



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>SUBDIVISIONS</b>		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
<b>SITE PLANS</b>		<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
<b>BRIEF DESCRIPTION OF REQUEST</b>			
Plat revision for Public ROW exchange (dedication and vacation) and Public Utility Easement exchange (dedication and vacation) to match constructed condition of existing roadway and property across of Antequera Rd NW.			

<b>APPLICATION INFORMATION</b>			
Applicant: CRP-GREP Overture Andalucia Owner, LLC (Contact: Nic Whittaker)		Phone: (512) 762-2473	
Address: 1717 West 6th Street, Suite 262		Email: nwhittaker@greystar.com	
City: Austin	State: TX	Zip: 78703	
Professional/Agent (if any): Isaacson & Arfman, Inc. (Contact: Fred Arfman)		Phone: (505) 268-8828	
Address: 128 Monroe Street NE		Email: freda@iacivil.com	
City: Albuquerque	State: NM	Zip: 87108	
Proprietary Interest in Site: Greystar Development Group, LP		List all owners: Silver Leaf Ventures LLC	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>			
Lot or Tract No.: Tract 4-A		Block: N/A	Unit: N/A
Subdivision/Addition: North Andalucia at La Luz		MRGCD Map No.: N/A	UPC Code: 101206207301831301
Zone Atlas Page(s): E-12	Existing Zoning: PD		Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: 1		Total Area of Site (Acres): 7.7007 AC
<b>LOCATION OF PROPERTY BY STREETS</b>			
Site Address/Street: Tract 4-A		Between: Antequera Road NW	and: Mirandela Street NW
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>			
PR-2020-004086, SI-2020-01095			

Signature:	Date: 02.11.2021
Printed Name: Fred Arfman	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:			Date:	Project #	

**FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS**

**Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.**

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

**>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS**

- Interpreter Needed for Hearing?  if yes, indicate language: \_\_\_\_\_
- A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled

**SKETCH PLAT REVIEW AND COMMENT**

- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat (7 copies, folded)
- N/A Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded) → lot is undeveloped

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)**

- Letter describing, explaining, and justifying the request
- Copy of recorded IIA
- Proposed Final Plat (7 copies, 24" x 36" folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL**

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Required notice with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination Public Notice Inquiry response
  - Proof of emailed notice to applicable Neighborhood Association representatives
- Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Proposed Infrastructure List, if applicable
- DXF file and hard copy of final plat data for AGIS submitted and approved

**MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST**

- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

**Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.**

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 02/11/21</p>
<p>Printed Name: Fred C. Arfman</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Case Numbers: _____</p>	<p>Project Number _____</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



February 11, 2021

Jolene Wolfley, DRB Chair  
Planning Department  
City of Albuquerque  
Plaza del Sol Building  
600 Second NW  
Albuquerque, NM 87102

Reference: **Overture Andalucia**; PR-2020-003658  
Tract 4, North Andalucia at La Luz

Subject: Overture Andalucia Sketch Plat Description

Isaacson & Arfman, Inc., agent for CRP-GREP Overture Andalucia Owner, LLC would like to request a Sketch Plat review for the referenced project. The Overture Andalucia project will construct a new senior independent living, multi-family apartment complex on currently undeveloped land.

The development will require construction of a new metered water service line and public sidewalk. The public sidewalk will meander along the perimeter of the site, crossing between public right-of-way and private property at various locations. The plat will establish the proposed water easement and sidewalk easement for public items located within the property boundary.

The plat will also include a public right-of-way and public utility easement exchange. The recorded plat for North Andalucia at La Luz shows a pop-out of the right-of-way on both sides to accommodate the planned intersections for access to the referenced tract and the adjacent tracts to the east. Following the plat recording, the property on the east side of Antequera Road NW shifted the pop-out to match the access location as part of the final development plans of the Andalucia Villas. The plat will revise the property boundary and utility easement to match the existing constructed conditions of Antequera Road NW.

