

City of Albuquerque



DEVELOPMENT REVIEW BOARD APPLICATION

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
Final Sign Off of EPC Site Plans			

APPLICATION INFORMATION			
Applicant: Mesa View United Methodist Church		Phone:	
Address: 4701 Montano Rd NW		Email:	
City: Albuquerque	State: NM	Zip: 87120	
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100	
Address: 5571 Midway Park PI NE		Email: rstevenson@tierrawestllc.com	
City: Albuquerque	State: NM	Zip: 87109	
Proprietary Interest in Site: Owner		List <u>all</u> owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: TR 27A-2 TAYLOR RANCH REDIV OF TR 27-A INTO TRS 27A-1, 27A-2 OF THE PLAT OF TRS 27-A, S-1 S-2 & S-3 TAYLOR RANCH SITUATE WITHIN SECTIONS 23, 25 & 26 T11N R2E		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code: 101106252728610440
Zone Atlas Page(s): E-11-Z & E-12-Z	Existing Zoning: MX-L	Proposed Zoning: MX-L	
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 6.8	
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 4701 Montano Rd NW		Between: Montano Rd	and: Taylor Ranch Rd
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
1000899, PR-2019-002606, SI-2020-00049, PR-2020-003461, SI-2020-00052			

Signature:		Date: 7/28/2020			
Printed Name: Ronald R. Boligman		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent			
FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00704	SBP	\$50			
Meeting Date: August 12, 2020			Fee Total: \$50		
Staff Signature: Vanessa A Segura		Date: 8/3/2020		Project # PR-2020-003461	

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.


A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

- SITE PLAN – DRB**
- MAJOR AMENDMENT TO SITE PLAN – DRB**
- EXTENSION OF SITE PLAN – DRB**
 - Interpreter Needed for Hearing? if yes, indicate language: _____
 - PDF of application as described above
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Letter of authorization from the property owner if application is submitted by an agent
 - Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
 - Signed Traffic Impact Study (TIS) Form
 - Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
 - Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
 - Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
 - Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
 - Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested or held, copy of sign-in sheet and meeting notes
 - Sign Posting Agreement
 - Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
 - Completed Site Plan Checklist
 - Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
 - Copy of the original approved Site Plan or Master Development Plan *(for amendments only)* (1 copy, 24" x 36")
 - Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
 - Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
 - Infrastructure List, if required

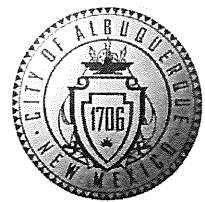
FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

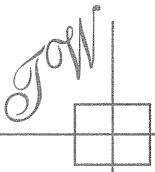
- Interpreter Needed for Hearing? if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: 	Date: 7/28/20
Printed Name: <u>Ronald R. Bohannon</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
SI-2020-00704	PR-2020-003461
Staff Signature: <u>Vanessa A Segura</u>	
Date: 8/3/2020	





TIERRA WEST, LLC

July 28, 2020

Ms. Jolene Wolfley
City of Albuquerque
PO Box 1293
Albuquerque, NM

**RE: FINAL SIGN OFF OF EPC SITE PLAN
(PROPOSED 30 DWELLING DEVELOPMENT)
TRACTS 27A-1 AND 27A-2 OF TAYLOR RANCH, REDIVISION
OF TRACT 27A INTO TRACTS 27-A-1 AND 27-A-2 OF THE
PLAT OF TRACTS 27-A, S-1, S-2, AND S-3 TAYLOR RANCH,
SITUATED WITHIN SECTIONS 23, 25 AND 26 T11N R2E, BLOCK 0000,
LOCATED AT THE NORTHEASTERN CORNER OF THE
INTERSECTION OF MONTAÑO ROAD NW AND TAYLOR
RANCH ROAD NW (4701 MONTAÑO ROAD NW),
APPROXIMATELY 3.4 ACRES (E-11-Z AND E-12-Z)**

Dear Ms. Wolfley:

Tierra West, LLC, on behalf of Mesa View United Methodist Church Inc. a Non-Profit Corp., requests final sign off of EPC site plan for the property described as Tracts 27A-1 and 27A-2 of Taylor Ranch, Redivision of Tract 27A into Tracts 27-A-1 and 27-A-2 of the plat of Tracts 27-A, S-1, S-2, and S-3 Taylor Ranch, situated within Sections 23, 25 and 26 T11N R2E, Block 0000, located at the northeastern corner of the intersection of Montaña Rd. NW and Taylor Ranch Rd. NW/Golf Course Rd. NW (4701 Montaña Road NW), approximately 3.4 acres. The subject site is zoned MX-L (Mixed-Use Low Intensity Zone District).

Site Location and History

The project site is located on the north east corner of Taylor Ranch Rd and Montano Rd. NW. A portion of the site is currently developed with multiple buildings and paved parking areas to support the Mesa View United Methodist Church. Approximately one third of the parcel, on the east side of the site, shall be subdivided to create a new parcel used for the Saranam Development, as detailed under PR-2019-002606.

On June 11, 2020, the Environmental Planning Commission (EPC) voted to Approve Project 2020-003461 SI-2020-00052, a Site Plan – EPC, Major Amendment based, subject to a number of Conditions. These conditions were site plan related matters, which we believe have been addressed with this application to the DRB. There was no appeal lodged against the decision.

Site Orientation and Proposed Use

The site is proposed to be developed into 30 residential two and four bedroom units operated by Saranam LLC (a non-profit organization). Under the application PR-2019-002606 is platting action for preliminary/final plat approval to subdivide the property to support the development. The development shall include parking to support the units and additional community amenity support space, as well as utilizing the existing building on the eastern portion of the site. Each unit shall have sewer and water connections serviced by ABCWUA.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Drainage and Landscaping

The site drainage shall match the historical flow patterns with the developed Saranam site draining to the south west corner to the existing lake (retention pond) which receives runoff from the entire property and is sized to handle the developed flows. The submittal includes the conceptual grading and drainage plan that was approved with engineers stamp date 02/26/20, and the landscaping design plans. The landscaping design complies with the City water conservation and landscaping ordinances and includes xeriscape accents, native seed mixes and park sod for the playground/gathering areas.

Neighborhood Coordination

We met with the Taylor Ranch Neighborhood Association, and interested neighbors on numerous occasions to discuss the application and engage in and incorporate feedback provided by the neighbors, while also answering their concerns on the project. One of the public meetings was a facilitated public meeting, with the meeting report included in the application file. The proposed development meets all regulations and requirements set out in the IDO.

We are requesting that the DRB approve the application for Final Sign-off of an EPC Site Plan. We believe the site plan complies with all the applicable provisions of the City of Albuquerque's Integrated Development Ordinance and Development Process Manual. No deviations or variances are requested with this application.

Below are the conditions of approval listed by EPC from the June 11th 2020 hearing and the responses to address the comments.

EPC CONDITIONS OF APPROVAL:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.

Response: Noted.

A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Response: This letter accompanies the submittal.

2. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.

Response: Meeting is set for Thursday 30th July at 2.00 pm with Staff Planner.

3. Parking:

- A. The motorcycle parking calculations shall be deleted if MC parking is not being provided [Note: it is not required pursuant to IDO Section 14-16-5-5(D)].

Response: Motorcycle parking calculations removed

- B. Clarify if the bicycle parking provides 4 spaces or 2 spaces each.

Response: 16 total parking spaces with 4 racks offering with 4 spaces.

4. Pedestrian Access: The applicant shall provide better pedestrian access from the dwelling units to sidewalks and transit stops along both Golf Course and Montano Roads in the form of walkways with trees and/or shading that meet the applicable IDO standards of Sections 14-16-5-3 and 14-16-5-6.

Response: Trees added to walkways where possible. 6-ft sidewalk connection provided to Montano public sidewalk.

5. Open Space: The Open Space calculations shall be revised and totals corrected to incorporate the rate of 250 sf/2 bedroom unit pursuant to IDO Section 14-16-2-4(B)(2), the MX-L zone.

Response: open space calculations revised per IOD Section 14-16-2-4(B)(2)

6. Landscaping Requirements:

- A. Shade trees shall be provided along required pedestrian walkway [IDO Section 14-16-5-3(D)(3)(b)(2)(a)] along the project site's western boundary. An on-site pedestrian walkway that connects to the sidewalk is required pursuant to.
- B. At least 10% of the parking lot area shall be landscaped [IDO Section 14-16-5-3(F)(2)(a)].
- C. Parking lot trees shall be provided at the rate of 1 tree per 10 parking spaces. With 45 required spaces, 5 trees shall be provided. [IDO Section 5-6(F)(2)(c)(1)].
- D. Clarify and ensure that 1 tree per dwelling unit (30 trees total for the DUs) is provided pursuant to the Use Specific Standards for multi-family development [IDO Section 4-3-(B)(7)].

Response: Landscape comments A-D addressed on the revised landscape plans.

7. Landscaping Details:

- A. Curb notches shall be labeled and match locations on the grading and drainage plan(s).
- B. A curb notch detail shall be provided.
- C. The northern landscape buffer width shall be labeled consistent with the width shown on Sheet C-1.
- D. Specify if the boundary along the project's western side is a wall or edging.

Response: Landscape detail comments A-D updated on revised plans

8. Walls:

- A. The proposed, new retaining wall shall comply with the wall design requirements in IDO Section 14-16-5-7(E).
- B. A front-facing wall detail shall be provided.
- C. The refuse enclosure detail shall specify materials, colors, and finish.

Response: wall complies with IDO 14-16-5-7(E), front facing details added detail sheet C5, and refuse enclosure details for color added.

9. Lighting:

- A. A light pole detail indicating height, color, and finish shall be provided [IDO Section 14-16- 5- 8-(D)(7)].
- B. Light pole locations shall be shown and a consistent symbol used.

Response: Light pole detail with height, color and finish added to detail sheet C5 and the symbol used is consistent throughout.

10. Elevations:

- A. Elevations for the accessory buildings (1, 2, and 3) shall be provided and provide necessary details such as dimensions, colors, and finishes.
- B. The materials and finishes of the buildings, roofing, framing, and trim, shall be specified.
- C. The word "typical" shall be added to the labels for Unit 6 and Unit 9.

Response: elevations for the accessory buildings 1, 2 and 3 added to the elevation sheets, and the materials and finishes of the buildings, roofing, framing, and trim, are specified. "Typical" added to the labels for Unit 6 and Unit 9.

11. Grading and Drainage Plan:

Curb notches shall be shown in the same locations as on the landscaping plan.

Response: Plans updated.

12. Clarification:

- A. The legal description shall include Tract 27A-1.
- B. The subject site's zoning shall be listed.
- C. Revise the sheet index.
- D. The same number for building square footage shall be used on Sheet C-1 and on the landscaping plan.

Response: clarifications made to address comments A-D

13. CONDITIONS FROM THE CITY ENGINEER/TRANSPORTATION:

- A. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

Understood

- B. Platting action is required through DRB for proposed lot lines and access easement.

To be heard simultaneous application PR-2019-002606

The following comments need to be addressed prior to DRB.

- C. Fire Marshall approval of the site plan is required.
Received approval.
- D. Provide details for bollards at Montañó Road and landscape pavers. Coordinate with Fire Marshall.
Added to Detail Sheet C5.
- E. Top plan view appears to incorrectly show the access to Golf Course Road where this section of road to the west is shown as "Taylor Ranch Drive". **Corrected**
- F. In general, a 6-foot connection in lieu of a 5-foot connection is required to tie into Montañó Road from main building entrance and from main building entrance to the handicapped spots. However, for an MX zone, follow IDO requirements for sizing of walkways based upon square footage of buildings. **6-ft sidewalk connection provided**
- G. Provide shared access agreement as stated on EPC site plan.
Blanket cross access detailed on plat.
- H. Provide separate plan sheet showing overall connection to Taylor Ranch Road. Call out new paved surfaces.
Detailed with existing site plan for Mesa View Church
- I. Provide motorcycle and bike rack requirements. Provide details for these as necessary.
Bike rack detail Sheet C4. No MC parking provided.

14. CONDITION FROM THE ABCWUA:

As a condition of approval request an availability statement at the link:
http://www.abcwua.org/Availability_Statements.aspx

Requests shall include a City Fire Marshal approved Fire 1 Plan, zone map showing the site location, and a Utility Plan (showing the domestic water, sanitary sewer, and proposed fire protection).

Request sent to ABCUWA

15. CONDITION FROM THE SOLID WASTE MANAGEMENT DIVISION:

Site will be required to build 2 new refuse enclosures or 1 new double enclosure at site. One will be for existing site and 1 for new proposed 30 unit Single Family Apartments. Both must meet COA Solid Waste minimum requirements.

New dumpsters shown on plan, working with department for solid waste sign-off.

16. CONDITIONS FROM PNM:

- A. An existing underground distribution line is located along the south side of the subject property along Montano Blvd NW and underground service entering the property along the driveway from Taylor Ranch Rd NW. It is the applicant's obligation to abide by any conditions or terms of those easements.
- B. As a condition, the developer shall contact PNM's New Service

Delivery Department to coordinate electric service regarding the project. Please submit a service application at www.pnm.com/erequest for PNM to review.

- C. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

Understood.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

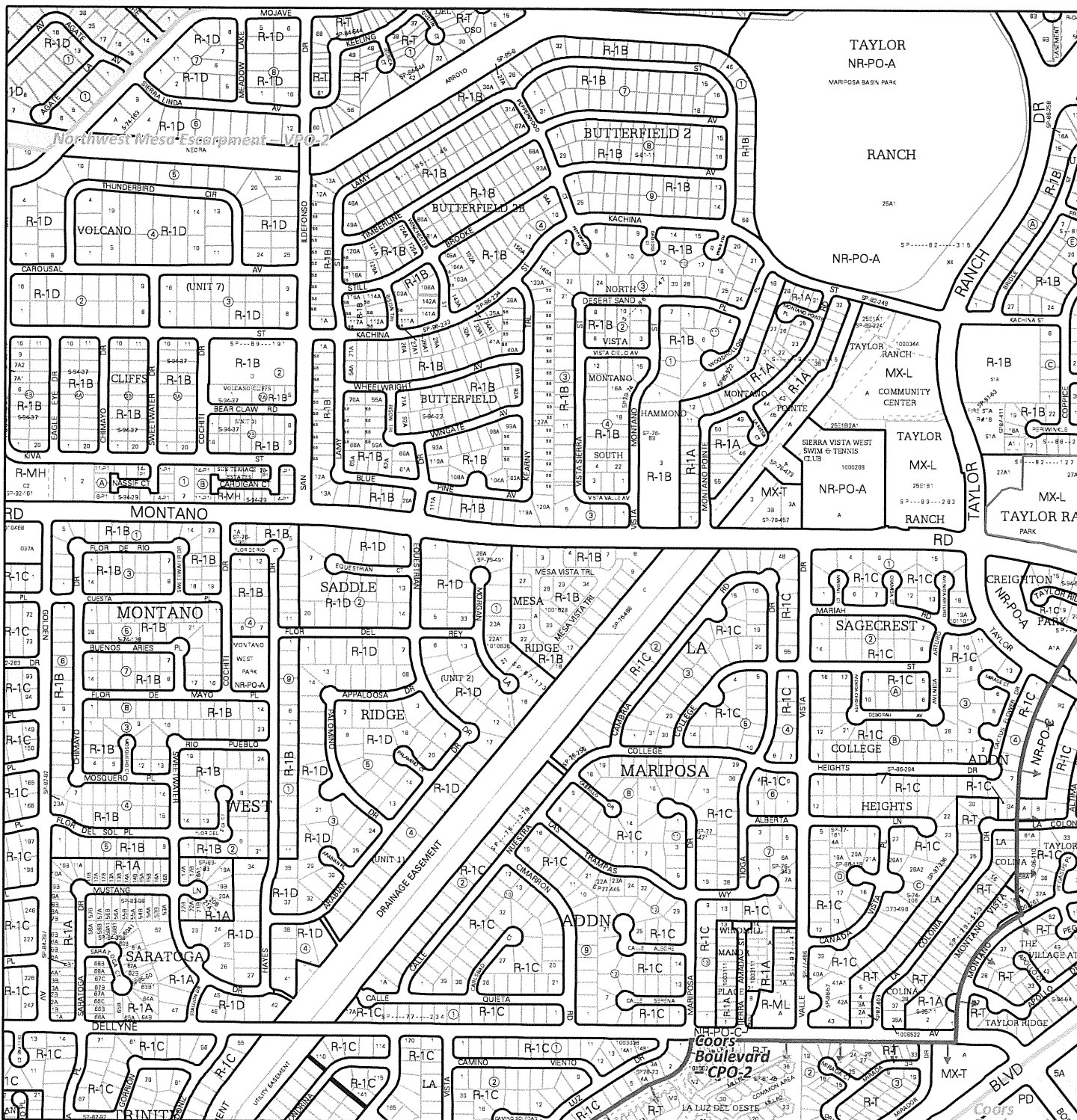


Ronald R. Bohannon, PE

cc: Tracy Weaver, Saranam, LLC

JN: 2019080

RRB/rs/kw

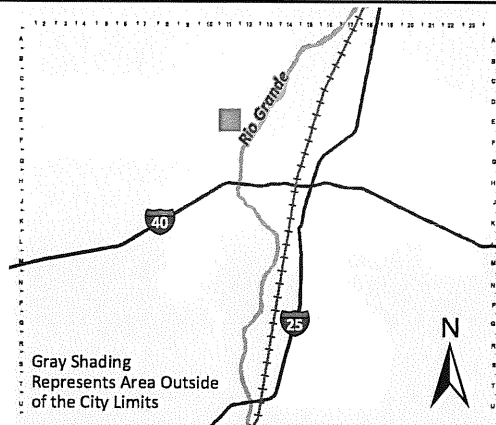


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



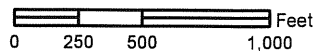
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

