



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input checked="" type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: <i>DNC, Ltd.</i>	Phone:
Address: <i>7120 Wyoming NE Suite J</i>	Email:
City: <i>Albuquerque</i> State: <i>NM</i>	Zip: <i>87109</i>
Professional/Agent (if any): <i>CSI - Curtleson Surveys, Inc.</i>	Phone: <i>505-896-3050</i>
Address: <i>P.O. Box 44414</i>	Email: <i>curtlesonjason@gmail.com</i>
City: <i>Rio Rancho</i> State: <i>NM</i>	Zip: <i>87174</i>
Proprietary Interest in Site:	List all owners:

BRIEF DESCRIPTION OF REQUEST

Request Archeological certificate for existing lot for subdivision proposal. Site ~~at~~ already developed

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <i>Tracts A-A-1-A-1 & C-1-A-5A-1</i>	Block:	Unit: <i>5-A</i>
Subdivision/Addition: <i>Loma Del Norte</i>	MRGCD Map No.:	UPC Code: <i>See Attached Sheet</i>
Zone Atlas Page(s): <i>D-19&E-19</i>	Existing Zoning: <i>MX-M & MX-L</i>	Proposed Zoning: <i>MX-M & MX-L</i>
# of Existing Lots: <i>2</i>	# of Proposed Lots: <i>0</i>	Total Area of Site (acres): <i>17.0717</i>

LOCATION OF PROPERTY BY STREETS

Site Address/Street: *7110 Wyoming Blvd* Between: *Wyoming Blvd NE* and: *Burston St NE*

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1008147, 1000331

Signature: <i>[Signature]</i>	Date: <i>2-14-20</i>
Printed Name: <i>Jayson Pyne</i>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

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Case Numbers	Action	Fees	Case Numbers	Action	Fees
<i>PS-2020-00018</i>	<i>Sketch Plat</i>	<i>\$50.00</i>			
<i>SI-2020-00047</i>	<i>Arch. Cert.</i>	<i>\$260.00</i>			

Meeting/Hearing Date: <i>March 4, 2020</i>	Fee Total: <i>\$310.00</i>
Staff Signature: <i>[Signature]</i>	Date: <i>2-18-2020</i> Project # <i>PR-2020-003419</i>

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.



ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 2-14-20
Printed Name: Jayson Pyre	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

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Project Number:	Case Numbers	
\$ PR-2020-003419	SI-2020-00047	
Staff Signature: 		
Date: 2-18-2020		

Scott Garrett
General Partner
DNC, Ltd
7120 Wyoming NE Suite 5
Albuquerque NM 87109

City of Albuquerque Planning Department
Plaza Del Sol Building
600 Second NW
Albuquerque, NM 87102

