

VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page G-11.
- Lots 1 thru 9, Coors Pavilion are subject to that certain "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed December 13, 2016 as Document No. 2016116329 and that certain "DECLARATION OF TEMPORARY STORM WATER DRAINAGE EASEMENT", filed January 19, 2017 as Document No. 2017005194.

SUBDIVISION DATA

- Total number of existing Tracts: 2
- Total number of Lots created: 9
- Additional Public Right of way dedicated 0.2528 Ac.
- Gross Subdivision acreage: 21.2244 acres.

SHEET INDEX

SHEET 1 OF 4 -	Approvals, General Notes, Etc...
SHEET 2 OF 4 -	Legal Description, Free consent and dedication
SHEET 3 OF 4 -	Existing Plat Boundary and New Lots and Easements
SHEET 4 OF 4 -	Curve and Line Tables, Easement Legend

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:
 101106019549120846
 101106018038720705
 George Stone 4-11-17
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
 - New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 - Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
 - Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.
 Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

- The purpose of this Plat is to:
- Divide One (1) existing Tract into Nine (9) new Lots as shown hereon.
 - Grant the New Public and Private Easements as shown hereon.
 - Dedicate the additional Public street right of way as shown hereon.
 - Show the Temporary Private Blanket Drainage Easement VACATED BY 16DRB-70402.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 October 24, 2016



PLAT OF
LOTS 1 THRU 9
COORS PAVILION

(BEING A REPLAT OF TRACT X-1-A2,
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER)
 WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 IN
 PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2016

PROJECT NUMBER: 1000032

PLAT APPROVAL

UTILITY APPROVALS:

<i>Fernando Vigil</i> Public Service Company of New Mexico	11-3-16 Date
<i>Christina Halley</i> New Mexico Gas Company	11-2-16 Date
<i>[Signature]</i> Qwest Corporation, d/b/a CenturyLink QC.	11/2/2016 Date
<i>[Signature]</i> Comcast	11/2/16 Date

CITY APPROVALS:

<i>Steven N. Riechman P.S.</i> City Surveyor Department of Municipal Development	10/25/16 Date
Real Property Division	4-8-17 Date
Environmental Health Department	4-6-17 Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	4/6/17 Date
<i>[Signature]</i> ABCWA	04-05-17 Date
<i>[Signature]</i> Parks and Recreation Department	4/5/17 Date
AMAFCA	4/6/17 Date
City Engineer	4/6/17 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	4-6-17 Date

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 PLAT # 325 00 8 2017C P. 0042 Linda Stover, Bernalillo County

PLAT OF
LOTS 1 THRU 9
COORS PAVILION
 (BEING A REPLAT OF TRACT X-1-A2,
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER)
 WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 IN
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 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2016

LEGAL DESCRIPTION

Tract X-1-A2, as shown on the amended Plat of Tracts X-1-A1 and X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 12, 1998, in Plat Book 98C, Page 68.


Said Tract contains 21.2244 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF LOTS 1 THRU XX, COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

RED SHAMROCK 4, LLC
 a New Mexico limited liability company


 By: Joshua J. Skarsgard, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 17th day
 of March 2017, by Joshua J. Skarsgard as
 Managing Member of Red Shamrock 4, LLC.


 Notary Public

4/10/2017
 My commission expires



DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

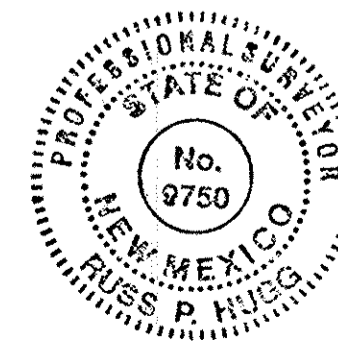
- A. Plat entitled "PLAT OF TRACTS X-1-A1 AND X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 1998", filed March 12, 1998, in Volume 98C, Folio 68, records of Bernalillo County, New Mexico.
- B. Plat entitled "AMENDED PLAT OF TRACTS X-2-A AND X-2-B, THE UNIVERSITY OF ALBUQUERQUE URBAN CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1995", filed July 10, 1995, in Volume 95C, Folio 250, records of Bernalillo County, New Mexico.
- C. Plat entitled "PLAT OF RANCHO ENCANTADO DEL SUR, A REPLAT OF TRACT 4, COORS VILLAGE, ALBUQUERQUE, NEW MEXICO, JULY 2003", filed September 2, 2003, in Volume 2003C, Folio 269, records of Bernalillo County, New Mexico.
- D. Plat entitled "AMENDED REPLAT OF VILLA DE PAZ, ALBUQUERQUE, NEW MEXICO, NOVEMBER, 1976", filed December 7, 1976, records of Bernalillo County, New Mexico.
- E. Title Commitment prepared for the surveyed property by Fidelity National Title Insurance Company, Commitment for Title Insurance No. FT000187105, dated September 15, 2015.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

FLOOD ZONE DETERMINATION

The subject property (as shown hereon) appears to lie within Zone "X" (areas determined to be outside 0.2% annual chance floodplain) in accordance with the National Flood Insurance Program Rate Map No. 35001C0114 H, Effective Date 8-16-2012.

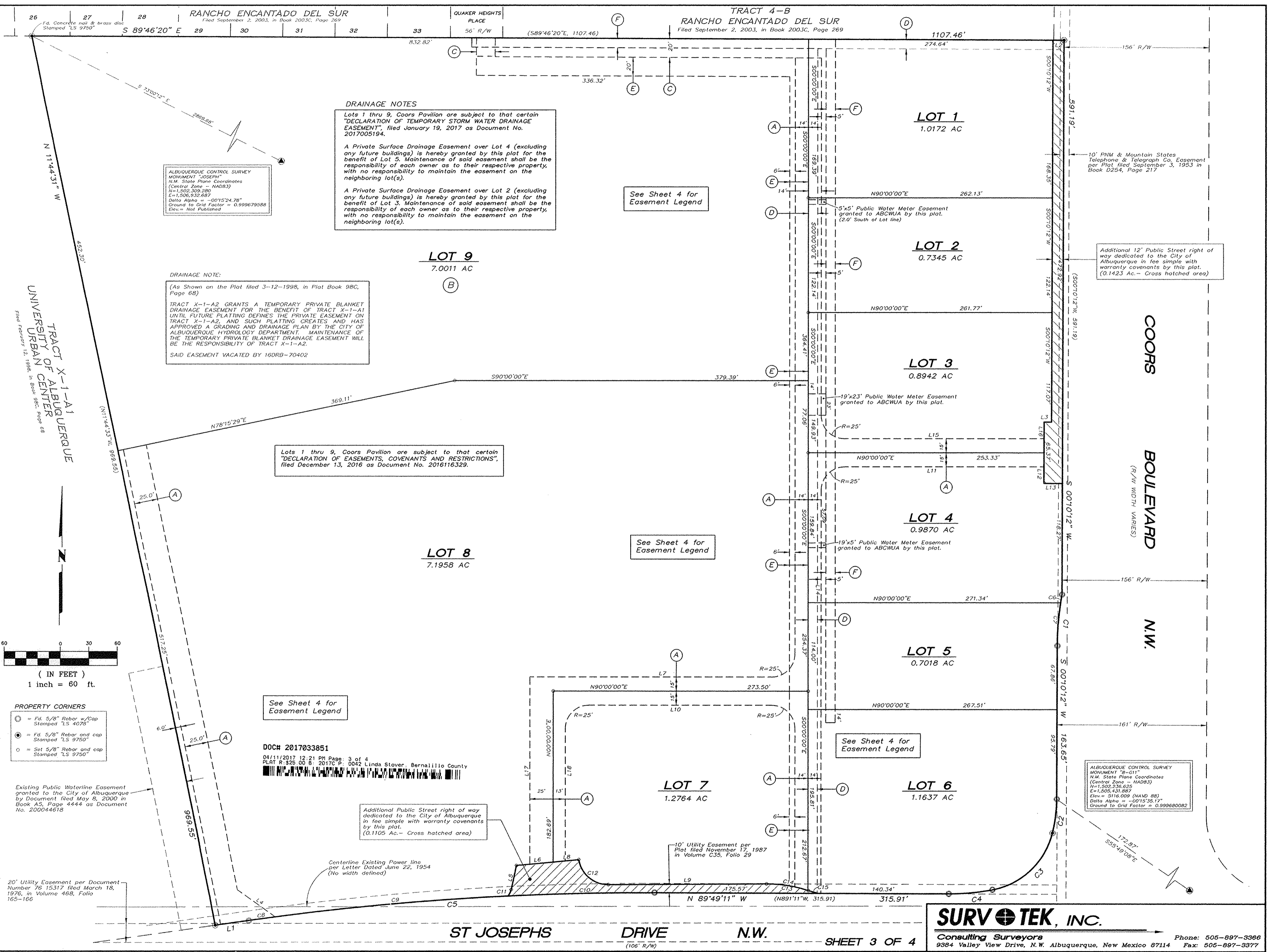


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SHEET 2 OF 4

SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3366
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377



DRAINAGE NOTES

Lots 1 thru 9, Coors Pavilion are subject to that certain "DECLARATION OF TEMPORARY STORM WATER DRAINAGE EASEMENT", filed January 19, 2017 as Document No. 2017005194.

A Private Surface Drainage Easement over Lot 4 (excluding any future buildings) is hereby granted by this plat for the benefit of Lot 5. Maintenance of said easement shall be the responsibility of each owner as to their respective property, with no responsibility to maintain the easement on the neighboring lot(s).

A Private Surface Drainage Easement over Lot 2 (excluding any future buildings) is hereby granted by this plat for the benefit of Lot 3. Maintenance of said easement shall be the responsibility of each owner as to their respective property, with no responsibility to maintain the easement on the neighboring lot(s).

ALBUQUERQUE CONTROL SURVEY MONUMENT "JOSEPH" N.M. State Plane Coordinates (Control Zone = NAD83) N=1,502,309.280 E=1,506,932.687 Delta Alpha = -0015'24.78" Ground to Grid Factor = 0.999679588 Elev. = Not Published

DRAINAGE NOTE:

(As Shown on the Plat filed 3-12-1998, in Plat Book 98C, Page 68)

TRACT X-1-A2 GRANTS A TEMPORARY PRIVATE BLANKET DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT X-1-A1 UNTIL FUTURE PLATTING DEFINES THE PRIVATE EASEMENT ON TRACT X-1-A2. AND SUCH PLATTING CREATES AND HAS APPROVED A GRADING AND DRAINAGE PLAN BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT. MAINTENANCE OF THE TEMPORARY PRIVATE BLANKET DRAINAGE EASEMENT WILL BE THE RESPONSIBILITY OF TRACT X-1-A2.

SAID EASEMENT VACATED BY 16DRB-70402

Lots 1 thru 9, Coors Pavilion are subject to that certain "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed December 13, 2016 as Document No. 2016116329.

See Sheet 4 for Easement Legend

See Sheet 4 for Easement Legend

See Sheet 4 for Easement Legend

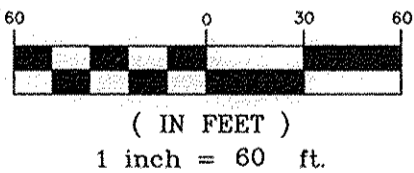
See Sheet 4 for Easement Legend

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Additional Public Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. (0.1105 Ac. - Cross hatched area)

Centerline Existing Power line per Letter Dated June 22, 1954 (No width defined)

10' Utility Easement per Plat filed November 12, 1987 in Volume C35, Folio 29



- PROPERTY CORNERS**
- ⊙ = Fd. 5/8" Rebar w/Cap Stamped "LS 4078"
 - ⊙ = Fd. 5/8" Rebar and cap Stamped "LS 9750"
 - = Set 5/8" Rebar and cap Stamped "LS 9750"

Existing Public Waterline Easement granted to the City of Albuquerque by Document filed May 8, 2000 in Book A5, Page 4444 as Document No. 200044618

20' Utility Easement per Document Number 76 15317 filed March 18, 1976, in Volume 468, Folio 165-166

PLAT OF
LOTS 1 THRU 9
COORS PAVILION
 (BEING A REPLAT OF TRACT X-1-A2,
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 IN
 PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2016

LINE TABLE		
LINE	LENGTH	BEARING
L1	36.65' (36.65')	S81°59'51"W (S81°59'51"E)
L2	12.00	S89°46'20"E
L3	8.00	N89°49'48"W
L4	49.74	S54°44'45"E
L5	26.39	N12°12'29"E
L6	39.52	N84°41'06"E
L7	259.50	N90°00'00"E
L8	27.61	N84°41'06"E
L9	169.88	N89°40'12"E
L10	196.50	N90°00'00"E
L11	214.27	N90°00'00"E
L12	32.49	S00°10'12"W
L13	20.19	N89°49'48"W
L14	227.87	N00°00'00"E
L15	214.36	N89°59'04"E
L16	32.89	S00°10'12"W
L17	200.01	N00°00'00"E
L18	141.48	N00°00'00"E

EXTERIOR BOUNDARY CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	55.49' (55.48')	307.00' (307.00')	55.41' (55.41')	S05°20'52"W (S05°20'52"W)
C2	36.50' (36.50')	150.00' (150.00')	36.41' (36.41')	S07°08'03"W (S07°08'03"W)
C3	93.35' (93.35')	82.00' (82.00')	88.39' (88.39')	S46°43'41"W (S46°43'41"W)
C4	47.29' (47.29')	250.00' (250.00')	47.22' (47.22')	S84°45'41"W (S84°45'41"W)
C5	436.02' (436.02')	3053.00' (3053.00')	435.65' (435.65')	S86°05'20"W (S86°05'20"W)

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C6	9.16'	307.00'	4.58'	9.16'	S09°40'16"W	1°42'32"
C7	46.33'	307.00'	23.21'	46.29'	S04°29'36"W	8°38'47"
C8	28.42'	3053.00'	14.21'	28.42'	S82°15'51"W	0°32'00"
C9	250.31'	3053.00'	125.23'	250.24'	S84°52'47"W	4°41'51"
C10	157.29'	3053.00'	78.66'	157.27'	S88°42'16"W	2°57'06"
C11	7.60'	15.00'	3.88'	7.52'	N26°43'17"E	29°01'36"
C12	44.98'	32.00'	27.11'	41.37'	S50°03'49"E	80°31'59"
C13	45.61'	140.00'	23.01'	45.40'	N80°59'53"W	18°39'51"
C14	45.15'	140.00'	22.77'	44.96'	N81°05'27"W	18°28'41"
C15	10.99'	140.00'	5.50'	10.98'	S73°54'51"E	4°29'48"

KEYED EASEMENT NOTES

- (A) = Private Access and Surface Drainage Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easements shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (B) = Private Blanket Drainage Easement across Lot 9 granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (C) = Private Drainage Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of the owners of said Lots 1 thru 9, Coors Pavilion as further defined in the recorded "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS".
- (D) = 10' Public Utility Easement granted by this Plat.
- (E) = 20' Public Water Easement granted to ABCWUA by this Plat.
- (F) = 10' Private Sanitary Sewer Easement granted by this Plat for the benefit and use of the owners of Lots 1 thru 9, Coors Pavilion. Maintenance of said easement shall be the responsibility of said owners.

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SHEET 4 OF 4

SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3368
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

Date

ABCWUA

Date

Parks and Recreation Department

Date

City Engineer/Hydrology

Date

Code Enforcement

Date

* Environmental Health Department (conditional)

Date

Solid Waste Management

Date

DRB Chairperson, Planning Department

Date

*Environmental Health, if necessary

GENERAL NOTES:

- SEE CIVIL PLANS FOR GRADING, DRAINING, UTILITY, AND CURB CUT LOCATIONS INFO.
- PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS WILL BE DESIGNED AND BUILT TO CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL EFFECTIVE RADII ALONG FIRE LANES SHALL BE 28'.
- PREMISE IDENTIFICATION SHALL BE PROVIDED WHERE ADJACENT PUBLIC ROADWAYS OCCUR.
- A KNOX BOX WILL BE PROVIDED FOR FIRE DEPARTMENT ACCESS.
- FIRE DEPARTMENT CONNECTIONS SHALL BE WITHIN 100' OF A FIRE HYDRANT.
- ALL ACCESS ROADS & AISLES SHALL BE PAVED & SHALL NOT EXCEED 10% OF GRADE.
- NO DIRECT ACCESS FROM COORS BOULEVARD.

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BFA+D
Barbara Felix
Architecture + Design

511 Agua Fria Street, Santa Fe, NM 87501
Phone: 505.820.1555 Fax: 505.820.1527

SITE DATA/INFORMATION

PARKING REQUIREMENTS (CITY OF ALBUQUERQUE, I.D.O. PART 14-1-6.5, SECTION 5-5)
SPACES REQUIRED:
RESTAURANT) 8 SPACES PER 1,000 SF
ACCESSORY USE (OUTDOOR DINING) 5 SPACES PER 1,000 SF

RESTAURANT (GROSS FLOOR AREA) 3,140 SF = 26 REQUIRED
OUTDOOR DINING 250 SF = 2 REQUIRED

TOTAL PARKING SPACES REQUIRED = 28
TOTAL PARKING SPACES PROVIDED = 31

ACCESSIBLE PARKING SPACES REQUIRED = 2 (1) VAN ACCESSIBLE
ACCESSIBLE PARKING SPACES PROVIDED = 2 (1) VAN ACCESSIBLE

TOTAL MOTORCYCLE PARKING SPACES REQUIRED = 2
TOTAL MOTORCYCLE PARKING SPACES PROVIDED = 2

BICYCLE PARKING SPACES = 10% OF REQUIRED OFF-STREET PARKING (2.8 SPACES) OR 3 SPACES (WHICHEVER IS GREATER) = 3 SPACES REQUIRED
TOTAL BICYCLE PARKING PROVIDED = 3

SIGNAGE

#	DESCRIPTION	SIZE	COLOR
01	ADA PARKING - VAN ACCESSIBLE	SEE DRAWING	GREEN ON WHITE
02	ADA ACCESSIBLE PARKING	SEE DRAWING	GREEN ON WHITE
03	MANAGER PARKING ONLY	12' X 18'	GREEN ON WHITE
04	PICK-UP ORDER ONLY	18' X 18'	GREEN ON WHITE
05	MOTORCYCLE PARKING ONLY	12' X 18'	GREEN ON WHITE
06A	NO PARKING AT ANY TIME (RIGHT ARROW)	12' X 18'	RED ON WHITE
06B	NO PARKING AT ANY TIME (LEFT ARROW)	12' X 18'	RED ON WHITE
07	YIELD	18' X 18'	WHITE ON RED
08	DO NOT ENTER	18' X 18'	WHITE ON RED
09	STOP	18' X 18'	WHITE ON RED
11	PED XING	24' X 18'	BLACK ON YELLOW

BLAKES LOTABURGER #75

4121 COORS BLVD. NW
ALBUQUERQUE, NM 87120

ISSUED

MARK	DATE	DESCRIPTION
02.28.20	DRB APPLICATION	
PROJECT NO		19018
FILE NAME		
DRAWN BY		CL
CHECKED BY		RS
Sheet Name		

SITE PLAN

LEGEND:

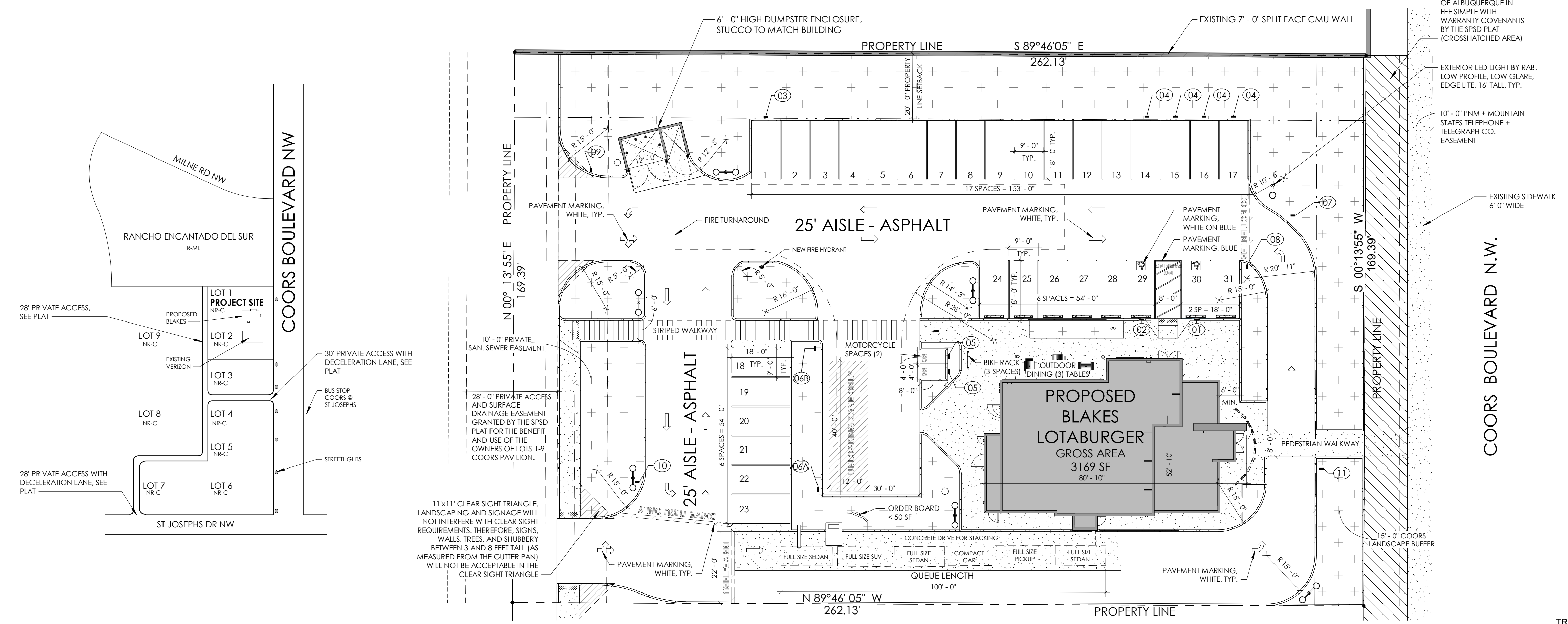
- SOFTSCAPE. SEE LANDSCAPING PLAN FOR DETAILS
- BOLLARD
- ADA CURB RAMP WITH TRUNCATED DOMES

Sheet No.