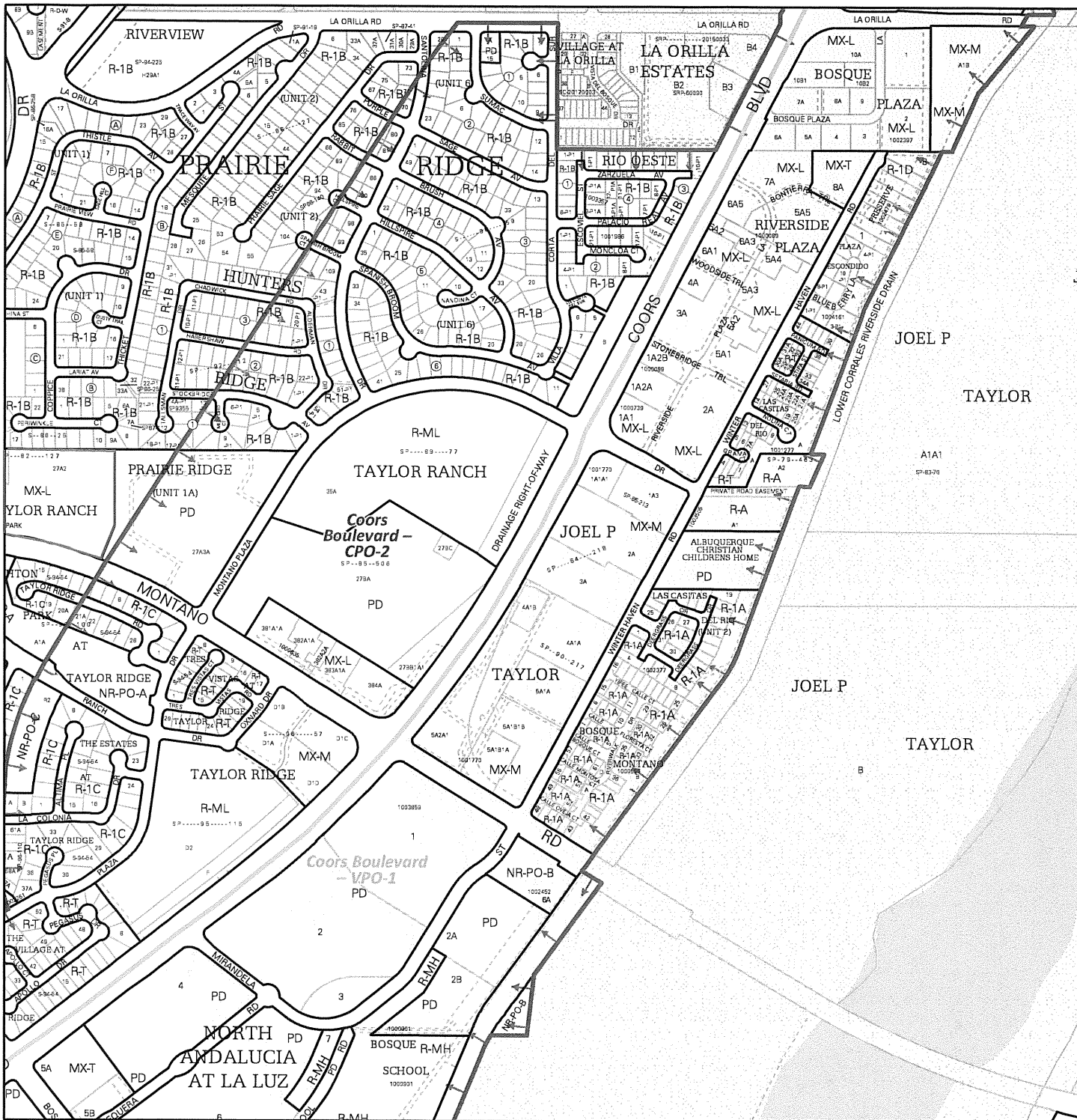


Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
E-11-Z

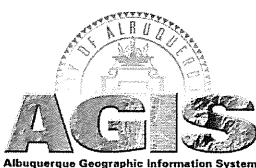
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



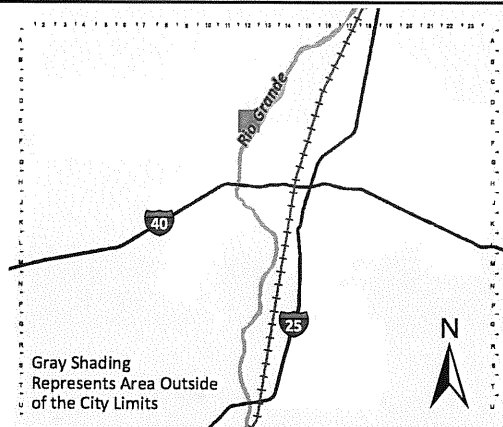


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

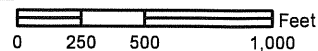


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
E-12-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



February 25, 2020

Ms. Jolene Wolfley Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: MAJOR AMENDMENT TO SITE PLAN-EPC APPROVAL
4701 MONTANO RD NW
TR 27A-2 TAYLOR RANCH REDIV OF TR 27-A INTO TRS 27A-1, 27A-2 OF
THE PLAT OF TRS 27-A, S-1, S-2 & S-3 TAYLOR RANCH SITUATE WITHIN
SECTIONS 23, 25, & 26 T11N R2E**

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Mesa View United Methodist Church pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

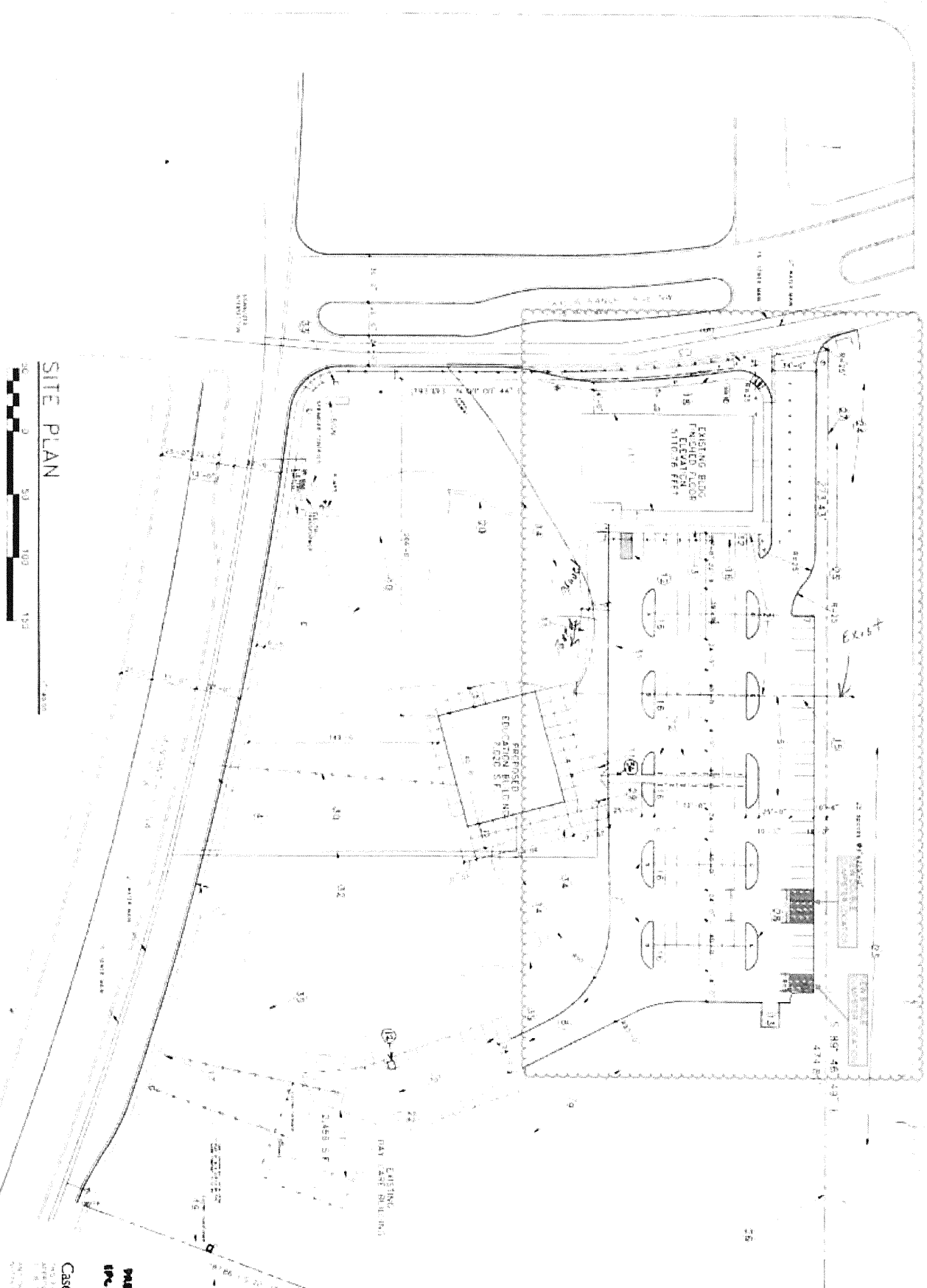
Joshua Kouri
Print Name

Joshua Kouri
Signature

Pastor
Title

2/25/20
Date

FOR SOLID WASTE TO SEE THE ENTRANCE



LEGEND

- 1. LAMP POST
- 2. WATER MAIN
- 3. ELECTRIC MAIN
- 4. GAS MAIN
- 5. TELEPHONE MAIN
- 6. UNDERGROUND GAS LINE
- 7. UNDERGROUND ELECTRIC LINE
- 8. UNDERGROUND TELEPHONE LINE
- 9. UNDERGROUND FIBER LINE



CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 APPROVED HG

07.29.20
 Approved for Access

MS Application # 01450-0000-0039
 MS Application # 00120-0000-01512

Case Number: 1000899

APPROVED BY THE ENGINEER, LANDSCAPE ARCHITECT, AND ARCHITECT FOR THE CITY OF ALBUQUERQUE, NEW MEXICO

Richard D. ... 4-05-21
Alvin E. ... 4-05-21
Roger A. ... 4-11-01
Buddy & Bigler 11/01/01
J. ... 11/9/01

<p>1. Existing building to remain.</p> <p>2. Existing parking lot to remain.</p> <p>3. Existing sidewalk to remain.</p> <p>4. New 6" of sidewalk surrounding property.</p> <p>5. New 2" of sidewalk surrounding property.</p> <p>6. New 2" of sidewalk surrounding property.</p> <p>7. New landscape island.</p> <p>8. New asphalt concrete drive.</p> <p>9. Detached storm drain during drive.</p> <p>10. Existing pond to remain.</p> <p>11. New concrete sidewalk.</p> <p>12. New accessible parking spaces.</p> <p>13. New 2" of sidewalk surrounding property.</p> <p>14. Existing asphalt driveway to be removed.</p> <p>15. 7' existing drainage easement for benefit of Tract 27 A-1.</p> <p>16. 7' Utility easement.</p> <p>17. 10' Utility easement.</p> <p>18. 7' Utility easement @ Tract 27 A-1.</p> <p>19. 7' Utility easement @ Tract 27 A-1.</p> <p>20. Existing concrete drainage easement.</p> <p>21. Existing 2 story apartment.</p> <p>22. Existing 1 story apartment.</p> <p>23. Existing 1 story apartment.</p> <p>24. Existing fire station #18 parking lot.</p> <p>25. Existing concrete storm drainage alley.</p> <p>26. Existing 2 story apartment.</p> <p>27. Existing CHU wall 12'4" to 5' tall.</p> <p>28. Proposed parking lot 14' x 16' with 44 sq. ft. of shared (broken shared).</p> <p>29. New fire hydrant.</p> <p>30. Proposed new sewer line.</p> <p>31. Proposed New utility easement with gas and water for electric lines.</p> <p>32. Proposed new utility easement with gas and water for electric lines.</p> <p>33. Traffic signal @ intersection.</p> <p>34. Bicycle rack for 6 bicycles.</p> <p>35. New 6" wide gravel path.</p> <p>36. 44' x 16' area of sidewalk.</p> <p>PAVING REQ. URBENS</p>	<p>1. Existing Other Building Area: 8,300 SF</p> <p>2. New Education Center Area: 7,000 SF</p> <p>3. Existing Day Care Center Area: 2,468 SF</p> <p>4. Existing 2 story apartment: 2,468 SF</p> <p>5. Existing 1 story apartment: 2,468 SF</p> <p>6. Existing fire station #18 parking lot: 2,468 SF</p> <p>7. Existing 2 story apartment: 2,468 SF</p> <p>8. Existing CHU wall 12'4" to 5' tall: 2,468 SF</p> <p>9. Proposed parking lot 14' x 16' with 44 sq. ft. of shared (broken shared): 2,468 SF</p> <p>10. New fire hydrant: 2,468 SF</p> <p>11. Proposed new sewer line: 2,468 SF</p> <p>12. Proposed New utility easement with gas and water for electric lines: 2,468 SF</p> <p>13. Proposed new utility easement with gas and water for electric lines: 2,468 SF</p> <p>14. Traffic signal @ intersection: 2,468 SF</p> <p>15. Bicycle rack for 6 bicycles: 2,468 SF</p> <p>16. New 6" wide gravel path: 2,468 SF</p> <p>17. 44' x 16' area of sidewalk: 2,468 SF</p> <p>PAVING REQ. URBENS</p>
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Education Building for Mesa View UMC 4701 Montano NW Albuquerque, New Mexico

George Montgomery, Architect, P.C. 4701 Montano NW Albuquerque, NM 87105-1100

Site Plan AS-1

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Golf Course and Montano Saranam

AGIS MAP # E-11-Z & E-12-Z

LEGAL DESCRIPTIONS: TR 27A-2 TAYLOR RANCH REDIV OF TR 27-A INTO

TRS 27A-1, 27A-2 OF THE PLAT O F TRS 27-A, S-1,

S-2 & S-3 TAYLOR RANCH SITUATE WITHIN SECTIONS


23, 25, & 26 T11N R2E

 DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on _____ (date).