RE: Letter of Authorization

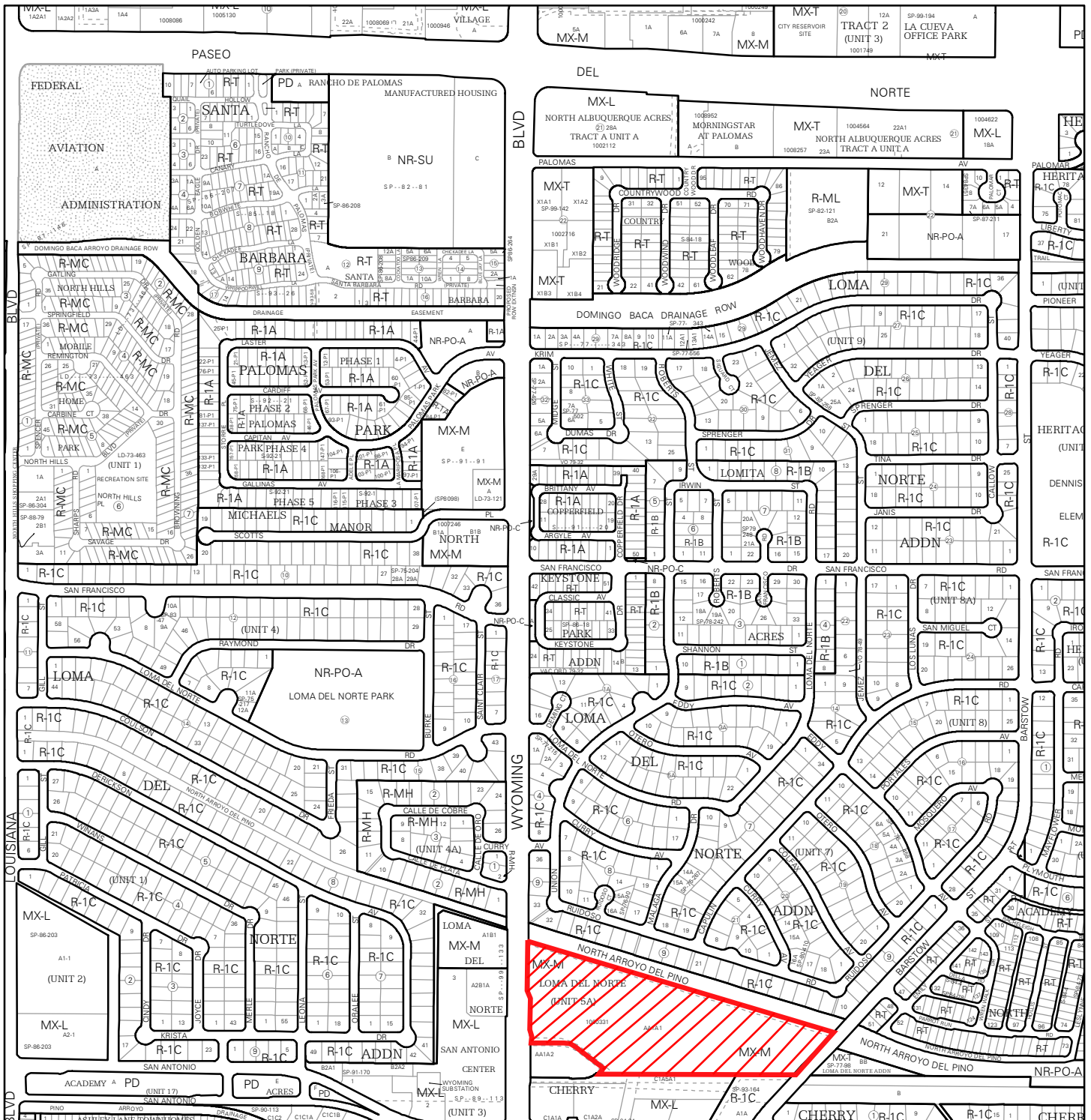
To whom it may concern,

I, Scott Garrett, General Partner of DNC, Ltd., do hereby give CSI-Cartesian Surveys Inc., authorization to represent DNC in regards to the platting action that may include the vacation of public and private easement(s) and granting easement(s), modifying lot lines within proposed Tracts A-A-1-A-1-A and C-1-A-5A-1-A, located at 7110 and 7120 Wyoming Blvd NE.

Thank You,

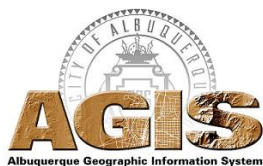


Scott Garrett, General Partner, DNC Ltd.

