

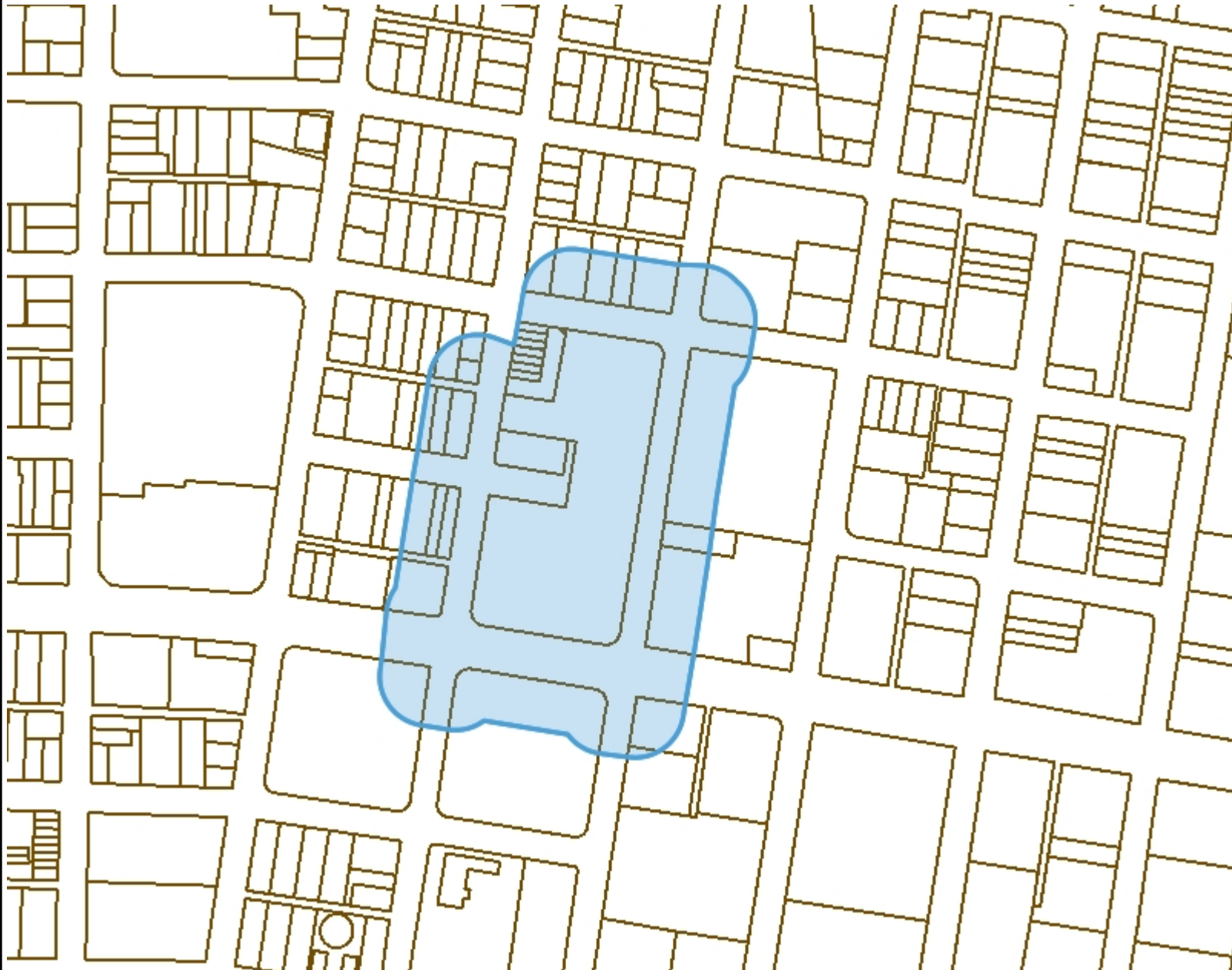


401 Lomas Blvd NW & 804 5th St NW



Legend

■ Bernalillo County Parcels



Notes

Buffer: 100 Ft.
ROW: 4th Street NW; 5th Street NW;
Lomas Blvd NW; Marble Ave NW.

