



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input checked="" type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
Minor Amendment to Infrastructure List Approval			

APPLICATION INFORMATION			
Applicant: CRP-GREP Overture Andalusia Owner, LLC (Contact: Nic Whittaker)		Phone: (512) 762-2473	
Address: 1717 West 6th Street, Suite 262		Email: nwhittaker@greystar.com	
City: Austin	State: TX	Zip: 78703	
Professional/Agent (if any): Isaacson & Arfman, Inc. (Contact: Fred C. Arfman)		Phone: (505) 268-8828	
Address: 128 Monroe Street NE		Email: freda@iacivil.com	
City: Albuquerque	State: NM	Zip: 87108	
Proprietary Interest in Site: Greystar Development Group, LP		List all owners: Silver Leaf Ventures, LLC	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: Tract 4		Block:	Unit:
Subdivision/Addition: North Andalusia at La Luz		MRGCD Map No.:	UPC Code: 101206207301831301
Zone Atlas Page(s): E-12	Existing Zoning: PD	Proposed Zoning NA	
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 7.7061	
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 5301 Antequera Rd NW		Between: Antequera Rd NW	and: Mirandela St NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
PR-2020-004086; SI-2020-01095; PS-2021-00028			

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:		Date: 03-25-21
Printed Name: Fred C. Arfman		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
Meeting Date:	Fee Total:	
Staff Signature:	Date:	Project #

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 ___ Zone Atlas map with the entire site clearly outlined and labeled
 ___ Letter describing, explaining, and justifying the request
 ___ Scale drawing of the proposed subdivision plat (7 copies, folded)
 ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 ___ Zone Atlas map with the entire site clearly outlined and labeled
 ___ Proposed Final Plat (7 copies, 24" x 36" folded)
 ___ Design elevations & cross sections of perimeter walls (3 copies)
 ___ Copy of recorded IIA
 ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer
 ___ DXF file and hard copy of final plat data for AGIS submitted and approved

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 ___ Zone Atlas map with the entire site clearly outlined and labeled
 ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6(K)
 ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-5(A)
 ___ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)
 ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
 ___ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
 ___ Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information
 ___ Proposed Infrastructure List, if applicable
 ___ Required notice with content per IDO Section 14-16-6-4(K)
 ___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives
 ___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer
 ___ DXF file and hard copy of final plat data for AGIS submitted and approved

Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

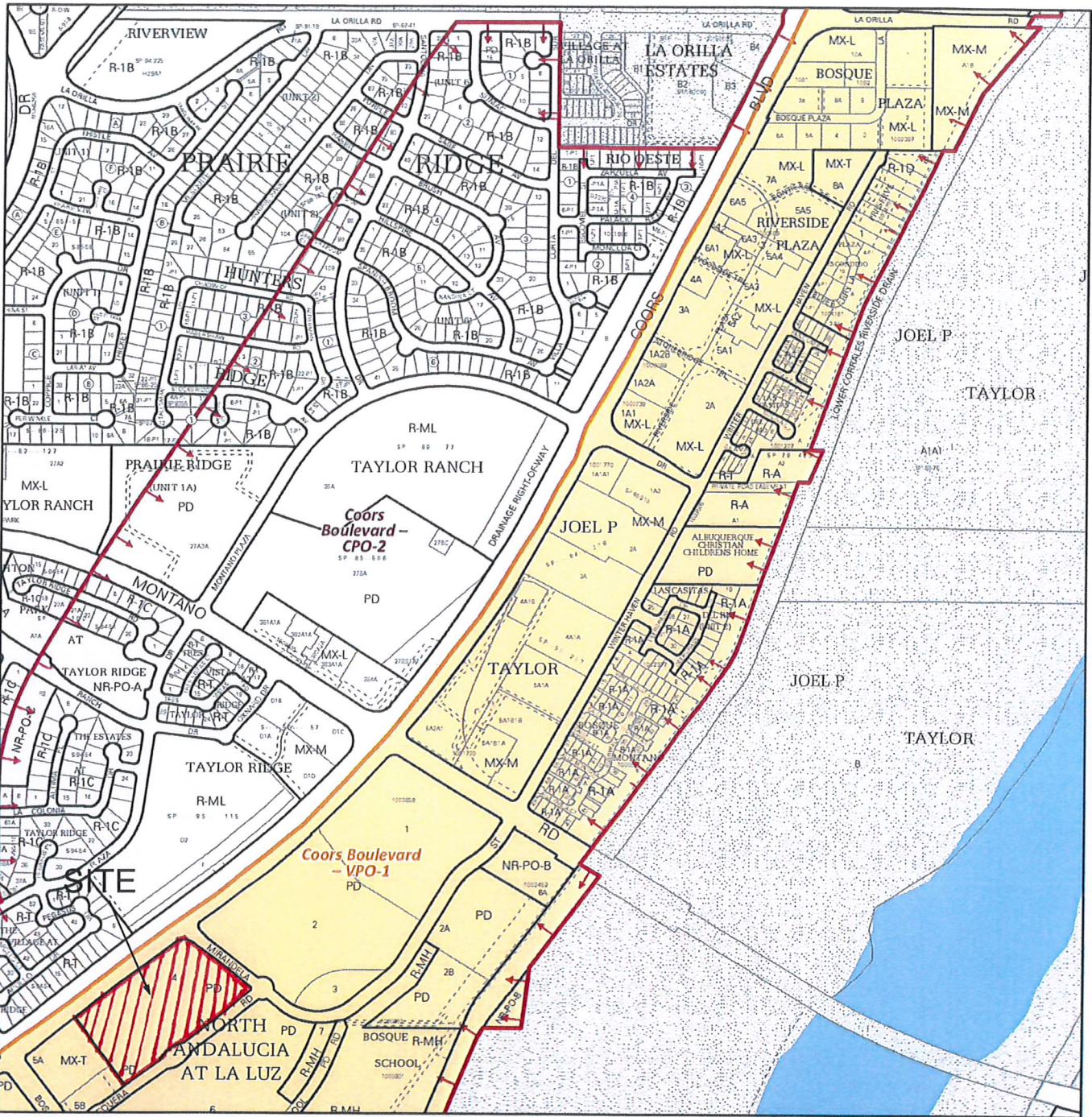
MINOR AMENDMENT TO ~~PRELIMINARY PLAT~~ INFRASTRUCTURE LIST

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 X A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 X Zone Atlas map with the entire site clearly outlined and labeled
 X Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 X Proposed Amended Preliminary Plat, Infrastructure List and/or Grading Plan (7 copies, folded)
 X Original Preliminary Plat, Infrastructure List and/or Grading Plan (7 copies, folded)
 ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

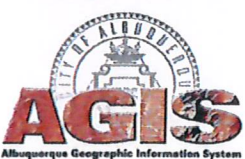
I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.	
Signature: <i>Fred C. Arfman</i>	Date: 03.25.21
Printed Name: Fred C. Arfman	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



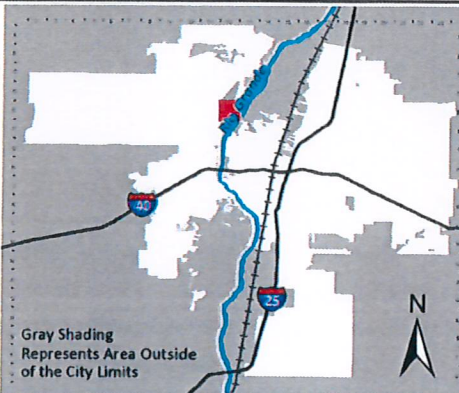


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-12-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000
Feet

March 24, 2021

Jolene Wolfley, DRB Chair
Planning Department
City of Albuquerque
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

Reference: **Overture Andalucia**; PR-2020-003658
Tract 4, North Andalucia at La Luz

Subject: Request & Justification for Revising the Approved Infrastructure List

Isaacson & Arfman, Inc., agent for Greystar, LLC, d/b/a Silver Leaf Venture, LLC (SLV) is requesting approval of a revised Infrastructure List. The following is the background, reason and justification for the request:

Background:

1. The existing infrastructure list was approved by the DRB on Nov. 05, 2020;
2. It contained only those public improvements shown on the Public Improvement Plan for the development;
3. The initial perimeter wall systems was designed as a single, two & three tier CMU wall system;
4. The project Geo-Tech consultant warned that the existing soils would not hold when cut back at a slope greater than 1.5 : 1. Based on the projected cross-section, the cut-slope would extend into the Coors Blvd. north bound driving lane.
5. The research for an alternate wall system was limited to a sheet pile wall that exceeded the allowable wall height as found in the IDO 5.7 (D)(1) of 10 feet.
6. The IDO has a provision that a variance to the wall height may be granted by the City Engineer;
7. A Wall Height Variance request(attached) was submitted to the City Engineer on January 29, 2021;
8. T City Engineer forwarded the request to the staff and requested that I&A contact the La Luz N.A and brief them on the wall system change;
9. An online meeting with the La Luz reps, Consensus Planning and I&A was conducted on March 18th. They had no objection to the alternate wall system based on the site constraints;
10. The City Engineer was notified of the meeting and outcome and he requested that the private interior wall be placed on the Infrastructure List.
11. A DRB Application (Form S2): Subdivision of Lan – Minor Action: Minor Amendment to Infrastructure List was prepared and submitted to the DRB.