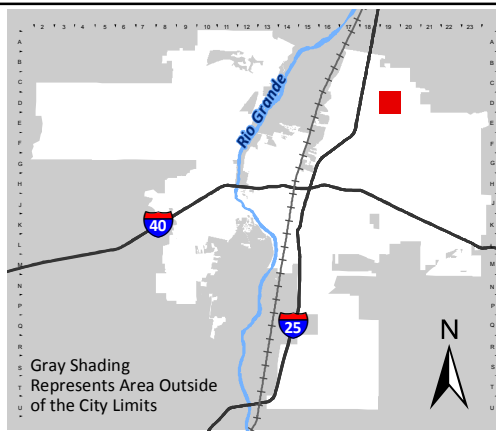


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

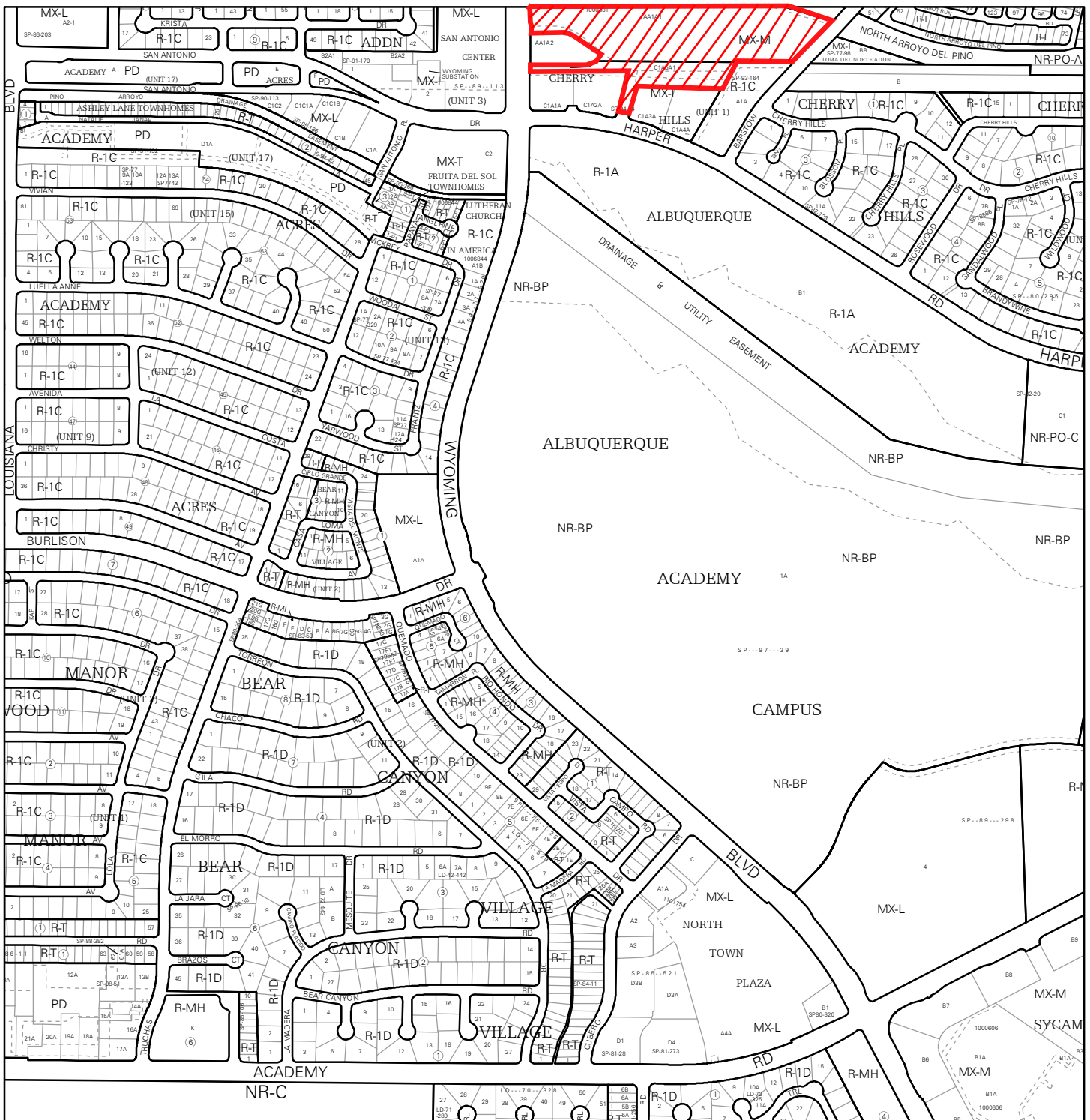


Zone Atlas Page:
D-19-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone


Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

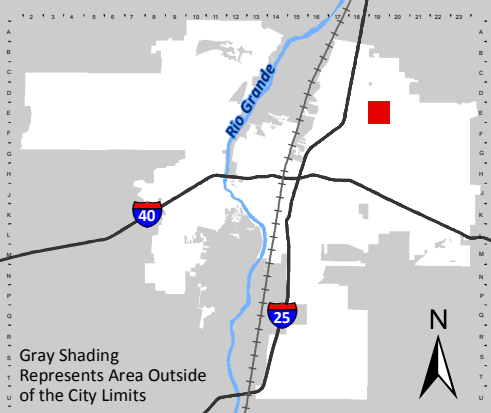


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IDO Zone Atlas May 2018



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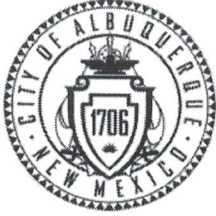
Zone Atlas Page:
E-19-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

Feet

0 250 500 1,000



Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

DATE:

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s):

Agent: CST Cartesian Surveys, Inc.

Applicant: DNC, Ltd.

Legal Description: Tracts A-A-1-P-1 & C-1-A-5A-1, Loma Del Norte, Unit 5A

Zoning: MIX-M & MIX-L

Acreage: 17.0717

Zone Atlas Page(s): D-19 & E-19

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

SITE VISIT:

RECOMMENDATIONS:

SUBMITTED BY:

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

Ethan Kalosky, MA
Cultural Resource Specialist
Acting City Archaeologist
Parametrix

Date