



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

DIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION TO BUILD NEW ONE STORY DRIVE-THRU BLAKE'S LOTABURGER RESTAURANT ON LOT 1 OF COORS PAVILION (APPROVED SITE PLAN) W/ 20' BUFFER TO THE NORTH AS CALLED FOR IN THE APPROVED DESIGN STANDARDS

APPLICATION INFORMATION

Applicant: RED SHAMROCK 4 LLC, TRISH KVERN	Phone: 505-998-9093
Address: 8220 SAN PEDRO DR NE 500	Email: TRISH@RETAILSOUTHWEST.COM
City: ALBUQUERQUE	State: NM
Zip: 87102	
Professional/Agent (if any): BECCA SNYDER, BARBARA FEUX ARCH + DESIGN	Phone: 505-820-1555
Address: 511 AGUA FRIA ST	Email: BECCA.SNYDER@BIFEUX.COM
City: SANTA FE	State: NM
Zip: 87501	
Proprietary Interest in Site: ARCHITECT	List all owners: RED SHAMROCK 4, LLC

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LOT 1, TRACT X-1-AZ	Block:	Unit:
Subdivision/Addition: COORS PAVILION	MRGCD Map No.: N/A	UPC Code: 101106023751820801
Zone Atlas Page(s): F11-Z	Existing Zoning: NR-C	Proposed Zoning NR-C
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 1.0172

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4121 COORS BLVD NW Between: ST. JOSEPH'S DRIVE and: MILNE RD

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000032 ; 1005357

Signature: BS Date: 02/28/20
 Printed Name: BECCA SNYDER Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting Date: _____ Fee Total: _____
 Staff Signature: _____ Date: _____ Project # _____

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

- Interpreter Needed for Hearing? NO if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Copy of the original approved Site Plan or Master Development Plan *(for amendments only)* (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Infrastructure List, if required

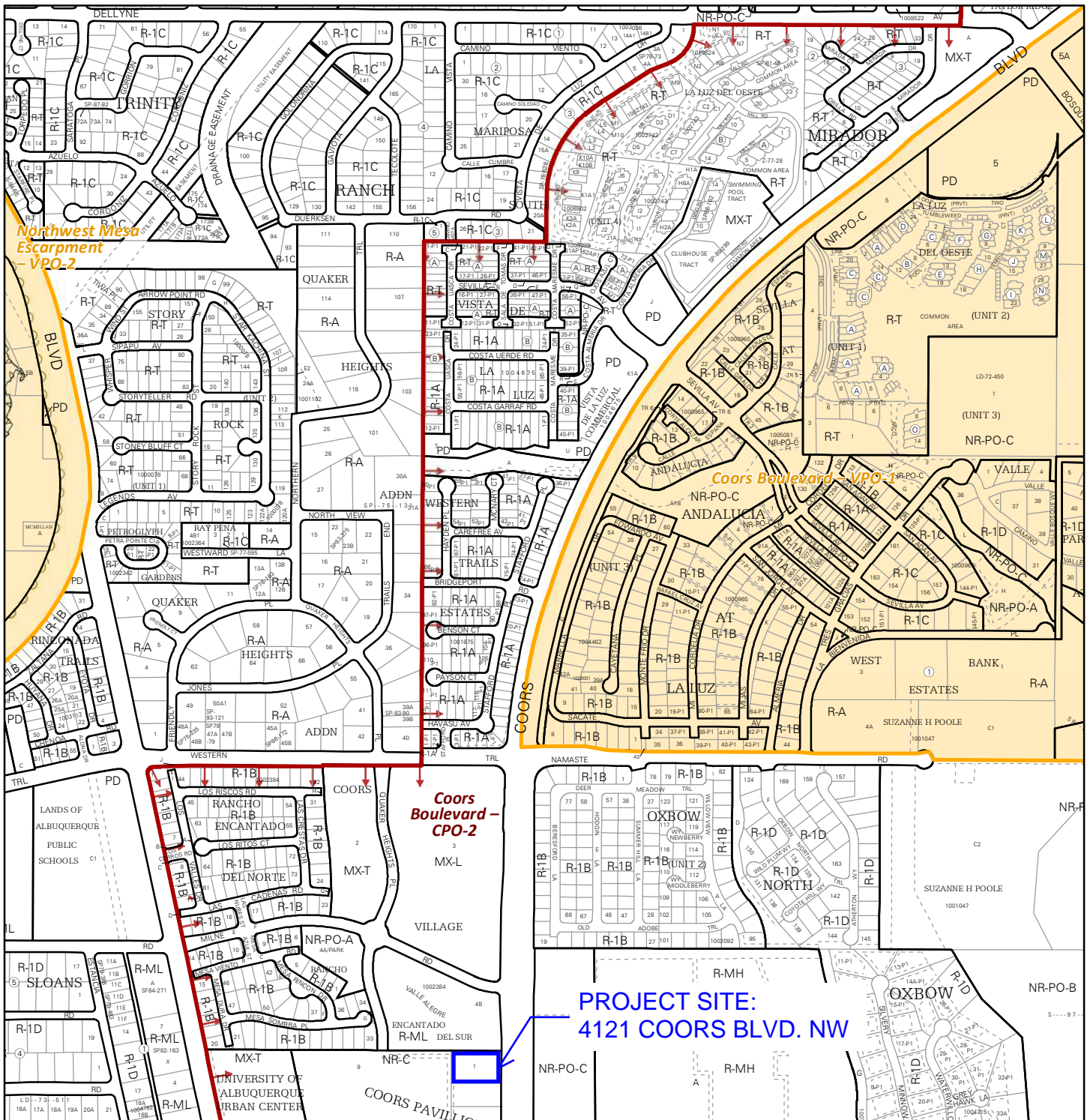
I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: <u>BS</u>	Date: <u>2/28/2020</u>
Printed Name: <u>BECCA SNYDER</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY


Case Numbers:	Project Number:
Staff Signature:	
Date:	



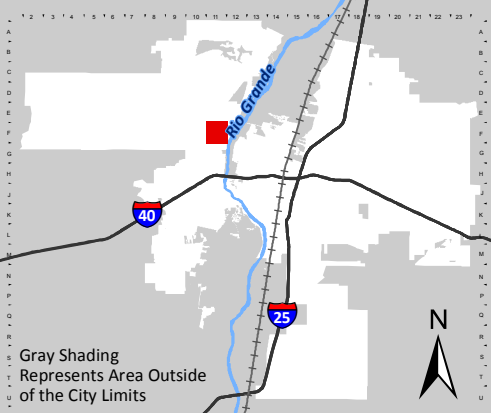


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/cabq-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
F-11-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

January 31, 2020

City of Albuquerque
Development Review Board
Plaza del Sol Building
600 2nd Street, NW
Albuquerque, NM 87102

RE: Agency Authorization for a Site Plan Approval Application to the Development Review Board for Lot 1 within the Coors Pavilion development.

Dear DRB,

This letter shall serve as notice to the Development Review Board that Barbara Felix Architecture + Design will act as agent on behalf of Red Shamrock 4, LLC, as it pertains to the application for a Site Plan Approval application for Lot 1 within the Coors Pavilion development addressed as 4121 Coors Blvd. NW Albuquerque, NM 87120.

Please send all correspondence related to this matter to:

Becca Snyder, AIA, Project Architect
becca.snyder@bjfelix.com | 505-820-1555

Sincerely,

Red Shamrock 4, LLC



Joshua J. Skarsgard, Managing Member

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: RED SHAMROCK 4 LLC DATE OF REQUEST: 2/12/20 ZONE ATLAS PAGE(S): F-11-Z

CURRENT:

ZONING NR-C

PARCEL SIZE (AC/SQ. FT.) 1.0172 AC / 44,809.2 SF

LEGAL DESCRIPTION:

LOT OR TRACT # LOT 1, X-1-AZ BLOCK # _____

SUBDIVISION NAME COORS PAVILION

REQUESTED CITY ACTION(S):

ANNEXATION []

ZONE CHANGE []: From _____ To _____

SECTOR, AREA, FAC, COMP PLAN []

AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []

BUILDING PERMIT [] ACCESS PERMIT [X]

BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []

NEW CONSTRUCTION [X]

EXPANSION OF EXISTING DEVELOPMENT [X]

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 1

BUILDING SIZE: ~3000 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 2/13/20

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]

Notes: THIS IS INFILL OF A PREVIOUSLY STUDIED DEVELOPMENT.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature] P.E.

2-13-2020

TRAFFIC ENGINEER

DATE

MATT GUSH, P.E.

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: BLAKE'S LOTABURGER | STORE #75

AGIS MAP # F-11-Z

LEGAL DESCRIPTIONS: LT 1 PLAT OF LOTS 1 THRU 9 COORS
PAVILION (BEING A REPLAT OF TRACT X-1-A2
UNIVERSITY OF ABQ URBAN CENTER) CONT. 1.0172 AC

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 2-10-20 (date).

[Signature]
Applicant/Agent

2-10-20
Date

[Signature]
Hydrology Division Representative

2-10-20
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 2/28/20 (date).

Applicant/Agent

Date

[Signature]
ABCWUA Representative

2/28/2020
Date

PROJECT # _____



February 26, 2020

Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

RE: Site Plan Approval | Development Review Board review per Coors Pavilion Design Standards (CPDS) for Blake's Lotaburger at 4121 Coors Boulevard NW, Albuquerque, NM 87120

To Whom It May Concern:

Coors Pavilion is 21-acre community activity center with its own design standards approved by the DRB in 2016. These standards require DRB approval for all buildings. Red Shamrock 4, LLC, the owner, has leased Lot 1 to Blake's Lotaburger which has the intention of building a single-story drive-through restaurant in 2020.

A pre-application review team (PRT) meeting was held on February 10, 2020 with Linda Rumpf-Planning, Carl Garcia and Charles Maestas - Code Enforcement, Mojgan Maadandar – Transportation, Ross Brown – Blake's Lotaburger, and Becca Snyder – Barbara Felix Architecture + Design, Agent for Red Shamrock 4, LLC and Blake's Lotaburger regarding the project. See attached meeting minutes.

The IDO Standards cited in the PRT meeting are listed below:

- *General Provisions 1-10(A) Prior Approvals:* CPDS approved in 2016 prevail over IDO standards. Where the CPDS is silent, provisions in the IDO shall apply.
- *Allowable Uses:* Per use table 4-2-1, the property is zoned NR-C and is adjacent to an R-ML zoned residential area. A restaurant with a drive-through is a permitted use and meets the requirements of 4-3(D)(8).
- *Use Specific Standard 4-3(F)(4) Drive-Through and Drive-Up Facility:* The order board is located more than 50' away from the residential district to the North. There is screening through an existing seven-foot tall split face block wall along the North property line and a twenty-foot landscape buffer will be provided per the CPDS. See attached site plan.
- *Use Specific Standard Table 5-1-3, Non-residential Zone District Dimensional Standards:* Refer to the CPDS, Section II; these override CABQ IDO.
- *Use Specific Standard 5-5(L)(1) Vehicle Stacking Areas and Drive-Through Facilities:* All considerations required are addressed though the location of order board on the South, both away from the street and the residential neighborhood.

We are making this request based on 6-6(G)(3) *Review and Decision Criteria*. It is our understanding that based on the PRT meeting and the fact that the CPDS override the IDO, all requirements are met.

Barbara Felix Architecture + Design is acting as the agent for Red Shamrock 4, LLC as the owner and Blake’s Lotaburger, LLC as tenant during this request. If you have any question, concerns, or would like to discuss this request further, please contact me at 505-820-1555 or becca.snyder@bjfelix.com.

Sincerely,

A handwritten signature in blue ink, appearing to read "Becca Snyder".

Becca Snyder, AIA
Project Architect

CC: Trish Kvern, Red Shamrock 4, LLC
Ross Brown, Blake’s Lotaburger, LLC

Attachments: See Form P-2: Site Plan - DRB

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-038 Date: 2/10/20 Time: 1:30pm

Address: 4121 Coors AVENUE

AGENCY REPRESENTATIVES AT MEETING:

Planning: Linda Rumpf

Code Enforcement: Carl Garcia, Charles Maestas

Fire Marshall: _____

Transportation: Meggan Maadandas

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed. Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: New one-story drive-thru Blake's Lotaburger on Lot 1 of Coors Pavilion (approved Site Plan)

SITE INFORMATION:

Zone: NR-C Size: 1.0172 AC / ~ 3000 SF

Use: Restaurant/Drive-thru Overlay Zone: CPD-2

Comp Plan Area Of: Change Comp Plan Corridor: Major Transit

Comp Plan Center: Ladera Activity Ctr. MPOS or Sensitive Lands: _____

Parking: 5-5, p. 225 MR Area: _____

Landscaping: 5-6, p. 251 Street Trees: 5.6(b)(1) p. 258

Use Specific Standards: Table 4-21, p. 130 / 4-3(b)(8), p. 145 / 4-3(F)(4), p.

Dimensional Standards: Table 5-1-3, p. 195 → see Design Stds.

*Neighborhood Organization/s: Ladera Heights NA, Westside Coalition

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.*

PROCESS: DRB, 6-6(G), p. 395

Type of Action: Site Plan Admin, 6-5(G), p. 379

Review and Approval Body: ~~Staff~~ DRB Is this PRT a requirement? no

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-038 Date: 2/10/20 Time: 1:30 PM

Address: 4121 Coors Ave NE

NOTES: IDO 2-5(A). NR-C Summary, p. 40

- Table 5-1-3 - Dimensional Standards, p. 195

Setbacks: Front 5ft / Side 0 / Rear 0 → See Design Stds,

Height - 35ft.

- Vehicle Stacking: 5-5(F), 5-5(I), p. 249, Table 5-5-8,

DRB submittal necessary unless flagged by Hydrology or Transportation. Not a major amendment.

- See 1-10(A) Prior Approvals, p. 4

Site Plan standards override IDO standards.

DRB 6-6(G), p. 395

Process: Site Plan Admin (6-5(G), p. 378) per design stds.

See Site Plan + Design Standards

Ask about vehicle stacking at DRB

IF not in prior approval, IDO regs apply

PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. ***PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.*** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

PA#: <u>20-038</u>	Received By: <u><i>Drew Gill</i></u>	Date: <u>2-4-2020</u>
APPOINTMENT DATE & TIME: <u>Monday, February 10, 2020 @ 1:30pm</u>		

Applicant Name: BECCA SNYDER, AGENT FOR RED SHAMROCK 4, LLC Phone#: 505-820-1555 Email: BECCA.SNYDER@BJFELIX.COM

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 1.0172 AC Existing Zoning: NR-C Proposed Zoning: NR-C

Previous case number(s) for this site: 1000032, 1005357

Applicable Overlays or Mapped Areas: CPO-2, ACTIVITY CENTER: LADEBA, CPA: WEST MESA

Residential – Type and No. of Units: _____

Non-residential – Estimated building square footage: APPROX. 3,000SF No. of Employees: _____

Mixed-use – Project specifics: _____

LOCATION OF REQUEST:

Physical Address: 4121 COORS BLVD. NW Zone Atlas Page (Please identify subject site on the map and attach) F-11-Z

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

A NEW ONE-STORY DRIVE-THRU BLAKE'S LOTARBURGER RESTAURANT ON LOT 1 OF COORS PAVILION (APPROVED SITE PLAN)

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

1. NEED TO SUBMIT TO DRR PER THE APPROVED DESIGN STANDARDS (SECTION XI) - IS THIS A 'MAJOR AMENDMENT TO THE SITE PLAN'?

2. APPROVED DESIGN STANDARDS CALL FOR A 20' BUFFER FROM THE RESIDENTIAL PROPERTIES TO THE NORTH (SECTION 11.9.i), IDO NOW CALLS FOR A 50' BUFFER (PART 14-16.5-9(F)). CAN THE DESIGN STANDARDS 'GRANDFATHER IN' A 20' BUFFER?