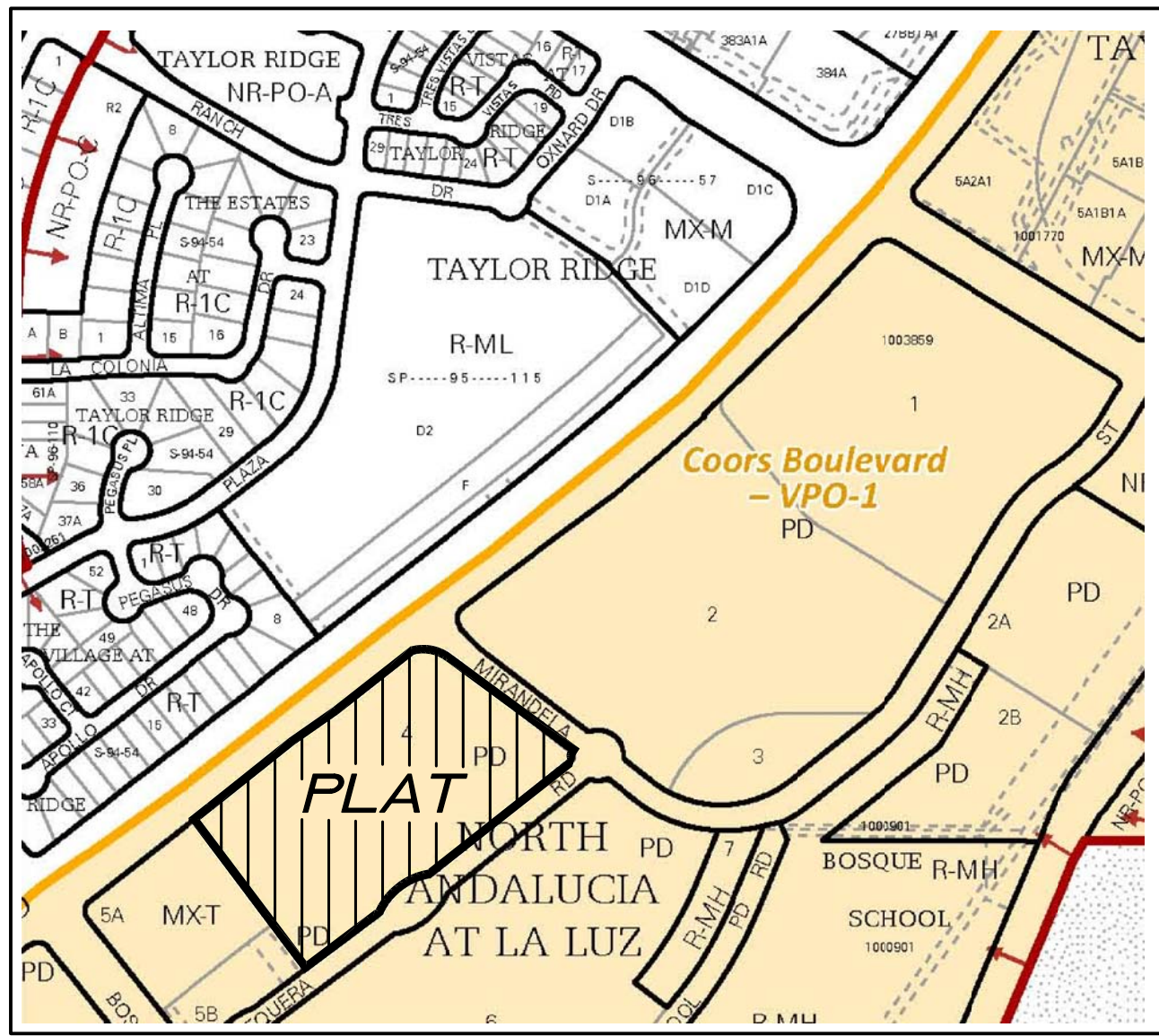
Additional information regarding the exchange will be noted in future submittals for the Vacation of Public Right-of-way and Vacation of Public Easement review processes.

Thank you for your consideration on this matter and we are poised to provide additional information upon request.

Sincerely,  
Isaacson & Arfman, Inc.

  
Fred C. Arfman, PE

Attachments: Development Review Application, Form S2, Zone Atlas Page, Sketch Plat



VICINITY MAP  
Not to Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page E-12.

**SUBDIVISION DATA**

- Total number of existing Tracts: 1
- Total number of Tracts created: 1
- Public Street right of way Dedicated by this plat 0.0222 Ac.
- Public Street right of way Vacated by this plat 0.0168 Ac.
- Gross Subdivision acreage: 7.7061 acres.