601 0 300 601 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
7/29/2025 © City of Albuquerque

1: 3,606

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

510 SLATE AVE HOLDINGS LLC
PO BOX 27437
ALBUQUERQUE NM 87125-7437

ALBUQUERQUE PAWN SHOP LLC
501 LOMAS BLVD NW
ALBUQUERQUE NM 87102

ANSON FLATS GROUP LTD
320 GOLD AVE SW SUITE 1400
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ARGYRES CHRISTINA
2011 LOS POBLANOS PL NW
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ARGYRES CHRISTINA P & PETE
2011 LOS PABLANOS PL NW
LOS RANCHOS DE ALBUQUERQUE NM
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ASSED AHMAD & SANA
818 5TH ST NW
ALBUQUERQUE NM 87102

BERNALILLO COUNTY METROPOLITAN
COURT
PO BOX 133
ALBUQUERQUE NM 87103-0133

CHACON GAYLE D
826 5TH ST NW
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CITY OF ALBUQUERQUE
PO BOX 1293
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COUNTY OF BERNALILLO C/O COUNTY
MANAGER
1 CIVIC PLAZA NW
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DAVIS CHARLES G (ESTATE OF) C/O
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415 MARBLE AVE NW
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GIRON MARCELA TELLEZ
500 MARBLE ST NW
ALBUQUERQUE NM 87102-2149

JACKIE SANCHEZ BAIL BONDS LLC
809 5TH ST NW
ALBUQUERQUE NM 87102

JAWAHER LLC
818 5TH ST NW
ALBUQUERQUE NM 87102-2437

LOCKART BARBETTA L C/O SKY
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SANCHEZ MARCELA TELLEZ GIRON
6284 APACHE PLUME RD NE
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UNITED STATES OF AMERICA DIST
COURT C/O GEN SERV ADMIN 7L
819 TAYLOR ST
FORT WORTH TX 76102-6124

WAGNER ALOIS
504 MARBLE AVE NW
ALBUQUERQUE NM 87102-2182

YCE LLC
PO BOX 25324
ALBUQUERQUE NM 87125-0324

YURCIC PROPERTIES LLC
8922 GREEN ARBOR RD NE
ALBUQUERQUE NM 87122

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice*: 8/1/25

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) §14-16-6-4(K) Public Notice. This notice is being provided to (mark as relevant):

- ☐ Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.¹
- ☒ Property Owners within 100 feet of the Subject Property.

Information Required by IDO §14-16-6-4(K)(1)(a)

1. Subject Property Address* 401 Lomas Blvd NW
Location Description Tract A-1, Bernalillo County Metropolitan Court, Tract 8-A, Block N, Mandell Business and Residence Addition
2. Property Owner* Bernalillo County Metropolitan Court
3. Agent/Applicant* [if applicable] JAG Planning & Zoning, Juanita Garcia
4. Application Type(s)²* per IDO Table 6-1-1
 - ☐ Site Plan – EPC
 - ☐ Subdivision _____ (Minor or Major or Bulk Land)
 - ☒ Vacation Public ROW (Street and Alley) (Easement/Private Way or Public Right-of-way)
 - ☐ Variance – EPC
 - ☐ Waiver _____ (DHO or Wireless Telecommunication Facility)
 - ☐ Other: _____

Summary of project/request³*:

The applicant is seeking to vacate Public Right-of-Way (A Portion of Slate Ave NW and a 16' wide Alley). The application for Slate Ave ultimately requires City Council approval.

5. This application will be decided at a public meeting or hearing by*:

- ☒ Development Hearing Officer (DHO)
- ☐ Landmarks Commission (LC)
- ☐ Environmental Planning Commission (EPC)

¹ If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

² Applications for the Zoning Hearing Examiner require a public notice form available here: <https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

³ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Hearing Date/Time*: August 27, 2025 9:00 AM

Location*⁴: Via Zoom www.cabq.gov/planning/boards-commissions

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select the option for "Boards, Commissions, and ZHE Signs."

6. Where more information about the project can be found*:

Preferred project contact information:

Name: JAG Planning & Zoning, Juanita Garcia

Email: jag@jagpandz.com

Phone: (505) 362-8903



Attachments:



Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination*



Others: _____



Online website or project page: devhelp@cabq.gov

Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ J-14-Z

2. Project Illustrations, as relevant*⁶



Architectural drawings



Elevations of the proposed building(s)



Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above.

