

- GENERAL NOTES**
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
  - REQUIRES FULL FORM ON ALL FACES.
  - CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
  - 1/2" EXPANSION JOINTS 24" O.C.

- GENERAL NOTES**
- EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
  - CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
  - 1/2" EXPANSION JOINTS 48" O.C., CURB RETURNS AND EACH SIDE OF DRIVES. SEAL WITH \_\_\_\_\_
  - EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).

- GENERAL NOTES**
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
  - REQUIRES FULL FORM ON ALL FACES.
  - CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
  - 1/2" EXPANSION JOINTS 48" O.C., CURB RETURNS AND EACH SIDE OF DRIVES

**CONCRETE PAVING SECTION**

**ASPHALT PAVING SECTIONS**

**HEADER CURB**

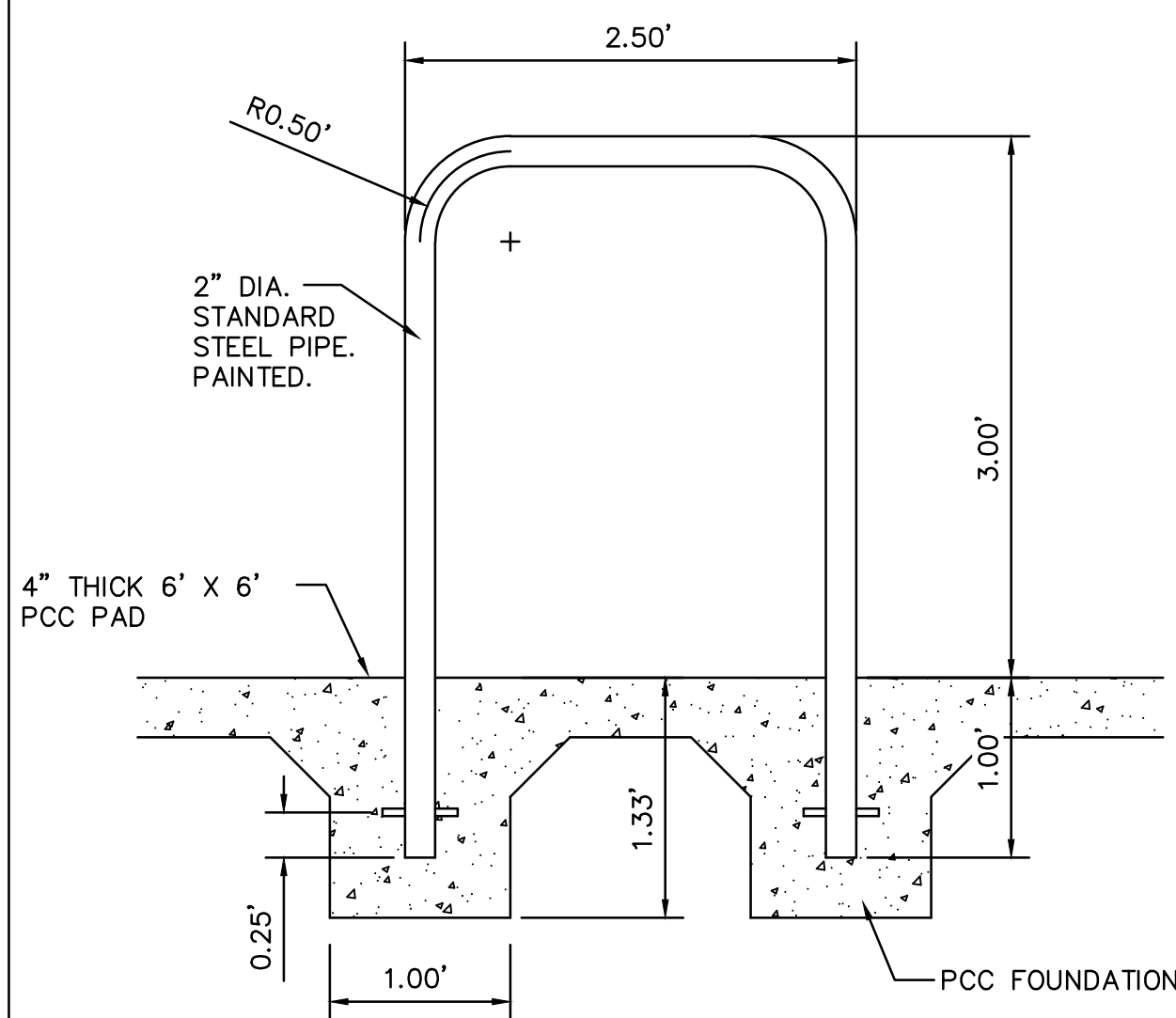
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**ALLEY GUTTER**

SCALE: N.T.S.

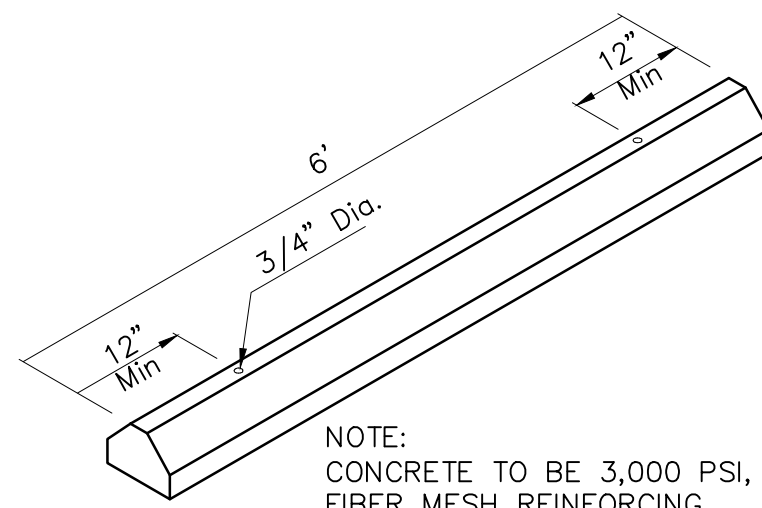
**MEDIAN CURB AND GUTTER**

SCALE: N.T.S.



**BICYCLE RACK - 'STAPLE'**

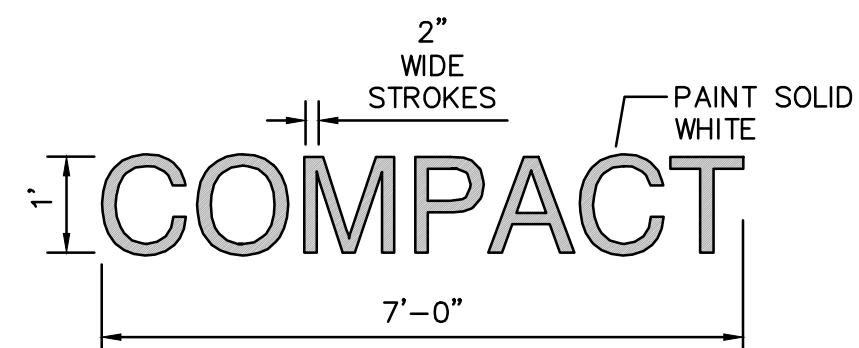
SCALE: N.T.S.



**WHEEL STOP**

SCALE: N.T.S.

- NOTES:**
- WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL
  - WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.



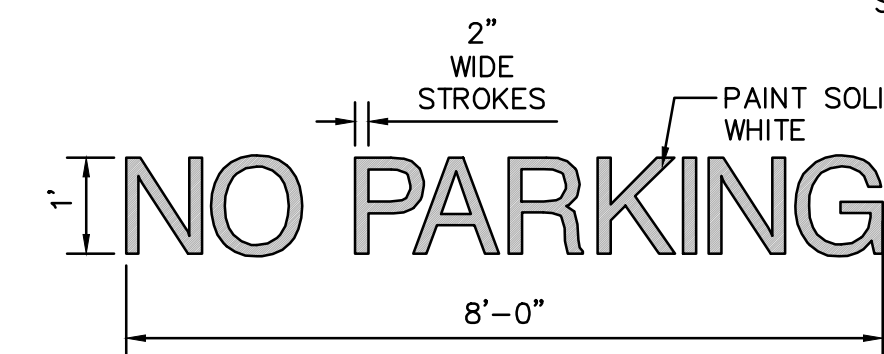
**PAINTED 'COMPACT'**

AT ALL COMPACT PARKING SPACES

SCALE: N.T.S.

**SIDEWALK - TURNED DOWN EDGE**

SCALE: N.T.S.



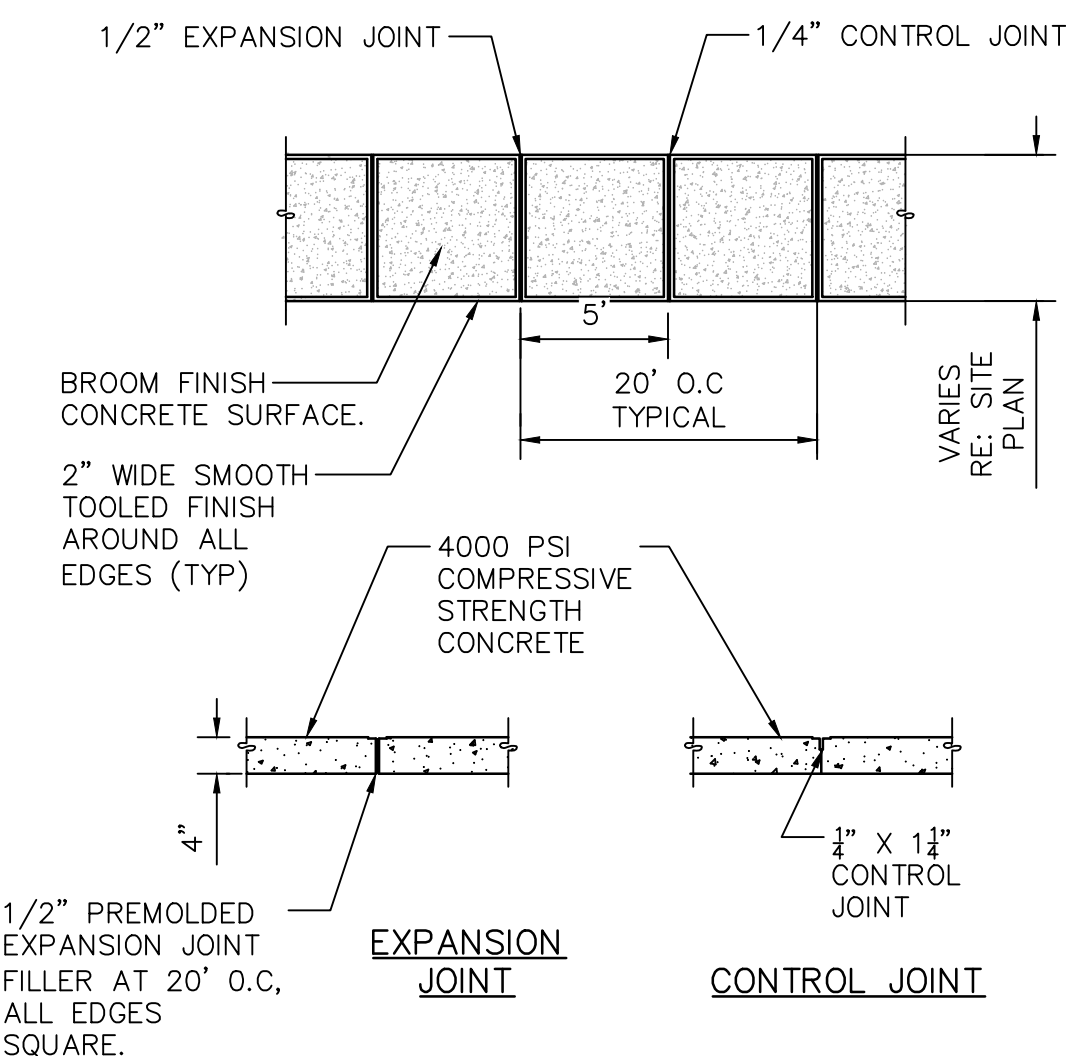
**PAINTED 'NO PARKING'**

AT ADA ACCESS AISLES ADJACENT TO ADA PARKING

SCALE: N.T.S.

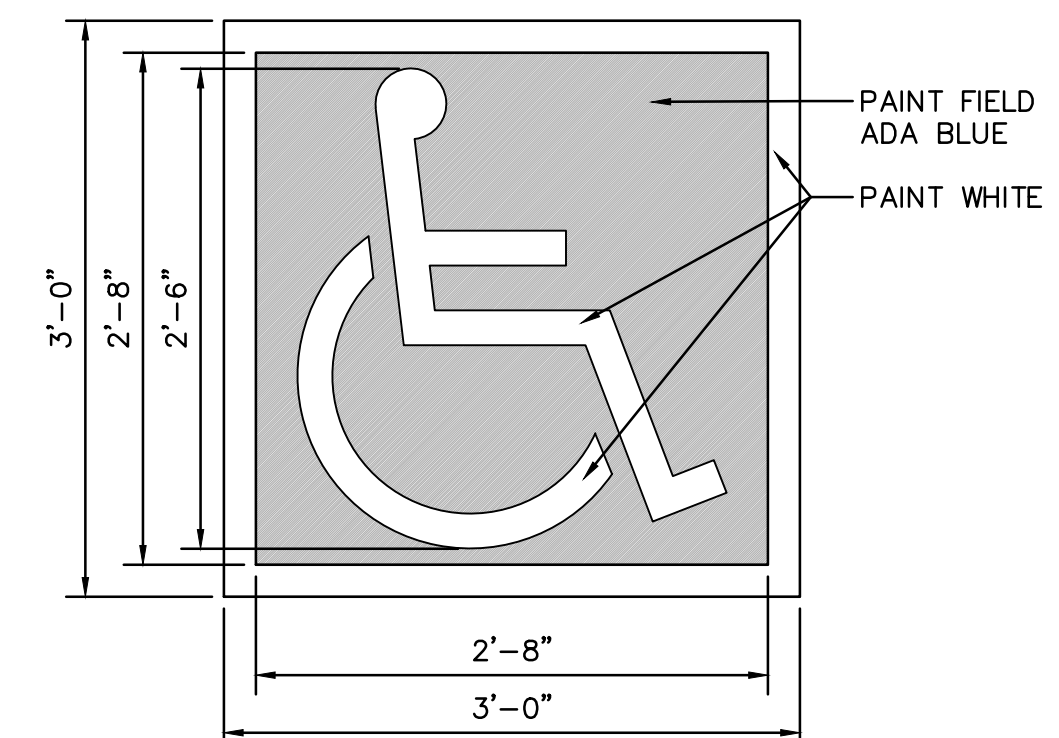
**TYPICAL SIDEWALK**

SCALE: N.T.S.



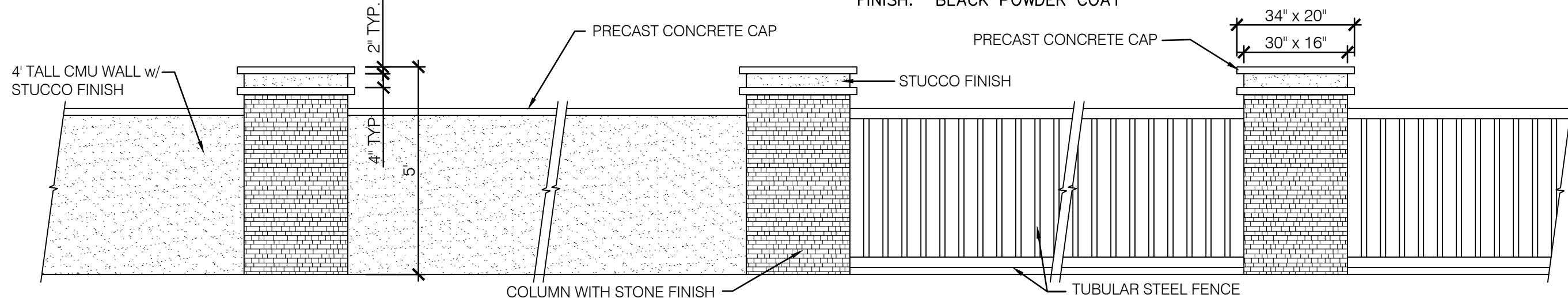
**ACCESSIBILITY SYMBOL**

SCALE: N.T.S.



- STUCCO / STONE WALL (SW):**
- STONE: COLORTBD
  - STUCCO: COLOR TBD
  - PRECAST CAP: COLOR TBD

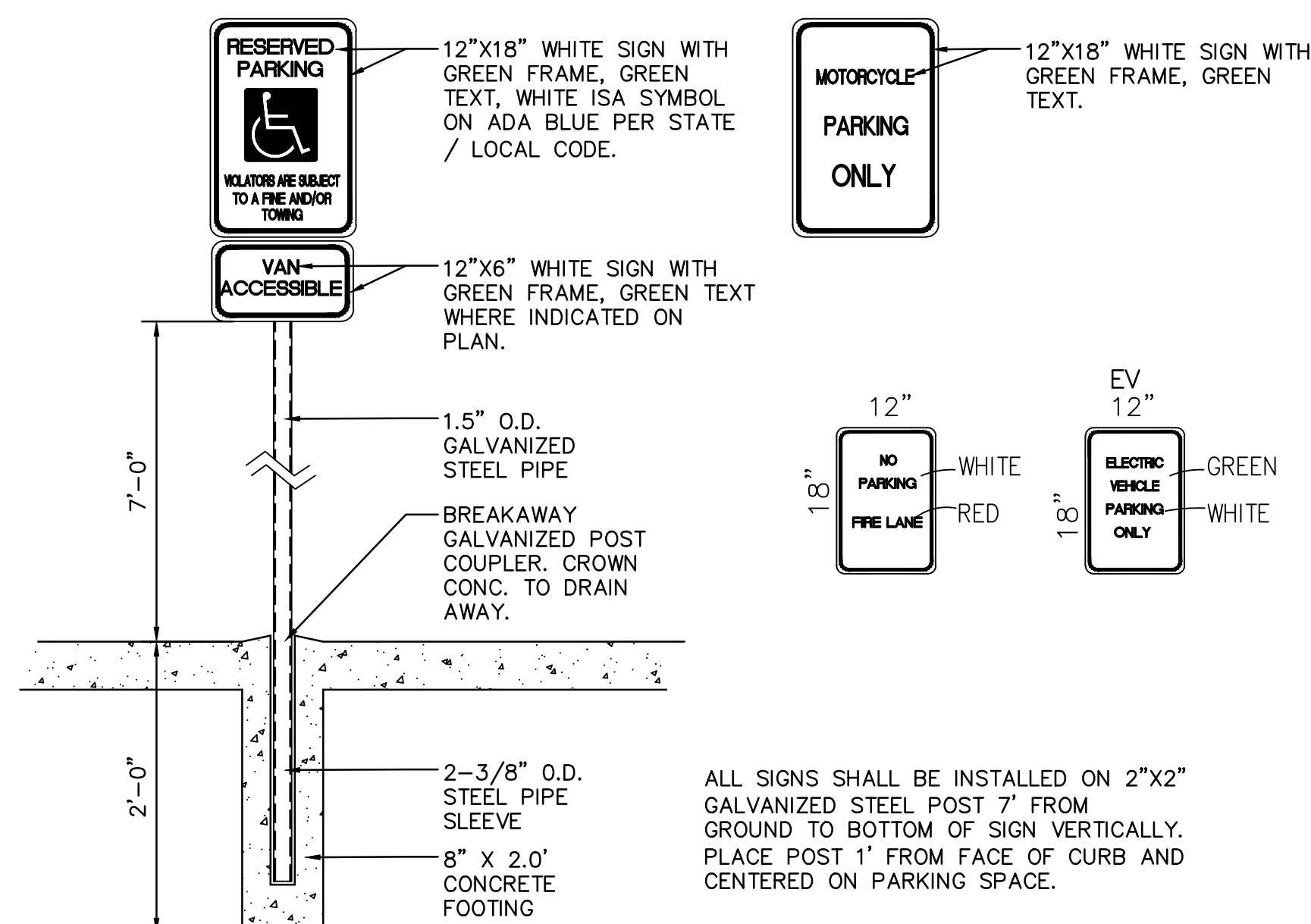
- TUBULAR STEEL VIEW FENCE (VF):**
- RAILS: 2 1/2" X 2 1/2" X 14GA
  - PICKETS: 1 1/2" X 1 1/2" X 14GA, 7 1/2" O.C.
  - POSTS: 3" X 3" X 1/8" TUBE, WELDED TO EMBED
  - FINISH: BLACK POWDER COAT



- NOTES:**
- PILASTER SPACING VARIES AND IS TO BE DETERMINED DURING CONSTRUCTION PHASE.
  - SPECIFIC PATTERN OF SOLID WALL SECTIONS AND TUBULAR STEEL FENCING SHALL BE DETERMINED DURING CONSTRUCTION PHASE.

**FENCE/WALL GENERAL DESIGN INFORMATION**

SCALE: N.T.S.