DRB-SITE

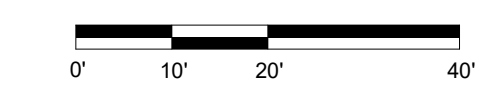
Sheet No. ___ of ___ Sheets

D
C
B
A



PROJECT ACCESS
1/16" = 1'-0"

A2 ARCHITECTURAL SITE PLAN
1" = 20'-0"



1

2

3

4

5



Barbara Felix Architecture + Design
 511 Agua Fria Street, Santa Fe, NM 87501
 Phone: 505.820.1555 Fax: 505.820.1527

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GENERAL NOTES:

- A. REFER TO SHEET G-001 FOR GENERAL NOTES, BUILDING CODE REFERENCES, BUILDING DATA AND ABBREVIATIONS.

KEY NOTES: THIS SHEET ONLY

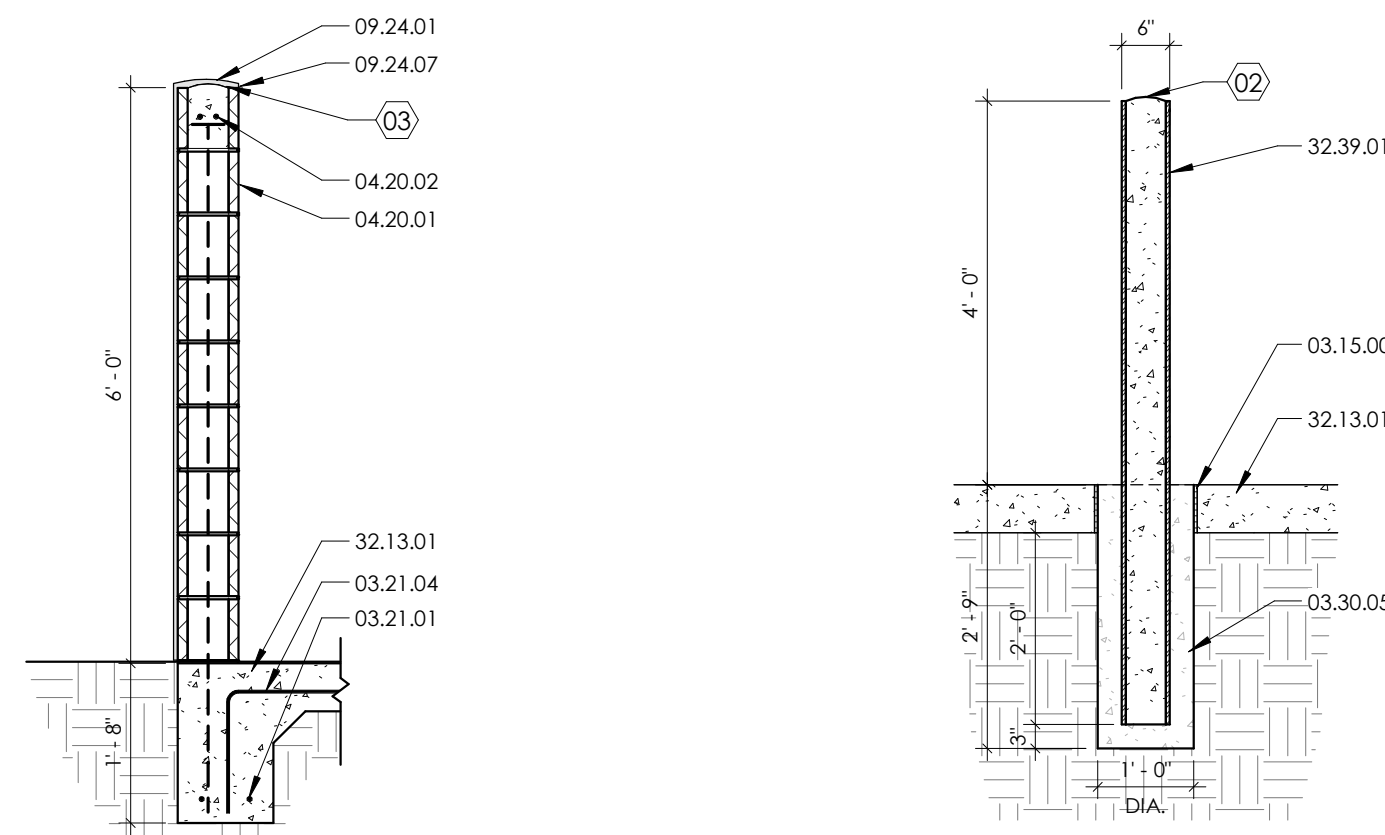
- 01 NOT USED
- 02 CROWN CONCRETE TOP
- 03 CROWN CONCRETE TOP IN PREPARATION FOR STUCCO

REFERENCE NOTES:

- 03 - CONCRETE**
- 03.15.00 CONCRETE EXPANSION JOINT
 - 03.21.01 (2) #5 REBAR CONTINUOUS
 - 03.21.04 #4 REBAR @ 16" O.C. EACH DIRECTION
 - 03.30.04 6" CAST-IN-PLACE CONCRETE TURN-DOWN SLAB
- 04 - MASONRY**
- 03.30.05 CAST-IN-PLACE POST FOUNDATION
 - 04.20.01 8" X 8" X 16" CMU
- 06 - WOODS, PLASTICS, COMPOSITES**
- 04.20.02 2-#5 BARS AT TOP KNOCK OUT BLOCK BOND BEAM CONTINUOUS: #5 BARS AT 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL AT 16" O.C.
- 07 - THERMAL AND WATER PROTECTION**
- 06.10.01 2X FRAMING
- 09 - FINISHES**
- 06.10.15 1/2" OSB
 - 07.21.01 R-20 BATT INSULATION
 - 09.22.03 4" METAL LEG CAP: BRUSHED STAINLESS STEEL
 - 09.24.01 2-COAT PORTLAND CEMENT STUCCO SYSTEM
- 22 - PLUMBING**
- 09.24.07 STUCCO WEEP SCREED
- 31 - EARTHWORK**
- 09.90.01 PAINT
- 32 - EXTERIOR IMPROVEMENTS**
- 22.13.04 SANITARY SEWER DRAIN - SEE DRAWING C2
 - 31.20.02 COMPACTED SOIL (REFER TO GEO-TECHNICAL REPORT)
 - 32.13.01 CONCRETE PAVING
 - 32.31.01 3" DEEP HOLE IN SLAB WITH PROTECTOR FOR GATE BOLT
 - 32.31.02 DECORATIVE METAL FENCE, AMERICAN EAGLE BRAND ORNAMENTAL IRON, 401-SPANISH MODERN
 - 32.31.04 GATE BOLT
 - 32.31.05 GATE BOLT
 - 32.31.06 1-1/2" TYPE B METAL DECK PANEL (WIDE RIB): KYNAR 500 FINISH
 - 32.31.07 METAL GATE, PAINTED
 - 32.31.08
 - 32.39.01

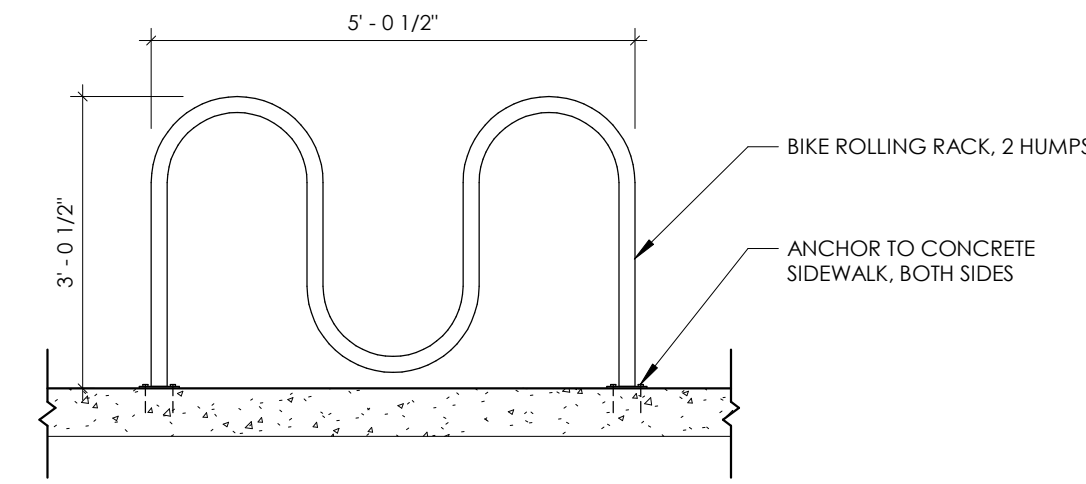
**Blake's
LOTABURGER**

**BLAKE'S LOTABURGER
#75**
 4121 COORS BLVD. NW
 ALBUQUERQUE, NM 87120



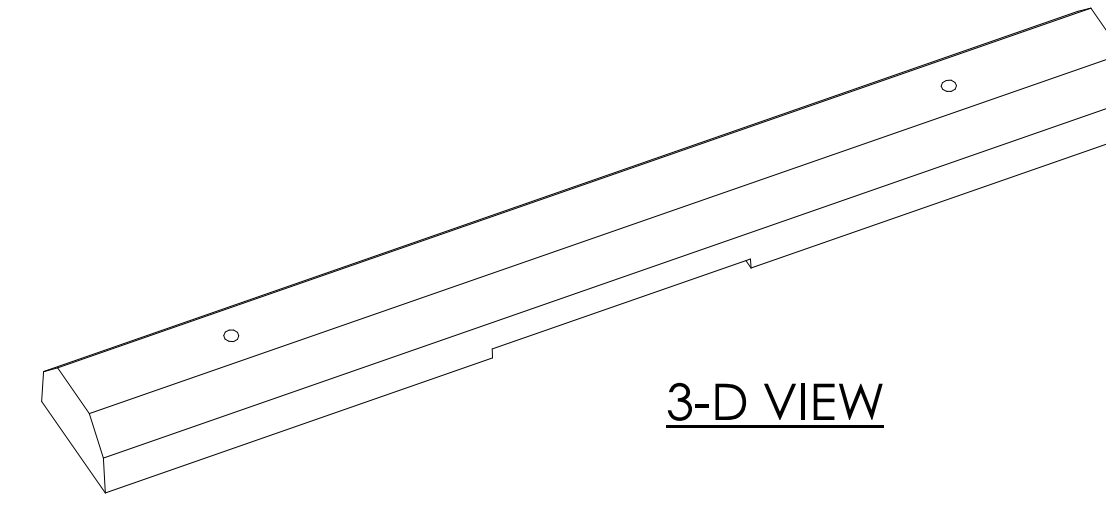
D1 TRASH ENCLOSURE SECTION
1/2" = 1'-0"

D2 BOLLARD & BOLLARD FOOTING DETAIL
1/2" = 1'-0"

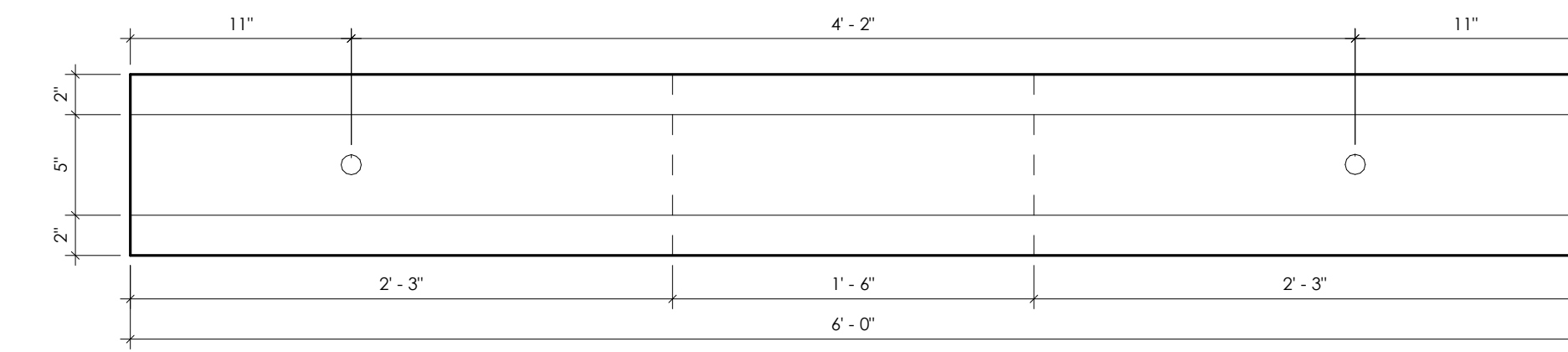


C1 BIKE RACK DETAIL
1/2" = 1'-0"

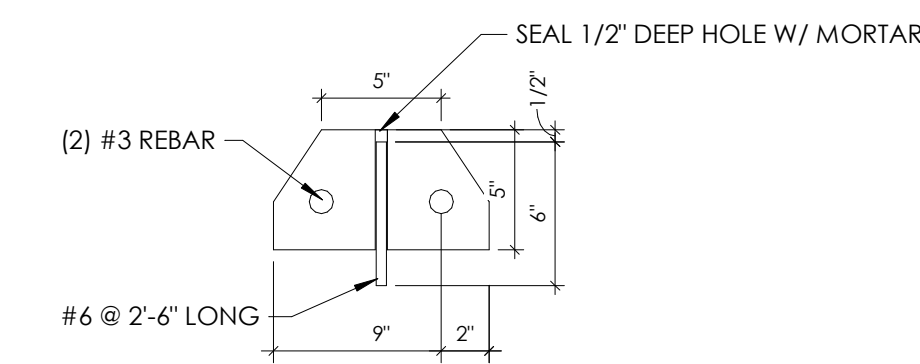
C2 WHEEL STOP
1 1/2" = 1'-0"



