION	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
PREPARED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE



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TITLE:  
**STRUCTURAL DETAILS**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
-	F-16-Z	9	11