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON AVE, SUITE 100
ALBUQUERQUE, NM 87111
505-741-9700 / PDS@DEKPER.COM

SCALE

PROJECT

COORS PAVILION
ALBUQUERQUE, NM
NW CORNER OF ST JOSEPHS DRIVE & COORS BLVD NW

VISIONS

△
△
△
△
△
△
△
△
△
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DESIGNED BY
DESIGNED BY
DATE
PROJECT NO.
DATE

DRAWING TITLE
SITE DEVELOPMENT
PLAN FOR
SUBDIVISION

SHEET NO.
1 of 5

GENERAL NOTES
1. APPLICABLE PARS, REFER TO DESIGN GUIDELINES, SHEET DS0101 AND DS102.
PROJECT DESIGN STANDARD GUIDELINES, THIS PACKAGE.

KEYED NOTES
1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. 4" X 4" ELECTRIC RINGER BANDS AS PER INDICATED STANDARDS & SPECIFICATIONS
4. 4" X 4" ELECTRIC RINGER BANDS AS PER INDICATED STANDARDS & SPECIFICATIONS
5. STAMPS AND SIGNATURES REQUIRED FOR PERMITS AND APPROVALS
6. STANDARDS & SPECIFICATIONS TO BE PROVIDED BY APPLICANT (AS PER INDICATED STANDARDS & SPECIFICATIONS)

KEYED NOTES - CIVIL/SURVEY
A. PROPOSED PRIVATE ACCESS & SURFACE DRAINAGE EASEMENT.
B. PROPOSED PRIVATE BLANKET DRAINAGE EASEMENT.
C. PROPOSED PRIVATE PAVED DRIVEWAY EASEMENT.
D. PROPOSED PRIVATE PAVED DRIVEWAY EASEMENT.
E. PROPOSED PRIVATE SANITARY SEWER EASEMENT.
F. PROPOSED PRIVATE SANITARY SEWER EASEMENT.

SITE DATA
LEGAL DESCRIPTION:
TRACT X-1-A2 PLAT OF TRACTS X-1-A1 & X-1-A2 UNIVERSITY OF ALBUQUERQUE URBAN CENTER CONT 21.224 AC OR 824,537 SF ACRES 21.224 ACRES 02.151

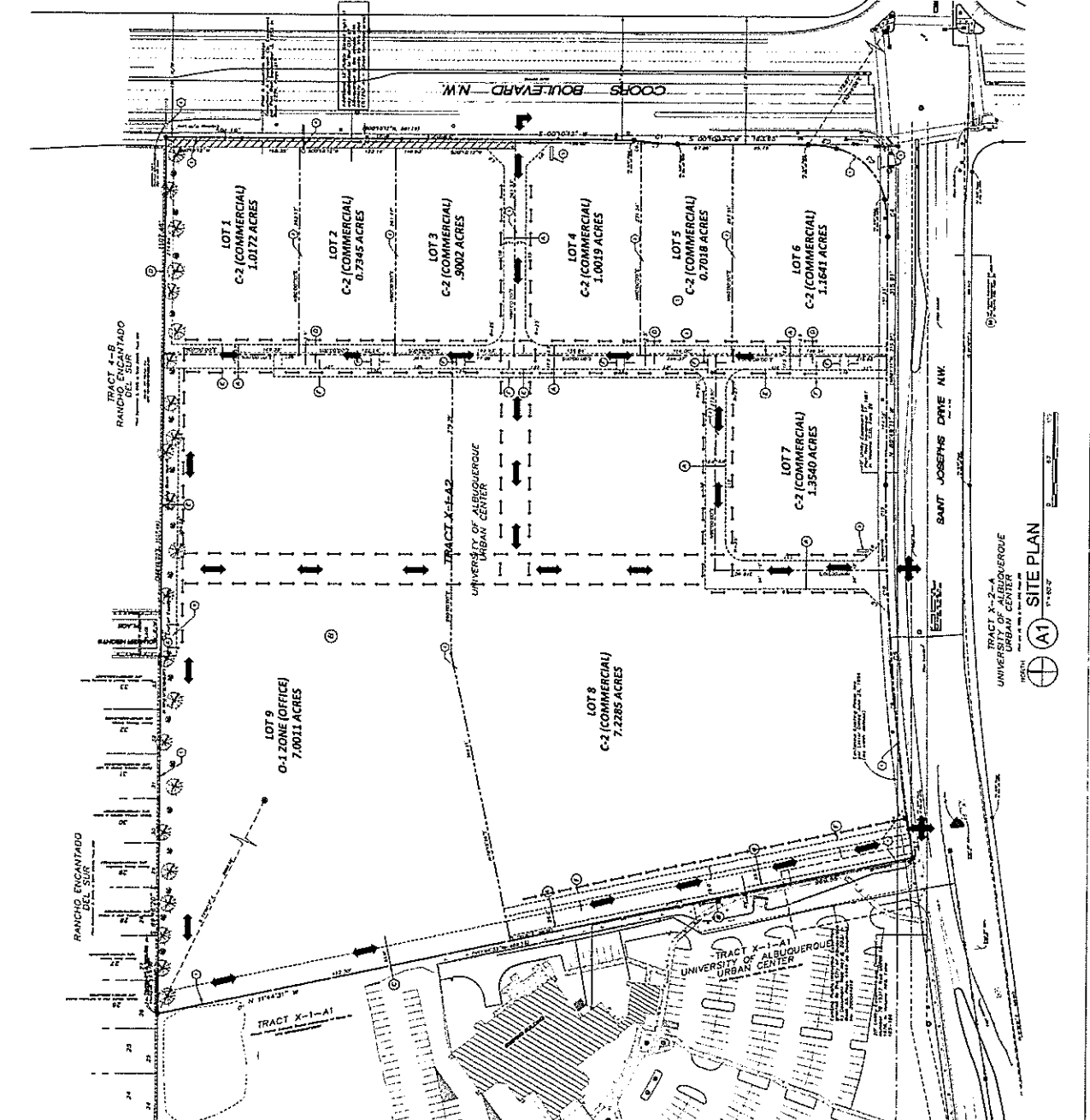
SITE PLAN LEGEND
RECEIVING ROSES CENTER
VEHICULAR ROSES CENTER
PROPERTY LINE LISTED AS NOTED
PROPERTY LINE PROPOSED AS NOTED

VICINITY MAP
Zone Alias Map G-11-Z

FORWARD PROJECT NUMBER:
PROJECT NUMBER: PM 15-175, CASE FILE 120632, EPC-2012-2013
APPLICATION NUMBER:
DATE: 12/14/16

SITE DEVELOPMENT PLAN APPROVAL:
DATE: 12/14/16
DATE: 12/14/16
DATE: 12/14/16
DATE: 12/14/16

CITY ENGINEER:
DATE: 1-23-17
DATE: 1-23-17



(A1) SITE PLAN
11-2017

TRACT X-1-A
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A1
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A2
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A3
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A4
UNIVERSITY OF ALBUQUERQUE
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TRACT X-1-A5
UNIVERSITY OF ALBUQUERQUE
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TRACT X-1-A8
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A9
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A10
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT 4-B
RANCHO ENCANTADO

TRACT X-1-A11
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A12
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A13
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A14
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A15
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A16
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A17
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A18
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A19
UNIVERSITY OF ALBUQUERQUE
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TRACT X-1-A20
UNIVERSITY OF ALBUQUERQUE
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TRACT X-1-A21
UNIVERSITY OF ALBUQUERQUE
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TRACT X-1-A22
UNIVERSITY OF ALBUQUERQUE
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TRACT X-1-A35
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TRACT X-1-A36
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TRACT X-1-A37
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

TRACT X-1-A38
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER

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URBAN CENTER

DESIGN STANDARDS (continued)

- 11. Retaining walls, vertical walls or elements intended to compensate for a slope on the site shall avoid long unarticulated exposure of wall. Walls shall have varied exposures of at least one foot with planes not parallel to each other. Retaining walls shall be designed to allow for pedestrian access through stair, abutment, or other means.
- 12. Retention structures and landscape shall be designed to allow for pedestrian access through stair, abutment, or other means within the site changes within the site.
- 13. Grading and Drainage Plans must comply with the City of Albuquerque's Drainage Ordinance?
 - a. All measures shall be taken to provide public safety at the site location proposed within the northwest corner of the site.
 - b. Site parking shall be integrated with the landscape plan.
- 14. Ponding basins may cooperate with the wettable neighbor (St. Joseph's Church) to utilize a pond use pond and other measures to maintain stream to Alamo located to the west of the site. Erosion control shall be provided for the pond (see City of Albuquerque's Erosion Control Ordinance) - IF APPROVED BY THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT

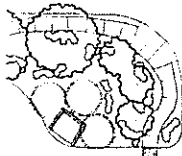


FIGURE 1: PONDING BASIN WITH TREE AND BUILDING FOOTPRINT

VIII. UTILITIES

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment would be minimized by the following:

- a. All new electrical distribution lines shall be placed underground and shall be placed in a trench or vault. Existing overhead lines shall be placed in a trench or vault. Existing overhead lines shall be placed in a trench or vault.
- b. Transformers, utility poles, and telephone boxes shall be approached, screened with walk-and-or-vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the raised enclosure shall be constructed of materials compatible with architectural materials used on the building. The enclosure shall be screened from view, with walk-and-or-vegetation.



FIGURE 2: UTILITY POLE AND TRANSFORMER WITH SCREENING

VIII. ARCHITECTURE

Architectural design of buildings and site features should demonstrate a high level of design quality and attention to detail. The design should respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with General Building & Site Design Regulations for Individual Units of the City Zoning Code (15.16.3.15).
- b. Architectural Style
 - i. The development shall consist of a concrete material and color palette among all buildings in the site plan.
 - ii. All buildings shall be modern or southwestern

- 15. Modern or contemporary southwest in design that utilize earth toned color palette.
- 16. Historical references to traditional New Mexico styles should be a modern interpretation of those styles.
- 17. Each building may utilize a southwestern themed material (stained stone, tile, brick, etc.).
- 18. Architecture
 - i. Building shall have a variety of structural forms to create visual character and interest.
 - ii. Long unarticulated facades shall be avoided by using vertical elements such as columns, pilasters, or other architectural features to break up the facade. A continuous elevation for more than 100 feet without a change in architectural treatment such as offset, material, planing, or fenestration.
 - iii. Massing elements shall be recessed with color variation or material distinctions.
- 19. Materials
 - i. The architectural expression of all buildings shall reflect the New Mexico climate (EPS, Stucco, Brick, Stained Stone, etc.).
 - ii. Individual building elements shall be of excellent design and quality materials such as:
 - 1. Metal wall panels
 - 2. Porcelain tile
 - 3. Painted stone panels
 - 4. Concrete
 - 5. Rusted earth
 - 6. Glass
 - 7. Stucco or Exterior Insulation & Finish System
 - 8. Brick or accurate concrete masonry units
 - iii. The following exterior building materials shall be prohibited:
 - 1. Engineered wood paneling
 - 2. Vinyl or plastic panels
 - 3. Plain concrete masonry units
 - iv. All glass shall be clear or tinted, not color. Reflective, deeply etched, and patterned glass is prohibited.
 - v. Corrosive, hollow, and empty shall be of durable materials such as metal, composite material, or vinyl.
 - vi. Colors shall include light to medium warm tones with accent colors in limited areas.
 - 1. No more than one accent color shall be used per building.
 - 2. The use of contrasting colors for stair elements or awnings is encouraged.

- 20. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- 21. Exterior site lighting at buildings, including the public right-of-way, may be used to enhance the quality of the building.



FIGURE 3: TREE CANOPY LIGHTING

X. SIGNAGE

All signage shall conform to the requirements of the University of Albuquerque Signage Ordinance. Signs are considered within the scope of the design regulations of the Coors Corridor Plan. Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their users.

- a. All on-site signage shall comply with the Section 15.16.3.15 Coors Corridor Plan of the City of Albuquerque's Comprehensive Zoning Code.
- b. Free-standing signs shall be designed so as not to require any other support, including sign, post, or similar devices for support.
- c. No signage is allowed that obscures graffiti, makes graffiti worse, or has blinking or flashing signs.
- d. Signs shall not be extending into the public right-of-way or extend above the building footprint.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs at each of the points of entry: (1) Corner of Coors Blvd. and Coors Blvd. (2) Right-of-Way Entrance of the Coors Corridor Plan. Signs shall be designed to have the same appearance as the sign face material for the legal style etc. at all locations.
- g. Building-mounted signs shall have contrasting colors from the background and be light and dark that ensure readability and comply with City of Albuquerque Code of Ordinances and the Coors Corridor Plan.
- h. No building-mounted signs shall include upon architectural elements, including columns, columns, or canopies or decorative features.
- i. There shall be no ELECTRONIC display, advertising boards allowed within the Coors Pavilion project.

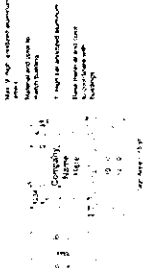


FIGURE 4: SIGNAGE TYPES

FIGURE 4: SIGNAGE TYPES
SIGNAGE should be coordinated with building and forms.

XI. PROCESS

All of the City Development Plans for Building Plans for the building shall be reviewed and approved by the Coors Corridor Plan Board. All development shall be reviewed and approved by the Coors Corridor Plan Board and shall be consistent with the Design Guidelines established by the Site Development Plan for the Coors Pavilion.

XII. SECURITY
The development shall include security features within the Coors Pavilion property. The development shall include security features within the Coors Pavilion property.

FIGURE 5: SECURITY FEATURES

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Tuesday, February 11, 2020 11:29 AM
To: becca.snyder@bjfelix.com
Subject: 4121 Coors Boulevard NW Public Notice Inquiry
Attachments: IDOZoneAtlasPage_F-11-Z.PDF

Dear Applicant,

See list of associations below regarding your Public Notice Inquiry. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
Ladera Heights NA	Marie	Ludi	aludi2wo@yahoo.com	6216 St. Josephs Avenue NW	Albuquerque	NM	87120	5058399153
Ladera Heights NA	Allan	Ludi	aludi415@gmail.com	6216 St. Josephs Avenue NW	Albuquerque	NM	87120	5058399153
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	hlhen@comcast.net	10592 Rio Del Sol NW	Albuquerque	NM	87114	5058903481
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5058982114

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster
Sent: Tuesday, February 11, 2020 10:02 AM
To: Office of Neighborhood Coordination <becca.snyder@bjfelix.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Becca Snyder

Telephone Number

505-820-1555

Email Address

becca.snyder@bjfelix.com

Company Name

Barbara Felix Architecture + Design

Company Address

511 Agua Fria St

City

Santa Fe

State

NM

ZIP

87507

Legal description of the subject site for this project:

LT 1 Plat of lots 1 thru 9 Coors Pavilion (Being a replat of Tract X-1-A2 University of Albuquerque Urban Center) Cont. 1.0172 AC

Physical address of subject site:

4121 Coors Boulevard NW, Albuquerque, NM 87120

Subject site cross streets:

Coors and Milne; Coors and St. Joseph

Other subject site identifiers:

This site is located on the following zone atlas page:

F-11-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

becca.snyder@bjfelix.com

From: A L <aludi415@gmail.com>
Sent: Thursday, February 13, 2020 1:42 PM
To: becca.snyder@bjfelix.com
Subject: Development Application Coors Pavilion

Ms. Snyder,
We are declining a meeting.

