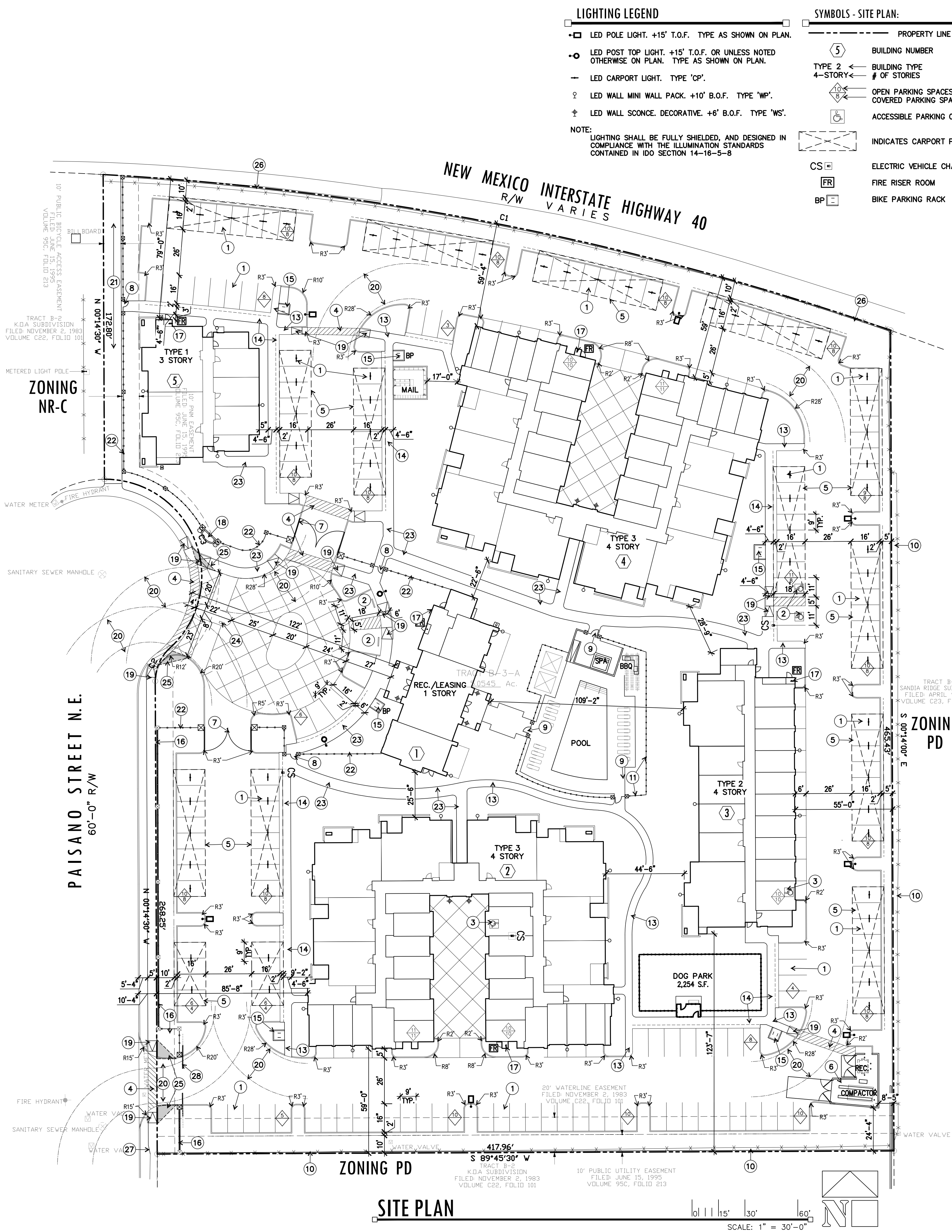




DEVELOPMENT DATA

NET SITE AREA :
5.0400 ACRES (219,542 S.F.)

ZONING AND LAND USE:
ZONING: PLANNED DEVELOPMENT (PD)
LAND USE: MULTIFAMILY RESIDENTIAL, RECREATION/LEASING

BUILDING HEIGHT :
PROPOSED: 44'-0" - 3 STORY
52'-0" - 4 STORY

DENSITY :
PROPOSED: 163 D.U./5.04 AC = 32.34 DU/ACRE

SETBACKS :
REQUIRED: NO REQUIRED MINIMUM SETBACK IN THE PD ZONE
FRONT/WEST REAR RIGHT SIDE
PAISANO ST EAST SOUTH NORTH
PROVIDED: 10'-0" 5'-0" 10'-0" 10'-0"

USABLE OPEN SPACE				
	SF REQ. PER DU	# OF DU'S	AREA S.F. REQUIRED	PROVIDED
STUDIO	200	49	9,800	
1 BEDROOM	200	56	11,200	
2 BEDROOM	250	58	14,500	
TOTAL REQUIRED			35,500	
GROUND LEVEL OPEN SPACE				30,550
BALCONY PRIVATE OPEN SPACE				8,860
TOTAL PROVIDED:				39,410

		UNIT MIX											UNITS PER BLDG	NO. BLDGS	TOTAL UNITS
		UNIT TYPE													
		STUDIO		1 BEDROOM				2 BEDROOM							
AREA S.F.	360	52	A1	A2	A3	A5	B2	82m	B3	B4	B5				
BLDG. TYPE 1	9	600				750									
BLDG. TYPE 2	16							1,170							
BLDG. TYPE 3									6				15	1	
TOTAL	25	24	12	6	8	16	16	12	8	4	8	6	56	2	
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PARKING SPACE REQUIREMENTS		
	PARKING RATIO REQUIRED	PARKING SPACES
REQUIRED 1.5 PARKING SPACE PER D.U.	1.5 x 163	245
Total Parking Spaces Required		245
PRIVATE GARAGE PROVIDED		52
SECURE CARPORT PROVIDED		112
SECURE OPEN PROVIDED		88
OPEN PROVIDED		6
Total Parking Provided (1.61 P.S./D.U.)		258
Accessible Parking Required 2% OF REQ'D. PARKING		5
GARAGE PARKING PROVIDED		2
CARPORT PARKING PROVIDED		1
OPEN ACCESSIBLE PARKING PROVIDED		3
Total Accessible Parking Provided		6
Elec. Car Charging Station Required 2% OF REQ'D. PARKING		5
ACCESSIBLE (1 GARAGE/1 OPEN) PARKING PROVIDED		2
GARAGE PARKING PROVIDED		1
CARPORT PARKING PROVIDED		1
OPEN PARKING PROVIDED		2
Total Elec. Car Charging Provided		6
Bicycle Parking Required 10% OF REQUIRED PARKING		25
GARAGE PROVIDED		52
BICYCLE RACK PROVIDED		26
Total Bicycle Parking Provided		78

KEYNOTES

- 9'x18' PARKING SPACE WITH 2' OVERHANG SEE DETAIL 01/A1.20
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG SEE DETAIL 05/A1.20
- 14'x20' ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE DRIVEWAY CROSSING - CONTRASTING COLORED SCORED CONCRETE.
- CARPORT PARKING STRUCTURE SEE DETAIL 06/A1.20
- TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL WITH STUCCO FINISH PAINTED SEE DETAIL 14/A1.20
- ELECTRONIC ENTRY VEHICULAR GATE, EQUIPPED FOR FIRE DEPARTMENT ACCESS SEE DETAIL 28/A1.21
- PEDESTRIAN ENTRY GATE SEE DETAIL 23/A1.21
- POOL ENTRY GATE SEE DETAIL 24/A1.21
- CMU PERIMETER WALL SEE DETAIL 16/A1.21
- TUBE STEEL POOL FENCE SEE DETAIL 19/A1.21
- 6 FT. SIDEWALK CONNECTING TO PUBLIC WAYS, GRAY CONCRETE COLOR.
- 4 FT. SIDEWALK, TYPICAL ON SITE, GRAY CONC. COLOR.
- 6'-6" SIDEWALK, TYPICAL AT PARKING AREA, GRAY CONCRETE COLOR.
- BICYCLE PARKING RACK, PARKS 4 BICYCLES, SEE DETAIL 30/A1.21.
- PARKING SCREEN - 3 FT. CMU WALL WITH 3 FT. FENCE ABOVE SEE DETAIL 27/A1.21
- FIRE RISER LOCATION.
- ENTRY MONUMENT SIGN SEE DETAIL 29/A1.21
- ACCESSIBLE RAMP SEE DETAIL 08/A1.20
- FIRE TRUCK TURNING RADIUS (35' INSIDE/65' OUTSIDE)
- 8 TO 10-FOOT WIDE PAVED BIKE TRAIL, PER DPM STANDARDS.
- 6 FT. TALL TUBE STEEL SECURITY FENCE WITH CMU PIERS, SEE DETAIL 18/A1.21
- 6 FT. SIDEWALK, TYPICAL ON SITE BUILDING ACCESS PATH FROM STREET, GRAY CONCRETE COLOR.
- ACCESS KEY PAD AND SITE MAP
- CLEAR SITE VISIBILITY TRIANGLE.
- SOUND BARRIER WALL ALONG THE SITE'S INTERSTATE-40 FRONTAGE, REFER TO GENERAL NOTE 6.
- SIDEWALK TRANSITION TO EXISTING 4 FT. WIDE SIDEWALK.
- RESIDENT ONLY EXIT ELECTRONIC GATE, EQUIPPED FOR FIRE DEPT. ACCESS, PROVIDE KNOX BOX SWITCH & OPTICAL SENSOR.

BUILDING AREAS:

BLDG. TYPE	No. OF BLDGS	1st. Floor	2nd. Floor	3rd. Floor	4th. Floor	Area per Bldg.	TOTAL
		Rec.	Residential Units				
1	1		4,651	4,651		13,953	13,953
2	1		8,708	8,988	8,988	35,672	35,672
3	2		18,196	18,395	18,395	73,381	146,762
4	1	5,236				5,236	5,236
TOTAL	5						201,623

GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES), CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER COA STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FAÇADE SHALL BE SCREENED THROUGH THE USE OF WADS, EARTH BERMS, DENSE EVERGREEN PLANTINGS, OR OTHER ACCEPTABLE SCREENING DEVICE.
- CLEAR SIGHT VISIBILITY TRIANGLE - VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED IN THE CLEAR SIGHT TRIANGLE.
- DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITY ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB), INCLUDING SIDEWALK AND TRAIL REQUIREMENTS TO ENSURE SIDEWALK WIDTH REQUIREMENTS AS PER STREET CLASSIFICATION AND MEET PARKS AND REC. REQUIREMENTS.
- PER CONDITION OF APPROVAL #8 - THE APPLICANT SHALL CONTACT AND REQUEST THAT THE NMDOT ERECT A SOUND BARRIER WALL ALONG THE SITE'S INTERSTATE 40 FRONTAGE ON THE NORTH SIDE AND COORDINATE CONSTRUCTION AS NECESSARY.