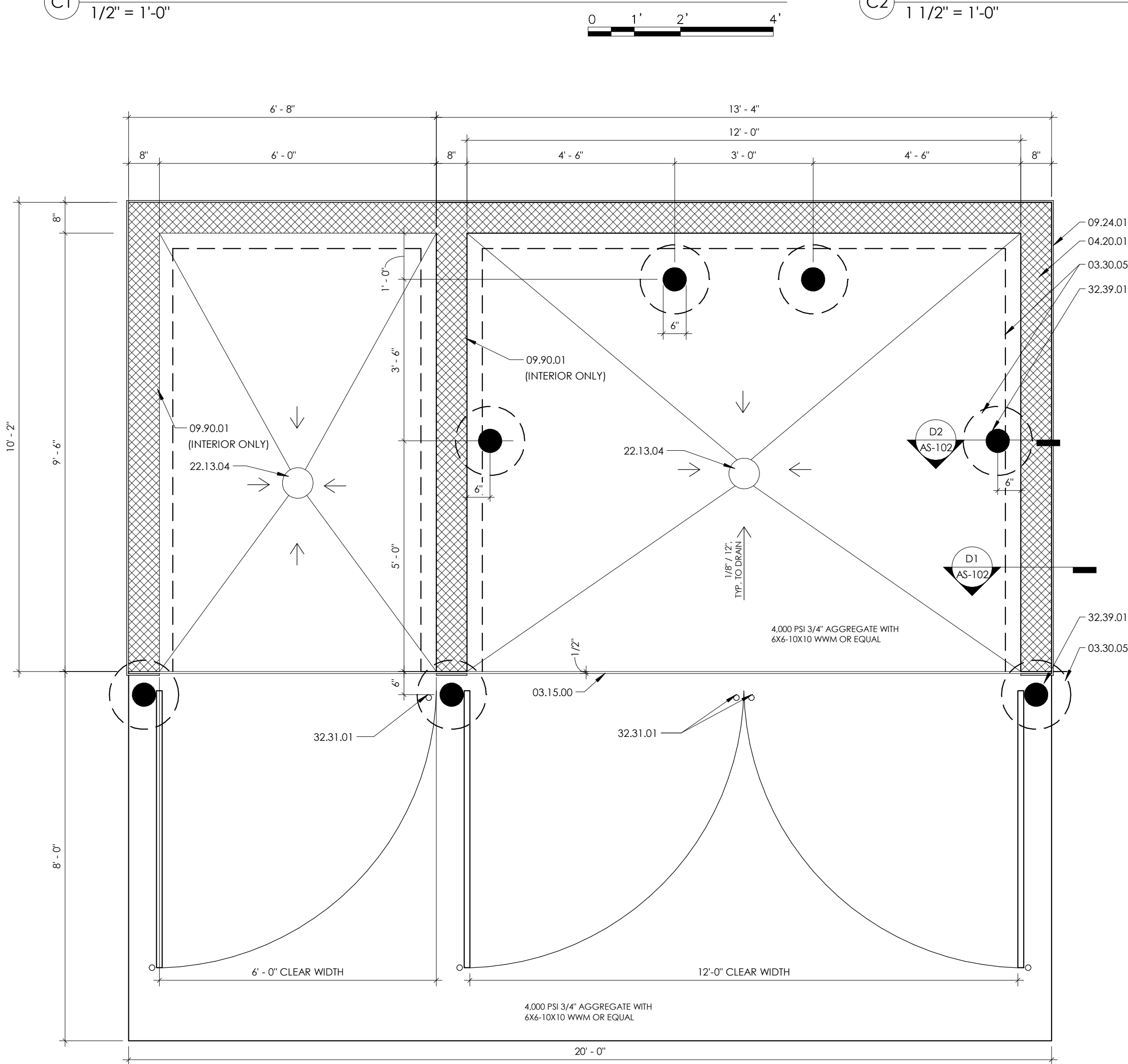
3-D VIEW



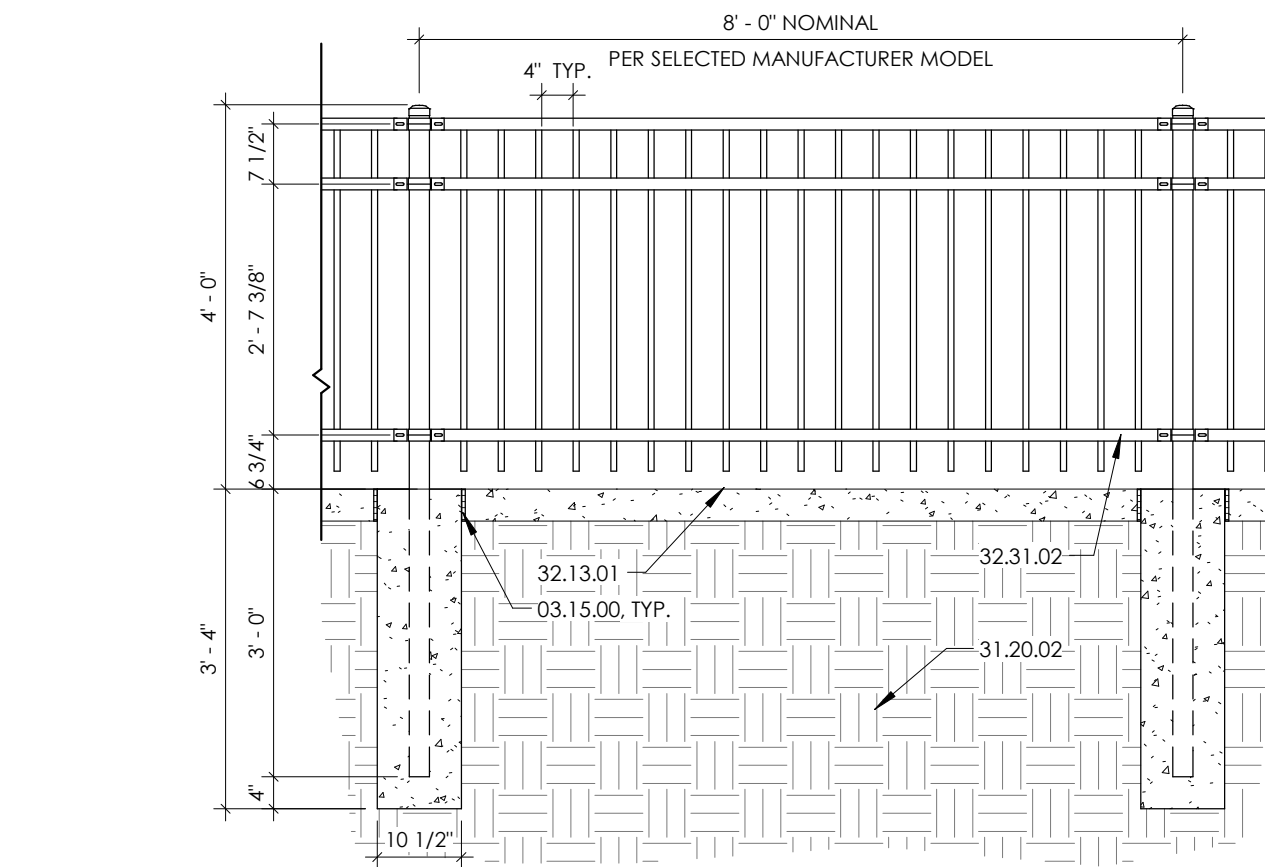
PLAN VIEW



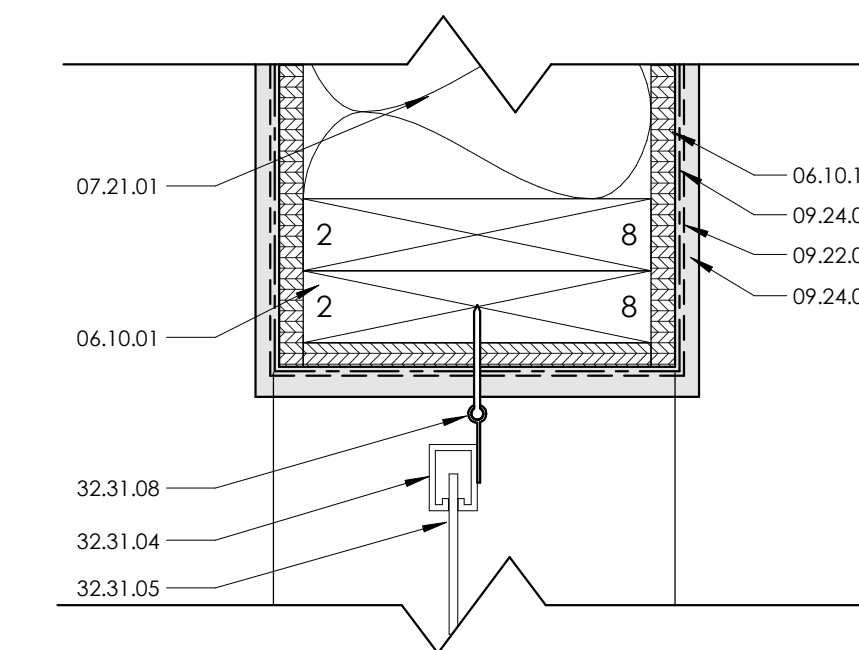
SECTION VIEW



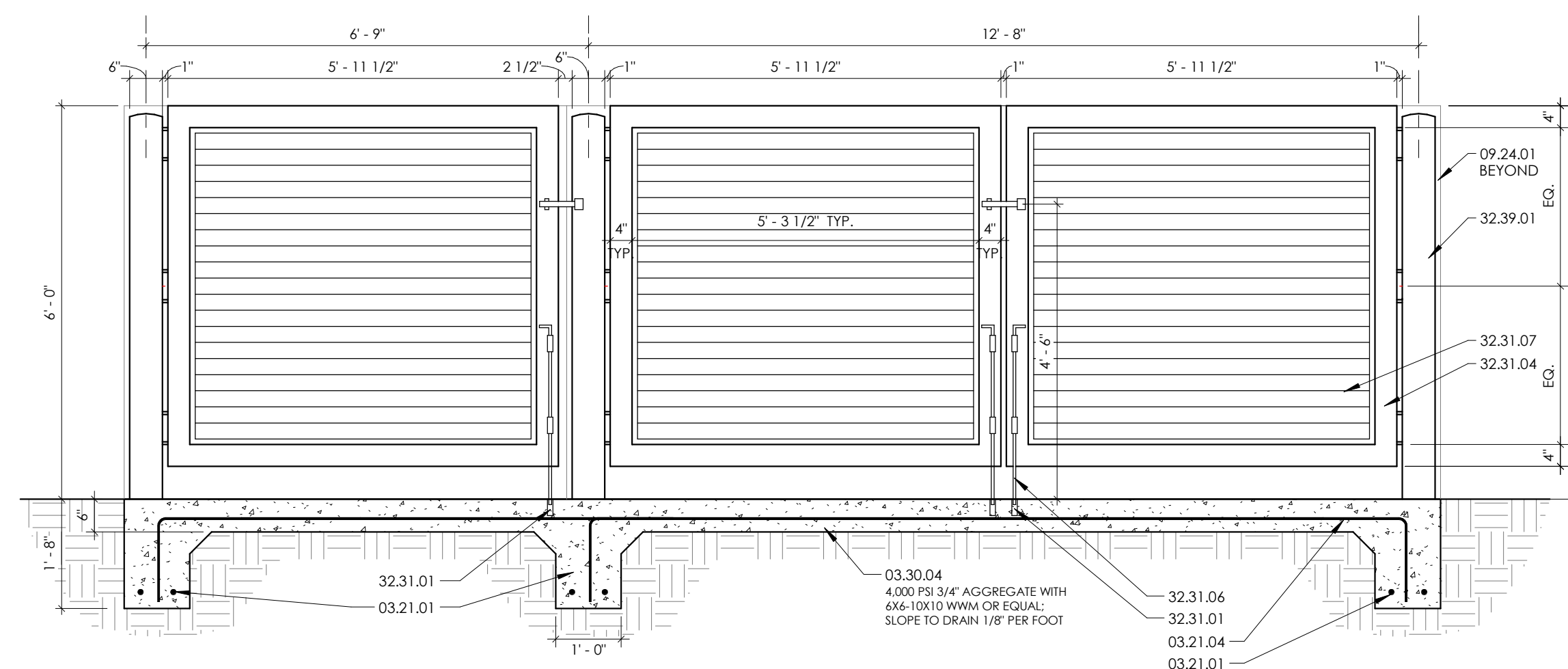
A1 REFUSE ENCLOSURE PLAN
1/2" = 1'-0"



B3 FENCE @ OUTDOOR DINING
1/2" = 1'-0"



B4 CO2 GATE JAMB (HEAD SIM. NO HDW)
3" = 1'-0"



A3 REFUSE ENCLOSURE ELEVATION
1/2" = 1'-0"

ISSUED	
MARK	DATE
02.28.20	DRB APPLICATION DESCRIPTION
PROJECT NO	19018
FILE NAME	C:\Users\Snyder\Documents\Store #75 [Coors + St. Joseph].becca.snyder.rvt
DRAWN BY	MS
CHECKED BY	BJF
Sheet Name	ARCHITECTURAL SITE DETAILS
Sheet No.	AS-102
	SHEET NO. ___ OF ___ SHEETS



Barbara Felix Architecture + Design
 511 Agua Fria Street, Santa Fe, NM 87501
 Phone: 505.820.1555 Fax: 505.820.1527

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GENERAL NOTES:

- A. REFER TO SHEET G-001 FOR GENERAL NOTES, BUILDING CODE REFERENCES, BUILDING DATA AND ABBREVIATIONS.
- B. SEE SHEET AS-101 FOR SITE SIGNAGE AND MARKING LOCATIONS

KEY NOTES: THIS SHEET ONLY

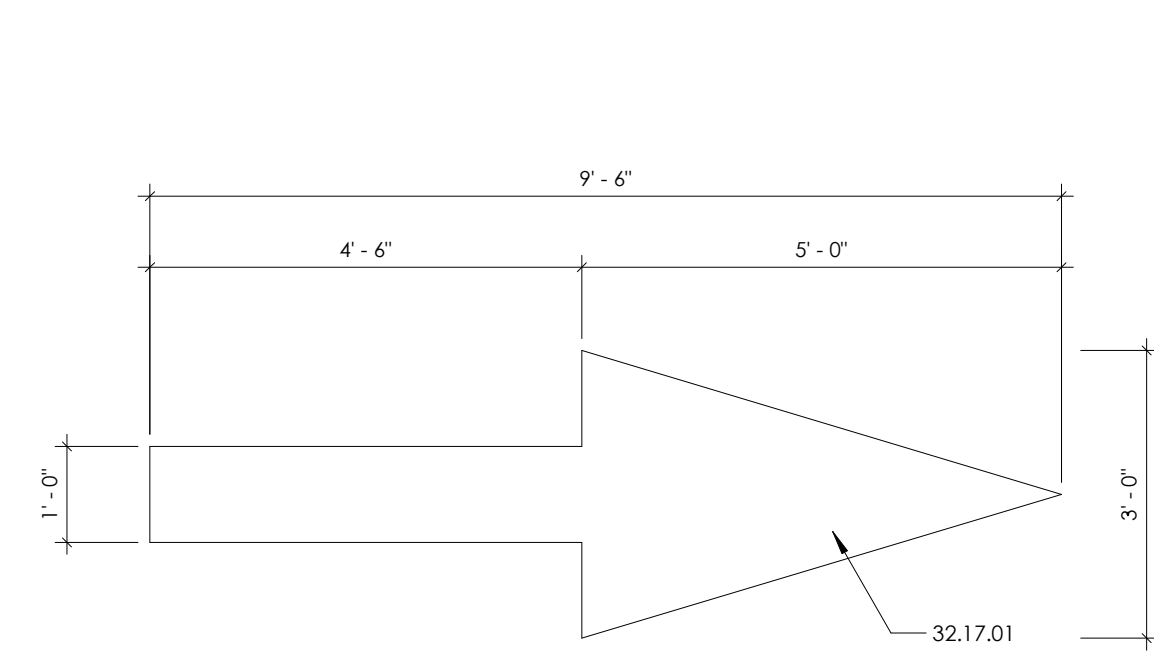
- 01 CROWN CONCRETE TOP
- 02 ADJACENT EXTERIOR SURFACE VARIES. SEE SITE PLAN

REFERENCE NOTES:

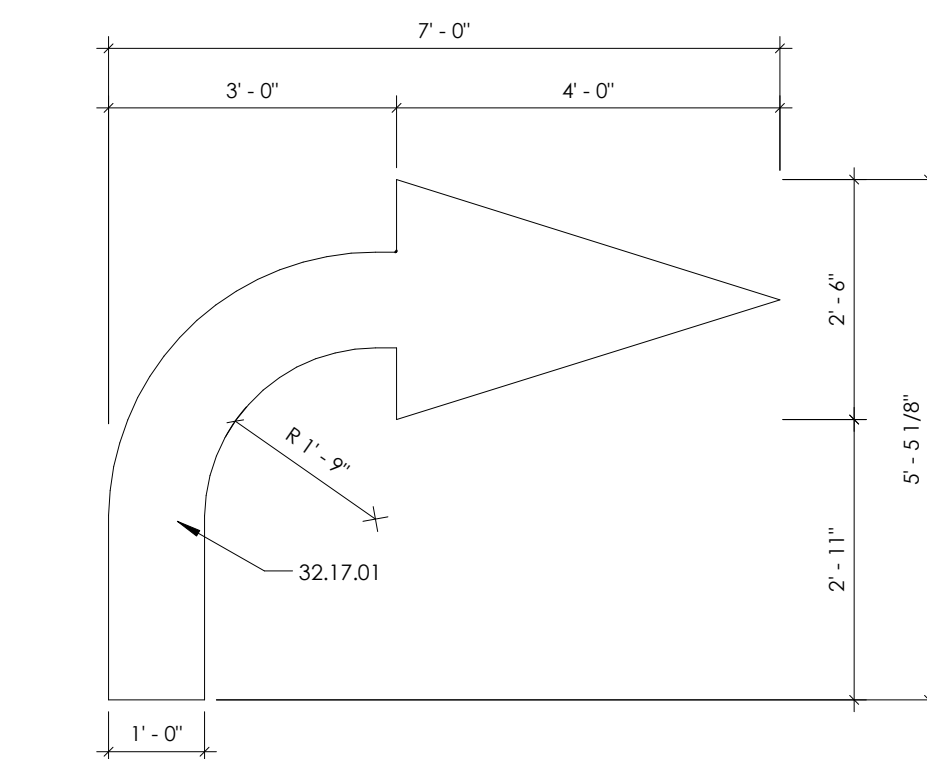
- 03 - CONCRETE**
 - 03.15.00 CONCRETE EXPANSION JOINT
 - 03.30.05 CAST-IN-PLACE POST FOUNDATION
- 10 - SPECIALTIES**
 - 10.14.04 REFLECTIVE ALUMINUM SIGN SECURELY ATTACHED TO PIPE POST
- 31 - EARTHWORK**
 - 31.20.02 COMPACTED SOIL (REFER TO GEO-TECHNICAL REPORT)
- 32 - EXTERIOR IMPROVEMENTS**
 - 32.13.01 CONCRETE PAVING
 - 32.17.01 PAVEMENT MARKING, COLOR: WHITE
 - 32.39.01 6" DIA. STEEL BOLLARD FILLED WITH CONCRETE, PAINT P-04
 - 32.39.02 1-3/4" SQ. GALVANIZED STEEL SIGN POST



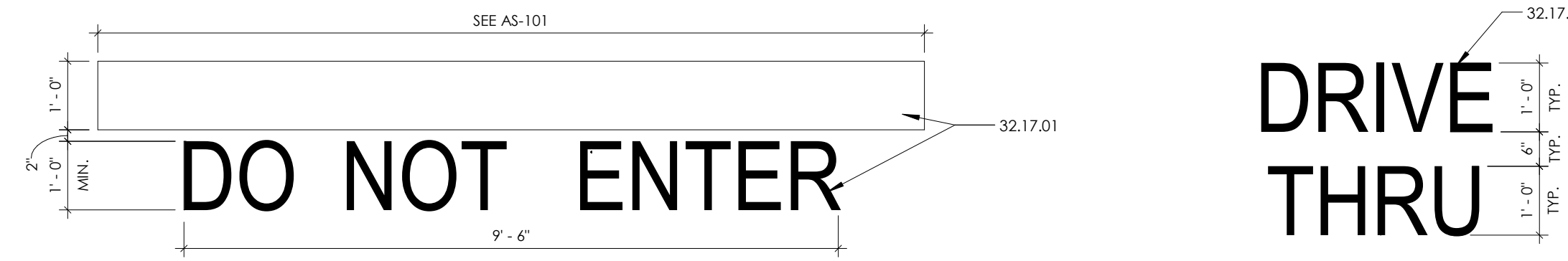
BLAKE'S LOTABURGER #75
 4121 COORS BLVD. NW
 ALBUQUERQUE, NM 87120



D1 PAVEMENT DIRECTION MARKING
 1/2" = 1'-0"



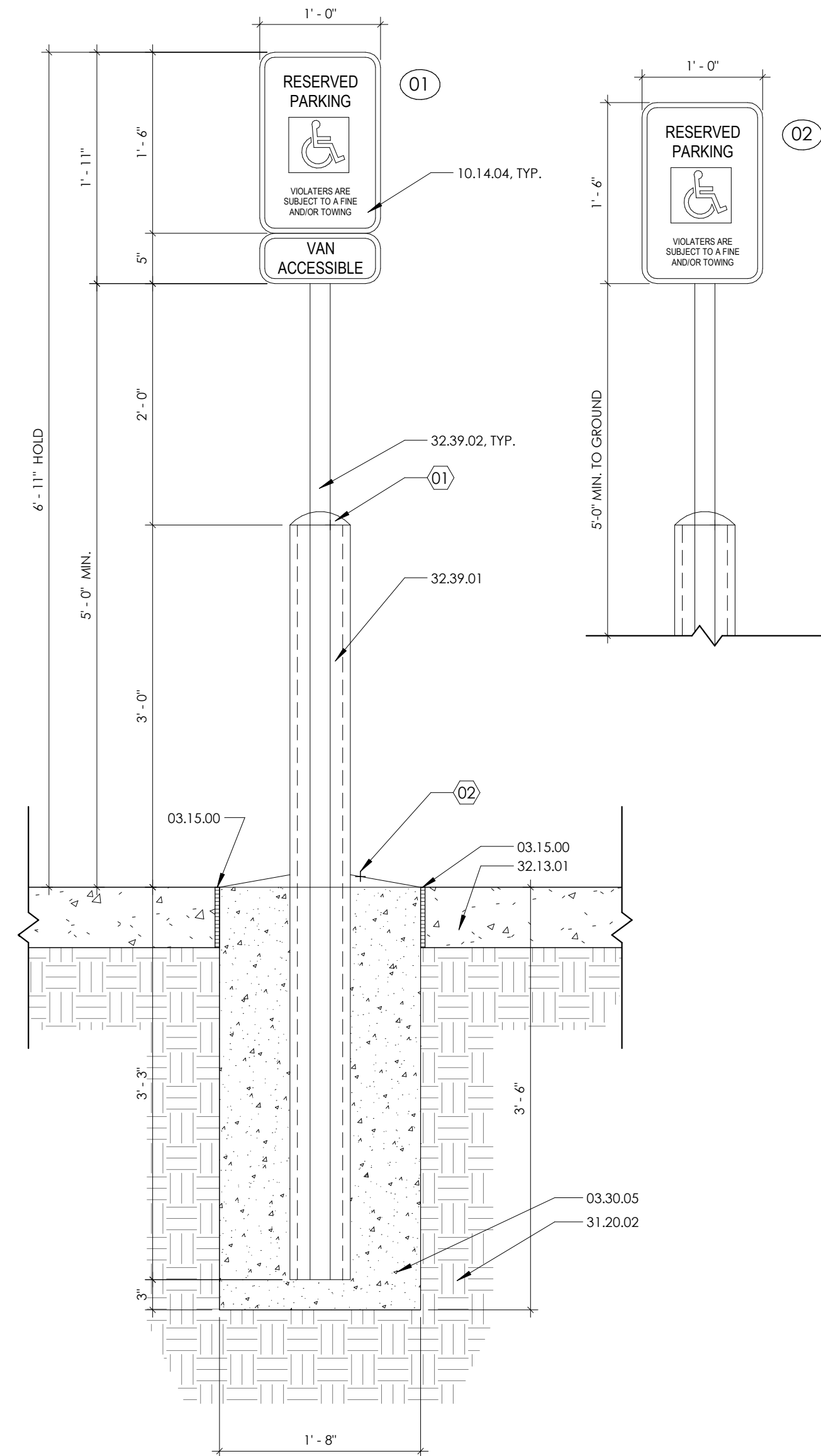
D2 PAVEMENT DIRECTION MARKING WITH CURVE
 1/2" = 1'-0"