Allan Ludi
Ladera Heights NA

becca.snyder@bjfelix.com

From: Harry <hlhen@comcast.net>
Sent: Monday, February 24, 2020 11:43 AM
To: becca.snyder@bjfelix.com
Subject: Re: 4121 Coors Boulevard NW Public Notice Inquiry

I do not feel that a meeting is necessary.

Thanks
Harry Hendriksen

On 2/24/2020 11:26 AM, becca.snyder@bjfelix.com wrote:

Harry,

I apologize that the last email I sent did not come through. I am writing to you as the representative of the Westside Coalition of Neighborhood Associations in regards to a future development application for a proposed Blake's Lotaburger on Lot 1 of Coors Pavilion (see attached Coors Pavilion Plat). Please respond by requesting or declining the meeting. I am available by email or at the phone number below.

Thank you,

Becca Snyder, AIA, Project Architect

becca.snyder@bjfelix.com | 505-820-1555

From: Harry <hlhen@comcast.net>
Sent: Monday, February 24, 2020 11:04 AM
To: Carmona, Dalaina L. <dlcarmona@cabq.gov>; becca.snyder@bjfelix.com
Subject: Re: 4121 Coors Boulevard NW Public Notice Inquiry

I have received this e-mail.

Blessings
Harry Hendriksen

On 2/24/2020 10:54 AM, Carmona, Dalaina L. wrote:

Hi Becca,

Per Harry his e-mail address is correct. He has been receiving e-mails on his end. I am including him on this e-mail to see if it goes through on my end. Try to resend if you can.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



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From: becca.snyder@bjfelix.com [<mailto:becca.snyder@bjfelix.com>]

Sent: Saturday, February 22, 2020 11:25 AM

To: Carmona, Dalaina L. <dlcarmona@cabq.gov>

Subject: RE: 4121 Coors Boulevard NW Public Notice Inquiry

Dalaina,

Good morning! Have you had a chance to get ahold of Harry? Do you have a different email for me to send this request?

Thanks,

Becca Snyder, AIA, Project Architect

becca.snyder@bjfelix.com | 505-820-1555

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>

Sent: Wednesday, February 12, 2020 9:29 AM

To: becca.snyder@bjfelix.com

Subject: RE: 4121 Coors Boulevard NW Public Notice Inquiry

Hi,

Can you please send me the information for the bounce back so I can let Harry know as well.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



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From: becca.snyder@bjfelix.com [<mailto:becca.snyder@bjfelix.com>]

Sent: Tuesday, February 11, 2020 4:47 PM

To: Carmona, Dalaina L. <dlcarmona@cabq.gov>

Subject: RE: 4121 Coors Boulevard NW Public Notice Inquiry

Thank you Dalaina,

Harry Hendricksen's email bounced back to me, do you have updated contact information for him?

Thanks,

Becca Snyder, AIA, Project Architect

becca.snyder@bjfelix.com | 505-820-1555

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>

Sent: Tuesday, February 11, 2020 11:29 AM

To: becca.snyder@bjfelix.com

Subject: 4121 Coors Boulevard NW Public Notice Inquiry

Dear Applicant,

See list of associations below regarding your Public Notice Inquiry. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web

links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
Ladera Heights NA	Marie	Ludi	aludi2wo@yahoo.com	6216 St. Josephs Avenue NW	Albuquerque	NM	87120	505
Ladera Heights NA	Allan	Ludi	aludi415@gmail.com	6216 St. Josephs Avenue NW	Albuquerque	NM	87120	505
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	hlhen@comcast.net	10592 Rio Del Sol NW	Albuquerque	NM	87114	505
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	505

IDO – Public Notice Requirements &

Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements &

Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section:

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>]
On Behalf Of ISD WebMaster
Sent: Tuesday, February 11, 2020 10:02 AM
To: Office of Neighborhood Coordination <becca.snyder@bjfelix.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Becca Snyder

Telephone Number

505-820-1555

Email Address

becca.snyder@bjfelix.com

Company Name

Barbara Felix Architecture + Design

Company Address

511 Agua Fria St

City

Santa Fe

State

NM

ZIP

87507

Legal description of the subject site for this project:

LT 1 Plat of lots 1 thru 9 Coors Pavilion (Being a replat of Tract X-1-A2

University of Albuquerque Urban Center) Cont. 1.0172 AC

Physical address of subject site:

4121 Coors Boulevard NW, Albuquerque, NM 87120

Subject site cross streets:

Coors and Milne; Coors and St. Joseph

Other subject site identifiers:

This site is located on the following zone atlas page:

F-11-Z

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This message has been analyzed by Deep Discovery Email Inspector.

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This message has been analyzed by Deep Discovery Email Inspector.

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 02/28/20
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

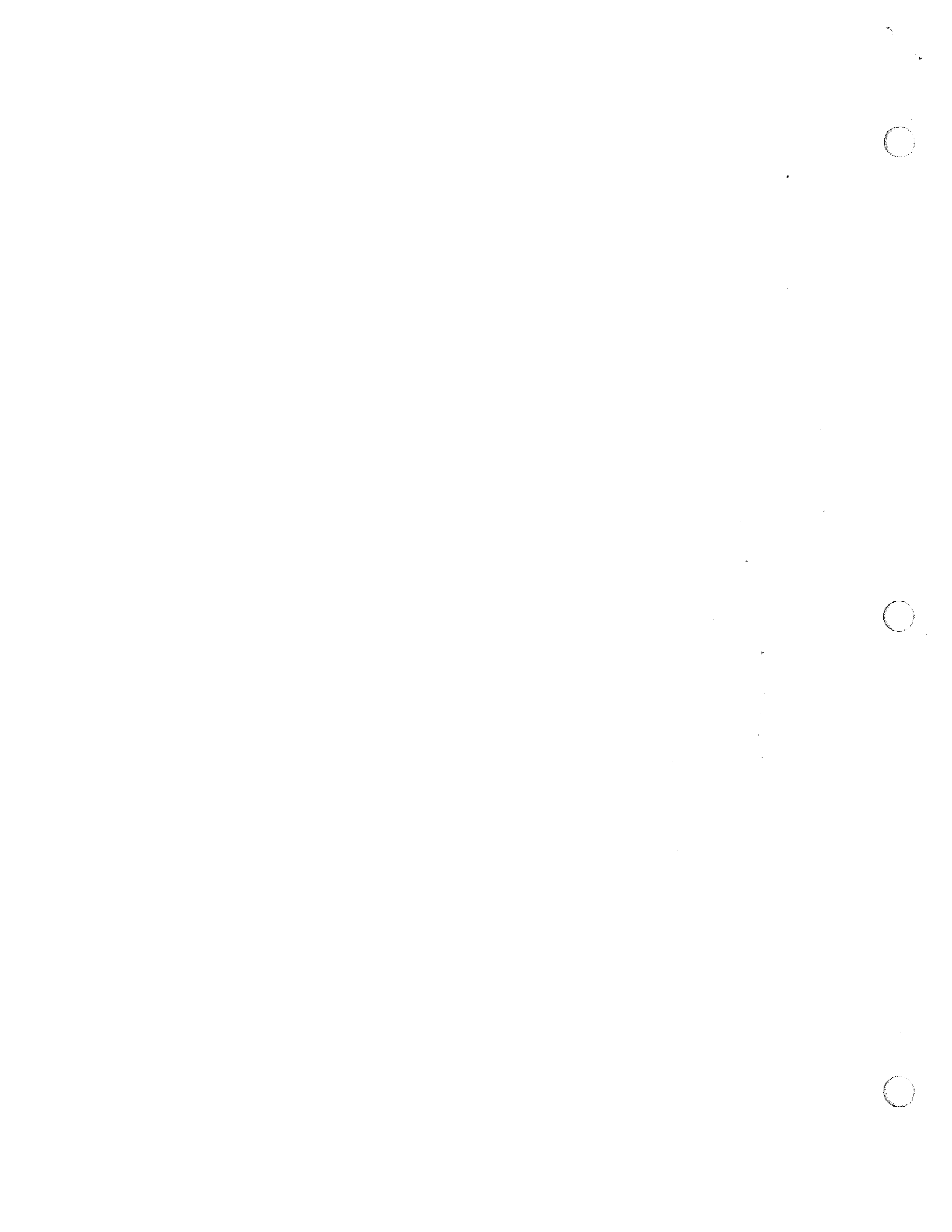
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

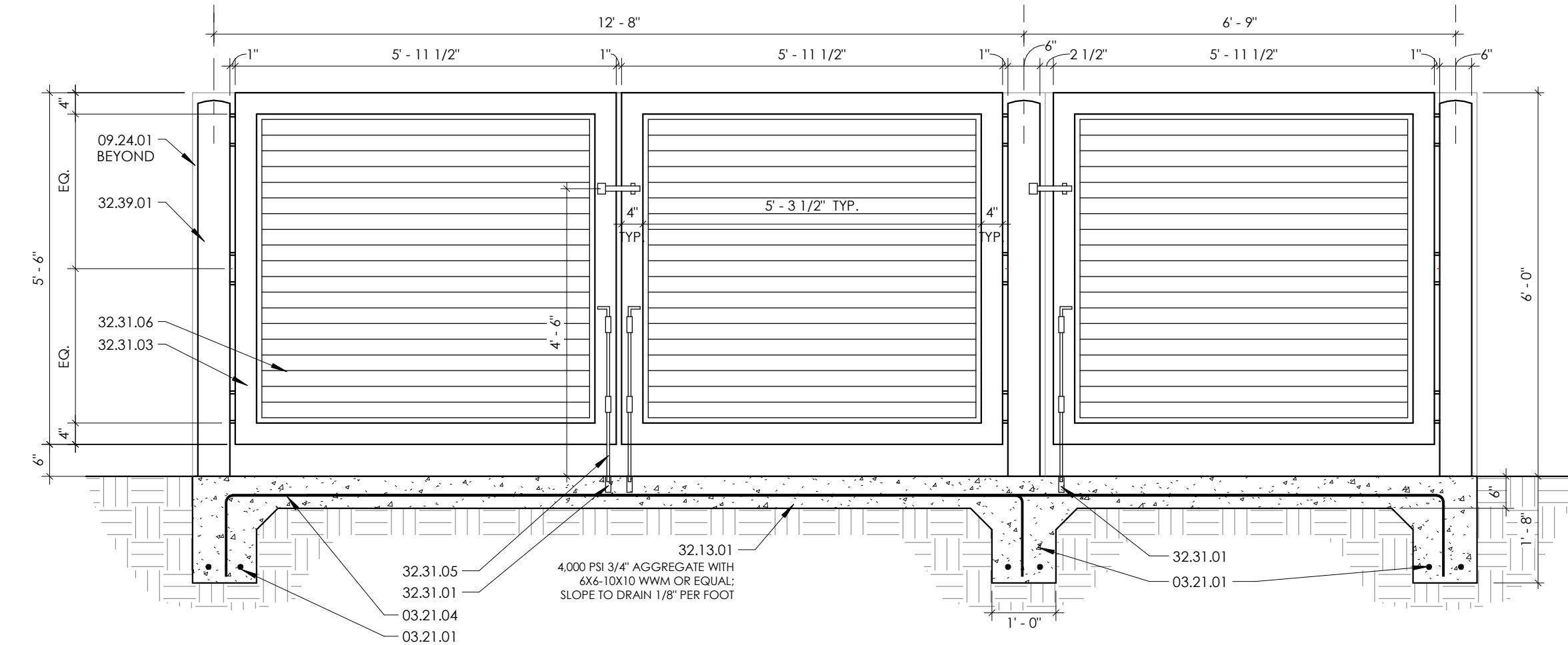
A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

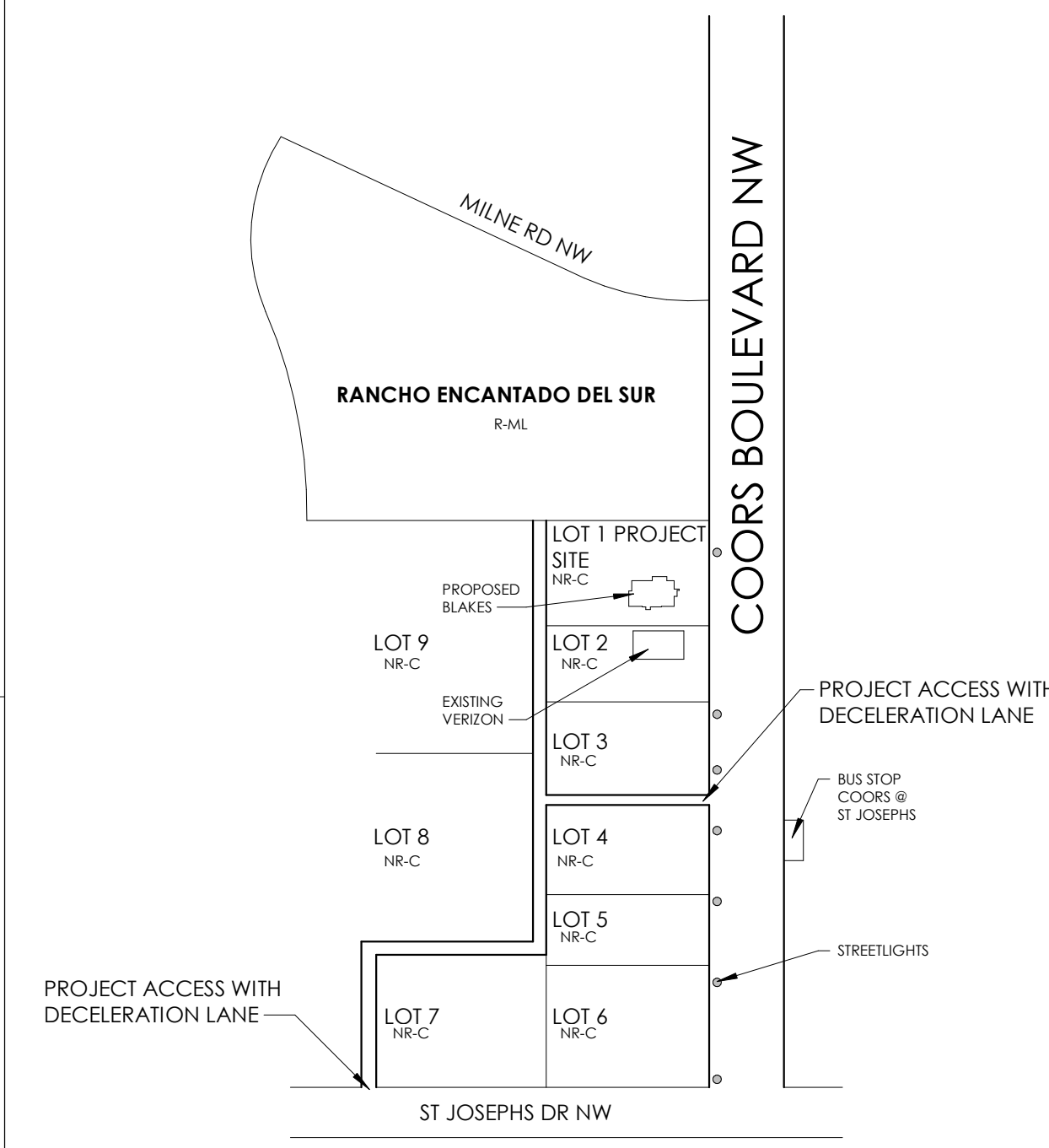
B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