VICINITY MAP

NOT TO SCALE

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

Date

ABCWUA

Date

Parks and Recreation Department

Date

City Engineer/Hydrology

Date

Code Enforcement

Date

* Environmental Health Department (conditional)

Date

Herman Gallegos

08-13-20

Solid Waste Management

Date

DRB Chairperson, Planning Department

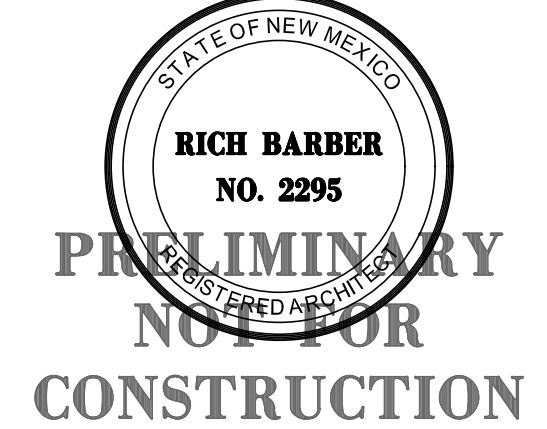
Date

VIEW HOUSE APARTMENTS

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ALBUQUERQUE, NEW MEXICO 87123



WorldHQ@ORBArch.com



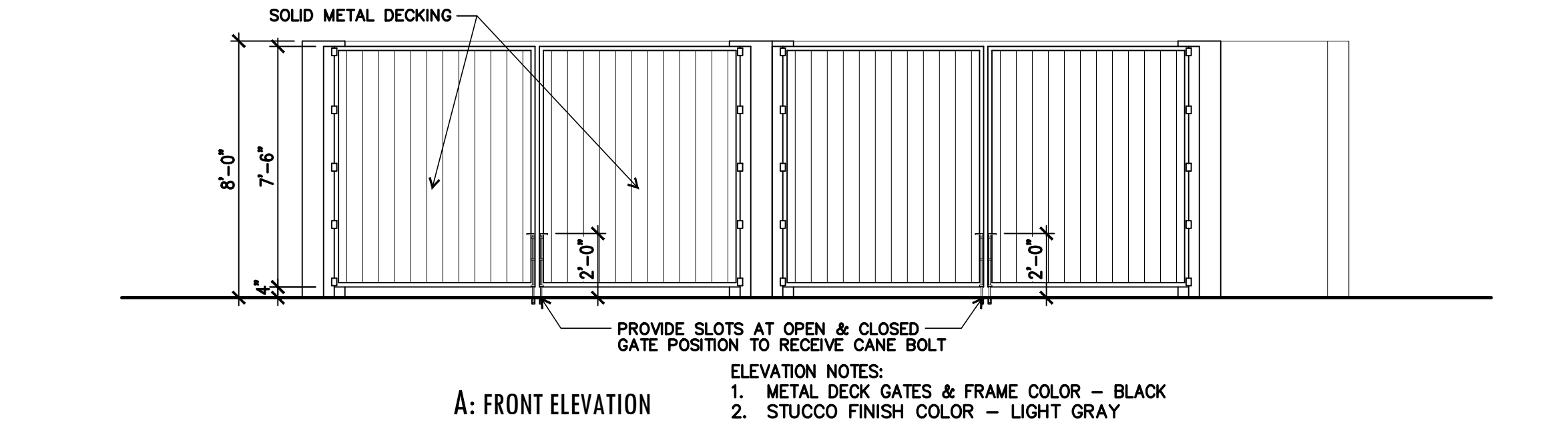
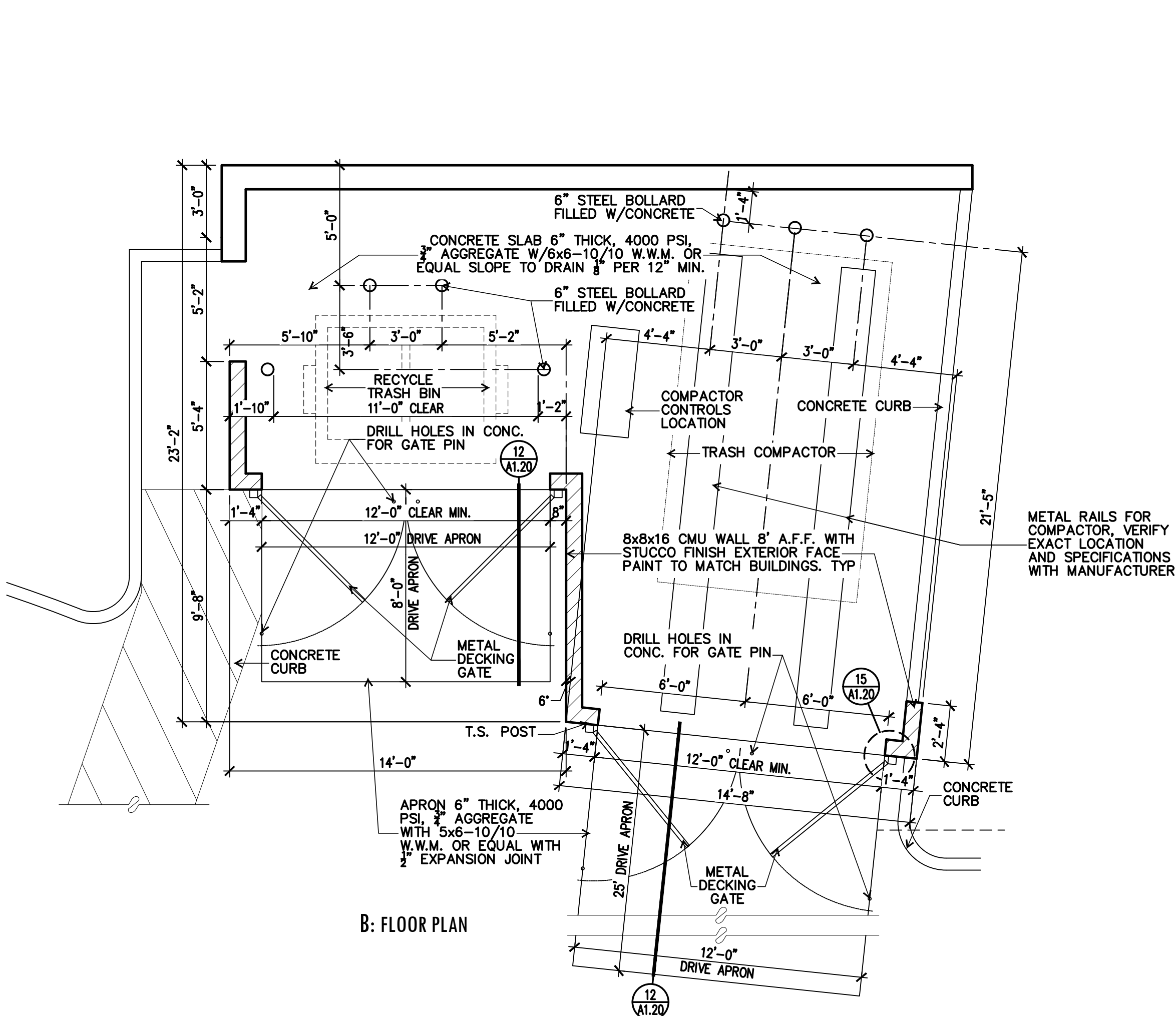
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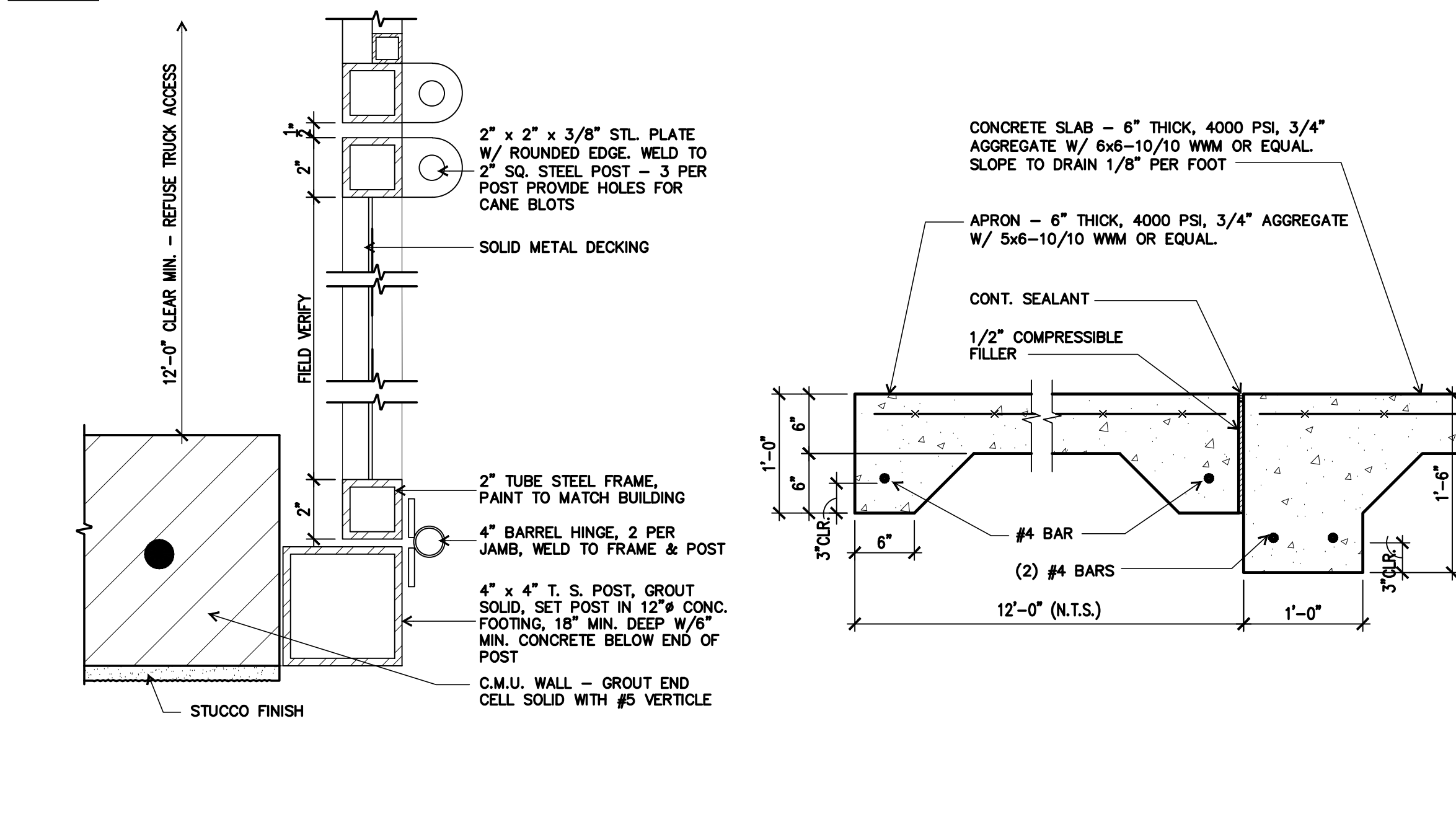
DATE: JULY 20, 2020 ORB # 19-223