Justification:

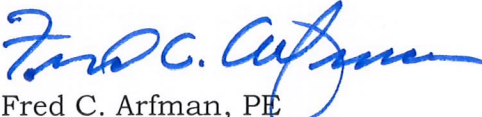
- A. The variance is necessary to ensure a safe work zone to the wall constructors and the driving and pedestrian public using Coors Blvd.
- B. The variance is allowed as determined by the City Engineer per he IDO.
- C. The Owner has consented to add the wall to a revised Infrastructure List per the City Engineer's request.
- D. The granting of this variance does will not affect the view of the travelling public along Coors Blvd. Since he wall setback off of the Corrs' ROW is increased from 10' to 20' and with a descending slope of 4:1 – 5:1 is designed into the Grading Plan, the top of the wall will be 1.5' – 2' lower than the previous three tier wall. A view fence similar to the ones utilized by the credit union to the south was requested by the neighborhood and will be duplicated on this project. The34 additional setback will be landscaped per the project's landscape plan.
- E. The granting of the Variance will not significantly interfere with the enjoyment of the other lands in the vicinity and only impact the subject property.

Request:

Therefore, Silver Leaf Venture, LLC respectfully requests that the Infrastructure List be revised at DRB to add the private sheet pile wall system.

Thank you for your consideration on this matter and we are poised to provide additional information upon request.

Sincerely,
Isaacson & Arfman, Inc.



Fred C. Arfman, PE

Attachment: Variance Request

Project: ANDALUCIA SENIOR HOUSING (PR-2020-003658)

Variance: Maximum Perimeter Wall Height

Isaacson & Arfman, Inc. is the civil consultant on the Andalusia Senior Housing project located on Tract 4 Plat of North Andalusia at La Luz. The Site Plan for this project was approved at EPC on Sept. 10, 2020 and delegated to DRB for final approval. Following the EPC approval, minor site changes have been made due to the on-going plan development and to address DRB conditions.

One major adjustment is to the proposed perimeter retaining walls along the Coors Blvd. Right-of-way (ROW). Based on the recommendations of Mike Anderson, PE, the Geotechnical Department Manager at Terracon Consultants Inc., constructing a CMU tiered wall or a Mechanically Stabilized Earth (MSE) retaining wall along Coors Blvd. would not be feasible due to the onsite existing soil and because the extent of excavation required to construct these walls would daylight a significant distance into the Coors Blvd. ROW in order to properly and safely install the walls and the soil reinforcement geogrid (see Exhibits A and B for sections showing conflict with Coors Blvd. ROW.)

A brief excerpt from the geotechnical engineer:

... regarding the geogrid placement for MSE walls.

Per OSHA, the existing soils would be considered Type C, where temporary excavations less than 20 feet are used. Type C corresponds to a 1.5:1 (horizontal:vertical) configuration. This would correspond to an approximate soil friction angle of about 34 degrees or medium dense or denser soils.

With that said, steeper slope inclinations and deeper cut depths could be used if the soils and/or slope stability analysis indicate a reasonable factor of safety (FOS). A proposed slope angle of 40 degrees would correspond to dense to very dense soil. Since the sands are loose to medium dense, a slope angle of 32 degrees or less would likely be applicable, which would correspond to a slope inclination flatter than about 1.5:1. Also, since the sands are relatively clean (low fines content), there wouldn't be much benefit of cohesion (fines) either in an existing or wetted state to "bind" the soil particles.

We could perform global slope stability analysis; however, it has been my experience that a 1:1 slope may be difficult to achieve for the soil types at this site. Also, any surcharge loads (traffic) would need to be included in the design of the temporary slope is at or near the travel lanes of Coors Boulevard. This will further reduce the FOS.

Although the geogrid would be contained within the property, there would still need to be a temporary excavation face/slope that would need to be maintained during geogrid placement/construction, which would likely not be at a stable sloped configuration given the ROW restrictions.

Therefore, it is likely that another retaining wall system would be required to maintain a stable temporary and/or final slope configuration.

Mike Anderson

Following the Geotechnical Engineer's recommendations, a sheet pile wall system was researched, designed, and deemed constructible for this project. The proposed system would protect the existing improvements within the Coors Blvd. Right-of-Way as well as the existing underground utilities within the adjacent 10' P.U.E.