Applicant/Agent

7/29/20
Date



Hydrology Division Representative

07/28/20
Date


NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

 WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 07/23/2020 (date).


Applicant/Agent

7/29/20
Date

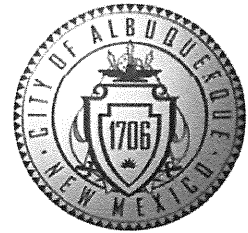

ABCWUA Representative

07/28/2020
Date

PROJECT # _____

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 13, 2020

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Saranam
4701 Montano Rd NW
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 02/26/20
Hydrology File: E11D013B**

Dear Mr. Bohannon:

PO Box 1293

Based upon the information provided in your submittal received 03/04/2020, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Preliminary Plat / Final Plat, Site Plan for Subdivision, and Site Plan for Building Permit.

Albuquerque

NM 87103

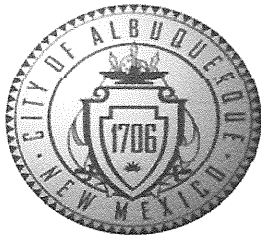
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Saranam Golf Course & Montano **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** PR-2020-003461 **Work Order#:** _____

Legal Description: TR 27A-2 TAYLOR RANCH REDIV OF TR 27-A INTO TRS 27A-1 27A-2 OF THE PLAT OF TRS 27-A, S-1, S-2 & S-3 TAYLOR RANCH SITUATE WITHIN SECTIONS 23, 25 & 26

City Address: 4701 Montano Rd NW

Applicant: Tierra West, LLC **Contact:** Richard Stevenson

Address: 5571 Midway Park Pl NE Albuquerque NM 87109

Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** rstevenson@tierrawestllc.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

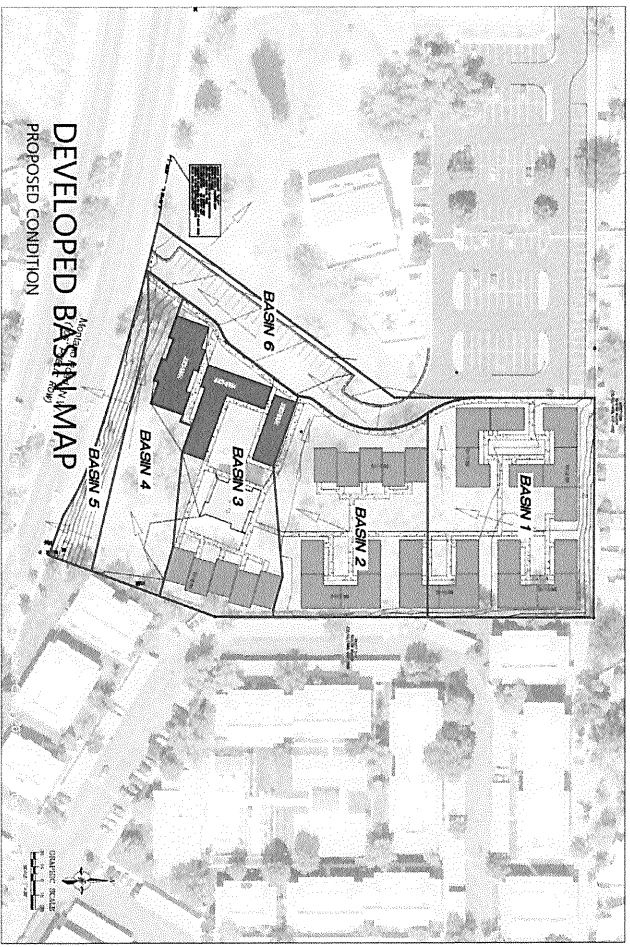
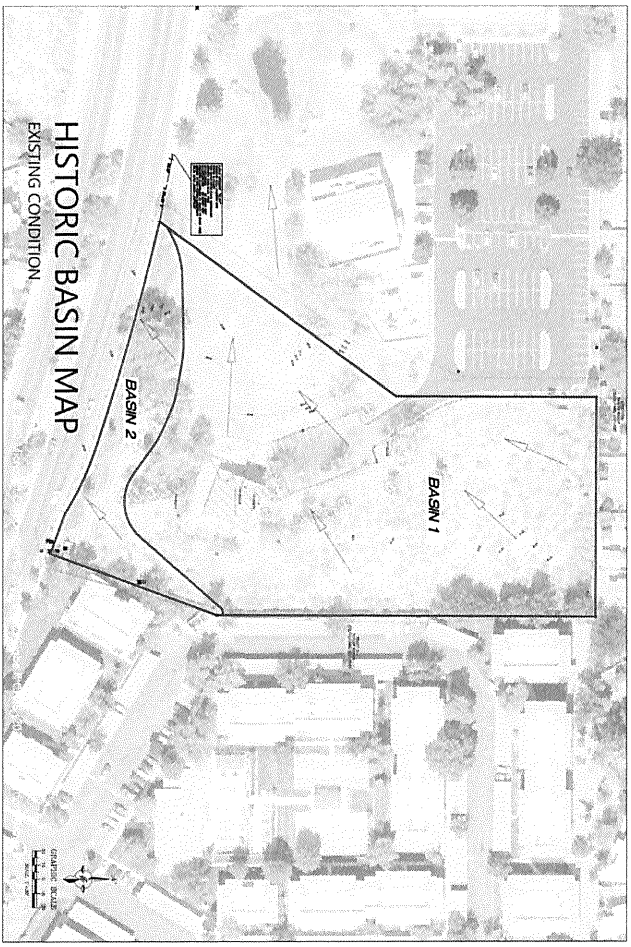
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/3/2020 **By:** Richard Stevenson

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



INTRODUCTION & REFERENCE FILES
FILE # E110013

THE SITE IS LOCATED ON THE NORTH EAST CORNER OF MONTANO RD NW AND TAYLOR RANCH RD NW. THE PROPERTY WILL BE SUBDIVIDED TO CREATE THE NEW TRACT TO SUPPORT THE 32 UNIT RESIDENTIAL COMMUNITY HOUSING DEVELOPMENT. THE SUBDIVISION WILL BE DIVIDED INTO 6 BASINS. THE DESIGN AND CONSTRUCTION OF THE BASINS WILL BE DETERMINED BY THE CURRENTLY DRAS AND EXISTING LAKES IN THE SOUTH WEST CORNER. THE SITE HAS BEEN DEVELOPED IN THE PAST AND THE HYDROLOGY REPORTS ON RECORD DETAILED THE DRAINAGE FOR THE SITE AND THEREFORE AT TIME OF BUILDING PERMIT SUBMITTAL, AN OVERALL MASTERPLAN DRAINAGE SHALL BE COMPLETED TO VERIFY THE LAKE HAS ADEQUATE CAPACITY TO RECEIVE THE DEVELOPED FLOWS. THE LAKE IS ALSO PROPOSED TO BE USED TO MEET THE FIRST FLUSH RETENTION VOLUME FOR THE NEW DEVELOPMENT.

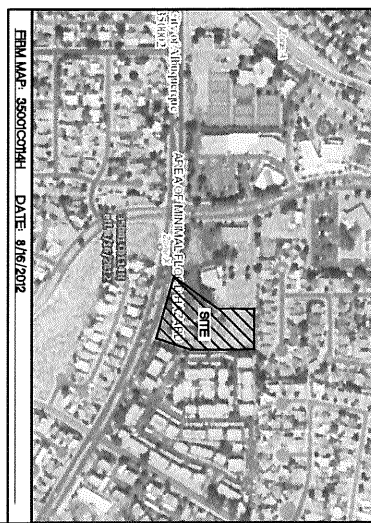
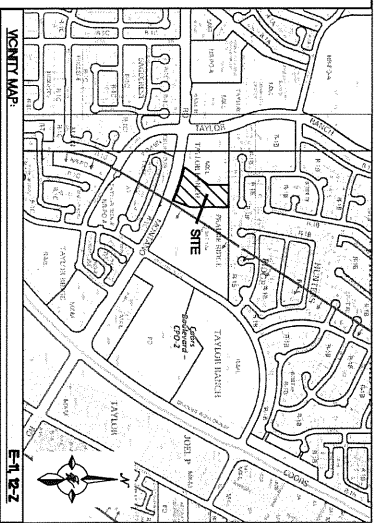
FLOOD PLAIN
THE PROJECT AREA IS INCLUDED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL 35001C0114H DATED AUGUST 16, 2012 AND IS SHOWN ON THIS PAGE. THE MAP INDICATES THE SITE LIES WITHIN FLOOD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.

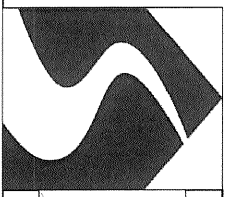
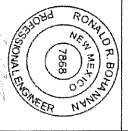
HISTORIC DRAINAGE
THERE IS NO OFFSITE FLOWS INTO THE PARCEL. THE HISTORIC DRAINAGE RUNOFF IS RETAINED ONSITE WITH THE PARKER DRAINING TO THE EXISTING LAKE AT THE SOUTHWEST CORNER. IF APPEARS FROM A CURSORY REVIEW OF THE AVAILABLE DOCUMENTS THE LAKE WAS SIZED TO ACCOMMODATE THE ENTIRE PARCEL IN A DEVELOPED STATE. AS DETAILED ON THE SITE DEVELOPMENT PLAN, THE LAKE IS AT LEAST 6 FEET DEEP AND THERE IS AN EXISTING MARSH/WETLAND AREA THAT WAS PLANTED AND IS IN GOOD HEALTH FOR ALBUQUERQUE. A SMALL PORTION OF THE EMBANKMENT ALONG THE FRONTAGE DRAINS DIRECTLY INTO MONTANO RD. THIS SLOPED LANDSCAPED AREA WILL REMAIN IN THE DEVELOPED CONDITION AND FREELY DISCHARGE.

PROPOSED DRAINAGE

THE WEIGHTED E METHOD FROM THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME 1 - DESIGN CRITERIA, 2006 REVISION- WAS USED TO CALCULATE THE RUNOFF AND VOLUME FOR THE SITE. THE HYDROLOGY TABLES ARE SHOWN ON THIS PAGE. THE SITE WAS DIVIDED INTO 6 BASINS WITH THE APPROPRIATE LAND TREATMENT DETERMINED AS SHOWN IN THE DRAINAGE TABLE. THE MAJORITY OF THE SITE WILL SHEET FLOW AND BE DIRECTED BY CURB AND GUTTER TO A 3X3 GATE INLET IN THE PARKING LOT IN THE SOUTH WEST CORNER OF THE SITE WHICH HAS THE INLET CAPACITY FOR THE EXPECTED FLOW. ROOF DRAINS FROM THE RESIDENTIAL BUILDINGS SHALL BE DIRECTED INTO THE PARKING LOT AREA AND SHEET FLOW ACROSS THE PROPERTY. THE RUNOFF SHALL THEN BE DISCHARGED DIRECTLY TO THE LAKE VIA AN 18-INCH HOPE PIPE THAT HAS THE CAPACITY TO CONVEY THE DESIGN FLOWS. THE LANDSCAPED EMBANKMENT ALONG MONTANO WILL FREELY DISCHARGE INTO THE STREET AND DOES NOT REQUIRE STORMWATER TREATMENT. THE DESIGN FLOWS FROM THE MIDDLE RIG AND NEW DEVELOPMENT SITES ARE REQUIRED TO CAPTURE AND INFILTRATE THE STORMWATER QUALITY VOLUME FROM THE 90TH PERCENTILE STORM. THE METHODOLOGY USED IN THE P.A. REPORT ESTIMATING PREDEVELOPMENT HYDROLOGY IN THE MIDDLE RIG PERCENTILE STORM. APRIL 2014, YIELDS A RUNOFF VALUE OF 0.42 INCHES FOR THE 90TH PERCENTILE STORM. THEREFORE THE REQUIRED STORMWATER QUALITY VOLUME TO BE CAPTURED AND INFILTRATED IS THE PRODUCT OF THE IMPERVIOUS AREA MULTIPLIED BY 0.42 INCHES FOR NEW DEVELOPMENT SITES.

THE PEAK DISCHARGE FOR THE ENTIRE SITE IS 9.3 CFS WHICH IS MORE THAN THE HISTORIC FLOWS DUE TO THE IMPERVIOUS AREAS BEING PROPOSED BUT THE LAKE WILL HAVE THE CAPACITY TO RETAIN THE ADDITIONAL VOLUME GENERATED FROM THIS DEVELOPMENT AND WILL THEREFORE MEET THE FIRST FLUSH REQUIREMENTS. THE 10 DAY VOLUME WAS CALCULATED AND THE CAPACITY OF THE LAKE WILL BE VERIFIED TO CONFIRM THERE IS EXCESS CAPACITY AT THE TIME OF THE FINAL REPORT.



	ENGINEERS SEAL  RONALD BOWMAN 1989 PROFESSIONAL ENGINEER 2/28/2020 RONALD B. BOWMAN P.E. #7785	SARANAM AT 4701 MONTANO RD NW CONCEPTUAL GRADING & DRAINAGE PLAN	DRAWN BY DATE 2/28/2020 2019080_GRF
	TERESA WEST, LLC 5511 ALBUQUERQUE, NW 87109 (505) 858-3100 www.terewestllc.com	SHEET # C2-A	JOB # 2019080

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

June 11, 2020

Mesa View United Methodist Church
4701 Montañó Rd. NW
Albuquerque, NM 87120

Project #2020-003461
SI-2020-00052—Site Plan-EPC, Major Amendment

LEGAL DESCRIPTION:

Tracts 27A-1 and 27A-2 of Taylor Ranch, Redivision of Tract 27A into Tracts 27-A-1 and 27-A-2 of the plat of Tracts 27-A, S-1, S-2, and S-3 Taylor Ranch, situated within Sections 23, 25 and 26 T11N R2E, Block 0000, located at the northeastern corner of the intersection of Montañó Road NW and Taylor Ranch Road NW (4701 Montañó Road NW), approximately 8.1 acres (E-11-Z and E-12-Z) Staff Planner: Catalina Lehner

On June 11, 2020, the Environmental Planning Commission (EPC) voted to Approve Project # 2020-003461/ SI-2020-00052, a Site Plan – EPC, Major Amendment based on the following Findings and subject to the following Conditions of Approval:

FINDINGS:

1. The request is for a Major Amendment of a Prior Approval of a Site Development Plan for a property described as Tracts 27A-1 and 27A-2 of Taylor Ranch, Redivision of Tract 27A into Tracts 27-A-1 and 27-A-2 of the plat of Tracts 27-A, S-1, S-2, and S-3 Taylor Ranch, situated within Sections 23, 25 and 26 T11N R2E, Block 0000, located at the northeastern corner of the intersection of Montañó Rd. NW and Taylor Ranch Rd. NW/Golf Course Rd. NW (4701 Montañó Road NW), approximately 8.1 acres.
2. The subject site is zoned MX-L (Mixed-Use Low Intensity Zone District). Primary land uses are non-destination retail and commercial uses, townhouses, low-density multi-family residential dwellings, and civic and institutional uses to serve the surrounding area. The proposed dwelling units are a permissive use; the buildings for support services are permissive, accessory buildings and are subordinate to the primary use. Religious institution is also a permissive use.
3. The EPC has the authority to review the Site Plan – EPC application for conformance to applicable IDO development standards; the EPC is not reviewing any future program or any private rental agreements between a landlord and tenants.
4. The applicant proposes to develop an approximately 3.44 acre eastern portion of the subject site with thirty dwelling units and support service buildings.

OFFICIAL NOTICE OF DECISION

Project #2020-003461

June 11, 2020

Page 2 of 10

5. The request consists of the following major changes/additions to the existing, governing site development plan: Townhouses- 30,240 square feet (sf) for 30 dwellings; three new accessory buildings- 10,680 sf; a new parking area; and a gathering area and a play area.
6. The request exceeds the thresholds for a Minor Amendment, and therefore is being considered pursuant to IDO Section 14-16-6-4(Y)(1)(b)1, which states that Major Amendments shall be reviewed and decided by the decision-making body that issued the approval being amended. The EPC approved the controlling site development plan prior to effective date of the IDO. Pursuant to IDO Section 14-6-4(P)(2), the decision-making body may impose conditions necessary to bring the application into compliance with the requirements of this IDO.
7. The subject site is located in an Area of Consistency and along two Major Transit Corridors, Montano Rd. NW and Taylor Ranch Rd. NW, as designated by the Comprehensive Plan.
8. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(H)(3) as follows:

- A. 6-6(H)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Plan Goals and policies.