A1.10

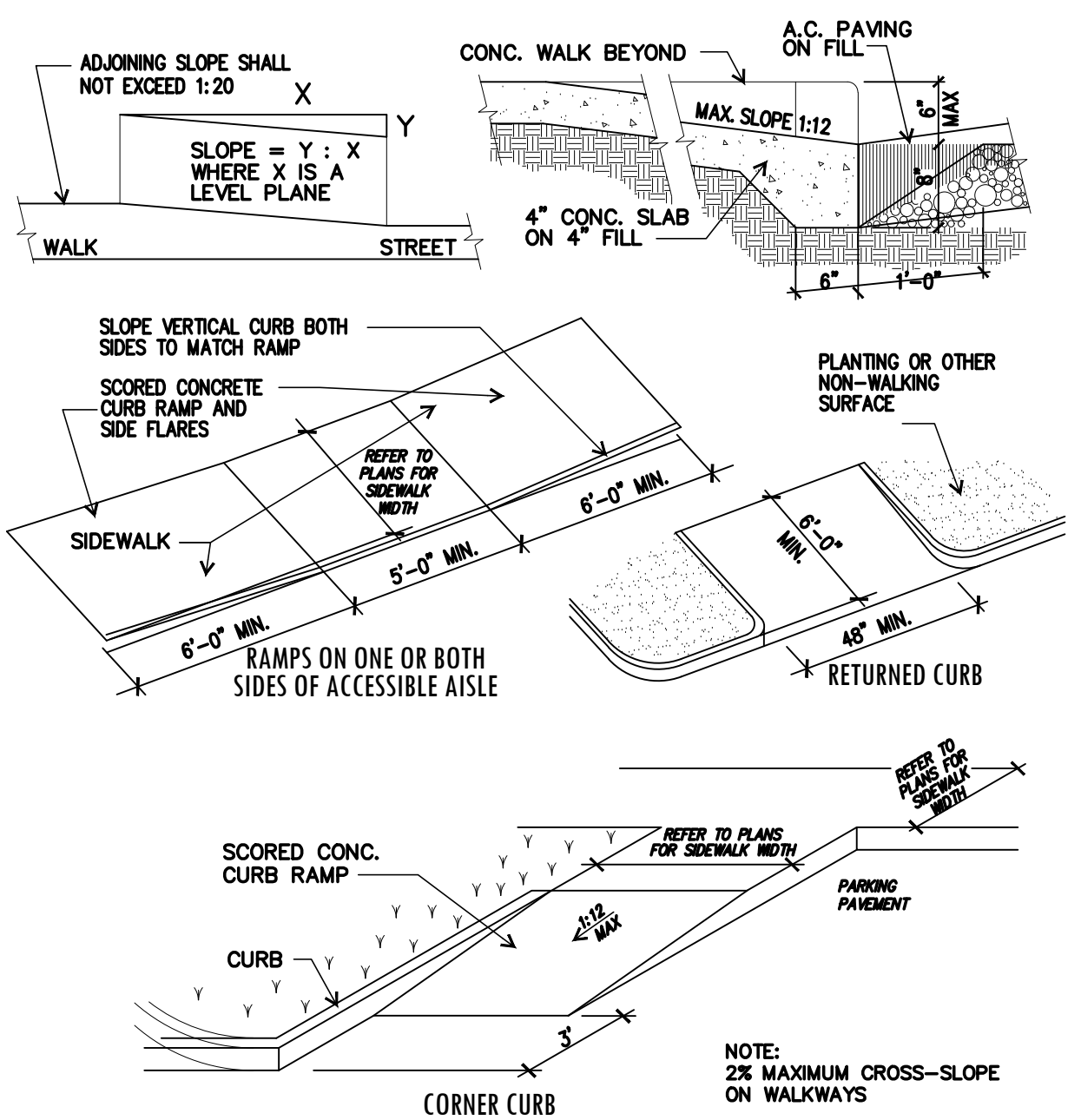
SITE PLAN



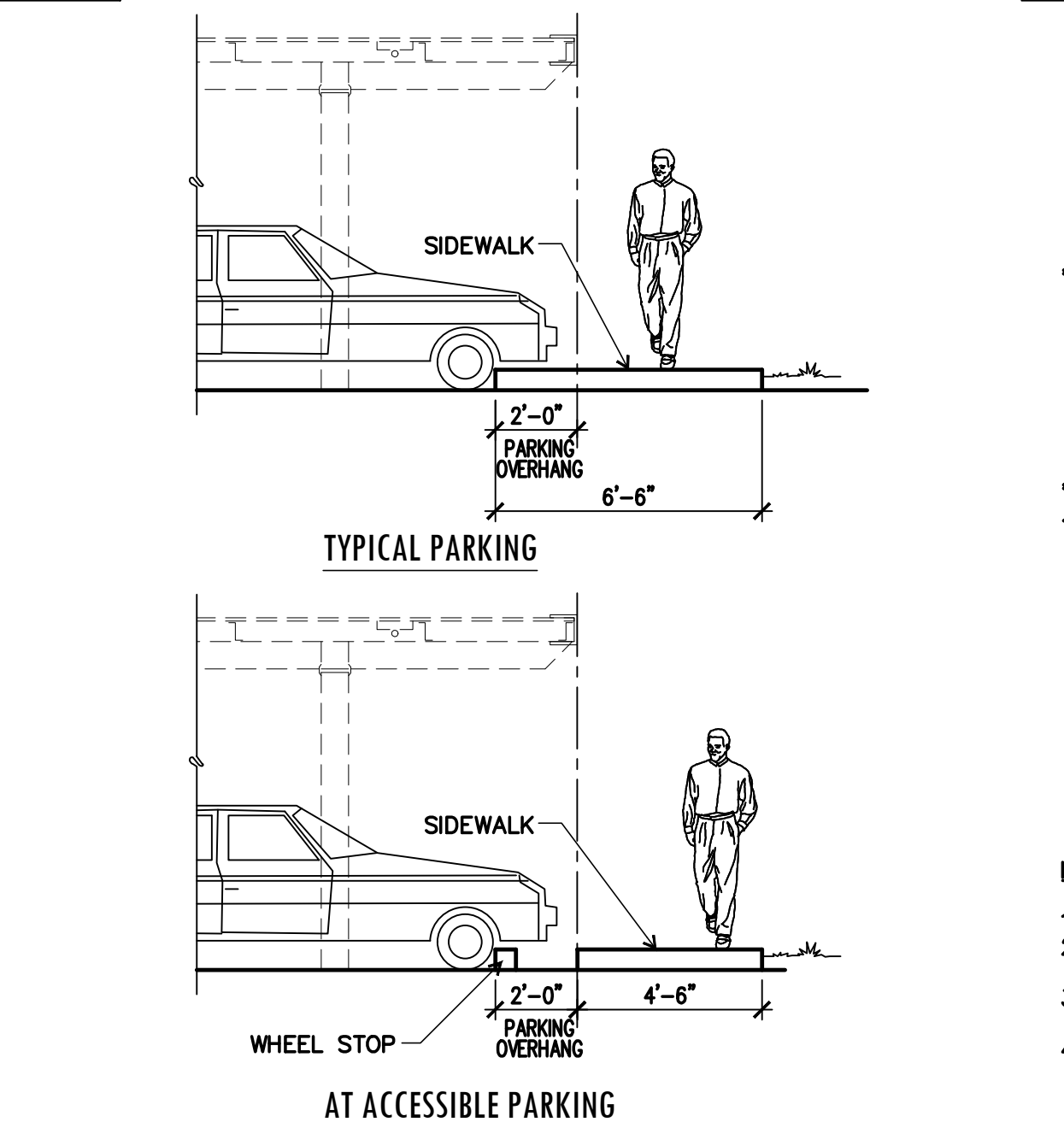
14 TRASH COMPACTOR YARD ENCLOSURE SCALE: 1/4" = 1'-0"



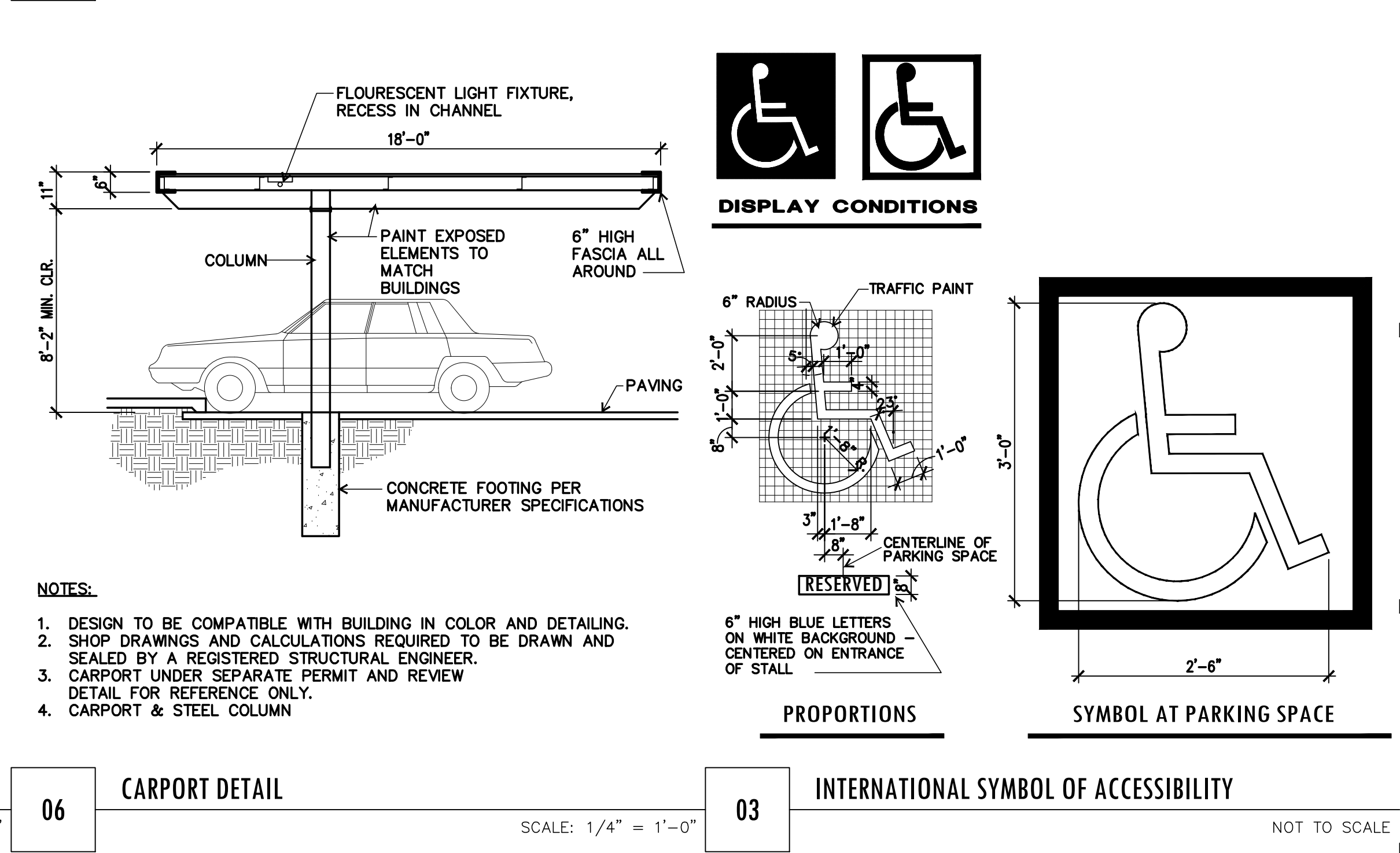
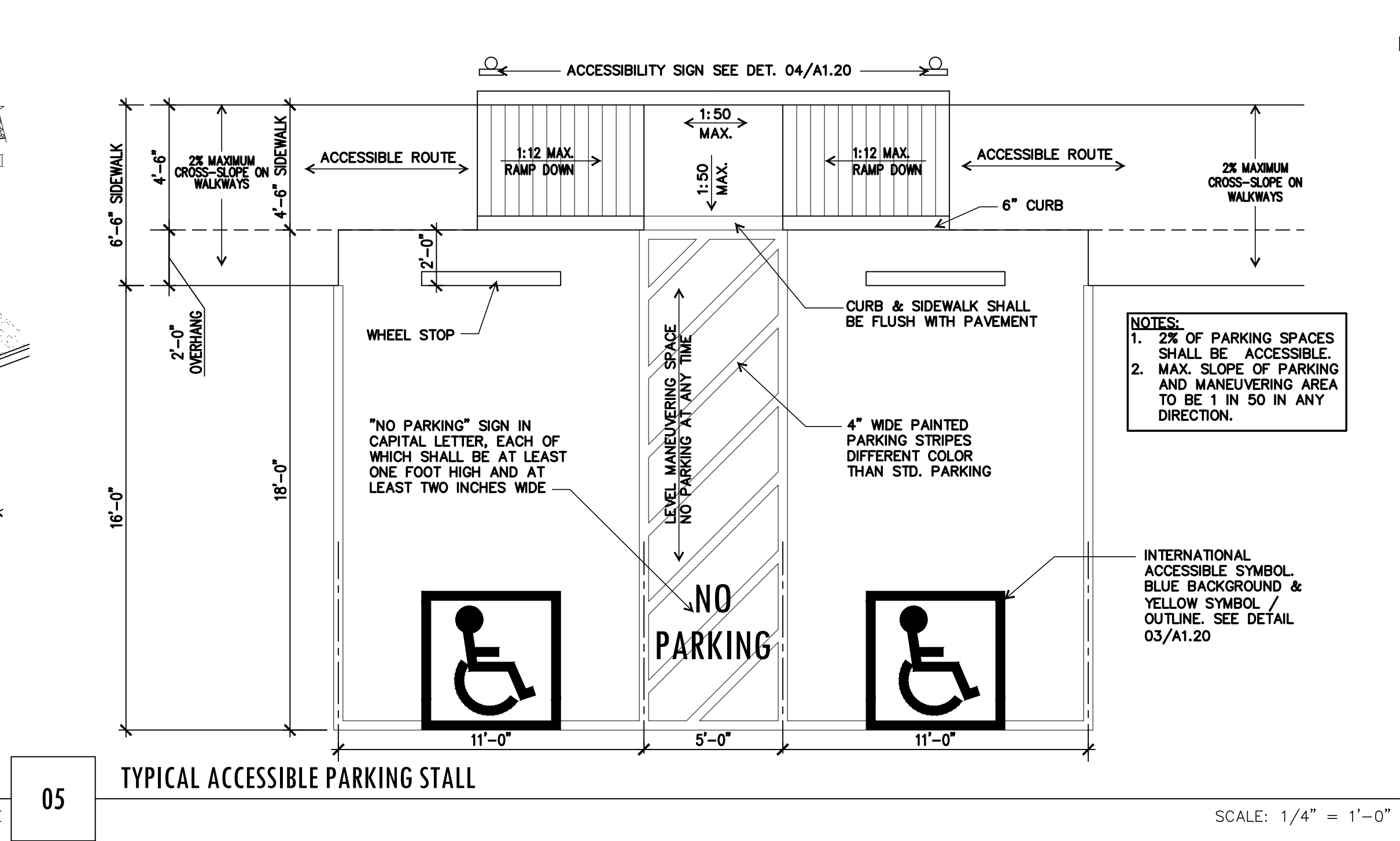
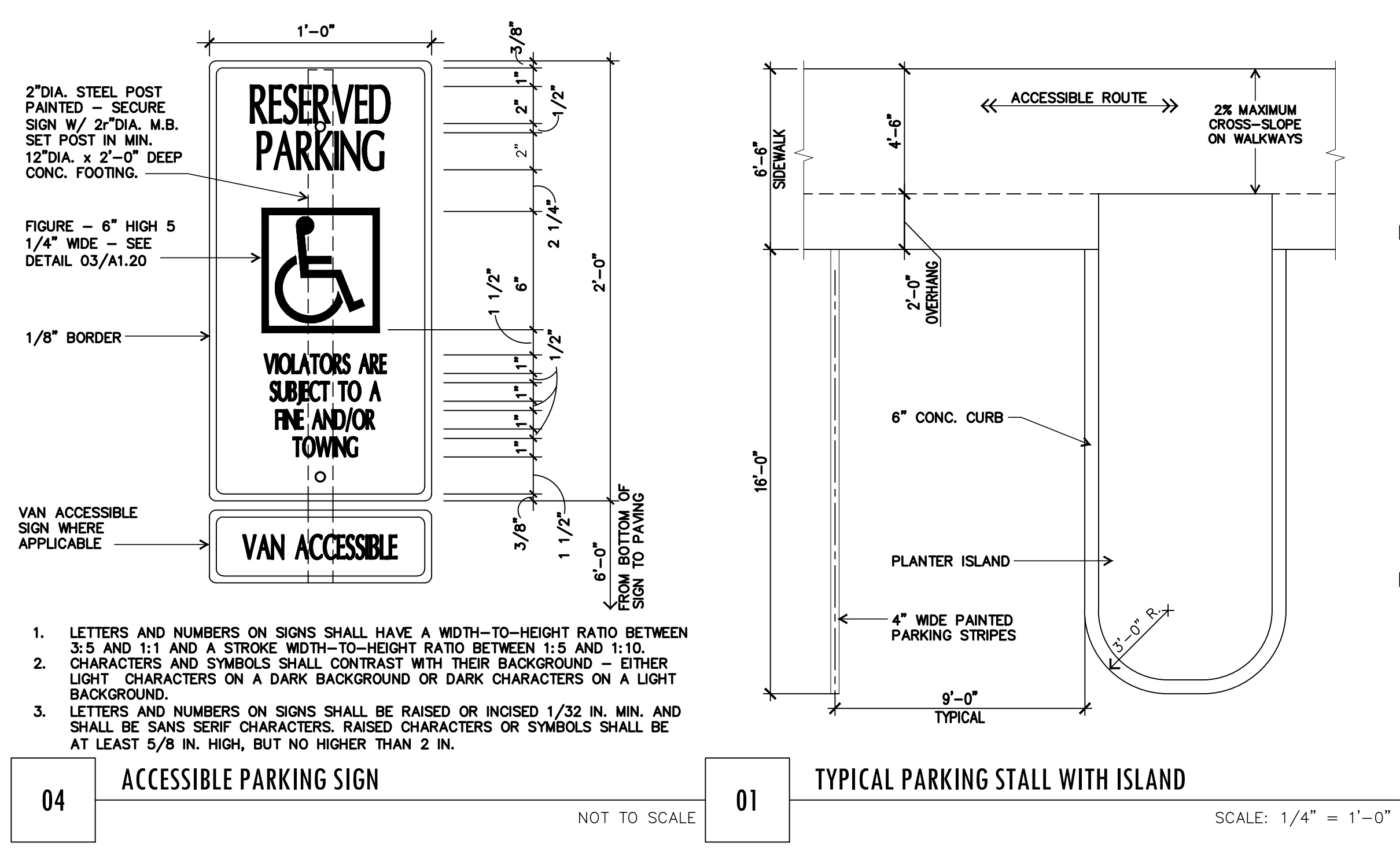
15 TRASH ENCLOSURE GATE SCALE: 3\" = 1'-0\" 12 REFUSE ENCLOSURE SLAB JOINT SCALE: 1\" = 1'-0"