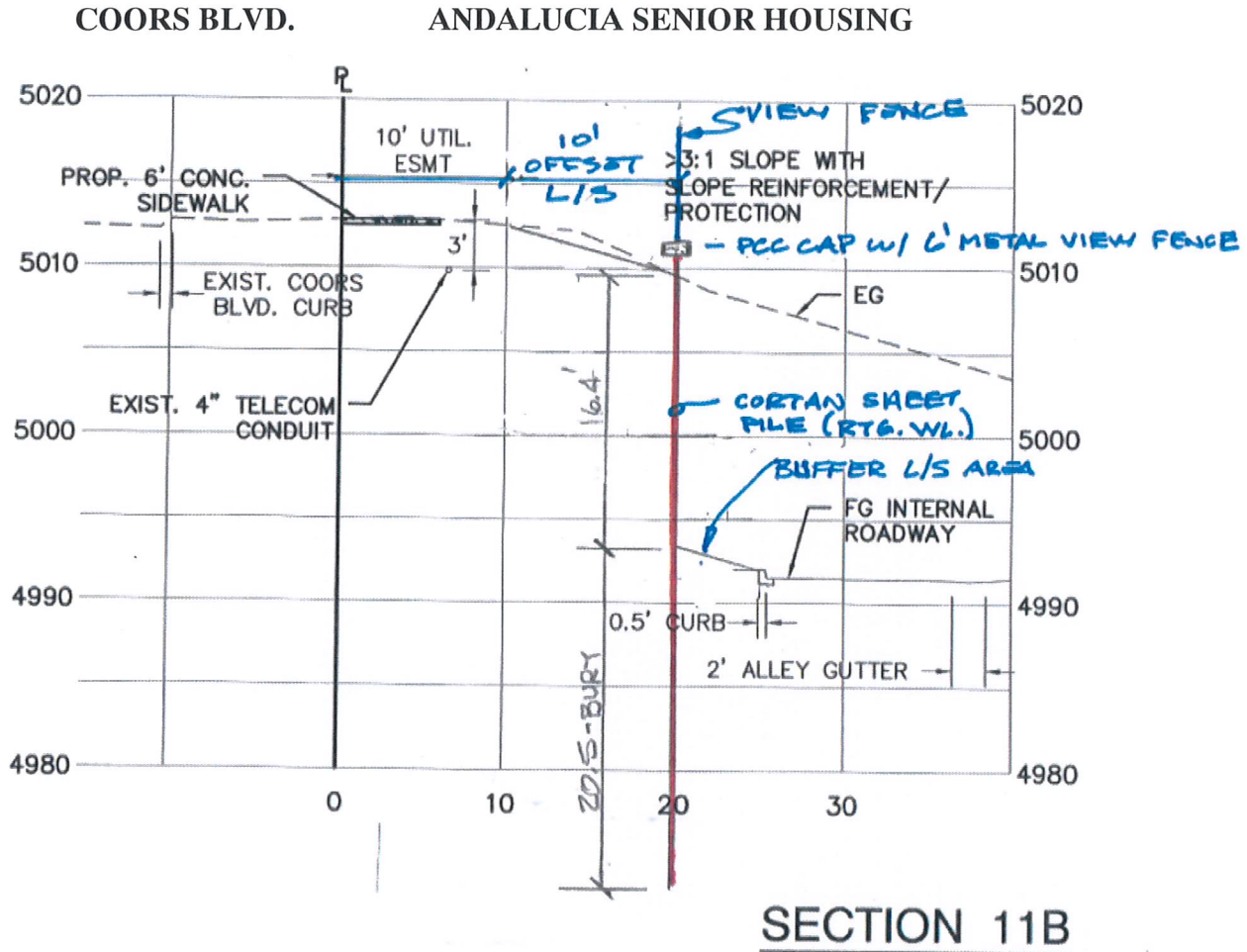
We request a variance to the IDO wall height restrictions based on the following:

1. The top of the proposed PCC wall cap is below the top of curb elevation of Coors Blvd. and should be considered as having a negative wall height. The IDO Maximum Wall Height criteria may not apply to this unique situation and should be considered on its merit in solving a design problem in a creative fashion;
2. The traveling public (vehicular and pedestrian) will not be impacted by any view restrictions since the exposed face of the wall is internal to the site and faces the private senior housing facility;
3. Any future residences of the senior housing facility will have the wall as an existing condition upon leasing;
4. The sheet pile wall is made of "Corten" steel and is a self-sealing metal surface after the initial rusting has stabilized as red rust color.
5. The design team and contractor has exhausted their efforts in designing a conventional retaining wall that would not adversely impact Coors Blvd and the existing underground utilities within the adjacent ROW.
6. The interior face of the wall will be accompanied by compatible landscaping to enhance the visual appeal of the wall for the facility residents and the public;

We look forward to your positive response to this request. Please reply and/or contact our office with any questions or if additional information is required.