**DOCUMENTS USED IN THE PREPARATION ON THIS SURVEY:**

- Plat entitled "PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 13, 2005 in Plat Book 2005C, Page 342.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

The purpose of this plat is to:

- Reconfigure the existing right of way line along Antequera Road N.W. as shown hereon to align with existing curb and gutter previously constructed.
- Show the portion of Antequera Road right of way Vacated by DRB-----.
- Dedicate additional public street right of way for Antequera Road N.W. as shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
January 20, 2021



**SKETCH PLAT OF**

**TRACT 4-A**

**NORTH ANDALUCIA AT LA LUZ**

(BEING A REPLAT OF TRACT 4, NORTH ANDALUCIA AT LA LUZ)

WITHIN

SECTIONS 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2021

PROJECT NUMBER: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

Public Service Company of New Mexico \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Gas Company \_\_\_\_\_ Date \_\_\_\_\_

QWest Corporation d/b/a CenturyLink QC \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

**CITY APPROVALS:**

City Surveyor \_\_\_\_\_ Date \_\_\_\_\_  
Department of Municipal Development

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

ABCWUA \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

Code Enforcement \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

SHEET 1 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
P.O. Box 66885, Albuquerque, New Mexico 87114

Phone: 505-300-4732

SKETCH PLAT OF  
TRACT 4-A

NORTH ANDALUCIA AT LA LUZ

(BEING A REPLAT OF TRACT 4, NORTH ANDALUCIA AT LA LUZ)

WITHIN

SECTIONS 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2021

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Albuquerque Grant in Projected Section 9, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Tract 4, North Andaluca at La Luz as the same is shown and designated on the plat entitled "PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 13, 2005 in Plat Book 2005C, Page 342.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF TRACT 4-A, NORTH ANDALUCIA AT LA LUZ (BEING A REPLAT OF TRACT 4, NORTH ANDALUCIA AT LA LUZ) WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided; do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Tract 4, North Andaluca at La Luz  
Silver Leaf Ventures, LLC

By: \_\_\_\_\_

ACKNOWLEDGMENT

STATE OF NEW MEXICO

COUNTY OF \_\_\_\_\_ SS

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021, by \_\_\_\_\_.

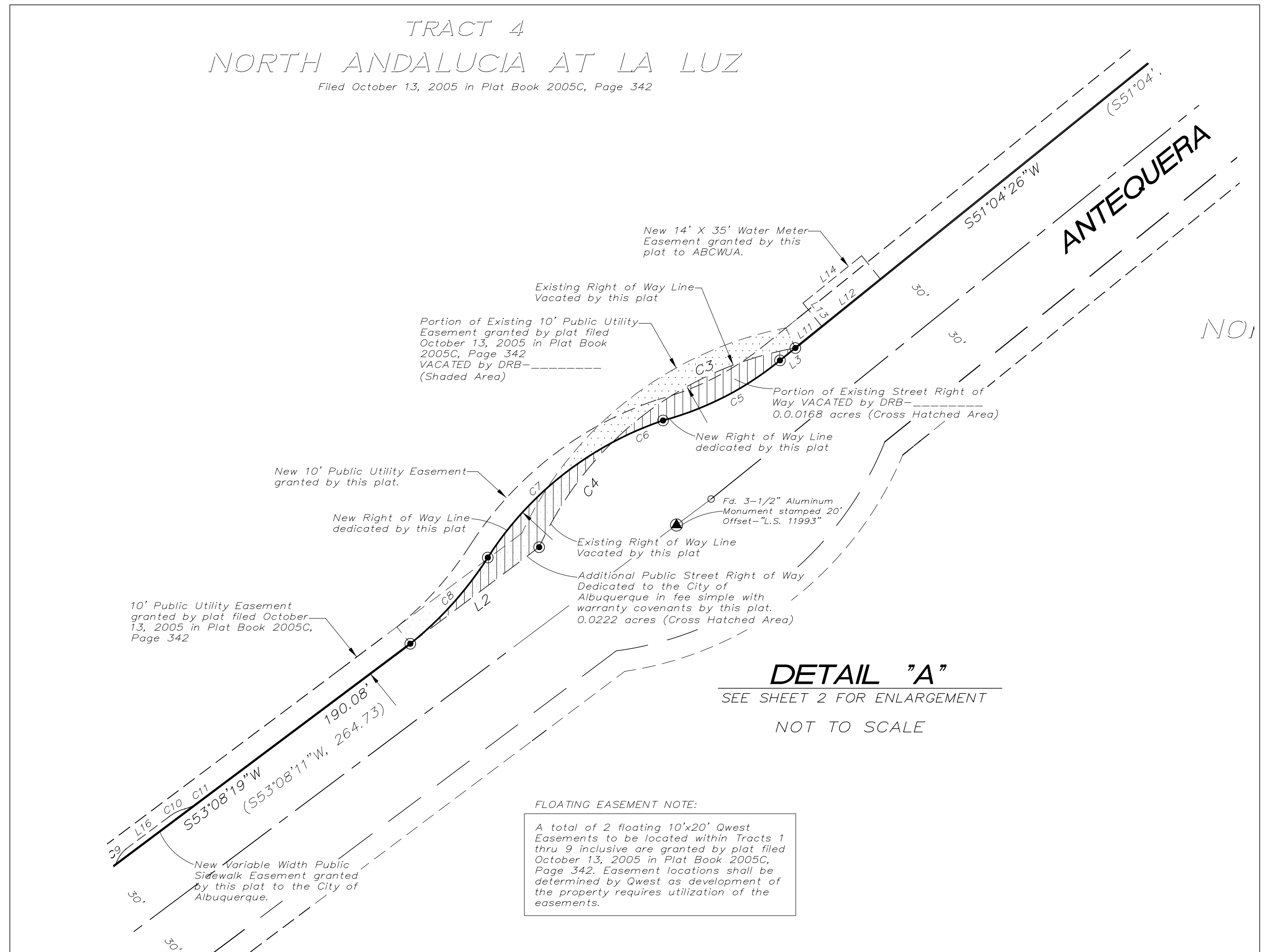
My commission expires \_\_\_\_\_  
Notary Public