08 TYPICAL ON-SITE ACCESSIBLE RAMP NOT TO SCALE



09 SIDEWALK AT PARKING SCALE: 1/4\" = 1'-0"



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Office of Rich Barber

ORB

Architecture, PLLC

WorldHQ@ORBArch.com

STATE OF NEW MEXICO

RICH BARBER
NO. 2295

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REVISIONS

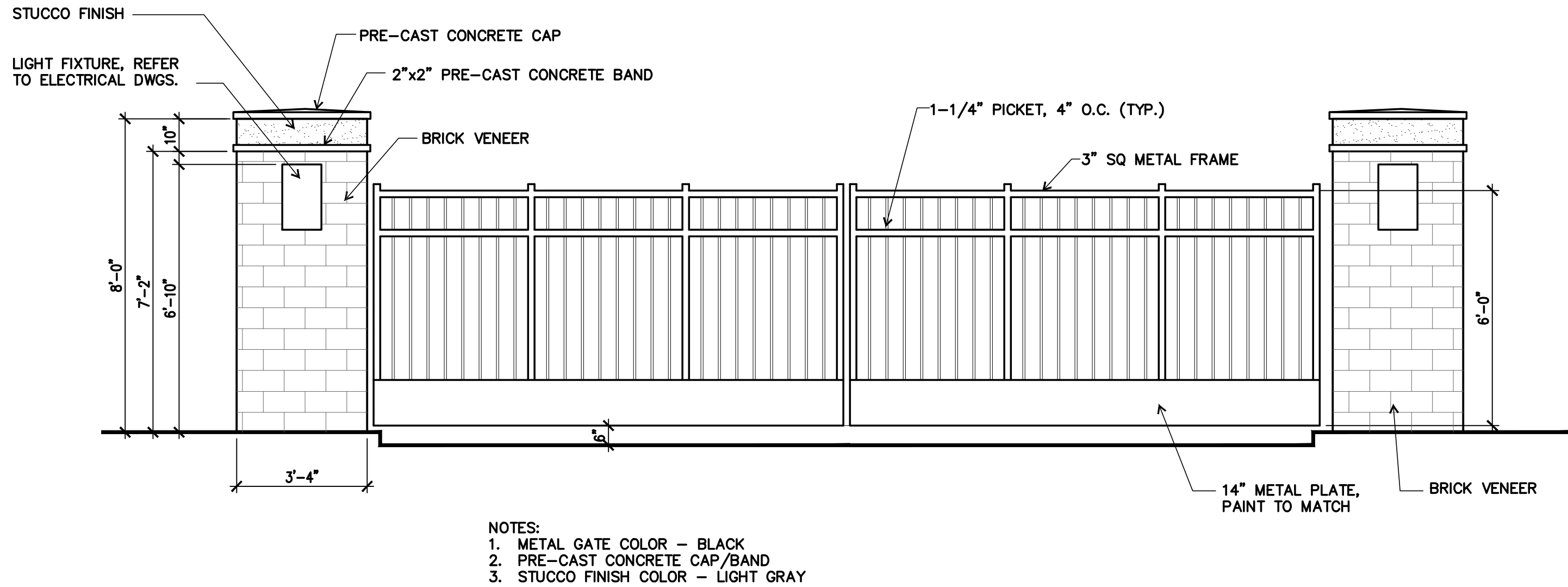
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DATE: JULY 20,2020 ORB # 19-223

A1.20

SITE DETAILS
01 - 15

FILE: F:\06\ORB Job Files\19-223_TWS_Juan Tabo\CAD Files\Preliminary\19223 A1.21 Site Details.dwg USER: jbs DATE: Mon, 27 2020 TIME: 02:32 pm



28

VEHICULAR ENTRY GATE

SCALE: 3/8" = 1'-0"

19

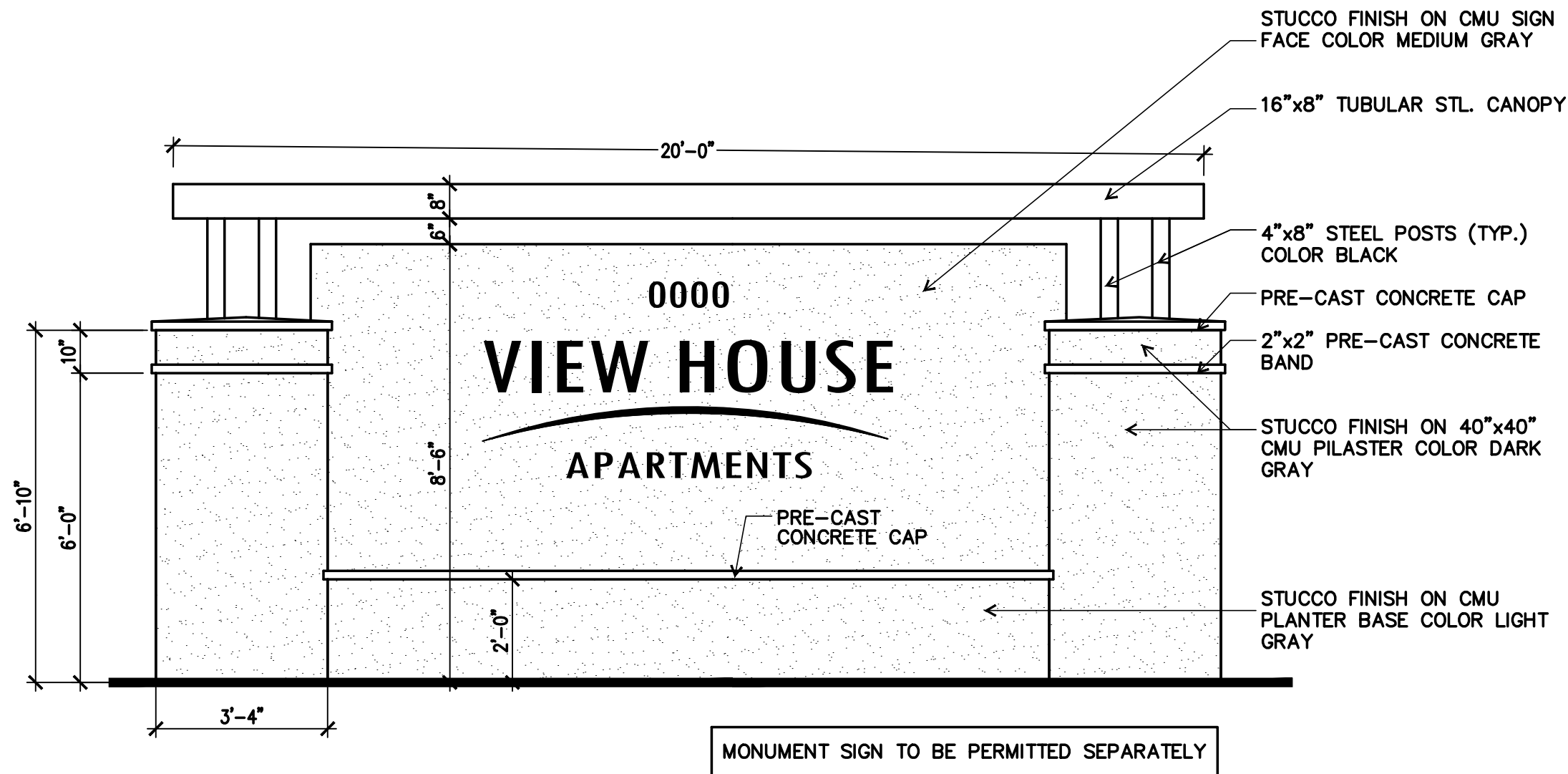
TUBULAR STEEL FENCE

SCALE: 1/2" = 1'-0"