- B. 6-6(H)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Not applicable. The controlling site plan (2001) does not contain any conditions or special regulations, such as design standards.

- C. 6-6(H)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM).

- D. 6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.

- E. 6-6(H)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The future, proposed development will be required to comply with the decisions made by two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.

10. The request is consistent with the following Comprehensive Plan policy from Chapter 4: Community Identity:

Policy 4.1.2- Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would facilitate development of a portion of the subject site, along a Major Transit Corridor where development is generally intended. The proposed development of single-story dwellings is consistent with the scale and location of other residential development to the north and south. The request would contribute to the area's mix of uses by adding another type of housing to the existing single-family homes and apartments. The building design includes architectural elements of Territorial style, which contributes to the character of Taylor Ranch. Also, the site plan is subject to IDO requirements that also protect the identity and cohesiveness of adjacent and nearby neighborhoods: Neighborhood Edges (14-16-5-9), buffer landscaping (14-16-5-6-(E)), mixed-use zone dimensional standards (Table 5-1-2), and building design standards (14-16-4-11).

11. The request is consistent with the following Comprehensive Plan Goal and policy from Chapter 5: Land Use, regarding complete communities:

- A. Goal 5.2-Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The request would facilitate development of a multi-family residential use that would generally foster a sense of community. The subject site is located in an area characterized by a variety of land uses and along a Major Transit corridor, so opportunities for residents to live, work, learn, shop, and play are available.

- B. Policy 5.2.1-Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to creating a healthy, sustainable, and distinct community with a mix of uses because it would introduce another type of housing to an area that has single-family homes and multi-family apartment complexes.

The subject site's location along a Major Transit Corridor could help promote transit, walking, and bicycling, which are healthier and more sustainable transportation options than single-

occupancy vehicles. The mix of uses near the Coors Blvd./Montaño Rd. intersection, which includes residential, commercial and service uses, is a distinct part of this community: residents would benefit from relatively convenient access to it and could help contribute to the area by living nearby and shopping there.

12. The request is consistent with the following Comprehensive Plan Goal and policy pair from Chapter 5: Land Use, regarding development patterns:

- A. Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate development of a portion of a site already served by existing infrastructure and public facilities, thereby maximizing the utility of both and using land in an efficient manner. Using infrastructure and land in this way generally supports the public good because it is more efficient than adding infrastructure and/or developing land on the urban fringe.

- B. Policy 5.3.1- Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an urban area that is already developed and has existing infrastructure and public facilities. The request would result in additional growth in such an area.

13. The request is consistent with the following Comprehensive Plan Goal and policy pair from Chapter 5: Land Use, regarding development areas:

- A. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Consistency, where growth is intended to reinforce the character and intensity of the surrounding area. The proposed development would accomplish this by being single-story, relatively low density (multi-story apartments are nearby), and architecturally compatible with the area.

- B. Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would facilitate development of residential dwellings along a Major Transit Corridor. Development in Areas of Consistency is intended to be compatible with surrounding uses in terms of scale, location, and character of design (see also Policy 4.1.2) in order to protect and enhance the character of existing single-family neighborhoods. The request would also be subject to IDO regulations, such as neighborhood edges, which provide enhanced

buffering as a protection between the MX-L zoned subject site and the R-1B zoned homes to the north.

14. The request is consistent with the following Comprehensive Plan Goal and policies in Chapter 9: Housing:

- A. Goal 9.5-Vulnerable Populations: Expand capacity to provide quality housing and services to vulnerable populations.

The request could facilitate a development that would expand capacity to provide quality housing and services to vulnerable populations.

- B. Policy 9.1-1- Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

The request would facilitate development of lower-density multi-family dwellings, which would increase the variety of housing types and improve housing options in the area. The housing would be available for lower-income residents and a variety of residents and households.

- C. Policy 9.1.2- Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.

The request would provide high-quality and affordable housing. The IDO building design requirements apply to ensure quality. The dwellings would be affordable and contribute to the mixed-income neighborhood in the area, which is characterized by apartments and single-family homes.

15. As proposed, the request is partially is consistent with the following Goal and policies regarding pedestrian-oriented development:

- A. Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request would provide a system of pathways internal to the proposed development, which would provide walkability between the dwellings, amenities, and accessory buildings. However, connections to facilitate walkability from the subject site to the largely auto-oriented context outside of it could be improved.

- B. Policy 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel.

The proposed internal pathways would help ensure convenient and comfortable walking within the subject site. However, there is only one pedestrian entrance from Montañó Rd. to access the subject site and the internal pathways.

- C. Policy 5.1.10-Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.

The request would facilitate development of a residential use along a designated Major Transit corridor, which would enable future residents to live in close proximity to transit service, thereby fostering use of the corridor. However, the proposed development is not as pedestrian-oriented or friendly as it could be; additional pedestrian access and connections would be beneficial.

With the incorporation of relevant conditions of approval into the site design, the request will be consistent with Goal 7.2 Pedestrian-Accessible Design, Policy 7.2.1 Walkability, and Policy 5.1.10-Major Transit Corridors.

16. Conditions of approval are needed to ensure that applicable IDO regulations are met and to provide clarification.
17. The affected, registered neighborhood organizations are the Taylor Ranch Neighborhood Association (NA) and the Westside Coalition of Neighborhoods, which the applicant notified as required. The applicant also notified property owners within 100-feet of the subject site's boundaries as required.
18. Neighbors living on Periwinkle Court, north of the subject site, are opposed to the request. They are concerned that homeless people, crime, and violence in the area would increase and want the future project to locate downtown. Some neighbors expressed concern that they were not notified. Staff requested that the applicant re-notify property owners to ensure that nobody required to be notified was missed.
19. Other people have expressed support for the request because it would facilitate future development of a program that has proven successful in helping vulnerable populations (parents and children) avoid homelessness and become productive members of society.
20. A facilitated meeting was held on May 14, 2020 using the online meeting platform GoToMeeting. Topics generating the most concern from those opposed were the potential for decreased property values, increased crime, and lack of security. The applicant responded to questions about the proposed multi-family use and potential program associated with it.
21. Staff has received several letters of opposition and several letters of support. Generally, comments received address the potential program that may occur on the site and not the applicable IDO Development Standards and the Site Plan – EPC Review and Decision Criteria that are the basis for review of this application.

CONDITIONS OF APPROVAL:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.

A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
3. Parking:
 - A. The motorcycle parking calculations shall be deleted if MC parking is not being provided [Note: it is not required pursuant to IDO Section 14-16-5-5(D)].
 - B. Clarify if the bicycle parking provides 4 spaces or 2 spaces each.
4. Pedestrian Access: The applicant shall provide better pedestrian access from the dwelling units to sidewalks and transit stops along both Golf Course and Montano Roads in the form of walkways with trees and/or shading that meet the applicable IDO standards of Sections 14-16-5-3 and 14-16-5-6.
5. Open Space: The Open Space calculations shall be revised and totals corrected to incorporate the rate of 250 sf/2 bedroom unit pursuant to IDO Section 14-16-2-4(B)(2), the MX-L zone.
6. Landscaping Requirements:
 - A. Shade trees shall be provided along required pedestrian walkway [IDO Section 14-16-5-3(D)(3)(b)(2)(a)] along the project site's western boundary. An on-site pedestrian walkway that connects to the sidewalk is required pursuant to.
 - B. At least 10% of the parking lot area shall be landscaped [IDO Section 14-16-5-3(F)(2)(a)].
 - C. Parking lot trees shall be provided at the rate of 1 tree per 10 parking spaces. With 45 required spaces, 5 trees shall be provided. [IDO Section 5-6(F)(2)(c)(1)].
 - D. Clarify and ensure that 1 tree per dwelling unit (30 trees total for the DUs) is provided pursuant to the Use Specific Standards for multi-family development [IDO Section 4-3-(B)(7)].
7. Landscaping Details:
 - A. Curb notches shall be labeled and match locations on the grading and drainage plan(s).
 - B. A curb notch detail shall be provided.
 - C. The northern landscape buffer width shall be labeled consistent with the width shown on Sheet C-1.
 - D. Specify if the boundary along the project's western side is a wall or edging.
8. Walls:
 - A. The proposed, new retaining wall shall comply with the wall design requirements in IDO Section 14-16-5-7(E).

OFFICIAL NOTICE OF DECISION

Project #2020-003461

June 11, 2020

Page 8 of 10

B. A front-facing wall detail shall be provided.

C. The refuse enclosure detail shall specify materials, colors, and finish.

9. Lighting:

A. A light pole detail indicating height, color, and finish shall be provided [IDO Section 14-16- 5-8-(D)(7)].

B. Light pole locations shall be shown and a consistent symbol used.

10. Elevations:

A. Elevations for the accessory buildings (1, 2, and 3) shall be provided and provide necessary details such as dimensions, colors, and finishes.

B. The materials and finishes of the buildings, roofing, framing, and trim, shall be specified.

C. The word "typical" shall be added to the labels for Unit 6 and Unit 9.

11. Grading and Drainage Plan: Curb notches shall be shown in the same locations as on the landscaping plan.

12. Clarification:

A. The legal description shall include Tract 27A-1.

B. The subject site's zoning shall be listed.

C. Revise the sheet index.

D. The same number for building square footage shall be used on Sheet C-1 and on the landscaping plan.

13. CONDITIONS FROM THE CITY ENGINEER/TRANSPORTATION:

A. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

B. Platting action is required through DRB for proposed lot lines and access easement.

The following comments need to be addressed prior to DRB:

C. Fire Marshall approval of the site plan is required.

D. Provide details for bollards at Montaña Road and landscape pavers. Coordinate with Fire Marshall.

E. Top plan view appears to incorrectly show the access to Golf Course Road where this section of road to the west is shown as "Taylor Ranch Drive".

F. In general, a 6-foot connection in lieu of a 5-foot connection is required to tie into Montaña Road from main building entrance and from main building entrance to the handicapped spots. However, for an MX zone, follow IDO requirements for sizing of walkways based upon square footage of buildings.

G. Provide shared access agreement as stated on EPC site plan.

- H. Provide separate plan sheet showing overall connection to Taylor Ranch Road. Call out new paved surfaces.
- I. Provide motorcycle and bike rack requirements. Provide details for these as necessary.

14. CONDITION FROM THE ABCWUA:

As a condition of approval request an availability statement at the link: http://www.abcwua.org/Availability_Statements.aspx
Requests shall include a City Fire Marshal approved Fire 1 Plan, zone map showing the site location, and a Utility Plan (showing the domestic water, sanitary sewer, and proposed fire protection).

15. CONDITION FROM THE SOLID WASTE MANAGEMENT DIVISION:

Site will be required to build 2 new refuse enclosures or 1 new double enclosure at site. One will be for existing site and 1 for new proposed 30 unit Single Family Apartments. Both must meet COA Solid Waste minimum requirements.

16. CONDITIONS FROM PNM:

- A. An existing underground distribution line is located along the south side of the subject property along Montano Blvd NW and underground service entering the property along the driveway from Taylor Ranch Rd NW. It is the applicant's obligation to abide by any conditions or terms of those easements.
- B. As a condition, the developer shall contact PNM's New Service Delivery Department to coordinate electric service regarding the project. Please submit a service application at www.pnm.com/erequest for PNM to review.
- C. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **June 26, 2020**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of

the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

RBrito

Digitally signed by RBrito
DN: cn=RBrito, o=CABQ Planning
Dept, ou=UD&D,
email=rbrito@cabq.gov, c=US
Date: 2020.06.15 13:51:07 -0600

for Brennon Williams
Planning Director

BW/CL

cc: EPC file

Tierra West LLC, rrb@tierrawestllc.com

Westside Coalition of NAs, Harry Hendriksen, hlhen@comcast.com

Westside Coalition of NAs, Rene Horvath, aboard111@gmail.com

Taylor Ranch NA, Diana Shea, secretary@trna.org

Alan Varela, avarela@cabq.gov

Jim Stevens, 6913 Sandalwood Pl. Albuquerque NM, 87111

Josh Coleford, 4524 Chadwick Rd NW, Albuquerque, NM 87120

Michael M. Parish, 6101 Vista Sierra St NW, Albuquerque, NM 87120

Don and Margaret Lenk, 9900 Buckeye St NW, Albuquerque, NM 87114

Josh Kourie, 4701 Montano Rd NW, Albuquerque, NM 87120

Rob Lasater, 5000 Grey Hawk Ct NW, Albuquerque, NM 87120

Charles Felt, 2227 Cebolla Creek Way NW, Albuquerque, NM 87120

Crystal Cortez, 1119 Mary Ellen St NE, Albuquerque, NM, 87112

Janie Good Rowe, 1176 Laurel Pl NE, Albuquerque, NM 87122

Rene Horvath, 5515 Palomino Dr NW, Albuquerque, NM 87120

Sherry Wible, 11101 Anaheim Ave NE, Albuquerque, NM 87122

Patrick Aguilar, 4705 Periwinkle Ct NW, Albuquerque, NM 87120

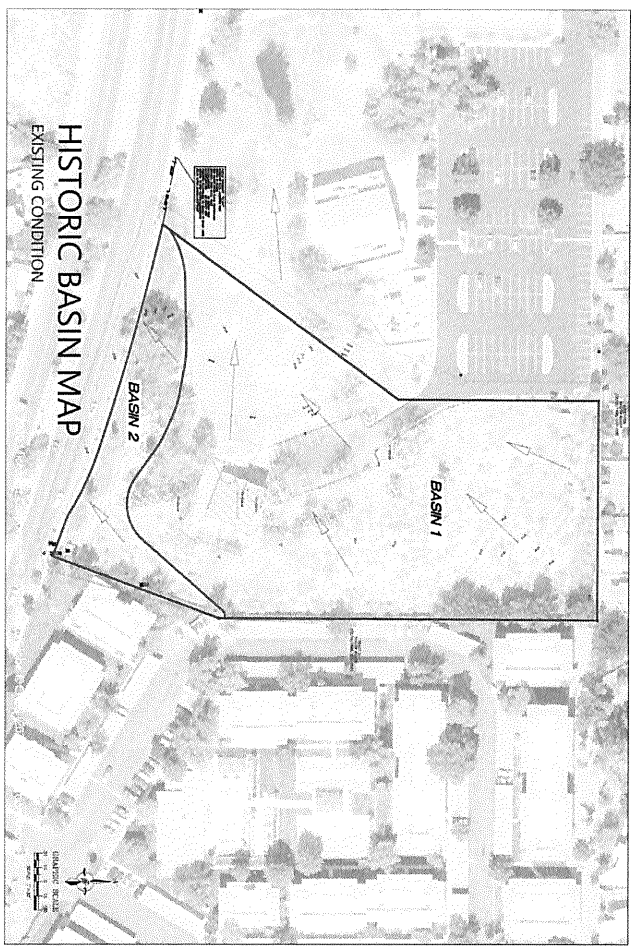
Amanda Valarrde, 5504 Arabian Dr NW, Albuquerque, NM 87120