A section through the proposed sheet pile wall is provided below.

Section study Sheet Pile Wall Section

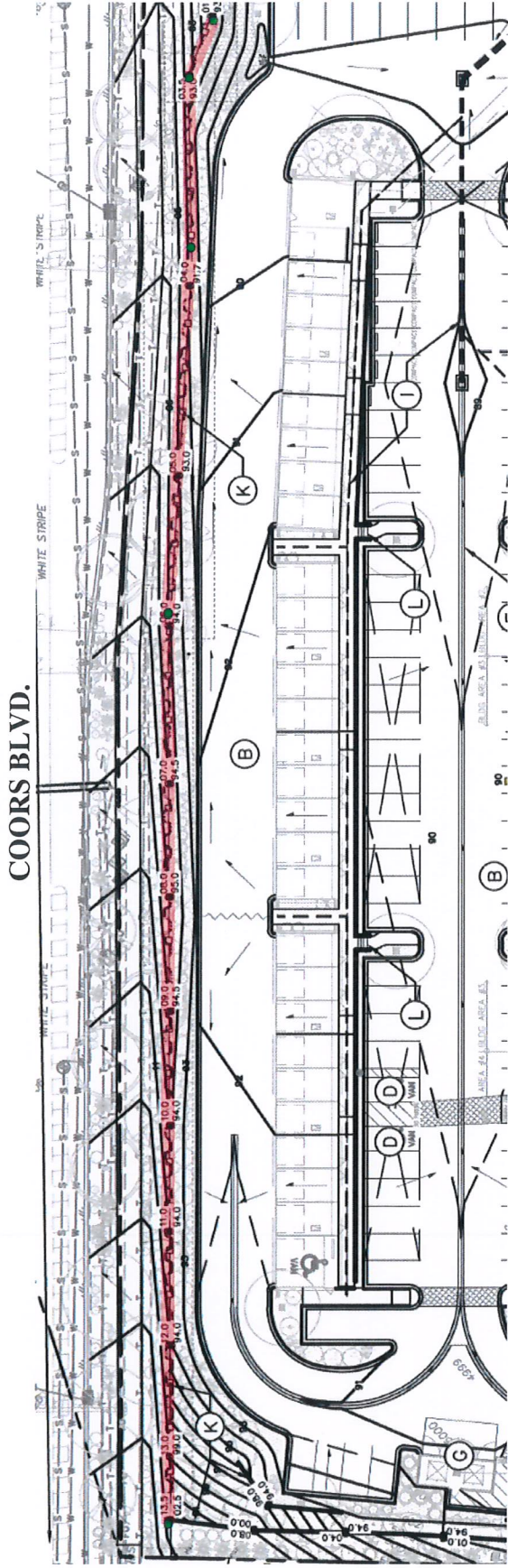


The following page identifies the proposed extent of sheet pile wall. This wall system would be utilized only at locations that would exceed the allowable 10' high retaining wall height.

The remainder of the proposed on-site retaining walls will be constructed with a maximum retaining height of 10.0'. Additional height (1'-2'±) will be added for drainage control. Therefore, we request a variance to the proposed maximum height of the non-sheet pile perimeter wall to 12' with a maximum retaining of 10'.

Safety precautions such as guardrails will be installed along the entire length of the upper level of perimeter walls (sheet pile and standard walls).

Proposed location of Sheet Pile Wall (retaining between 10' and 17' vertical)



The IDO has the following section that establishes maximum wall heights at 10 feet with a note that ‘taller walls may be approved...’

5-7(D) MAXIMUM WALL HEIGHT

5-7(D)(1) Maximum Wall Height Table

Unless specified otherwise in Subsection 14-16-5-7(D)(3) (Exceptions to Maximum Wall Height) or elsewhere in this IDO, walls shall comply with the height standards in Table 5-7-1.