16

PERIMETER MASONRY WALL

SCALE: 3/8" = 1'-0"



29

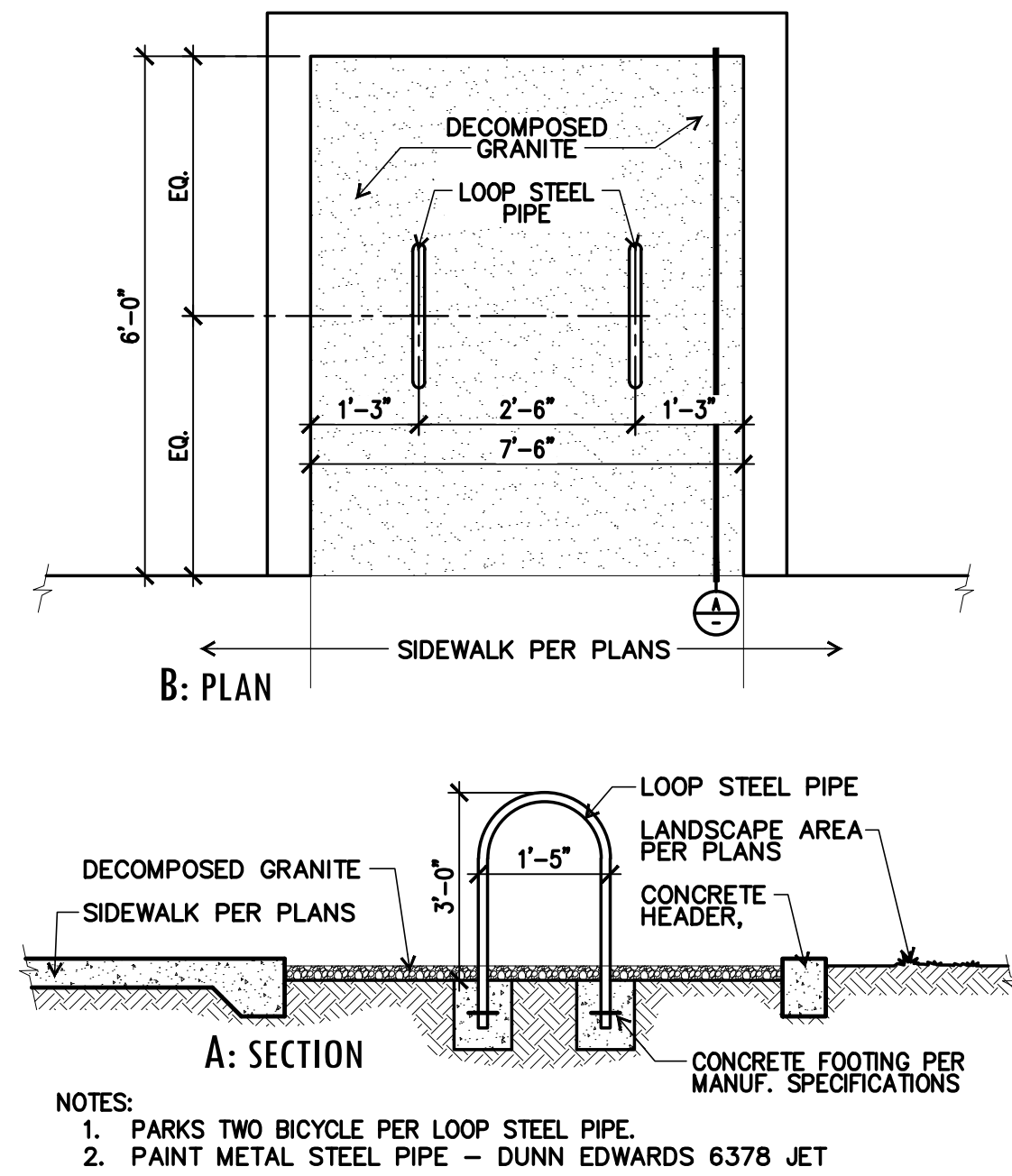
ENTRY MONUMENT ELEVATION

SCALE: 3/8" = 1'-0"

23

PEDESTRIAN ENTRY GATE

SCALE: 1/2" = 1'-0"



30

(4) BICYCLE RACK PARKING

SCALE: 1/2" = 1'-0"

27

PILASTER AT CMU/TUBULAR COMBO FENCE

SCALE: 3/8" = 1'-0"

24

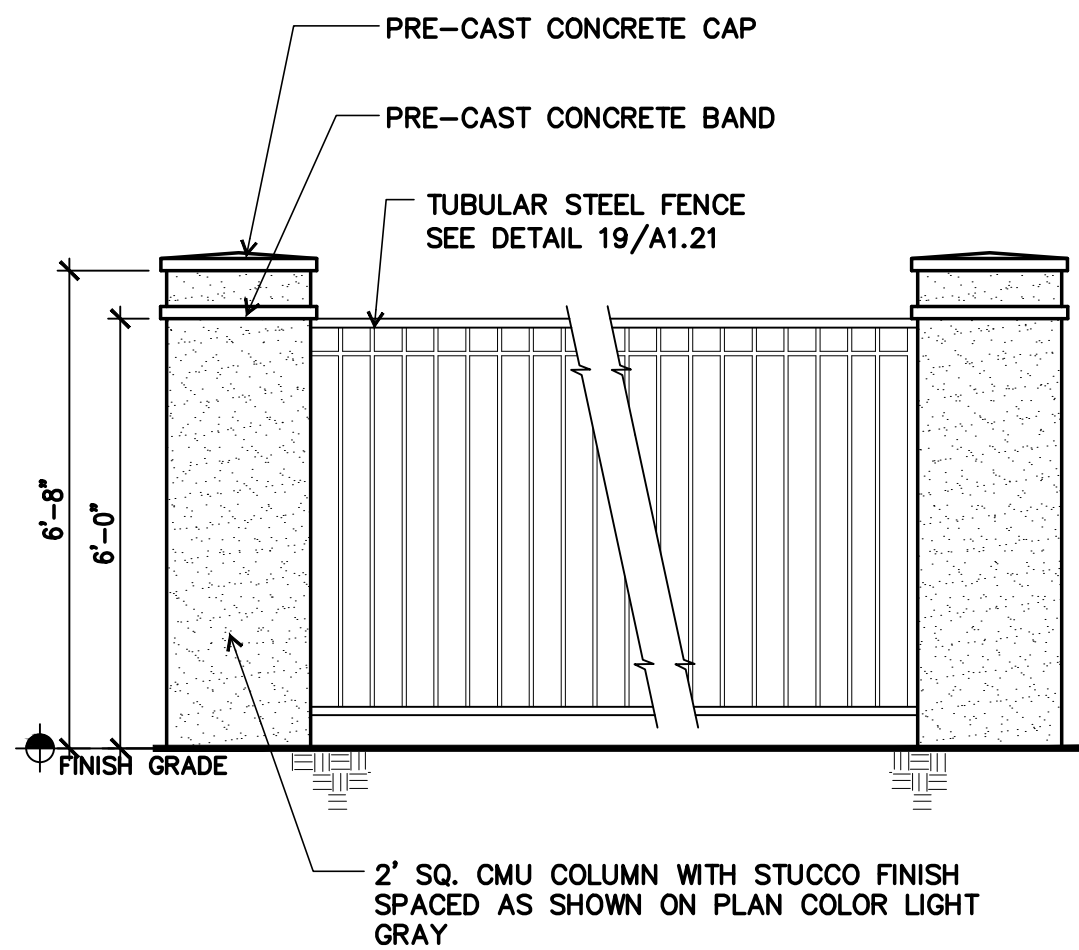
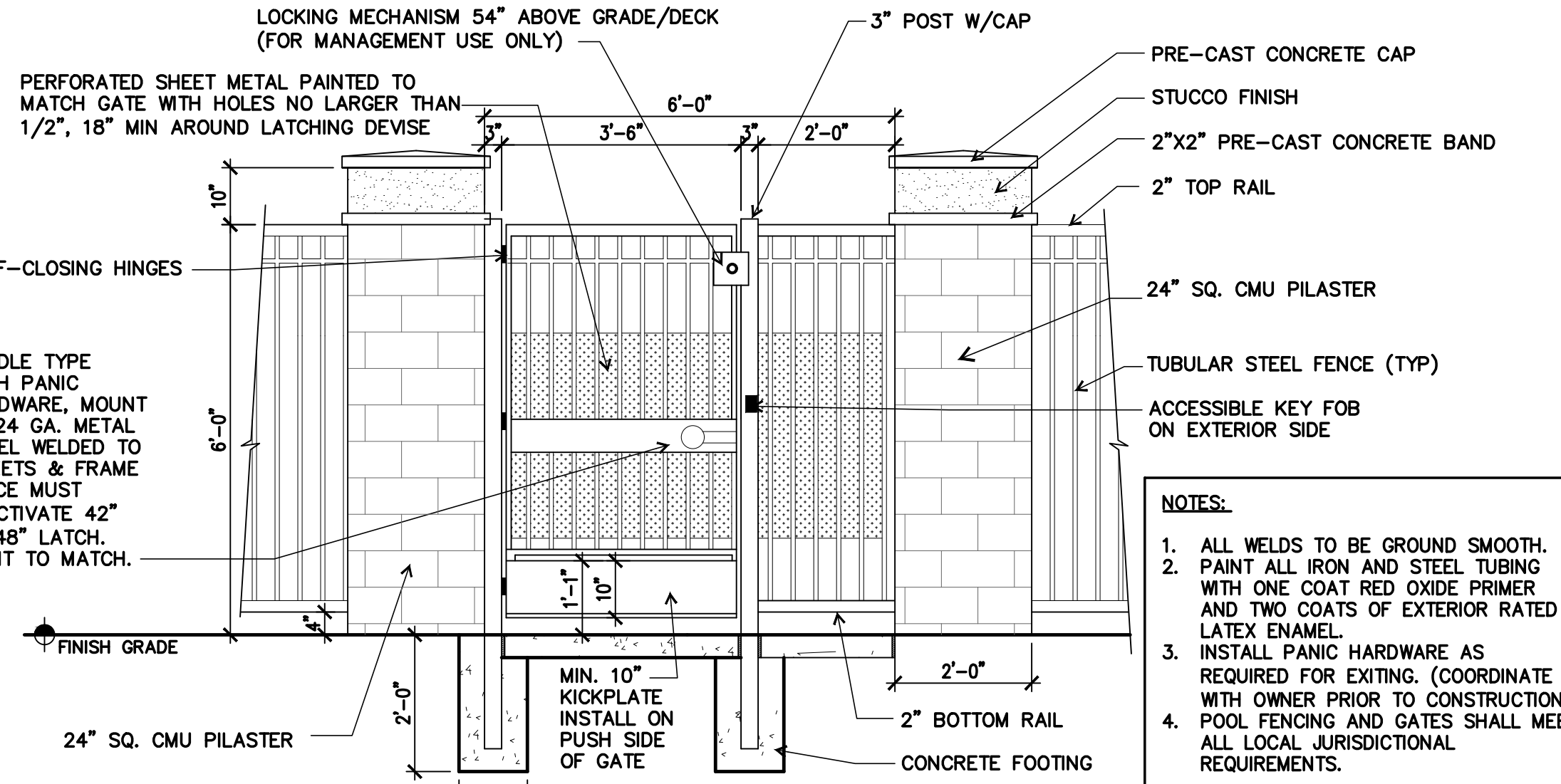
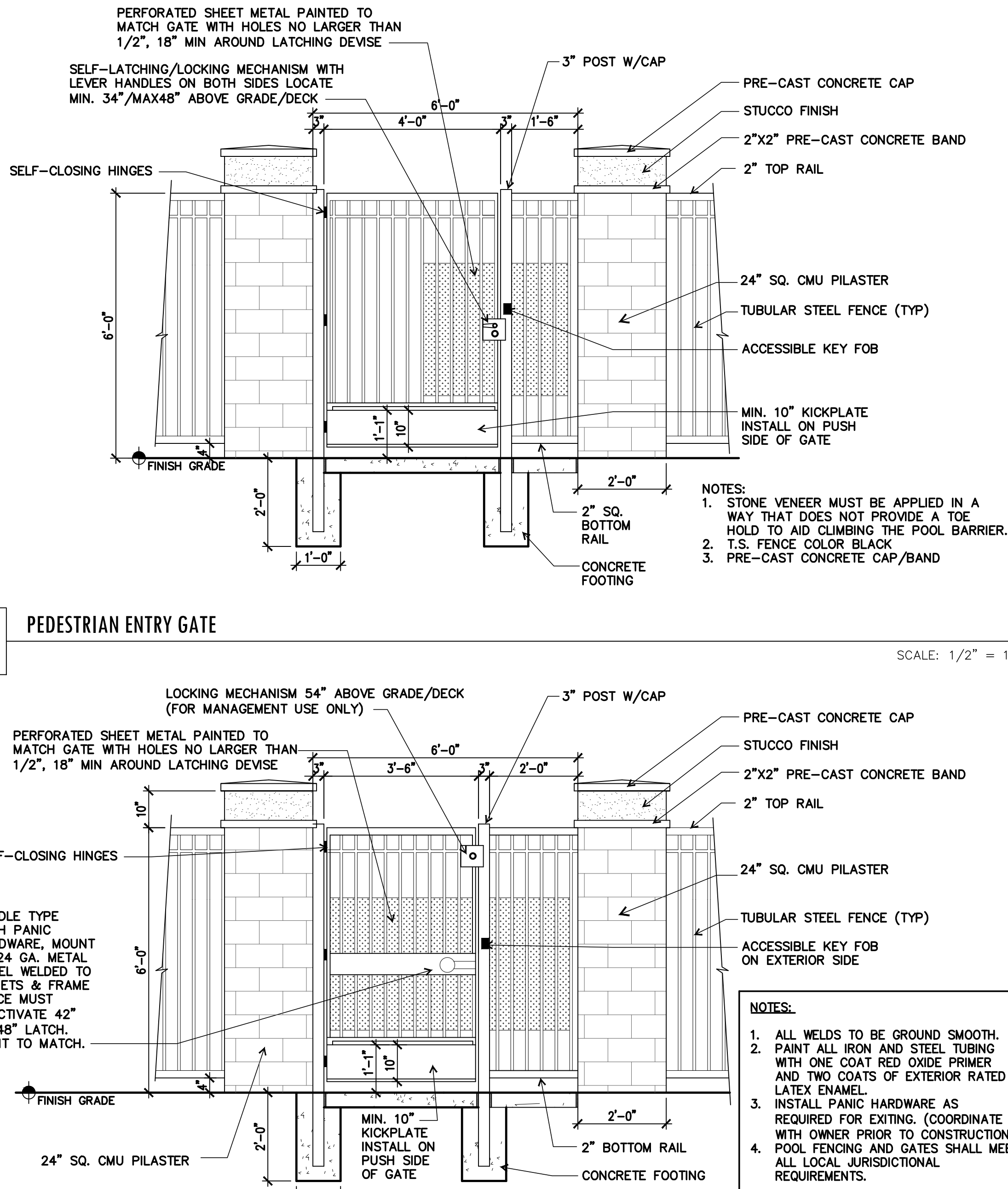
PEDESTRIAN ENTRY GATE AT POOL FENCE