3. The following exceptions to IDO standards have been requested for this project*:



Deviation(s)



Variance(s)



Waiver(s)

Explanation*:

No deviations, variances or waivers will be requested with this application.

⁴ Physical address or Zoom link

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas>

⁶ While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

[Note: Items with an asterisk (*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Per amended IDO, Pre-submittal Neighborhood meeting is not required;

however, the applicant will arrange a facilitated meeting at least 15

days prior to the August 27, 2025 hearing date, if requested.

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁷:

1. Area of Property [typically in acres] 3.6602
 2. IDO Zone District MX-FB, MX-H, MX-M
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Public Right-of-Way (Slate Ave NW and a 16' wide alley) between 4th and 5th ST NW.

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select option for "Boards, Commissions, and ZHE Signs."

Useful Links

Integrated Development Ordinance (IDO): <https://ido.abc-zone.com>

IDO Interactive Map: <https://tinyurl.com/idozoningmap>

⁷ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

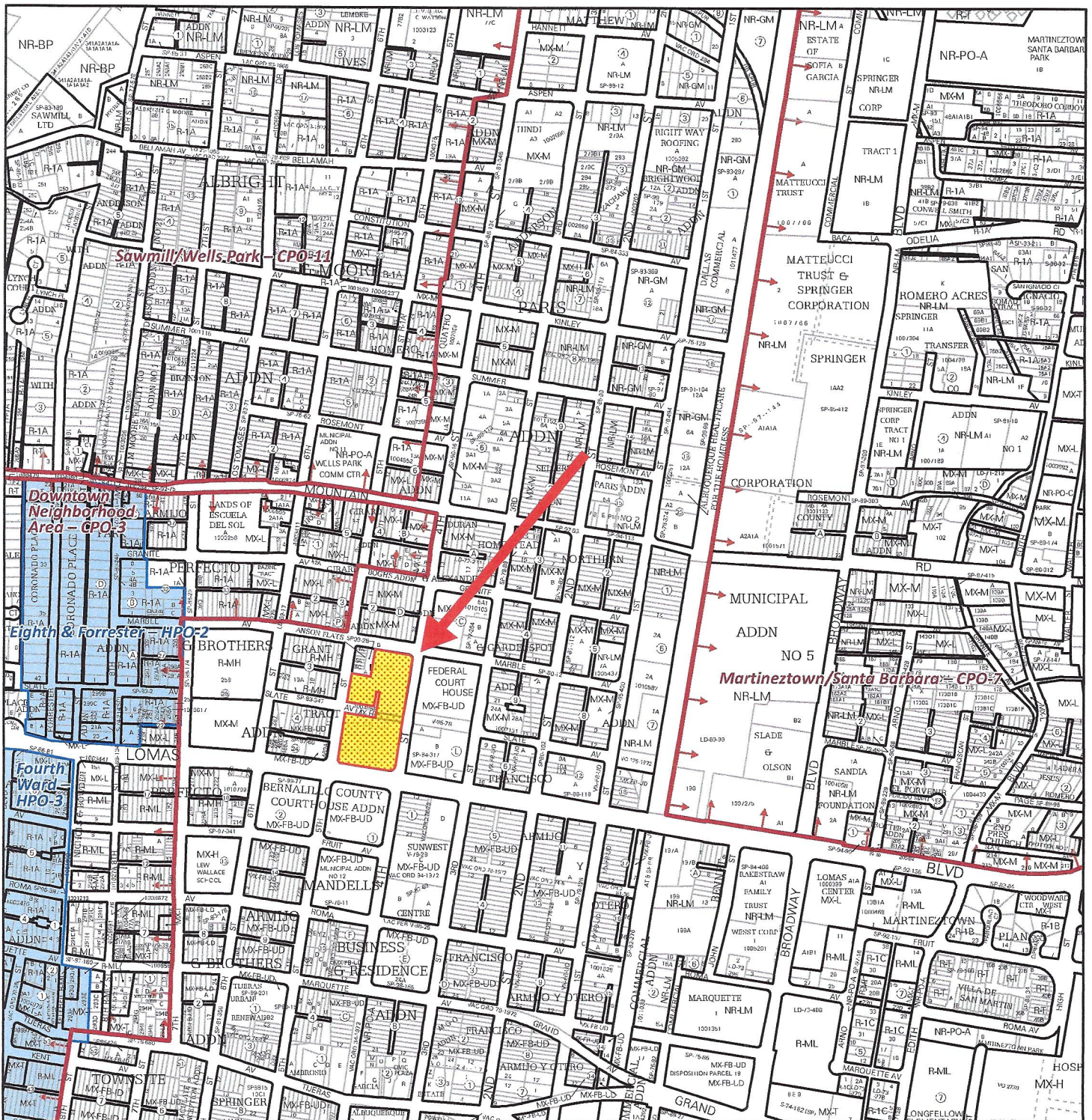
Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