Table 5-7-1: Maximum Wall Height					
Zone Category	Residential	Mixed-use	Non-residential (NR-C, NR-BP)^[1]	Non-residential (NR-LM, NR-GM)	See also:
Standard Wall Height					
Wall in the front yard or street side yard ^{[2][3][4]}	3 ft.	3 ft.	3 ft.	6 ft.	5-7(D)(2)
Wall in other locations on the lot ^{[5][6]}	8 ft.	8 ft.	8 ft.	10 ft.	5-7(D)(2)
Corner Lot Abutting Residential Zone District					
Any portion of a wall in the rear yard abutting the front yard of a Residential zone district.					
<10 ft. from the lot line abutting the street ^[3]	3 ft.	3 ft.	3 ft.	6 ft.	5-7(D)(2) 5-7(D)(3)(g)
≥10 ft. from the lot line abutting the street	6 ft.	8 ft. Low-density residential: 6ft.	8 ft.	8 ft.	5-7(D)(2)
Walls Abutting Major Arroyos and Major Public Open Space					
Wall in a rear or interior side yard abutting a major arroyo	6 ft.	8 ft.	8 ft.	8 ft.	5-7(D)(2) 5-7(E)(4)
Wall in a rear or interior side yard abutting Major Public Open Space	6 ft.	6 ft.	6 ft.	10 ft.	5-7(D)(2) 5-7(E)(4)
[1] In the NR-BP zone district, wall heights shall be specified in the Master Development Plan. If no Master Development Plan exists or if no wall heights are specified in the Master Development Plan, then the wall height requirements in this table apply.					
[2] Taller walls may be approved for multi-family residential development pursuant to Subsection 14-16-5-7(D)(3)(c).					
[3] Taller walls may be approved for low-density residential development pursuant to Subsections 14-16-5-7(D)(3)(d) or 14-16-5-7(D)(3)(e).					
[4] Taller walls may be approved in any NR-C or NR-BP zone district pursuant to Subsection 14-16-5-7(D)(3)(e).					
[5] Portions of walls in the rear yard of a corner lot abutting the front yard of a Residential zone district are treated differently, with provisions later in this table.					
[6] Where the rear yard of a through lot abuts at least 1 lot with any residential development that faces the second public street, the rear and side walls shall be subject to the same height restrictions applicable within the required front setback of the abutting residential property.					

Exhibit A:
 Section study
 Tiered Retaining Wall (CMU or Cast-in-place Concrete)