SCALE: 1/2" = 1'-0"

18

PILASTER AT PERIMETER TUBULAR STEEL FENCE

SCALE: 3/8" = 1'-0"



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ORB Architecture, LLC
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RICH BARBER
NO. 2295
REGISTERED ARCHITECT

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DATE: JULY 20, 2020 ORB # 19-223

A1.21

SITE DETAILS
16 - 30

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUND COVER AREA. ALL GRAVEL SHALL BE PLACED 5'-1" LOWER THAN ADJACENT HARD SURFACES.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON. TURF ZONES SHALL BE PROGRAMMED ACCORDING TO SEASONAL EVAPOTRANSPIRATION RATES.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER
SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.



1. SHRUBS LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. USE GOOD CHISEL GRUBB OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS.
4. 2" HIGH X 8" WIDE BERM.
5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL.
7. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
8. MULCH - SEE PLANTING PLAN. 3" DEPTH UNLESS OTHERWISE NOTED.

NT5 SHRUB PLANTING DETAIL



- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
 REMOVING EXISTING SOIL (FROM NURSERY) AS NECESSARY TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
 INSTALL TREE PLANT. REMOVE YIELD BAGS, WOOD BOX, PLASTIC TUNING, AND/OR ROPE. RETURN TO BAGGELS, RETURN TO BAGGELS EXCEPT FROM BOTTOM OF ROOT BALL.
 SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
 BAGGELS PER SPECIFICATIONS. LIGHTLY TAP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
 UNDISTURBED NATIVE SOIL OVER ROOTBALL. TO PREVENT SETTLING.
 INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL, AND BELOW DRIP LINE.
 GENERAL: 1" MULCH SHALL BE 1" x 1" x 1" OR 1" x 1" x 1" FROM TREE TRUNK.
 1" HIGH X 1" WIDE COBBLE BERRIES AT DRIP LINE.
 MULCH - SEE PLANTING PLAN.

NTS TREE PLANTING DETAIL

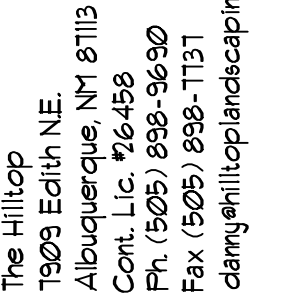
1. CMU WALL. SEE SITE PLAN AND CIVIL.
2. CURB INLET - SIZE VARIES, SEE SITE PLAN AND CIVIL.
3. PROPOSED ROOF DRAIN LOCATION
4. SIDEWALK CULVERT
5. FOUNTAIN LANDSCAPE
6. SCHEMATIC POINT OF CONNECTION FOR IRRIGATION:
WATER METER AND ELECTRICAL SUPPLY FOR
IRRIGATION CONTROLLER

SYMB.	QTY	Size (In/ft)	Common/Botanical	Size (Mature HxW)	Water Use	Cover (Ea.)	Total
	1	2" x Cal	Sensation Box Elder <i>Acer negundo</i> 'Sensation'	40' x 30'	M	900	6300
	19	2" Trunks w/ 2" Combined Cal.	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	11875
	19	2" Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forestiera neomexicana</i>	15' x 15'	M	225	4275
	10	2" x Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	20250
	12	2" x Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	19200
	13	6" x Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	8125
	8	2" x Cal	Chinese Pistache <i>Pistachia chinensis</i>	40' x 30'	M	900	7200
	12	2" x Cal	Allée Elm <i>Ulmus parvifolia</i> 'Ener II'	40' x 40'	L+	1600	19200
	14	2" Trunks w/ 2" Combined Cal.	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	5600
	114					Total Tree Coverage:	102025

	24	5 Gal	Blue Mist Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	216
	24	5 Gal	Curl-Leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15' x 15'	Low+	225	5400
	31	5 Gal	Sotol <i>Dasylirion wheeleri</i>	5' x 5'	RW	25	715
	46	5 Gal	Manhattan Euonymus <i>Euonymus klautschovius</i>	6' x 6'	M+	36	1656
	56	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	Low+	9	504
	14	5 Gal	Althea / Rose of Sharon <i>Hibiscus syriacus</i>	10' x 10'	M	100	1400
	22	5 Gal	Blue Holly <i>Ilex x meserveae</i>	7' x 5'	M+	25	550
	39	5 Gal	Spartan Juniper <i>Juniperus chinensis 'Spartan'</i>	15' x 3'	Low+	9	351
	62	5 Gal	Buffalo Juniper <i>Juniperus sabinia 'Buffalo'</i>	1' x 8'	Low+	64	3368
	48	5 Gal	Morning Light Maidengrass <i>Miscanthus sinensis var.</i>	5' x 5'	M	25	1200
	83	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RW	36	2988
	90	5 Gal	Switchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	1440
	62	5 Gal	Tree-Leaf Sumac <i>Rhus trilobata</i>	6' x 6'	Low+	36	2232
	30	5 Gal	Pink Double Knock Out Rose	4' x 4'	M	16	480
	31	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	333
	668		Total Shrub Coverage:				23493

	QTY	TYPE
	15	EA Boulders (2-3cft) To be placed at contractor's discretion
	1190	SF Crusher Fines Over Aggregate Basecourse
	42640	SF Landscape Gravel A with Filter Fabric ¾" Brown Gravel
	5820	SF Landscape Gravel B with Filter Fabric 1" Blue Gravel
	3300	SF Landscape Gravel C with Filter Fabric ¾" Basalt Crushed Gravel
	10100	SF Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobble/RipRap
	2600	SF Parkblend 60d Pop-Up Irrigation
	1240	SF Dog Park Surfacing Synthetic Turf over Aggregate Base
		Concrete See site plan
		Asphalt Parking Areas and Driveways See site plan
		Landscape Curb
		Stormwater Management Depression
		Site Furnishings Benches, Tables, Trash Receptacles, Shade Structures

ZONING	FD: PLANNED DEVELOPMENT		
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994		
TOTAL LOT AREA (ACRES)	5.04	GROUNDCOVER (%) - REQ.	18.15
TOTAL LOT AREA (SF)	219542	GROUNDCOVER (SF - REQ.)	12328
BUILDING AREA (SF)	50923	GROUNDCOVER (SF - PROV.)	26093
NET LOT AREA (SF)	168619		
		PARKING LOT AREA (SF)	12200
REQUIRED LANDSCAPE (%)	15	REQ. PARKING LANDSCAPE 10% (SF)	1200
REQUIRED LANDSCAPE (SF)	25793	PROV. PARKING LANDSCAPE (SF)	35644
LANDSCAPE PROVIDED (SF)	65150	REQ. PARKING TREES (1/10 SF/SPOTS)	36
		PROV. PARKING TREES	21
VEGETATIVE COVER (%) - REQ.	75.0		
VEGETATIVE COVER (SF - LAND)	49313	COOL SEASON GRASS (SF)	2600
VEGETATIVE COVER (SF - PROV.)	125518	COOL SEASON GRASS (% OF LANDSCAPE)	4.0
REQ. TREES - 1ST AND 2ND STORY UNITS	54		
PROVIDED UNIT TREES	80		