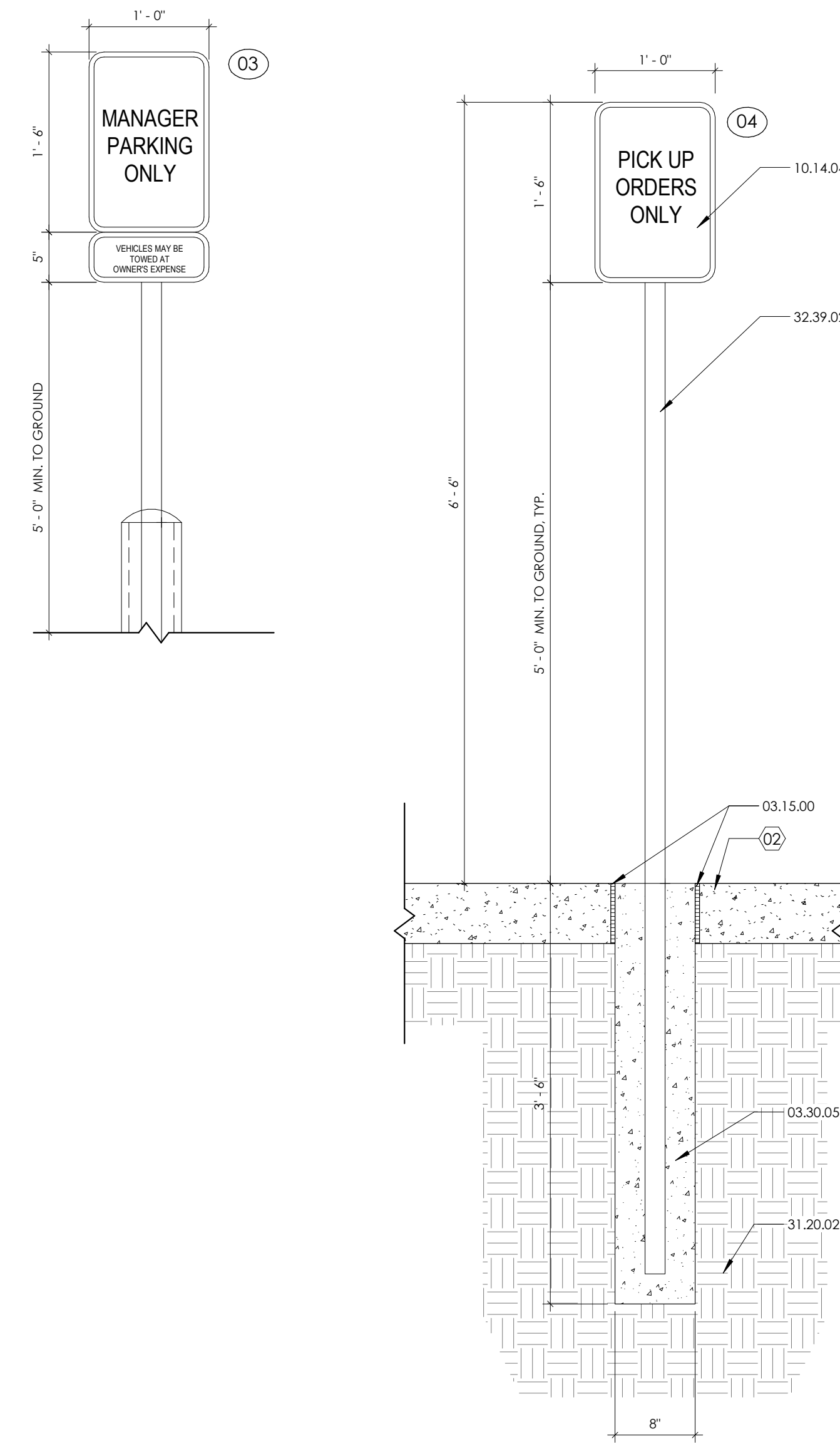
D3 PAVEMENT MARKING (LETTERING SIZE TYP. AT ALL)
 1/2" = 1'-0"



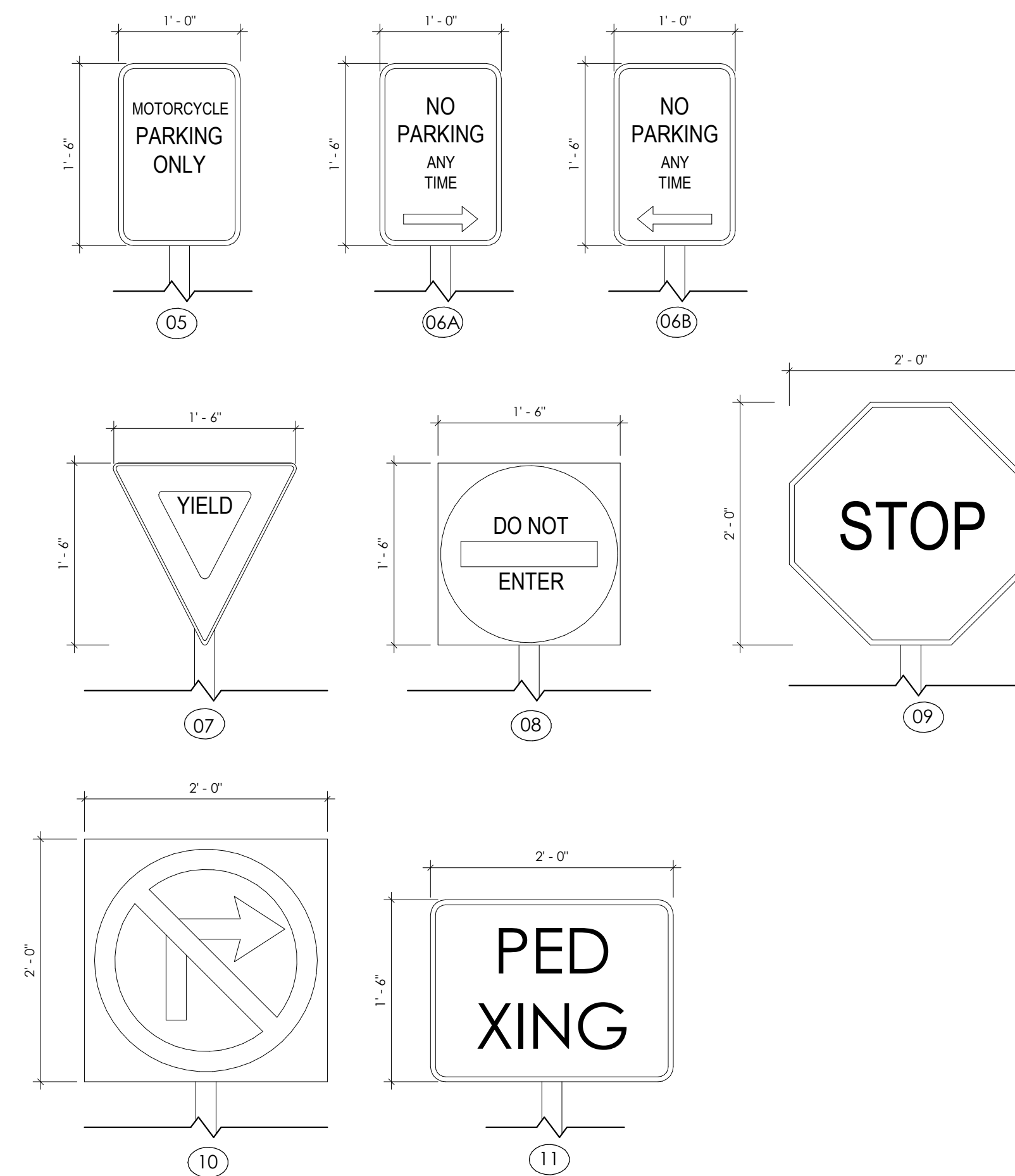
D5 PAVEMENT MARKING - TWO LINES
 1/2" = 1'-0"



A1 SITE SIGNAGE WITH BOLLARD
 1" = 1'-0"



A2 SITE SIGNAGE WITH POST
 1" = 1'-0"



LEGEND:

- 00 SITE SIGNAGE TAG**

MARK	DATE	DRB APPLICATION	DESCRIPTION

PROJECT NO	19018
FILE NAME	C:\Users\Snyder\Documents\Store #75 [Coors + St. Joseph].becca.snyder.rvt
DRAWN BY	MS
CHECKED BY	BJF

Sheet Name
ARCHITECTURAL SITE DETAILS

Sheet No.
AS-103
 SHEET NO. ___ OF ___ SHEETS

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

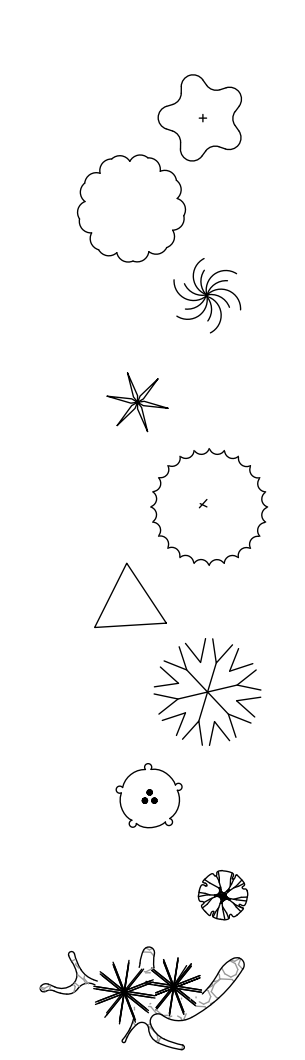
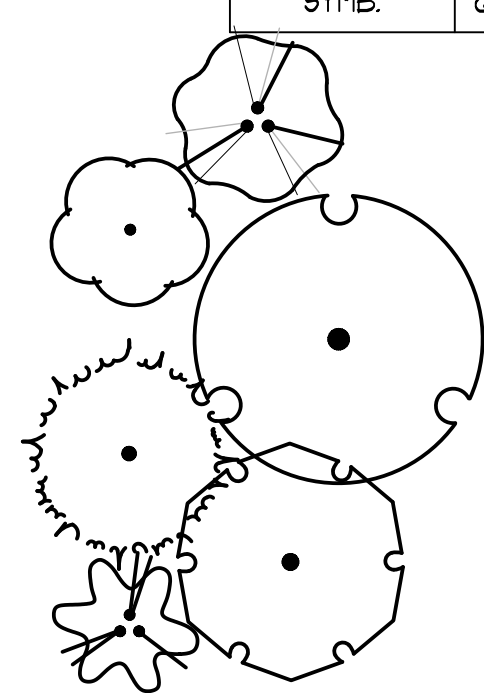
LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

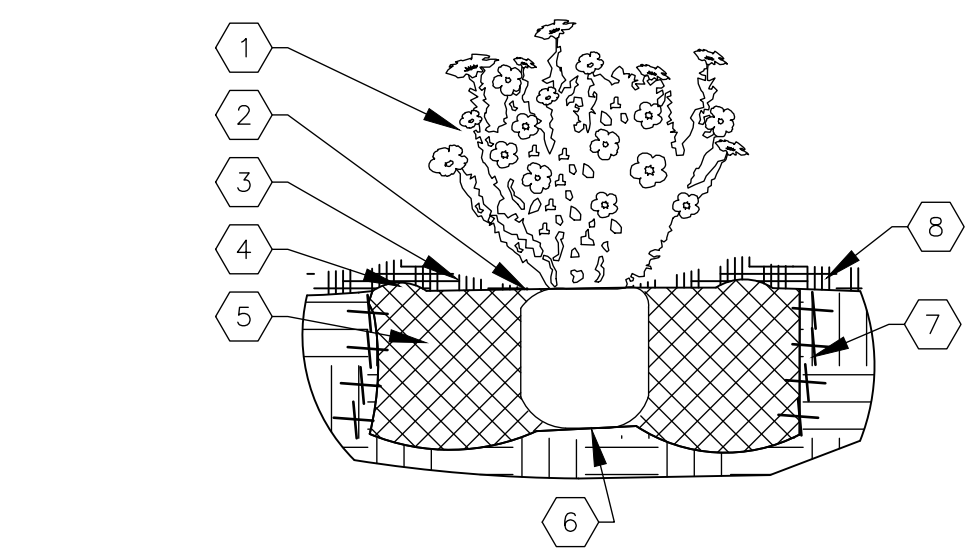
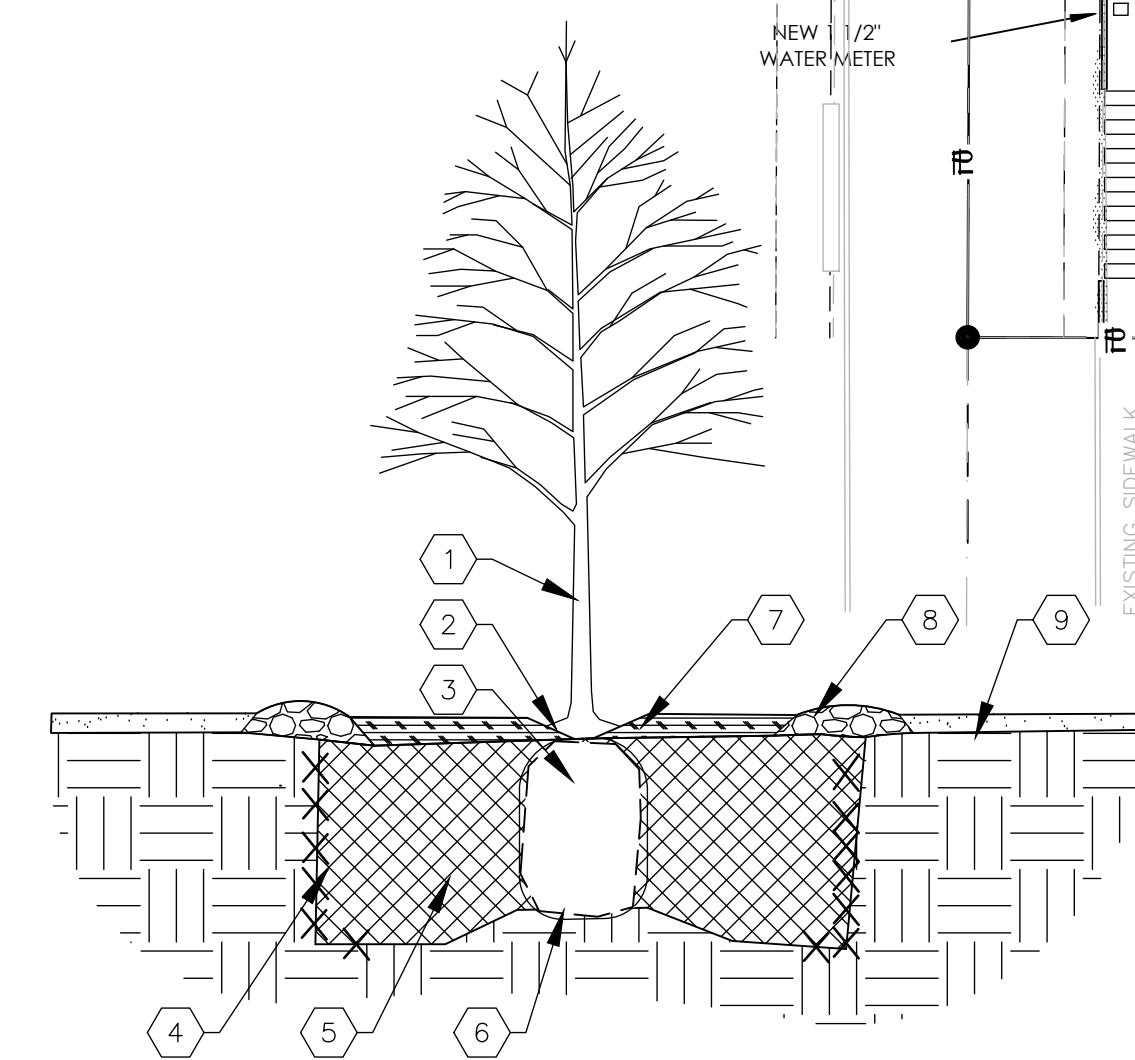
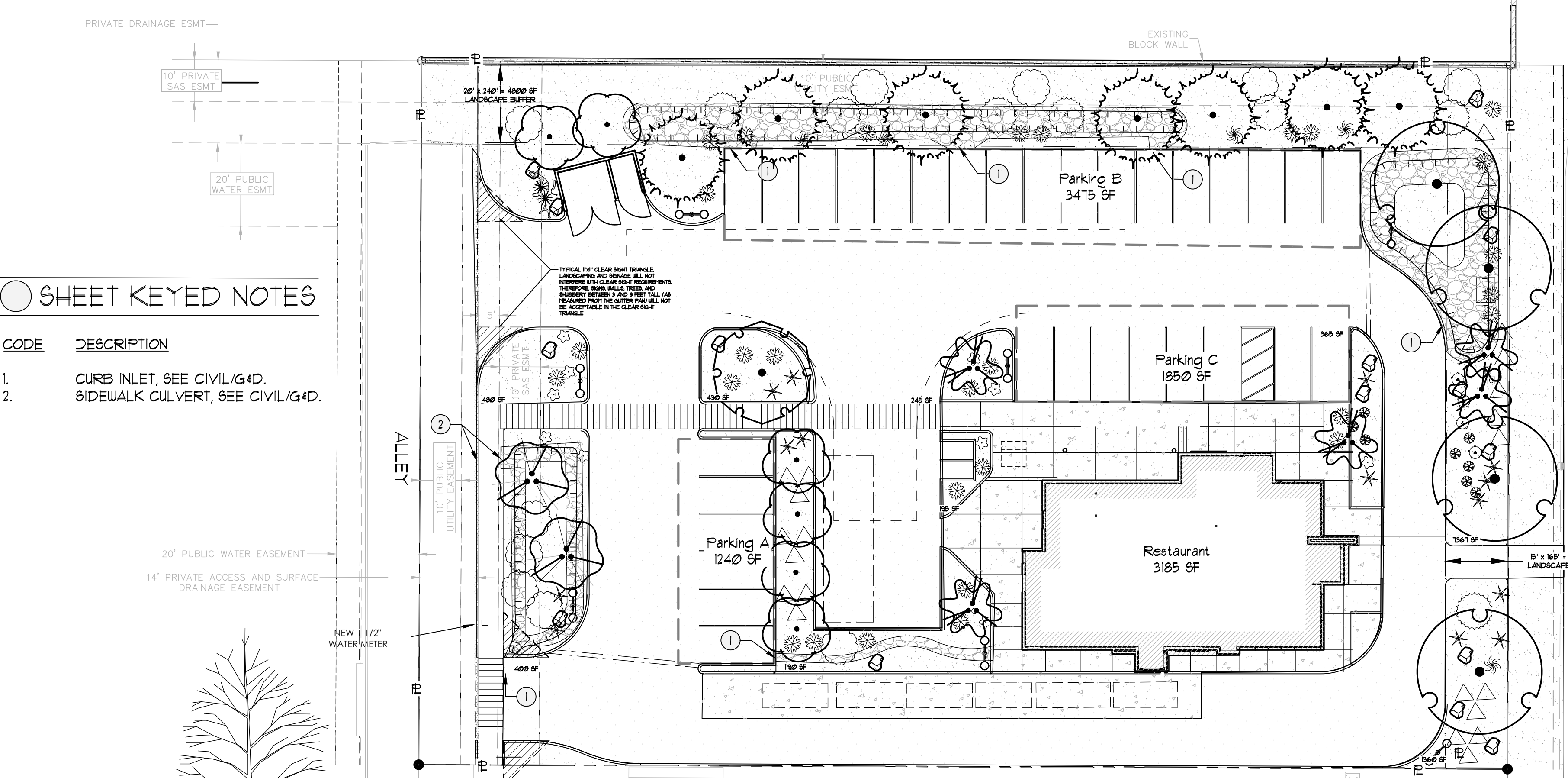
LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HxW	WATER USE	COVER (EA)	TOTAL
Trees							
	2	2+ Trunks w/ 2" Combined Cal.	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	1250
	6	2+ Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forestiera neomexicana</i>	15' x 15'	M	225	1350
	4	2" Cal.	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	6400
	1	1 x 10' Height 6 x 6" Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	4375
	1	2" Cal.	Chinese Pistache <i>Pistachia chinensis</i>	40' x 30'	M	900	900
	5	2+ Trunks w/ 2" Combined Cal.	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	2000
	25	Total Trees				Total Tree Coverage:	16275
Shrubs & Groundcovers							
	10	5 Gal	Dark Knight Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	90
	10	5 Gal	Little-Leaf Mountain Mahogany <i>Cercocarpus intricatus</i>	15' x 15'	Low+	225	2250
	5	5 Gal	Sotol <i>Dasylirion wheeleri</i>	5' x 5'	RW	25	125
	14	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	Low+	9	126
	1	5 Gal	Althea / Rose of Sharon <i>Hibiscus syriacus</i>	10' x 10'	M	100	100
	24	5 Gal	Deer Grass <i>Muhlenbergia rigens</i>	5' x 5'	M	25	600
	29	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RW	36	1044
	4	5 Gal	Grow-Low Sumac <i>Rhus aromatica</i>	3' x 3'	Low+	36	144
	8	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	72
	2	5 Gal	Broadleaf Yucca w/ Cobble Accent <i>Yucca baccata</i>	20' x 5'	RW	25	50
			Total Shrub Coverage:			5201	



SHEET KEYED NOTES

CODE	DESCRIPTION
1.	CURB INLET, SEE CIVIL/G4D.
2.	SIDEWALK CULVERT, SEE CIVIL/G4D.



TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE FLUMBS. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 16" WIDE COBBLE BERM AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2' DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS.
- 2" HIGH X 8" WIDE BERM.
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN. 3" DEPTH UNLESS OTHERWISE NOTED.

LANDSCAPE CALCULATIONS

ZONING: NR-C: COMMERCIAL
APPLICABLE REGULATION(S): IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

TOTAL LOT AREA (ACRES)	1.0112	GROUNDCOVER (% - REQ)	18.75
TOTAL LOT AREA (SF)	44309	GROUNDCOVER (SF - REQ)	2843
BUILDING AREA (SF)	3185	GROUNDCOVER (SF - PROV)	5201
NET LOT AREA (SF)	41124		
REQUIRED LANDSCAPE (%)	15	PARKING LOT AREA (SF)	6565
REQUIRED LANDSCAPE (SF)	6169	REQ. PARKING LANDSCAPE 10% (SF)	651
LANDSCAPE PROVIDED (SF)	15160	PROV. PARKING LANDSCAPE (SF)	7250
		REQ. PARKING TREES (1/10 SPOTS)	3
		PROV. PARKING TREES	1
VEGETATIVE COVER (% - REQ)	75.0	COOL SEASON GRASS (SF)	0
VEGETATIVE COVER (SF - REQ)	11370	COOL SEASON GRASS (% OF LANDSCAPE)	0
VEGETATIVE COVER (SF - PROV)	21476		

Other Materials

SYMB.	QTY	TYPE
	15 EA	Boulders (2-3cf) To be placed at contractor's discretion
	12430 SF	Landscape Gravel A with Filter Fabric 3/4" Gray Crush Gravel
	2130 SF	Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobble/RipRap
		Concrete See site plan
		Asphalt Parking Areas and Driveways See site plan
		Stormwater Management Depression

01 TREE PLANTING
NTS

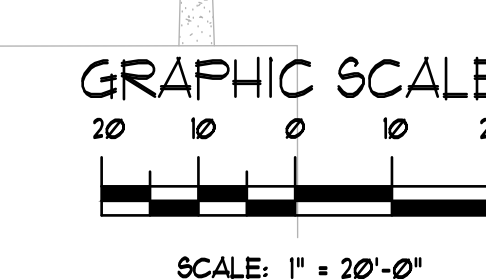
TREE PLANTING DETAIL

02 SHRUB PLANTING
NTS

SHRUB PLANTING DETAIL

COORS RD. NW

STREET TREES
Linear Frontage: 165'
Trees Required: 1
Trees Provided: 1



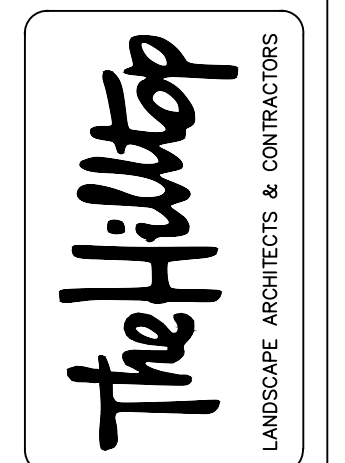
The Hilltop
1909 Edith NE
Albuquerque, NM 87113
Cora L. Hilltop
Ph: (505) 898-3600
Fax: (505) 898-1131
thehilltoplandscaping.com



BLAKES LOTABURGER #15
Coors Blvd NW
Albuquerque, NM

Landscape Plan

The design contained herein remains the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be copied, reproduced, or used in any way without the express written consent of The Hilltop Landscape Architects and Contractors. All fees have been paid for a job order placed.



DRAWN BY: tre
REVISION: b
DATE: 04/24/2020

SHEET #
LS-101



Barbara Felix Architecture + Design
 511 Agua Fria Street, Santa Fe, NM 87501
 Phone: 505.820.1555 Fax: 505.820.1527

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GENERAL NOTES:

- A. REFER TO SHEET G-001 FOR GENERAL NOTES, BUILDING CODE REFERENCES, BUILDING DATA AND ABBREVIATIONS.
- B. BUILDING HEIGHT: 25'-0"
- C. REFERENCE 2009 INTERNATIONAL FIRE CODE APPENDIX B (FIRE FLOW REQUIREMENTS), APPENDIX C (HYDRANT LOCATION), AND APPENDIX D (FIRE APPARATUS ACCESS) FOR ADDITIONAL CODE CRITERIA.
- D. SEE SHEETS C2 AND SU-101 FOR ADDITIONAL SITE UTILITY INFORMATION.
- E. FIRE APPARATUS ACCESS ROAD SHALL HAVE FIRE LANE MARKED ON BOTH SIDES
- F. FIRE APPARATUS ACCESS ROAD TO BE ASPHALT DESIGNED TO WITHSTAND 15,000 LBS AND MAX 10% SLOPE. ENGINEERING DATA TO BE INCLUDED ON CIVIL DRAWINGS.

CODE DATA:

FIRE FLOW REQUIREMENTS:
 CONSTRUCTION TYPE: V-B
 SQUARE FOOTAGE: 3,209; NON-SPRINKLERED
 FIRE FLOW (PER IFC APP. B): 1,500 GPM

NUMBER OF HYDRANTS REQ'D AND SPACING (PER IFC APP. C):
 FIRE FLOW REQUIREMENT: <1,750
 MIN. NUMBER OF HYDRANTS: 1
 AVG. SPACING OF HYDRANTS: 500 FT.
 MAX. DISTANCE TO HYDRANT: 250 FT.

SPRINKLER SYSTEM:
 NON SPRINKLERED



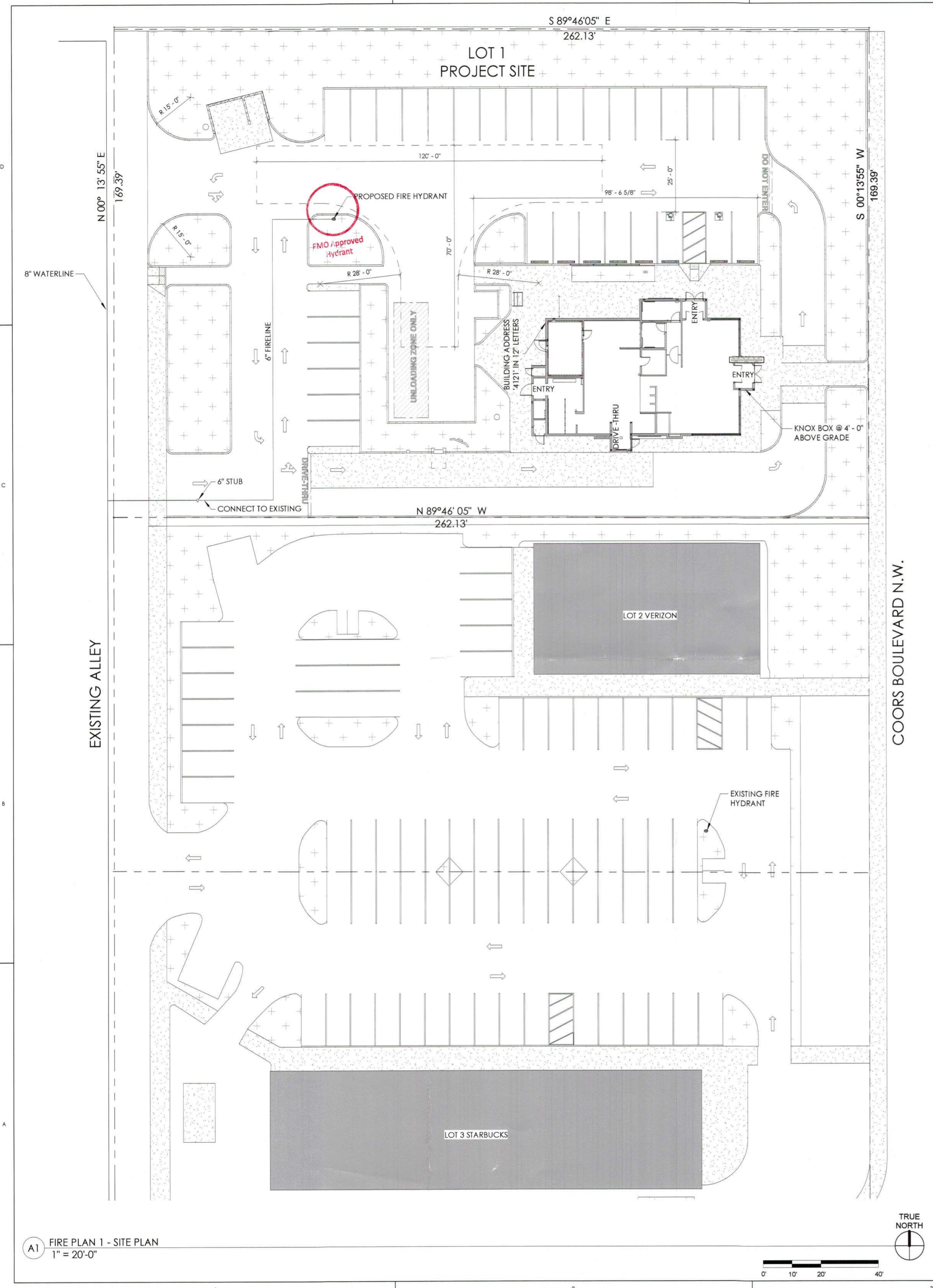
BLAKE'S LOTABURGER #75
 4121 COORS BLVD. NW
 ALBUQUERQUE, NM 87120



ISSUED	DATE	DESCRIPTION

PROJECT NO	19018
FILE NAME	C:\Users\Wentfall\Documents\Store #75 Coors + P_sheets\Wentfall.dwg
DRAWN BY	RS
CHECKED BY	B.F.

Sheet Name	FIRE SITE PLAN
Sheet No.	FIRE-1
SHEET NO. OF SHEETS	1 OF 1



A1 FIRE PLAN 1 - SITE PLAN
 1" = 20'-0"

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 23, 2020

Morey Walker, P.E.
Walker Engineering
905 Camino Sierra Vista
Santa Fe, NM 87505

**RE: Blake's Lotaburger #75
4121 Coors Blvd NW
Grading & Drainage Plan
Engineer's Stamp Date: 03/06/20
Hydrology File: G11D069D**

Dear Mr. Walker:

Based upon the information provided in your resubmittal received 03/12/2020, the Grading & Drainage Plan is approved for Building Permit and for action by the DRB on Site Plan for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Also as a reminder, please provide Drainage Covenant for the stormwater quality ponds per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR OF THIS TOPOGRAPHY. WALKER ENGINEERING RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

BENCH MARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "8-G11", HAVING AN ELEVATION OF 5116.009, NAVD 1988

LEGAL DESCRIPTION

LOT 1 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2 UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

DRAINAGE MANAGEMENT NOTE

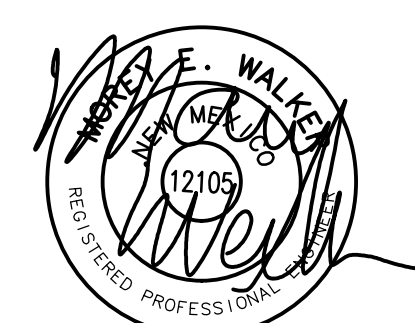
LOT 1 COORS PAVILION IS IN COMPLIANCE WITH THE COORS PAVILION SUBDIVISION DRAINAGE MANAGEMENT PLAN VIA THE LADERA POND DRAINAGE STUDY (12/30/15). POND OVERFLOW IS DISCHARGING WITHIN THE EXISTING DRAINAGE EASEMENT PER THE DRAINAGE MANAGEMENT PLAN.

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Traffic Engineering

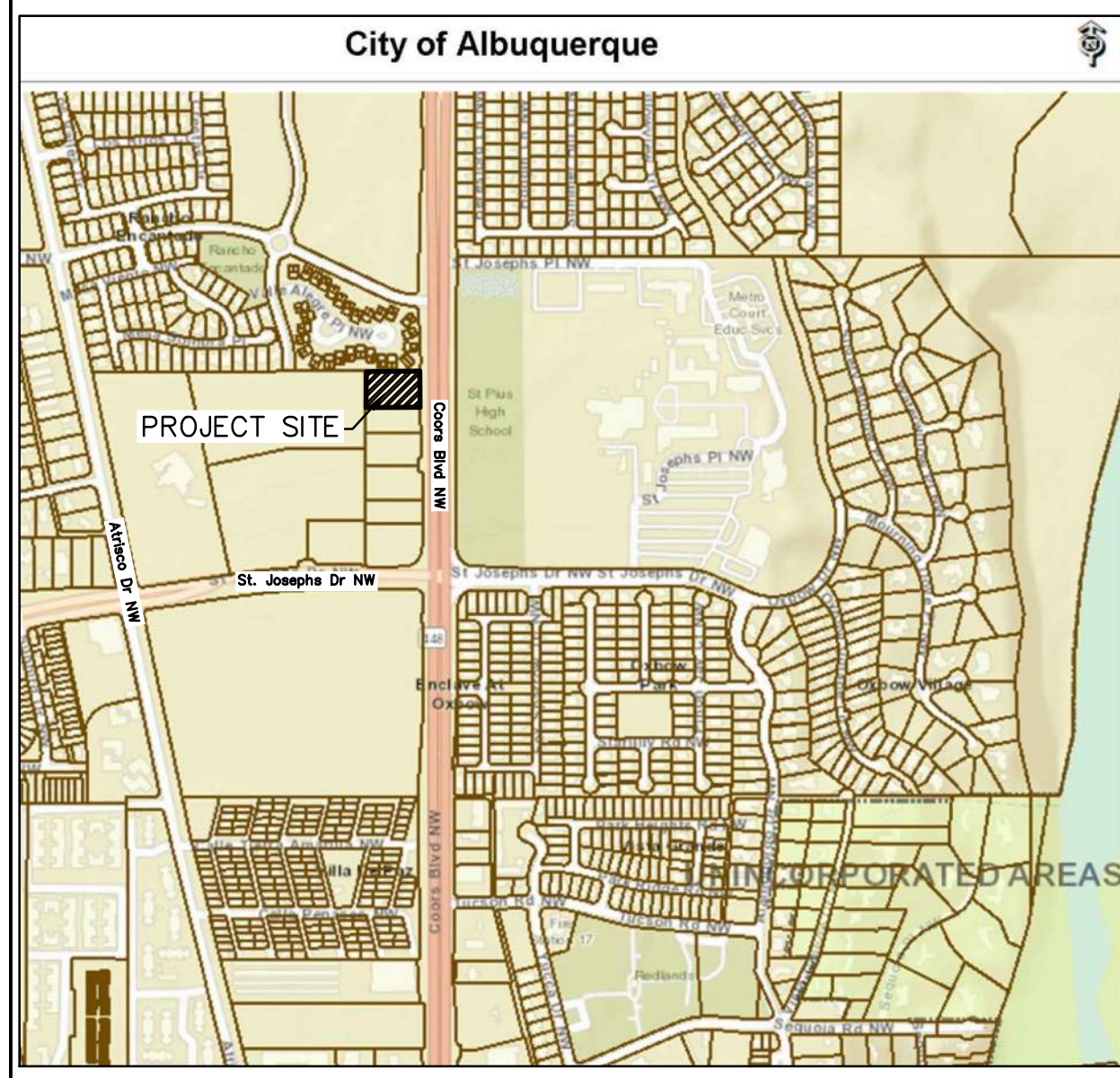


Walker Engineering
905 Camino Sierra Vista
Santa Fe, NM 87505

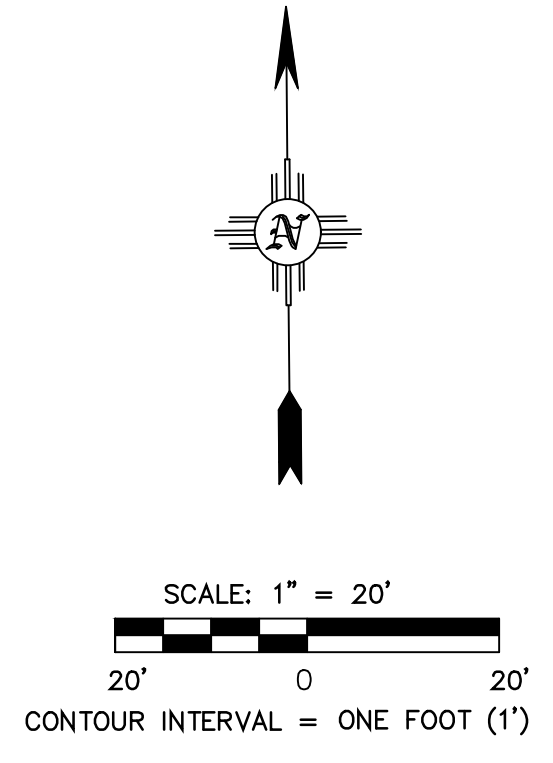
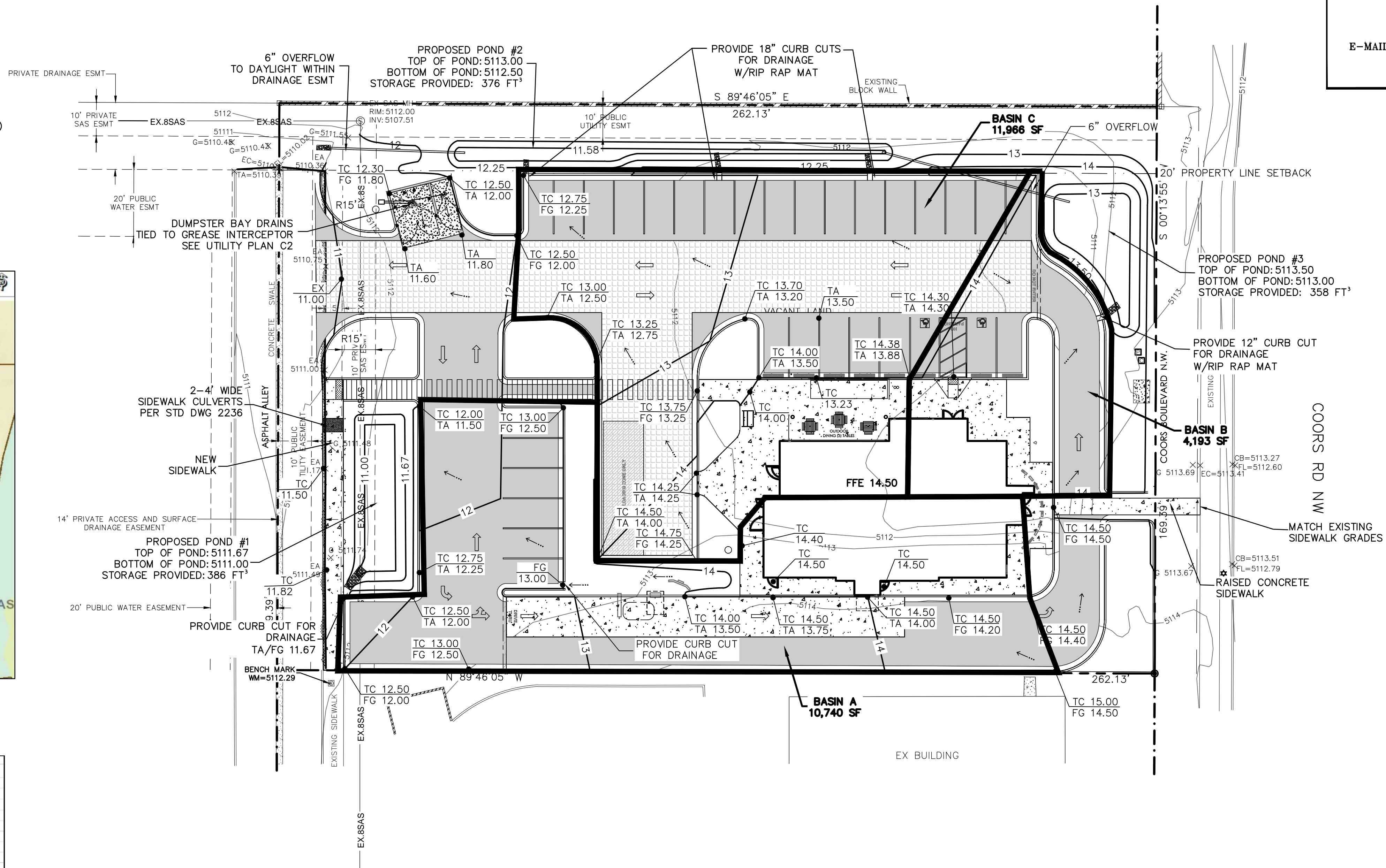
505-820-7990
FAX 505-820-8539
E-MAIL civil@walkerengineering.net