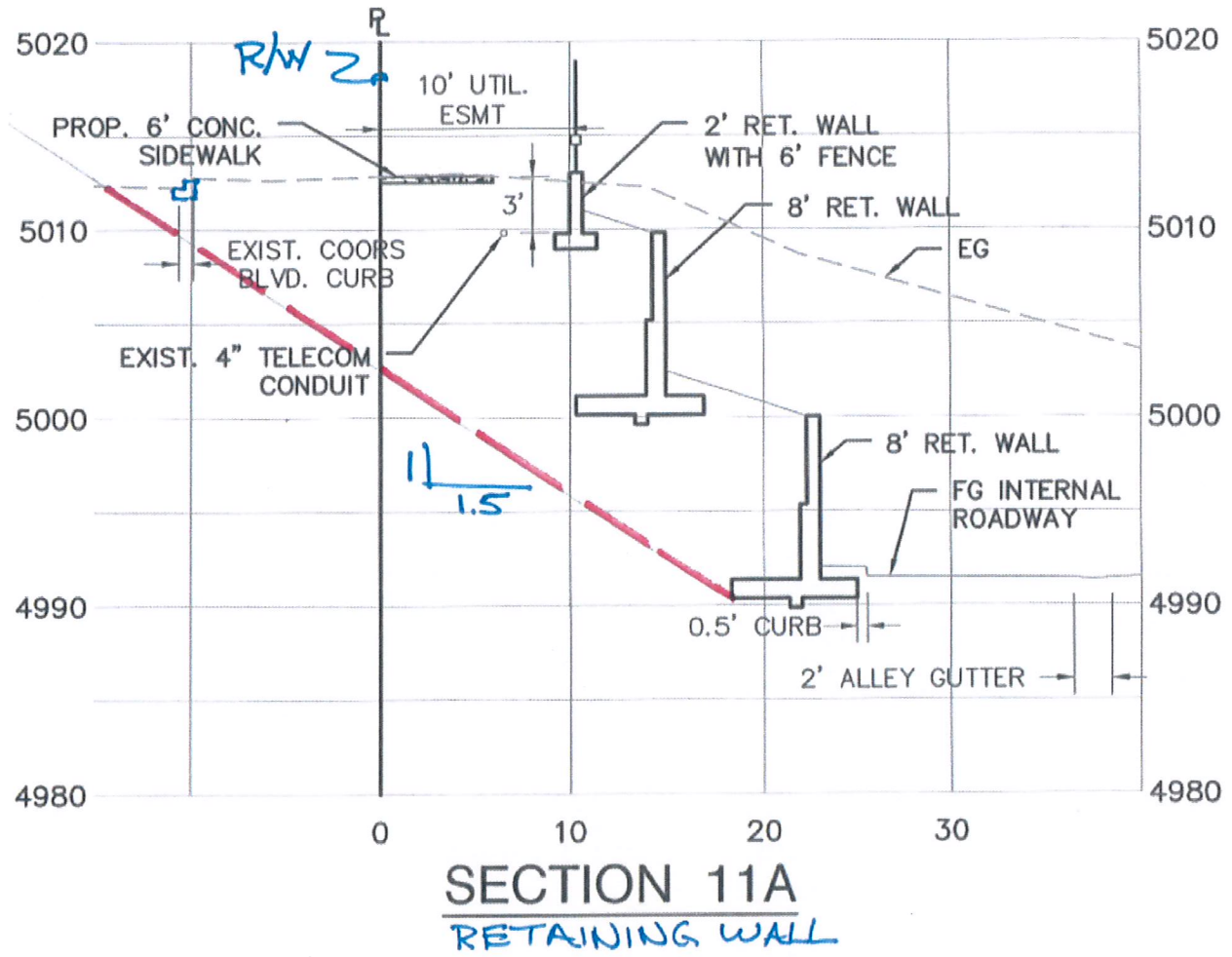
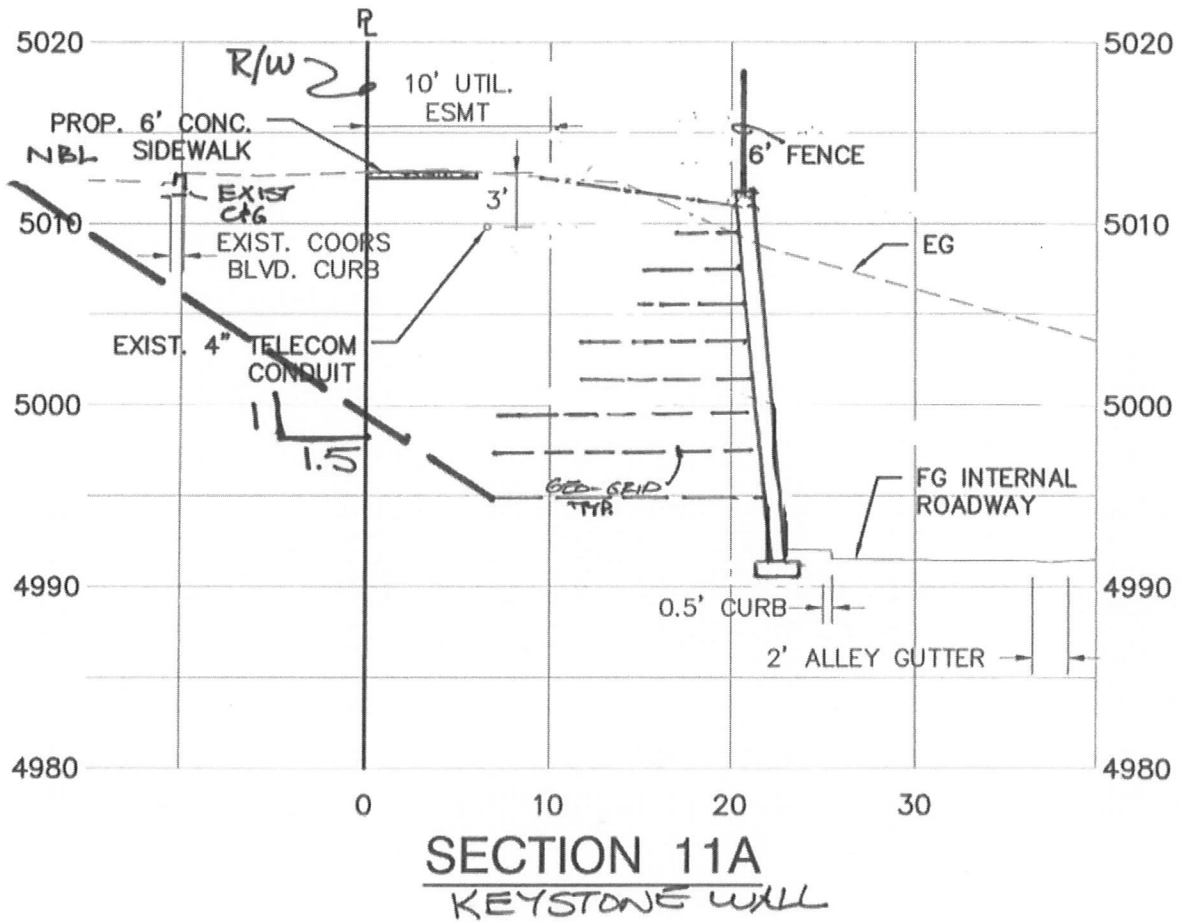