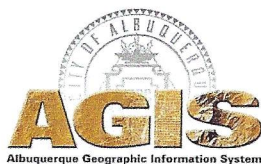
Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihiigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

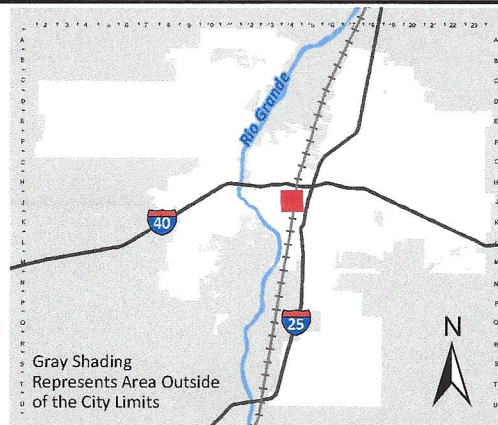


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

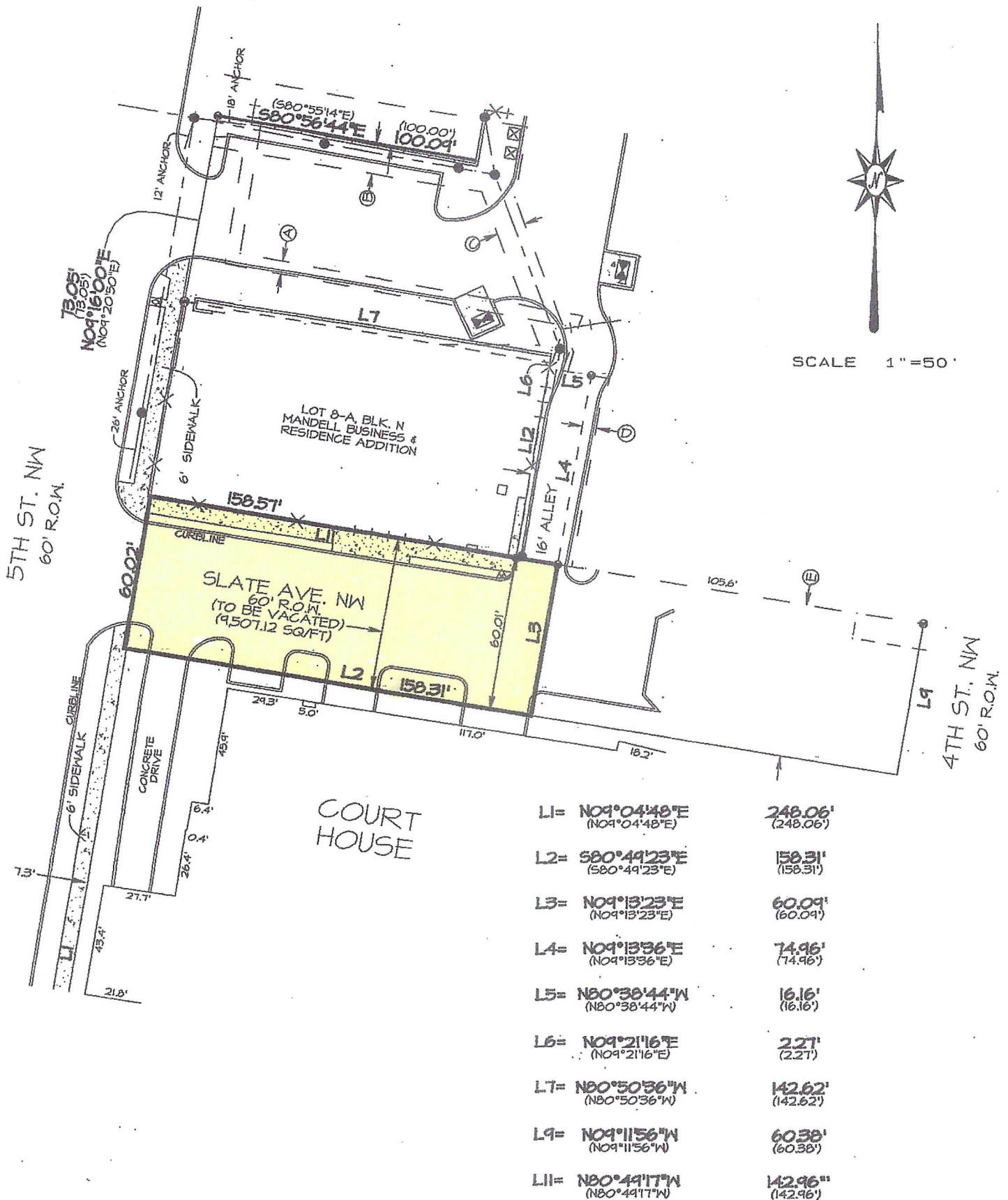


Zone Atlas Page:
J-14-Z

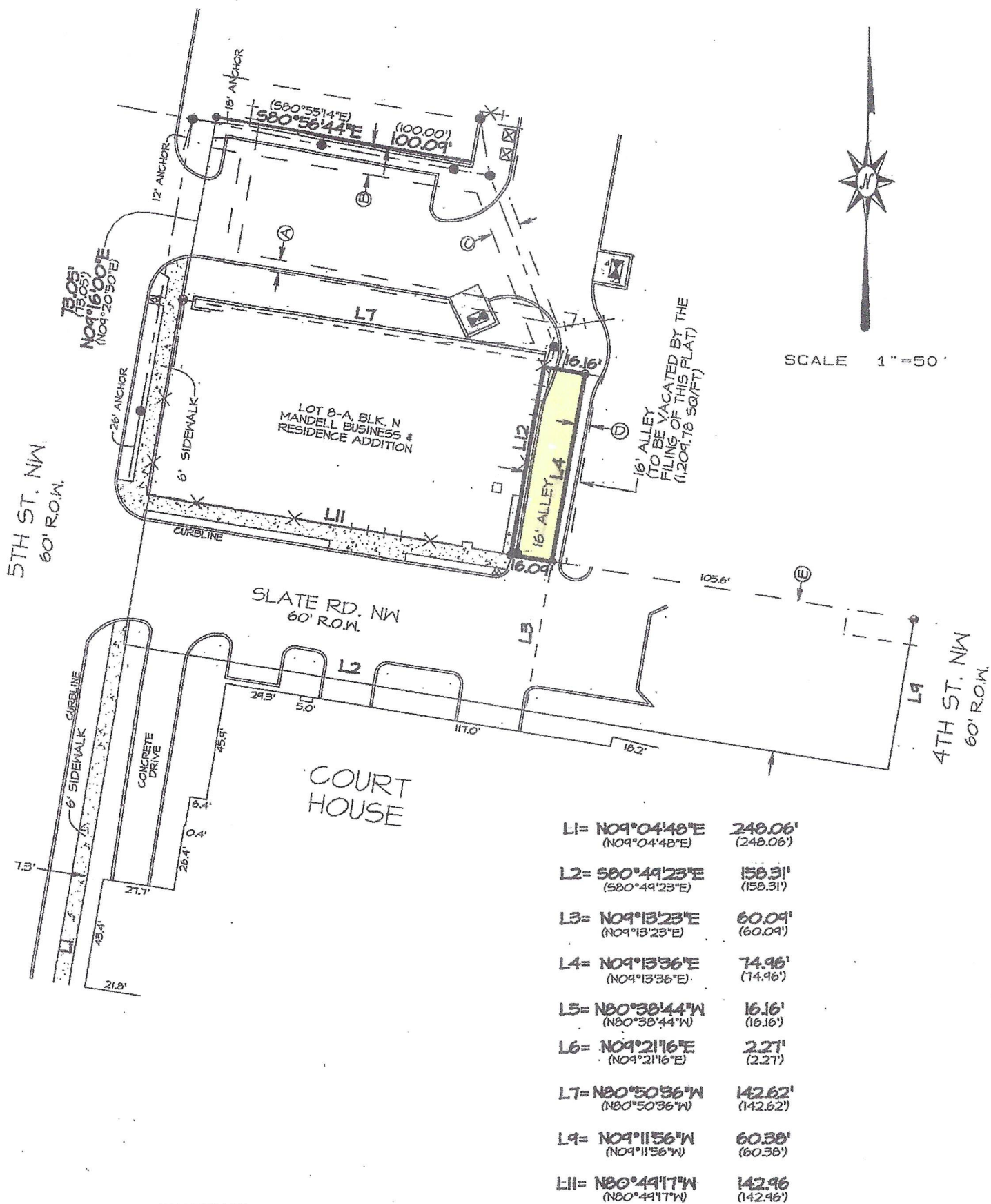
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

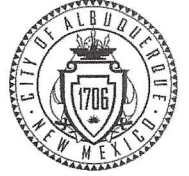
60' R.O.W. VACATION SLATE AVE. NW



16' ALLEY VACATION



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Vacation of Right-of-Way (street and Alley)

Decision-making Body: DHO and City Council

Pre-Application meeting required: ☐ Yes ☒ No

Neighborhood meeting required: ☐ Yes ☒ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☐ Yes ☒ No **Note: if yes, see second page**

PART II - DETAILS OF REQUEST

Address of property listed in application: 401 Lomas Blvd NW

Name of property owner: Bernalillo County Metropolitan Court

Name of applicant: JAG Planning + Zoning - Juanita or Andrew Garcia

Date, time, and place of public meeting or hearing, if applicable: Wednesday August 27, 2025
9:00 AM via Zoom

Address, phone number, or website for additional information:

www.cabq.gov / Planning / boards-commissions

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

**IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO
[SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Juanita Garcia (Applicant signature) 8/1/2025 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

Division XI

ESTADA

JARAMILLO

quadiant FIRST-CLASS MAIL
07/30/2025 IMI
US POSTAGE \$001.03⁰
ZIP 87102
041M12254271

MONTOYA ERNEST P TRUSTEE
MONTOYA RVT
PO BOX 25227
ALBUQUERQUE NM 87125

quadiant FIRST-CLASS MAIL
07/30/2025 IMI
US POSTAGE \$001.03⁰
ZIP 87102
041M12254271

ORESTE PROPERTIES LLC
2719 TRAMWAY CIR NE
ALBUQUERQUE NM 87122-1298

quadiant FIRST-CLASS MAIL
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US POSTAGE \$001.03⁰
ZIP 87102
041M12254271

SANCHEZ MARCELA TELLEZ GIRON
6284 APACHE PLUME RD NE
RIO RANCHO NM 87144-5176

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SCHULTZ GEORGE D & COOK ELIZABETH
H
1209 RIDGECREST DR SE
ALBUQUERQUE NM 87108-3459

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UNITED STATES OF AMERICA DIST
COURT C/O GEN SERV ADMIN 7L
819 TAYLOR ST
FORT WORTH TX 76102-6124

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ZIP 87102
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WAGNER ALOIS
504 MARBLE AVE NW
ALBUQUERQUE NM 87102-2182

Division XI

Division XII

ESTAD

JARAMILLO

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ZIP 87102
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YCE LLC
PO BOX 25324
ALBUQUERQUE NM 87125-0324

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Division XI

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GIRON MARCELA TELLEZ
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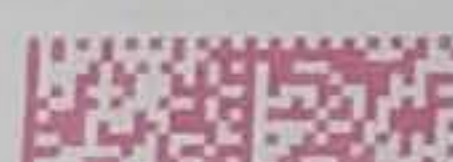
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JAWAHER LLC
818 5TH ST NW
ALBUQUERQUE NM 87102-2437

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MATTHEW RENTALS LLC
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ESTADIA

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COUNTY OF BERNALILLO C/O COUNTY
MANAGER
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ALBUQUERQUE NM 87102-2109

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07/30/2025
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IM1
US POSTAGE \$001.03⁹
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DAVIS CHARLES G (ESTATE OF) C/O
FORD DAVIS
415 MARBLE AVE NW
ALBUQUERQUE NM 87102-2192