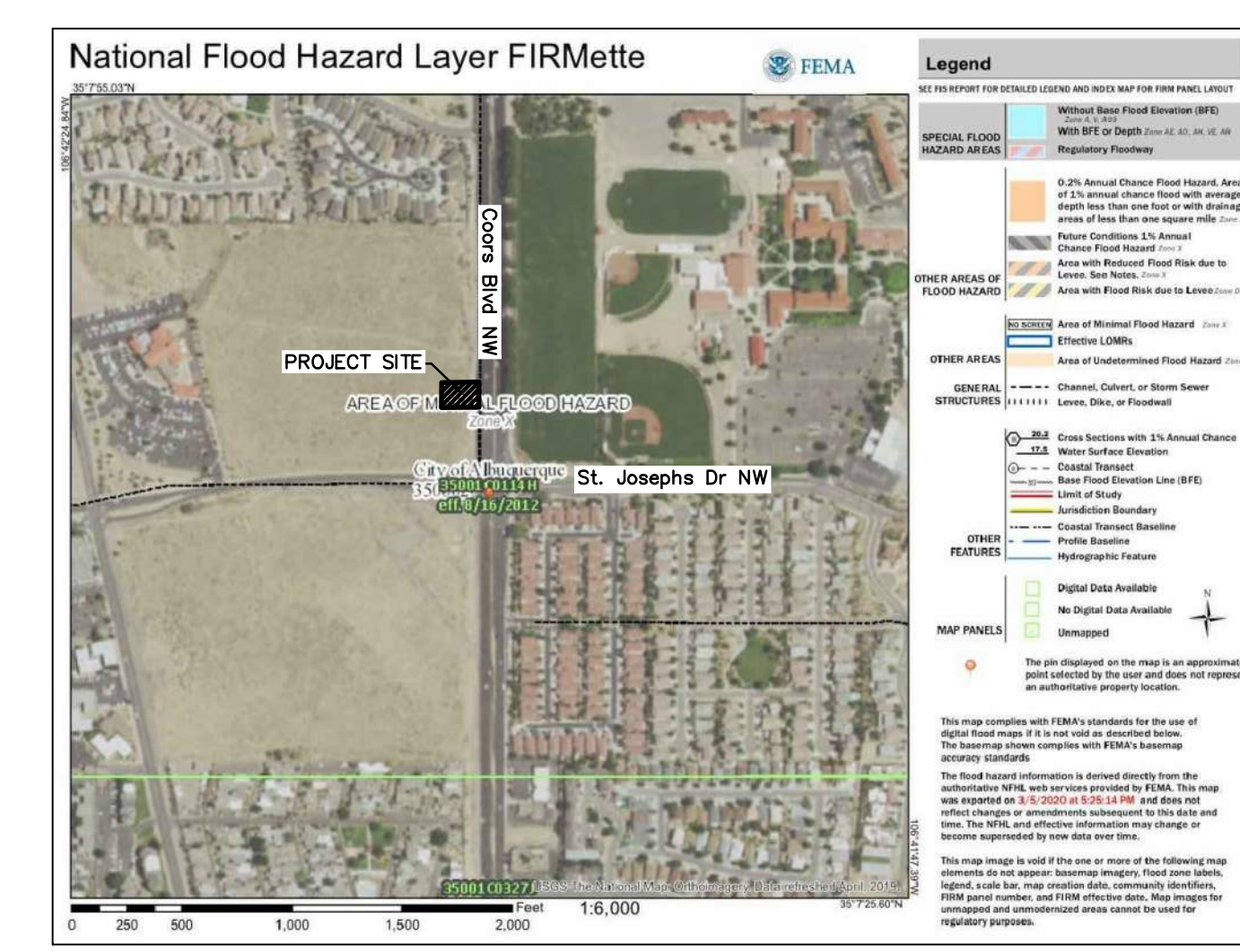
3/6/20



VICINITY MAP

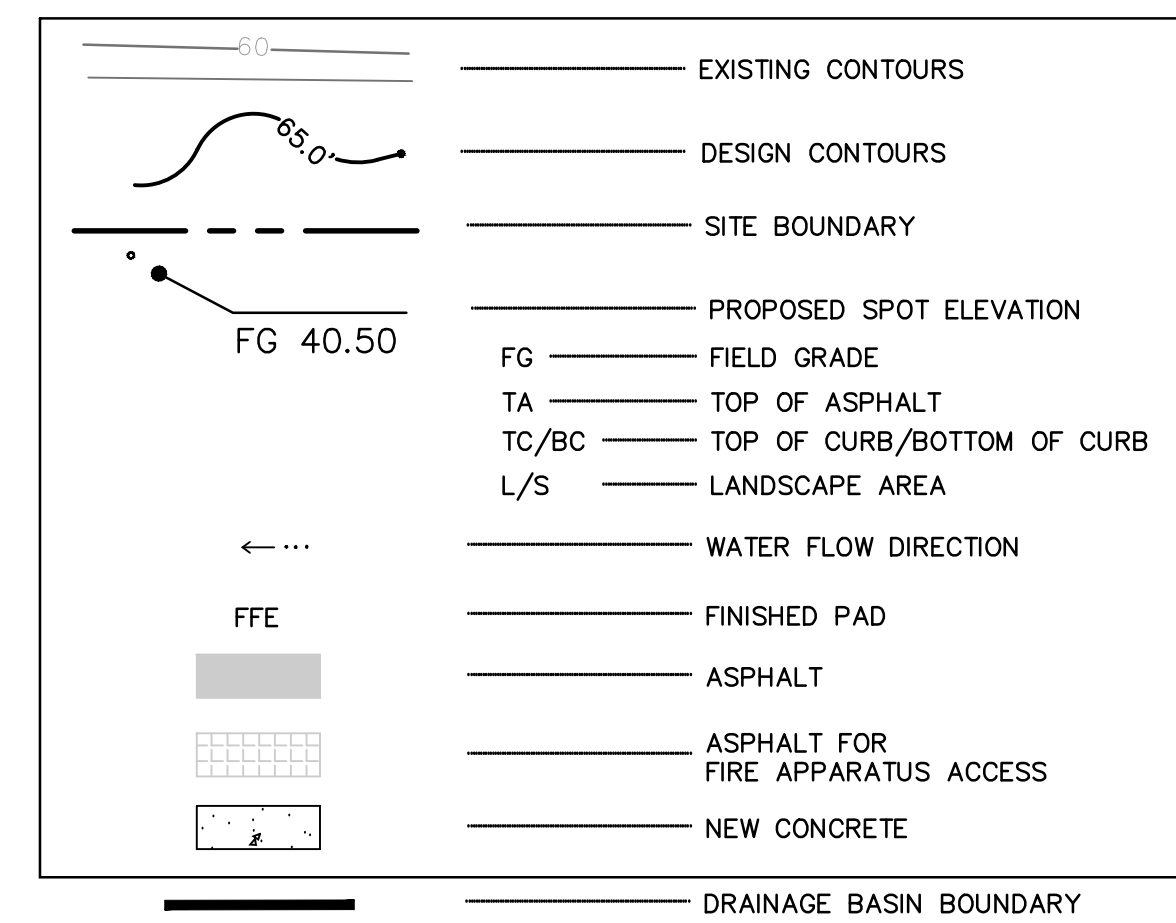


<p>Walker Engineering 905 Camino Sierra Vista Santa Fe, NM 87501</p>																												
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<p>Project No: 20-115 Date: 2/10/2020</p>		<p>Developable Area: 0.97 Acres 42275.00 Sq Ft</p>																										
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PANEL 114 OF 285
MAP NUMBER: 35001C0114H
MAP REVISED: AUGUST 16, 2012

LEGEND



LOTA BLAKE'S
 LOTA BLURGER #75
 LOT 1 COORS PAVILION
 4121 COORS BLVD NW
 ALBUQUERQUE, NM 87120

ISSUED	MARK	DATE	DESCRIPTION
PROJECT NO.	20-115		
FILE NAME	219 GRADE		
DRAWN BY	P.L.B.		
CHECKED BY	M.E.W.		
SHEET Name	GRADING AND DRAINAGE PLAN		
Sheet No.	C1		
SHEET NO. OF SHEETS	1 OF 2		

STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR OF THIS TOPOGRAPHY. WALKER ENGINEERING RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

BENCH MARK

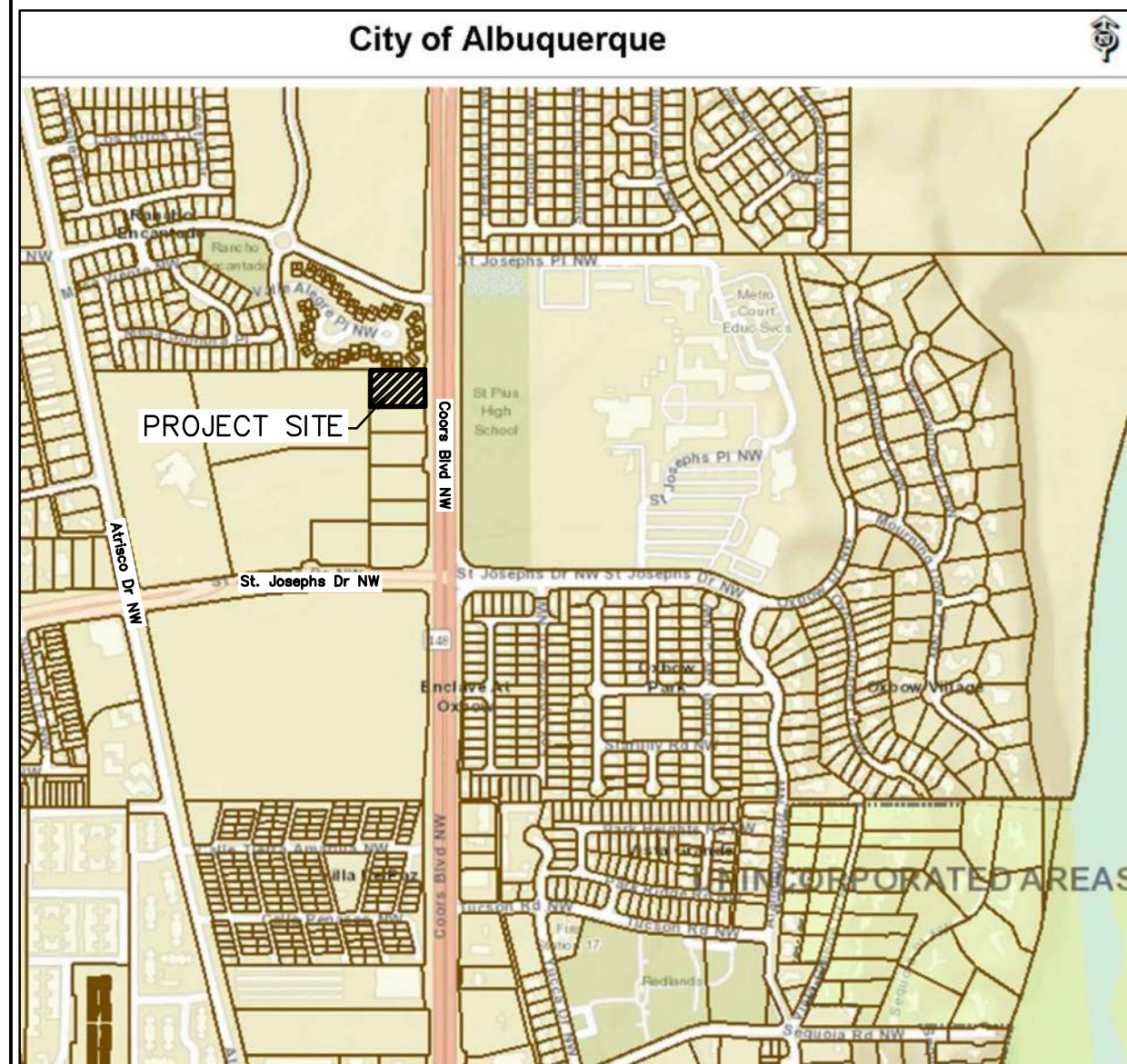
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "8-G11", HAVING AN ELEVATION OF 5116.009, NAVD 1988

LEGAL DESCRIPTION

LOT 1 COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2 UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