Catherine Bullock, 3948 Oxbow Village Ln NW, Albuquerque, NM 87120

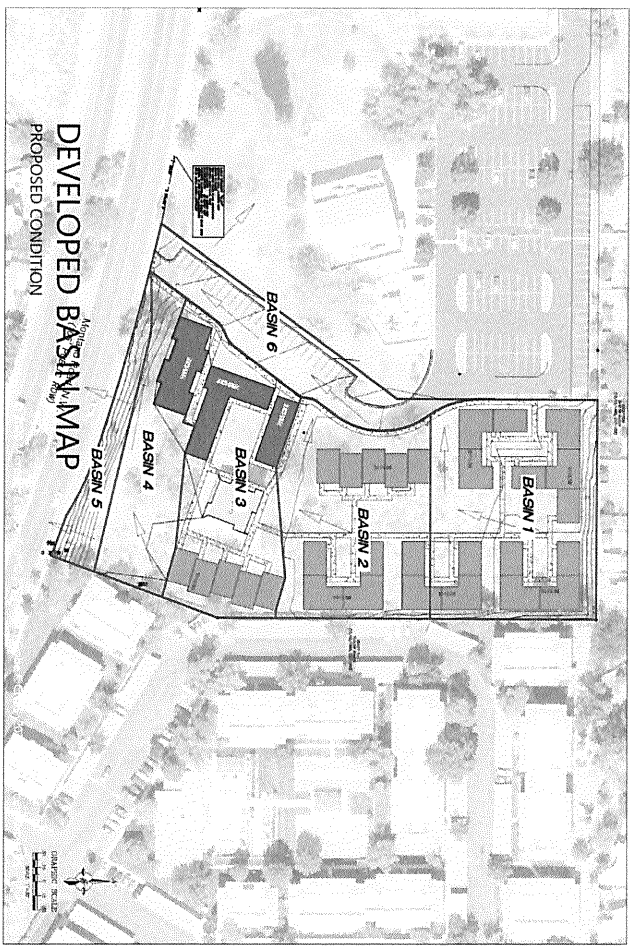
Linda Weil, Apache Plume Pl NE, Albuquerque, NM 87111

BJ Griego, 4715 Periwinkle Ct NW, Albuquerque, NM 87120

Marian Pendleton, 5608 Equestrian Dr NW, Albuquerque, NM 87120



HISTORIC BASIN MAP
EXISTING CONDITION



DEVELOPED BASIN MAP
PROPOSED CONDITION

INTRODUCTION & REFERENCE FILES
FILE # 2110073

THE SITE IS LOCATED ON THE NORTH EAST CORNER OF MONTANA RD NW AND TAYLOR RANCH RD NW. THE PROPERTY WILL BE SUBDIVIDED TO CREATE THE NEW TRACT TO SUPPORT THE 32 UNIT RESIDENTIAL COMMUNITY HOUSING DEVELOPMENT. THE EXISTING LAKES AND POND ARE TO BE MAINTAINED AND ENHANCED TO SUPPORT THE DEVELOPMENT. THE ENTIRE PARCEL CURBILITY DRAINS TO AN EXISTING LAKE IN THE SOUTH WEST CORNER. THE SITE IS TO BE DEVELOPED WITH THE FOLLOWING SUBMITTAL AN OVERALL MASTERPLAN DRAINAGE SHALL BE COMPLETED TO VERIFY THE LAKE HAS ADEQUATE CAPACITY TO RECEIVE THE DEVELOPED FLOWS. THE LAKE IS ALSO PROPOSED TO BE USED TO MEET THE FIRST FLUSH RETENTION VOLUME FOR THE NEW DEVELOPMENT.

FLOOD PLAN
THE PROJECT AREA IS INCLUDED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL 35001C0114H DATED AUGUST 16, 2012 AND IS SHOWN ON THIS PAGE. THE MAP INDICATES THE SITE LIES WITHIN FLOOD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.

HISTORIC DRAINAGE

THERE IS NO OFFSITE FLOWS INTO THE PARCEL. THE HISTORIC DRAINAGE RUNOFF IS RETAINED ONSITE WITH THE PARCEL DRAINING TO THE EXISTING LAKE AT THE SOUTHWEST CORNER. IT APPEARS FROM A CURSORY REVIEW OF THE AVAILABLE DOCUMENTS THE LAKE WAS SIZED TO ACCOMMODATE THE ENTIRE PARCEL IN A DEVELOPED STATE. AS DETAILED ON THE SITE DEVELOPMENT PLAN, THE LAKE IS AT LEAST 6 FEET DEEP AND THERE IS AN EXISTING MARSH/WETLAND AREA THAT WAS PLANTED AND IS IN GOOD HEALTH FOR ALBUQUERQUE. A SMALL PORTION OF THE EMBANKMENT ALONG THE FRONTAGE DRAINS DIRECTLY INTO MONTANA RD. THIS SLOPED LANDSCAPED AREA WILL REMAIN IN THE DEVELOPED CONDITION AND FREELY DISCHARGE.

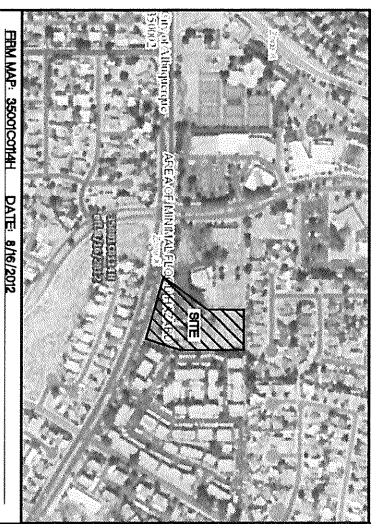
PROPOSED DRAINAGE

THE WEIGHTED E METHOD FROM THE "CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME 1 - DESIGN CRITERIA, 2006 REVISION" WAS USED TO CALCULATE THE RUNOFF AND VOLUME FOR THE SITE. THE HYDROLOGY TABLES ARE SHOWN ON THIS PAGE. THE SITE WAS DIVIDED INTO 6 BASINS WITH THE APPROPRIATE LAND TREATMENT DETERMINED AS SHOWN IN THE DRAINAGE TABLE. IN THE MAJORITY OF THE SITE WILL SHEET FLOW AND BE DIRECTED BY CURB AND GUTTER TO A 3X3 GRATE INLET IN THE PARKING LOT IN THE SOUTH WEST CORNER OF THE SITE WHICH HAS THE NET CAPACITY FOR THE EXPECTED FLOW. ROOF DRAINS FROM THE RESIDENTIAL BUILDINGS SHALL BE DIRECTED INTO THE PARKING LOT AREA AND SHEET FLOW ACROSS THE PROPERTY. THE RUNOFF SHALL THEN BE DISCHARGED DIRECTLY TO THE LAKE VIA AN 18 INCH HOPE PIPE THAT HAS THE CAPACITY TO CONVEY THE DESIGN FLOWS. THE LANDSCAPED EMBANKMENT ALONG MONTANA WILL FREELY DISCHARGE INTO THE STREET AND DOES NOT REQUIRE ANY TREATMENT. DEVELOPMENT SITES ARE REQUIRED TO CAPTURE AND INFILTRATE THE STORMWATER QUALITY VOLUME FROM THE 90TH PERCENTILE STORM. THE METHODOLOGY USED IN THE EPA REPORT ESTIMATING PREDESIGN ONSITE HYDROLOGY IN THE MIDDLE RIO GRANDE WATERSHED - APRIL 2014 YIELDS A RUNOFF VALUE OF 0.42 INCHES FOR THE 90TH PERCENTILE STORM. THEREFORE THE REQUIRED STORMWATER QUALITY VOLUME TO BE CAPTURED AND INFILTRATED IS THE PRODUCT OF THE IMPERVIOUS AREA MULTIPLIED BY 0.42 INCHES FOR NEW DEVELOPMENT SITES.

THE PEAK DISCHARGE FOR THE ENTIRE SITE IS 9.3 CFS WHICH IS MORE THAN THE HISTORIC FLOWS DUE TO THE IMPERVIOUS AREAS BEING DEVELOPED BUT THE LAKE WILL HAVE THE CAPACITY TO RETAIN THE ADDITIONAL VOLUME GENERATED FROM THIS DEVELOPMENT AND WILL THEREFORE MEET THE FIRST FLUSH REQUIREMENTS. THE 10 DAY VOLUME WAS CALCULATED AND THE CAPACITY OF THE LAKE WILL BE VERIFIED TO CONFIRM THERE IS EXCESS CAPACITY AT THE TIME OF THE FINAL REPORT.

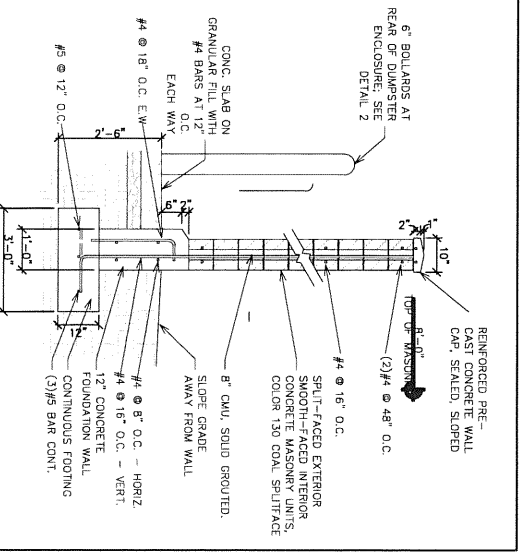
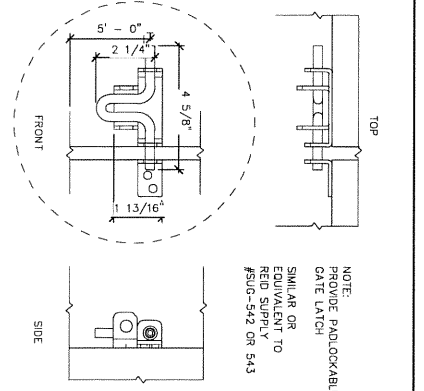
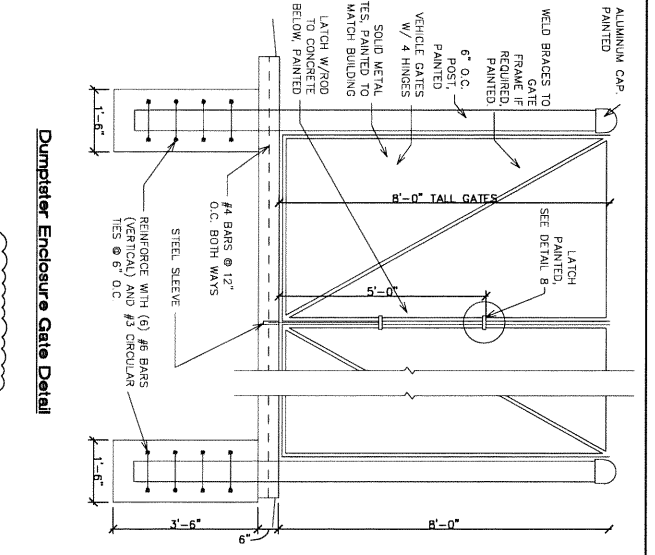
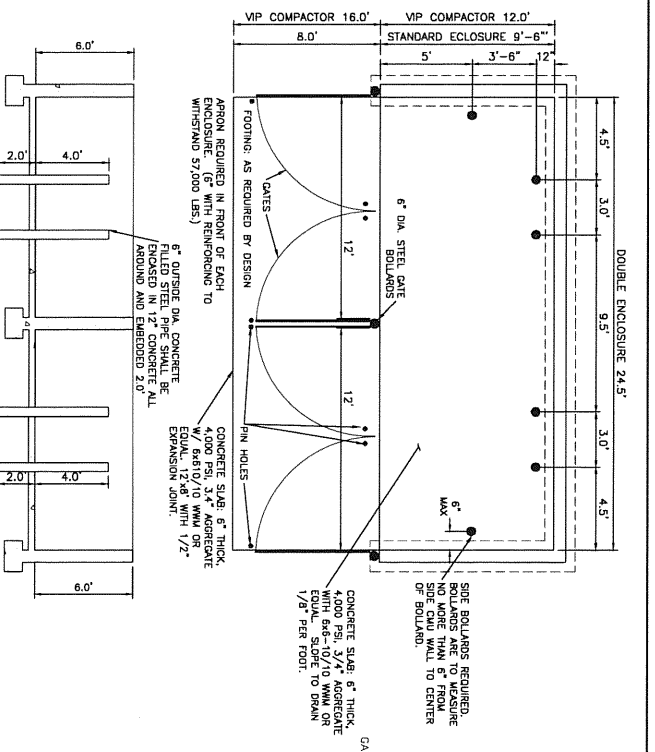


NEIGHBORHOOD MAP



FIRM MAP 35001C0114H DATE 8/16/2012

	<p>ENGINEER'S SEAL RONALD R. SARBANUM NEW MEXICO PROFESSIONAL ENGINEER NO. 7989 2/26/2020</p>	<p>SARBANUM AT 4701 MONTANA RD NW CONCEPTUAL GRADING & DRAINAGE PLAN</p>	<p>DRAWN BY BP</p>
	<p>THE TERRA WEST LLC 537 ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com</p>		<p>DATE 2/26/2020</p>
<p>SHEET # C2-A</p>		<p>2019080.DWG</p>	
<p>JOB # 2019080</p>			



NOTE
 1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRUCK ENCLOSURES. DESIGNERS MAY VARY TO FIT THE SELECTED TRUCK.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRUCK ENCLOSURE SUCH AS PRE-PAID FOR STAYS AND BRACES. ALL TRUCK ENCLOSURES SHALL BE CONIGNED FOR SOLID WASTE SIGN OFF FOR FINAL CD.

CONCRETE PROPERTIES

Property	Value
Normal Area (LxWxH)	24' x 24' x 1'-5"
Gross Area of each wall	4,841
Concrete Strength	5000 PSI
Reinforcing Steel Yield	43,500 PSI
Reinforcing Steel Modulus of Elasticity	29,000,000 PSI
Concrete Surface Area	6156 (100% for S&B)
Concrete Surface Area	30%
Units per pallet	60
Area covered per pallet	240 sq. ft.

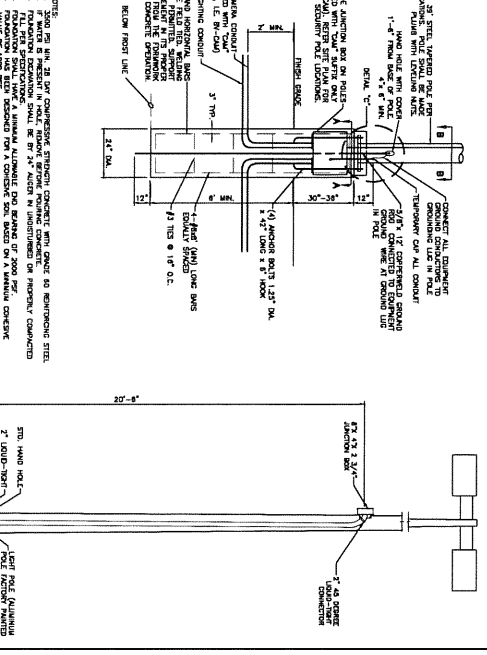
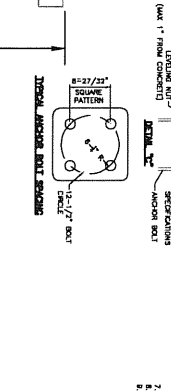
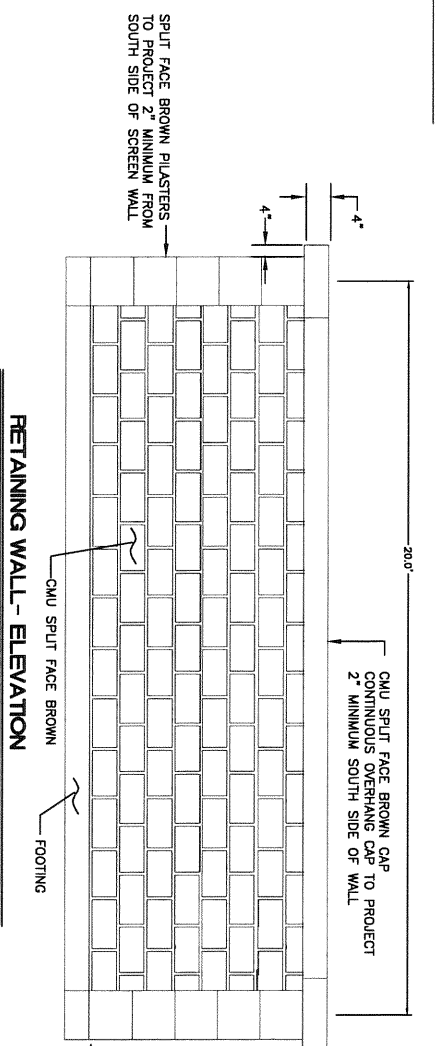
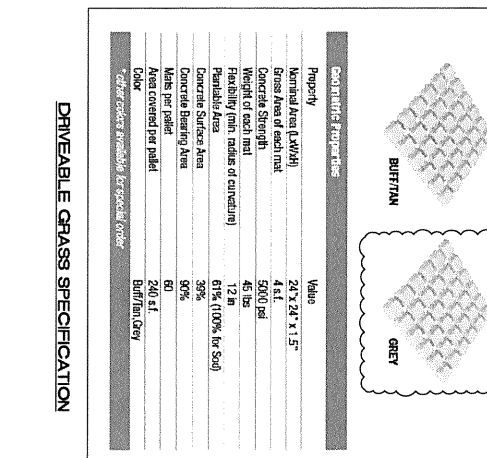
**Other codes available for special order*
 Bufffin, Grey

MANUFACTURER RECOMMENDED USES

Manufacturer	Product Name	Product Description
Welded Wire Fabric	Welded Wire Fabric	Welded wire fabric for concrete reinforcement.
Welded Wire Fabric	Welded Wire Fabric	Welded wire fabric for concrete reinforcement.
Welded Wire Fabric	Welded Wire Fabric	Welded wire fabric for concrete reinforcement.