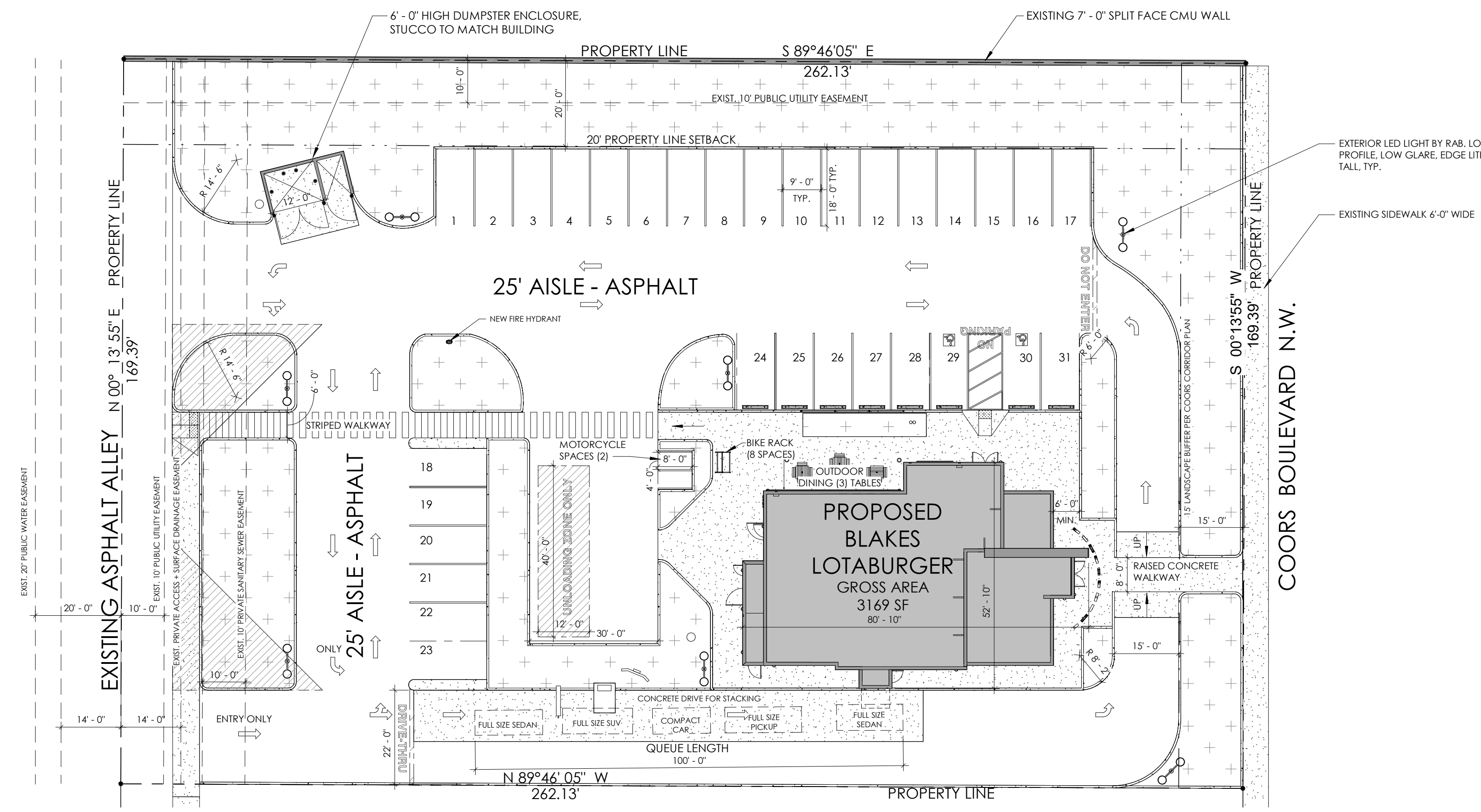




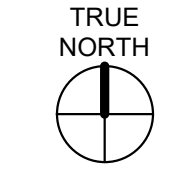
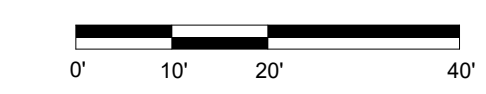
C2 REFUSE ENCLOSURE ELEVATION
1/2" = 1'-0"



Vicinity Map
1/16" = 1'-0"



A2 ARCHITECTURAL SITE PLAN
1" = 20'-0"



GENERAL NOTES:

- A. SEE CIVIL PLANS FOR GRADING, DRAINING, UTILITY, AND CURB CUT LOCATIONS INFO.
- B. PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- C. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS WILL BE DESIGNED AND BUILT TO CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS
- F. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- G. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- H. AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.
- I. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- J. ALL EFFECTIVE RADII ALONG FIRE LANES SHALL BE 28'.
- K. PREMISE IDENTIFICATION SHALL BE PROVIDED WHERE ADJACENT PUBLIC ROADWAYS OCCUR.
- L. A KNOX BOX WILL BE PROVIDED FOR FIRE DEPARTMENT ACCESS.
- M. FIRE DEPARTMENT CONNECTIONS SHALL BE WITHIN 100' OF A FIRE HYDRANT.
- N. ALL ACCESS ROADS & AISLES SHALL BE PAVED & SHALL NOT EXCEED 10% OF GRADE.
- O. NO DIRECT ACCESS FROM COORS BOULEVARD.

SITE DATA/INFORMATION

- PARKING REQUIREMENTS (CITY OF ALBUQUERQUE, I.D.O. PART 14-16-5, SECTION 5-5)**
- SPACES REQUIRED
- (RESTAURANT) 8 SPACES PER 1,000 SF
 - ACCESSORY USE (OUTDOOR DINING) 5 SPACES PER 1,000 SF
 - RESTAURANT (GROSS FLOOR AREA) 3,155 SF = 25.24 REQUIRED
 - OUTDOOR DINING 500.26 SF = 5 REQUIRED
 - **TOTAL PARKING SPACES REQUIRED = 30.24**
 - TOTAL MOTORCYCLE PARKING SPACES REQUIRED = 2
 - BICYCLE PARKING SPACES = 10% OF REQUIRED OFF-STREET PARKING OR 3 SPACES (WHICHEVER IS GREATER) = 3.12
 - ACCESSIBLE PARKING SPACES REQUIRED = 2 (1) VAN ACCESSIBLE
 - TOTAL PARKING SPACES PROVIDED = 31**
 - TOTAL MOTORCYCLE PARKING SPACES PROVIDED = 2**
 - TOTAL BICYCLE PARKING PROVIDED = 8**
 - ACCESSIBLE PARKING SPACES PROVIDED = 2 (1) VAN ACCESSIBLE**

SIGNAGE

#	DESCRIPTION	SIZE	COLOR
01	ADA PARKING - VAN ACCESSIBLE	SEE DRAWING	GREEN ON WHITE
02	ADA ACCESSIBLE PARKING	SEE DRAWING	GREEN ON WHITE
03	MANAGER PARKING ONLY	12' X 18'	GREEN ON WHITE
04	PICK-UP ORDER ONLY	18' X 18'	GREEN ON WHITE
05	MOTORCYCLE PARKING ONLY	12' X 18'	GREEN ON WHITE
06A	NO PARKING AT ANY TIME (RIGHT ARROW)	12' X 18'	RED ON WHITE
06B	NO PARKING AT ANY TIME (LEFT ARROW)	12' X 18'	RED ON WHITE
07	YIELD	18' X 18'	WHITE ON RED
08	DO NOT ENTER	18' X 18'	WHITE ON RED
09	STOP	18' X 18'	WHITE ON RED
10	NO RIGHT TURN	24' X 24'	BLACK AND RED ON WHITE

LEGEND:

- SOFTSCAPE. SEE LANDSCAPING PLAN FOR DETAILS
- BOLLARD
- ADA CURB RAMP WITH TRUNCATED DOMES

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BFA+D
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Architecture + Design

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Phone: 505.820.1555 Fax: 505.820.1527

BLAKES LOTABURGER #75

4121 COORS BLVD. NW
ALBUQUERQUE, NM 87120

ISSUED

MARK	DATE	DRB APPLICATION DESCRIPTION
	02.28.20	DRB APPLICATION
PROJECT NO		19018
FILE NAME		
DRAWN BY		CL
CHECKED BY		RS
Sheet Name		

SITE PLAN

Sheet No.

DRB-SITE

Sheet No. ___ of ___ Sheets

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

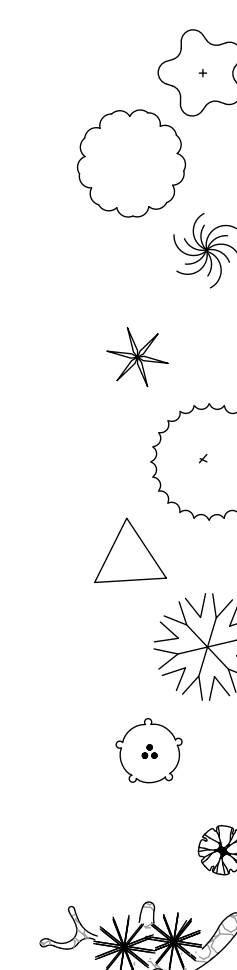
LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

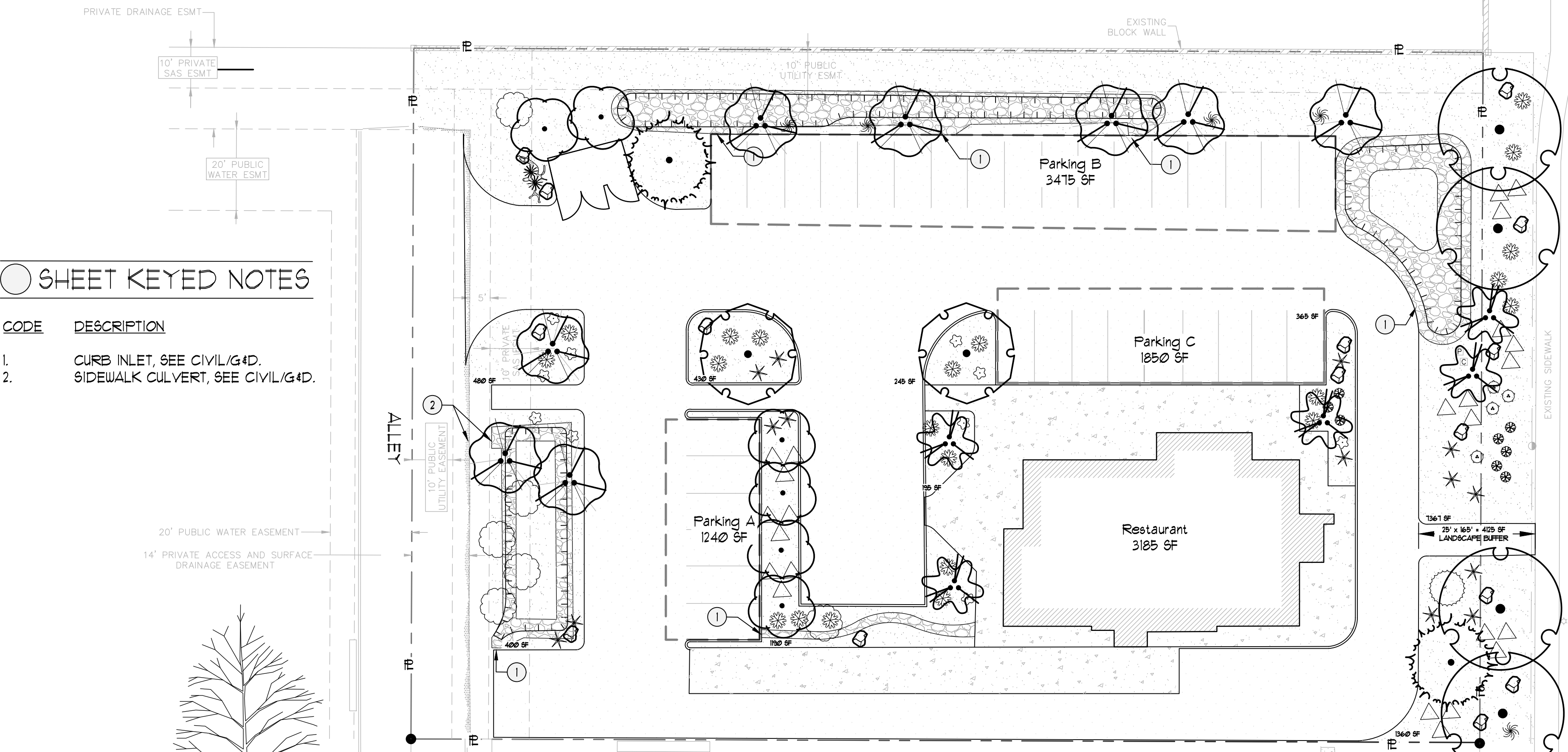
LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HxW	WATER USE	COVER (EA)	TOTAL
Trees							
	8	2+ Trunks w/ 2" Combined Cal.	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	5000
	6	2+ Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forestiera neomexicana</i>	15' x 15'	M	225	1350
	5	2" Cal.	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	8000
	2	10' Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	1250
	2	2" Cal.	Chinese Pistache <i>Pistachia chinensis</i>	40' x 30'	M	900	1800
	5	2+ Trunks w/ 2" Combined Cal.	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	2000
	28	Total Trees				Total Tree Coverage:	19400
Shrubs & Groundcovers							
	10	5 Gal	Dark Knight Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	90
	6	5 Gal	Little-Leaf Mountain Mahogany <i>Cercocarpus intricatus</i>	15' x 15'	Low+	225	1350
	5	5 Gal	Sotol <i>Dasylirion wheeleri</i>	5' x 5'	RUW	25	125
	14	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	Low+	9	126
	1	5 Gal	Althea / Rose of Sharon <i>Hibiscus syriacus</i>	10' x 10'	M	100	100
	24	5 Gal	Deer Grass <i>Muhlenbergia rigens</i>	5' x 5'	M	25	600
	21	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RUW	36	756
	4	5 Gal	Grow-Low Sumac <i>Rhus aromatica</i>	3' x 3'	Low+	36	144
	8	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	72
	2	5 Gal	Broadleaf Yucca w/ Cobble Accent <i>Yucca baccata</i>	20' x 5'	RUW	25	50
			Total Shrub Coverage:			3141	



Other Materials

SYMB.	QTY	TYPE
	15 EA	Boulders (2-3cf) To be placed at contractor's discretion
	12563 SF	Landscape Gravel A with Filter Fabric 3/4" Gray Crush Gravel
	2765 SF	Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobble/RipRap
		Concrete See site plan
		Asphalt Parking Areas and Driveways See site plan
		Stormwater Management Depression



SHEET KEYED NOTES

CODE	DESCRIPTION
1.	CURB INLET, SEE CIVIL/G4D.
2.	SIDEWALK CULVERT, SEE CIVIL/G4D.

TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 16" WIDE COBBLE BERM AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

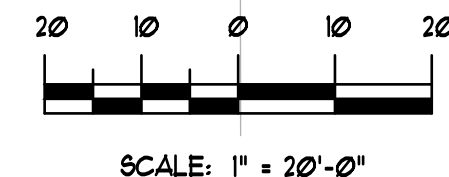
SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS.
- 2" HIGH X 8" WIDE BERM.
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN. 3" DEPTH UNLESS OTHERWISE NOTED.

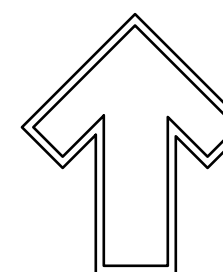
LANDSCAPE CALCULATIONS

ZONING	NR-C: COMMERCIAL
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	10112
TOTAL LOT AREA (SF)	44309
BUILDING AREA (SF)	3185
NET LOT AREA (SF)	41124
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	6169
LANDSCAPE PROVIDED (SF)	15328
VEGETATIVE COVER (%) - REQ	75.0
VEGETATIVE COVER (SF) - REQ	11496
VEGETATIVE COVER (SF) - PROV.	22547
PARKING LOT AREA (SF)	6565
REQ. PARKING LANDSCAPE 10% (SF)	657
PROV. PARKING LANDSCAPE (SF)	7250
REQ. PARKING TREES (1/10 SPOTS)	3
PROV. PARKING TREES	7
COOL SEASON GRASS (SF)	0
COOL SEASON GRASS (% OF LANDSCAPE)	0

GRAPHIC SCALE



STREET TREES
Linear Frontage: 165'
Trees Required: 1
Trees Provided: 1



STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

TOPOGRAPHY NOTE

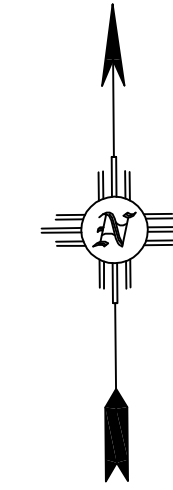
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR OF THIS TOPOGRAPHY. WALKER ENGINEERING RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

Civil Engineering • Water Resources
Traffic Engineering

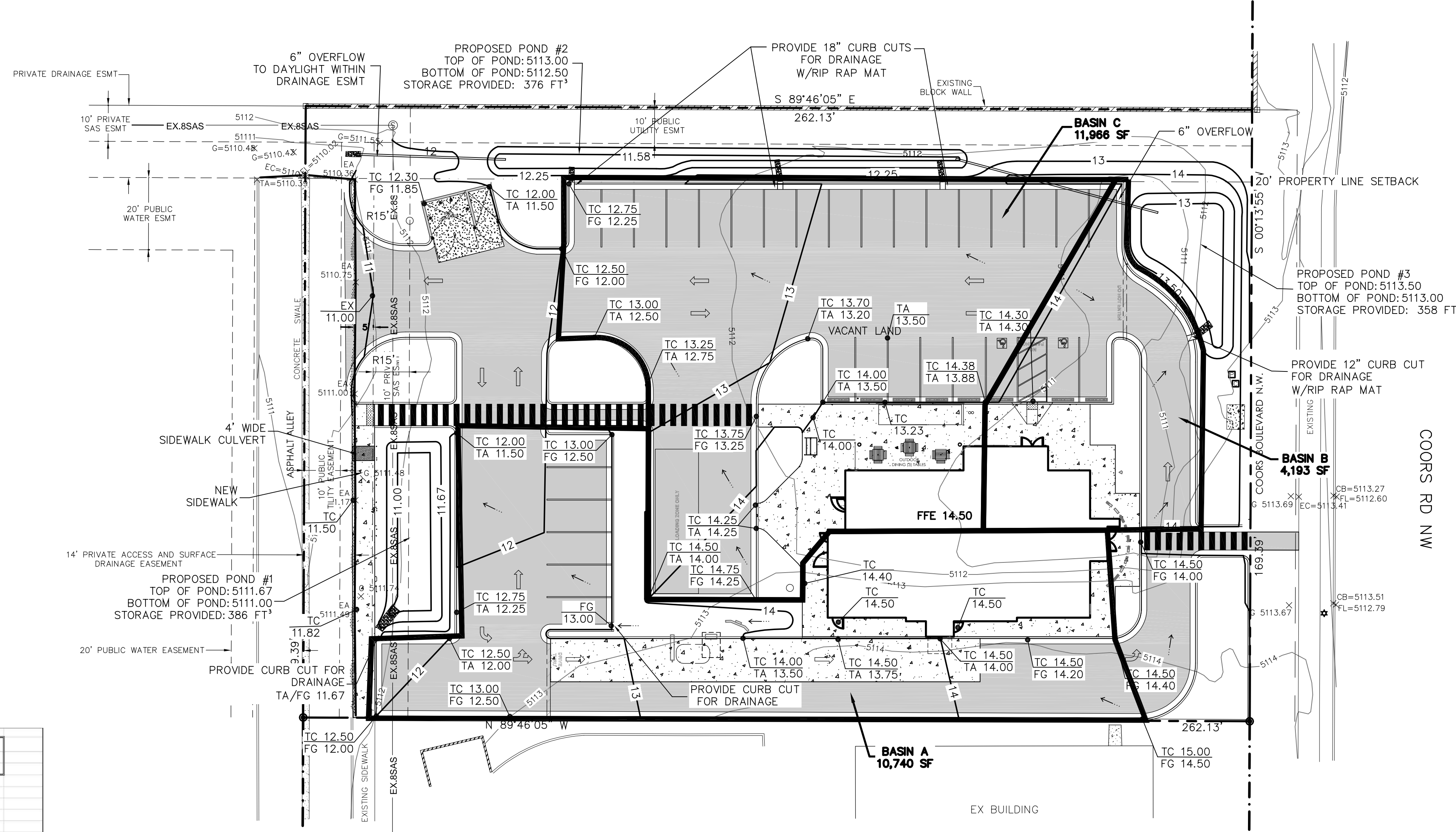


Walker Engineering
905 Camino Sierra Vista
Santa Fe, NM 87505

505-820-7990
FAX 505-820-3539
E-MAIL civil@walkerengineering.net



SCALE: 1" = 20'
20' 0 20'
CONTOUR INTERVAL = ONE FOOT (1')



Walker Engineering
905 Camino Sierra Vista
Santa Fe, NM 87501

Stormwater Drainage Calculations		Project No: 20-115	
Project: Blake's Lotaburger #75		Date: 2/10/2020	
Coores Rd NW, Albuquerque NM			
Developable Area:	0.97 Acres		
	42275.00 Sq Ft		
Precipitation Zone:	1		
Rainfall Intensity:	4.7 (Inches/hour)		

Present Land Use				
Description	Area (SF)	Area (Ac)	C	C*A
Existing Conditions (Land Treatment C)	42275.00	0.97	0.61	0.592
Composite	42275.00	0.97	0.61	0.592

Proposed Land Use				
Description	Area (SF)	Area (Ac)	C	C*A
Roof/Asphalt/Concrete (Land Treatment D)	25592.00	0.59	0.93	0.55
Landscape (Land Treatment B)	16683.00	0.38	0.43	0.16
Composite	42275.00	0.97	0.73	0.71

Storm Water Quality Volume Calculation:			
Description	Area (SF)	90th Percentile Storm (inches)	Total Required Storage
Impervious Area (Land Treatment D)	25592.00	0.34	725

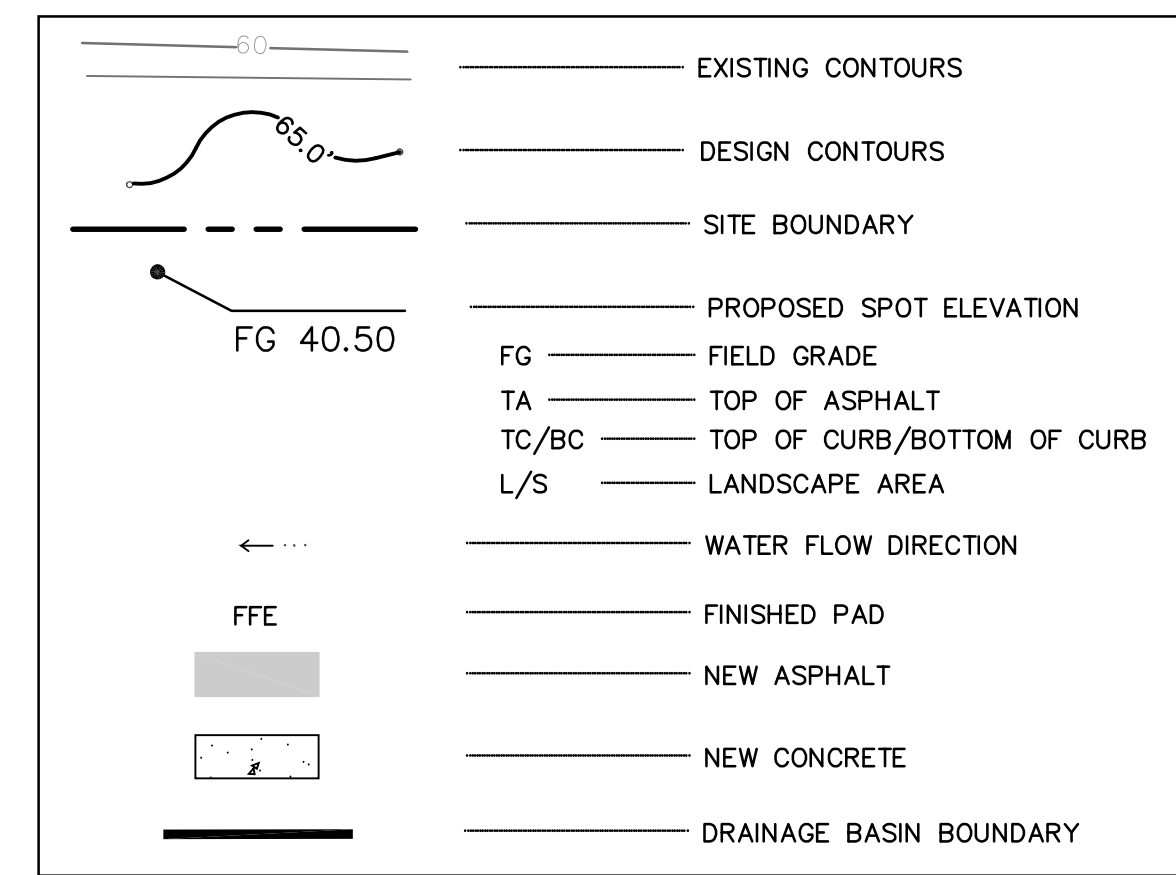
Pond Volume Required = 725 ft³

Drainage Pond Design					
	Top Elev. (ft)	Area (ft²)	Bottom Elev. (ft)	Area (ft²)	Vol. (ft³)
Pond 1	5111.67	751	5111.00	400	386
Pond 2	5112.25	828	5111.58	293	376
Pond 3	5113.50	895	5113.00	535	358

Increased Pond Volume Provided = 1119 ft³

Weir Calculation for Curb Cuts					
	Area (SF)	Area (Ac)	Q (CFS)	L (ft)	I (ft)
Basin A	10740	0.25	1.11	1.17	
Basin B	4193	0.10	0.43	0.46	
Basin C	11966	0.27	1.23	1.31	

LEGEND



L O T A B L A K E ' S
 # 7 5
 C O O R S R D N W
 A L B U Q U E R Q U E , N M 8 8 2 0 1

ISSUED		
MARK	DATE	DESCRIPTION

PROJECT NO.	19-219
FILE NAME	219 GRADE
DRAWN BY	P.L.B.
CHECKED BY	M.E.W.

Sheet Name
GRADING AND DRAINAGE PLAN

Sheet No.
C1
SHEET NO. ____ OF ____ SHEETS

GENERAL NOTES

- A. MECHANICAL EQUIPMENT IS LOCATED ON ROOF. SCREENING IS PROVIDED BY PARAPET WALLS.
- B. SIGNAGE GOVERNED BY THE COORS PAVILION DESIGN STANDARDS, SECTION X, "SIGNAGE."

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BFA+D
Barbara Felix
Architecture + Design

511 Agua Fria Street, Santa Fe, NM 87501
Phone: 505.820.1555 Fax: 505.820.1527

BLAKES LOTABURGER #75

4121 COORS BLVD. NW
ALBUQUERQUE, NM 87120

ISSUED

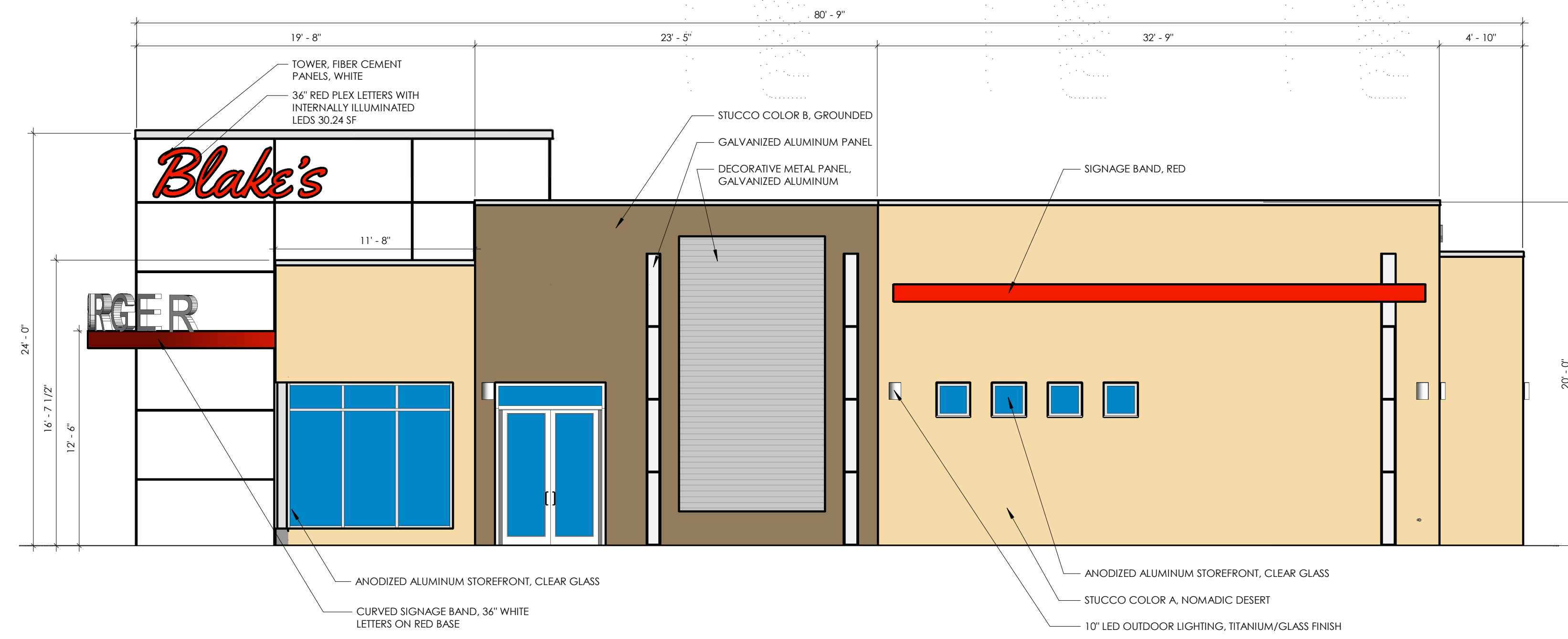
MARK	DATE	DRB APPLICATION DESCRIPTION
02.28.20		
PROJECT NO		19018
FILE NAME		
DRAWN BY		CL
CHECKED BY		RS
Sheet Name		