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

FLOOD ZONE DETERMINATION

The subject property lies within a Zone X (Areas determined to be outside the 0.2% annual chance floodplain) as shown on the National Flood Insurance Program, Flood Insurance Rate Maps Panel 35001C0332G, dated September 26, 2008.

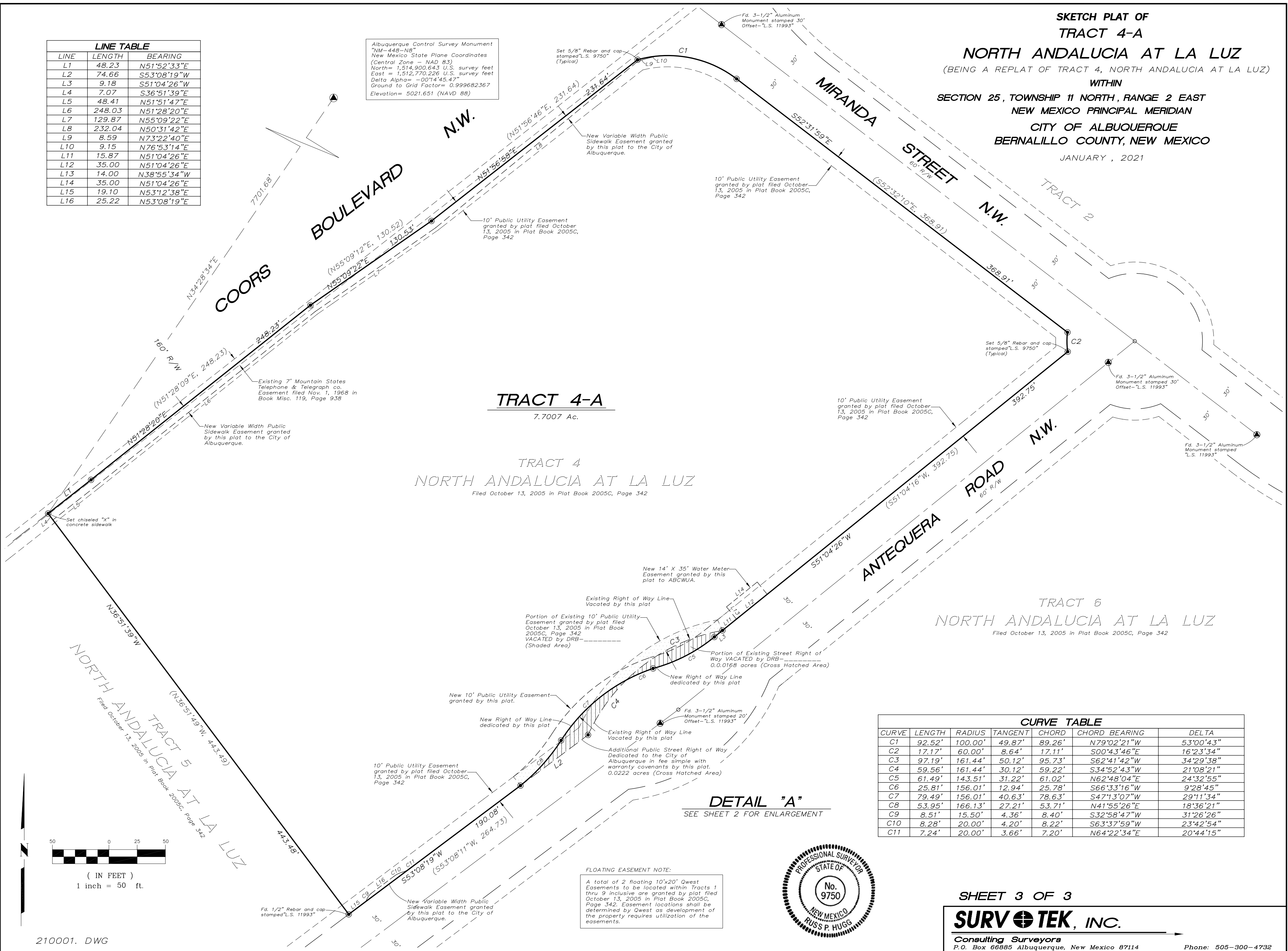


**SKETCH PLAT OF  
TRACT 4-A**  
**NORTH ANDALUCIA AT LA LUZ**  
(BEING A REPLAT OF TRACT 4, NORTH ANDALUCIA AT LA LUZ)  
WITHIN  
SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2021

LINE	LENGTH	BEARING
L1	48.23	N51°52'33"E
L2	74.66	S53°08'19"W
L3	9.18	S51°04'26"W
L4	7.07	S36°51'39"E
L5	48.41	N51°51'47"E
L6	248.03	N51°28'20"E
L7	129.87	N55°09'22"E
L8	232.04	N50°31'42"E
L9	8.59	N73°22'40"E
L10	9.15	N76°53'14"E
L11	15.87	N51°04'26"E
L12	35.00	N51°04'26"E
L13	14.00	N38°55'34"W
L14	35.00	N51°04'26"E
L15	19.10	N53°12'38"E
L16	25.22	N53°08'19"E

Albuquerque Control Survey Monument  
"NM-448-N8"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83)  
North = 1,514,900.643 U.S. survey feet  
East = 1,512,770.226 U.S. survey feet  
Delta Alpha = -00°14'45.47"  
Ground to Grid Factor = 0.999682367  
Elevation = 5021.651 (NAVD 88)



**TRACT 4-A**  
7.7007 Ac.

TRACT 4  