MANUFACTURER RECOMMENDED USES

Manufacturer	Product Name	Product Description
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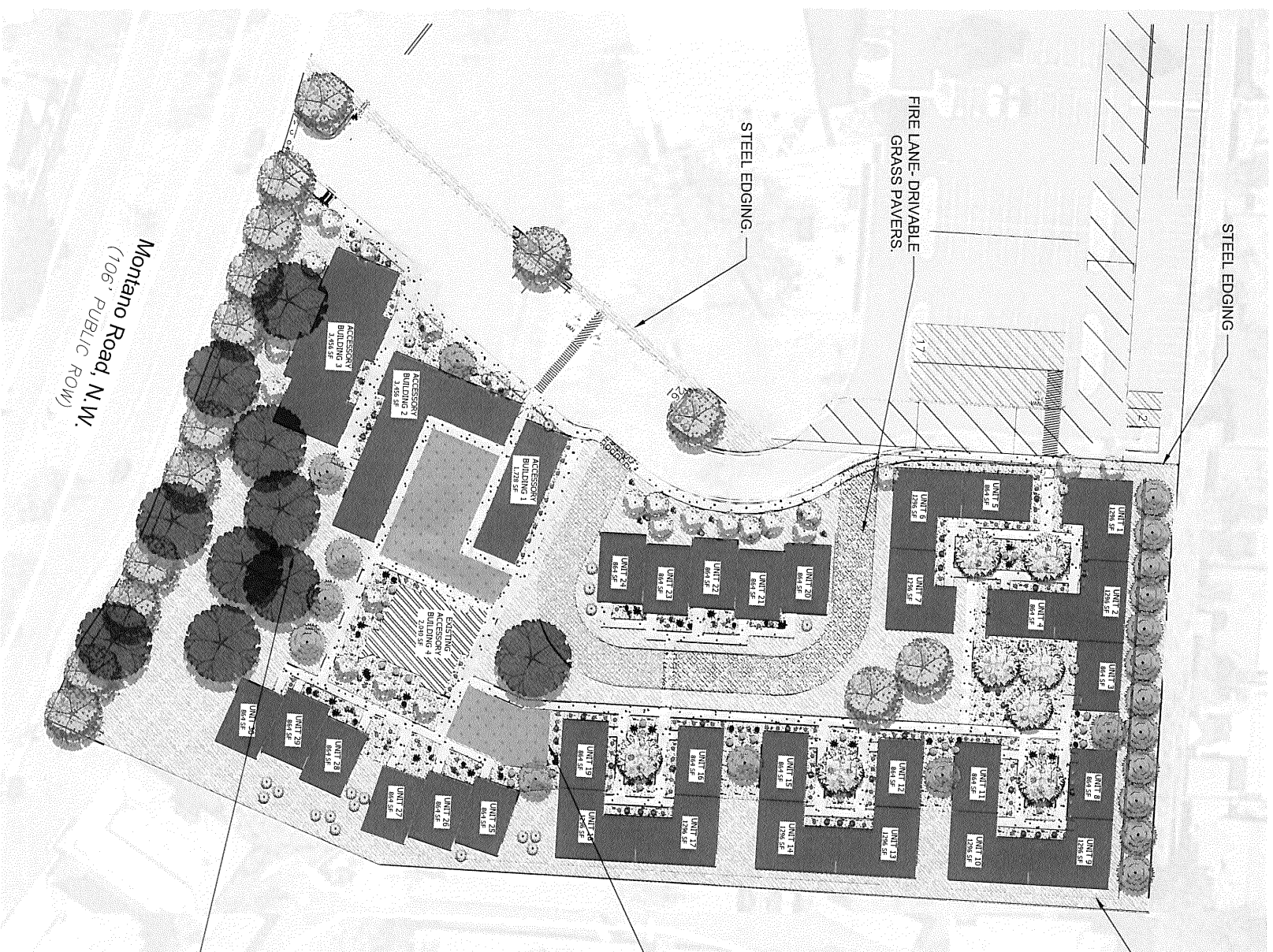
ISSUED FOR DRB ONLY

DESIGNERS	SARANAM AT 4701 MONTANO RD NW	DESIGN BY	
DATE	7/28/2020	DATE	
CONSTRUCTION DETAILS		2019980.DWG	
SHEET #	C5		

TERESA WEST, LLC
 551 ALBUQUERQUE BLVD STE 100
 ALBUQUERQUE, NM 87109
 WWW.TEREWEST.COM

RONALD R. BOHANNAN
 PROFESSIONAL ENGINEER
 1/28/2020
 R.E. 17868

JOB # 2019080



EXISTING SITE SETBACK PER EDGE BUFFERING 5-6(E)(1)(b) IN THE IDO. THE REQUIRED BUFFERING IS NOT REQUIRED.

OPTIONAL 6" MOW CURB BETWEEN SOD AREA AND GRAVEL AREAS.

EXISTING TREES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION, CONDITIONAL OF HEALTH AND EXISTING LOCATION TO NEW STRUCTURES.

SITE DATA

GROSS LOT AREA (4.03 ACRES) 144,821 SF
 LESS BUILDING(S) 38,324 SF
 NET LOT AREA 111,542 SF

REQUIRED LANDSCAPE 16,721 SF
 15% OF NET LOT AREA
 PROPOSED OFFSET LANDSCAPE 0,122 SF
 TOTAL PROPOSED LANDSCAPE 81,128 SF
 PERCENT OF NET LOT AREA 72.8%

REQUIRED STREET TREES

PROVIDED EXISTING AT 25' O.C. SPACING ALONG STREET 14
 PROVIDED AT 1 PER 10 SPACES (45 SPACES=10) 5
 PROVIDED AT 1 PER 10 SPACES (45 SPACES=10) 5
 TOTAL PROVIDED TREES 24
 TOTAL REQUIRED TREES 49
 *Does not include trees to remain**

REQUIRED LANDSCAPE COVERAGE

75% LIVE VEGETATIVE MATERIAL 12,848 SF MIN
 (16.73% PROPOSED LANDSCAPE X 76%)
 100% PERCENT GROUND COVER 8,153 SF
 PERCENT GROUND COVER COVERAGE 65%
 PERCENT GROUND COVER COVERAGE 58,858 SF
 PERCENT GROUND COVER COVERAGE 351%
 TOTAL PERCENT GROUND COVER COVERAGE 4.18%
 OF REQUIRED LANDSCAPE AREAS

IRRIGATION NOTE

EMPIRICAL SYSTEM RUN COEFFICIENT: 0.9
 1 HOUR/2-3 DAYS A WEEK
 1 HOUR/2-3 DAYS A WEEK
 1 HOUR/2-3 DAYS A WEEK
 1 HOUR/2-3 DAYS A WEEK
 1 HOUR/2-3 DAYS A WEEK

LEGAL DESCRIPTION: TAYLOR RANCH, 100 ZONE LKX L

GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. ALL AREAS SHALL BE DEEPER TO PROVIDE PROTECTED DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL HAS WASHED FROM THE GUTTER PAN AND ARE NOT ACCEPTABLE IN CLEAR.
4. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 44-5-5.6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY, OF ALL REQUIRED GROUND AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND SURF AREAS.

PLANTING NOTES:

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, 100, AND WATER WASTE ORDINANCE.
2. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COMMISSION GUIDELINES FOR PLANTING AND IRRIGATION.
3. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
4. WHERE MULCH IS ADJACENT TO THE CONCRETE FINISH GRADE OF MULCH SHALL BE 1/2" ABOVE FINISH GRADE.
5. BROWN STEEL EDGING IS TO BE PLACED BETWEEN ALL AREAS OF GRAVEL AND NATIVE SEEDING. BETWEEN AREAS OF GRAVEL AND SOD. OPTIONAL 6" MOW CURB OR GREEN STEEL EDGING IS TO BE PLACED.

IRRIGATION NOTES:

1. ALL IRRIGATION SYSTEMS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND 1/2" SCHEDULE 40 PIPE.
4. USE SIX 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUND COVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE BRANCH ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUND COVERS.
5. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED WITH A MINIMUM 1% SLOPE ANGLE. ALL THRESH BLOCKS BETWEEN THE MANHOLE BENDS IN UNITS TO BE INSTALLED WITH A MINIMUM 1% SLOPE ANGLE.
6. INSTALL STEEVES TWO SIZES LARGER THAN THE STEEV PIPE UNDER ALL HARD SURFACES.
7. IRRIGATION SYSTEM AND LOCATION IS ASSUMED ONLY BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HUBBOX.
8. ALL STEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.

YELLOWSTONE LANDSCAPE

www.yellowstonelandscape.com
 P.O. Box 10597
 Albuquerque, NM 87184
 505.898.9615
 design@yellowstonelandscape.com

DATE: 2/25/2020

REVISIONS:

- 2.28.20
- 2.27.20
- 07.23.20

Drawn by: VBlount
 Reviewed by: JIB

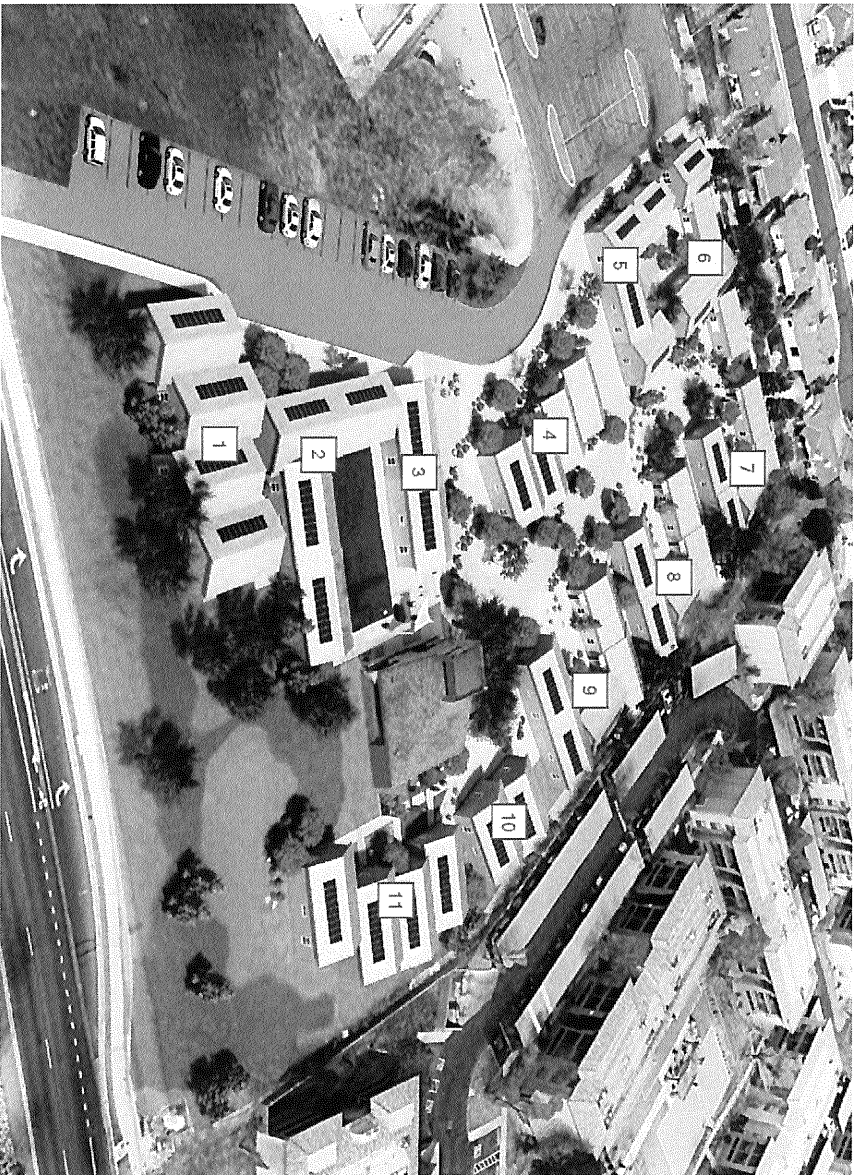
Saranam Site Landscape

Montano Rd & Taylor Ranch Rd NW
 Albuquerque, New Mexico

Scale: 1" = 30'

Sheet Title: Landscape Plan

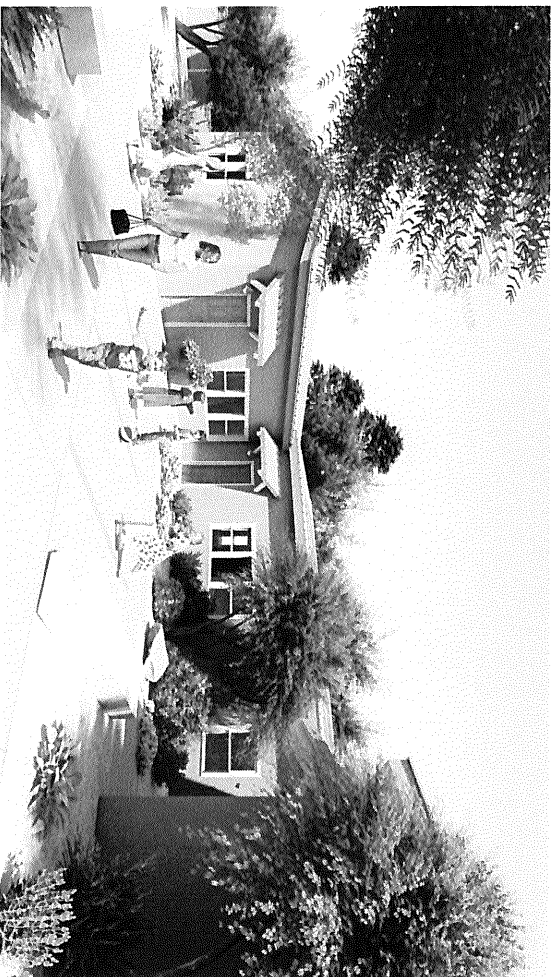
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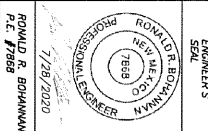
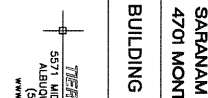

UNIT BUILDING INDEX



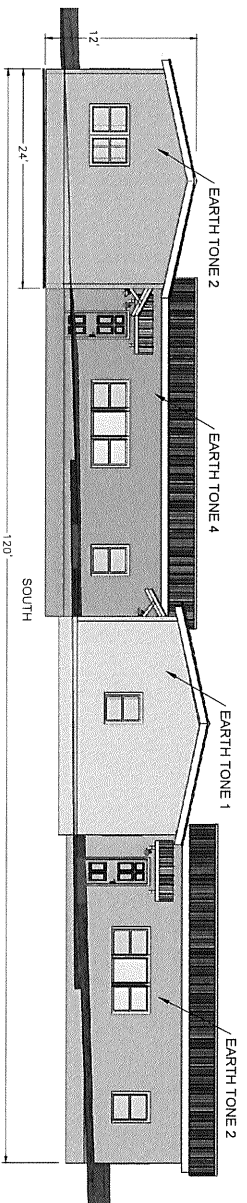
PERSPECTIVE - LOOKING EAST AT UNIT 8



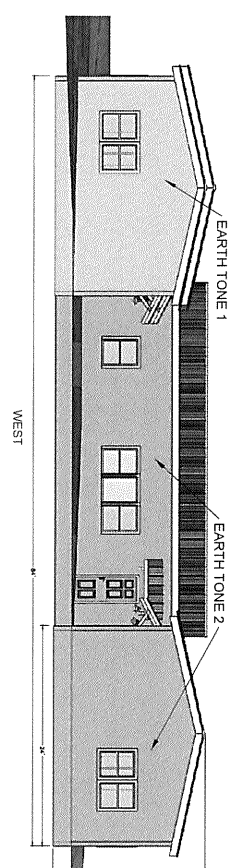
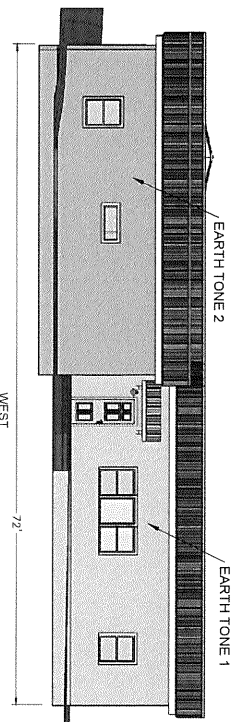
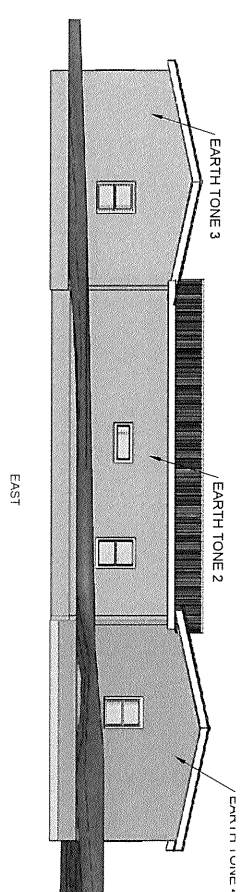
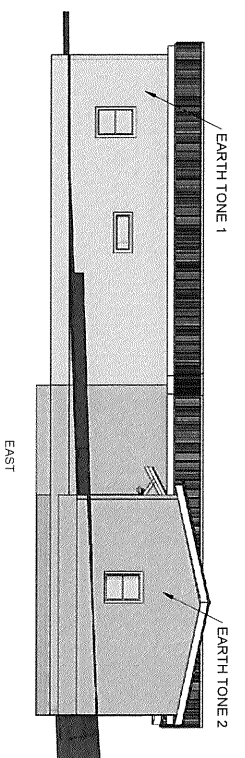
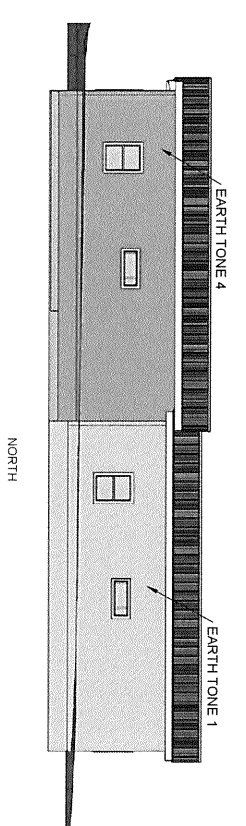
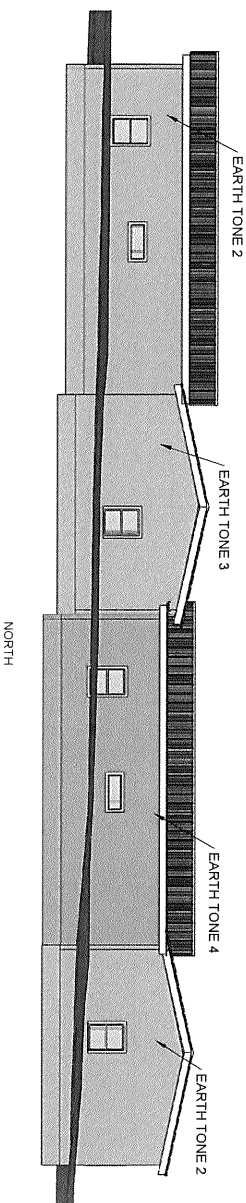
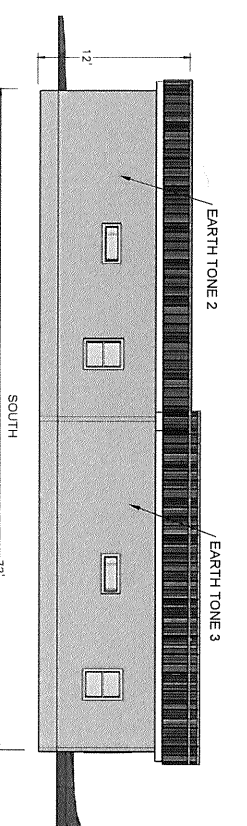
PERSPECTIVE - LOOKING EAST AT UNIT 7

ISSUED FOR DRB ONLY		DRAWN BY BR
ENGINEER'S SEAL	SARANAM AT 4701 MONTANO RD NW	DATE 7/28/2020
	BUILDING ELEVATIONS	20190901.ELE
		SHEET # B1
PAUL S. BOKKAWI P.E. 7/28/2020	TERRA WEST, LLC 501 ALBUQUERQUE, NM 87103 (505) 858-3100 www.terrawestllc.com	JOB # 2019090

UNIT NO. 6 - TYPICAL



UNIT NO. 9 - TYPICAL



BUILDING NOTES

ALL BUILDINGS TO BE STUCCO FINISH
 ALL BUILDING ROOFS ARE TO BE METAL CORRUGATED COLOR BERGE
 BUILDING FRAME TO BE STEEL OR WOOD
 WINDOW TRIM TO BE PAINTED WHITE AND WOOD OR SIMILAR MATERIAL

BUILDING COLORS

EARTH TONE NO. 1 - SW 7731 SAN ANTONIO SAGE
 EARTH TONE NO. 2 - SW 6201 THUNDEROUS
 EARTH TONE NO. 3 - SW 9124 VERDE MARRON
 EARTH TONE NO. 4 - SW 9100 UMBER RUST

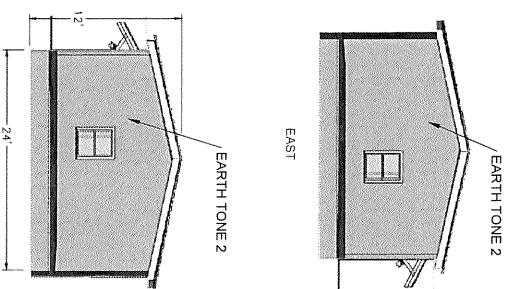
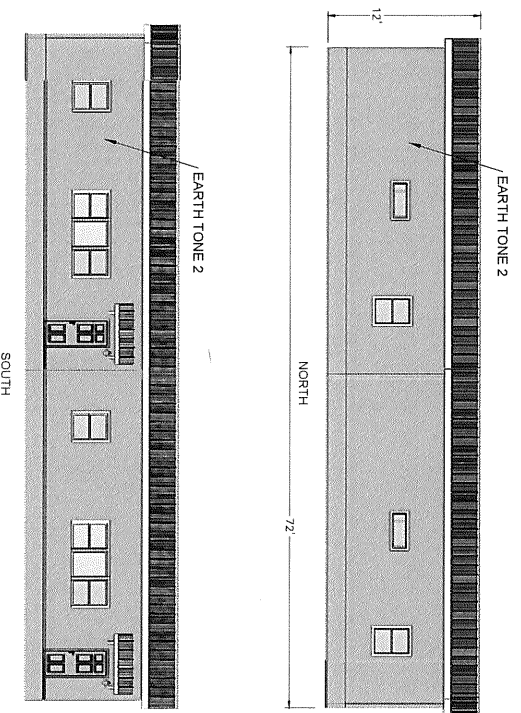
GRAPHIC SCALE



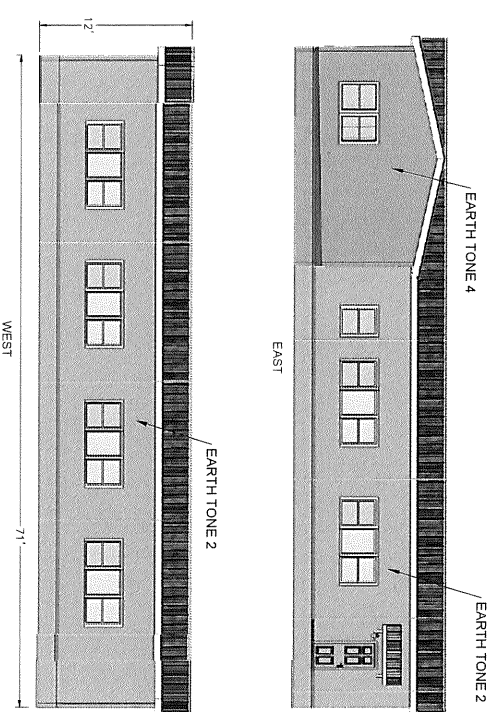
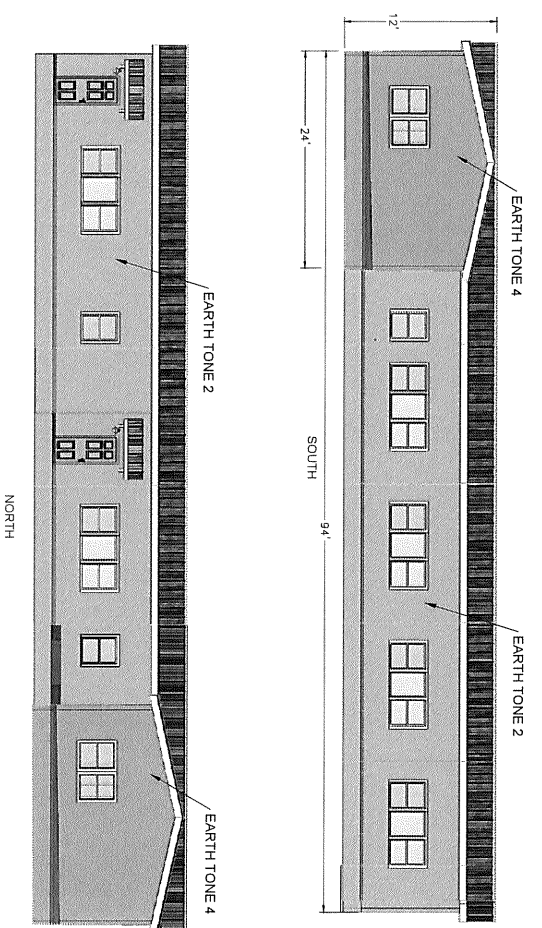
ISSUED FOR DRB ONLY

	ENGINEER'S SEAL RONALD R. BOKANAWI PROFESSIONAL ENGINEER STATE OF NEW MEXICO LICENSE NO. 7858 7/28/2020 P.E. 7785	SARANAM AT 4701 MONTANO RD NW ALBUQUERQUE, NM 87105 THERIA WEST, LLC 55 ALBUQUERQUE BLVD NE ALBUQUERQUE, NM 87108 (505) 858-3100 www.theriawestllc.com	DRAWN BY BR
	BUILDING ELEVATIONS		DATE 7/28/2020
		SHEET # B2	JOB # 2019080

ACCESSORY BUILDING 1

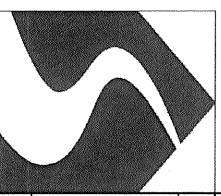
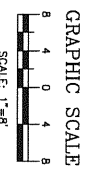


ACCESSORY BUILDING 2



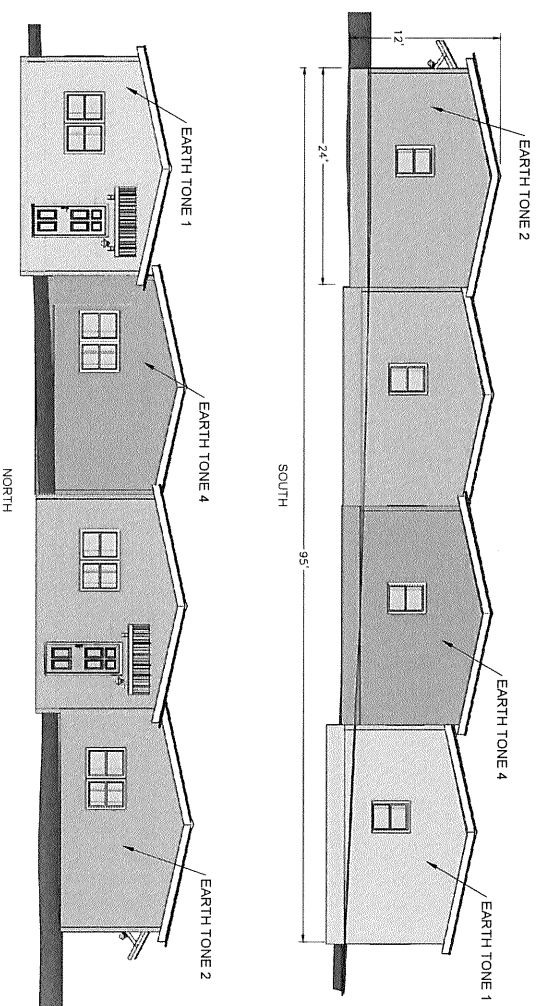
BUILDING NOTES
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 BUILDING FRAME TO BE STEEL OR WOOD
 WINDOW TRIM TO BE PAINTED WHITE AND WOOD OR SIMILAR MATERIAL

BUILDING COLORS
 EARTH TONE NO. 1 - SW 7731 SAN ANTONIO SAGE
 EARTH TONE NO. 2 - SW 5201 THUNDEROUS
 EARTH TONE NO. 3 - SW 9124 VERDE MARRON
 EARTH TONE NO. 4 - SW 9100 UMBER RUST



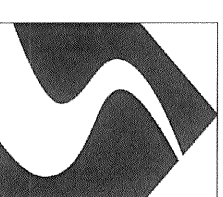
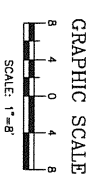
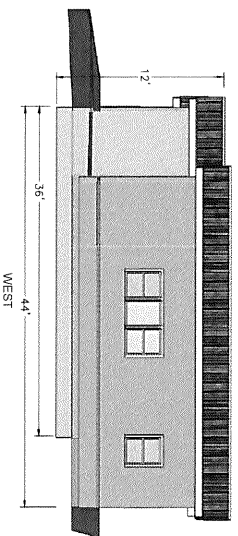
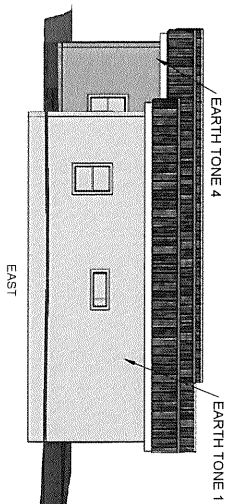
<p>ISSUED FOR DRB ONLY</p>		<p>ENGINEER'S SEAL 7/28/2020 RONALD R. BOHANNAN PROFESSIONAL ENGINEER NEW YORK STATE LICENSE NO. 1083</p>
<p>SARANAM AT 4701 MONTANO RD NW</p>	<p>TERRA WEST, LLC 5571 WILLOW PARK PLACE NE ALBUQUERQUE, NM 87109 WWW.TERRAWESTLLC.COM</p>	<p>DRBANK BR DATE 7/28/2020 BUILDING ELEVATIONS 20190800.ELE</p>
<p>SHEET # B3</p>	<p>JOB # 2019080</p>	