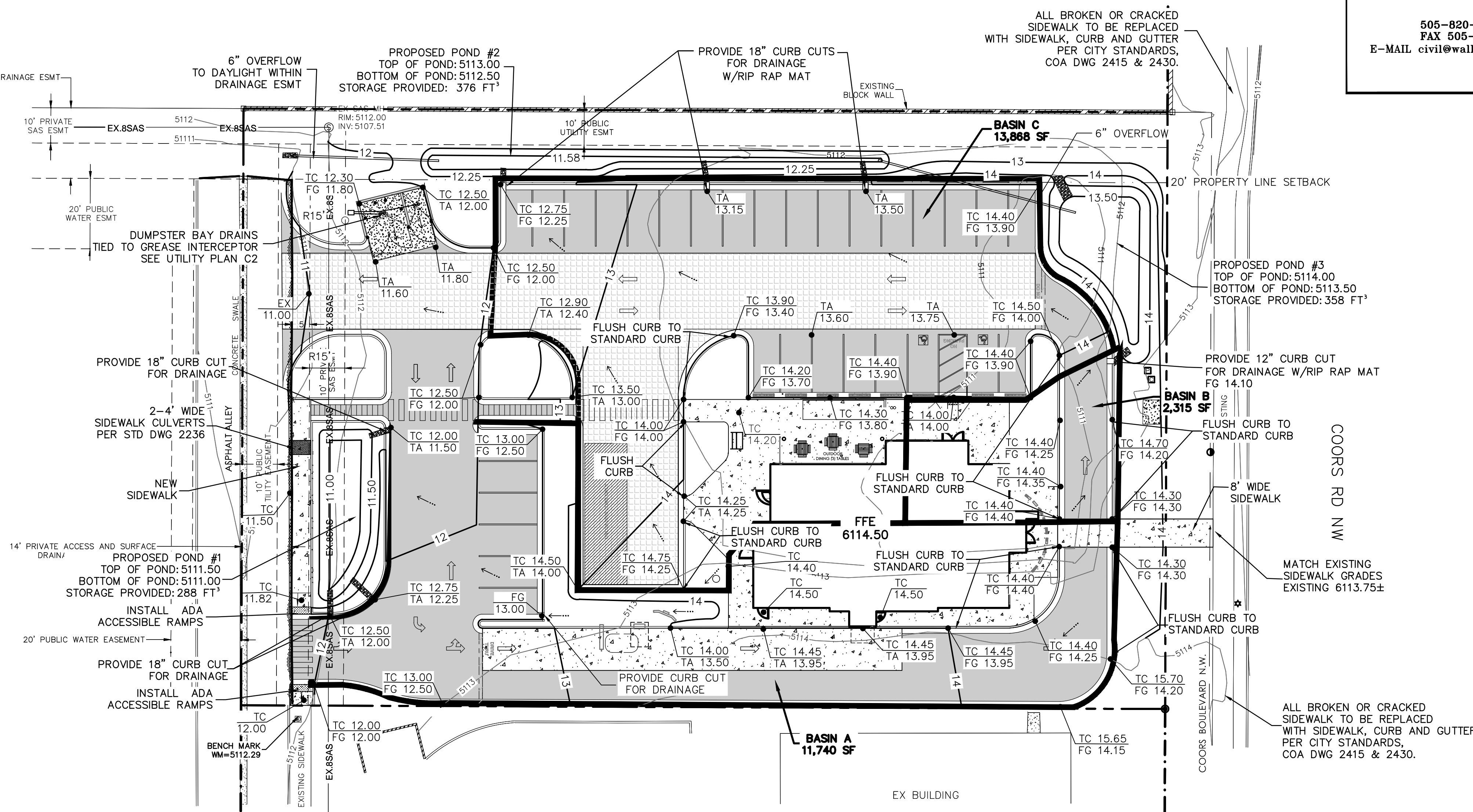
DRAINAGE MANAGEMENT NOTE

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VICINITY MAP

<p>Walker Engineering 905 Camino Sierra Vista Santa Fe, NM 87501</p>																												
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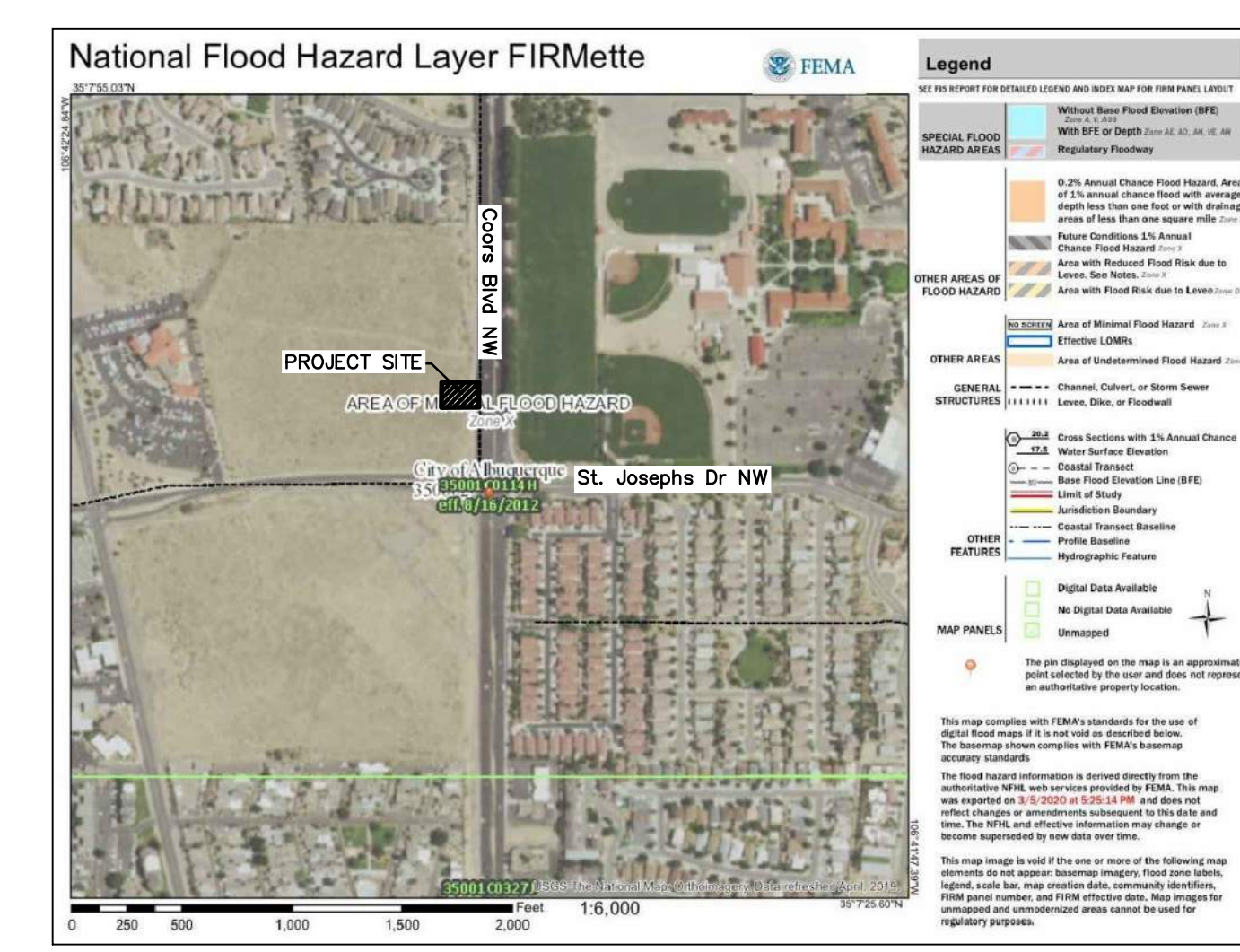
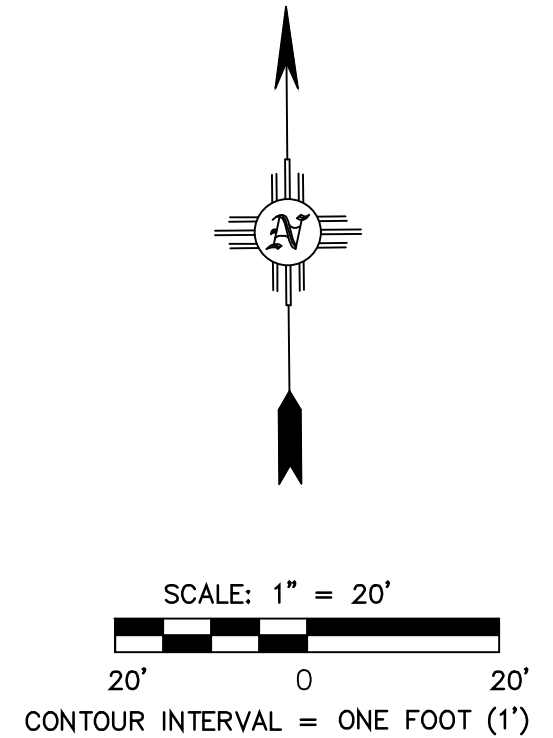
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W • E

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905 Camino Sierra Vista
Santa Fe, NM 87505

505-820-7990
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5/1/20

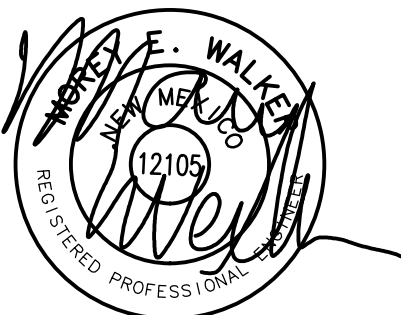


LEGEND

	EXISTING CONTOURS
	DESIGN CONTOURS
	SITE BOUNDARY
	PROPOSED SPOT ELEVATION
	FG — FIELD GRADE
	TA — TOP OF ASPHALT
	TC/BC — TOP OF CURB/BOTTOM OF CURB
	L/S — LANDSCAPE AREA
	WATER FLOW DIRECTION
	FINISHED PAD
	ASPHALT
	ASPHALT FOR FIRE APPARATUS ACCESS
	NEW CONCRETE
	DRAINAGE BASIN BOUNDARY

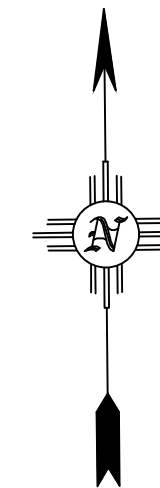
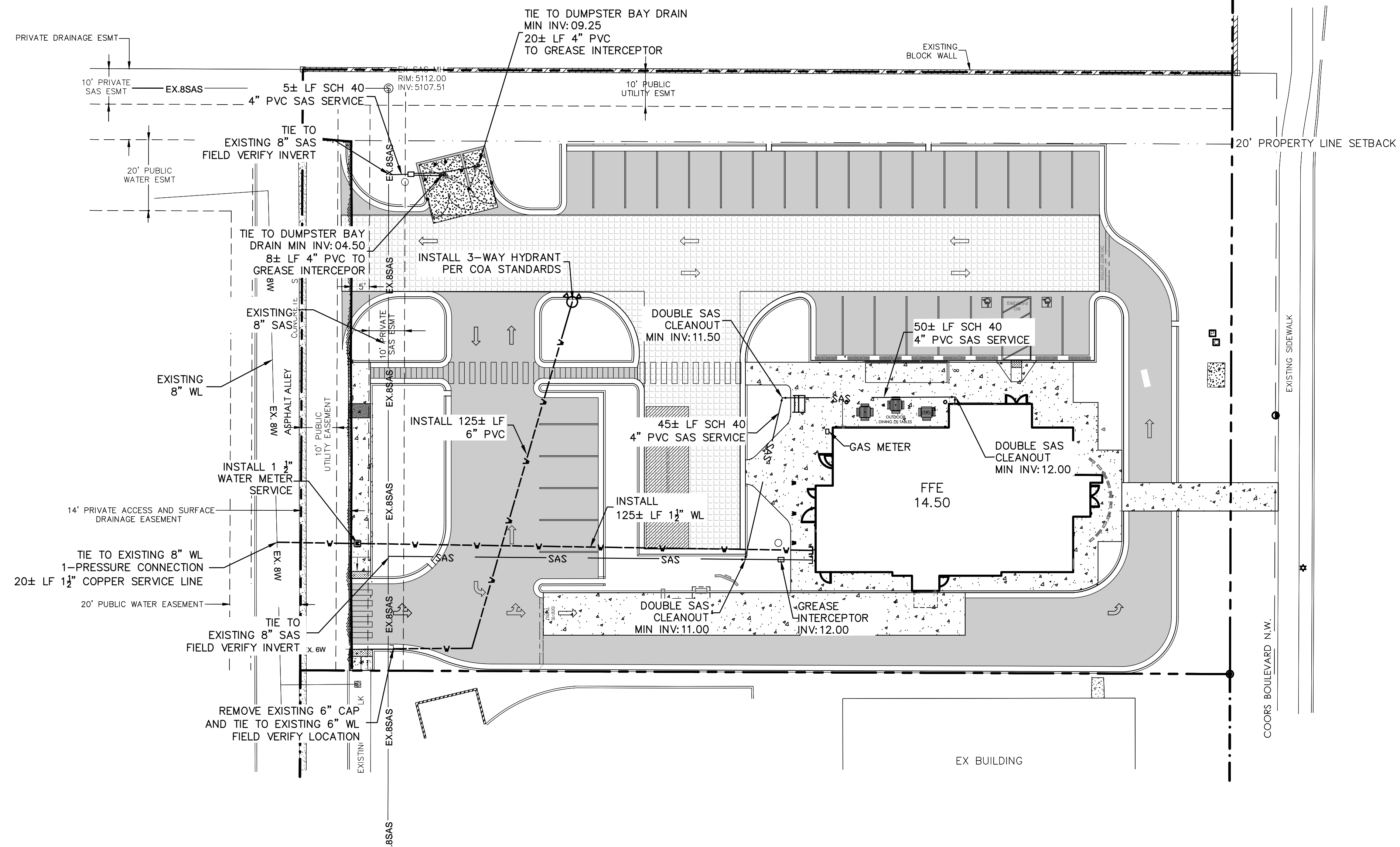
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CHECKED BY	M.E.W.		
Sheet Name	GRADING AND DRAINAGE PLAN		
Sheet No.	C1		
Sheet No.	SHEET NO. ___ OF ___ SHEETS		

BLAKE'S
LOTABURGER #75
LOT 1 COORS PAVILION
4121 COORS BLVD NW
ALBUQUERQUE, NM 87120



5/1/20

BLAKE'S
LOT A BURGER # 75
LOT 1 COORS PAVILION
4121 COORS BLVD NW
ALBUQUERQUE, NM 87120



SCALE: 1" = 10'
10' 0 10'
CONTOUR INTERVAL = ONE FOOT (1')

LEGEND

	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE & BOX
	PROPOSED METER
	EXISTING SAS MANHOLE
	PROPOSED SEWER
	PROPOSED CLEANOUT

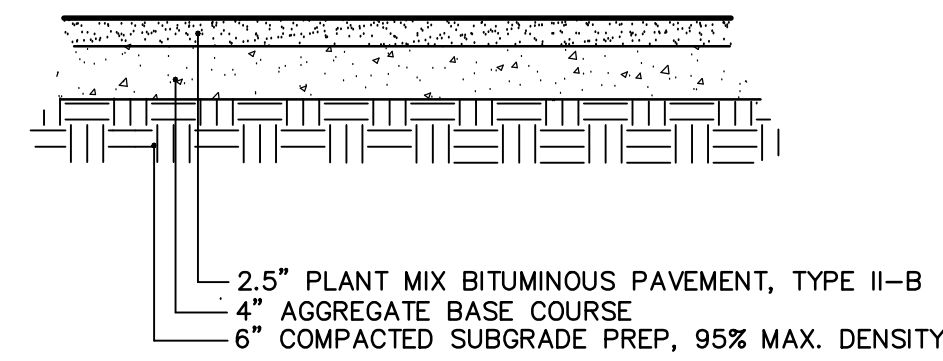
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CHECKED BY	M.E.W.
Sheet Name	UTILITY PLAN
Sheet No.	C2
SHEET NO. OF SHEETS	

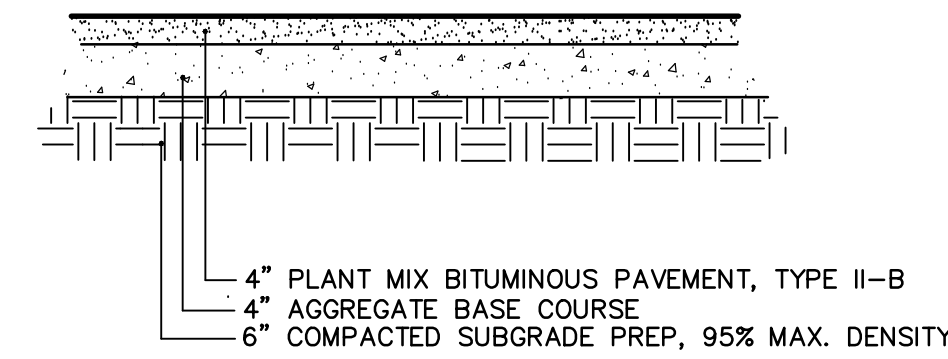


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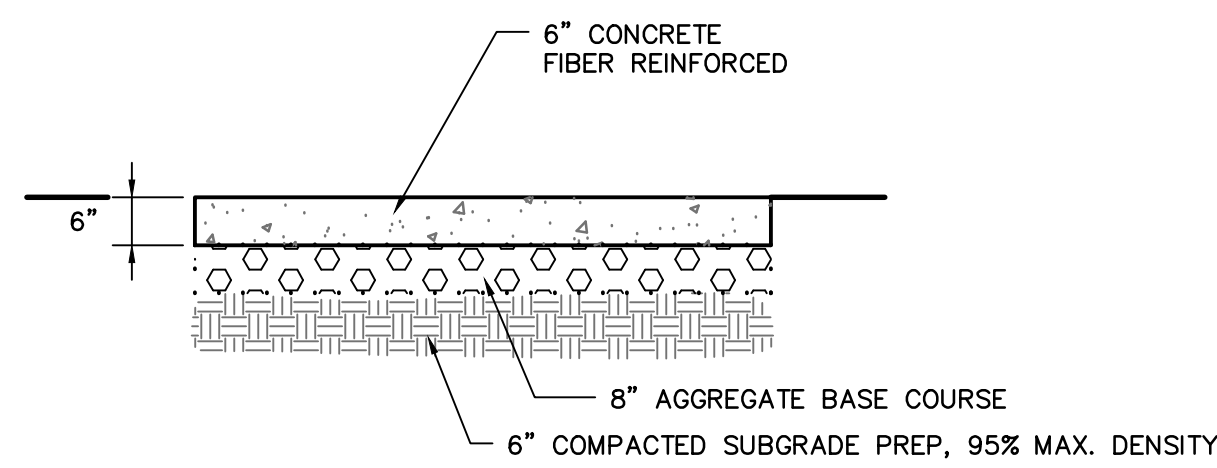
505-820-7990
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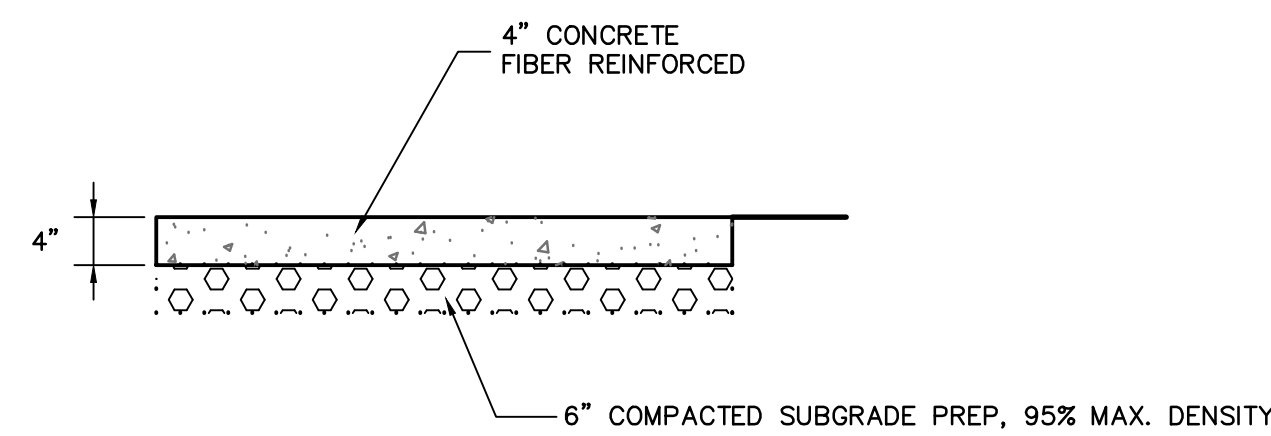
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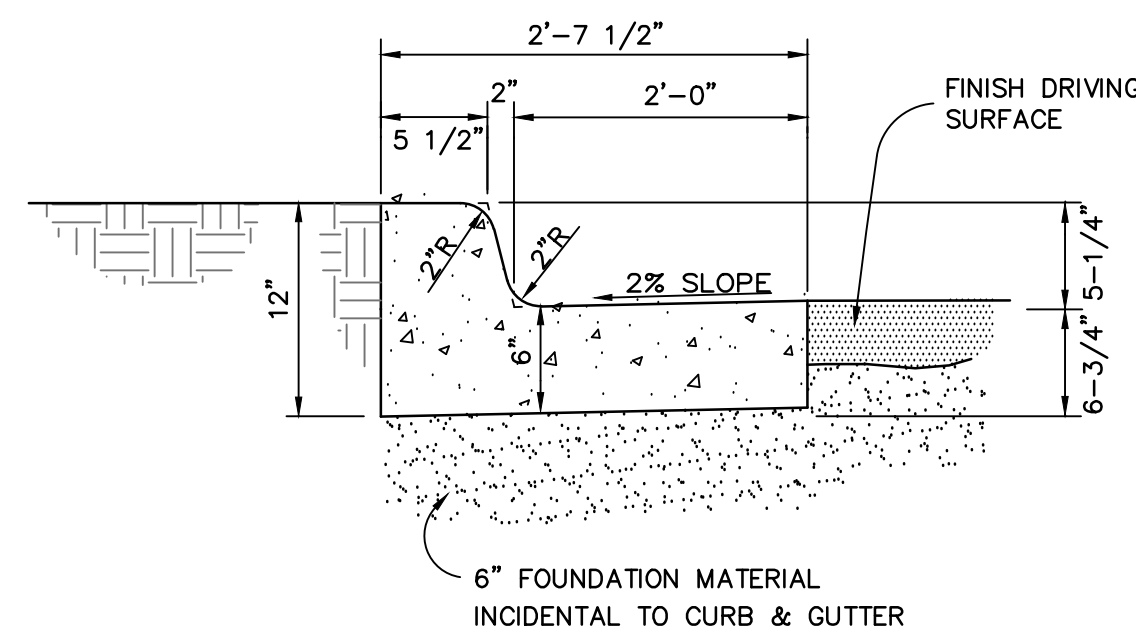
**ASPHALT SECTION
FIRE APPARATUS ACCESS**
NOT TO SCALE



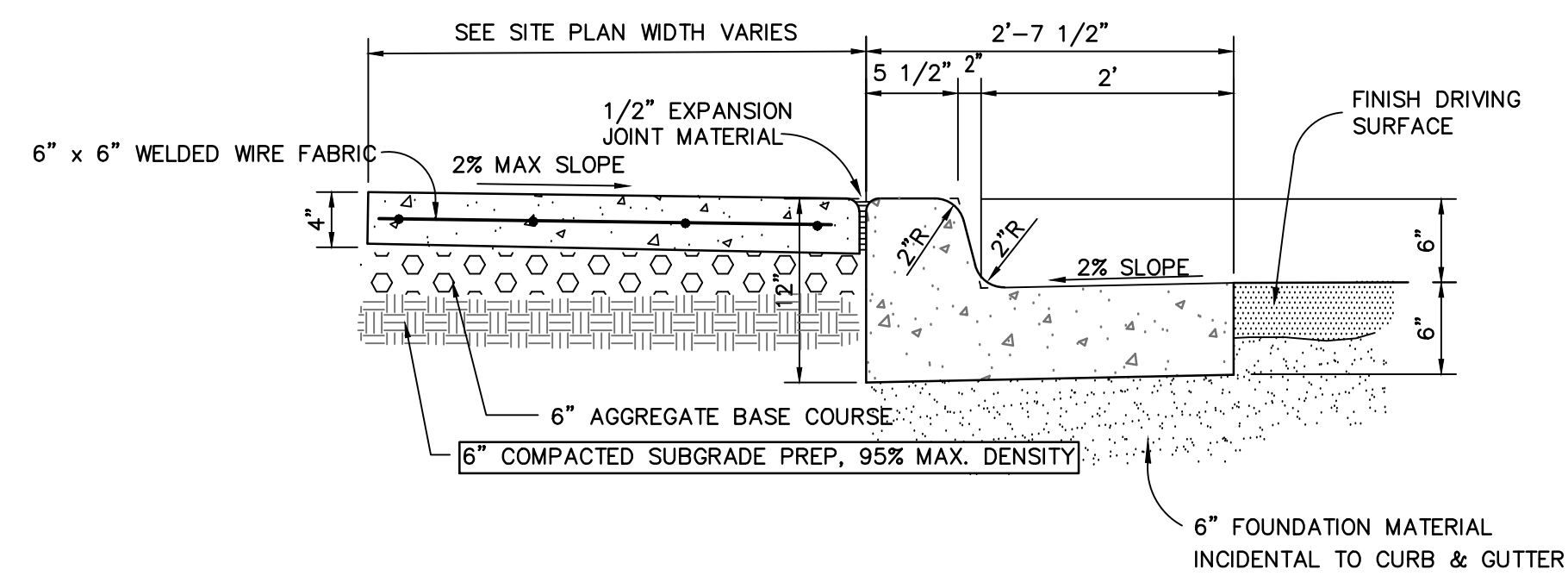
CONCRETE SECTION
DUMPSTER AREA
DRIVEWAY CONCRETE AREA
N.T.S.