Landscape Architect



August 7, 2020

View House Apartments
540 Piasano St. NE
Albuquerque, NM 87123

Conceptual Landscape Plan

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

LANDSCAPE ARCHITECTS & CONTRACTORS

REVISION •	DATE
-	08/07/2020

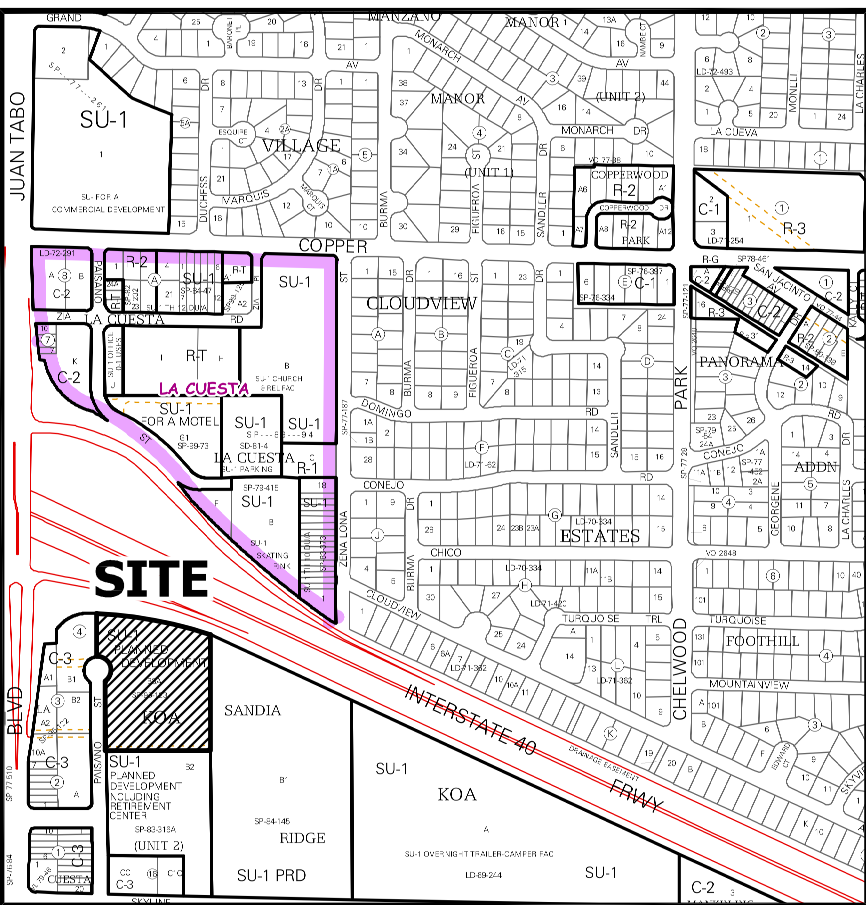
SHEET •

$$S = \{\emptyset\}$$

VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NM 87112

AUGUST, 2020



VICINITY MAP K-22-Z

ADDRESS: 540 Paisano Street NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT B-3-A, K. O. A. SUBDIVISION, UNIT 2

SITE AREA: 220,173 SF (5.0545 acres)

BENCHMARK: City of Albuquerque Station '10-K21' being a brass cap.
ELEV= 5557.514 (NAVD 1988)

SURVEYOR: The Survey Office, LLC dated February 12, 2020

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0359G (9/26/08), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does not accept any offsite flow as the apartment complex to the east has a curbed drive aisle running along the west side of the site. The Interstate 40 trail running along the north side of the site has a bar ditch which contains the runoff and carries flow to the west.

EXISTING CONDITIONS: The site is currently undeveloped with some sparse vegetation. The site slopes down to the west at approximately 3% and the sheet flow discharges to the public R/W of Paisano Street NE.

PROPOSED IMPROVEMENTS: The proposed improvements include 4 new 3-story and 4-story apartment buildings, a community building with swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the first flush volume. Private storm drains will be extended onsite to provide for catch basins to intercept site runoff.

Existing land treatment: 90% A and 10% B
 $Q = [(0.90)(1.87) + (0.10)(2.60)](5.05) = 9.8$ CFS
Proposed land treatment: 10% B, 25% C and 65% D
 $Q = [(0.10)(2.60) + (0.25)(3.45) + (0.65)(5.02)](5.05) = 22.2$ CFS

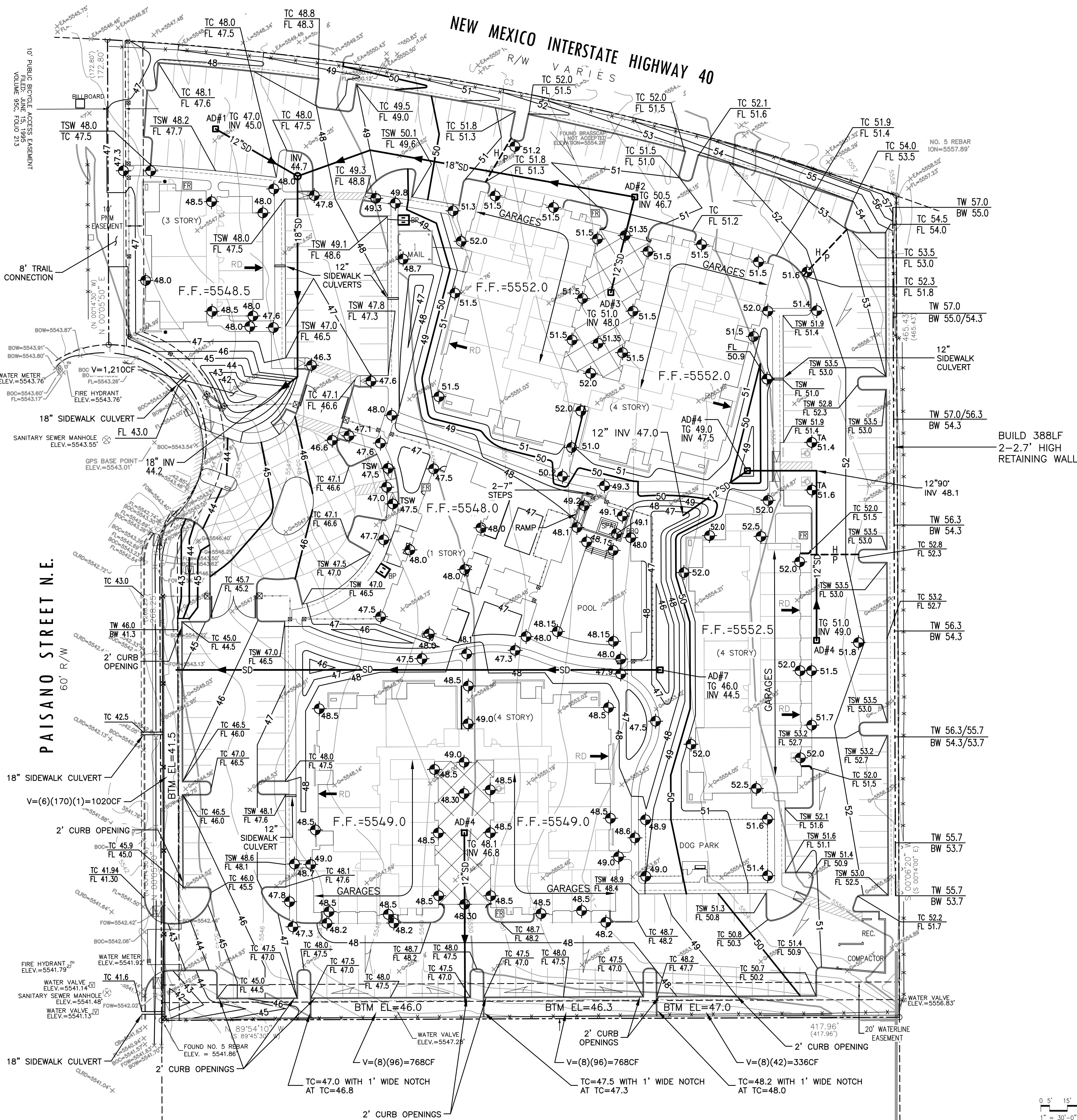
First flush $V = (143,112)(0.34/12) = 4,054$ CF
Total retention volume provided onsite is 4,102 CF
The proposed retention pond areas will combine to contain the first flush volume. Site runoff will increase from historic but the existing street capacity is adequate.

Legend

	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	NEW CONTOUR - MAJOR
	NEW CONTOUR - MINOR
	RETAINING WALL
	HIGH POINT
	SPOT ELEVATION
	FLOW DIRECTION
	FINISH FLOOR ELEVATION
	ROOF DRAIN

Scott M McGee PE

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Albuquerque, NM 87111
505.263.2905
scottmmcgee@gmail.com

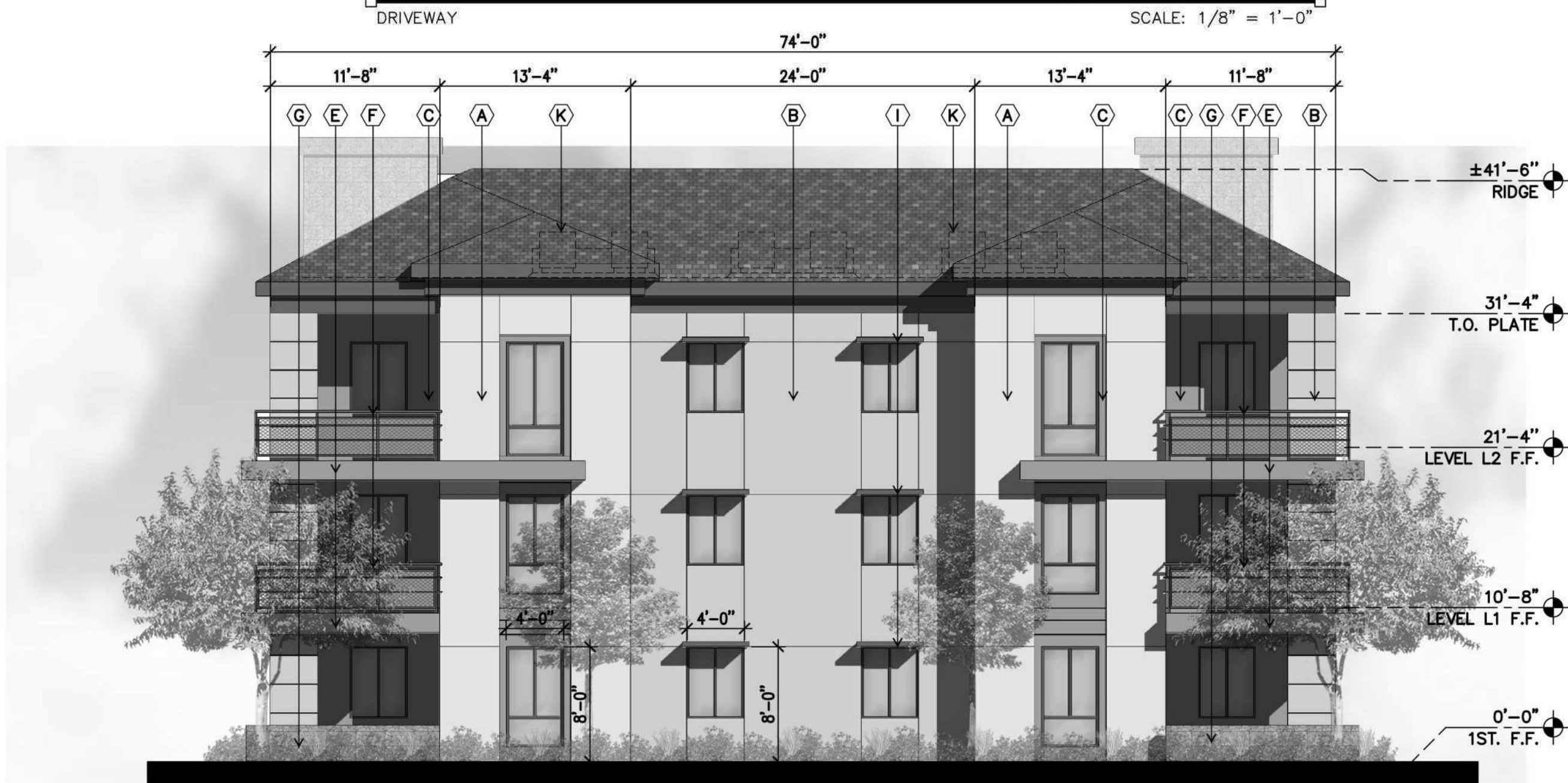


CONCEPTUAL GRADING AND DRAINAGE PLAN

1" = 30'