ACCESSORY BUILDING 3



BUILDING NOTES
 ALL BUILDINGS TO BE STUCCO FINISH
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 BUILDING FRAME TO BE STEEL OR WOOD
 WINDOW TRIM TO BE PAINTED WHITE AND WOOD OR SIMILAR MATERIAL

BUILDING COLORS
 EARTH TONE NO. 1 - SW 7731 SAN ANTONIO SAGE
 EARTH TONE NO. 2 - SW6201 THUNDEROUS
 EARTH TONE NO. 3 - SW 9124 VERDE MARRON
 EARTH TONE NO. 4 - SW 9100 UMBER RUST

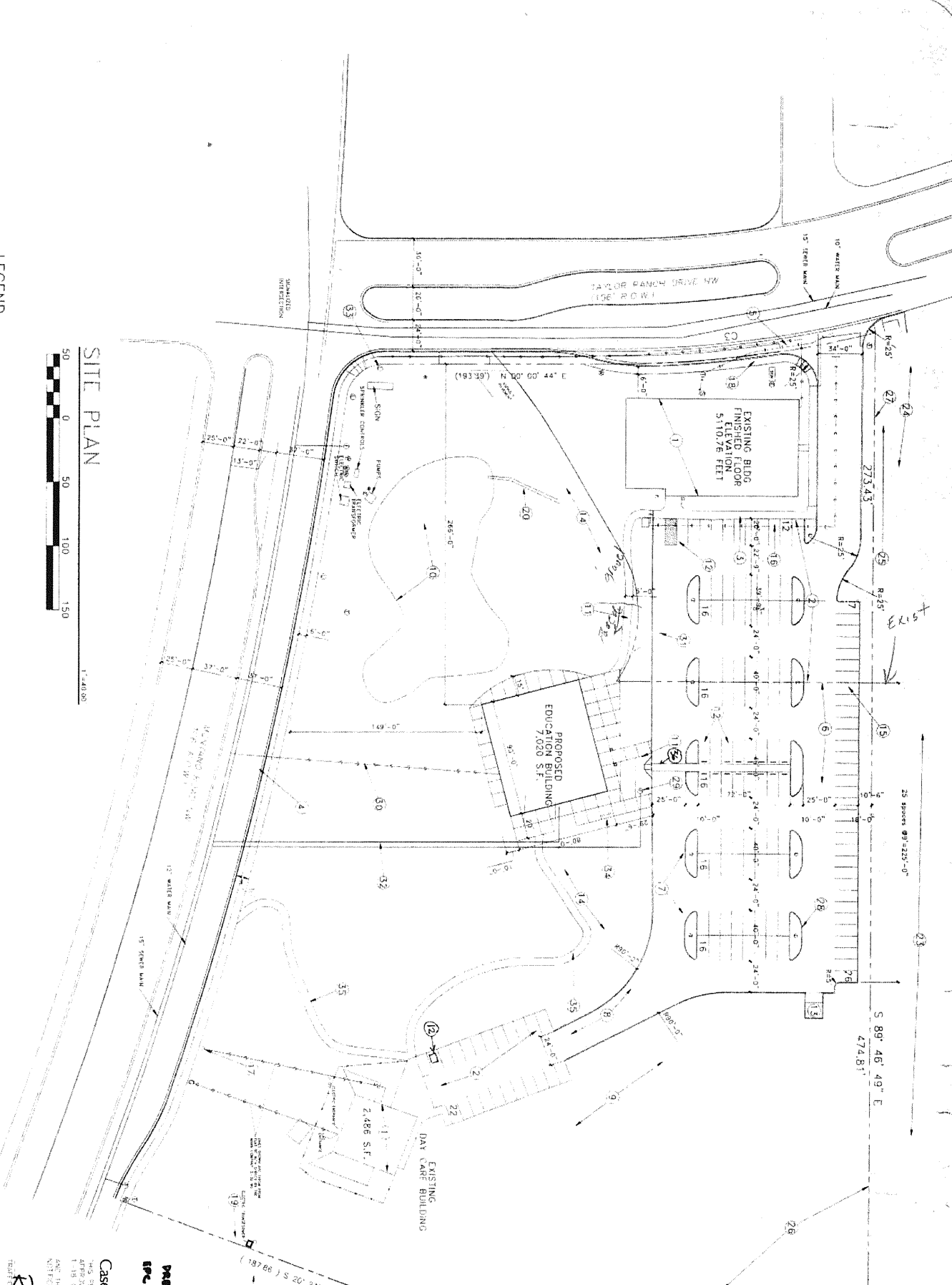


ISSUED FOR DRB ONLY		DATE	2019080_ELE
ENGINEER'S SEAL	7/26/2020	DATE	7/26/2020
		SHEET #	B4
SARANAM AT 4701 MONTANO RD NW BUILDING ELEVATIONS		JOB #	2019080
THERRA WEST LLC 5511 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 WWW.TERRAWESTLLC.COM			
RONALD R. BOWMAN PROFESSIONAL ENGINEER NO. 1789 STATE OF NEW MEXICO			
FOUND & BORN IN NM P.L. 1789			

- LEGEND**
- 1 LAMP POST
 - 2 WATER METER
 - 3 ELECTRIC BOX
 - 4 FIRE HYDRANT
 - 5 SEWER OUTLET
 - 6 TELEPHONE RISER
 - 7 FENCE LINE AND GAS LINE
 - 8 UNDERGROUND ELECTRIC LINE
 - 9 UNDERGROUND TELEPHONE LINE
 - 10 UNDERGROUND SEWER LINE



FOR REFERENCE ONLY



Case Number: 1000899

Site Plan

Project: Education Building for Mesa View UNIC
Address: 4701 Montana NW, Albuquerque, New Mexico

Client: Mesa View UNIC

Architect: George Montgomery, Architect, P.C.
 4708 Montano NE, Albuquerque, New Mexico 87110
 Phone: (505) 262-5096, Fax: (505) 262-1900

Site Plan Date: March 21, 2001

Sheet: AS-1

Case Number: 1000899

Site Plan

Project: Education Building for Mesa View UNIC
Address: 4701 Montana NW, Albuquerque, New Mexico

Client: Mesa View UNIC

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 4708 Montano NE, Albuquerque, New Mexico 87110
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Site Plan Date: March 21, 2001

Sheet: AS-1

Keyed Notes

1. Existing building to remain.
2. Existing parking lot to remain.
3. New 8' x 20' concrete pad to remain.
4. New 8' x 20' concrete pad to remain.
5. New turn lane for entrance onto property.
6. New 2' asphalt concrete parking lot.
7. New landscaping island.
8. New asphalt concrete drive.
9. Dirt surface for truck turning circle.
10. Existing pond to remain.
11. New concrete sidewalk.
12. New concrete parking space.
13. Retain for enclosure per City of Albuquerque.
14. Existing asphalt driveway to be removed.
15. 7' loading driveway to be removed.
16. 7' Utility easement.
17. 10' telephone easement.
18. Permanent easement @ turn lane.
19. 7' telephone easement.
20. Existing concrete drainage swale.
21. Existing 8' x 17' asphalt driveway.
22. Existing 5' x 17' asphalt driveway.
23. Existing 1 story single family home.
24. Existing fire station #118 parking lot.
25. Existing concrete storm drainage alley.
26. Existing CHU wall, 1'-4" to 5' tall.
27. Existing parking lot light, 16' tall, with ball out of fixture (breakback feature).
28. Proposed parking lot light, 16' tall, with ball out of fixture.
29. New fire hydrant.
30. Proposed new sewer line.
31. Proposed new water line to connect with gas and underground electric line.
32. New water service line.
33. Traffic signal @ intersection.
34. Bicycle rack for 6 bicycles.
35. New 6' wide gravel path.

PARALLEL REQUIREMENTS

1. Existing Office Building Area: 8,300 SF
- Office Space: 4
- Less 10% for bus stop: 4
- Total Spaces required: 38 spaces

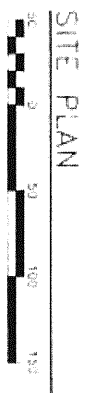
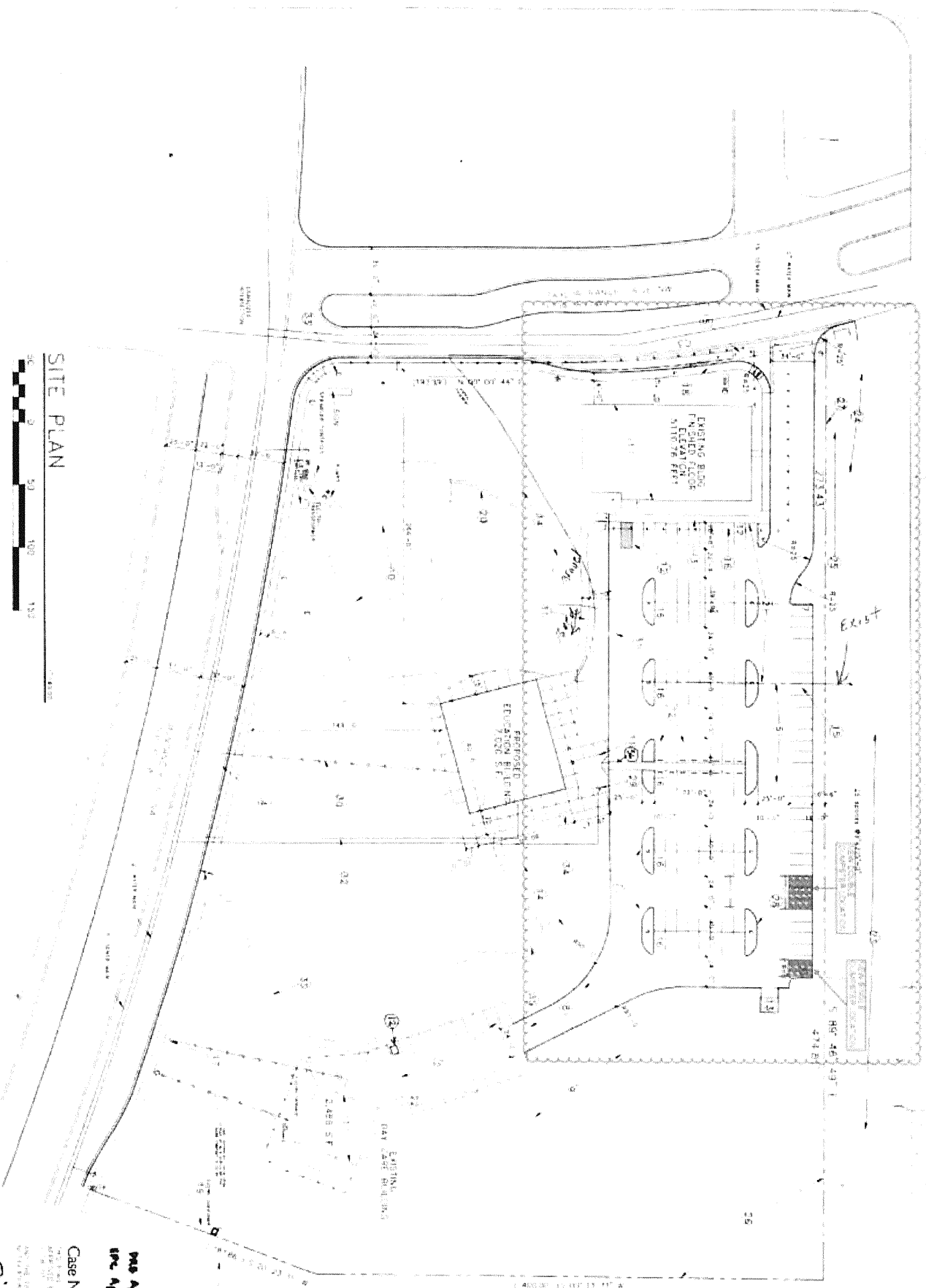
2. New Education Center Area: 7,020 SF
- Spaces required: 7,020/200 = 36 spaces
- Less 10% for bus stop: 3
- Total spaces required: 33 spaces

3. Existing Day Care Center Area: 2,486 SF
- Spaces required: 2 plus 1/500 net leasable = 7 spaces
- Grand Total of Required Spaces: 78, 4 to be accessible
- Spaces provided: 135, 4 of which are accessible
- Bicycle racks required: 78/20 = 4, 6 provided.

LEGAL DESCRIPTION

Tracts 27 A1 and 27 A2, Taylor Ranch

FOR SOLID WASTE TO SEE THE ENTRANCE



- LEGEND**
- 1. MAIL POST
 - 2. WATER MAIN
 - 3. ELECTRIC 800
 - 4. FIRE ALARM
 - 5. SEWER COLLECT
 - 6. TELEPHONE WIRE
 - 7. TRUCK LANE
 - 8. UNDERGROUND GAS LINE
 - 9. UNDERGROUND ELECTRIC LINE
 - 10. UNDERGROUND TELEPHONE LINE
 - 11. UNDERGROUND SEWER LINE

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED HG

07.29.20
 Approved for Access

Case Number: 1000899
 900 Application & 01450 - 00000 - 00394
 100 Application & 00128 - 00000 - 01512

Richard D. ... 4-29-01
William E. ... 4-29-01
Roger A. ... 4-29-01
Buddy S. ... 11/01/01
J. ... 11/9/01

George Montgomery, Architect, P.C.
 4701 Montano NW
 Albuquerque, New Mexico

Education Building
 for Mesa View UMC
 4701 Montano NW
 Albuquerque, New Mexico

LEGAL DESCRIPTION

Tract 27 A, s/w 27 & 28, T42N, R10E, S10E

Area: 8,300 SF
 Other Space: 439,000 SF - 44 spaces
 Less 10% for bus stop: 4
 Total Spaces required: 38 spaces

Area: 7,000 SF
 Spaces required: 7,000,000 - 36 spaces
 Less 10% for bus stop: 3
 Total Spaces required: 33 spaces

Area: 2,466 SF
 Spaces required: 2,466 (500 sq ft) - 7 spaces
 Grand Total of Required Spaces: 78, 430 to be available
 135, 4 of which are available
 Remainder requires 78,000 - 4 6 provided

- EXISTING BUILDING TO REMAIN**
1. Existing building to remain
 2. Existing parking lot to remain
 3. Existing sidewalk to remain
 4. New 6" of sidewalk surrounding property
 5. New 6" curb for entrance onto property
 6. New 2" asphalt concrete parking lot
 7. New landscaping
 8. New asphalt concrete drive
 9. New concrete curb along drive
 10. Existing road to remain
 11. New concrete sidewalk
 12. New accessible parking space
 13. Reduce bus enclosure per City of Albuquerque standards
 14. Existing signal driveway to be removed
 15. New 2" asphalt concrete driveway to be removed
 16. New 2" asphalt concrete driveway to be removed
 17. New 2" asphalt concrete driveway to be removed
 18. Permanent easement @ Sunline
 19. 7' sidewalk easement
 20. Existing concrete drainage swale
 21. Existing 12" x 12" gutters
 22. Existing 12" x 12" gutters
 23. Existing 12" x 12" gutters
 24. Existing fire station #18 parking lot
 25. Existing concrete storm drainage alley
 26. Existing CHU wall
 27. Existing CHU wall 1'-4" to 9" tall
 28. Proposed parking lot light, 16' tall, with 12" of base (proposed details)
 29. Existing fire station #18
 30. Proposed new sewer line
 31. Proposed new utility easement with gas and underground electric lines
 32. New water service line
 33. Traffic signal @ intersection
 34. Bicycle rack for 6 bicycles
 35. New 2" asphalt concrete driveway to be removed
 36. Existing 12" x 12" gutters
- PARKING REQUIREMENTS**