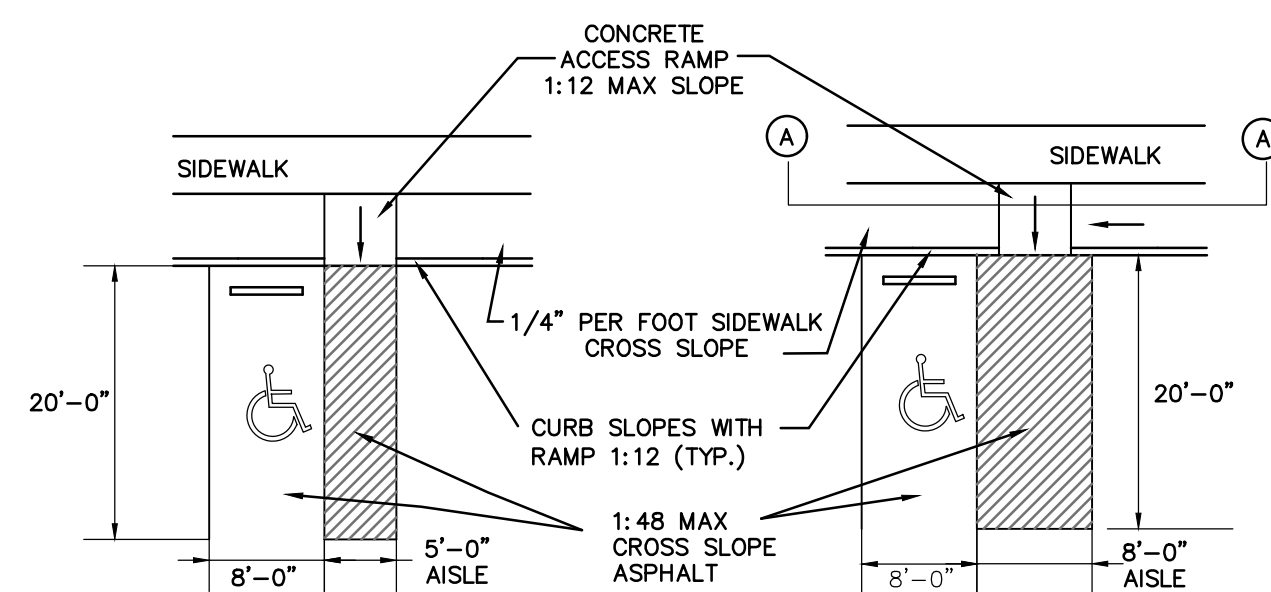
CONCRETE SECTION
PATIO AREA/ SIDEWALK
N.T.S.



STANDARD CURB & GUTTER
NOT TO SCALE

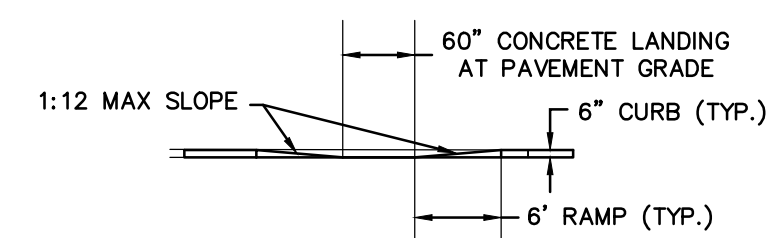


SIDEWALK WITH CURB & GUTTER
NOT TO SCALE

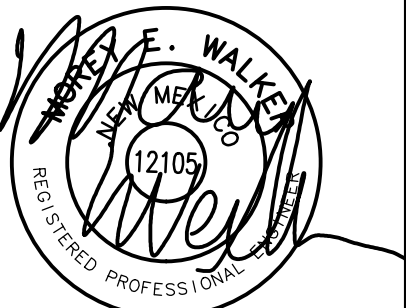


STANDARD ADA PARKING
NOT TO SCALE

VAN ACCESSIBLE ADA PARKING
NOT TO SCALE



ADA RAMP SECTION A-A'
NOT TO SCALE



3/6/20

BLAKE'S
 LOTABURGER # 75
 LOT 1 COORS PAVILION
 4121 COORS BLVD NW
 ALBUQUERQUE, NM 87120

ISSUED		
MARK	DATE	DESCRIPTION

PROJECT NO.	
FILE NAME	
DRAWN BY	
CHECKED BY	

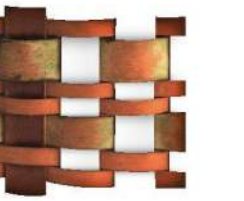
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Sheet No.
C3
SHEET NO. ___ OF ___ SHEETS

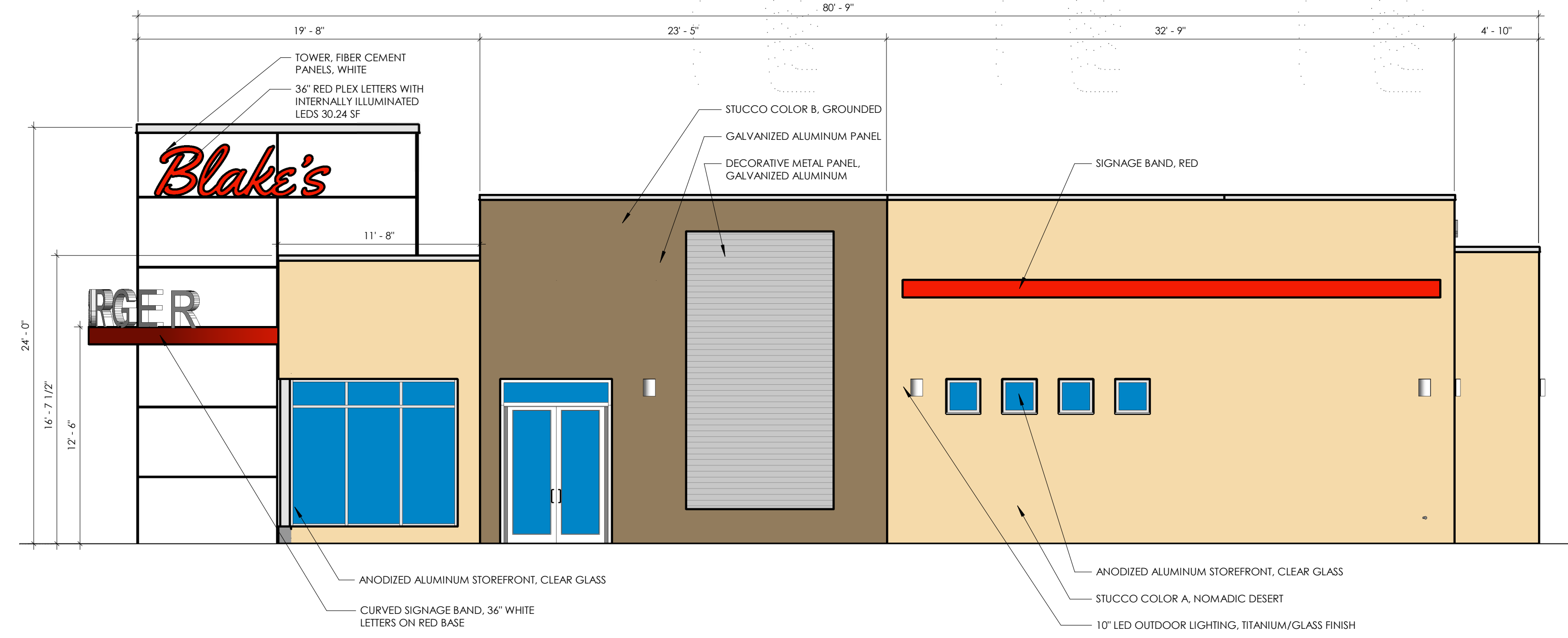
GENERAL NOTES

- A. MECHANICAL EQUIPMENT IS LOCATED ON ROOF. SCREENING IS PROVIDED BY PARAPET WALLS.
- B. SIGNAGE GOVERNED BY THE COORS PAVILION DESIGN STANDARDS, SECTION X, "SIGNAGE."

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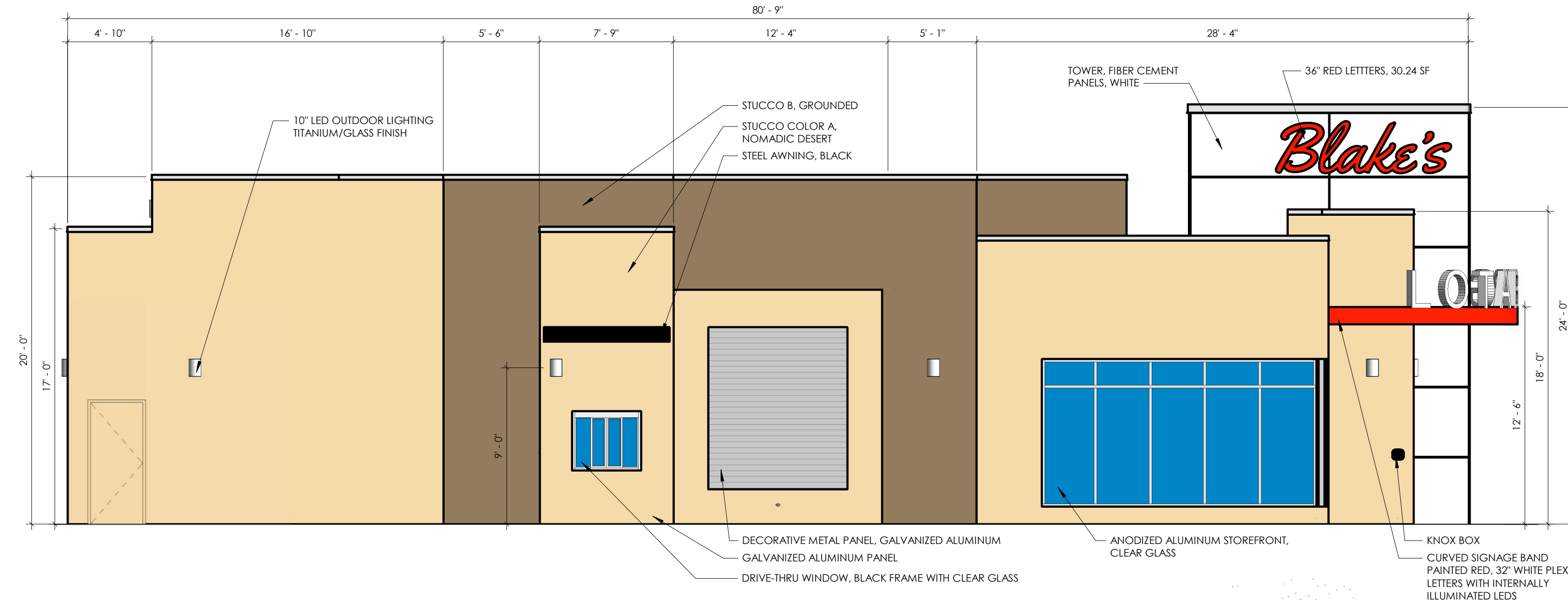


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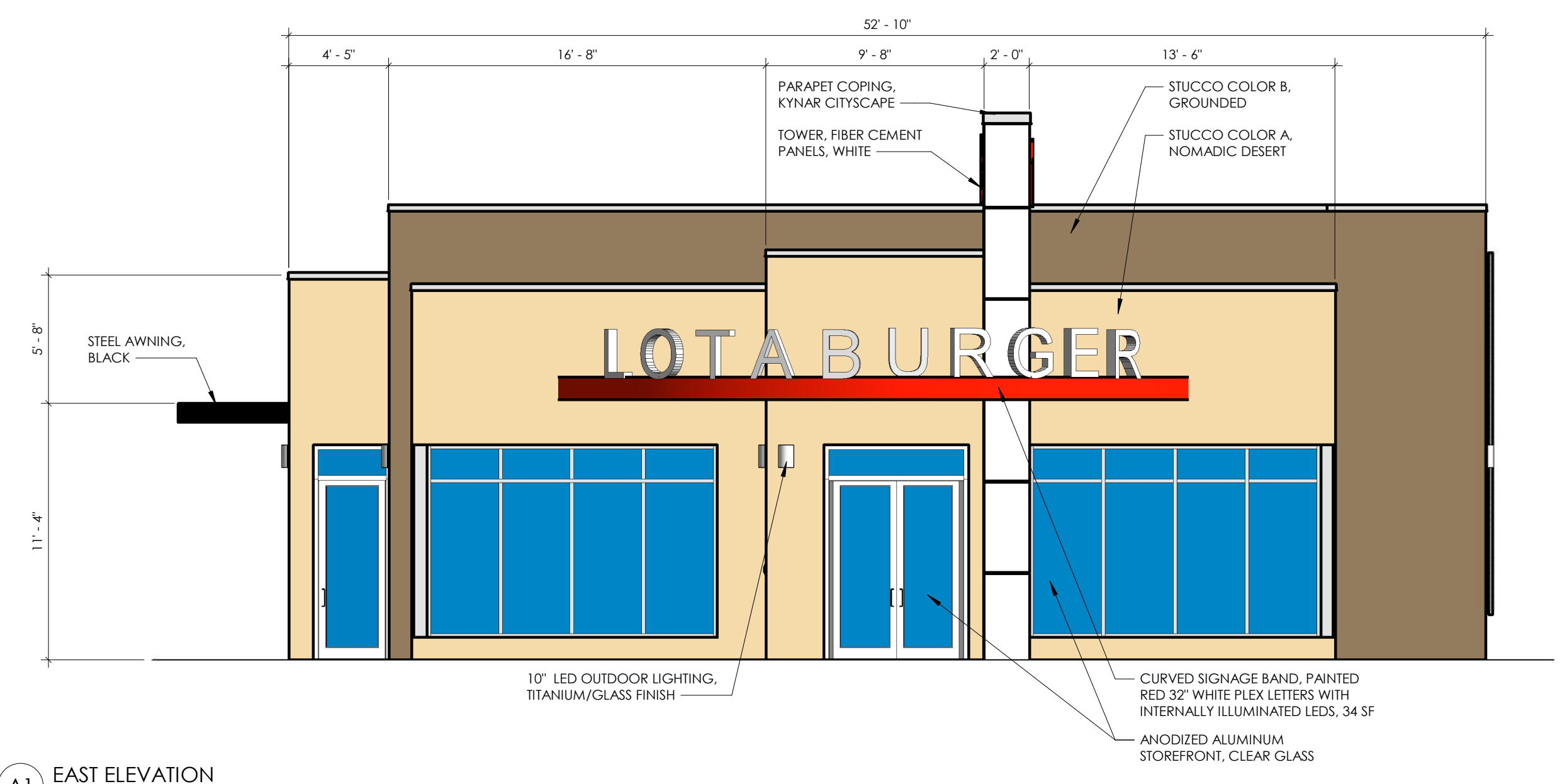
14-16-3-4(C)(5)(e)1 - ACCENT COLOR LIMITED TO 10%
ACCENT COLOR: RED (2.6%)
AREA OF RED: 43 SF
AREA OF ELEVATION: 1,655 SF

D1 NORTH ELEVATION
3/16" = 1'-0"



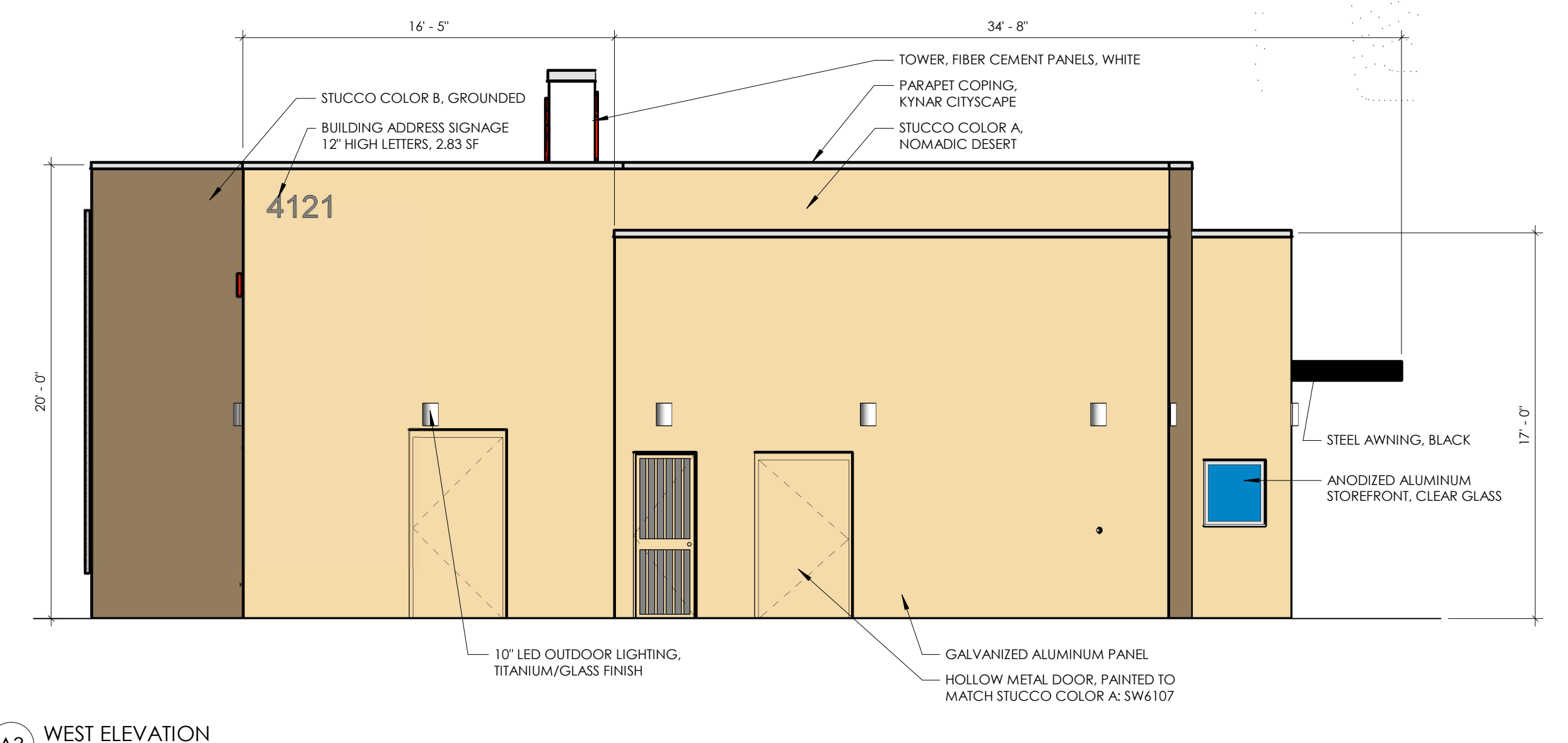
14-16-3-4(C)(5)(e)1 - ACCENT COLOR LIMITED TO 10%
ACCENT COLOR: RED (2.5%)
AREA OF RED: 42 SF
AREA OF ELEVATION: 1,655 SF

C1 SOUTH ELEVATION
3/16" = 1'-0"



14-16-3-4(C)(5)(e)1 - ACCENT COLOR LIMITED TO 10%
EAST ELEVATION
ACCENT COLOR: RED (2.6%)
AREA OF RED: 28 SF
AREA OF ELEVATION: 1,050 SF
WEST ELEVATION
ACCENT COLOR: RED (0%)
AREA OF RED: 0 SF
AREA OF ELEVATION: 1,050 SF

A1 EAST ELEVATION
3/16" = 1'-0"



A3 WEST ELEVATION
3/16" = 1'-0"

BLAKES LOTABURGER #75

4121 COORS BLVD. NW
ALBUQUERQUE, NM 87120

ISSUED

MARK	DATE	DRB APPLICATION DESCRIPTION
	02.28.20	DRB APPLICATION
		PROJECT NO. 19018
		FILE NAME
		DRAWN BY CL
		CHECKED BY RS

BUILDING ELEVATIONS

Sheet No. **DRB-ELEV**
Sheet No. ___ of ___ Sheets