BUILDING ELEVATIONS

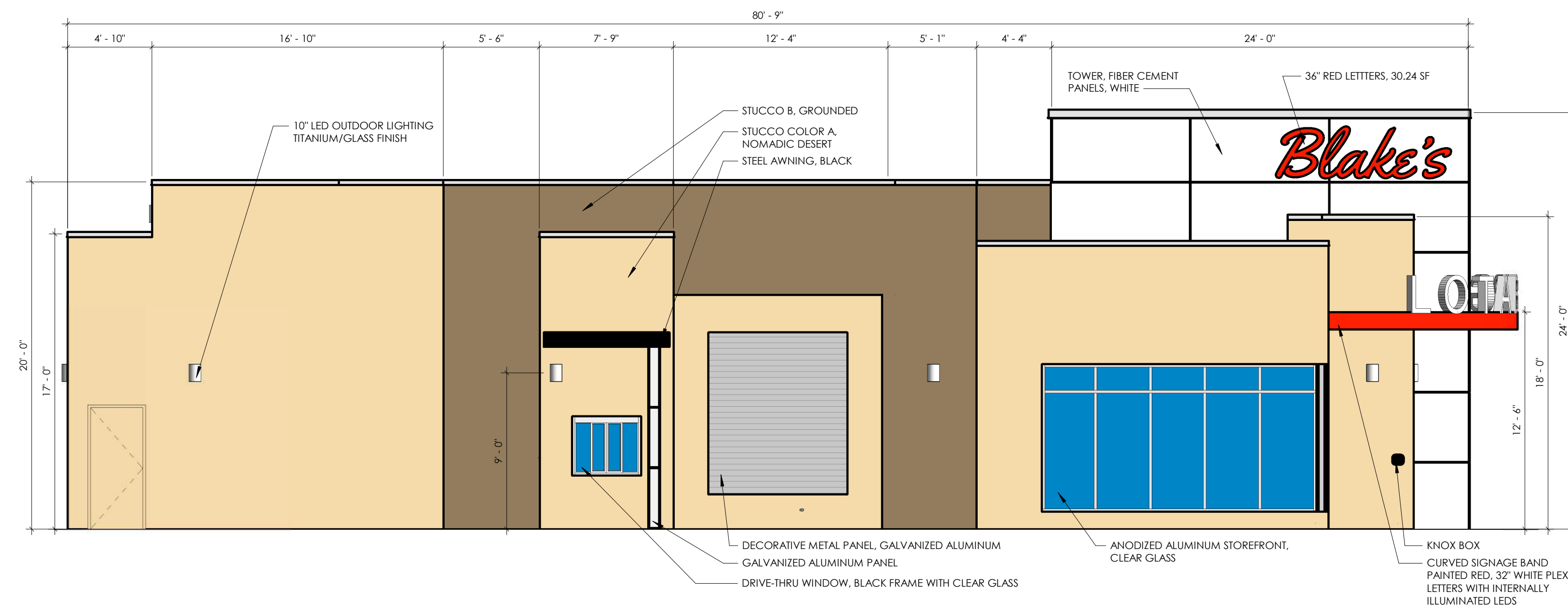
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DRB-ELEV

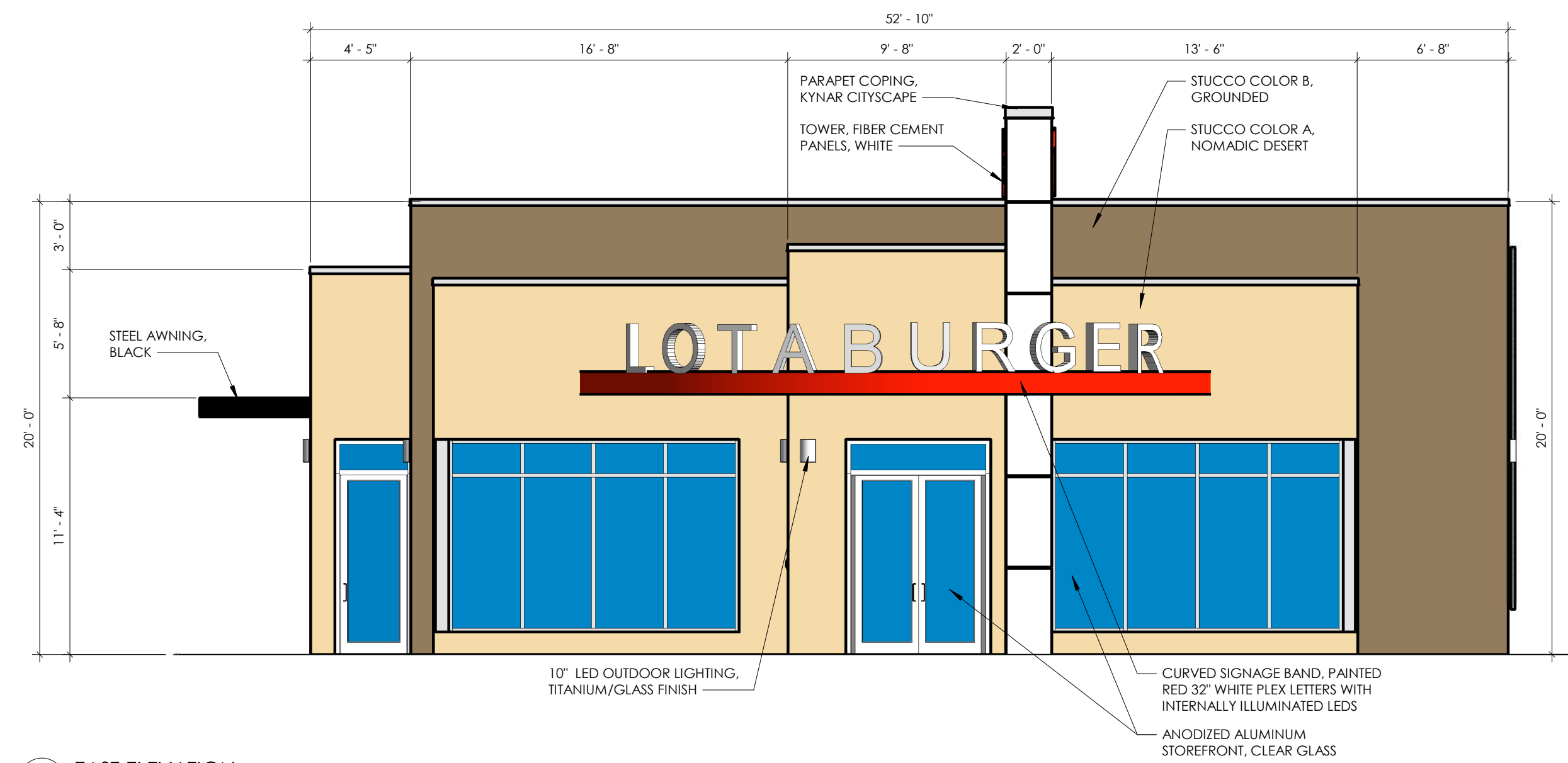
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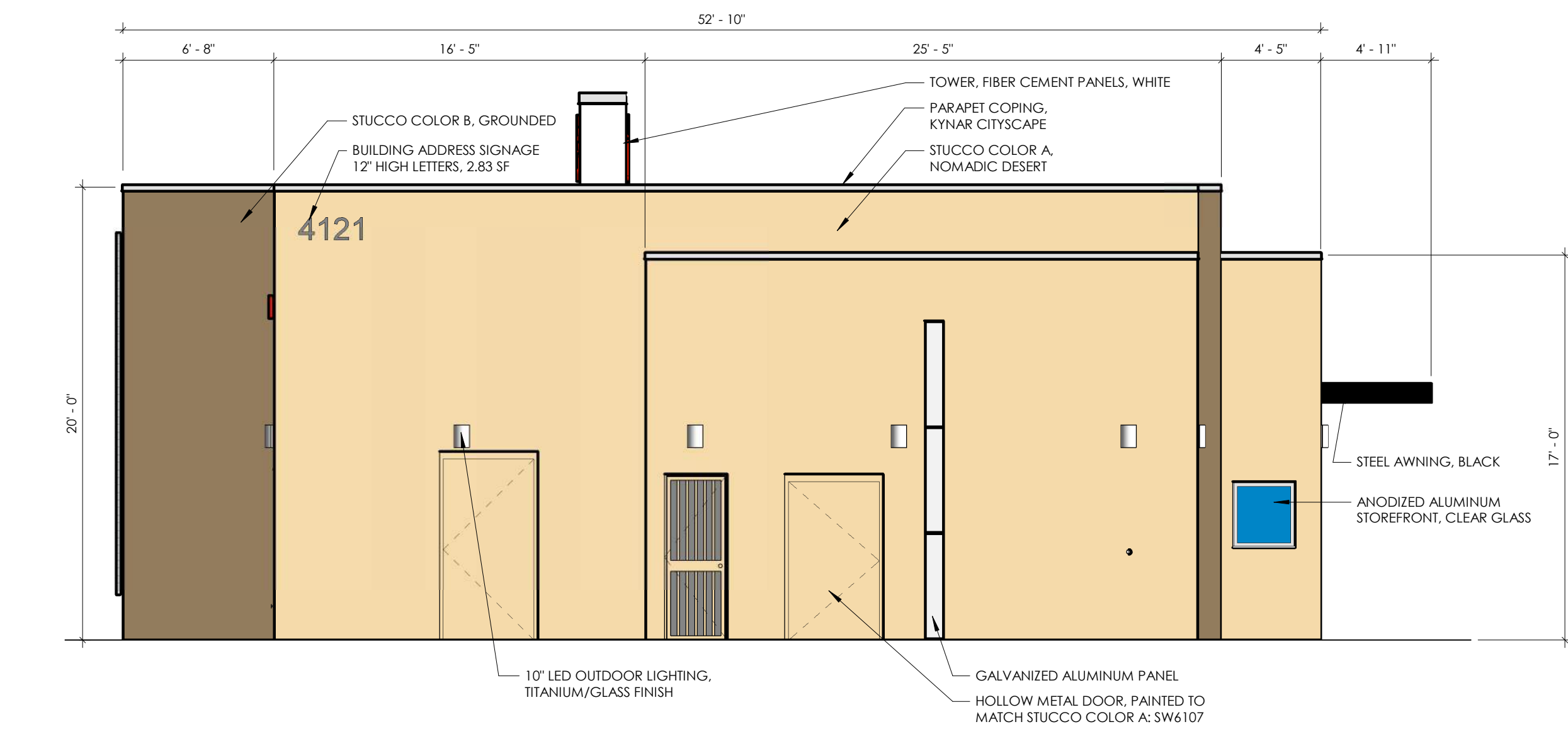
D1 NORTH ELEVATION
3/16" = 1'-0"



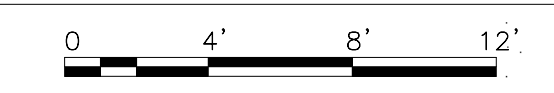
C1 SOUTH ELEVATION
3/16" = 1'-0"



A1 EAST ELEVATION
3/16" = 1'-0"



A3 WEST ELEVATION
3/16" = 1'-0"



△	
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△	
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DRAWN BY	CS, JMG, MB
REVIEWED BY	CG, MB
DATE	12/13/16
PROJECT NO	15-0158.001

DRAWING NAME
**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION**

GENERAL NOTES

A1. APPLICABLE PLANS; REFER TO DESIGN GUIDELINES, SHEET DS101 AND DS102, PROJECT DESIGN STANDARD GUIDELINES, THIS PACKAGE.

KEYED NOTES

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- SHOPPING CENTER SIGN
- N.M.D.O.T. ELECTRONIC READER BOARD (AS PER NMDOT STANDARDS & SPECS)
- STAMPED CONCRETE PEDESTRIAN CONNECTION AT QUAKER HEIGHTS
- EXISTING N.M.D.O.T. - E.R.B. TO BE REMOVED BY APPLICANT (AS PER NMDOT STANDARDS & SPECS)

KEYED NOTES - CIVIL/SURVEY

- PROPOSED PRIVATE ACCESS & SURFACE DRAINAGE EASEMENT.
- PROPOSED PRIVATE BLANKET DRAINAGE EASEMENT.
- PROPOSED 25' WIDE PUBLIC C.O.A. DRAINAGE EASEMENT.
- PROPOSED 10' PUBLIC UTILITY EASEMENT.
- PROPOSED 20' PUBLIC ABCWUA WATER EASEMENT.
- PROPOSED 10' PRIVATE SANITARY SEWER EASEMENT.