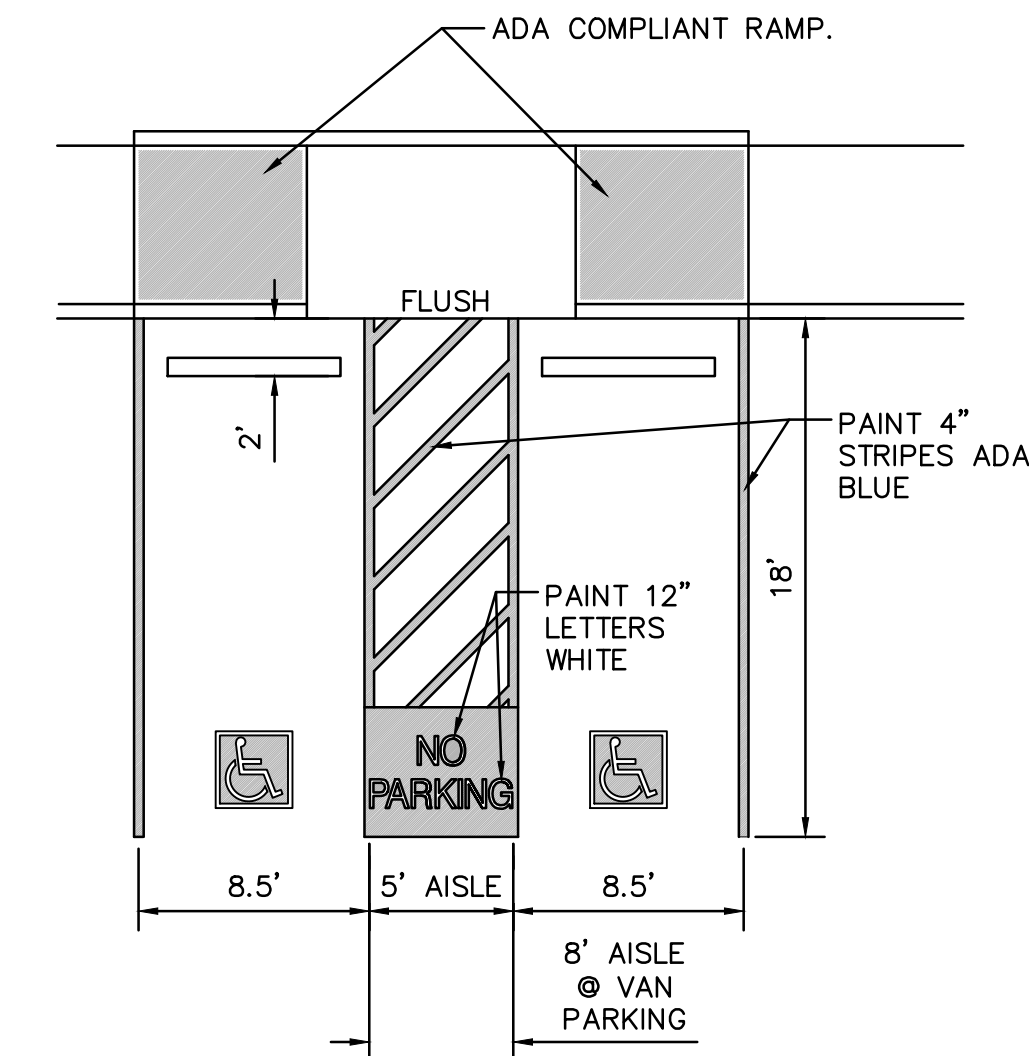


**PARKING SIGNS**

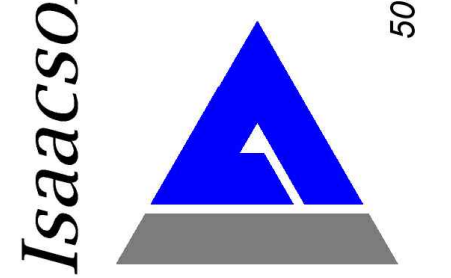
SCALE: N.T.S.

**ADA PARKING DETAIL**

SCALE: N.T.S.



2360 CP-501.dwg 28 October 2020  
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Date: 10-28-20

**OVERTURE ANDALUCIA**  
 Albuquerque, New Mexico  
 a development of  
 Greystar Development Group, LP

ISSUE/DESIGN DEVELOPMENT	PROJECT NUMBER: IA 2360
FILE:	BUB
DRAWN BY:	FCA
CHECKED BY:	10-23-2020
DATE:	

Description	Date	No

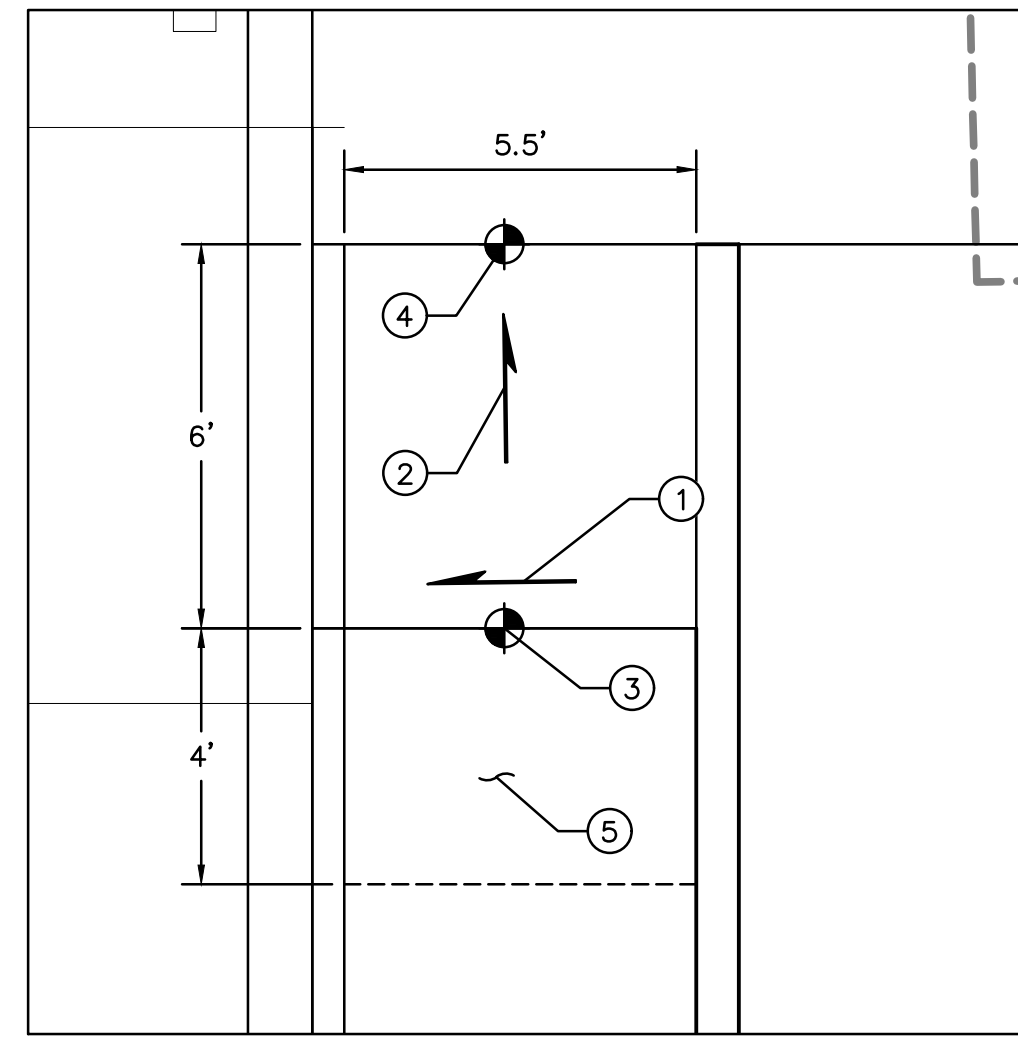
SHEET TITLE

**Site Details**

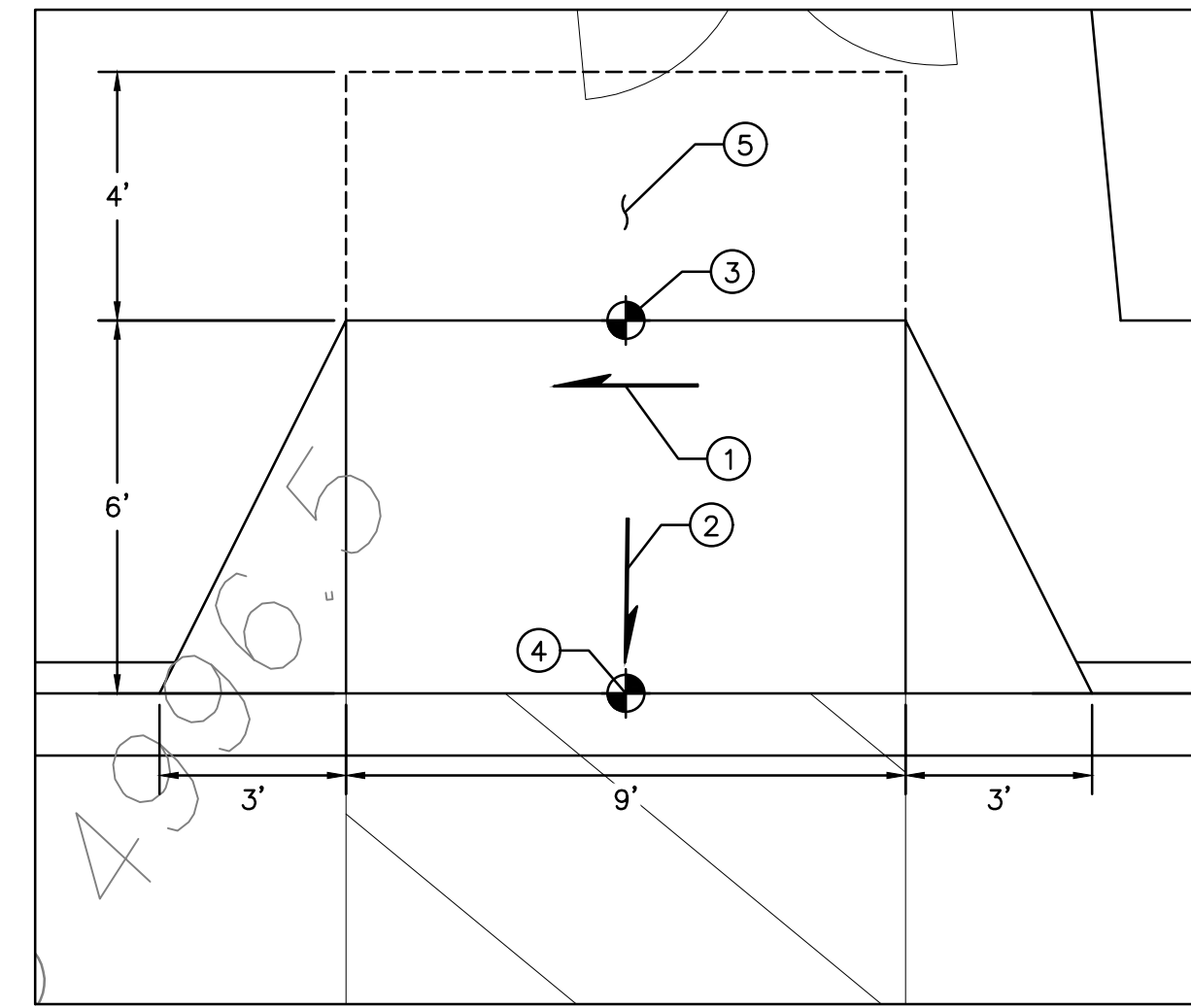
SHEET NUMBER

**CP-501**

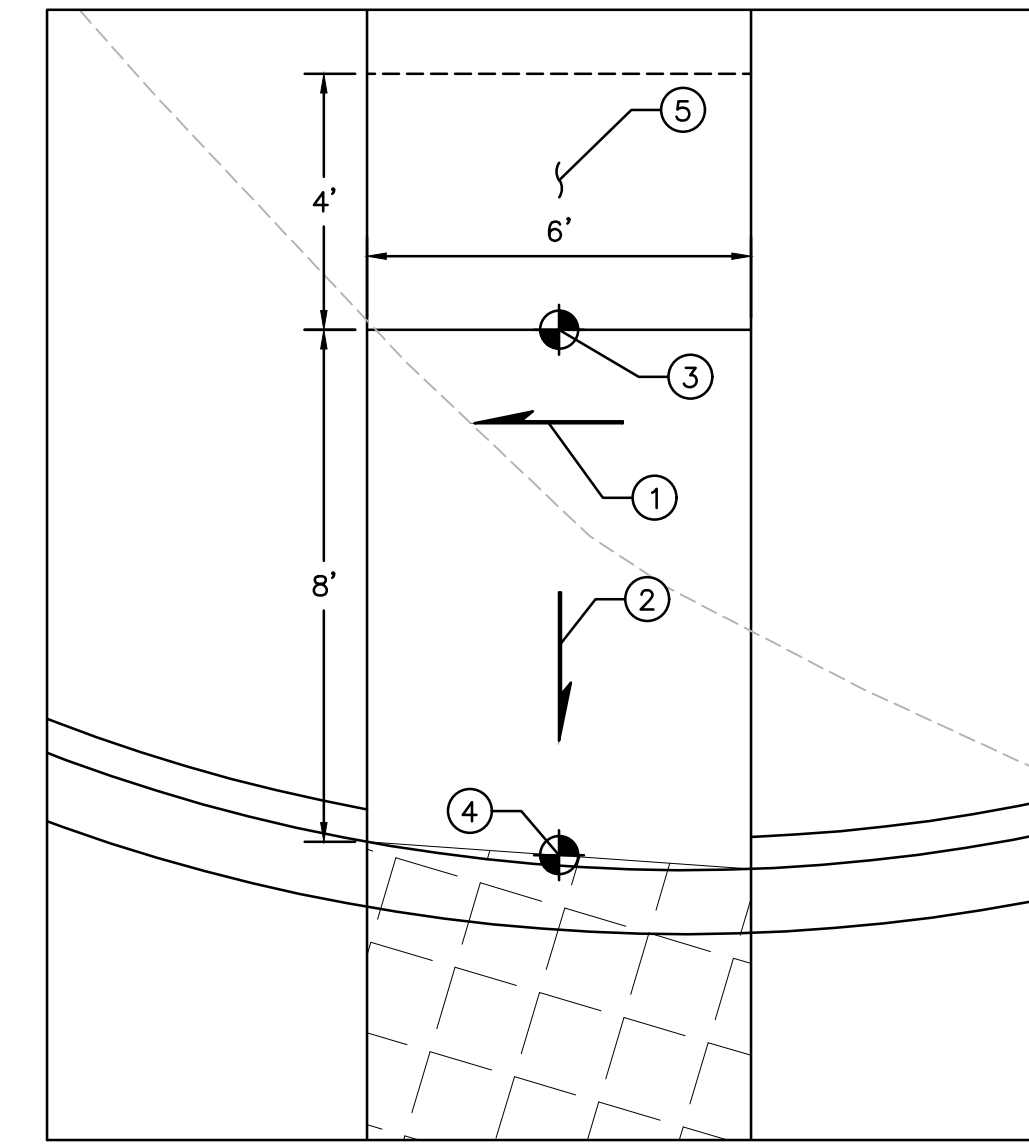
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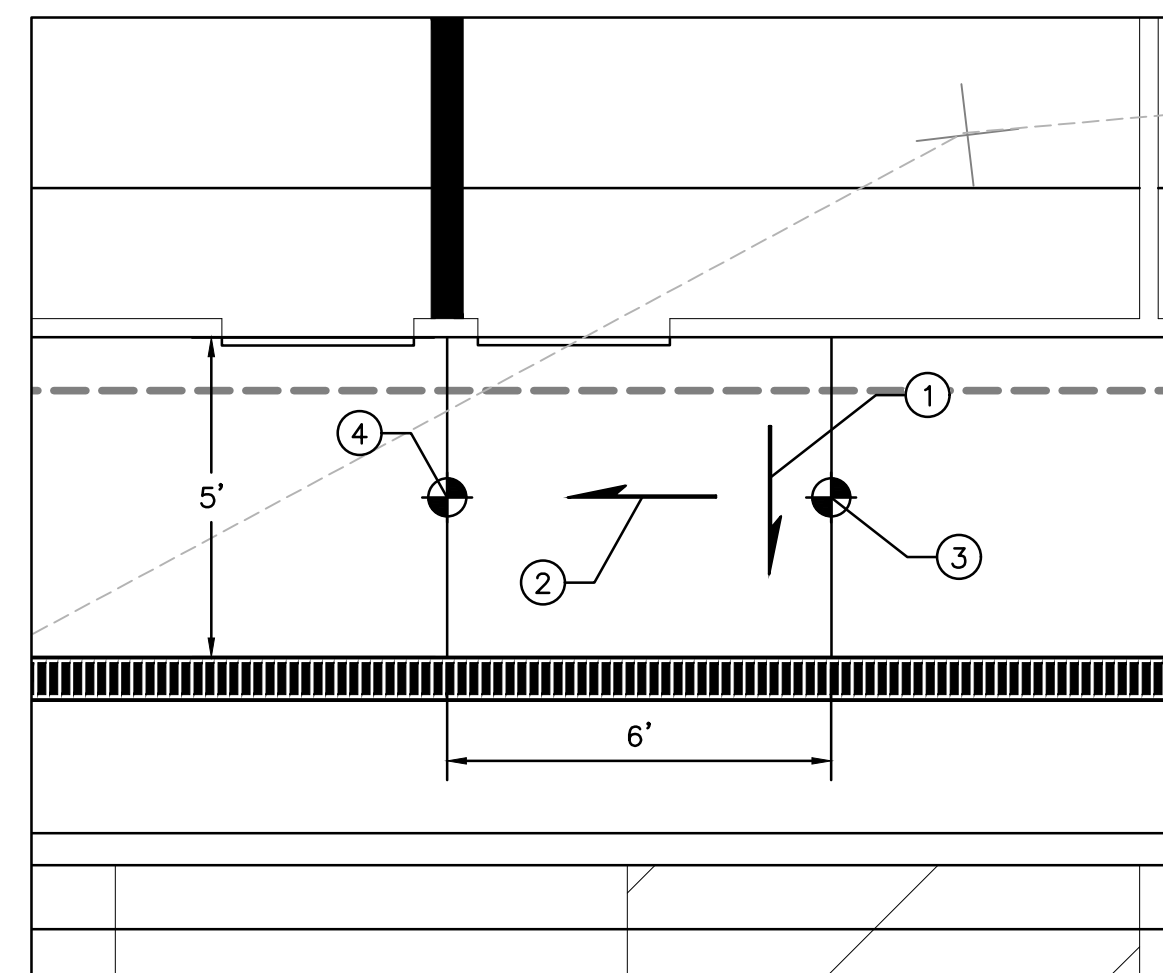
**CONDITION A**  
SCALE: 1" = 3'



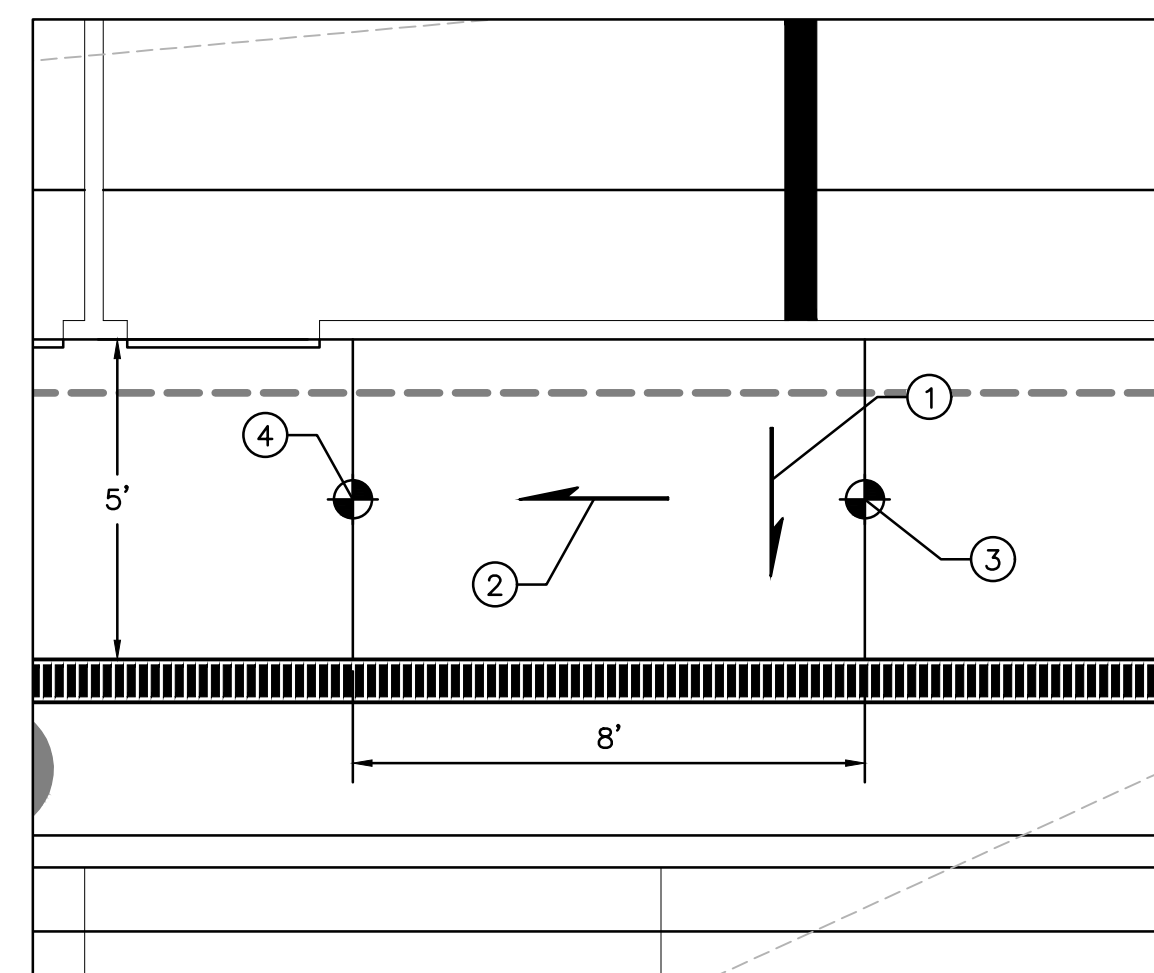
**CONDITION B**  
SCALE: 1" = 3'



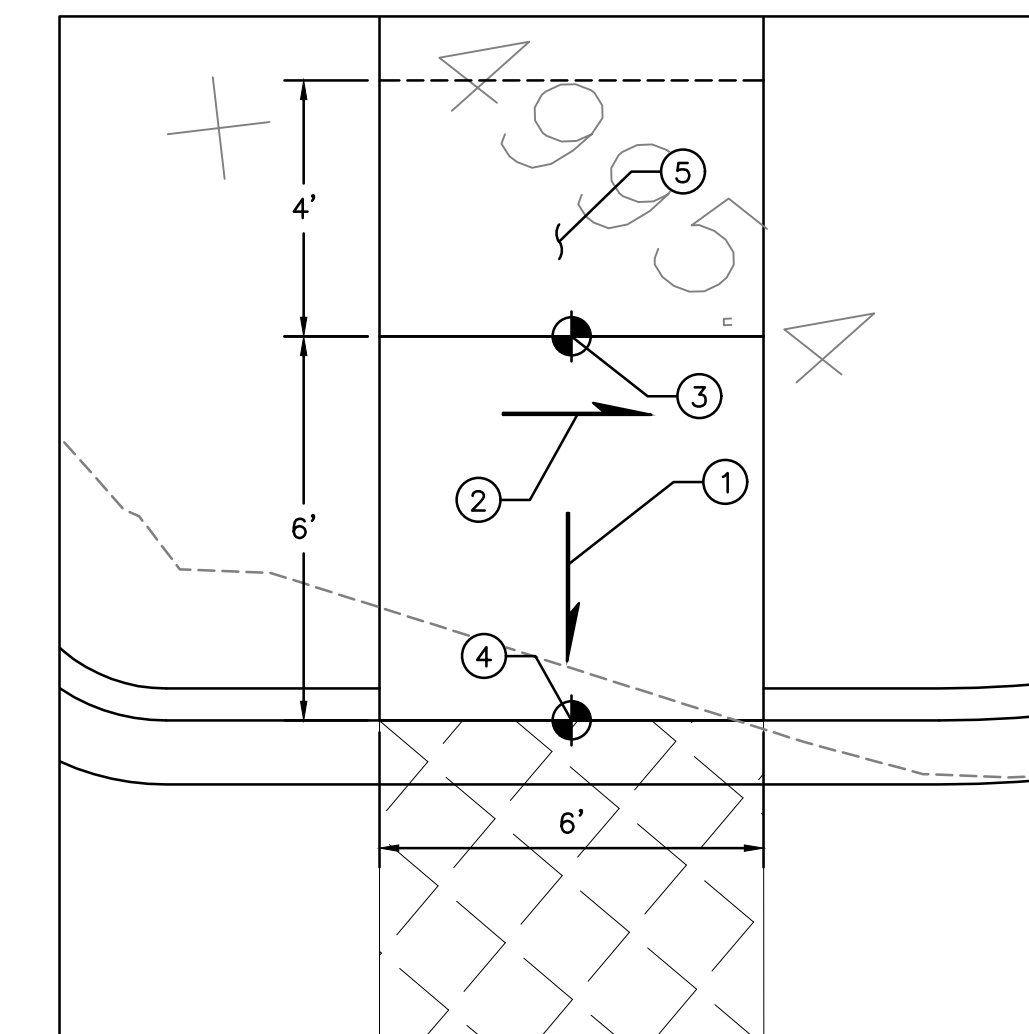
**CONDITION C**  
SCALE: 1" = 3'



**CONDITION D**  
SCALE: 1" = 3'



**CONDITION E**  
SCALE: 1" = 3'



**CONDITION F**  
SCALE: 1" = 3'

**ADA RAMPS DETAILS**

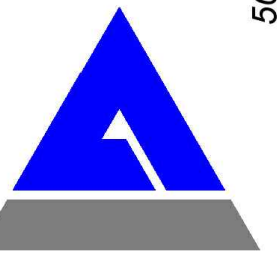
**KEYED NOTES**

1. RAMP TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
2. ACCESSIBLE RAMP TARGET LONGITUDINAL SLOPE = 7%. LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
3. REFER TO FINAL GRADING PLAN FOR TOP OF RAMP FINAL GRADE, MAXIMUM ELEVATION CHANGE ACROSS RAMP = 6"
4. REFER TO FINAL GRADING PLAN FOR BOTTOM OF RAMP FINAL GRADE
5. MINIMUM 4' LANDING, MAXIMUM SLOPE = 2% IN ALL DIRECTIONS

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2360 CP-501.dwg 28 October 2020

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Date

**OVERTURE ANDALUCIA**  
 Albuquerque, New Mexico  
 a development of  
 Greystar Development Group, LP

ISSUE: DESIGN DEVELOPMENT
PROJECT NUMBER: IA 2360
FILE: BJB
DRAWN BY: BJB
CHECKED BY: FCA
DATE: 10-23-2020

No	Date	Description

SHEET TITLE

**Site Ramp Details**

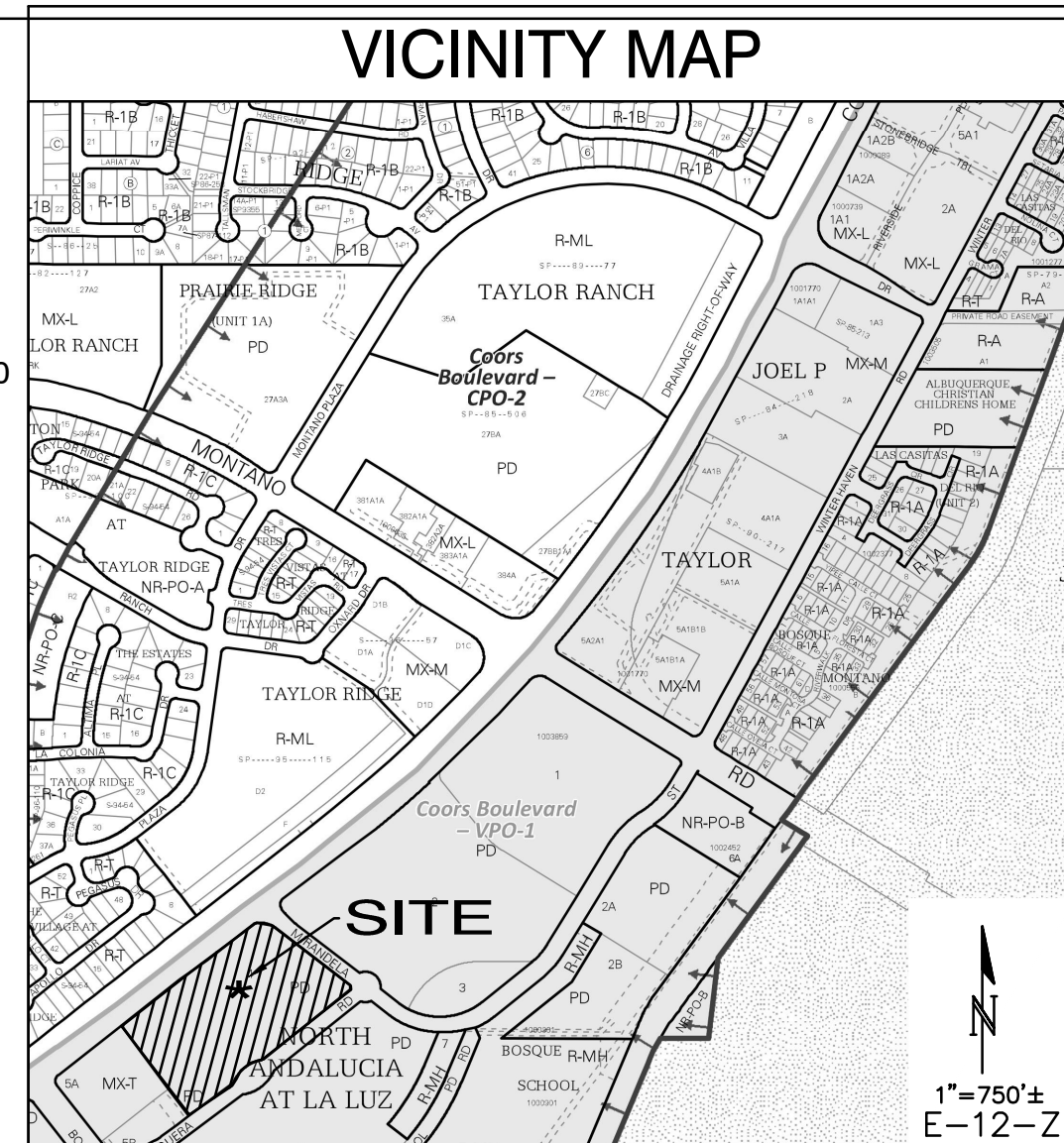
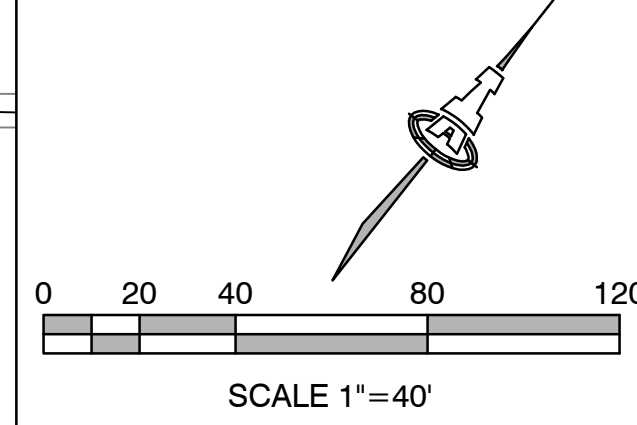
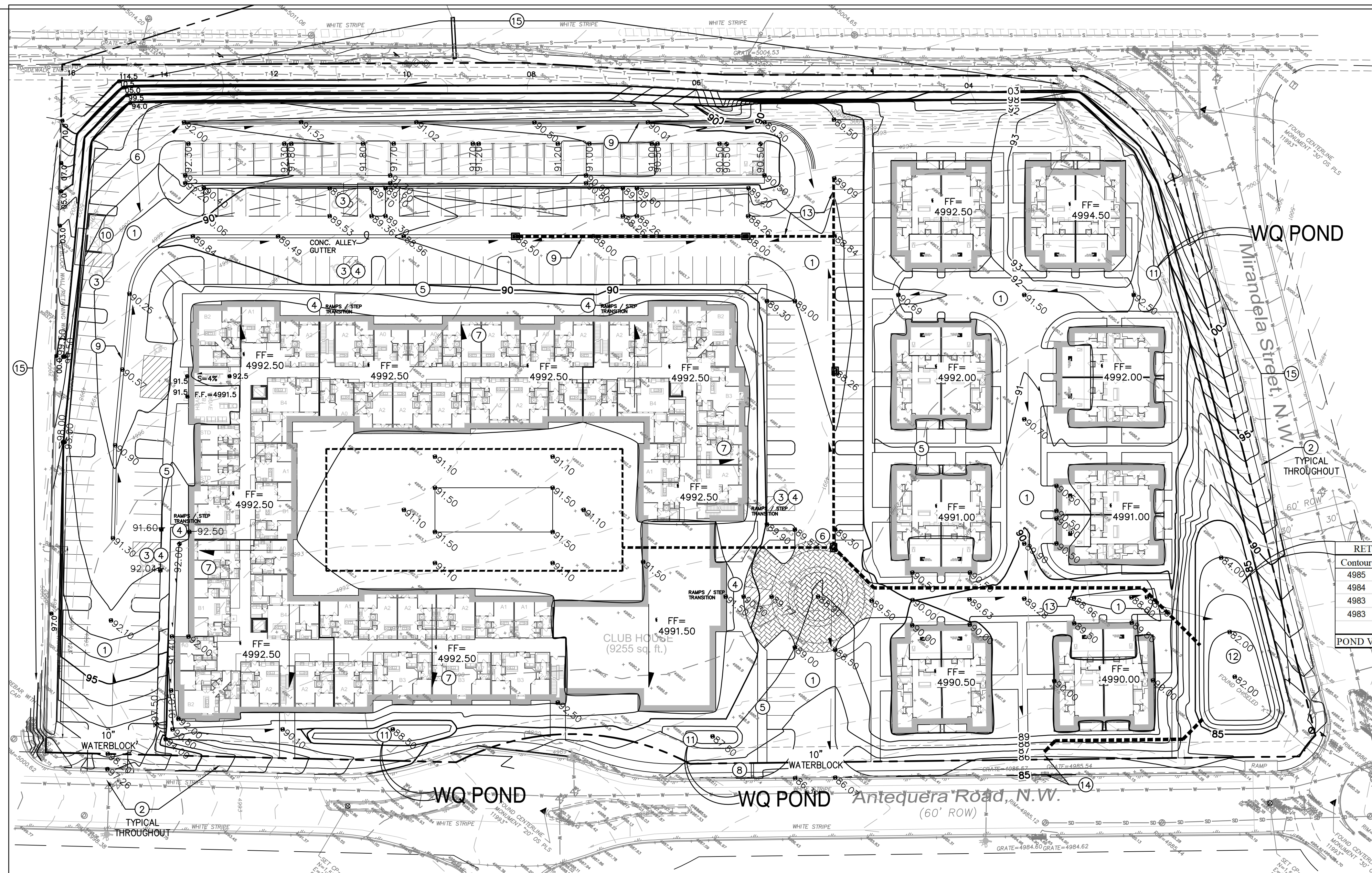
SHEET NUMBER

**CP-502**

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RETENTION POND		
Contour	Area	Volume
4985	5890	
4984	4365	5128 CF
4983	3015	3690 CF
4983	1840	1214 CF
<b>POND VOLUME =</b>		<b>10031 CF</b>

NOTE: FINAL RETENTION POND CONFIGURATION AND VOLUME SHALL BE BASED ON TOTAL REQUIRED VOLUME PER DRAINAGE MASTER PLAN, LESS RETENTION VOLUME PROVIDED WITHIN STORMWATER QUALITY PONDS THROUGHOUT SITE.

### KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG-100, CG-101, CG-102 AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET. UNDERLINED NOTES INDICATE ASSOCIATED DETAIL ON SHEET CG-501.
- PAVING CONCEPTUAL GRADES.
  - NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
  - SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. FINAL LOCATION OF ADA SPACES MAY BE ADJUSTED.
  - ADA COMPLIANT 1:12 MAX. SLOPE ACCESS RAMP. ADDITIONAL RAMPS WILL BE LOCATED WHERE REQUIRED.
  - ADA COMPLIANT PEDESTRIAN ACCESS WALK. MAX. 5% SLOPE, MAX. 2% CROSS-SLOPE.
  - HIGH POINT / GRADE BREAK LOCATION.
  - ROOF DISCHARGE TO EXTERIOR ALL SIDES. INSTALL PRECAST SPLASHPAD AND/OR EXTEND INLET LINES TO STORM DRAIN SYSTEM. ROOF DISCHARGE TO INTRIOR COURTYARD WILL BE LIMITED.
  - COVERED CONCRETE SIDEWALK CULVERT (S.O.19 PERMIT REQUIRED IF IN PUBLIC R.O.W.) FINAL LOCATION(S) BY BUILDING PERMIT SUBMITTAL.
  - 2' WIDE CONCRETE ALLEY GUTTER.
  - CONCRETE DUMPSTER PAD.
  - STORMWATER QUALITY RETENTION POND. FINAL LOCATION(S) BY BUILDING PERMIT SUBMITTAL. PERCOLATION TRENCHES TO ASSIST INFILTRATION WILL BE INCLUDED.
  - RETENTION POND. TOTAL OF ALL ON-SITE RETENTION PER DRAINAGE MASTER PLAN.
  - PRIVATE STORM DRAIN SYSTEM.
  - EXISTING 24" STUB PROVIDED AS PART OF MASTER DRAINAGE CONCEPT. MAX. DISCHARGE FROM SITE = 28.2 CFS.
  - SITE TIERED RETAINING WALL(S) (RETAINING > 30'). FINAL DESIGN BY BUILDING PERMIT SUBMITTAL.

TYPICAL: DEPRESS LANDSCAPING FOR WATER HARVESTING (TYPICAL). NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.

### REQUIRED POND VOLUME

THE DRAINAGE MASTER PLAN (DMP) INCORPORATED THE REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION ON-SITE FOR THIS PROPERTY (BASIN A-5). THE DMP CALCULATED THIS RETENTION VOLUME AS 0.28 AC.FT.

THIS REQUIRED RETENTION IS INTENDED TO REDUCE THE 100-YEAR 10-DAY VOLUME DIRECTED TO POND 'A'.

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT OF 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION]. THEREFORE, THE RETENTION VOLUME PROVIDED WITHIN THE PROPOSED PONDS WILL BE SIZED TO STORE 0.34"/SF TO ACCOUNT FOR THE INITIAL ABSTRACTION. THIS WILL SATISFY THE DRAINAGE MASTER PLAN REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION.

TOTAL POND VOLUME =  $(7.71 \text{ AC} \cdot 43560 \text{ SF/AC} \cdot .34"/\text{SF}) / 12 = 9,516 \text{ SF}$ .

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS APPROXIMATELY 70% OF TOTAL AREA:  $(0.70 \cdot 7.71 \text{ AC}) = 235,094 \text{ SF}$ . THE TOTAL REQUIRED S.Q. RETENTION VOLUME =  $0.34" \cdot \text{TYPE 'D' AREA: } 0.34/12 \cdot (235,094 \text{ SF}) = 6,661 \text{ CF}$ . THE PROPOSED RETENTION POND(S) WILL STORE MORE THAN THIS REQUIRED VOLUME.

RETENTION PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED WITH THE BUILDING PERMIT CONSTRUCTION DOCUMENTS. AREAS SHOWN (LABELED WITH \*) INDICATE ANTICIPATED POND LOCATIONS. PRIVATE FACILITY DRAINAGE COVENANT(S) WILL BE PROVIDED BY THE PROPERTY OWNER FOR DRAINAGE INFRASTRUCTURE INCLUDING PONDS AND OUTFALL STRUCTURES. THESE WILL BE RECORDED AS REQUIRED.

### PROJECT INFORMATION

**PROPERTY:** THE SITE IS A DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP E-12. THE SITE IS BOUND TO THE NORTHEAST BY MIRANDELA ST., TO THE NORTHWEST BY COORS BLVD., TO THE SOUTHEAST BY ANTEQUERA RD. AND TO THE SOUTHWEST BY DEVELOPED COMMERCIAL PROPERTY.

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-STORY MULTI-FAMILY APARTMENT BUILDING AND EIGHT DUPLEX HOUSING UNITS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

**LEGAL:** TRACT 4 PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, NEW MEXICO.

**AREA:** 7.7061 AC

**ADDRESS:** 5301 ANTEQUERA RD NW, ALBUQUERQUE NM 87120

**BENCHMARK:** NAVD 1988 FROM AGRS MONUMENT "NM\_448\_N8", PUBLISHED ELEVATION (FEET) = 5021.651

**OFF-SITE:** NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

**FLOOD HAZARD:** PER FEMA FLOOD HAZARD MAP 35001C0114H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

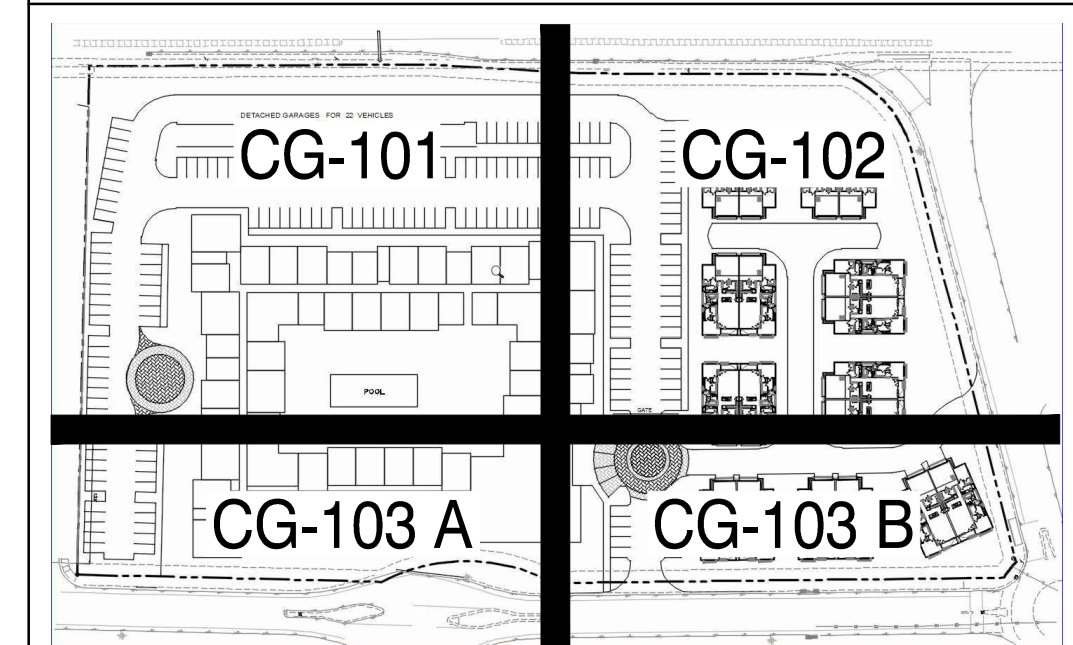
**DRAINAGE PLAN CONCEPT:**

THE NORTH ANDALUCIA DRAINAGE MASTER PLAN PREPARED BY BOHANNAN HUSTON WITH STAMP DATE 2/19/13, ESTABLISHED THE CRITERIA FOR NORTH ANDALUCIA, TRACTS 1-8 AND BOSQUE SCHOOL, TRACTS 1-2. THIS 7.71 ACRE PROPERTY, IDENTIFIED AS BASIN A-5, WAS PROPOSED TO BE DEVELOPED WITH THE FOLLOWING LAND TREATMENTS: 0% A, 24% B, 10% C, 66% D.

THE SITE IS PERMITTED FREE DISCHARGE (LESS STORMWATER QUALITY VOLUME REQUIREMENTS) TO THE NORTH ANDALUCIA DRAINAGE POND 'A' BASED ON AN ANTICIPATED RATE OF 3.66 CFS/ACRE (28.19 CFS).

A 24"Ø STORM DRAIN STUB TO THE PROPERTY WITH FULL CAPACITY FLOWRATE OF 29.92 CFS WAS PROVIDED FOR ON THE MASTERPLAN WHICH WILL ACCEPT THE FREE DISCHARGE FROM BASIN A-5.

### GRADING & DRAINAGE SHEET KEY



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DATE: **05/28/20**

PROFESSIONAL ENGINEER  
7322  
NEW MEXICO

**OVERTURE ANDALUCIA**  
Albuquerque, New Mexico  
a development of  
Greystar Development Group, LP

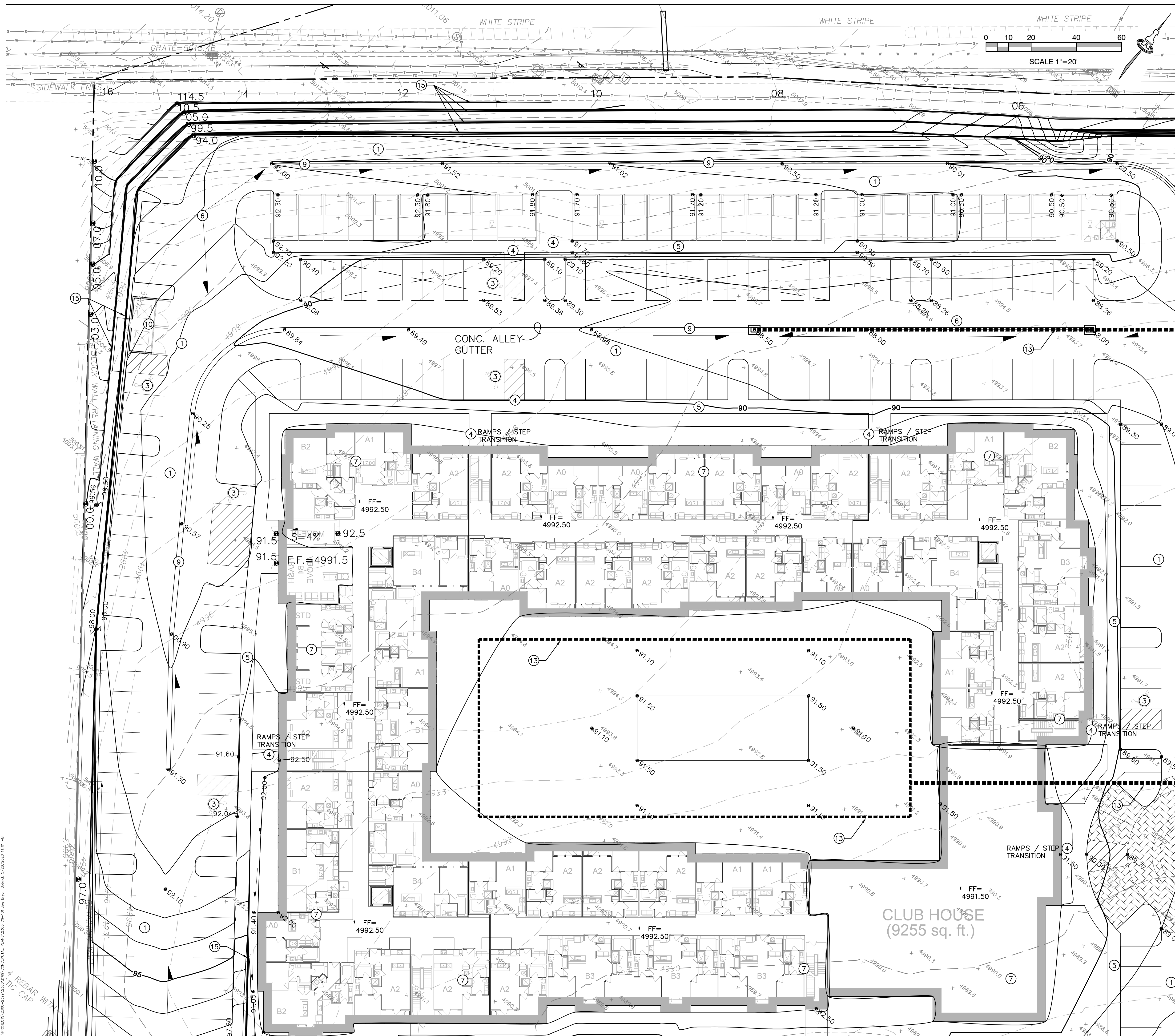
ISSUE:	DESIGN DEVELOPMENT
PROJECT NUMBER: IA 2380	
FILE:	
DRAWN BY: BJB	
CHECKED BY: FCA	
DATE: 05-28-2020	

No.	Date	Description

SHEET TITLE  
**Overall Grading & Drainage Plan**

SHEET NUMBER  
**CG-100**

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### KEYED NOTES

THESE NOTES ARE REFERENCED ON SHEETS CG-100, CG-101, CG-102 AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET. UNDERLINED NOTES INDICATE ASSOCIATED DETAIL ON SHEET CG-501.

- PAVING CONCEPTUAL GRADES.
- NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. FINAL LOCATION OF ADA SPACES MAY BE ADJUSTED.
- ADA COMPLIANT 1:12 MAX. SLOPE ACCESS RAMP. ADDITIONAL RAMPS WILL BE LOCATED WHERE REQUIRED.
- ADA COMPLIANT PEDESTRIAN ACCESS WALK. MAX. 5% SLOPE, MAX. 2% CROSS-SLOPE.
- HIGH POINT / GRADE BREAK LOCATION.
- ROOF DISCHARGE TO EXTERIOR ALL SIDES. INSTALL PRECAST SPLASHPAD AND/OR EXTEND DRAIN LINES TO STORM DRAIN SYSTEM. ROOF DISCHARGE TO INTERIOR COURTYARD WILL BE LIMITED.
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- PRIVATE STORM DRAIN SYSTEM.
- EXISTING 24" STUB PROVIDED AS PART OF MASTER DRAINAGE CONCEPT. MAX. DISCHARGE FROM SITE = 28.2 CFS.
- SITE TIERED RETAINING WALL(S) (RETAINING > 30"). FINAL DESIGN BY BUILDING PERMIT SUBMITTAL.

TYPICAL: DEPRESS LANDSCAPING FOR WATER HARVESTING (TYPICAL). NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.

### ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%  
 ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7%  
 LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)  
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

### LEGEND

- - - 5088 - - - EXISTING CONTOUR
- 5001.62 EXISTING SPOT ELEVATION
- 88 — PROPOSED 1.0' CONTOUR
- - - 88.5 - - - PROPOSED 0.5' CONTOUR
- ◆ 88.3 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 4992.50 FINISH FLOOR ELEVATION
- - - ● - - - PROPOSED STORM DRAIN / INLET

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FRED C. ARFMAN  
 NEW MEXICO  
 7322  
 LICENSED PROFESSIONAL ENGINEER

Date **05/28/20**

**OVERTURE ANDALUCIA**  
 Albuquerque, New Mexico  
 a development of  
 Greystar Development Group, LP

DESIGN DEVELOPMENT		
ISSUE:	Description	
PROJECT NUMBER: IA 2380		
FILE:		
DRAWN BY: BJB		
CHECKED BY: FCA		
DATE: 05-28-2020		
No.	Date	Description
SHEET TITLE		
<b>Grading &amp; Drainage Plan 1 Of 3</b>		
SHEET NUMBER		
<b>CG-101</b>		



### KEYED NOTES

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### ADA COMPLIANCE

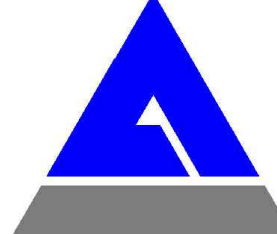
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 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

### LEGEND

- 5088--- EXISTING CONTOUR
- 5001.62 EXISTING SPOT ELEVATION
- 88--- PROPOSED 1.0' CONTOUR
- 88.5--- PROPOSED 0.5' CONTOUR
- ◆88.3 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 4992.50 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET

**Isaacson & Arfman, Inc.**  
 Civil Engineering Consultants  
 128 Monroe Street NE  
 Albuquerque, NM 87108  
 505-268-8828 | www.iacivil.com



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Date **05/28/20**

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 a development of  
 Greystar Development Group, LP

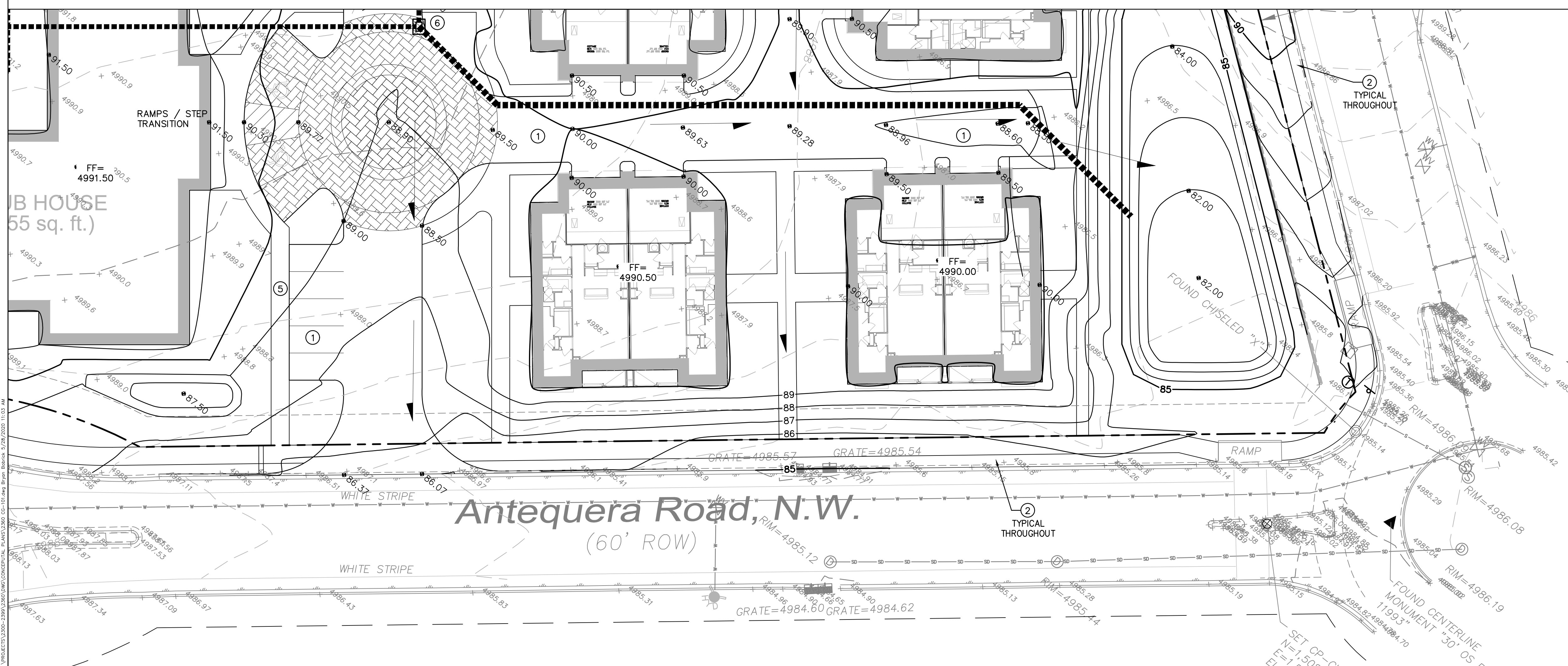
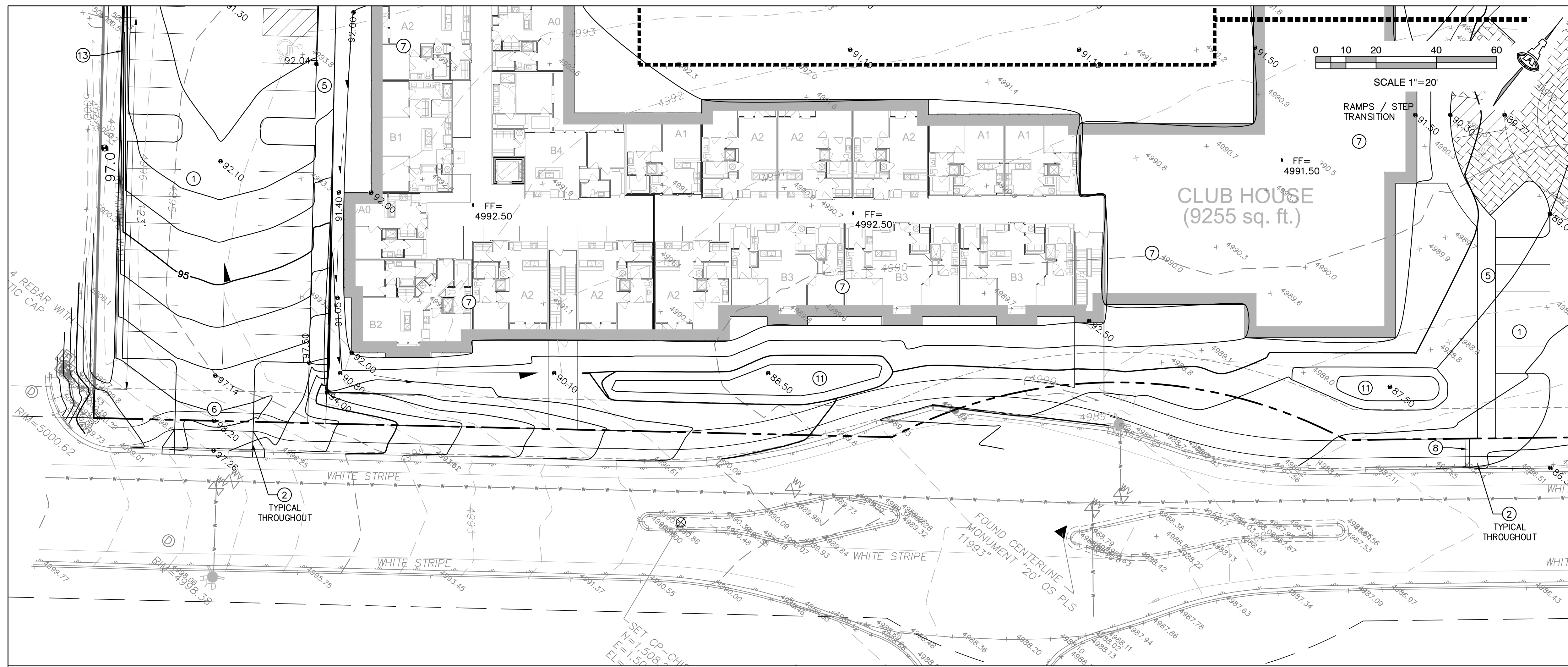
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ISSUE:	PROJECT NUMBER: IA 2380
FILE:	DRAWN BY: BJB
CHECKED BY:	FCA
DATE:	05-28-2020

No.	Date	Description

SHEET TITLE  
**Grading & Drainage Plan 2 Of 3**

SHEET NUMBER  
**CG-102**





**KEYED NOTES**

- THESE NOTES ARE REFERENCED ON SHEETS CG-100, CG-101, CG-102 AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET. UNDERLINED NOTES INDICATE ASSOCIATED DETAIL ON SHEET CG-501.
- PAVING CONCEPTUAL GRADES.
  - NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
  - SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. FINAL LOCATION OF ADA SPACES MAY BE ADJUSTED.
  - ADA COMPLIANT 1:12 MAX. SLOPE ACCESS RAMP. ADDITIONAL RAMPS WILL BE LOCATED WHERE REQUIRED.
  - ADA COMPLIANT PEDESTRIAN ACCESS WALK. MAX. 5% SLOPE, MAX. 2% CROSS-SLOPE.
  - HIGH POINT / GRADE BREAK LOCATION.
  - ROOF DISCHARGE TO EXTERIOR ALL SIDES. INSTALL PRECAST SPLASHPAD AND/OR EXTEND DRAIN LINES TO STORM DRAIN SYSTEM. ROOF DISCHARGE TO INTERIOR COURTYARD WILL BE LIMITED.
  - COVERED CONCRETE SIDEWALK CULVERT (S.O.19 PERMIT REQUIRED IF IN PUBLIC R.O.W.) FINAL LOCATION(S) BY BUILDING PERMIT SUBMITTAL.
  - 2' WIDE CONCRETE ALLEY GUTTER.
  - CONCRETE DUMPSTER PAD.
  - STORMWATER QUALITY RETENTION POND. FINAL LOCATION(S) BY BUILDING PERMIT SUBMITTAL. PERCOLATION TRENCHES TO ASSIST INFILTRATION WILL BE INCLUDED.
  - RETENTION POND. TOTAL OF ALL ON-SITE RETENTION PER DRAINAGE MASTER PLAN.
  - PRIVATE STORM DRAIN SYSTEM.
  - EXISTING 24" STUB PROVIDED AS PART OF MASTER DRAINAGE CONCEPT. MAX. DISCHARGE FROM SITE = 28.2 CFS.
  - SITE TIERED RETAINING WALL(S) (RETAINING > 30"). FINAL DESIGN BY BUILDING PERMIT SUBMITTAL.
- TYPICAL: DEPRESS LANDSCAPING FOR WATER HARVESTING (TYPICAL). NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.

**ADA COMPLIANCE**

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.  
 ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).  
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.  
 EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

**LEGEND**

- 5088 EXISTING CONTOUR
- 5001.62 EXISTING SPOT ELEVATION
- 88 PROPOSED 1.0' CONTOUR
- 88.5 PROPOSED 0.5' CONTOUR
- 88.3 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 4992.50 FINISH FLOOR ELEVATION
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DATE: 05-28-2020	

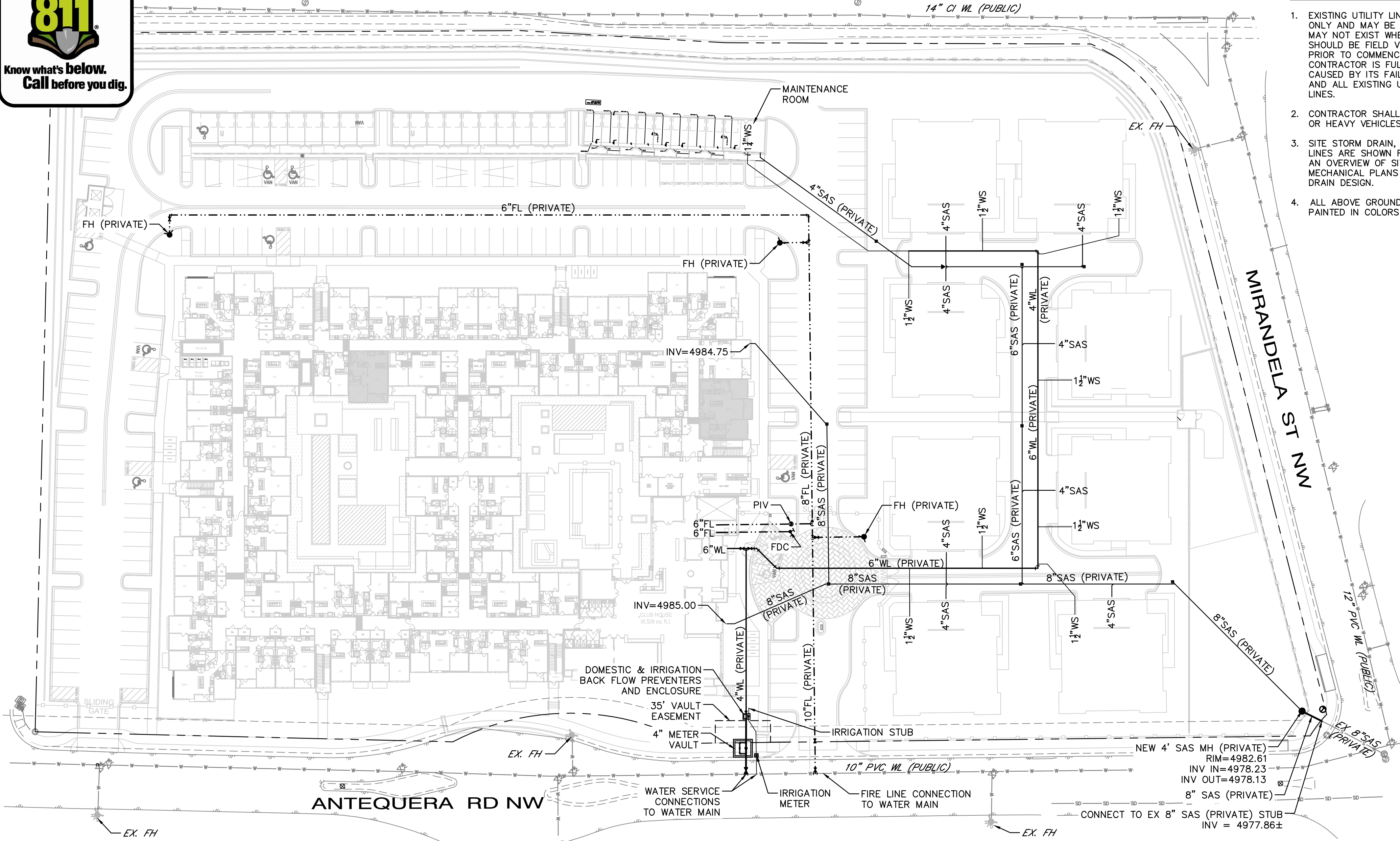
No.	Date	Description

SHEET TITLE  
**Grading & Drainage Plan 3 Of 3**

SHEET NUMBER  
**CG-103**



COORS BLVD NW



PRIVATE FIRE LINE CONNECTION TO PUBLIC WATERLINE AND METER VAULT TO BE CONSTRUCTED UNDER COA/ABCWUA WORK ORDER.

GENERAL NOTES

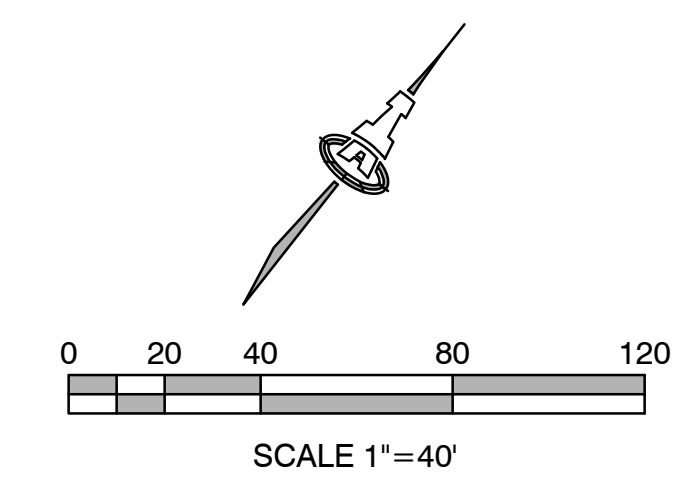
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

UTILITY NOTES

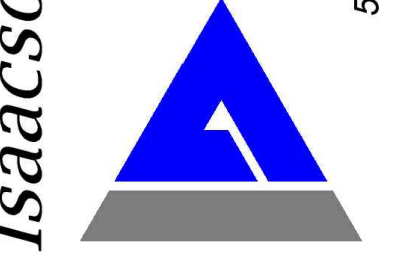
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED UTILITIES SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM COVER SHALL BE 36" FOR WATERLINES AND 48" FOR SANITARY SEWER, EXCEPT AT BUILDING CONNECTIONS.
- UTILITY LINES SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING PLUMBING AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL. REFER TO THE MECHANICAL AND/OR PLUMBING PLANS FOR SERVICE CONNECTIONS.
- DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES TO DETERMINE THE SIZE, DEPTH, LOCATION, FITTINGS AND REQUIRED APPURTENANCES FOR THE DRY UTILITY SERVICE LINES ON THE SITE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE CONNECTIONS.
- TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.
- ALL WATER VALVE BOXES, MANHOLE RINGS & COVERS, AND OTHER SURFACE ITEMS FOR THE UTILITIES SHALL BE ADJUSTED TO FINISHED GRADE.
- ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 12" MIN CLEARANCE. IF 12" CLEARANCE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE OR AS DIRECTED BY THE ENGINEER.
- VALVES, METERS, SERVICE LINES, METER AND VALVE BOXES, TAPPING SLEEVES, HYDRANTS, AND OTHER WATER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 800.
- WATERLINES LESS THAN 4" DIAMETER SHALL BE COPPER TYPE K MEETING ASTM B 88 REQUIREMENTS. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- ALL FITTINGS AND COUPLINGS FOR WATERLINES LESS THAN 4" IN DIAMETER ARE TO BE COPPER, SOLDER JOINT FITTINGS IN ACCORDANCE WITH ASME 16.18 OR ASME B16.22.
- ALL FITTINGS AND COUPLINGS FOR WATERLINES 4" IN DIAMETER OR LARGER ARE TO BE MEGA LUG MECHANICAL JOINTS OR ENGINEER APPROVED EQUIVALENT.
- JOINTS SHALL BE RESTRAINED BY MEGA LUG HARNESSSES, OR ENGINEER APPROVED EQUIVALENT. JOINT RESTRAINTS SHALL BE INSTALLED AT DISTANCES FROM THE FITTINGS AS SHOWN ON THE JOINT RESTRAINT TABLE IN THESE PLANS.
- BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FIRE LINES SHALL USE PIPE MATERIALS LISTED AND APPROVED FOR FIRE SERVICE BY UNDERWRITERS LABORATORIES.
- FIRE DEPARTMENT CONNECTIONS SHALL MEET UL 405, NFPA 1963, AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ADJUST WATER AND FIRE LINES TO AVOID FOOTINGS, SEWER LINES, AND OTHER CONDUITS. INSTALL FITTINGS AS NEEDED.
- SEWER MANHOLES, CLEANOUTS, SEWER SERVICE TAPS, AND OTHER SEWER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 900 / APWA SPEC. SECT. 900 / LOCAL UTILITY COMPANY SPECIFICATIONS
- SEWER SERVICE LINES SHALL BE INSTALLED AT A 2% MINIMUM SLOPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS. THE PIPE SHALL DRAIN TOWARD THE SEWER MAIN AT ALL LOCATIONS.
- ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

LEGEND

- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- NEW WATERLINE
- NEW FIRE LINE
- NEW FIRE HYDRANT
- NEW WATER VALVE
- NEW FDC
- NEW PIV
- NEW SEWER LINE



2360 CU-101.dwg 28 October 2020  
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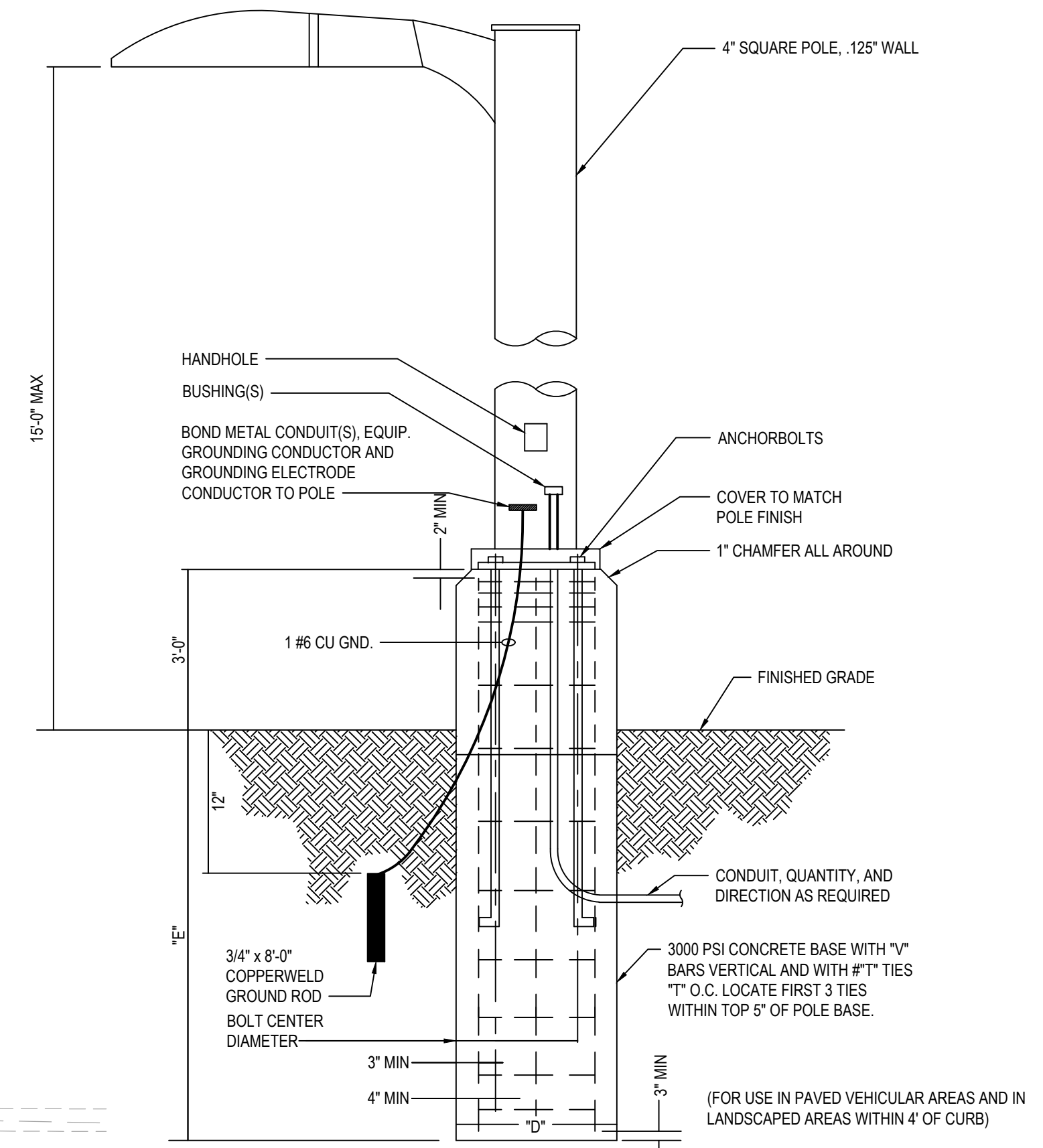
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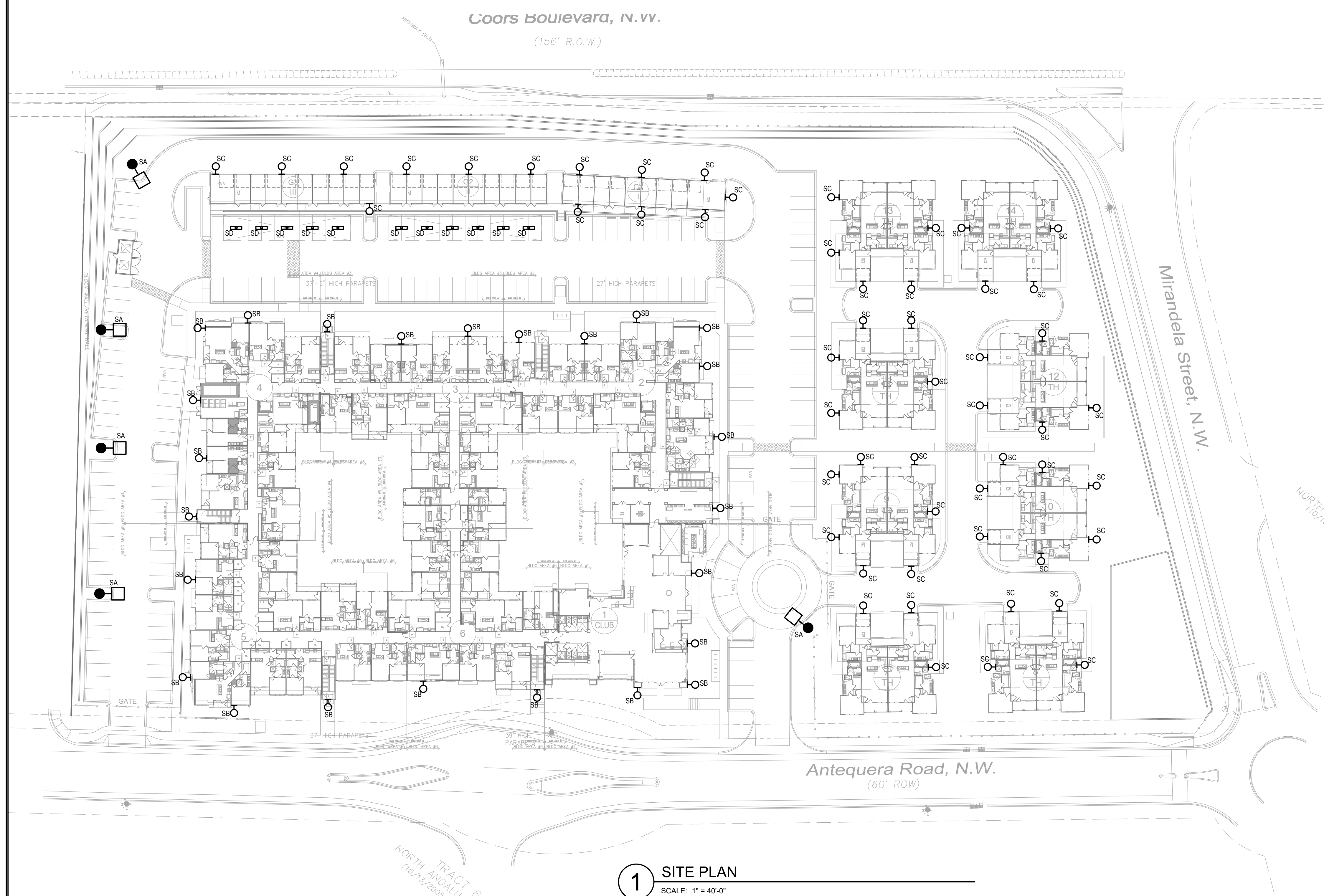
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**CU-101**

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SITE LIGHTING LEGEND				
SYMBOL	TYPE	DESCRIPTION	LAMPS	NOTES
● □	SA	SINGLE HEAD, FULL CUT OFF, POLE MOUNTED FIXTURE TYPE III DISTRIBUTION, 3000K. BOTTOM OF FIXTURE @ 15' ABOVE FINISH GRADE.	135W LED	HOUSE SIDE SHIELD
○	SB	WALL PACK, FULL CUT OFF TYPE III DISTRIBUTION, 3000K. BOTTOM OF FIXTURE @ 15' ABOVE FINISH GRADE.	71W LED	
○	SC	WALL PACK, FULL CUT OFF TYPE III DISTRIBUTION, 3000K. BOTTOM OF FIXTURE @ 10' ABOVE FINISH GRADE.	40W LED	
□	SD	4' ENCLOSED STRIP CARPORT LIGHT, VAPOR TIGHT, 3000K WET LOCATED RATED/LISTED	30W LED	



2 POLE MOUNTED AREA FIXTURE DETAIL  
SCALE: N.T.S.



1 SITE PLAN  
SCALE: 1" = 40'-0"



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ALBUQUERQUE, NEW MEXICO

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DATE	ISSUED FOR

REVISIONS

△	DATE	DESCRIPTION

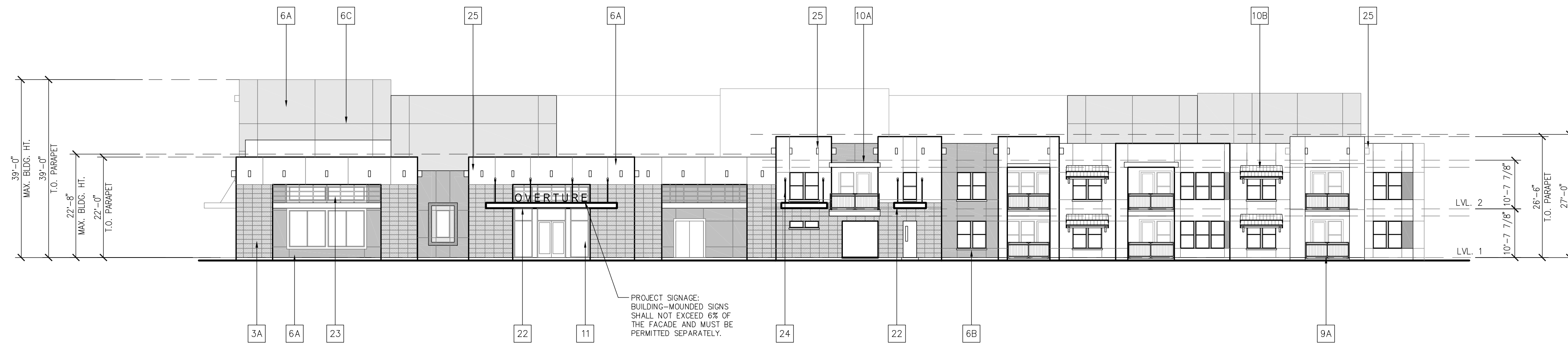
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 Drawn By: TrB    Checked By: MJ  
 SHEET TITLE

SITE PLAN

SHEET NUMBER

## E1.01

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**2 NORTH ELEVATION**  
 1/16" = 1'-0"



**1 EAST ELEVATION**  
 1/16" = 1'-0"

**ELEVATION KEYNOTE LEGEND:**

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
6A	EXTERIOR STUCCO SYSTEM
6B	STUCCO COVERED FOAM TRIM
6C	STUCCO CONTROL JOINT (RE: X/A6.XX)
7B	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
7C	FIBER CEMENT TRIM (SMOOTH FINISH)
9A	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
10A	COMPOSITE SHINGLE ROOF
10B	TERRACOTTA ROOF, FLAT TILE
11	STOREFRONT GLAZING SYSTEM
22	DECORATIVE METAL AWNING (CORTEN LOOK)
23	DECORATIVE METAL SHADING GRID
24	DECORATIVE STEEL CABLE ACCENT
25	DECORATIVE WOOD BEAM

NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

**PROPOSED FACADE COLOR PALETTE**

\*\* NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

EXTERIOR STUCCO SYSTEM:  
 OFFWHITE, BEIGE, OR EARTHTONES

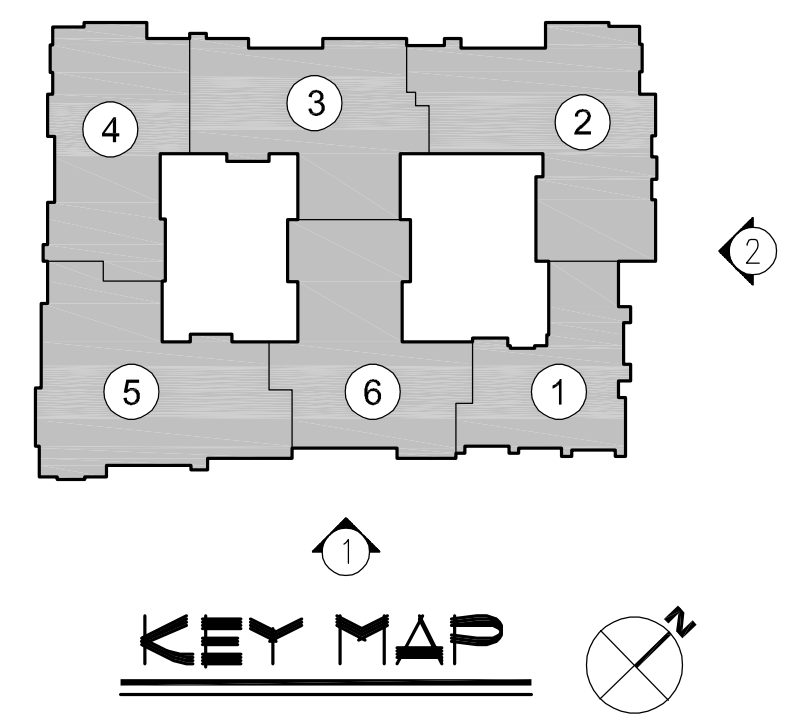
STONE VENEER:  
 NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):  
 NATURAL RED

GUARDRAIL SYSTEM:  
 BRONZE

METAL CANOPY:  
 CORTEN LOOK

METAL BRACKETS:  
 BRONZE/BLACK



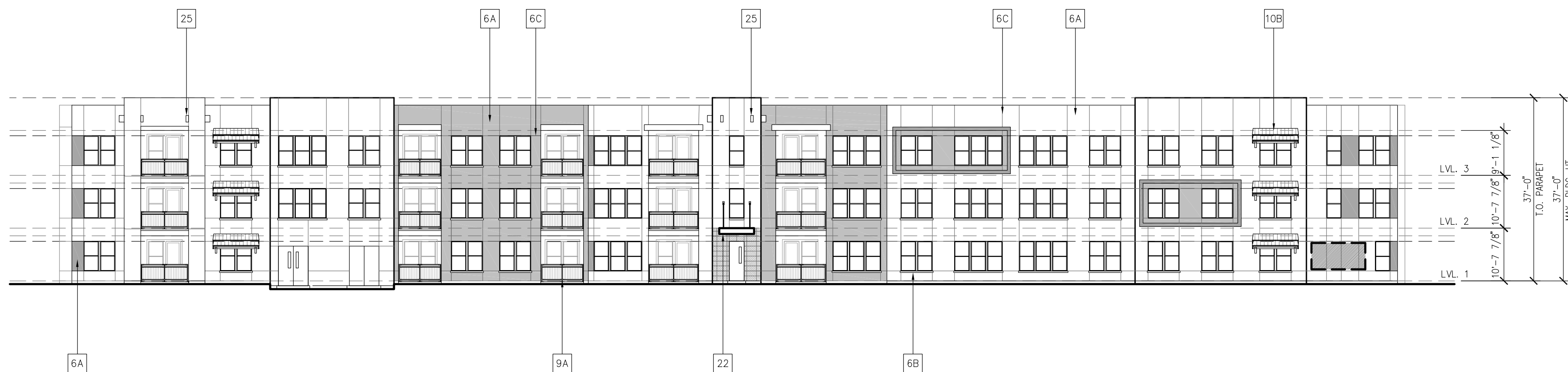
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SHEET TITLE  
**ELEVATIONS**

DRAWING NO.  
**A4.00**



**2 SOUTH ELEVATION**  
1/16" = 1'-0"



**1 WEST ELEVATION**  
1/16" = 1'-0"

**ELEVATION KEYNOTE LEGEND:**

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
6A	EXTERIOR STUCCO SYSTEM
6B	STUCCO COVERED FOAM TRIM
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NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

**PROPOSED FACADE COLOR PALETTE**

\*\* NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

EXTERIOR STUCCO SYSTEM:  
OFFWHITE, BEIGE, OR EARTHTONES

STONE VENEER:  
NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):  
NATURAL RED

GUARDRAIL SYSTEM:  
BRONZE

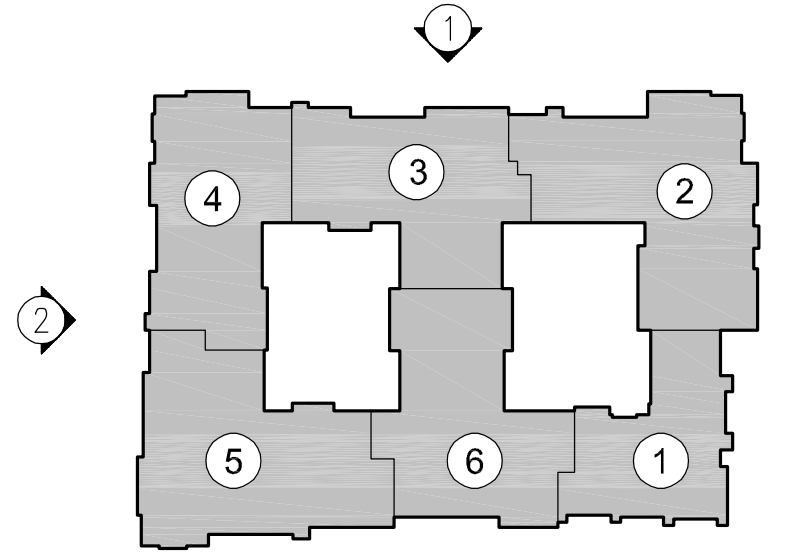
METAL CANOPY:  
CORTEN LOOK

METAL BRACKETS:  
BRONZE/BLACK

NO.	DATE	REVISION

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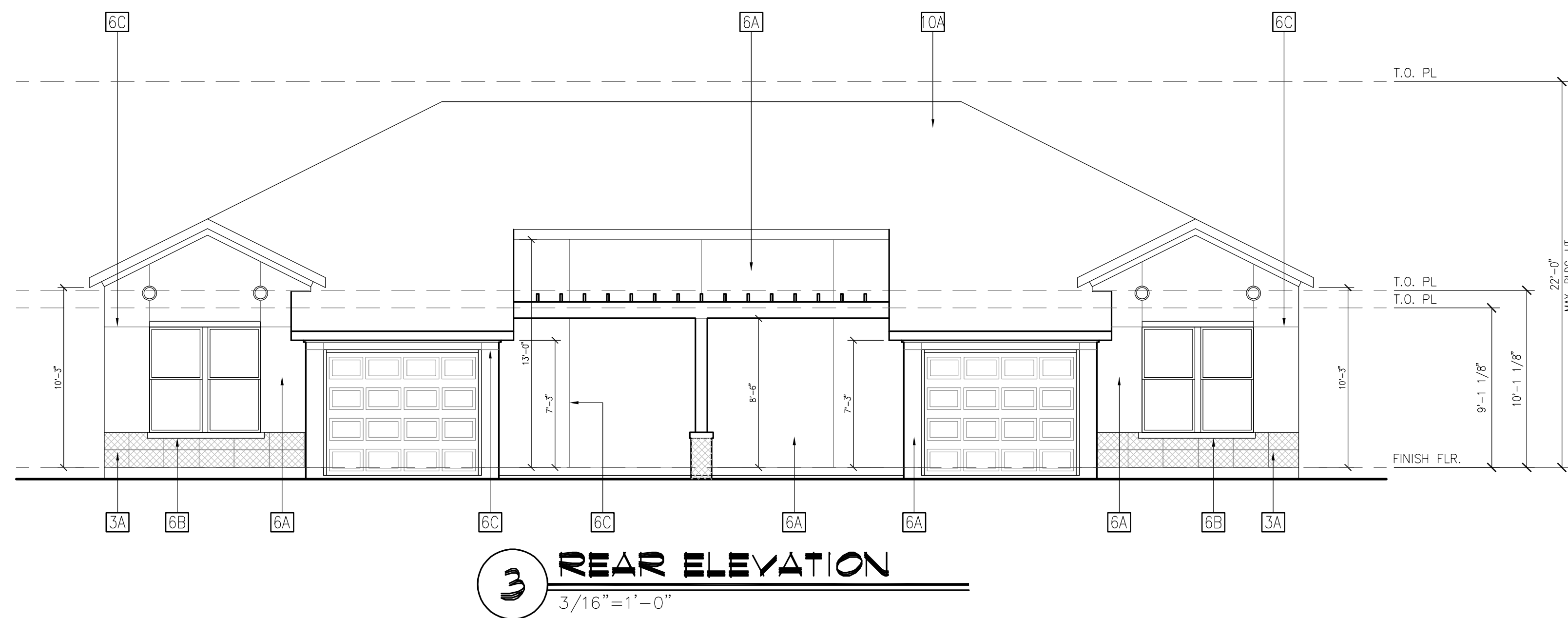
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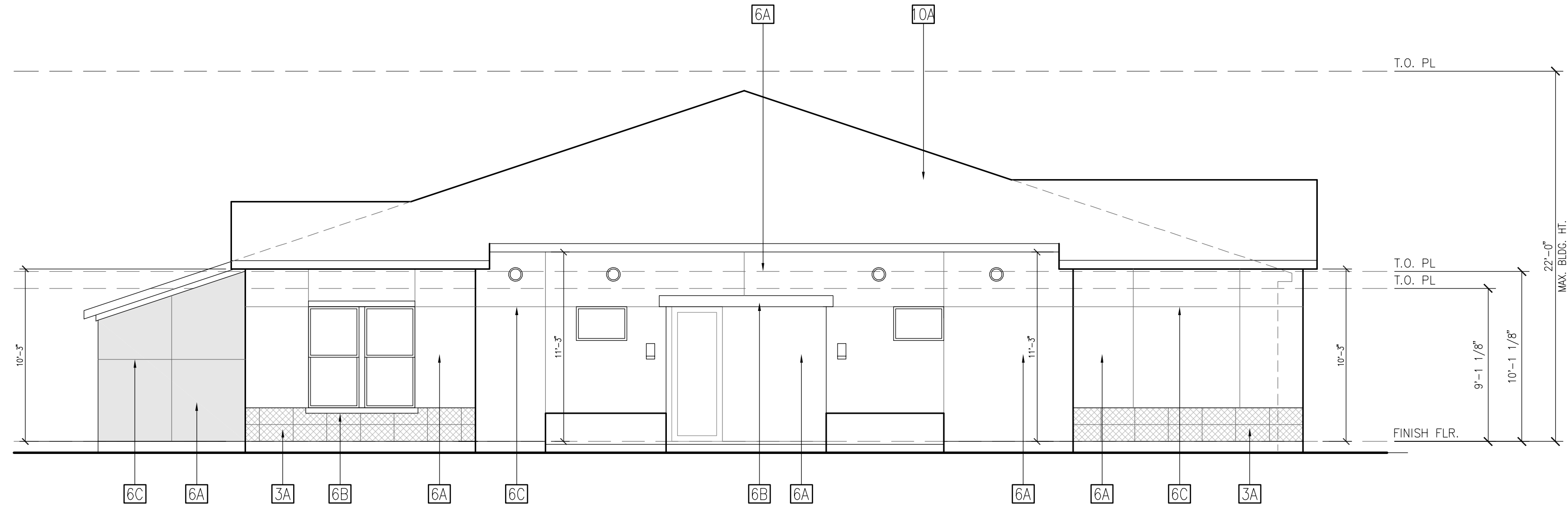
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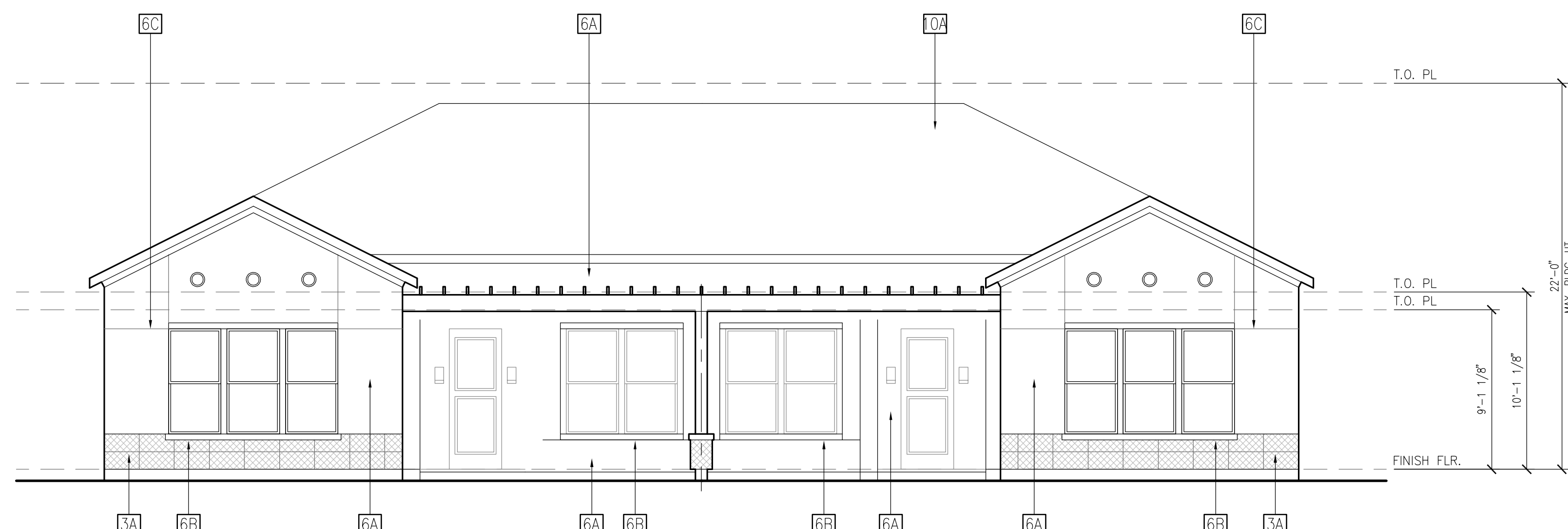
**3 REAR ELEVATION**

3/16"=1'-0"



**2 SIDE ELEVATION**

3/16"=1'-0"



**1 FRONT ELEVATION**

3/16"=1'-0"

**ELEVATION KEYNOTE LEGEND:**

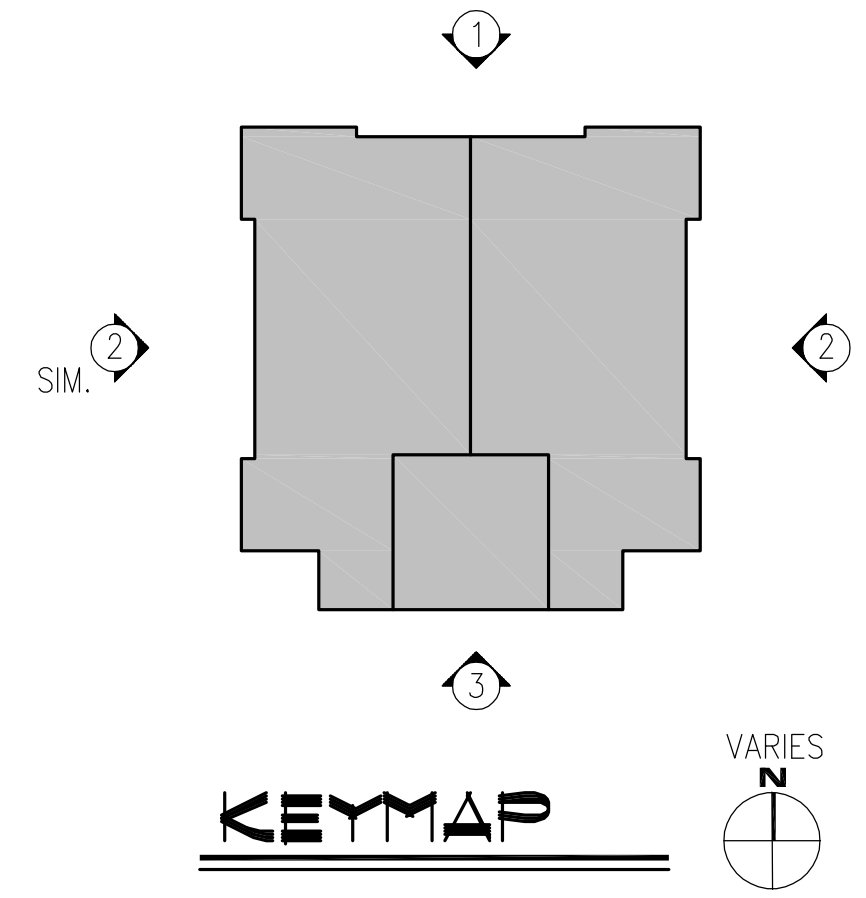
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3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
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NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

**PROPOSED FACADE COLOR PALETTE**

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EXTERIOR STUCCO SYSTEM:	OFFWHITE, BEIGE, OR EARTHONES
STONE VENEER:	NATURAL STONE (SPLIT FACE)
TERRACOTTA ROOF (FLAT TILE):	NATURAL RED
GUARDRAIL SYSTEM:	BRONZE
METAL CANOPY:	CORTEN LOOK
METAL BRACKETS:	BRONZE/BLACK



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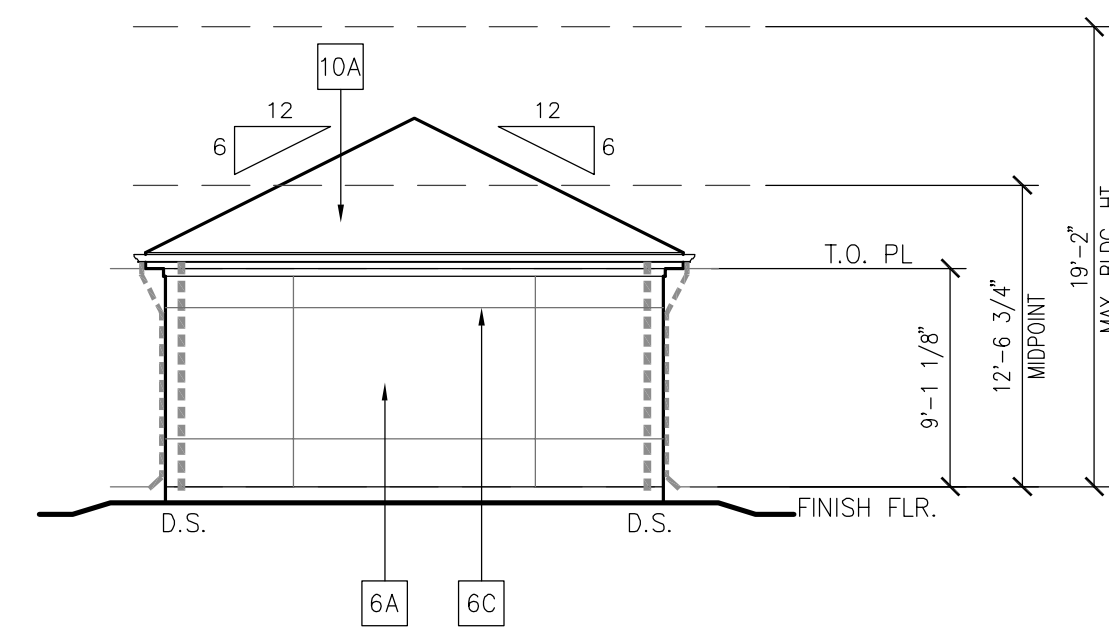
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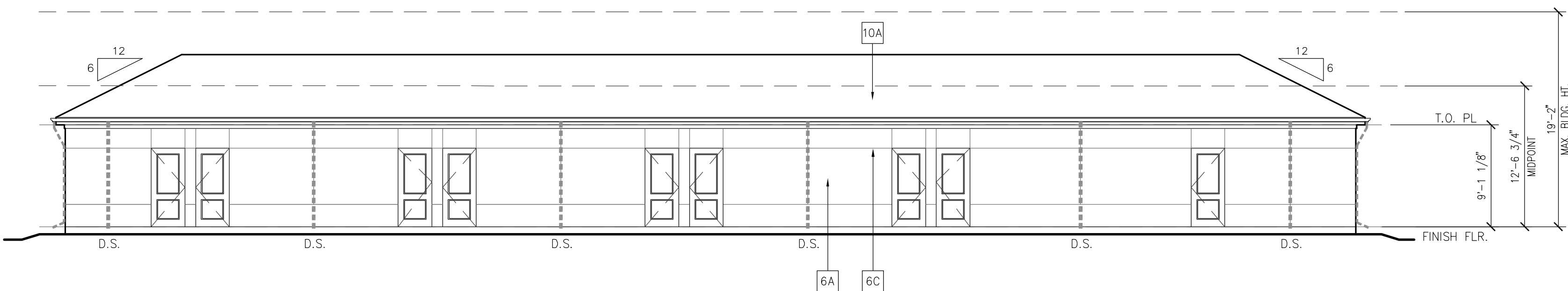
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**TOWNHOUSE ELEVATIONS**

DRAWING NO.  
**TH4.00**

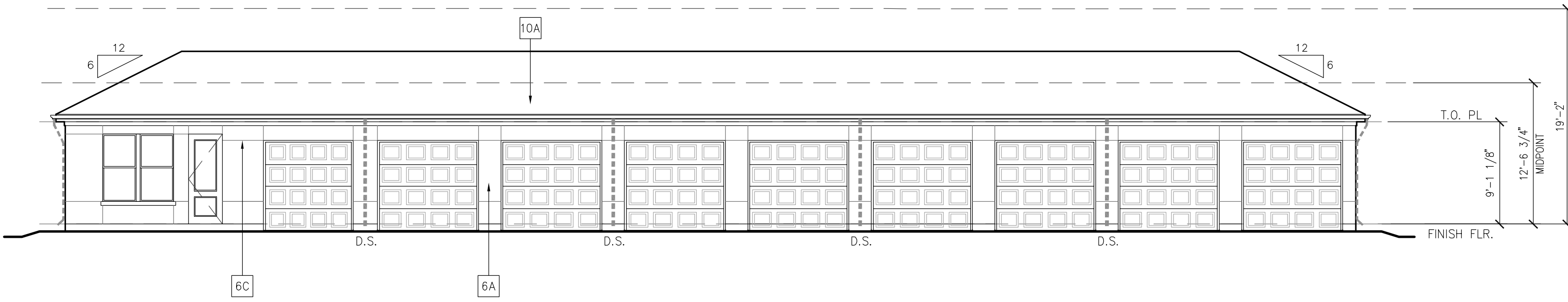
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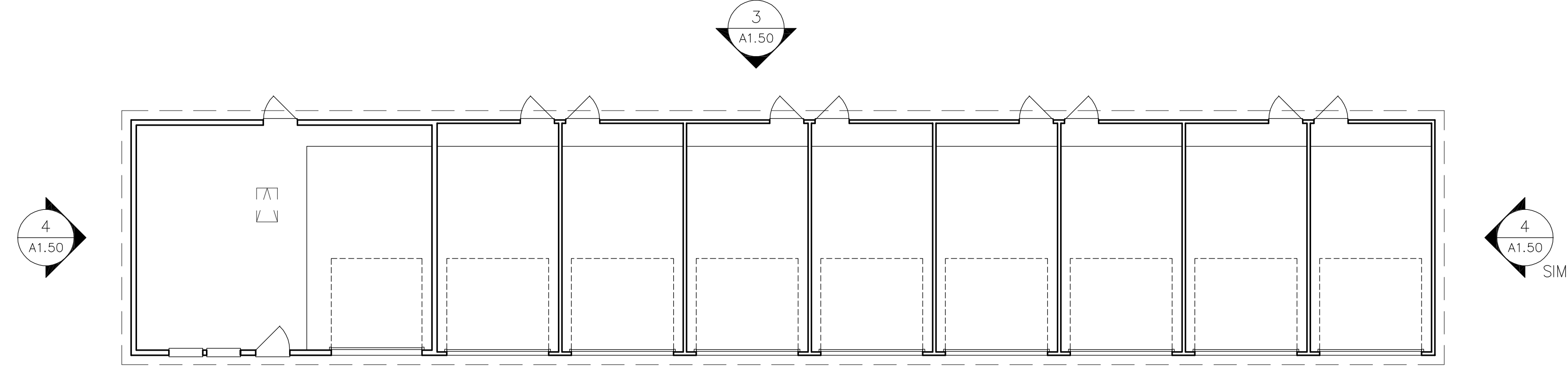
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 1/8"=1'-0"



**3 DETACHED GARAGE TYPE I - FRONT ELEVATION**  
 1/8"=1'-0"



**2 DETACHED GARAGE TYPE I - ROOF PLAN**  
 1/8"=1'-0"



**1 DETACHED GARAGE TYPE I - PLAN**  
 1/8"=1'-0"

**ELEVATION KEYNOTE LEGEND:**

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
6A	EXTERIOR STUCCO SYSTEM
6B	STUCCO COVERED FOAM TRIM
6C	STUCCO CONTROL JOINT (RE: X/A6.XX)
7B	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
7C	FIBER CEMENT TRIM (SMOOTH FINISH)
9A	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
10A	COMPOSITE SHINGLE ROOF
10B	TERRACOTTA ROOF, FLAT TILE
11	STOREFRONT GLAZING SYSTEM
22	DECORATIVE METAL AWNING (CORTEN LOOK)
23	DECORATIVE METAL SHADING GRID
24	DECORATIVE STEEL CABLE ACCENT
25	DECORATIVE WOOD BEAM

**PROPOSED FACADE COLOR PALETTE**

\*\* NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

EXTERIOR STUCCO SYSTEM:  
 OFFWHITE, BEIGE, OR EARTHTONES

STONE VENEER:  
 NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):  
 NATURAL RED

GUARDRAIL SYSTEM:  
 BRONZE

METAL CANOPY:  
 CORTEN LOOK

METAL BRACKETS:  
 BRONZE/BLACK

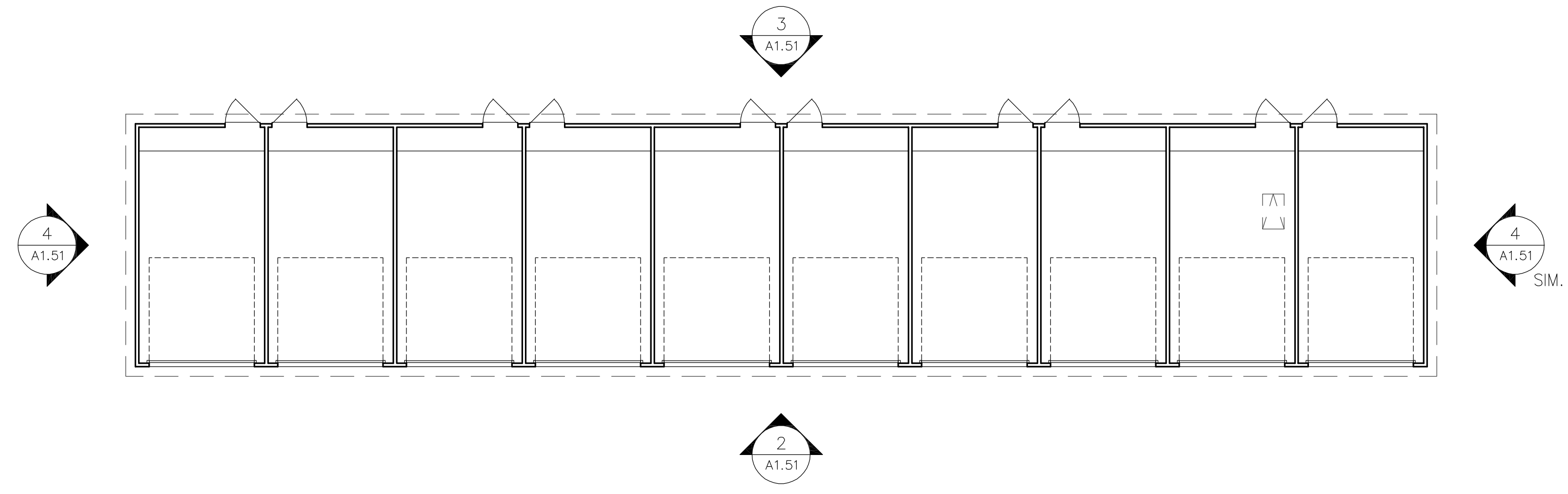
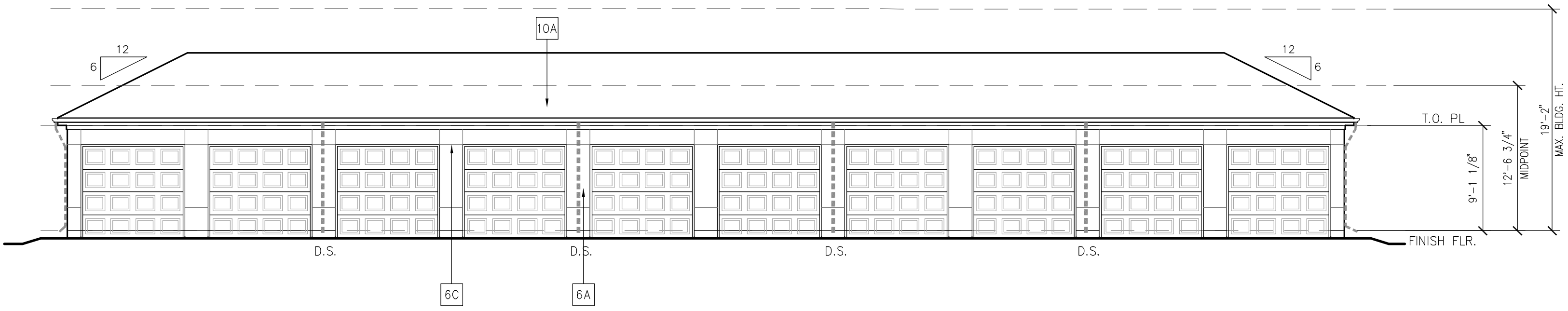
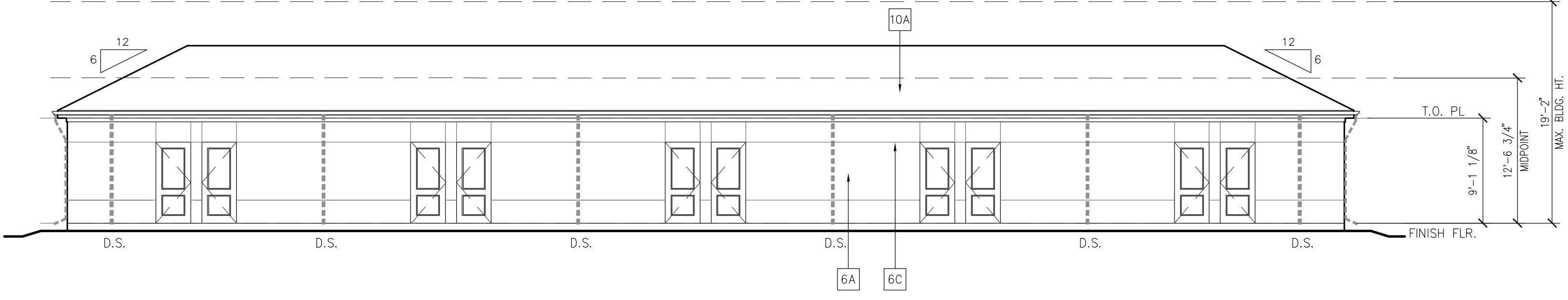
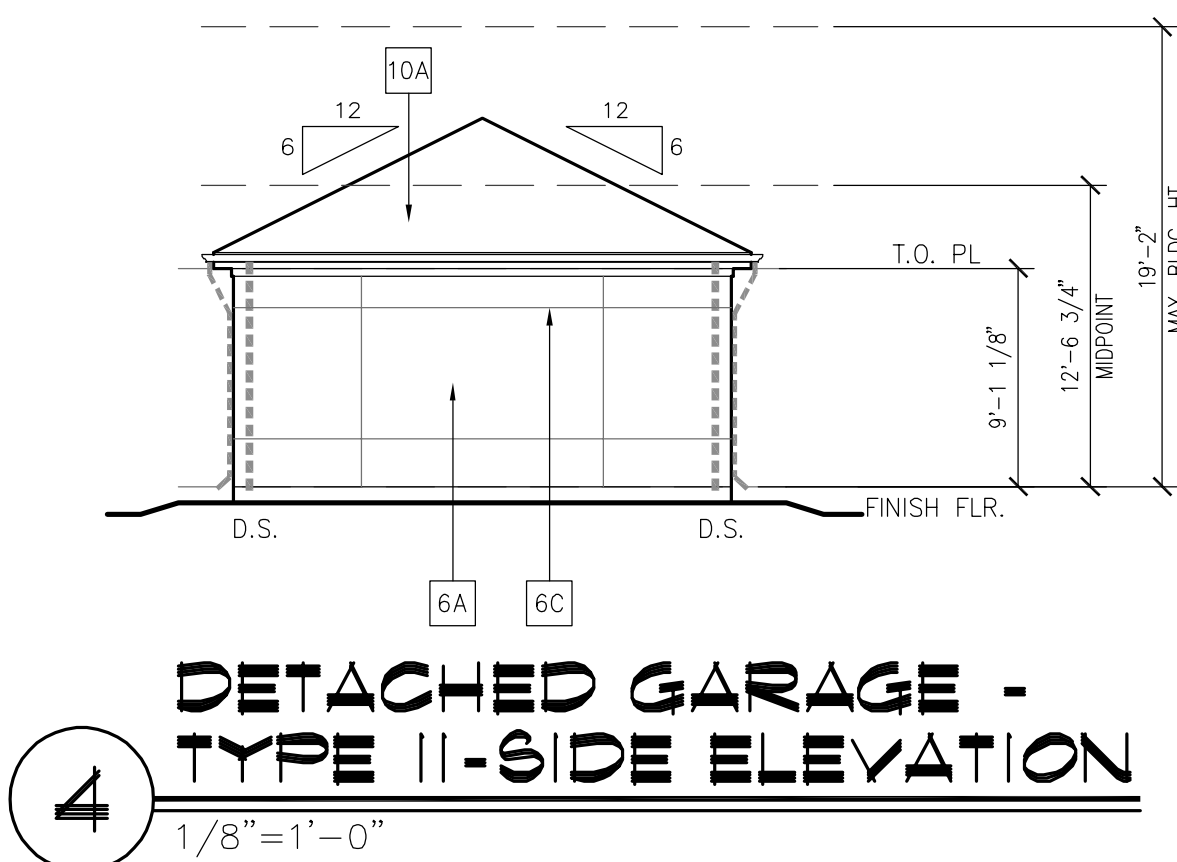
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JOB NO.:	19100
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<input type="checkbox"/>	ISSUED FOR PRICING
<input type="checkbox"/>	ISSUED FOR PERMIT
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION

SHEET TITLE  
**DETACHED 10 CAR GARAGE**

DRAWING NO.  
**A1.50**



**1** DETACHED GARAGE TYPE II - PLAN  
1/8"=1'-0"

**2** DETACHED GARAGE TYPE II - FRONT ELEVATION  
1/8"=1'-0"

**3** DETACHED GARAGE TYPE II - REAR ELEVATION  
1/8"=1'-0"

**4** DETACHED GARAGE - TYPE II - SIDE ELEVATION  
1/8"=1'-0"

**ELEVATION KEYNOTE LEGEND:**

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
6A	EXTERIOR STUCCO SYSTEM
6B	STUCCO COVERED FOAM TRIM
6C	STUCCO CONTROL JOINT (RE: X/A6.XX)
7B	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
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25	DECORATIVE WOOD BEAM

**PROPOSED FACADE COLOR PALETTE**

\*\* NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

- EXTERIOR STUCCO SYSTEM: OFFWHITE, BEIGE, OR EARTHTONES
- STONE VENEER: NATURAL STONE (SPLIT FACE)
- TERRACOTTA ROOF (FLAT TILE): NATURAL RED
- GUARDRAIL SYSTEM: BRONZE
- METAL CANOPY: CORTEN LOOK
- METAL BRACKETS: BRONZE/BLACK

NO.	DATE	REVISION

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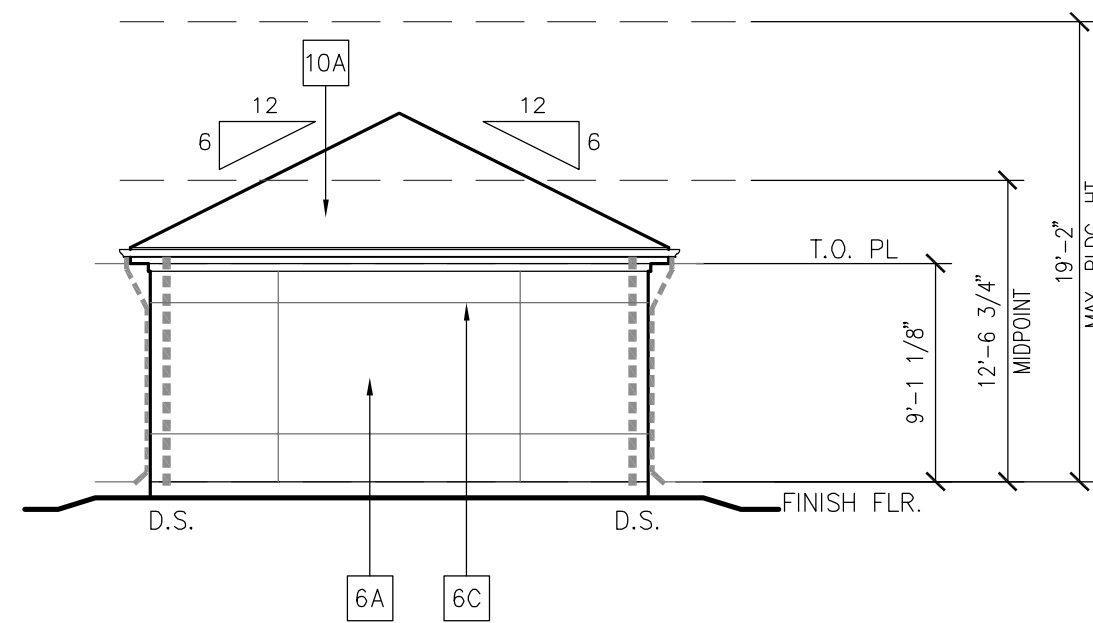
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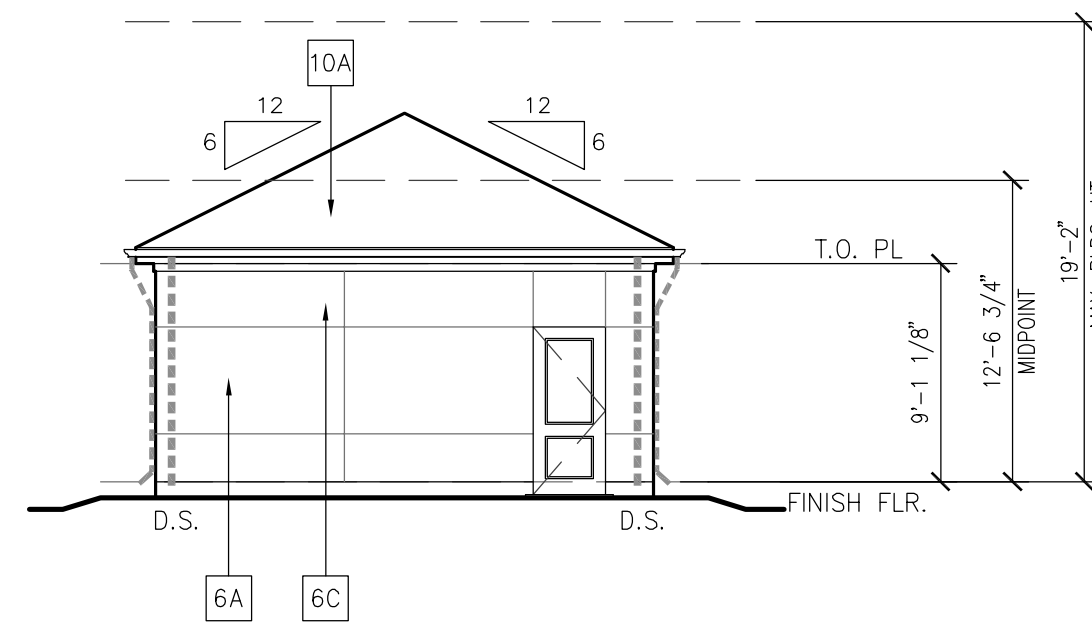
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**DETACHED 10 CAR GARAGE**

DRAWING NO.  
**A1.51**

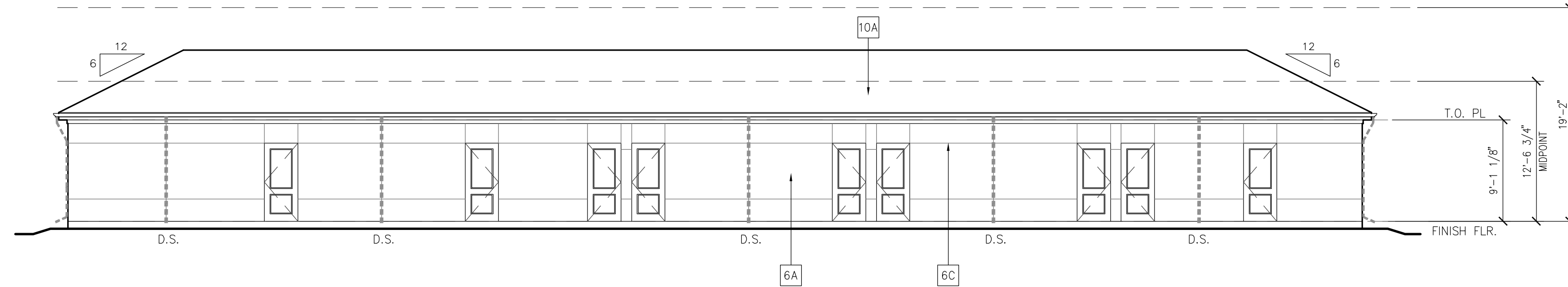




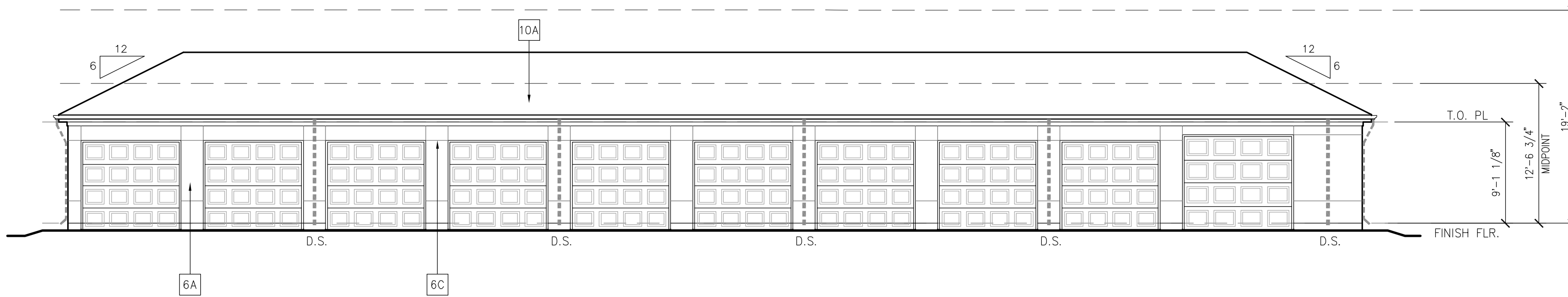
**4** **DETACHED GARAGE - TYPE III - SIDE ELEVATION**  
1/8"=1'-0"



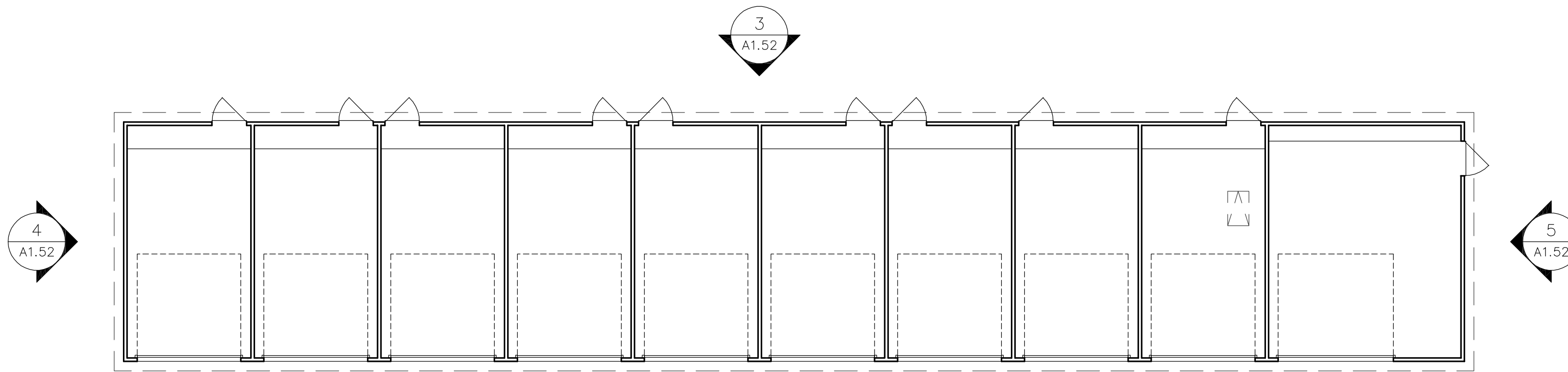
**5** **DETACHED GARAGE - TYPE III - SIDE ELEVATION**  
1/8"=1'-0"