BLDG. TYPE 1 FRONT ELEVATION



BLDG. TYPE 1 REAR ELEVATION



BLDG. TYPE 1 RIGHT ELEVATION



BLDG. TYPE 1 LEFT ELEVATION

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT GRAY
- (B) STUCCO FINISH MEDIUM GRAY
- (C) STUCCO FINISH DARK GRAY
- (D) STUCCO FINISH BLACK
- (E) STUCCO FINISH LIGHT BROWN
- (F) METAL RAILING
- (G) EXPOSED CMU
- (H) CONCRETE LIGHTWEIGHT TILE
- (I) WINDOW SHADE
- (J) OPENING
- (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
- (L) BRICK VENEER

VIEW HOUSE
APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NEW MEXICO 87123

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DATE: JULY 20, 2020 ORB # 19-223

A3.13

BUILDING TYPE 1
PRELIMINARY ELEVATIONS



BLDG. TYPE 2 FRONT ELEVATION

MATERIAL KEY NOTES:

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BLDG. TYPE 2 REAR ELEVATION



BLDG. TYPE 2 LEFT ELEVATION



BLDG. TYPE 2 RIGHT ELEVATION

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A3.23

BUILDING TYPE 2
PRELIMINARY ELEVATIONS



BLDG. TYPE 3 REAR ELEVATION
GARDEN
SCALE: 1/8" = 1'-0"



BLDG. TYPE 3 FRONT ELEVATION
DRIVEWAY
SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:
- (A) STUCCO FINISH LIGHT GRAY
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STATE OF NEW MEXICO
RICH BARBER
NO. 2295
REGISTERED ARCHITECT
PRELIMINARY
NOT FOR
CONSTRUCTION

DATE: JULY 20, 2020 ORB # 19-223

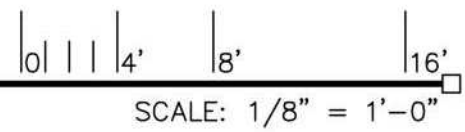
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BUILDING TYPE 3
PRELIMINARY ELEVATIONS

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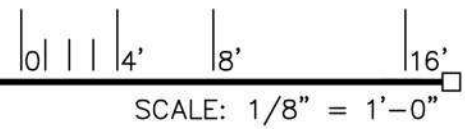
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BLDG. TYPE 3 RIGHT ELEVATION



BLDG. TYPE 3 LEFT ELEVATION



MATERIAL KEY NOTES:

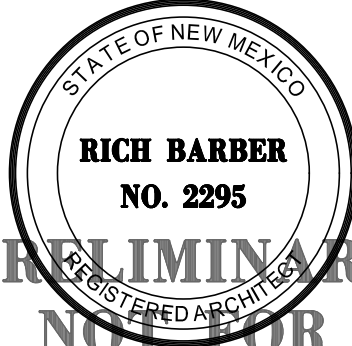
- (A) STUCCO FINISH LIGHT GRAY
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- (C) STUCCO FINISH DARK GRAY
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VIEW HOUSE
APARTMENTS

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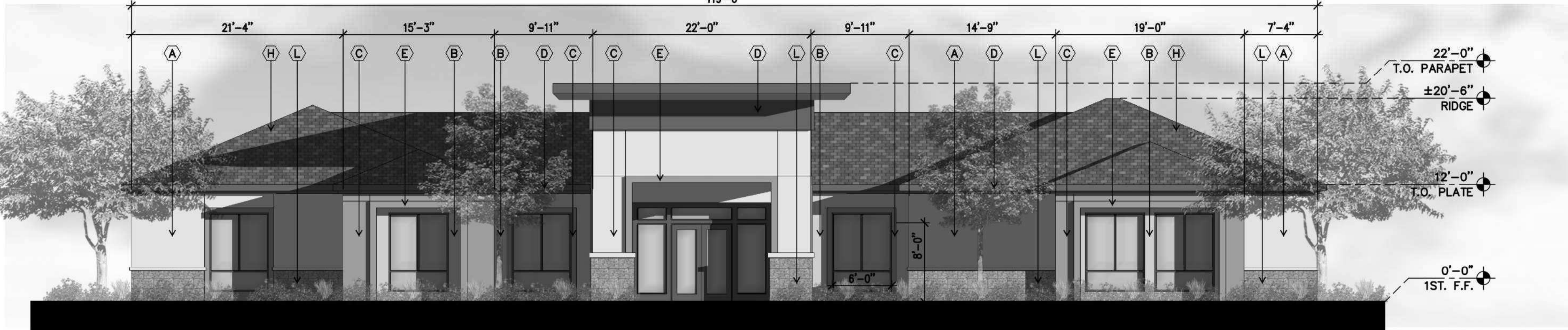
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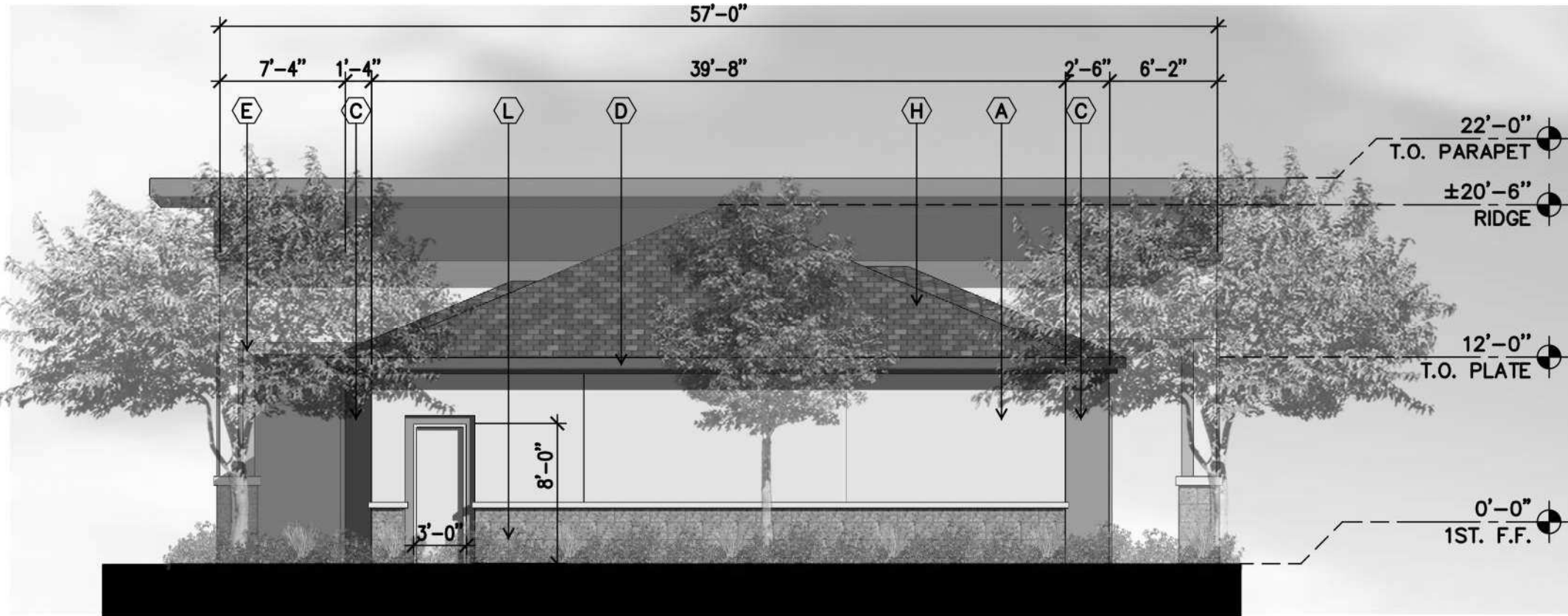
BUILDING TYPE 3
PRELIMINARY ELEVATIONS



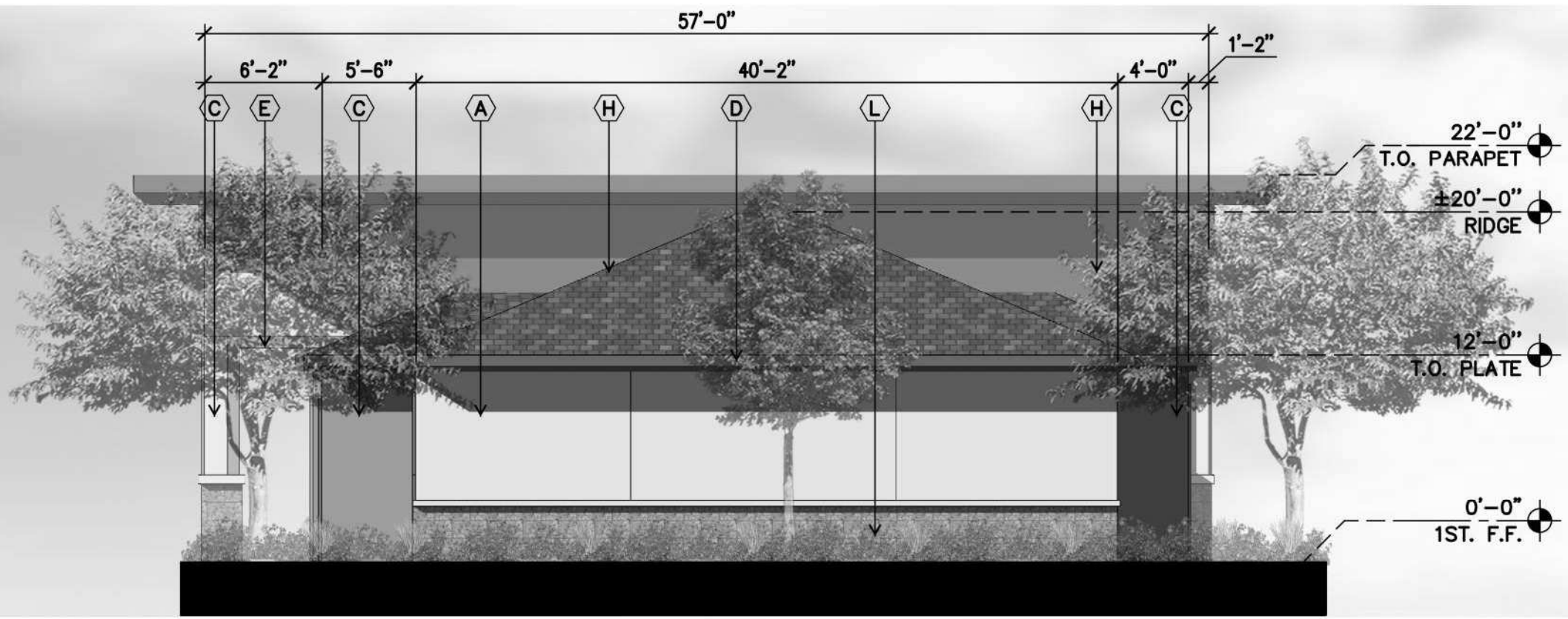
REC BLDG. FRONT ELEVATION



REC BLDG. REAR ELEVATION



REC BLDG. LEFT ELEVATION



REC BLDG. RIGHT ELEVATION

MATERIAL KEY NOTES:

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A3.42

REC/LEASING
PRELIMINARY ELEVATIONS