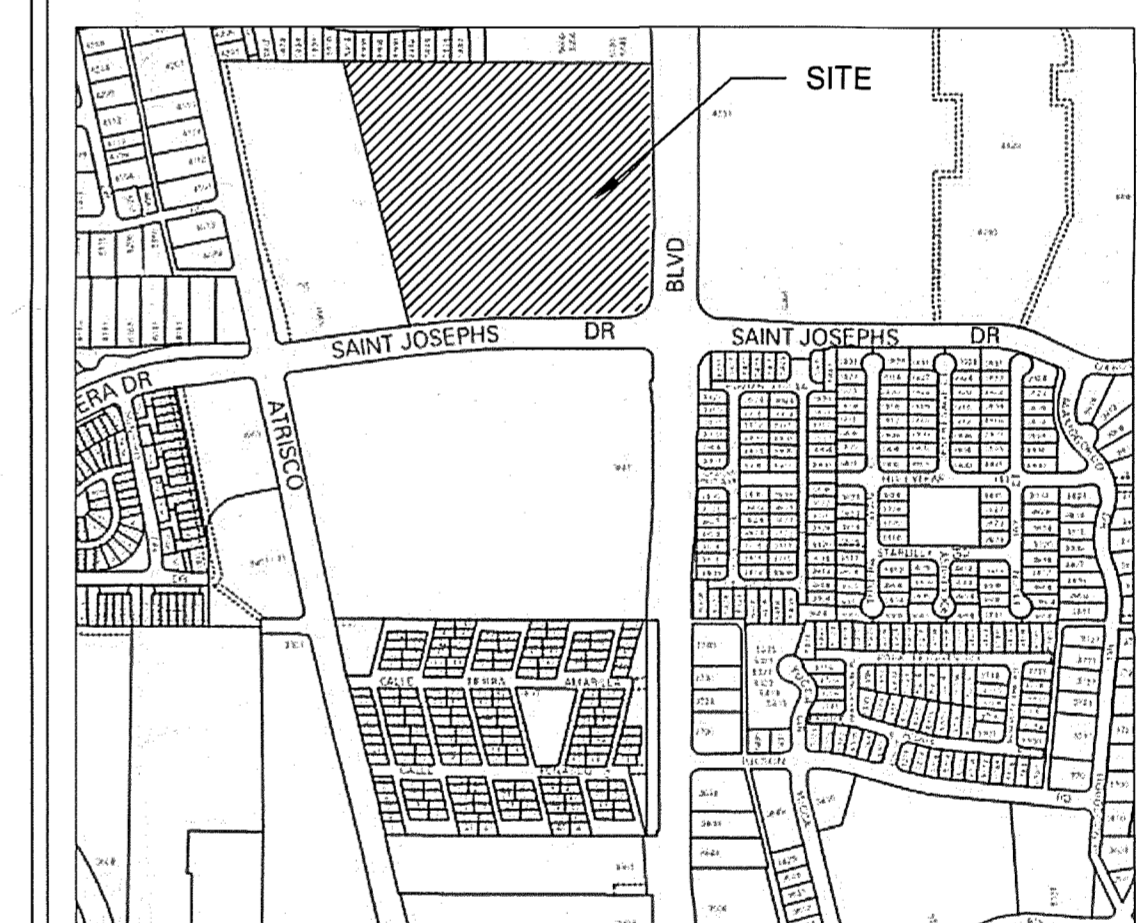
SITE DATA

LEGAL DESCRIPTION:
TRACT X-1-A2 PLAT OF TRACTS X-1-A1 & X-1-A2 UNIVERSITY OF ALBUQUERQUE URBAN CENTER CONT 21.2244 AC OR 924,537 SF
Acres: 21.2244
ZONE CLASS:
C-2, O-1
MAXIMUM BUILDING HEIGHT: SEE DESIGN STANDARDS
BUILDING SETBACKS: SEE DESIGN STANDARDS
PROPOSED USES: USES WITHIN THE C-2 & O-1 ZONING CLASSES
MAXIMUM FAR: AS PER ALB. LOCAL CODE & THE DESIGN STANDARDS

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED

VICINITY MAP



Zone Atlas Map G-11-Z nts

FORMER PROJECT NUMBER:

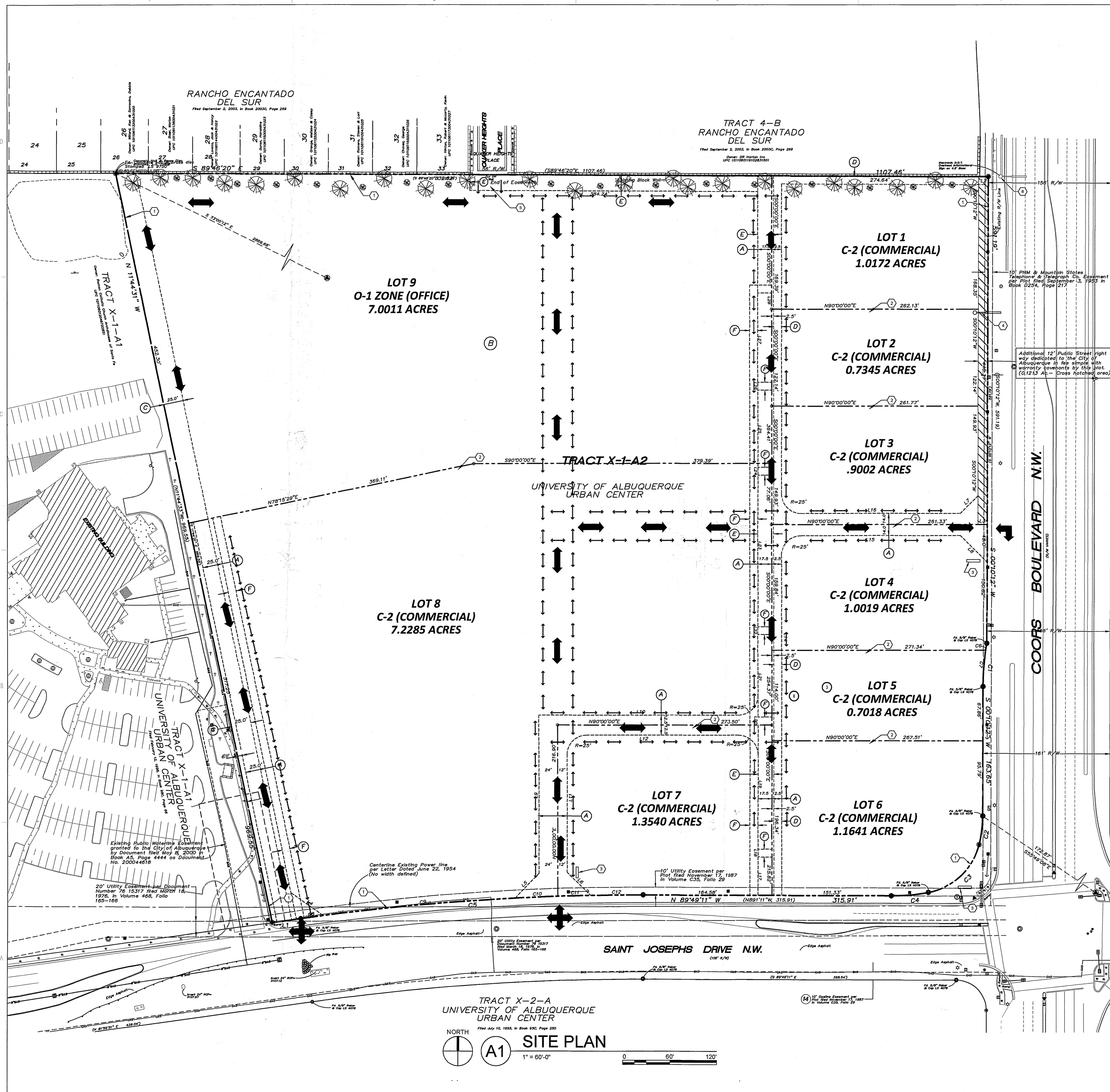
PROJECT NUMBER: PA# 15-175, CASE FILE 100032, EPC-40123-2013

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

<i>Rogers M. Wind</i>	12/21/16
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Wolp Lade</i>	12-21-16
ABCWUA	DATE
<i>Carol S. Dumont</i>	12-21-16
PARKS AND RECREATION DEPARTMENT	DATE
<i>APC</i>	12-21-16
CITY ENGINEER	DATE
<i>Paul Chis</i>	1-23-17
SOLID WASTE MANAGEMENT	DATE
DRC CHAIRPERSON, PLANNING DEPARTMENT	DATE



SITE PLAN
1" = 60'-0"
0 60' 120'

DESIGN STANDARDS

I. PURPOSE & INTENT

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the COORS PAVILION 21 acre mixed use property (Community Activity Center), and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds office space and supporting retail / restaurant amenities to the Coors Blvd. corridor. Intended uses include a medical office building, office uses, retail uses within "shops buildings", restaurants (with drive thru windows), coffee shop with drive thru window, pharmacy (with drive thru window) and "junior box" retail shopping buildings.

- a. Goals:
 - i. Aesthetic treatments and material selection that provides consistency in design across the entire property.
 - ii. A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a 'park once and walk' outcome that allows for easy access within the 23 acre mixed use center.
- b. Permissive and conditional uses shall be as allowed under the C-2 Zone and O-1 of the City of Albuquerque's Code of Ordinances (provided however the Site Development Plan for Subdivision is not requesting residential uses).
- c. All Design Standards are intended to meet the intent and requirements of the City of Albuquerque's Code of Ordinances.

II. SETBACKS & BUILDING HEIGHT LIMITATIONS

The underlying site zoning is "SU-3 for Mixed Use: Church and Related Uses for approximately 10 acres; a minimum of approximately 7 acres shall be developed for office (O-1), the balance of the property is to be developed as (C-2) commercial or (O-1) office" (Note: The Site Development Plan for Subdivision application is not requesting residential land uses on the Subject Property). The Applicant is allocating the northwest corner of the Subject Property for the office zoning. The site is surrounded by development that consists primarily of retail and residential uses. Therefore, the setbacks and building heights should be similar to those in C-2 zone.

- a. Building setbacks shall conform to the requirements of the C-2 Zone of the City of Albuquerque's Code of Ordinances except as noted below.
 - i. Buildings on lots adjacent to the residential zoned property to the north shall be setback not less than 20 feet from the property line in order to provide adequate buffer for the homes located to the north of the property.
- b. Landscape setbacks shall conform to the requirements of Section 14-16-3-10 of the City of Albuquerque's Code of Ordinances.
- c. Building heights shall be as allowed as described under the R-3 Zone of the City of Albuquerque Code of Ordinances, provided that the retail buildings along Coors Blvd. shall not exceed 36 feet in height (and be one story), and the office buildings at the west edge of this Subject Property shall not exceed two stories in height.
- d. The University of Albuquerque Urban Center Sector Development Plan requires that all building height conform to the R-3 height limitations of the Zoning Code provided that the retail buildings along Coors Blvd. shall not exceed 36 feet in height (and be one story), and the office buildings at the west edge of this Subject Property shall not exceed two stories in height.
- e. Pursuant to Policy 2.A.1. of the Coors Corridor Plan (Pg. 89) there shall be a minimum front yard setback from the right-of-way of 15 feet along Coors Blvd. and St. Joseph's Road for all buildings.
- f. Pursuant to Policy 2.A.2. of the Coors Corridor Plan (Pg. 89) which states "The side yard and rear yard setback requirements shall be the same as required in the underlying zone."

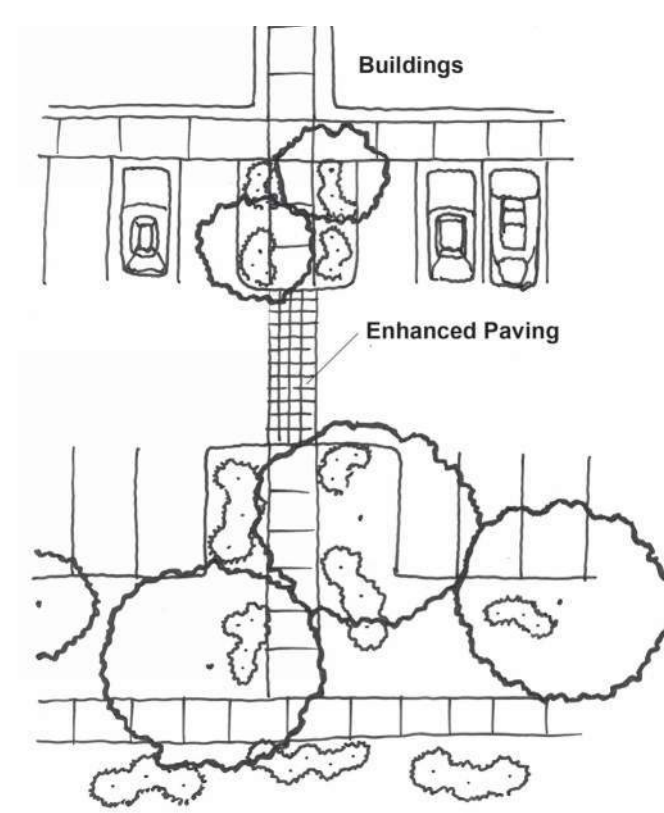
III. PARKING

In order to support the goal of creating a pedestrian friendly environment, careful attention should be given to parking area design. To lessen its visual impact, parking should be broken into a series of smaller areas, and views of parking from off-site should be interrupted with screening materials (3' tall landscape walls) or landscape buffer (shrubs, plantings, etc.).

- a. Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with Section 14-16-3-1 of the City of Albuquerque's Code of Ordinances.
 - i. Parking areas shall be designed to include a 6 foot wide minimum pedestrian walkway link to buildings.
 - ii. Pedestrian links across parking drive aisles shall be distinguished with striping or materials distinguishable from the roadway material.
 - iii. iParking shall be screened from residential neighborhood to the north by means of a minimum height of 2.5 to 3 foot high walls and / or landscaping

buffer. Walls shall be architecturally compatible with surrounding buildings (earth toned stucco or earth toned CMU block wall).

- b. Bicycle parking shall comply with Section 14-16-3-1(B) of the City of Albuquerque's Code of Ordinances.
 - i. To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- d. Building orientation shall allow for visibility of the main entrance from parking areas and pedestrian connections.
- e. Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.
 - i. Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.
- f. All Off Street Parking areas shall comply with the off-street parking requirements of the Coors Corridor Plan (Page 94).



IV. PEDESTRIAN CONNECTIONS & AMENITIES

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- a. Pedestrian connections within parking lots shall comply with Section 14-16-3-1(H) of the City of Albuquerque's Code of Ordinances.
 - i. Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter along Coors Blvd. and along St. Joseph's Road.
 - ii. Parking areas shall include pedestrian connections to all buildings within the property.
 - iii. Shade provided with trees or shade structures shall be provided consistent with the City of Albuquerque Code of Ordinances regarding landscaping on site.
- b. A minimum 120 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurants may be combined into one with a total area equal to 120 square feet per establishment.
 - i. Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per Section 14-16-3-18(C)(4) of City of Albuquerque's Code of Ordinances.
 - ii. Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
 - iii. Areas designated for public space or seating shall be defined with landscape elements, low seat walls, benches, planters, paving patterns, or materials distinguishable from the pedestrian sidewalk and parking areas.
- c. All pedestrian connections shall conform to the requirements of Section 14-16-13-1(H) (Off Street Parking Regulations, Pedestrian Connections) of the Comprehensive Zoning Code.