**NORTH ANDALUCIA AT LA LUZ**  
Filed October 13, 2005 in Plat Book 2005C, Page 342

TRACT 6  
**NORTH ANDALUCIA AT LA LUZ**  
Filed October 13, 2005 in Plat Book 2005C, Page 342

**DETAIL "A"**  
SEE SHEET 2 FOR ENLARGEMENT

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	92.52'	100.00'	49.87'	89.26'	N79°02'21"W	53°00'43"
C2	17.17'	60.00'	8.64'	17.11'	S00°43'46"E	16°23'34"
C3	97.19'	161.44'	50.12'	95.73'	S62°41'42"W	34°29'38"
C4	59.56'	161.44'	30.12'	59.22'	S34°52'43"W	21°08'21"
C5	61.49'	143.51'	31.22'	61.02'	N62°48'04"E	24°32'55"
C6	25.81'	156.01'	12.94'	25.78'	S66°33'16"W	9°28'45"
C7	79.49'	156.01'	40.63'	78.63'	S47°13'07"W	29°11'34"
C8	53.95'	166.13'	27.21'	53.71'	N41°55'26"E	18°36'21"
C9	8.51'	15.50'	4.36'	8.40'	S32°58'47"W	31°26'26"
C10	8.28'	20.00'	4.20'	8.22'	S63°37'59"W	23°42'54"
C11	7.24'	20.00'	3.66'	7.20'	N64°22'34"E	20°44'15"

**FLOATING EASEMENT NOTE:**  
A total of 2 floating 10'x20' Easements to be located within Tracts 1 thru 9 inclusive are granted by plat filed October 13, 2005 in Plat Book 2005C, Page 342. Easement locations shall be determined by Qwest as development of the property requires utilization of the easements.



SHEET 3 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
P.O. Box 66885 Albuquerque, New Mexico 87114

Phone: 505-300-4732