**3** **DETACHED GARAGE TYPE III - REAR ELEVATION**  
1/8"=1'-0"



**2** **DETACHED GARAGE TYPE III - FRONT ELEVATION**  
1/8"=1'-0"



**1** **DETACHED GARAGE TYPE III - PLAN**  
1/8"=1'-0"

**ELEVATION KEYNOTE LEGEND:**

NO.	DATE	REVISION
3A		THIN STONE VENEER (SPLIT-FACE)
3B		MASONRY CONTROL JOINT (RE: X/A6.XX)
6A		EXTERIOR STUCCO SYSTEM
6B		STUCCO COVERED FOAM TRIM
6C		STUCCO CONTROL JOINT (RE: X/A6.XX)
7B		FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
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10A		COMPOSITE SHINGLE ROOF
10B		TERRACOTTA ROOF, FLAT TILE
11		STOREFRONT GLAZING SYSTEM
22		DECORATIVE METAL AWNING (CORTEN LOOK)
23		DECORATIVE METAL SHADING GRID
24		DECORATIVE STEEL CABLE ACCENT
25		DECORATIVE WOOD BEAM

NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

**PROPOSED FACADE COLOR PALETTE**

\*\* NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

EXTERIOR STUCCO SYSTEM:  
OFFWHITE, BEIGE, OR EARTHTONES

STONE VENEER:  
NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):  
NATURAL RED

GUARDRAIL SYSTEM:  
BRONZE

METAL CANOPY:  
CORTEN LOOK

METAL BRACKETS:  
BRONZE/BLACK



NO.	DATE	REVISION
	10/07/20	DS PROCESS SET
	10/31/20	DS SET

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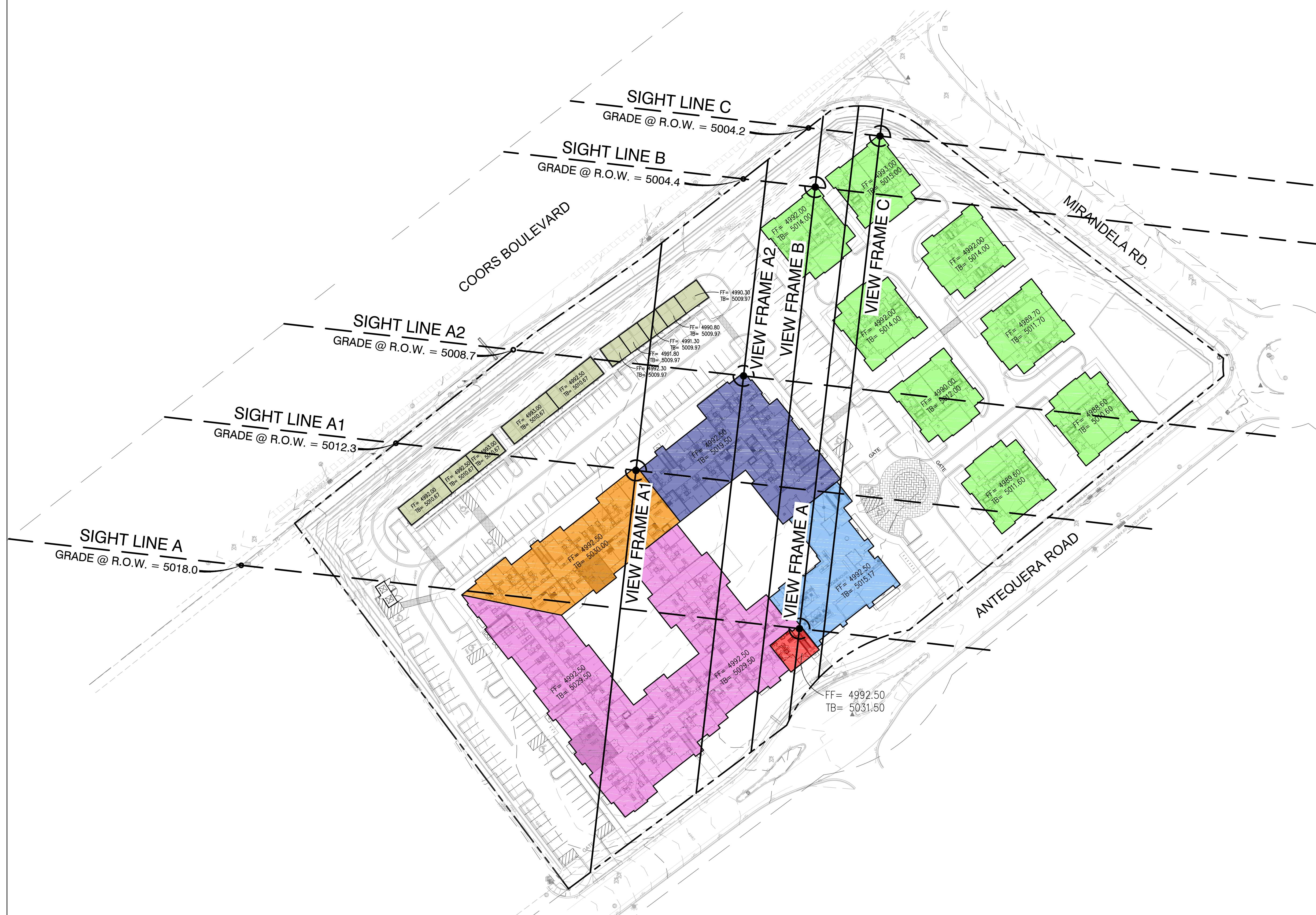
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SHEET TITLE  
**DETACHED 10 CAR GARAGE**

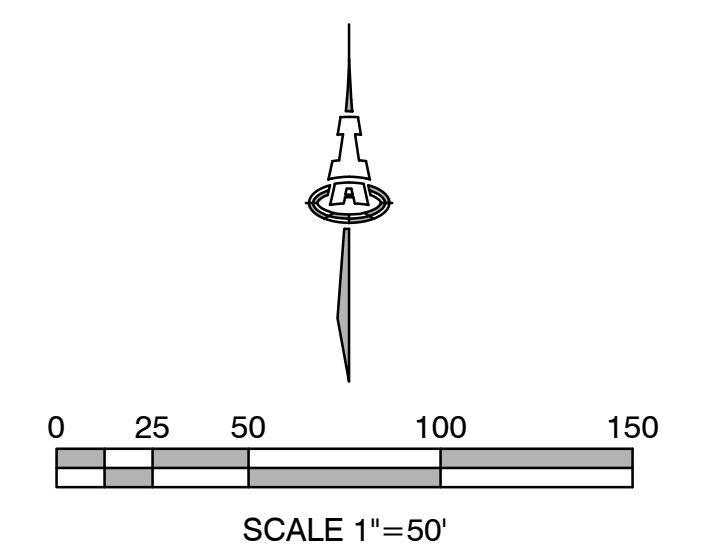
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**LEGEND**

- FF= 49XX.XX FINISH FLOOR  
TB= 49XX.XX TOP OF BUILDING
- GARAGES: 1 STORY (HEIGHT VARIES, 17'-8" TALL MIN. 19'-2" MAX.)
- COTTAGES: 1 STORY (22'-0" TALL)
- CLUBHOUSE: 1 STORY (22'-8" TALL)
- MAIN BUILDING: 2 STORY (27'-0" TALL)
- MAIN BUILDING: 3 STORY (37'-0" TALL)
- MAIN BUILDING: 3 STORY (37'-6" TALL)
- HIGHEST POINT: 3 STORY (39'-0" TALL)



Consistent with IDO Section 14-163-6(D)(5)(c)  
 This project provides for a variety in building size and massing. The lower, smaller buildings are located closer to Coors Boulevard, with the larger, taller building located farther back on the property



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 Civil Engineering Consultants  
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 Albuquerque, NM 87108  
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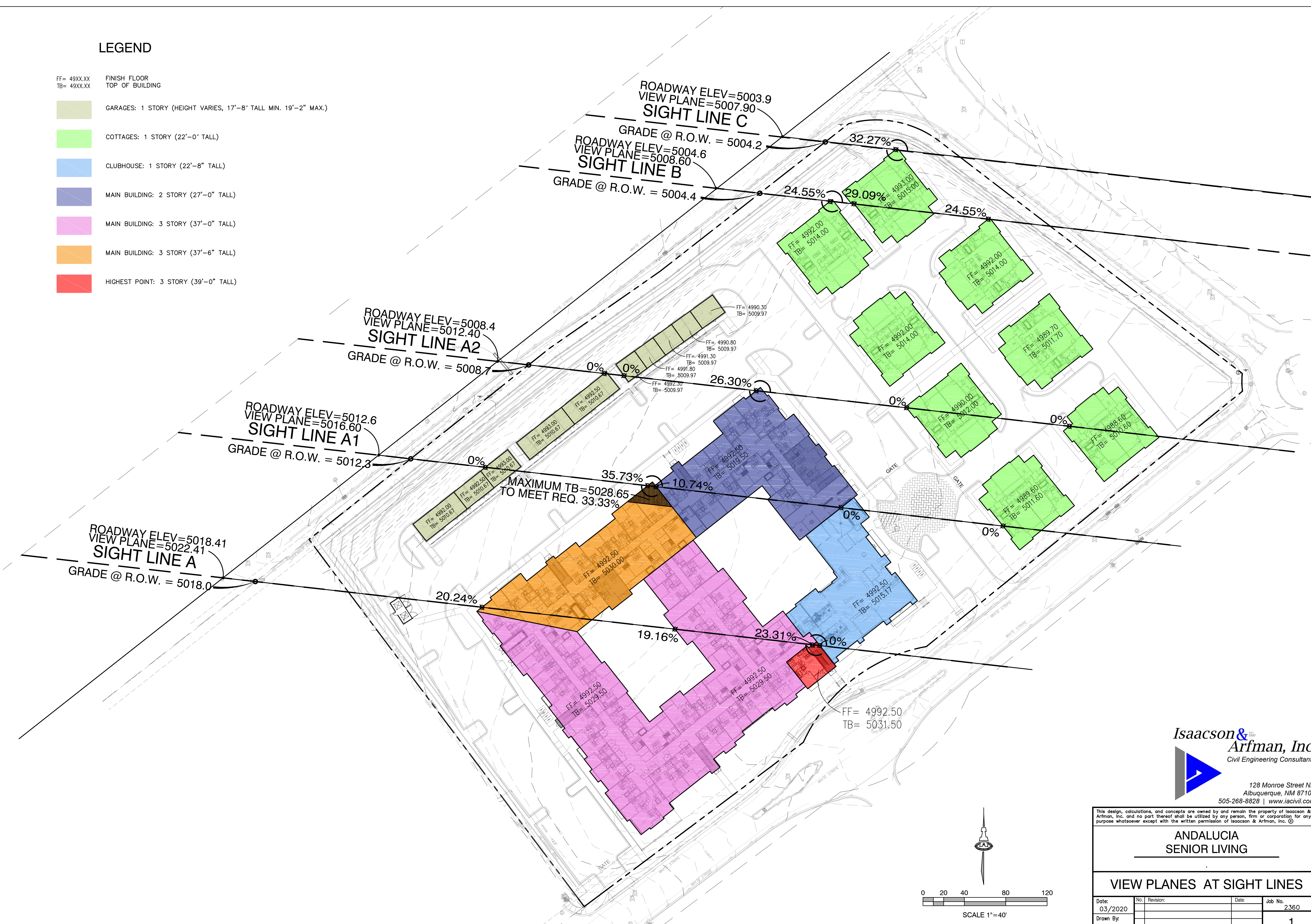
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<b>VIEW ANALYSIS SITE EXHIBIT</b>			
Date:	No. Revision:	Date:	Job No.
08/2020			2360
Drawn By:			1
thor			
Clk By:			SH OF
FCA			

\\projects\3200-2890\3200\DWG\3200\_C-201\_VIEW\_ANALYSIS.dwg, Date: 8/19/2020, 3:07 PM

**LEGEND**

FF= 49XX.XX FINISH FLOOR  
TB= 49XX.XX TOP OF BUILDING

- GARAGES: 1 STORY (HEIGHT VARIES, 17'-8" TALL MIN. 19'-2" MAX.)
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- MAIN BUILDING: 3 STORY (37'-6" TALL)
- HIGHEST POINT: 3 STORY (39'-0" TALL)



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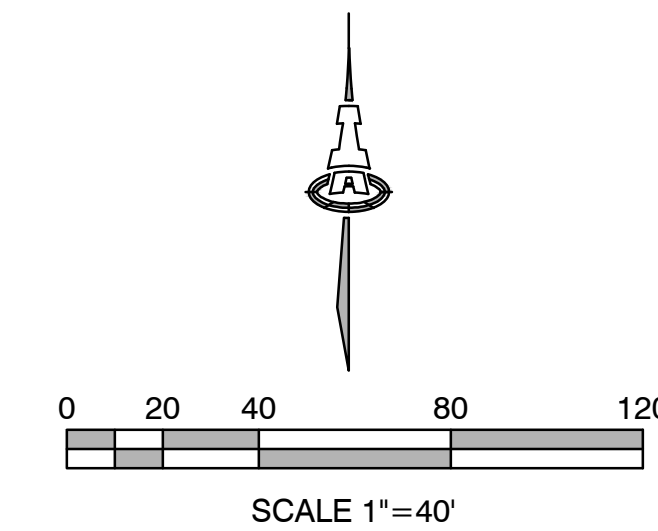
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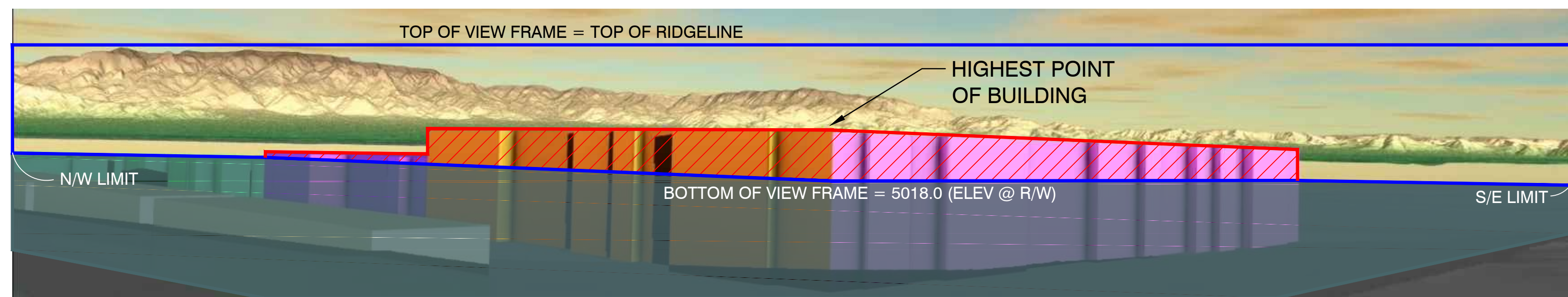
**ANDALUCIA  
SENIOR LIVING**

**VIEW PLANES AT SIGHT LINES**

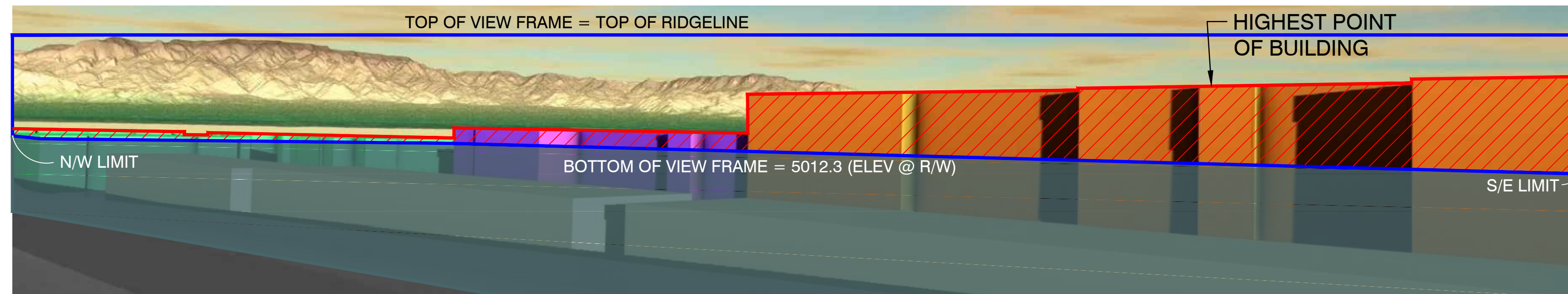
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Drawn By:				1
thor				
Clk By:				SH OF
FCA				



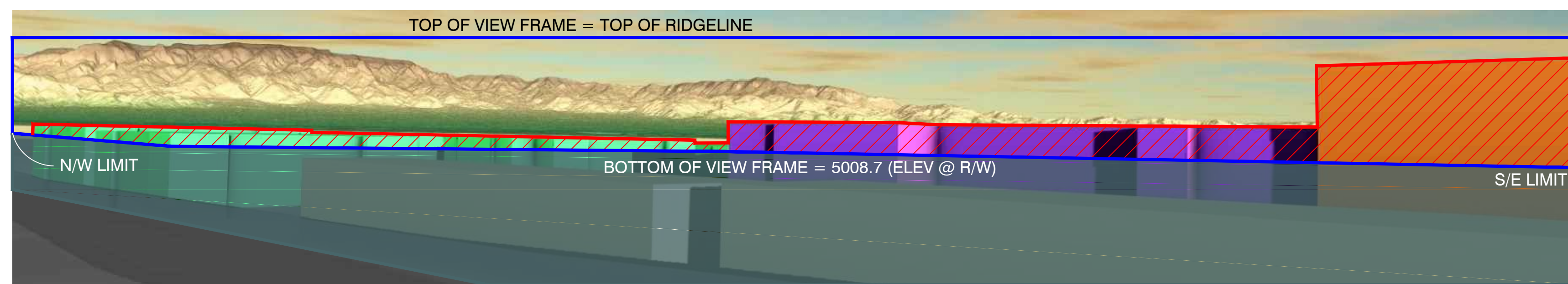




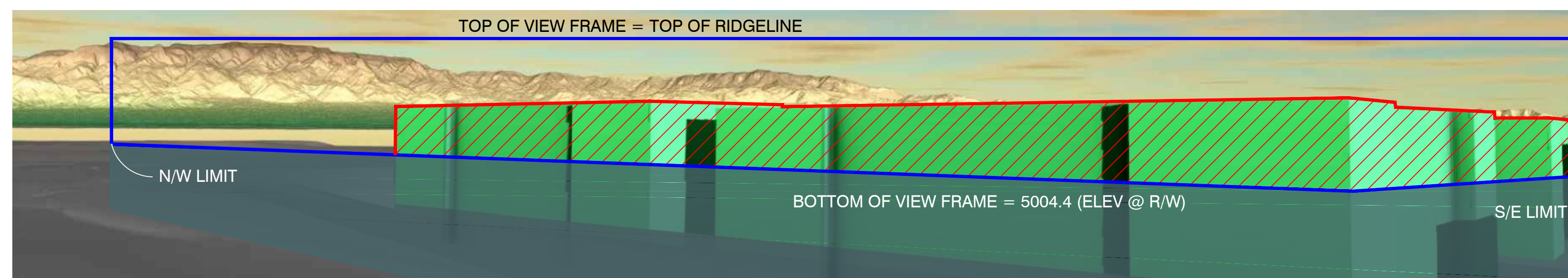
VIEW FRAME AT SIGHT LINE A



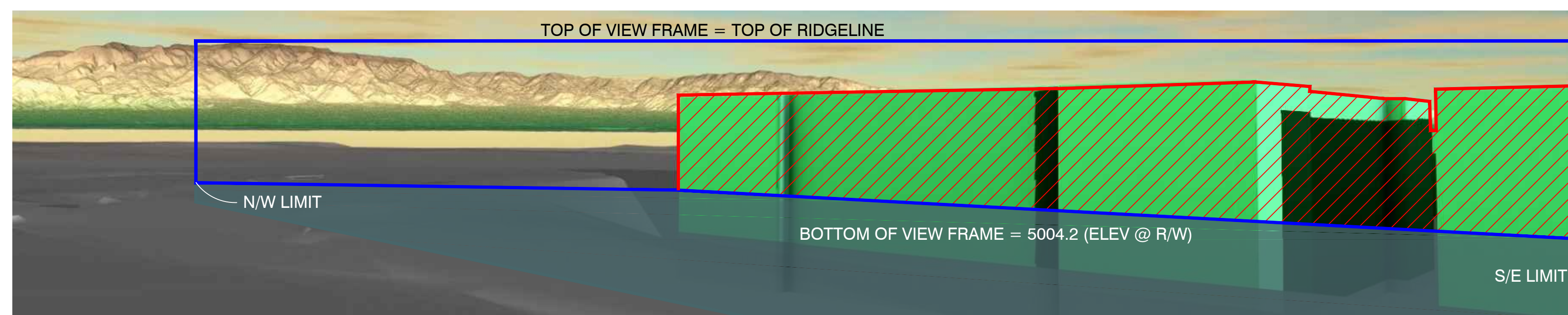
VIEW FRAME AT SIGHT LINE A1



VIEW FRAME AT SIGHT LINE A2



VIEW FRAME AT SIGHT LINE B



VIEW FRAME AT SIGHT LINE C

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**ANDALUCIA  
 SENIOR LIVING**

**VIEW ANALYSIS  
 VIEW FRAMES (STILLS FROM VIDEO)**

Date:	No.:	Revision:	Date:	Job No.:
08/2020				2360
Drawn By:				1
thor				
Clk By:				SH OF
FCA				











# PR-2020-003658\_SI-2020-01052\_Site\_Plan\_Aproved\_10-28-20\_Sheet\_1











Final Audit Report

2021-03-23

Created:	2020-12-03
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA8qKTvUUnln_kfT2MR_NgfXj4BrQqr8Bb

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