V. LANDSCAPING

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- a. ALL LANDSCAPING shall conform to the site landscaping requirements of the Coors Corridor Plan (Page 92).
- b. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance)
- c. A minimum of 15% of the net site area shall be devoted to landscape materials.
- d. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- e. Gravel shall be a 1-1/2" maximum, the color to be consistent with across the entire property.
- f. All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- g. Minimum plant material sizes at the time of installation shall be:
 - i. Canopy Trees - 2" Caliper
 - ii. Evergreen Trees - 10' Minimum height
 - iii. Accent Trees - 2" Caliper
 - iv. Shrubs and Groundcovers - 1 gallon minimum
- h. Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- i. Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
- j. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
- k. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- l. Landscape Plans shall be designed using plants selected from the following palette:

LARGE TREES

Accolade Elm	Ulmus hybrid "Accolade"
Afghan Pine	Pinus eldarica
Austrian Pine	Pinus nigra
Chinese Pistache	Pistacia chinensis
Escarpment Oak	Quercus fusiformis
Japanese Pagoda Tree	Sophora japonica
Modesto Ash	Fraxinus velutina "Modesto"
Purple Robe Locust	Robinia pseudoacacia "Purple Robe"
Raywood Ash	Fraxinus velutina "Raywood"
Rio Grande Cottonwood	Populus wislizenii
Texas Red Oak	Quercus buckleyi

SMALL TREES

Chaste Tree	Vitex agnus-castus
Desert Willow	Chilopsis linearis
Golden Rain Tree	Koeleruteria paniculata
New Mexico Olive	Forestiera neomexicana
Oklahoma Redbud	Cercis reniformis
Sensation Maple	Acer negundo "Sensation"

SHRUBS

Apache Plume	Fallugia paradoxa
Bird of Paradise	Caesalpinia gilliesii
Blue Rubber Rabbitbrush	Ericameria nauseosus "Blue"
Buffalo Juniper	Juniperus
Creeping Mahonia	Mahonia repens
Damianita	Chrysactinia mexicana
Dark Knight Blue Mist Spirea	Caryopteris clananensis "Dark Knight"
Black Knight Butterflybush	Buddleia davidii "Black Knight"
Dwarf Fragrant Sumac	Rhus aromatica "Gro-low"
Fernbush	Chamaebatiaria millefolium
Littleleaf Mountain Mahogany	Cercocarpus intricatus
Moonlight Scotch Broom	Cytisus scoparius "Moonlight"
Pawnee Buttes Western Sand Cherry	Prunus bessyii "Pawnee Buttes"
Thompson Broom	Baccharis hybrid "Starn Thompson"
Threeleaf Sumac	Rhus trilobata
Turpentine Bush	Ericameria laricifolia
Winter Gem Boxwood	Buxus japonica "Winter Gem"

GRASSES

Blonde Ambition Blue Grama Grass	Bouteloua "Blonde Ambition"
Blue Avena Grass	Helictotrichon sempervirens
Deergrass	Muhlenbergia rigens
Giant Sacaton	Sporobolus wrightii
Indian Grass	Sorghastrum nutans
Karl Foerster Feather Reed Grass	Calamagrostis acutiflora "Karl Foerster"
Native Wonder Grass Blend	50% Buchloe dactyloides/ 50% Bouteloua gracilis

Mexican Feathergrass
Prairie Dropseed
The Blues Bluestem

Variegated Reed Grass

ACCENTS

Beargrass
Broadleaf Yucca
Desert Spoon
Parry's Agave
Prickly Pear Cactus
Red Yucca

PERENNIALS

Autumn Sage varieties
Blanketflower species
Butterfly Weed
Catmint species
Germander species
Desert Zinnia
Whirling Butterfly species

Hyssop species
Lavender species
May Night Sage
Penstemon species
Poppy Mallow
Rocky Mountain Columbine
Tickseed species
Turkish Speedwell
Yarrow species

VINE

Chinese Wisteria
Trumpet Vine

Nasella tenuissima
Sporobolus heterolepis
Schizachyrium scoparium "The Blues"
Calamagrostis acutiflora "Overdam"

Nolina microcarpa
Yucca baccata
Dasylirion wheeleri
Agave parryi
Opuntia engelmannii
Hesperaloe parviflora

Salvia greggii varieties
Gaillardia species
Asclepias species
Nepeta species
Teucrium species
Zinnia grandiflora
Gaura lindeheimeri varieties

Agastache species
Lavandula species
Salvia nemerosa
Penstemon species
Callirhoe involucrata
Aquilegia caerulea
Coreopsis species
Veronica liwanensis
Achillea species

Wisteria chinensis
Campsis radican

VI. WALLS & FENCES

Screening of less attractive areas such as parking and utility items, as well as management of grade changes that exceed simple slopes, should be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- a. ALL WALLS, FENCES and SCREENING shall conform to the requirements of Section 14-16-3-18 (General Building and Site Design Regulations for Non Residential Use) and 14-16-3-19 (General Height and Design Regulations for Walls, Fences and Retaining Walls) of the Zoning Code.
- b. Parking shall be screened from public rights-of-way by means of 2.5 to 3 foot high walls and / or landscaping buffer (shrubs or landscape material). These walls shall be architecturally compatible with surrounding buildings (Earth toned color).
- c. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage.
 - i. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
 - ii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
 - iii. Trash enclosures shall have solid, opaque gates as tall as the enclosure.
- d. Walls and fences shall be at least as tall as the objects they are intended to screen.
- e. All screening devices shall be in compliance with the City of Albuquerque DPS Clear Sight Triangle regulations.
- f. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18 (C) (6) of the City of Albuquerque's Code of Ordinances.
 - i. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- g. Walls and fences shall comply with Section 14-16-3-19 of the City of Albuquerque's Comprehensive Zoning Code.
- h. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- i. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- j. Acceptable wall & fence materials include but are not limited to:
 - i. stucco over concrete masonry units (CMU)
 - ii. split face block
 - iii. brick
 - iv. stone
 - v. curved interlock blocks
 - vi. wood pickets
 - vii. tubular steel, wrought iron bars, or other grill work
- k. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- l. The site is fairly level, but will likely require some retaining at the west perimeter adjacent to the Calvary parking lot.
 - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.

REVISIONS

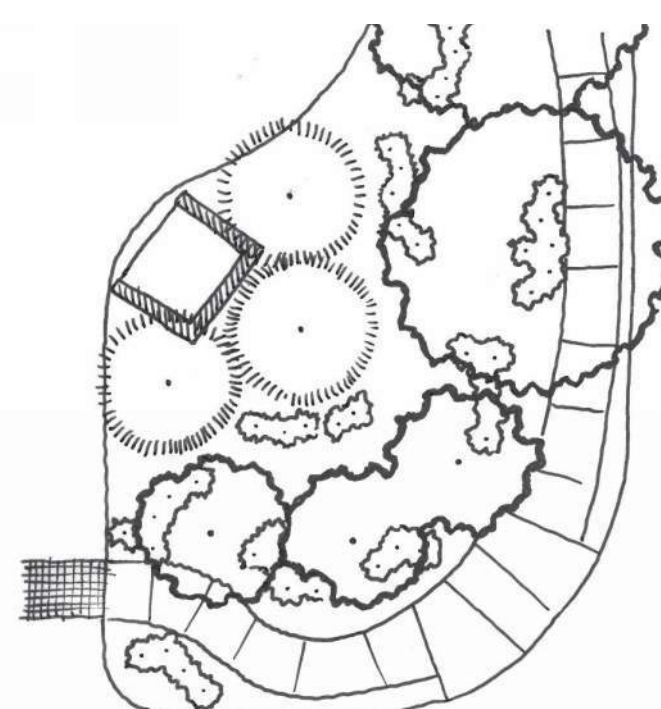
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REVIEWED BY	AMA
DATE	03.29.2016
PROJECT NO.	15-0158.001

**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION
DESIGN STANDARDS**

DESIGN STANDARDS (continued)

- ii. Retaining walls, seat walls, or elements intended to compensate for a slope in the site, shall avoid long unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
- iii. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes within the site.
- m. Grading and Drainage plans must comply with the City of Albuquerque's Drainage Ordinance.
 - i. All measures shall be taken to provide public safety at the pond location proposed within the northwest corner of the site.
 - ii. Site ponding shall be integrated with the landscape plan.
 - iii. Ponding location may cooperate with the westerly neighbor (St. Joseph's Church) to utilize a joint use pond and explore manners to transport storm water to Atrisco Road or to Rancho Encatado (and discharged into the City of Albuquerque pond facility) – IF APPROVED BY THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT.

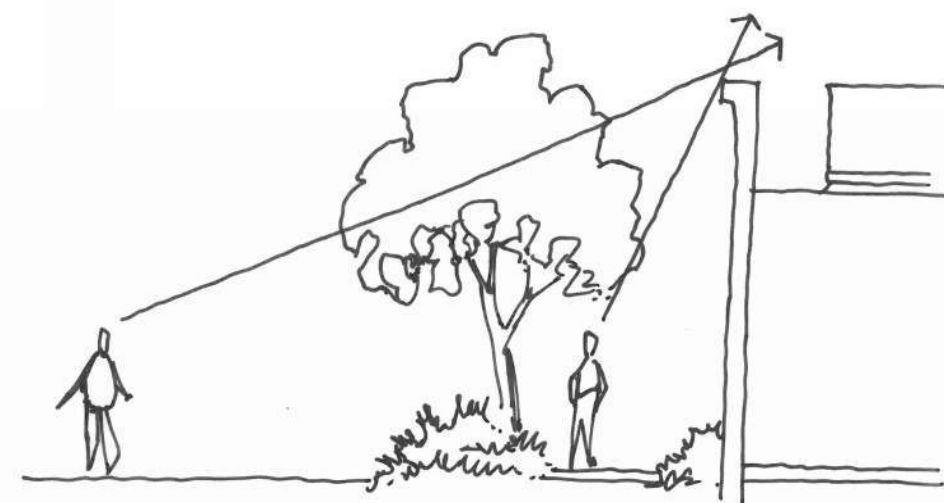


REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials

VII. UTILITIES

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment should be minimized by the following:

- a. All new electrical distributions lines shall be placed underground (this does not include the existing overhead PNM lines located along Coors Blvd that will be relocated as part of the Coors Blvd. expansion and right in right out deceleration lane).
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used on the adjacent buildings. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



MECHANICAL SCREENING - should be screened from public view

VIII. ARCHITECTURE

Architectural design of buildings and site features should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with General Building & Site Design Regulations for Non-Residential Uses of the City Zoning Code (14-16-3-18).
- b. Architectural Style
 - i. The development shall provide a cohesive material and color palette among all buildings (earth toned color palette)
 - ii. All buildings shall be "modern" or "southwestern

- modern" or "contemporary southwest" in design (that utilize earth toned color palette).
- iii. Historical references to traditional New Mexico styles should be a modern interpretation of those styles.
- iv. Each building may utilize a southwestern themed wainscot (stacked stone, tile, brick, etc.).

c. Articulation

- i. Buildings shall have a variety of structural forms to create visual character and interest.
- ii. Long unarticulated facades shall be avoided by using windows and glazing. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment such as offset, material, glazing, or fenestration.
- iii. Massing elements shall be reinforced with color variation or material distinctions.

d. Materials

- i. The architectural expression of all buildings shall reflect modern design with the use of materials appropriate to the New Mexico climate (EIFS, Stucco, Brick, Stacked Stone, etc.)
- ii. Individual building elements shall be of excellent design and quality materials such as:
 1. Metal wall panels
 2. Porcelain tile
 3. Natural stone panels
 4. Concrete
 5. Rammed earth
 6. Glass
 7. Stucco or Exterior Insulation & Finish System
 8. Brick or decorative concrete masonry units
- iii. The following external building materials shall be prohibited:
 1. Engineered wood paneling
 2. Vinyl or plastic siding
 3. Plain concrete masonry units
- iv. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patterned glazing is prohibited.
- v. Canopies, trellises, and awnings shall be of durable materials such as metal, corrugated metal, or steel.
- vi. Colors shall include light to medium earth tones with accent colors in limited areas.
 1. No more than one accent color shall be used per building.
 2. The use of contrasting colors for shade elements or awnings is encouraged.

IX. LIGHTING

To enhance safety, security and visual aesthetics, daytime and nighttime appearance of lighting design and fixtures shall be considered. The primary design objective of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- a. All lighting shall conform to the requirements of the University of Albuquerque – Lighting section contained within the development guidelines.
- b. All lighting shall conform to the requirements of the Site Lighting section of the Coors Corridor Plan (Page 98).
- c. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the City of Albuquerque's Comprehensive Zoning Code.
- d. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
- e. All free-standing lights shall be of consistent design throughout the site.
- f. High pressure sodium & cobra-head type lighting fixtures are not permitted.
- g. Light fixtures shall be located on Site Development Plans for Building Permit
- h. The height of street lights and off-street parking areas lights shall not exceed 26 feet.
- i. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.
- j. Pedestrian lighting shall not exceed 12 feet in height.

- k. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- l. Exterior elevations of buildings fronting the public right-of-way may be feature lighted to enhance the identity of the building.

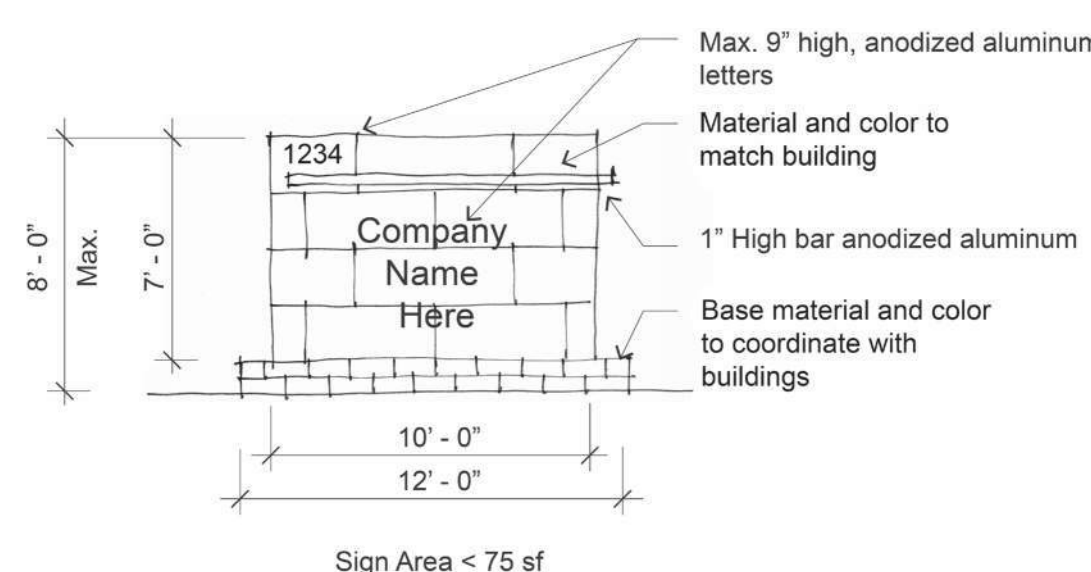


LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards

X. SIGNAGE

All signage shall conform to the requirements of the University of Albuquerque – Signage and Graphics Criteria section contained within the development guidelines. All signage shall conform to the requirements of the design regulations of the Coors Corridor Plan. Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

- a. All on site Signage shall comply with the Section 14-16-3-5 General Sign Regulations of the City of Albuquerque's Comprehensive Zoning Code.
- b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.
- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- d. Signs shall not overhang into the public right-of-way or extend above the building roof line.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs at each of the points of entry: (1) Corner of St. Joseph's and Coors Blvd. (2) Right In Right Out entrance driveway off of Coors Blvd (3) Entrance driveway off of St. Joseph's. These signs shall be coordinated to have the same appearance (height, size, color, material, text height, style etc.) at all locations.
- g. Building mounted signs shall have contrasting colors from the background and text height and font that ensures readability and comply with City of Albuquerque Code of Ordinances and the Coors Corridor Plan.
- h. No building mounted sign shall intrude upon architectural features including windows, columns, or canopies or decorative features.
- i. There shall be no ELECTRONIC display advertising boards allowed within the Coors Pavilion property.



SIGNAGE - should be coordinated with building and forms.

XI. PROCESS

All of the Site Development Plans for Building Permit for the buildings within this 21 acre community activity center (Coors Pavilion) shall be delegated to the Development Review Board and shall be consistent with the Design Standards established by this Site Development Plan for Subdivision.

XII. SECURITY
ALL THE BUILDINGS CONSTRUCTED WITHIN THE COORS PAVILION PROPERTY SHALL HAVE EXTERIOR SECURITY CAMERAS.

THIS NOTE WILL BE ADDED TO EACH SUBSEQUENT SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

REVISIONS	
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DRAWN BY	AMA
REVIEWED BY	AMA
DATE	09.21.2016
PROJECT NO.	15-0158.001
DRAWING NAME	