Exhibit B:
Section study
Mechanically Stabilized Earth (MSE) retaining wall (Keystone)



Current DRC Project Number: NA Date Submitted: 3/24/2021
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 2019-003055
 DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Overture Andaluclia Senior Housing
 PROPOSED NAME OFSITE DEVELOPMENT PLAN**

**Tract 4, North Andaluclia at La Luz
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		8'	PCC Sidewalk	Coors Blvd.	So. Property Line	Mirandela St.	/	/	/
		6'	PCC Sidewalk	Mirandela St.	Coors Blvd.	Antequera Rd.	/	/	/
		6"	PCC Sidewalk	Antequera Rd.	Mirandela St.	So. Property Line	/	/	/
		24' - 30'	Entrances (2)	Antequera Rd.	SE corner & Mid-pt.		/	/	/
		10"	Prvt. Fire Line Connection with Valves	Antequera Rd.	Site Entrance		/	/	/
		4"	Water Service & Vault	Antequera Rd.	Site Entrance		/	/	/
		1"	Irrigation Service	Antequera Rd.	Site Entrance		/	/	/
		8' - 17'	Corten Steel Sheet Pile Rtg. Wall	Coors Blvd ROW 20' offset east	SW Prop. Corner	extending 470' N.	/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
 The items listed below are subject to the standard SJA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
							/	/	/
							/	/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____

City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

1 The designated sidewalks are Site Plan controlled and will not be financially guaranteed.

2

3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Fred C. Arfman, PE

NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

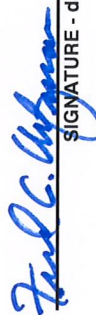
ISAACSON & ARFMAN, INC.

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

3/23/2021



SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC

Project Number: NA

FIGURE 12

Date Submitted: 10/2/2020

Date Site Plan Approved:

Date Preliminary Plat Approved:

Date Preliminary Plat Expires:

DRB Project No.: 2019-003055

DRB Application No.:

INFRASTRUCTURE LIST

(Rev. 2-16-16)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Overture Andaluclia Senior Housing
PROPOSED NAME OFSITE DEVELOPMENT PLAN**

**Tract 4, North Andaluclia at La Luz
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		8'	PCC Sidewalk	Coors Blvd.	So. Property Line	Mirandela St.	/	/	/
		6'	PCC Sidewalk	Mirandela St.	Coors Blvd.	Antequera Rd.	/	/	/
		6"	PCC Sidewalkj	Antequera Rd.	Mirandela St.	So. Property Line	/	/	/
		24' - 30'	Entrances (2)	Antequera Rd.	SE corner & Mid-pt.		/	/	/
		10"	Prvt. Fire Line Connection with Valves	Antequera Rd.	Site Entrance		/	/	/
		4"	Water Service & Vault	Antequera Rd.	Site Entrance		/	/	/
		1"	Irrigation Service	Antequera Rd.	Site Entrance		/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
 The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	Date
							Inspector	P.E.		
							/	/	/	/
							/	/	/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

1 The designated sidewalks are Site Plan controlled and will not be financially guaranteed.

2

3

AGENT / OWNER

Fred C. Arfman, PE

NAME (print)

ISAACSON & ARFMAN, INC.

FIRM

Fred C. Arfman 10.28.20
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Judy
 DRB CHAIR - date
 Jeanne Wolfenbarger Oct 30, 2020 1:59 PMDT

Nov 5, 2020

Cheryl Amerfeldt
 PARKS & RECREATION - date
 Cheryl Amerfeldt Nov 3, 2020 11:44 MST

Nov 3, 2020

David Guiterrez
 TRANSPORTATION DEVELOPMENT - date
 David Guiterrez Nov 4, 2020 1:14:42 MST

Nov 4, 2020

Carl Garcia
 UTILITY DEVELOPMENT - date
 Carl Garcia Oct 28, 2020 16:14 MDT

Oct 28, 2020

AMAFCA - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER