



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Apartment complex development		

APPLICATION INFORMATION		
Applicant: Sonata Trails, LLC.		Phone: (702)-376-9478
Address:		Email: kcalhoun@wcinm.com
City:	State:	Zip:
Professional/Agent (if any): RESPEC		Phone: (505) 253-9811
Address: 5971 Jefferson St. NE Suit 101		Email: Jeremy.shell@respec.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Apartment Development		List all owners: Sonata Trails, LLC
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract 1, 2 and 3	Block:	Unit: 4
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): C-10-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 3	# of Proposed Lots: 3	Total Area of Site (Acres): 29.9
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: Universe Blvd. NW	Between: Paseo Del Norte Blvd.	and: Tree Line Ave. NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		

Signature:	Date: 4/28/2020
Printed Name: Jeremy Shell	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:			Date:		Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

- SITE PLAN – DRB**
- MAJOR AMENDMENT TO SITE PLAN – DRB**
- EXTENSION OF SITE PLAN – DRB**

- Interpreter Needed for Hearing? ____ if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- N.A Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- N.A If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- N.A Copy of the original approved Site Plan or Master Development Plan *(for amendments only)* (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- N.A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

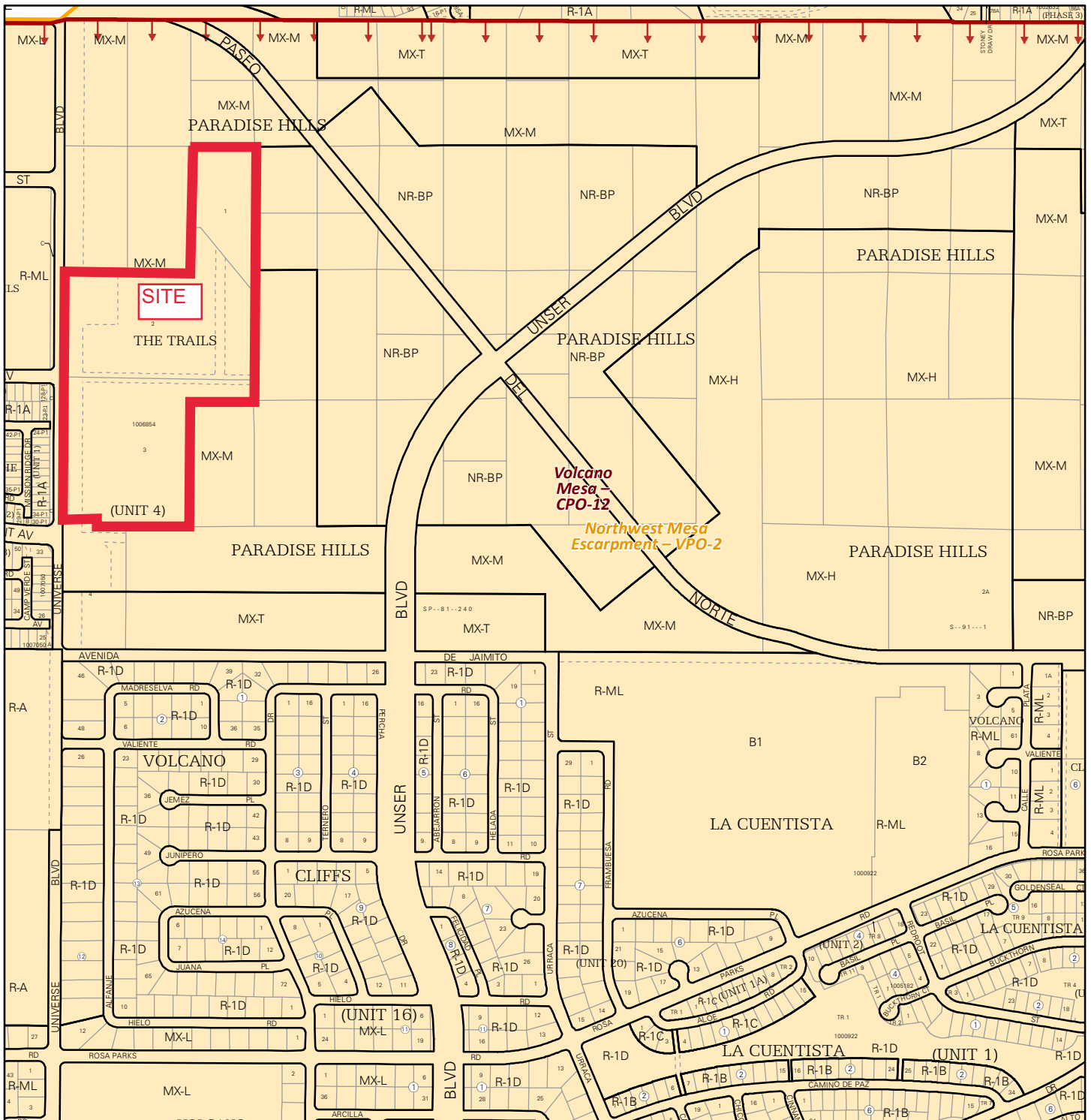
- Interpreter Needed for Hearing? ____ if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature:	Date: 04-29-2020
Printed Name: Jeremy Shell	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

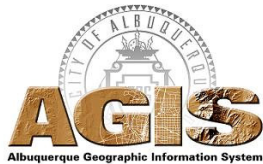
FOR OFFICIAL USE ONLY

Case Numbers:	Project Number:	
Staff Signature:		
Date:		

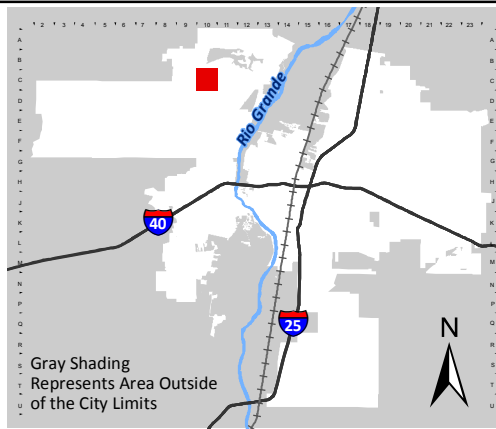


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

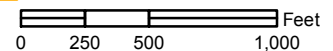


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





AGENT LETTER

Owner: Sonata Trails, LLC
John Murtagh, Managing Member

Agent: RESPEC, Inc
Jeremy Shell
5971 Jefferson St NE, Suite 101
Albuquerque NM, 87109
505.253.9811
jeremy.shell@respec.com

Property Description: Tracts 1, 2, & 3, The Trails Unit 4

I, John Murtagh, Manager of Sonata Trails, LLC, owner of the above referenced land, hereby authorize RESPEC as agent of the property.

John Murtagh
Sonata Trails, LLC

4/27/20
Date

5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.269.2661

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Sonata Trails, LLC DATE OF REQUEST: 04/28/2020 ZONE ATLAS PAGE(S): C-10-Z

CURRENT:

ZONING MX-M
PARCEL SIZE (AC/SQ. FT.) 29.9 AC

LEGAL DESCRIPTION:

LOT OR TRACT # 1,2 and 3 Unit 4 BLOCK # _____
SUBDIVISION NAME The Trails Unit 4

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [✓] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [✓]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 241
BUILDING SIZE: 10,000-15,000(sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Jeremy Shell  DATE 04/28/2020

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] **MITIGATING REASONS FOR NOT REQUIRING TIS:** PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

TRAFFIC ENGINEER

DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE



April 28, 2020

Jolene Wolfley, DRB Chair
Development Review Board
City of Albuquerque, Planning

**RE: Sonata Unit 4 Trails Apartments
Tracts 1, 2, and 3, The Trails Unit 4**

RESPEC, agent for Sonata Trails, LLC, owner of the above reference property, is requesting approval from the Development Review Board on the Site Development Plan submitted for your consideration.

The subject property is located at the northeast corner of Universe Boulevard and Tree Line Avenue within the City of Albuquerque. The existing Tracts total 29.9 acres. The proposed development consists of 4.4 acres of dedicated right-of-way and 25.5 acres remaining private Tracts. The properties are currently zoned MX-M for Mixed Use – Moderate Intensity and located within the Volcano Heights Urban Center. The proposed development is a multi-family apartment complex, which is a permissive primary use by this zoning.

To the best of our knowledge the site plan complies with all the applicable provisions of the City of Albuquerque's Integrated Development Ordinance and Development Process Manual. No deviations are requested at this time. We appreciate your consideration in this matter.

Sincerely,

Jeremy Shell
RESPEC, Engineer
Community Design Solutions
505.253.9811
jeremy.shell@respec.com

5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.268.2661

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-086 Date: 04/15/20 Time: N/A (sent via email)

Address: 99999 Avenida De Jaimito

AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Linda Rumpf (lrumpf@cabq.gov)

Code Enforcement: Charles Maestas (cdmaestas@cabq.gov)

Fire Marshall:

Transportation: Nilo Salgado (salgado-fernandez@cabq.gov)

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST: Apartment complex development

SITE INFORMATION:

Zone: MX-M

Size: 17.4 acres

Use: Vacant

Overlay zone: CPO-12, VPO-2

Comp Plan Area of: Change

Comp Plan Corridor: x

Comp Plan Center: Volcano Heights Urban Center

MPOS or Sensitive Lands: x

Parking: 5-5, page 225

MR Area: x

Landscaping: 5-6, page 251

Street Trees: 5-6(D)(1), page 258

Use Specific Standards: Allowable Uses, Table 4-2-1, p. 130

Dimensional Standards: Table 5-1-2, p. 194

*Neighborhood Organization/s: Westside Coalition

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 6-6(I) Subdivision of Land-Minor, pg. 399 / 6-6(G) Site Plan-DRB, pg. 395

Review and Approval Body: DRB / DRB

Is this a PRT requirement? No/Yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-086 Date: 04/15/20 Time: N/A (sent via email)

Address: 99999 Avenida De Jaimito

NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

PRT Zoning Comments

- 99999 Avenida De Jaimito, Lots 1 & 2, Block 0000, zoned MX-M, CPO-12, VPO-2, Volcano Heights Urban Center
 - Case history
 - 1006854
 - 1009414
 - Re-plat needed to combine lots into one lot for development
 - **Process: 6-6(I) Subdivision of Land-Minor, pg. 399**
 - Proposed 241 unit apartment complex
 - **Process: 6-6(G) Site Plan-DRB, pg. 395**
 - Use Table
 - Apartments – Dwelling, multi-family, pg. 130
 - In MX-M zone this use is Permissive
 - Definition, pg. 459
 - Use Specific Standards 4-3(B)(7), pg. 139
 - 4-3(B)(7)(d), pg. 139 This use shall require a Conditional Use Approval pursuant to Subsection 14-16-6-6(A) if located on the ground floor of any building in the Downtown or Volcano Heights Urban Center areas.
 - Development Standards (review these sections of the IDO)
 - Setbacks in MX zone district, and located in UC-MS-PT
 - Front, minimum: 0 ft (50% of front property line width must be occupied by the primary building constructed within 15 ft of the property line. On a corner lot, the required 50% must begin at the corner.)
 - Front, maximum: 15 ft
 - Side, minimum: 0 ft
 - Side, maximum: Interior: n/a; Street side of corner lots: 15 ft
 - Rear: 15 ft
 - Height:
 - MX-M: 65 ft
 - For all development in VPO-2 see 3-6(E) Northwest Mesa Escarpment – VPO-2, pg. 124
 - 3-6(E)(4) Colors, pg. 125
 - 3-6(E)(5) Reflectivity, pg. 125
 - 3-6(E)(6) Roof-mounted Equipment, pg. 125

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-086 Date: 04/15/20 Time: N/A (sent via email)

Address: 99999 Avenida De Jaimito

- 5-3(D)(3) On-site Pedestrian Connections, pg. 210
- 5-5 Parking and Loading, pg. 225
- 5-6 Landscape, Buffering and Screening, pg. 251
- 5-9(C) Neighborhood Edges – Building Height Stepdown, pg. 286
 - This lot is a Regulated Lot due to proximity to the R-1A Protected Lot to the SW of the subject property.
 - 5-9(C)(2) **Urban Centers** and Main Street and Premium Transit Areas, pg. 286 – On Regulated Lots in UC-MS-PT areas, any portion of a primary or accessory building within 50 feet of any lot line adjacent to a Protected Lot shall step down to a maximum height of 30 feet.
- 5-11(D) Multi-family Residential Development, pg. 291
- 5-11(E)(2) Façade Design in Mixed Use Zone Districts, pg. 292
- Signs are permitted separately, development standard are located in:
- 5-12 Signs, pg. 296

Transportation Development comments

For additional information contact Nilo Salgado (924-3630) or Jeanne Wolfenbarger (924-3991)

Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

ROADWAY ACCESS CONTROL POLICY (MRCOG)

- Access restriction on Paseo del Norte (please review and determine how the proposed project for access is being impacted).
- UNSER has access restriction (See Volcano Heights Sector Plan).

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-086 Date: 04/15/20 Time: N/A (sent via email)

Address: 99999 Avenida De Jaimito

- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement).
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies and Traffic Signals

- See the Traffic Impact Study (TIS) thresholds. In general, a minimum of 100 vehicles entering or exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
- Please investigate the existing Traffic Signal infrastructure and determine if there is any type of fee's attached to this parcel (Infrastructure List).

Platting and Public Infrastructure Requirements for Roadways

- When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
- All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
- Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
- There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
- Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-086 Date: 04/15/20 Time: N/A (sent via email)

Address: 99999 Avenida De Jaimito

- Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway).
- For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
- Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
- Any private structures that are proposed and located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment (**if applicable**).

If you would have additional questions or would like to schedule a follow-up phone call, please contact Linda Rumpf at lrumpf@cabq.gov

From: [Carmona, Dalaina L.](#)
To: [Jeremy Shell](#)
Subject: NEC of Universe Blvd and Tree Line Ave Public Notice Inquiry
Date: Thursday, April 9, 2020 4:15:41 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[C-10-Z.PDF](#)

CAUTION: This email originated from outside of the organization. Exercise caution when viewing attachments, clicking links, or responding to requests.

Dear Applicant,

See list of associations below regarding your Public Notice Inquiry. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	hlhen@comcast.net	10592 Rio Del Sol NW	Albuquerque	NM	87114	5058903481
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5058982114

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Thursday, April 09, 2020 8:30 AM

To: Office of Neighborhood Coordination <jeremy.shell@respec.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

N/A

Contact Name

Jeremy Shell

Telephone Number

505.918.1053

Email Address

jeremy.shell@respec.com

Company Name

RESPEC

Company Address

5971 Jefferson, Suite 101

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

Tracts 1, 2, and 3, The Trails Unit 4

Physical address of subject site:

N/A

Subject site cross streets:

NEC of UNiverse Blvd and Tree Line Ave

Other subject site identifiers:

In addition to the list of associations, I will also need a buffer map. I do not know if this is requested separately or not...

This site is located on the following zone atlas page:

C-10-Z. See attached.

=====
This message has been analyzed by Deep Discovery Email Inspector.

From: [Jeremy Shell](#)
To: "aboard10@juno.com"; "hlhen@comcast.net"
Subject: Sonata DRB Site Plan
Date: Tuesday, April 21, 2020 11:07:00 AM
Attachments: [C-10-Z.pdf](#)

Dear Mr. Hendriksen and Mrs. Horvath,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are notifying you as a Neighborhood Association Representative that Sonata Trails, LLC will be submitting an application for a Site Plan to be reviewed and decided by the city staff. The application is for the site development for a new apartment complex.

1. *Property Owner:* Sonata Trails, LLC
2. *Agent:* RESPEC
3. *Subject Property Address:* See attached Zoning Exhibit

The anticipated public DRC meeting for this request is tentatively scheduled to be on May 27th, 2020 at 9:00 AM in the Hearing Room (Basement Level) of Plaza Del Sol, 600 2nd St NW, Albuquerque, NM 87102. You can check the agenda for the relevant decision-making body online here: <https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

Per the IDO, you have 15 days from 04/21/2020 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on 05/01/2020.

Disclaimer: At this time, most City events, offices, programs and services are being impacted due to COVID-19 (coronavirus). The DRB remote public meetings are using Zoom software until it is determined that public gatherings are safe. You can find more information online here:

<https://www.cabq.gov/planning/boards-commissions/development-review-board>

Affected Neighborhood associations and Homeowners Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at striplett@cabq.gov, by phone at (505) 768-4712 or (505) 768-4660. A facilitated meeting request must be received by ADR by: 05/06/2020.

Please contact me with any questions or concerns at (505) 253-9811 or via Jeremy.Shell@respec.com

Useful Links

Integrated Development Ordinance (IDO):

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

City of Albuquerque Planning Department

<https://www.cabq.gov/planning>

Zone Atlas Pages for Download

<http://data.cabq.gov/business/zoneatlas/>

Sincerely,

JEREMY SHELL

Engineer

Community Design Solutions

RESPEC

5971 Jefferson NE, Suite 101

Albuquerque, NM 87109

505.253.9811 office // 505.918.1053 cell

respec.com

From: [Microsoft Outlook](#)
To: aboard10@juno.com; hlhen@comcast.net
Subject: Relayed: Sonata DRB Site Plan
Date: Tuesday, April 21, 2020 11:07:19 AM
Attachments: [Sonata DRB Site Plan.msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
aboard10@juno.com (aboard10@juno.com) <<mailto:aboard10@juno.com>>
hlhen@comcast.net (hlhen@comcast.net) <<mailto:hlhen@comcast.net>>
Subject: Sonata DRB Site Plan

Public Notice

Dear Mr. Hendriksen and Mrs. Rene,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are notifying you as a Neighborhood Association Representative that Rainbow Paseo, LLC will be submitting an application for a Site Plan to be reviewed and decided by the city staff. The application is for the site development for a new apartment complex.

1. *Property Owner:* Sonata Trails, LLC
2. *Agent:* RESPEC
3. *Subject Property Address:* See attached Zoning Exhibit

The anticipated public DRC meeting for this request is tentatively scheduled to be on May 27th, 2020 at 9:00 AM in the Hearing Room (Basement Level) of Plaza Del Sol, 600 2nd St NW, Albuquerque, NM 87102. You can check the agenda for the relevant decision-making body online here:

<https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

Per the IDO, you have 15 days from 04/20/2020 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on 05/01/2020.

Disclaimer: At this time, most City events, offices, programs and services are being impacted due to COVID-19 (corona virus). The DRB remote public meetings are using Zoom software until it is determined that public gatherings are safe. You can find more information online here:

<https://www.cabq.gov/planning/boards-commissions/development-review-board>

Affected Neighborhood associations and Homeowners Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at striplett@cabq.gov, by phone at (505) 768-4712 or (505) 768-4660. A facilitated meeting request must be received by ADR by: 04/28/2020.

Please contact me with any questions or concerns at (505) 253-9811 or via Jeremy.Shell@respec.com

Useful Links

Integrated Development Ordinance (IDO):

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

City of Albuquerque Planning Department

<https://www.cabq.gov/planning>

Zone Atlas Pages for Download

<http://data.cabq.gov/business/zoneatlas/>

Sincerely,

Jeremy Shell

BINDRA RUPINDER S & GURPREET K &
MONTROYA ERNEST P TRUSTEE
MONTROYA RVT
606 S OLIVE ST SUITE 1950
LOS ANGELES CA 90014-1623

TRAILS UNIVERSE 1 LLC
2219 CHATSWORTH CT
HENDERSON NV 89074-5310

WEST SEVENTY LLC
PO BOX 7457
ALBUQUERQUE NM 87194-7457

RANSOM RICHARD E TRUSTEES
RICHARD & CECILIA RANSOM RVT
PO BOX 7457
ALBUQUERQUE NM 87194-7457

RANSOM RICHARD E TRUSTEES
RICHARD & CECILIA RANSOM RVT
PO BOX 7457
ALBUQUERQUE NM 87194-7457

RANSOM RICHARD E TRUSTEES
RICHARD & CECILIA RANSOM RVT
PO BOX 7457
ALBUQUERQUE NM 87194-7457

TRAILS UNIVERSE 1 LLC
2219 CHATSWORTH CT
HENDERSON NV 89074-5310

MARQUEZ LUCIA B C/O HORNEF
BARBARA A & PATRICK F
6700 TREELINE AVE NW
ALBUQUERQUE NM 87114-6194

RANSOM RICHARD E TRUSTEES
RICHARD & CECILIA RANSOM RVT
PO BOX 7457
ALBUQUERQUE NM 87194-7457

BINDRA RUPINDER S & GURPREET K &
MONTROYA ERNEST P TRUSTEE
MONTROYA RVT
606 S OLIVE ST SUITE 1950
LOS ANGELES CA 90014-1623

CROWLEY PAUL J ETUX
15 OLD WESTON RD
WAYLAND MA 01778-2123

CISNEROS NICHOLAS I
6701 KAYSER MILL RD NW
ALBUQUERQUE NM 87114-6354

ARCHULETA MIKE G & LUZ M
6704 TREELINE AVE NW
ALBUQUERQUE NM 87114

TRAILS UNIVERSE 1 LLC
2219 CHATSWORTH CT
HENDERSON NV 89074-5310

CANTATA AT THE TRAILS LLC
8900 E BAHIA DR SUITE 105
SCOTTSDALE AZ 85260-3300

ARCHDIOCESE OF SANTA FE
4000 ST JOSEPHS PL NW
ALBUQUERQUE NM 87120-1714

CANTATA AT THE TRAILS LLC
15169 N SCOTTSDALE RD SUITE 340
SCOTTSDALE AZ 85254

RCS-TAOS LLC
371 CENTENNIAL PKWY SUITE 200
LOUISVILLE CO 80027

Public Notice

Dear Property Owners,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(k)(2) Mailed Public Notice**, we are notifying you as an adjacent property owner that Sonata Trails, LLC will be submitting an application for a Site Plan to be reviewed and decided by the city staff. The application is for the site development for a new apartment complex.

1. Property owner: Sonata Trails, LLC
2. Agent: RESPEC
3. Subject Property Address: NEC of Universe Blvd and Tree Line Ave

The anticipated public DRC meeting for this request is tentatively scheduled to be on May 27th, 2020 at 9:00 AM in the Hearing Room (Basement Level) of Plaza Del Sol, 600 2nd St NW, Albuquerque, NM 87102. You can check the agenda for the relevant decision-making body online here:

<https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

Disclaimer: At this time, most City events, offices, programs and services are being impacted due to COVID-19 (corona virus). The DRB remote public meetings are using Zoom software until it is determined that public gatherings are safe. You can find more information online here:

<https://www.cabq.gov/planning/boards-commissions/development-review-board>

Please contact me with any questions or concerns at (505) 253-9811 or via Jeremy.Shell@respec.com

Useful Links

Integrated Development Ordinance (IDO):

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

City of Albuquerque Planning Department

<https://www.cabq.gov/planning>

Zone Atlas Pages for Download

<http://data.cabq.gov/business/zoneatlas/>

Sincerely,

Jeremy Shell

7020 0090 0001 1560 5301

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

LOS ANGELES, CA 90014

OFFICIAL USE

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5318

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87120

OFFICIAL USE

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5271

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

HENDERSON, NV 89074

OFFICIAL USE

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5325

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87114

OFFICIAL USE

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.55

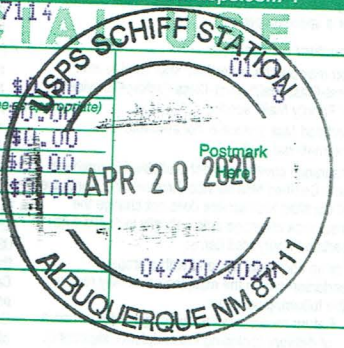
Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5295

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87194

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5288

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87194

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.55

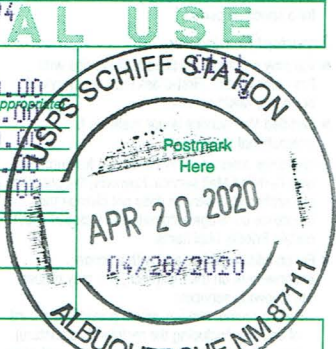
Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5257

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

WYLAND, MA 01778

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5264

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87114

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5233

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87114

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.55

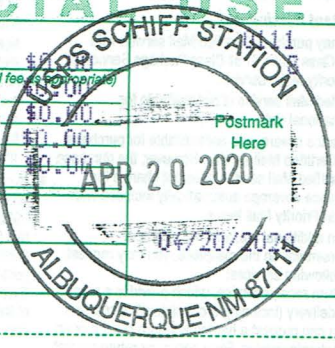
Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5240

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87114

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$4.10

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7020 0090 0001 1560 5219

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE NM 87120

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10



Sent To _____
 Street and Apt. No., or PO Box No. _____
 City, State, ZIP+4® _____
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

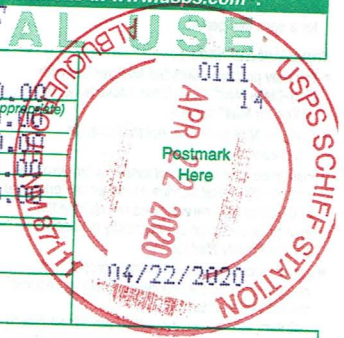
7020 0090 0001 1560 6575

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

LOUISVILLE CO 80017

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10



Sent To _____
 Street and Apt. No., or PO Box No. _____
 City, State, ZIP+4® _____
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

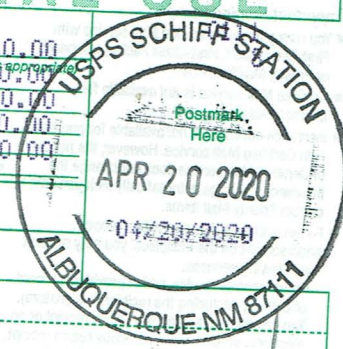
7020 0090 0001 1560 5202

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

SCOTTSDALE AZ 85254

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10



Sent To _____
 Street and Apt. No., or PO Box No. _____
 City, State, ZIP+4® _____
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0001 1560 5226

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

SCOTTSDALE AZ 85260

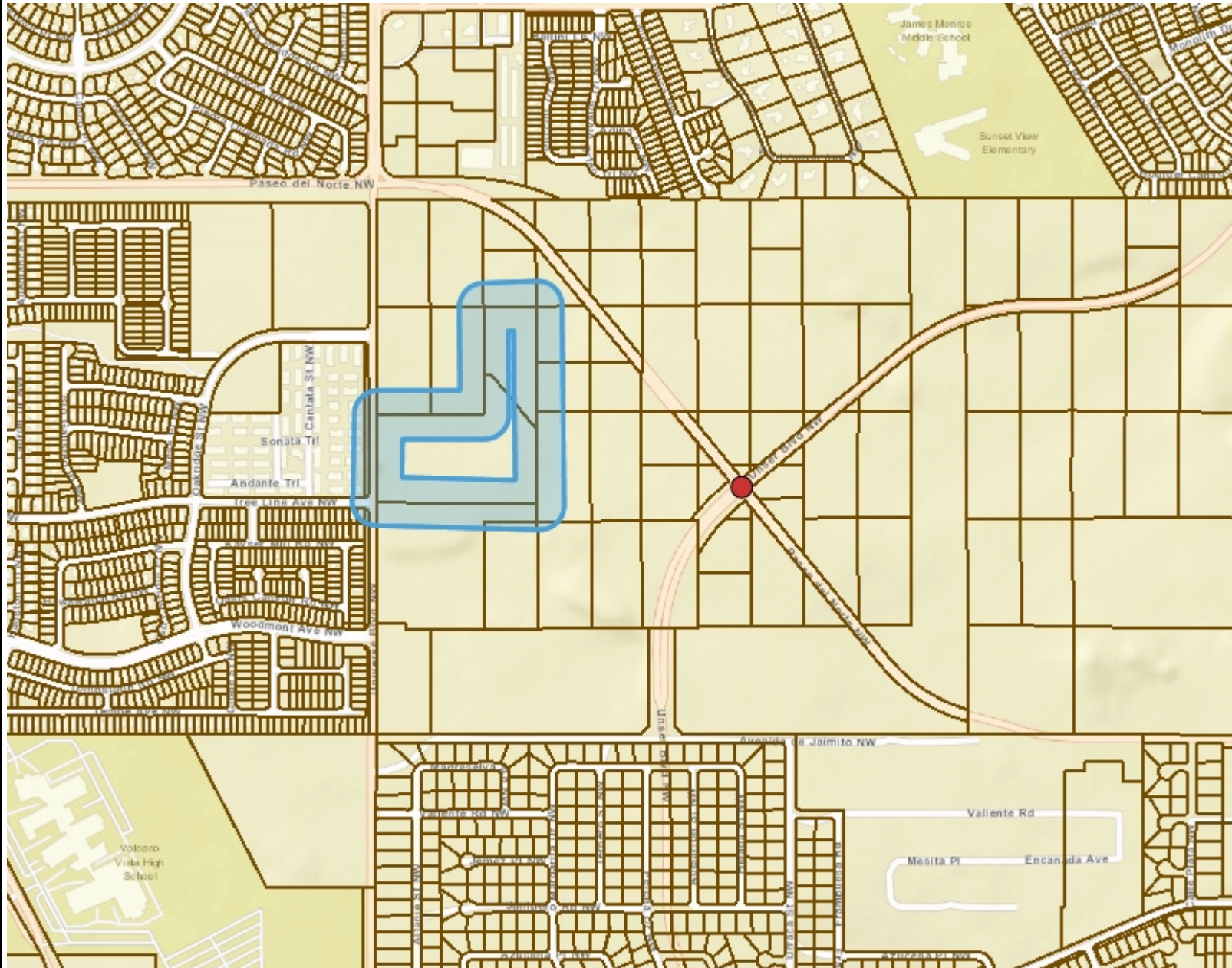
Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10



Sent To _____
 Street and Apt. No., or PO Box No. _____
 City, State, ZIP+4® _____
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



University & Tree Line NW



Legend

□ Bernalillo County Parcels

Notes

Buffer Map: 150 Ft.
ROW University: 50 Ft.

1,816 0 908 1,816 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
4/13/2020 © City of Albuquerque

1: 10,896


The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 04-28-2020

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Legend
- ✓ 6. Scaled vicinity map
- ✓ 7. Property lines (clearly identify)
- ✓ 8. Existing and proposed easements (identify each)
- ✓ 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ✓ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓ B. Square footage of each structure
- ✓ C. Proposed use of each structure
- ✓ D. Signs (freestanding) and other improvements
- ✓ E. Walls, fences, and screening: indicate height, length, color and materials
- ✓ F. Dimensions of all principal site elements or typical dimensions
- ✓ G. Loading facilities
- ✓ H. Site lighting (indicate height & fixture type)
- ✓ I. Indicate structures within 20 feet of site
- ✓ J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ✓ A. Parking layout with spaces numbered per aisle and totaled.
 - ✓ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ✓ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ✓ 3. On street parking spaces
- ✓ B. Bicycle parking & facilities
 - ✓ 1. Bicycle racks – location and detail
 - ✓ 2. Other bicycle facilities, if applicable
- ✓ C. Vehicular Circulation (Refer to DPM and IDO)
 - ✓ 1. Ingress and egress locations, including width and curve radii dimensions
 - ✓ 2. Drive aisle locations, including width and curve radii dimensions
 - ✓ 3. End aisle locations, including width and curve radii dimensions
 - ✓ 4. Location & orientation of refuse enclosure, with dimensions
 - ✓ 5. Loading, service area, and refuse service locations and dimensions
- ✓ D. Pedestrian Circulation
 - ✓ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3_DIV\GIS\Site Plan\Site Plan.dwg PLOT DATE: Apr 29, 2020 12:44pm

SITE INFORMATION

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS
 MUNICIPALITY: CITY OF ALBUQUERQUE
 LEGAL DESCRIPTION: TRACTS 1, 2, & 3, THE TRAILS UNIT 4
 DEVELOPMENT AREA: 14.3 ACRES
 ZONING: MX-M
 LAND USE: MULTI-FAMILY APARTMENTS
 ADJACENT ZONING: R-ML, MX-M, NR-BP
 OVERLAYS: CPO-12, VPO-2, VOLCANO HEIGHTS URBAN CENTER

DEVELOPMENT AREA:
 EXISTING TRACT 1: 4.3 ACRES
 EXISTING TRACT 2: 13.2 ACRES
 EXISTING TRACT 3: 12.4 ACRES
 EXISTING TOTAL: 29.9 ACRES
 PROPOSED NEW TRACTS TOTAL: 25.5 ACRES
 DEDICATED RIGHT-OF-WAY: 4.4 ACRES

SETBACKS:
 FRONT YARD: 0 FT / 15 FT.
 SIDE YARD: 0 FT / STREET SIDE 15 FT.
 REAR YARD: 15 FT.

HEIGHT LIMIT: 65 FT.

PARKING (1 SPACE / DU)

REQUIRED	PROVIDED
VISITOR	115 SPACES
GARAGE	482 SPACES
OFF-STREET CONVENTIONAL	241 SPACES
FUTURE STREET CONVENTIONAL	50 SPACES
MOTORCYCLE	5 SPACES
BICYCLE	24 SPACES
ADA ACCESSIBLE	12 SPACES

LANDSCAPE

REQUIRED	PROVIDED
10% NET LOT AREA	25% NET LOT AREA

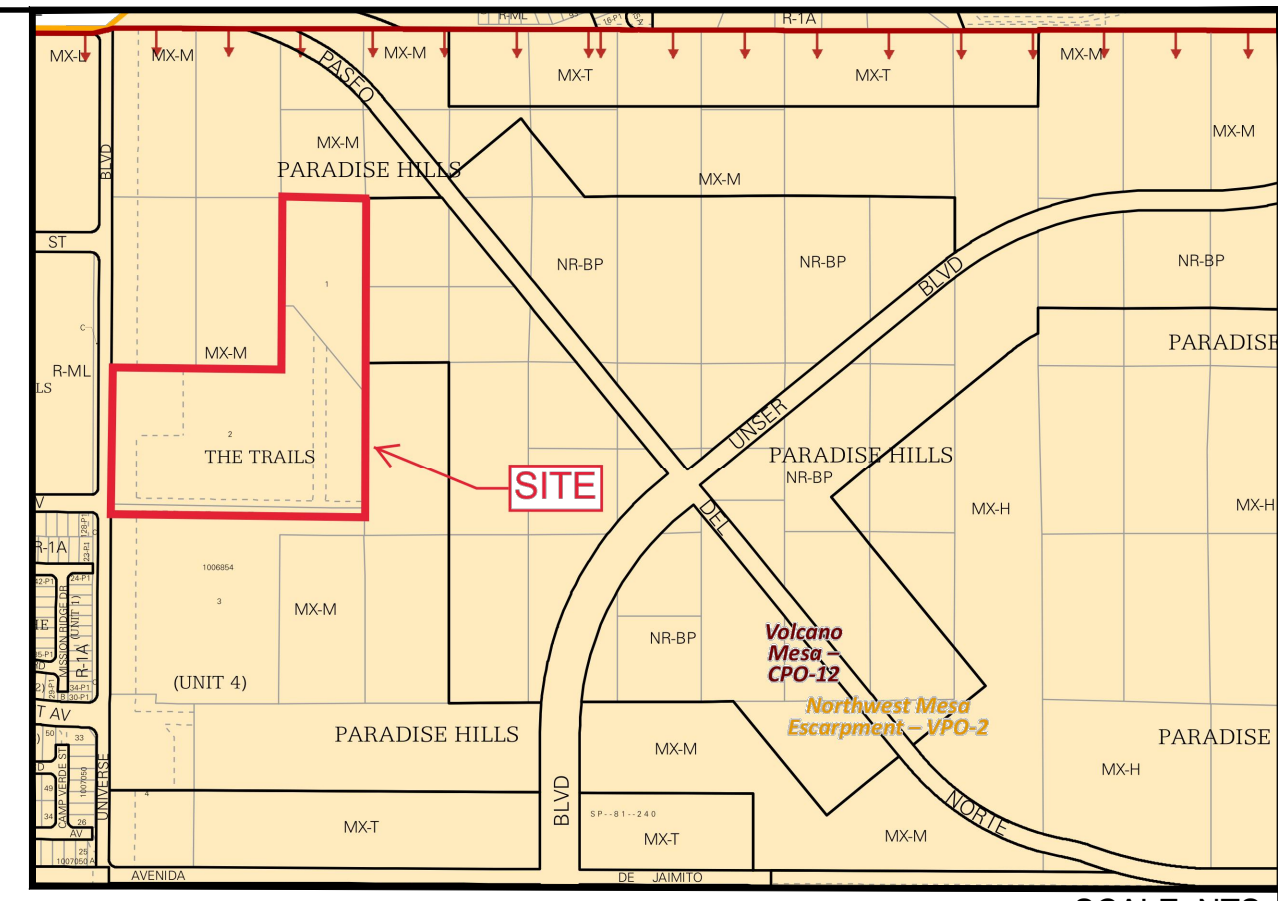
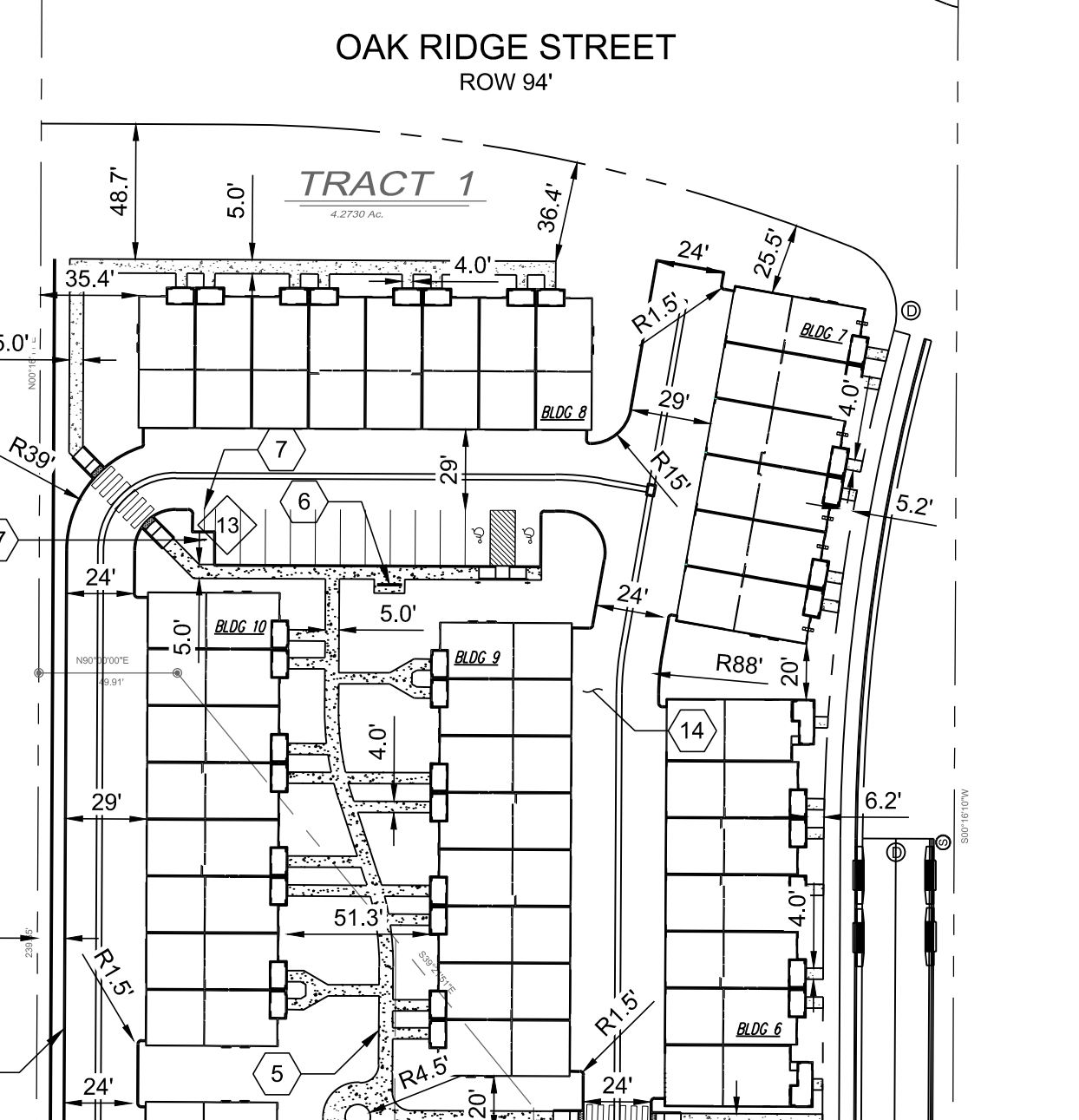
OPEN SPACE

REQUIRED	PROVIDED
150 SQ. FT. / >3BR UNIT	10,950 SQ. FT.
125 SQ. FT. / 2BR UNIT	21,000 SQ. FT.
TOTAL	31,950 SQ. FT.
	45,000 SQ. FT.

TOTAL UNITS:
 4 BR: 241 UNITS
 3 BR: 6 UNITS
 2 BR: 67 UNITS
 168 UNITS

KEYED NOTES

I.D.#	DESCRIPTION	I.D.#	DESCRIPTION
1	9'X20' PARKING SPACE TYP.	17	FREE STANDING "MOTORCYCLE PARKING" SIGN.
2	9'X20' ADA PARKING SPACE TYP.	18	20'X50' POOL.
3	CROSS-WALK STRIPING TYP. SEE DETAIL 1 SHEET C-500.	19	FIREPLACE & SEATING AREA.
4	REFUSE ENCLOSURE WITH COMPACTOR.	20	8' JACUZZI.
5	CONCRETE SIDEWALK TYP.	21	TOT LOT AREA.
6	BICYCLE PARKING. SEE DETAIL 2 SHEET C-500.	22	BBQ GRILLS.
7	MOTORCYCLE PARKING.	23	TRELLIS RAMADA.
8	CONCRETE HEADER CURB TYP. SEE DETAIL 3 SHEET C-500.	24	DOG PARK.
9	CONCRETE ROLL CURB. SEE DETAIL 4 SHEET C-500.	25	4' CRUSHER FINE TRAIL.
10	ADA PARKING SIGN. SEE DETAIL 5 SHEET C-500.	26	BENCH TYP.
11	ADA RAMP TYPE A TYP. SEE DETAIL 6 SHEET C-500.	27	4' TUBULAR STEEL FENCE WITH GABION BASKET COLUMNS.
12	ADA RAMP TYPE B TYP. SEE DETAIL 7 SHEET C-500.	28	MONUMENT SIGN.
13	CLEAR SIGHT TRIANGLE.	29	MEDIAN CONCRETE. SEE DETAIL 11 SHEET C-500.
14	ASPHALT PAVEMENT TYP. SEE DETAIL 8 SHEET C-500.	30	6' CMU SPLIT FACE WALL WITH WHITE CAP C-500.
15	ALLEY GUTTER. SEE DETAIL 9 SHEET C-500.	31	VALLEY GUTTER AND ENTRANCE TO BE BUILT WITH THE WORK ORDER PLANS.
16	*NO PARKING* PAINT MARKING TYP. SEE DETAIL 10 SHEET C-500.	32	EXISTING PNM POLES.



LOCATION MAP
 ZONE ATLAS MAP C-10-Z
 SCALE: NTS

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Department	Date
Traffic Engineering, Transportation Division	
DRB ABCWUA ENGINEER	
Parks and Recreation Department	
City Engineer	
Environmental Health Department	
Solid Waste Management	
DRB Chairperson, Planning Department	

* Environmental Health, if necessary

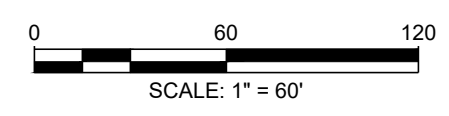
- GENERAL NOTES:**
- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A WORK ORDER.
 - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING.
 - SIDEWALKS TO EACH UNIT ARE 4' IN WIDTH. ALL OTHER SIDEWALKS PROVIDING CONNECTIVITY THROUGHOUT THE SITE ARE 5'. THE ONLY EXCEPTION IS A 6' SIDEWALK CONNECTION FROM THE TREE LINE RIGHT-OF-WAY TO THE CLUBHOUSE AS SHOWN.

LEGEND:

---	PROPERTY BOUNDARY
X	NUMBER OF PARKING SPACES
♿	ADA PARKING SYMBOL
▨	CONCRETE SIDEWALK
▩	CRUSHER FINE TRAIL
▧	MEDIAN CONCRETE

EASEMENT NOTES

I.D.#	DESCRIPTION
1	EXISTING 100' PLAINS ELECTRIC EASEMENT TO REMAIN.
2	EXISTING TEMPORARY DRAINAGE EASEMENT TO BE VACATED.
3	EXISTING 50' PUBLIC ROADWAY, SEWER, AND WATER EASEMENT TO BE VACATED.



DESIGNED BY: RESPEC
 DRAWN BY: JS
 CHECKED BY: SG
 DATE: 4.30.2020

COMMUNITY DESIGN SOLUTIONS
 897 JEFFERSON STREET SUITE 101
 WWW.RESPEC.COM PHONE: 808.953.9718

STAMP

PRELIMINARY
 NOT FOR CONSTRUCTION
 4/2020

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

nm811
 Know what's Below. Call before you dig.

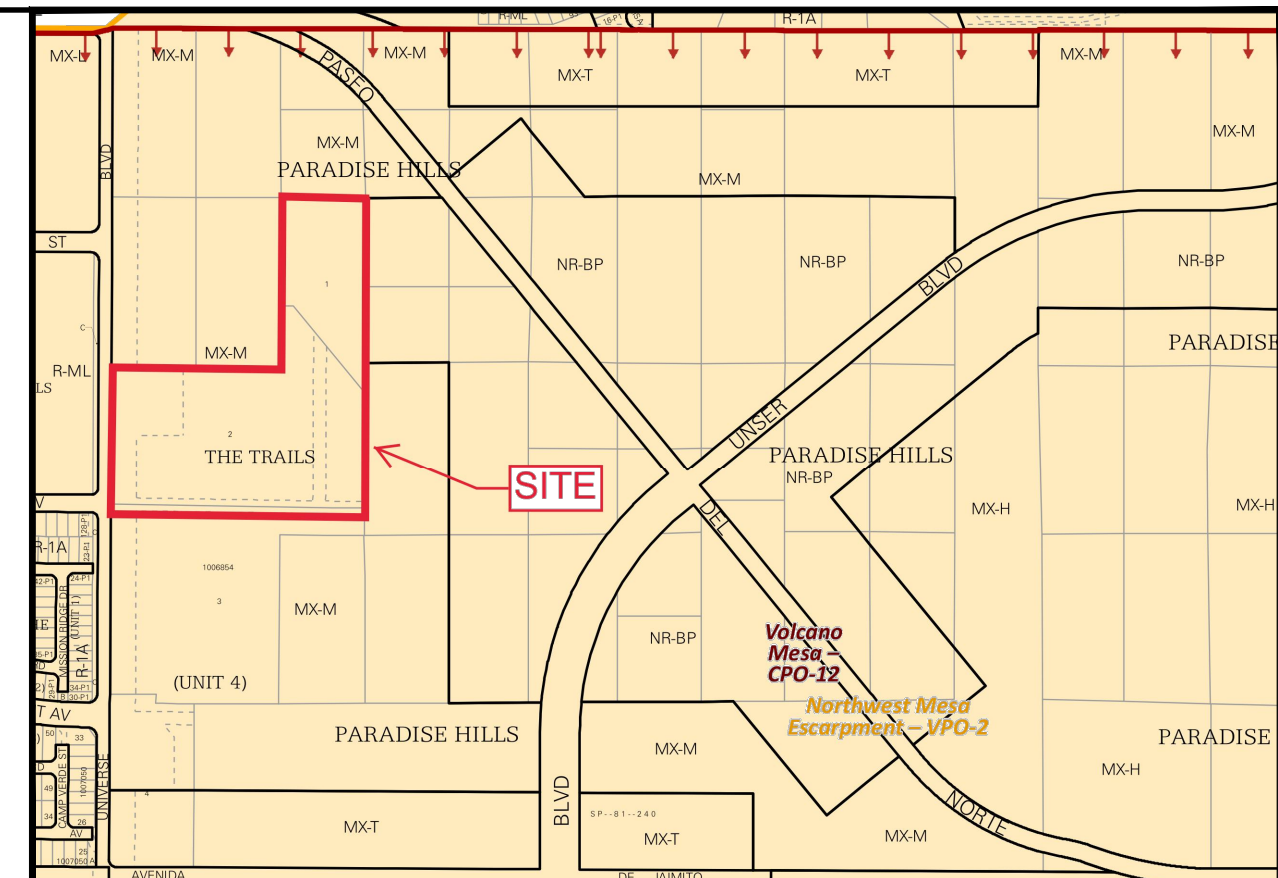
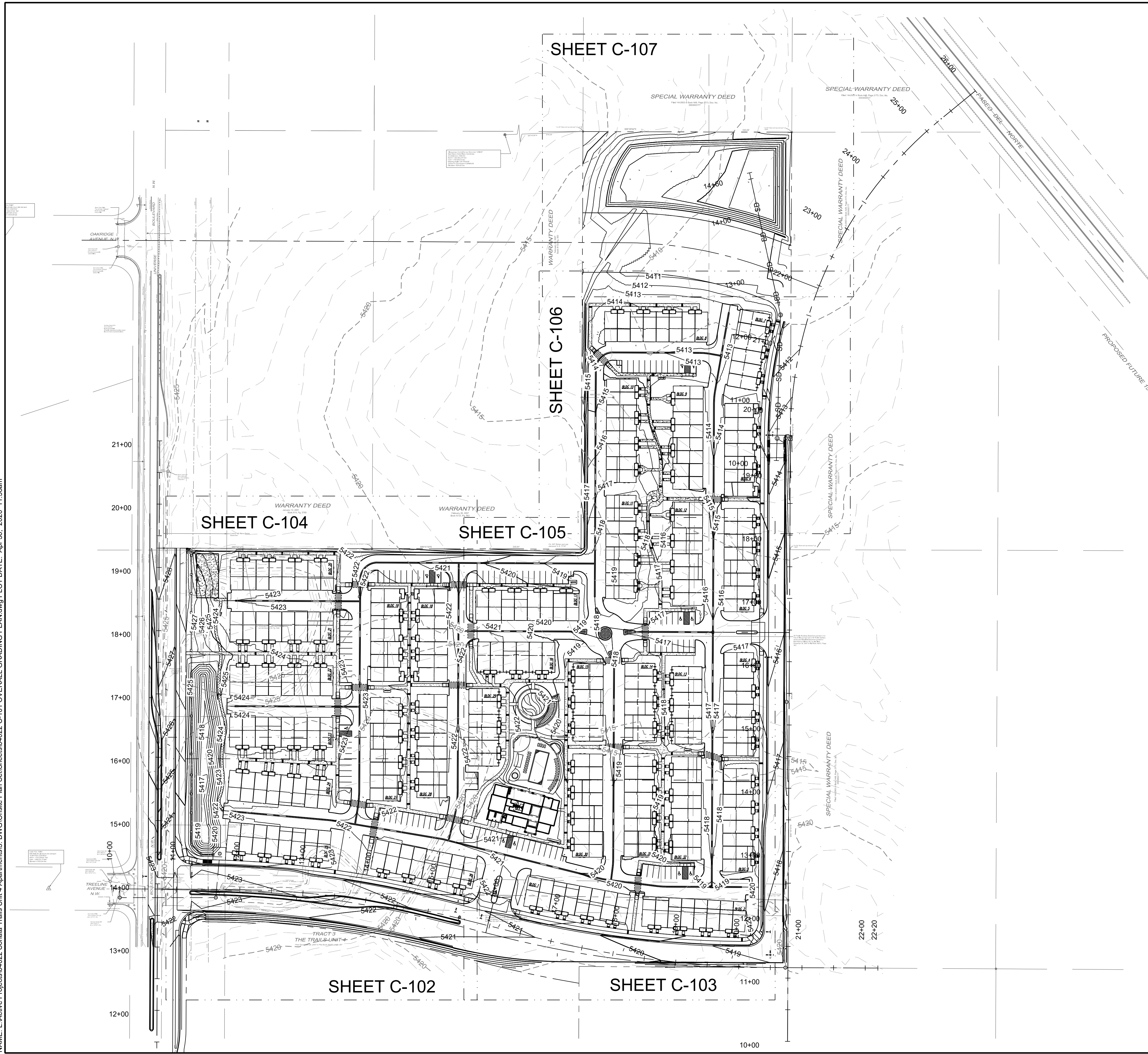
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: SITE PLAN

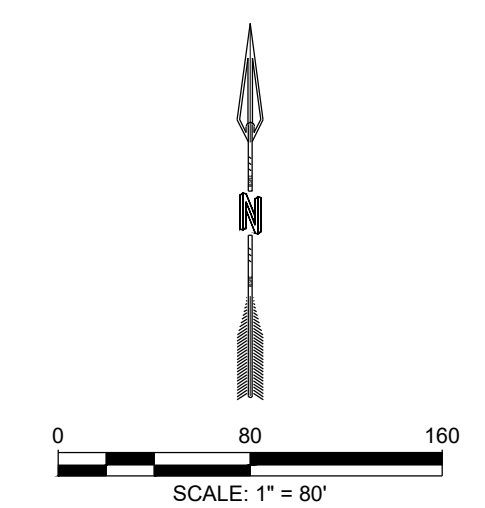
DRB SITE PLAN

SHEET NUMBER: C-100

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-101 OVERALL GRADING PLAN.dwg PLOT DATE: Apr 30, 2020 11:36am

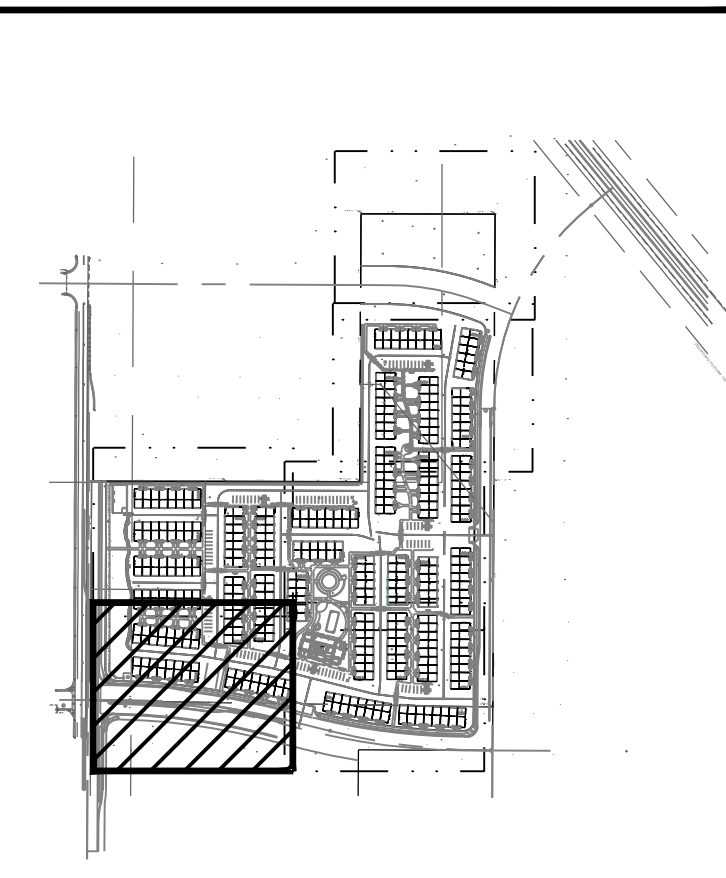
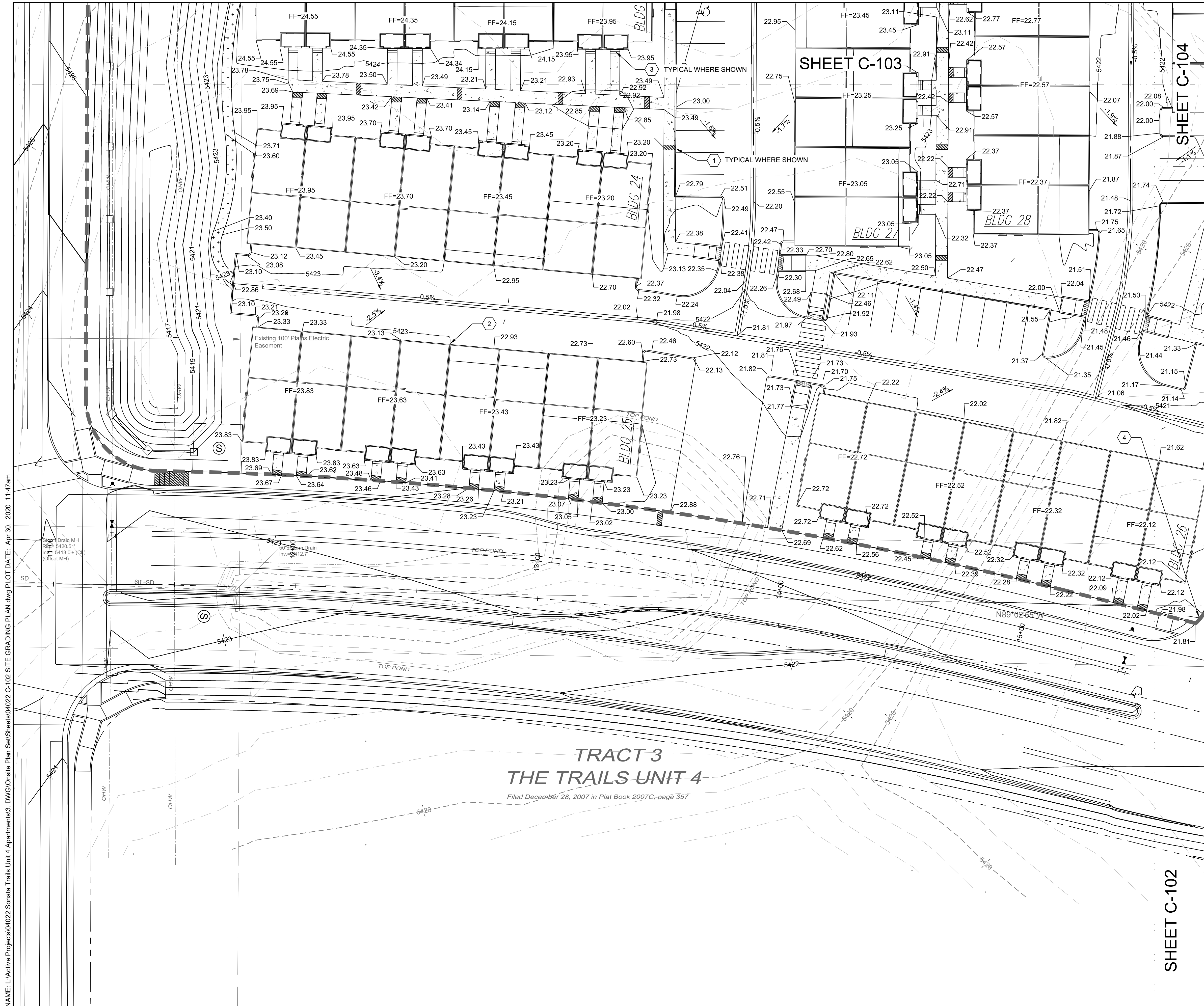


- GRADING NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
 - FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
 - STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
 - GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
 - GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
 - ALL DISTURBED AREAS TO BE RE-SEEDED OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- LEGEND**
- | | |
|------------------------|---------------|
| GRADING LIMITS | — |
| MAJOR CONTOUR | — 4985 — |
| MINOR CONTOUR | — 4985 — |
| EXISTING MAJOR CONTOUR | --- 4985 --- |
| EXISTING MINOR CONTOUR | --- 4985 --- |
| MATCHLINE | — · · — |
| SLOPE ARROW | — 1.5% — 5.2% |
| SIDEWALK CULVERT | ▨ |



© Copyright 2020 RESPEC - All Rights Reserved

DESIGNED BY RESPEC	DRAWN BY BE	CHECKED BY SG	DATE 4.30.2020
<p>RESPEC COMMUNITY DESIGN SOLUTIONS 897 JEFFERSON STREET SUITE 101 WWW.RESPEC.COM PHONE: 605.925.9718</p>			
<p>STAMP</p> <p>PRELIMINARY NOT FOR CONSTRUCTION 4/2020</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>			
<p>PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS</p>			
<p>SHEET TITLE: CONCEPTUAL OVERALL GRADING PLAN</p>			
<p>SUBMITTED FOR: DRB SITE PLAN</p>			
<p>SHEET NUMBER: C-101</p>			



GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDING OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

LEGEND

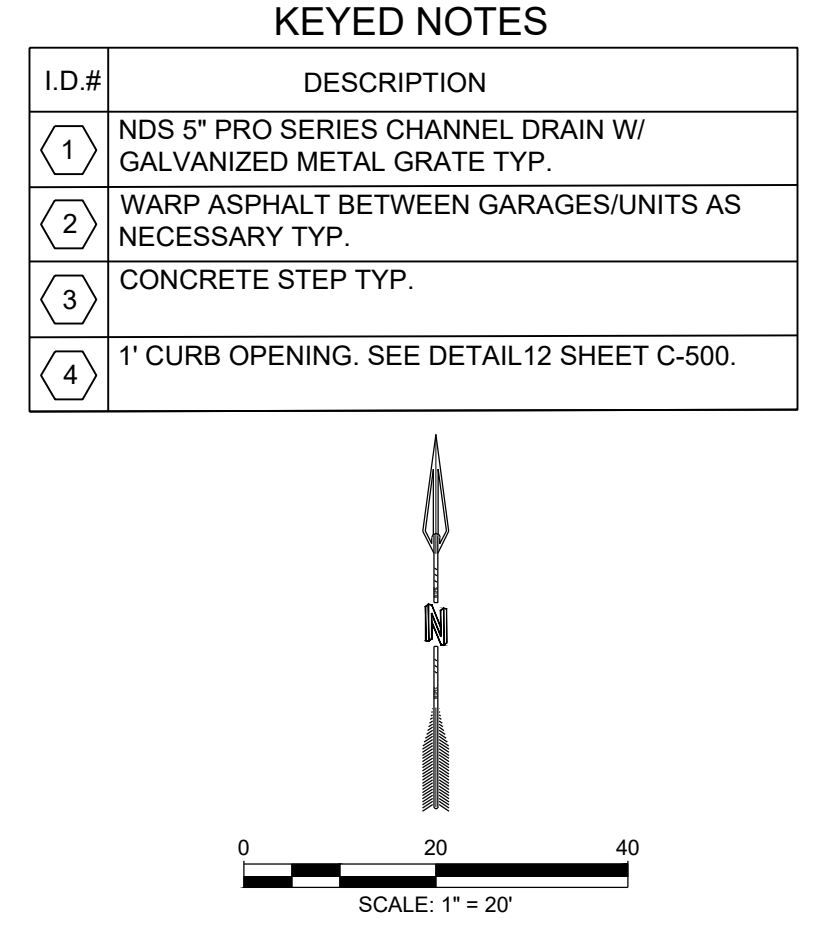
GRADING LIMITS	---
MAJOR CONTOUR	—4985—
MINOR CONTOUR	- - - - -
EXISTING MAJOR CONTOUR	- - - - -
EXISTING MINOR CONTOUR	- - - - -
MATCHLINE	—+—
SLOPE ARROW	↘
SIDEWALK CULVERT	▬

SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
- TW 20.00 TOP WALL
- SW 20.00 SIDEWALK
- FG 20.00 FINISHED GROUND

KEYED NOTES

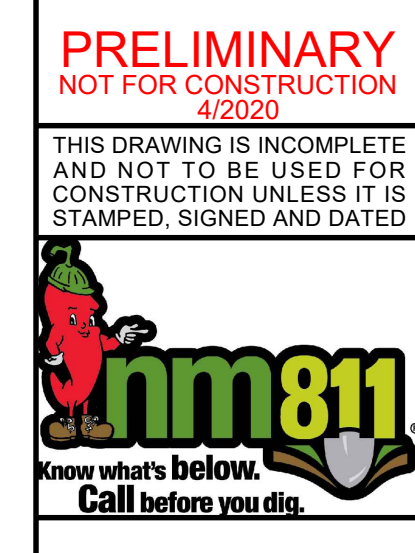
I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	CONCRETE STEP TYP.
4	1' CURB OPENING. SEE DETAIL 12 SHEET C-500.



DESIGNED BY	RESPEC
DRAWN BY	RESPEC
CHECKED BY	RESPEC
DATE	4.30.2020

PRELIMINARY
NOT FOR CONSTRUCTION
4/2020

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONCEPTUAL SITE GRADING PLAN

DRB SITE PLAN

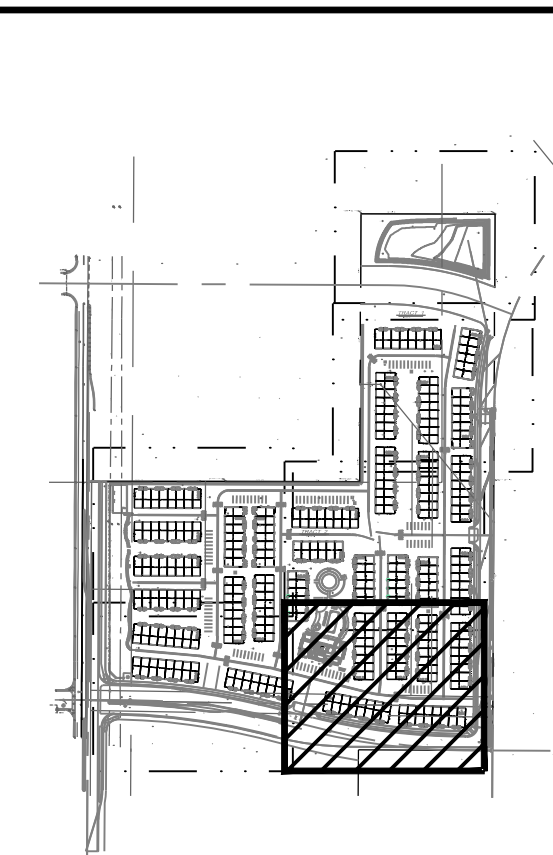
SHEET NUMBER: C-102

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-102 SITE GRADING PLAN.dwg PLOT DATE: Apr 30, 2020 11:47am



NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-103 SITE GRADING PLAN.dwg PLOT DATE: Apr 30, 2020 12:12pm

50' Public Roadway Easement granted to the City of Albuquerque and a 50' Public Sanitary sewer line Waterline Easement granted to New Mexico Utilities, Inc. as recorded December 26, 2007 in Plat Book 2007C, Page 357.



KEY MAP SCALE: NTS

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDDED OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

LEGEND

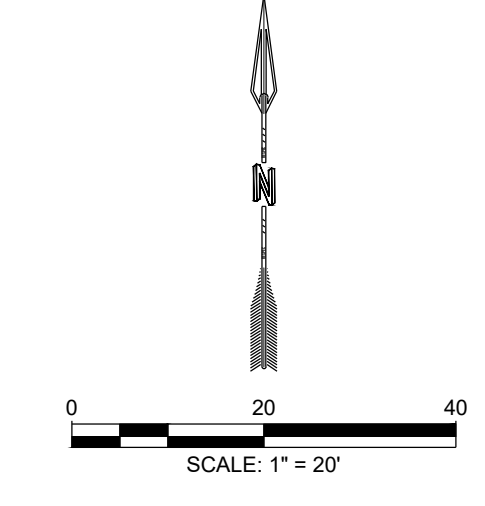
GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	---
SIDEWALK CULVERT	---

SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND

KEYED NOTES

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	CONCRETE STEP TYP.
4	1' CURB OPENING. SEE DETAIL 12 SHEET C-500.



DESIGNED BY: RESPEC DRAWN BY: BE CHECKED BY: SG DATE: 4.30.2020	COMMUNITY DESIGN SOLUTIONS 897 JEFFERSON STREET SUITE 101 WWW.RESPEC.COM PHONE: 850.523.9718	REVISION (Empty table for revisions)	
		PRELIMINARY NOT FOR CONSTRUCTION 4/2020 <small>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</small>	
		PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS	
SHEET TITLE: CONCEPTUAL SITE GRADING PLAN		SUBMITTED FOR: DRB SITE PLAN	
SHEET NUMBER: C-103			

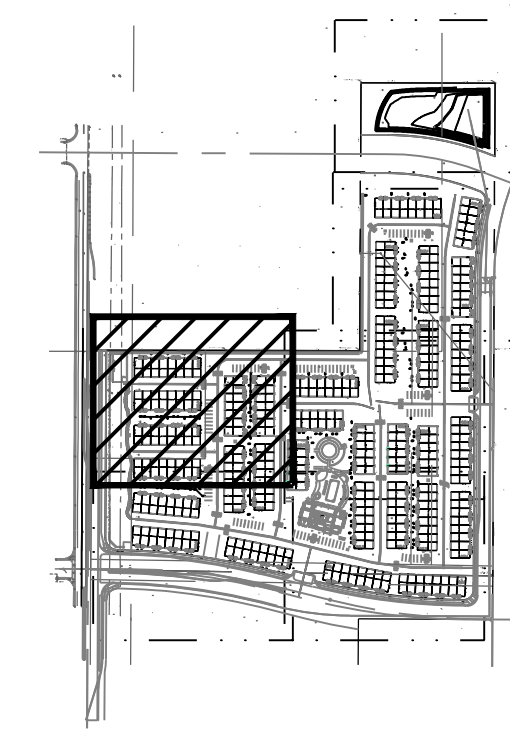
WARRANTY DEED

January 12, 2001
Book A14, Pg. 2769

WARRANTY

February 26, 2007
Book A133, Pg. 563

SHEET C-105



KEY MAP

SCALE: NTS

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDING OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

LEGEND

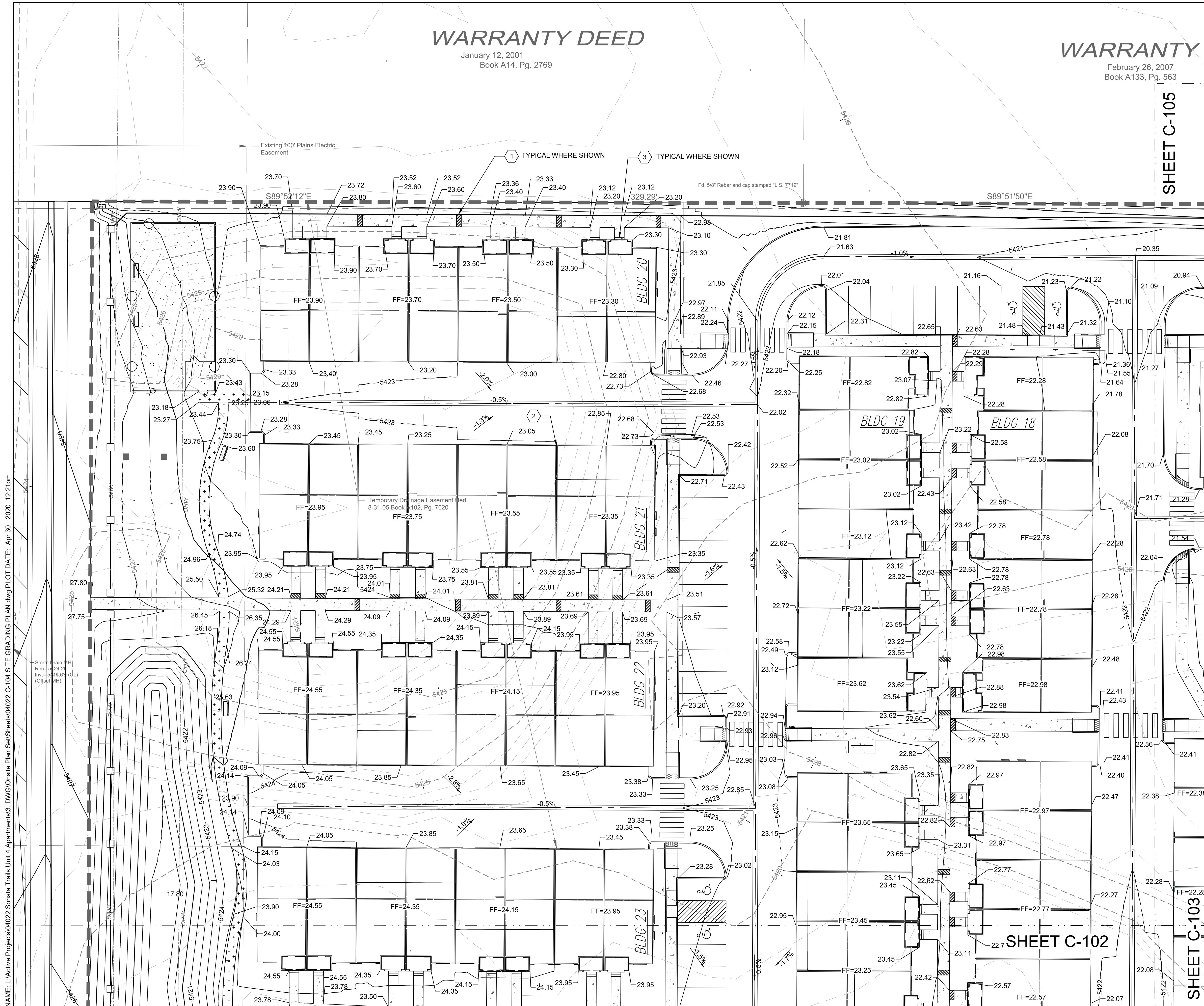
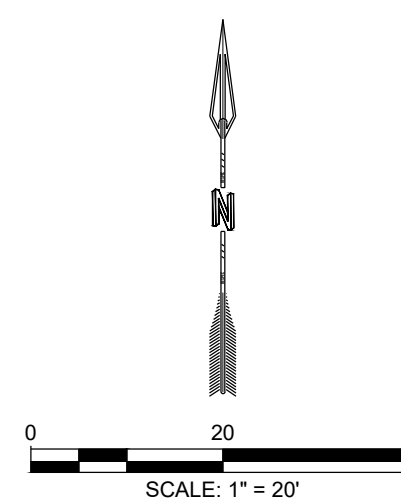
GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	-1.5% -1.2%
SIDEWALK CULVERT	---

SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
- TW 20.00 TOP WALL
- SW 20.00 SIDEWALK
- FG 20.00 FINISHED GROUND

KEYED NOTES

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	CONCRETE STEP TYP.
4	1' CURB OPENING. SEE DETAIL 12 SHEET C-500.



SHEET C-103

SHEET C-102

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-104 SITE GRADING PLAN.dwg PLOT DATE: Apr 30, 2020 12:21pm

DESIGNED BY	BE	REVISION
DRAWN BY	SG	
CHECKED BY	SG	
DATE	4.30.2020	

RESPEC COMMUNITY DESIGN SOLUTIONS
897 JEFFERSON STREET SUITE 101
WWW.RESPEC.COM PHONE: (605) 593-9718

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION
4/2020

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

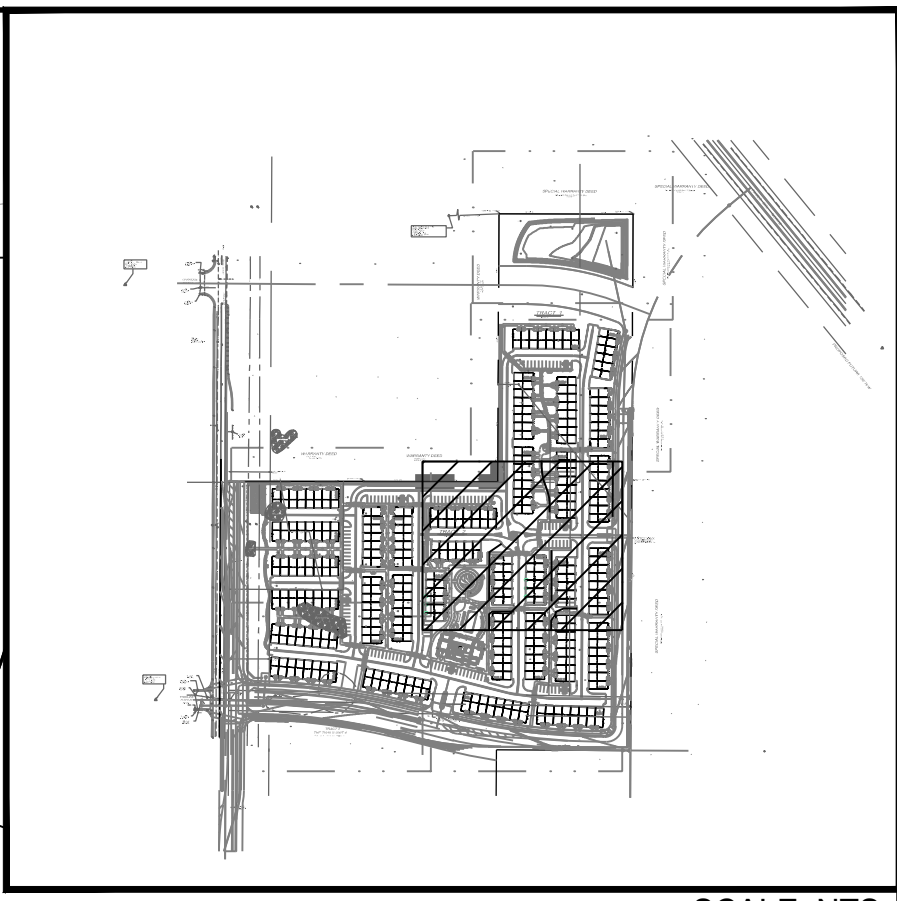
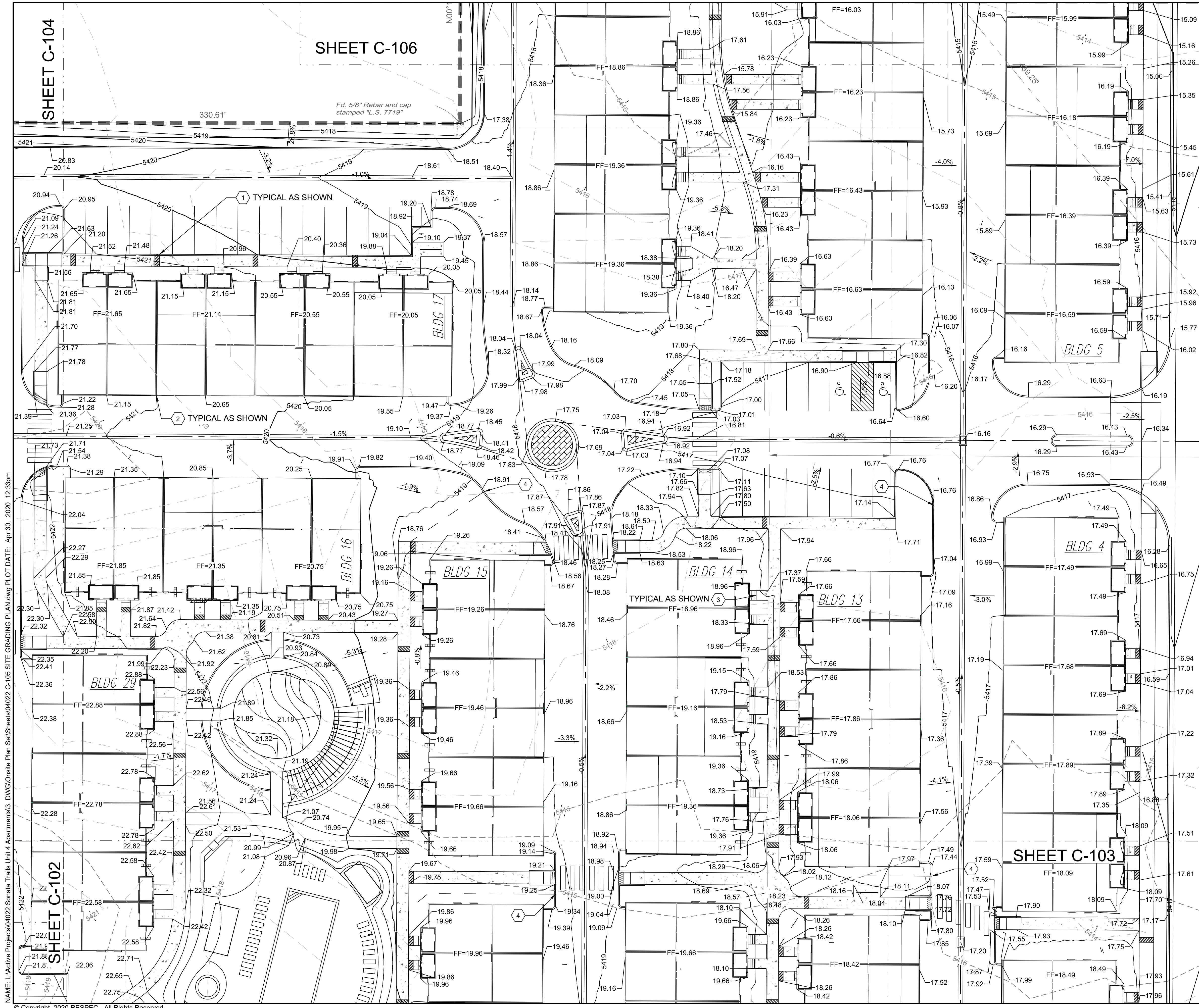
nm811
Know what's Below.
Call before you dig.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONCEPTUAL SITE GRADING PLAN

SUBMITTED FOR: DRB SITE PLAN

SHEET NUMBER: C-104



GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDING OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

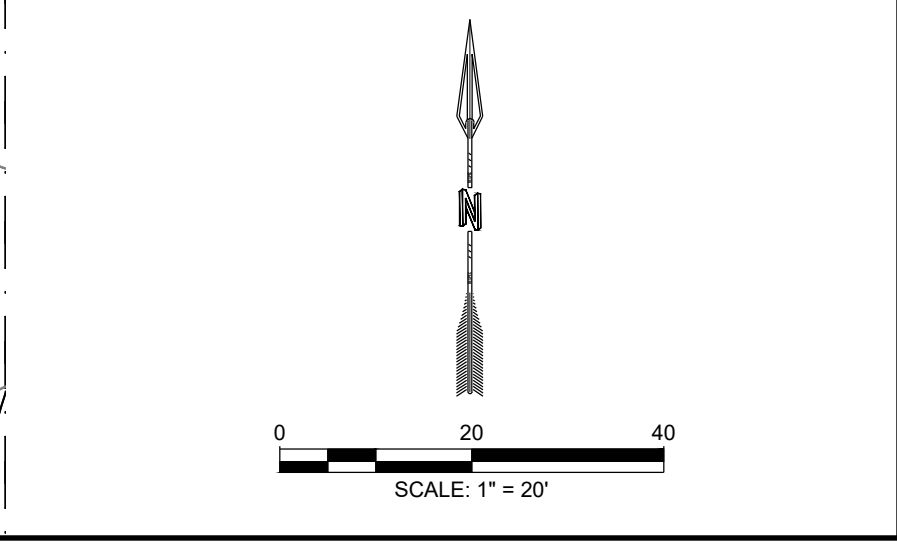
LEGEND

GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	---
SIDEWALK CULVERT	---

- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND

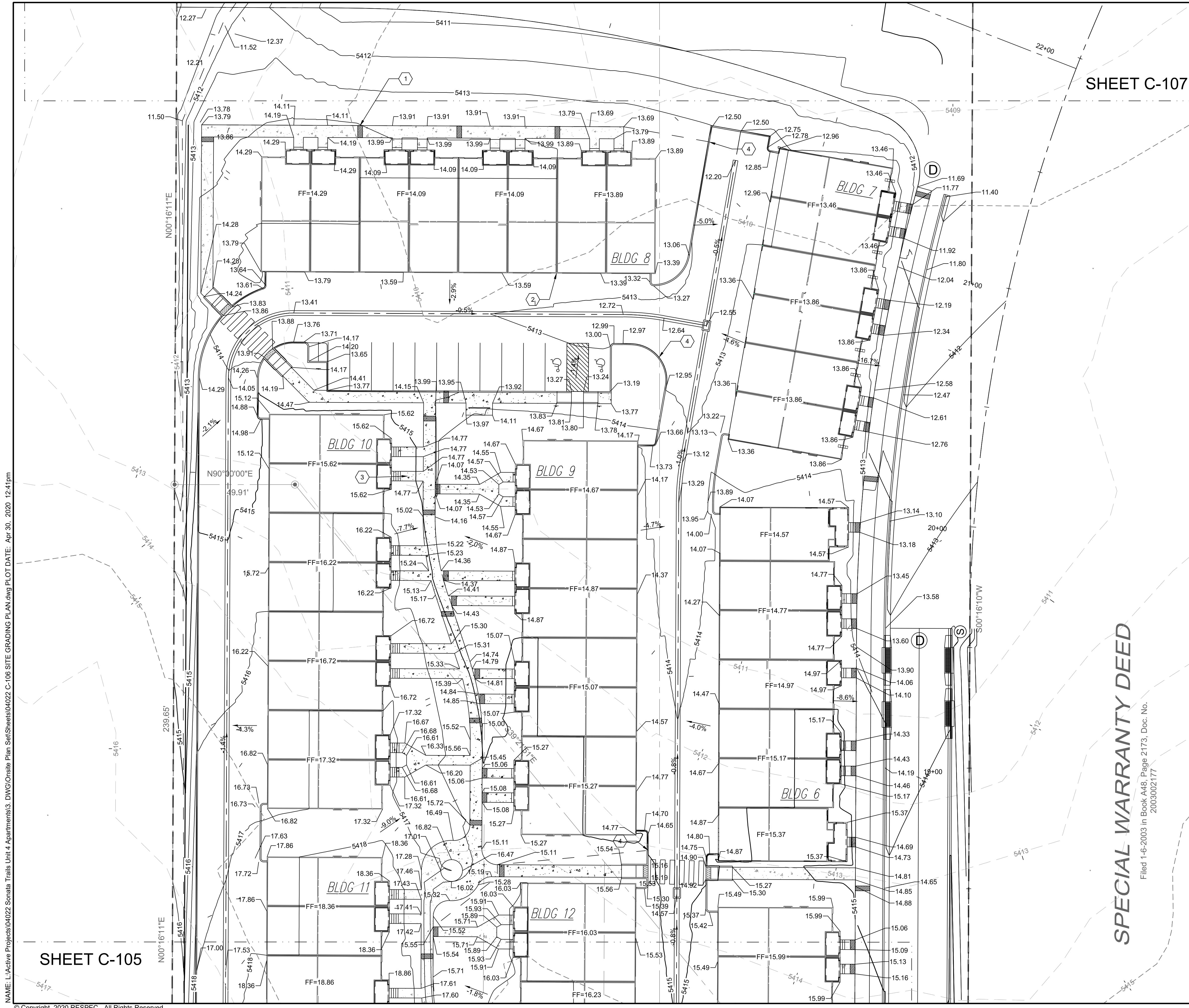
KEYED NOTES

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	CONCRETE STEP TYP.
4	1" CURB OPENING. SEE DETAIL 12 SHEET C-500.

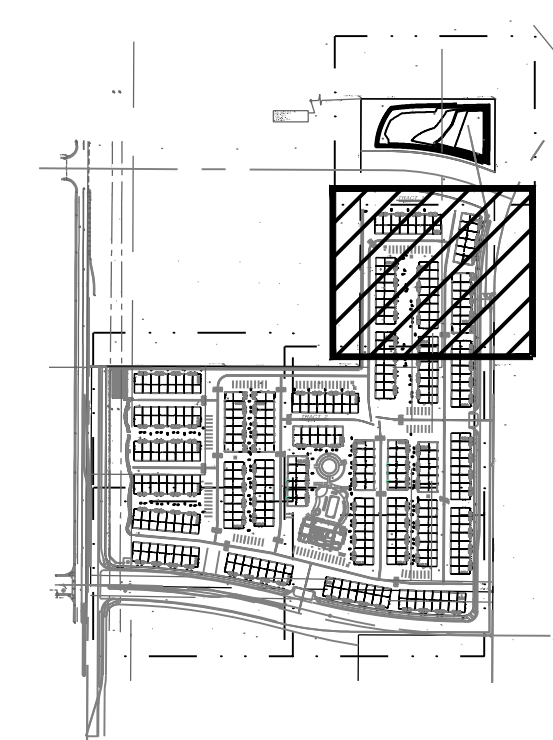


SHEET C-104
 SHEET C-102
 NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-105 SITE GRADING PLAN.dwg PLOT DATE: Apr 30, 2020 12:33pm
 © Copyright 2020 RESPEC - All Rights Reserved

DESIGNED BY: BE DRAWN BY: SG CHECKED BY: SG DATE: 4.30.2020	<p>RESPEC COMMUNITY DESIGN SOLUTIONS 897 JEFFERSON STREET SUITE 101 WWW.RESPEC.COM PHONE: 650.253.9718</p>	PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS	SHEET TITLE: CONCEPTUAL SITE GRADING PLAN
STAMP <div style="border: 1px solid black; padding: 5px; display: inline-block;"> PRELIMINARY NOT FOR CONSTRUCTION 4/2020 </div>		<p>Know what's Below. Call before you dig.</p>	
SUBMITTED FOR: DRB SITE PLAN		SHEET NUMBER: C-105	



SHEET C-107



KEY MAP SCALE: NTS

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDING OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

LEGEND

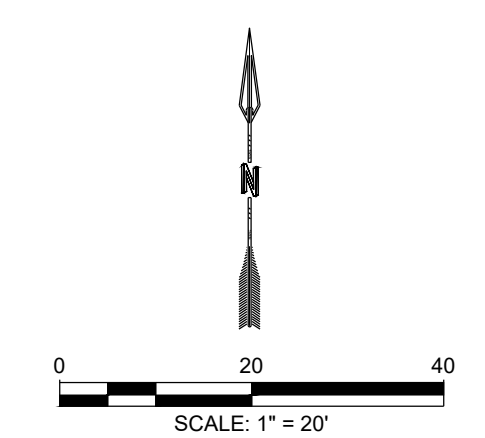
GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	— 4985 —
EXISTING MAJOR CONTOUR	--- 4985 ---
EXISTING MINOR CONTOUR	--- 4985 ---
MATCHLINE	— 1.5% — 51.2%
SLOPE ARROW	→
SIDEWALK CULVERT	▤

SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND

KEYED NOTES

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	CONCRETE STEP TYP.
4	1" CURB OPENING. SEE DETAIL 12 SHEET C-500.



SPECIAL WARRANTY DEED

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-106 SITE GRADING PLAN.dwg PLOT DATE: Apr 30, 2020 12:41pm

SHEET C-105

© Copyright 2020 RESPEC - All Rights Reserved

DESIGNED BY	BE	REVISION
DRAWN BY	SG	
CHECKED BY	SG	
DATE	4.30.2020	

RESPEC COMMUNITY DESIGN SOLUTIONS
897 JEFFERSON STREET SUITE 101
WWW.RESPEC.COM PHONE: 605.953.9718

RESPEC

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION
4/2020

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

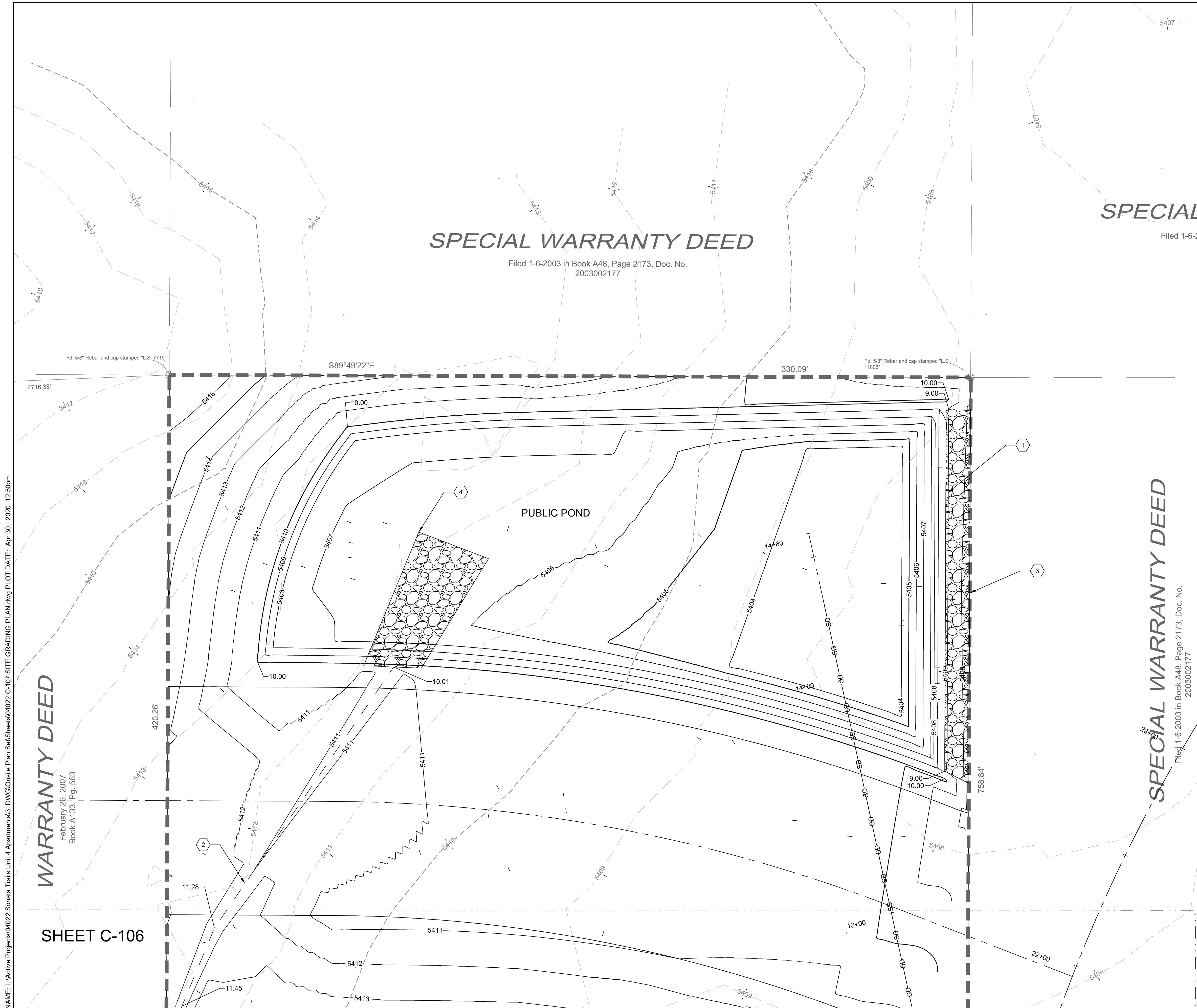
nm811
Know what's Below.
Call before you dig.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONCEPTUAL SITE GRADING PLAN

SUBMITTED FOR: DRB SITE PLAN

SHEET NUMBER: C-106

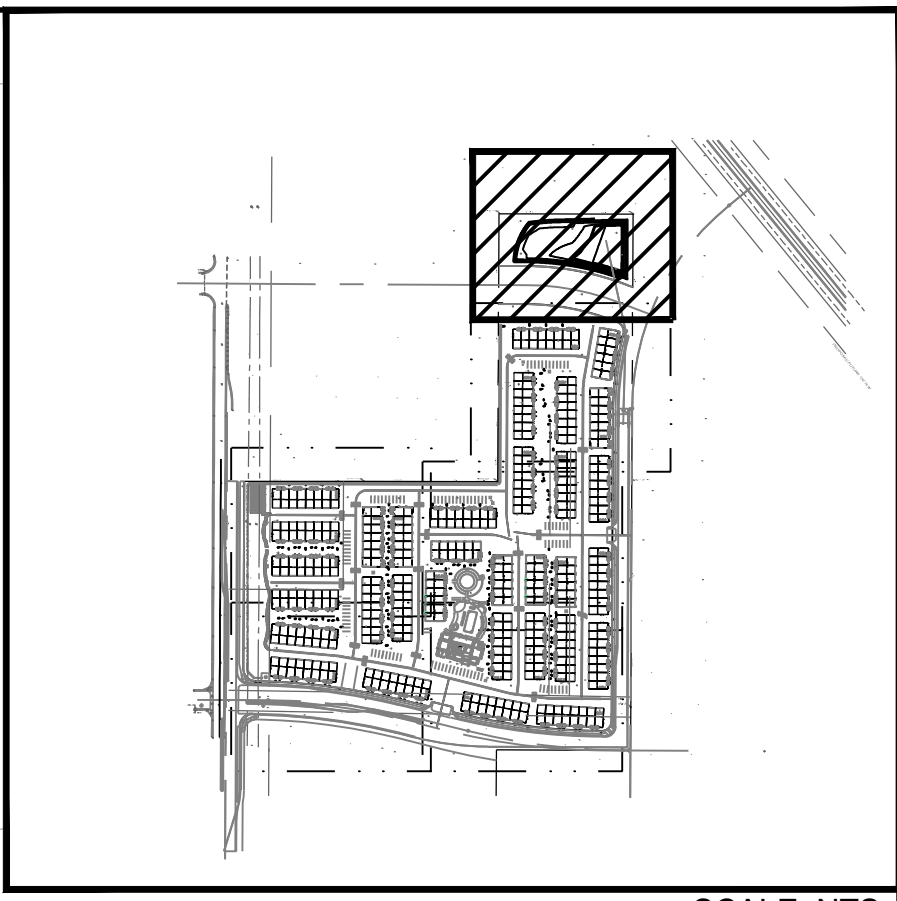


SPECIAL

Filed 1-6-2003

SPECIAL WARRANTY DEED

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177



GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDING OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

LEGEND

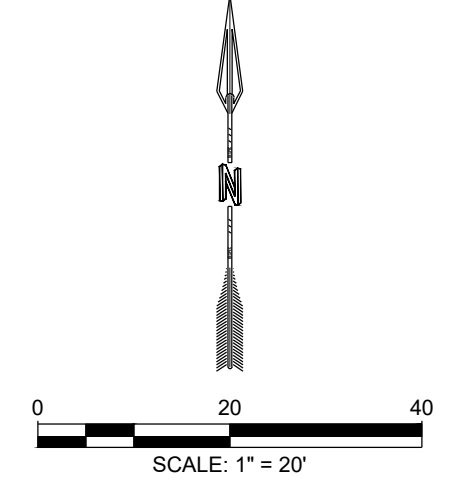
GRADING LIMITS	—
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	— 4985 —
EXISTING MAJOR CONTOUR	- - - 4985 - - -
EXISTING MINOR CONTOUR	- - - 4985 - - -
MATCHLINE	—+—
SLOPE ARROW	—1.5% —
SIDEWALK CULVERT	—

SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND

KEYED NOTES

I.D.#	DESCRIPTION
1	1' OVERFLOW WEIR. TOP OF POND ELEVATION = 5410'. TOP OF WEIR ELEVATION = 5409'.
2	1' DEEP MINIMUM EARTHEN SWALE.
3	RIP RAP D50=8" DOWNSTREAM OF OVERFLOW WEIR.
4	RIP RAP D50=8" POND RUNDOWN.



DESIGNED BY		DRAWN BY		CHECKED BY		DATE	
RESPEC	RESPEC	RESPEC	RESPEC	RESPEC	RESPEC	RESPEC	RESPEC

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION
4/2020



PROJECT NAME:
SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE:
CONCEPTUAL SITE GRADING PLAN

SUBMITTED FOR:
DRB SITE PLAN

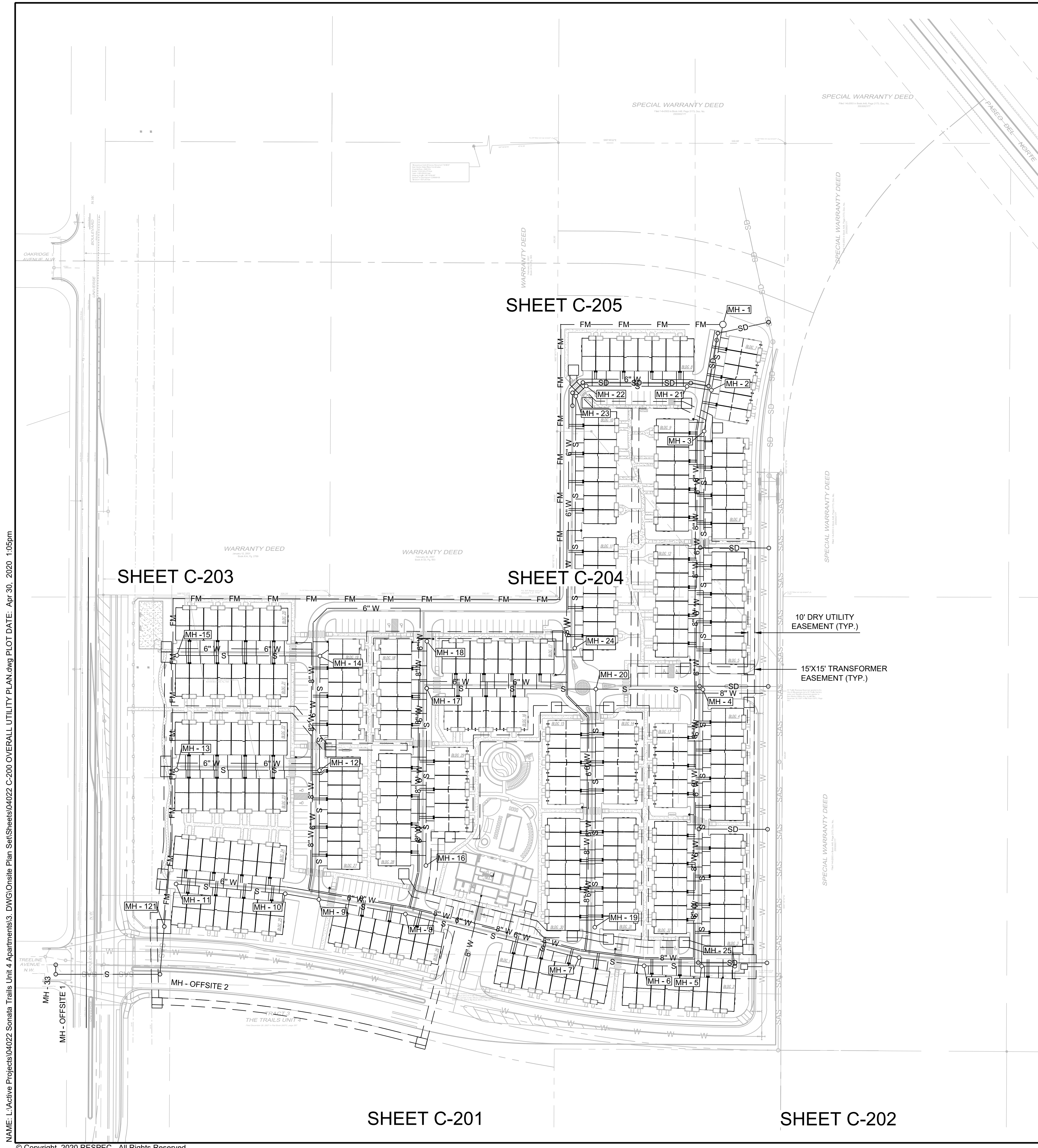
SHEET NUMBER:
C-107

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\04022 C-107 SITE GRADING PLAN.dwg PLOT DATE: Apr 30, 2020 12:50pm

WARRANTY DEED
February 28, 2007
Book A133, Pg. 563

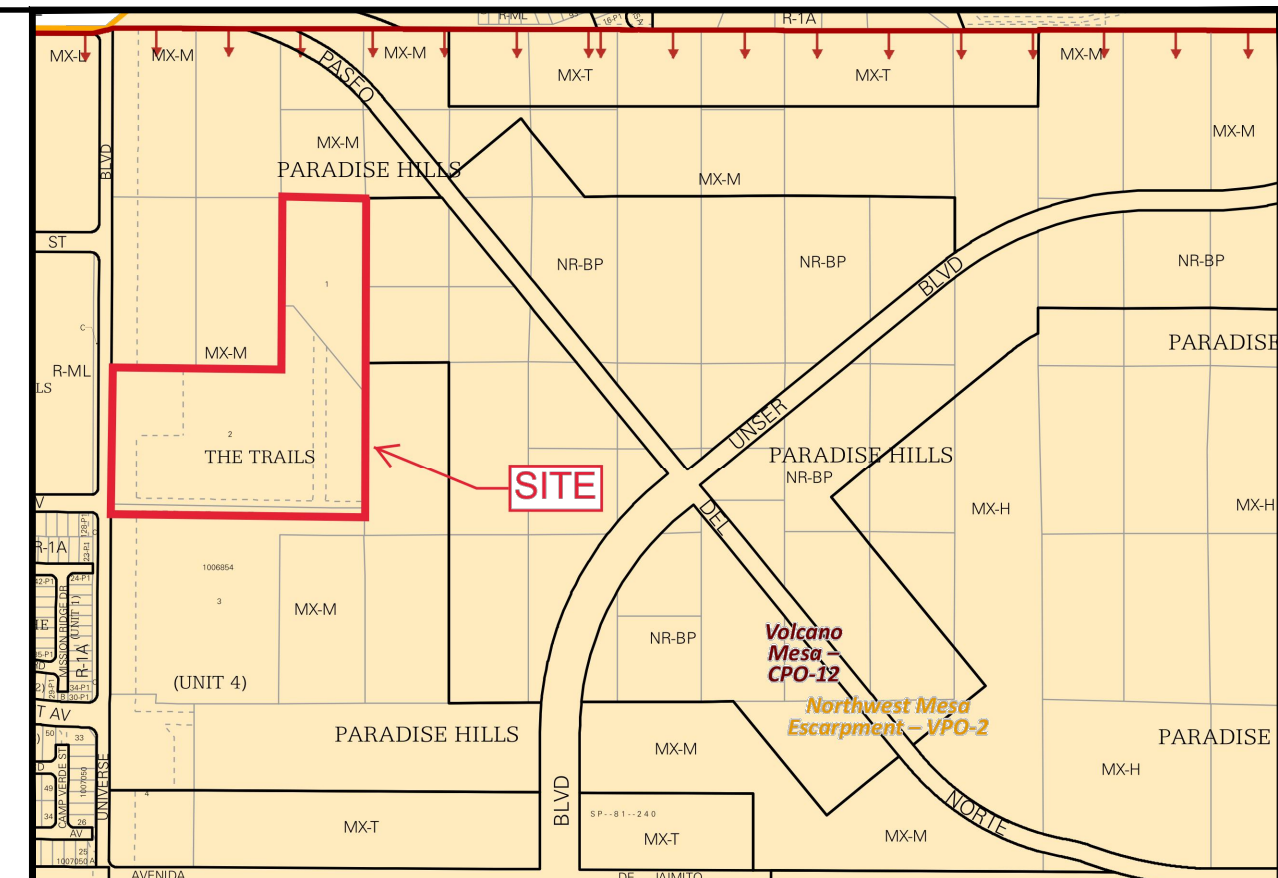
SHEET C-106

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-200 OVERALL UTILITY PLAN.dwg PLOT DATE: Apr-30-2020 1:05pm



GENERAL NOTES

1. ALL SANITARY SEWER MANHOLES SHALL BE 48" DIA., TYPE E UNLESS OTHERWISE APPROVED BY THE ENGINEER.
2. ALL SANITARY SEWER SERVICES SHALL EXTEND UNDER THE FULL WIDTH OF THE PUBLIC UTILITY EASEMENTS.
3. ALL HYDRANT LEGS SHALL BE VALVED AND HAVE RESTRAINED JOINTS BETWEEN THE MAIN AND THE VALVE.
4. UTILITY CONDUIT LOCATIONS TO BE DETERMINED BY OTHERS.
5. ALL SEWER AND WATER MAIN LINES SHALL BE 8" IN DIAMETER UNLESS OTHERWISE NOTED.
6. ALL SAS MAIN LINES TO BE SDR-35 PVC
7. ALL WL MAIN TO BE C-900 DR-18 PVC.
8. SEE THIS SHEET FOR RESTRAINT TABLE AND NOTES.
9. CONTRACTOR TO FILED VERIFY SIZE'S AND LOCATION PRIOR TO ANY CONSTRUCTION.



LOCATION MAP
ZONE ATLAS MAP C-10-Z

PRESSURE PIPE RESTRAINED JOINT LENGTH REQUIREMENTS
TEST PRESSURE @ 150 PSI

LENGTHS OF PIPE TO BE RESTRAINED - ALL JOINTS WITHIN LENGTH(FEET) MUST BE RESTRAINED (APPLIES TO PVC ONLY)

PIPE SIZE	HORIZONTAL BENDS				DEAD END OR VALVE	FIRE HYDRANT TEE STD. 6-INCH BRANCH LINE FOR ALL PIPE MAIN LINE SIZES, ALL FITTINGS AND PIPE JOINTS FROM TEE TO FIRE HYDRANT FLANGE SHALL BE RESTRAINED	REDUCERS	
	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND			L. SIDE	R. SIDE
4"	18'	8'	4'	2'	39'	6x4	28	
6"	25'	11'	5'	3'	55'	8x4	52	
8"	33'	14'	7'	4'	72'	8x6	30	
10"	39'	16'	8'	4'	87'	10x4	70	
12"	45'	19'	9'	5'	102'	10x6	53	
						10x8	29	
						12x4	88	
						12x6	74	
						12x8	54	
						12x10	50	

TEES	LENGTH ALONG RUN (Lr)									
	2'	4'	6'	8'	10'	12'	14'	16'	18'	20'
6x6x4	29	18	7	1	1	1	1	1	1	1
6x6x6	48	41	33	26	18	11	4	1	1	1
8x8x4	25	11	1	1	1	1	1	1	1	1
8x8x6	46	36	26	16	6	1	1	1	1	1
8x8x8	65	57	50	43	35	28	20	13	5	1
10x10x4	21	3	1	1	1	1	1	1	1	1
10x10x6	43	30	18	5	1	1	1	1	1	1
10x10x8	63	53	44	34	25	15	6	1	1	1
10x10x10	79	72	64	56	49	41	34	26	18	11
12x12x4	17	1	1	1	1	1	1	1	1	1
12x12x6	40	25	10	1	1	1	1	1	1	1
12x12x8	61	49	38	26	15	3	1	1	1	1
12x12x10	78	68	59	50	41	32	22	13	4	1
12x12x12	95	87	79	72	64	56	49	41	33	26

VERTICAL DOWNBEND	45°		22 1/2°		11 1/4°	
	UPPER RESTRAINT	LOWER RESTRAINT	UPPER RESTRAINT	LOWER RESTRAINT	UPPER RESTRAINT	LOWER RESTRAINT
16'	4'	8'	2'	4'	1'	1'
23'	5'	11'	3'	5'	1'	1'
30'	7'	14'	3'	7'	2'	2'
36'	9'	17'	4'	8'	2'	2'
42'	10'	20'	5'	10'	2'	2'

RESTRAINED LENGTH ALONG BRANCH (Lb)

- NOTE:
1. ASSUMES MINIMUM DEPTH OF BURY = 3 FT
 2. RESTRAINED LENGTH FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
 3. WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20-FT JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20-FT JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY TABLE ABOVE.

THRUST RESTRAINT NOTE:
ALL BURIED VALVES, FITTINGS, AND APPURTENANCES SHALL BE MECHANICAL JOINT-TYPE UTILIZING "MEGA-LUG"® STYLE MECHANICAL JOINT RESTRAINTS IN CONJUNCTION WITH "MEGA-LUG"® PIPE BELL-HARNES RESTRAINTS WHEN ADEQUATE RESTRAINED LENGTH CAN BE OBTAINED. IN THE EVENT ADEQUATE RESTRAINED LENGTHS CANNOT BE OBTAINED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR DETERMINATION OF APPROPRIATE ACTION TO BE TAKEN. THE EBAA IRON "RESTRAINED LENGTH CALCULATION" PROGRAM (VERSION 4.0) HAS BEEN USED TO DETERMINE MINIMUM RESTRAINED LENGTHS SHOWN IN TABLE ABOVE. THE FOLLOWING GENERAL ASSUMPTIONS APPLY TO ALL CALCULATIONS:

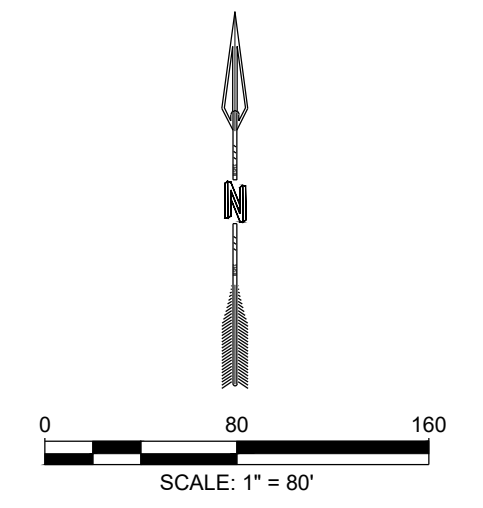
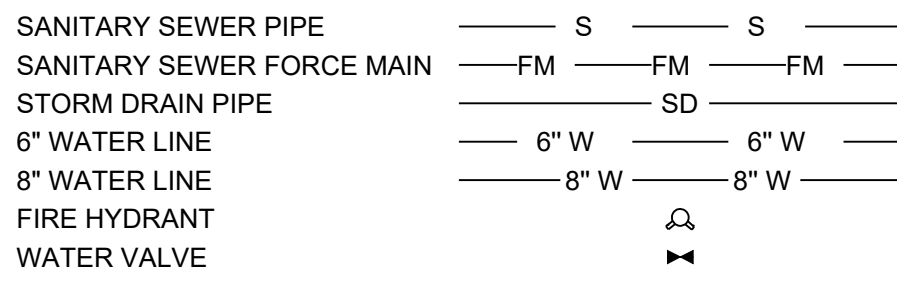
TRENCH TYPE 3
SOIL TYPE SM (SILTY SANDS, SAND SILT MIXTURE)
SAFETY FACTOR 1.5 TO 1

TYPICAL BURY DEPTH:
4" THROUGH 12" DIAMETER PIPE 3 FT
14" THROUGH 24" DIAMETER PIPE 4 FT

TYPICAL BURY DEPTHS FOR VERTICAL OFFSETS:
4" THROUGH 12" DIAMETER PIPE 3 FT TO TOP OF UPPER BRANCH
6 FT TO TOP OF LOWER BRANCH
14" THROUGH 24" DIAMETER PIPE 4 FT TO TOP OF UPPER BRANCH
7 FT TO TOP OF LOWER BRANCH

CONTRACTOR MAY SUBMIT SUBSTITUTE REDUCED RESTRAINED JOINT LENGTHS IF SOIL AND DEPTH OF BURY CONDITIONS WARRANT. CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS AND APPROPRIATE CALCULATIONS TO SUPPORT THE LENGTH REDUCTION. SOIL TESTING AND CALCULATIONS SHALL BE PERFORMED AT CONTRACTOR'S SOLE EXPENSE.

LEGEND



DESIGNED BY	DRAWN BY	CHECKED BY	DATE
JDV	JDV	SG	4.30.2020

RESPEC COMMUNITY DESIGN SOLUTIONS
897 JEFFERSON STREET SUITE 101
WWW.RESPEC.COM PHONE: 805.953.9718

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION
4/2020

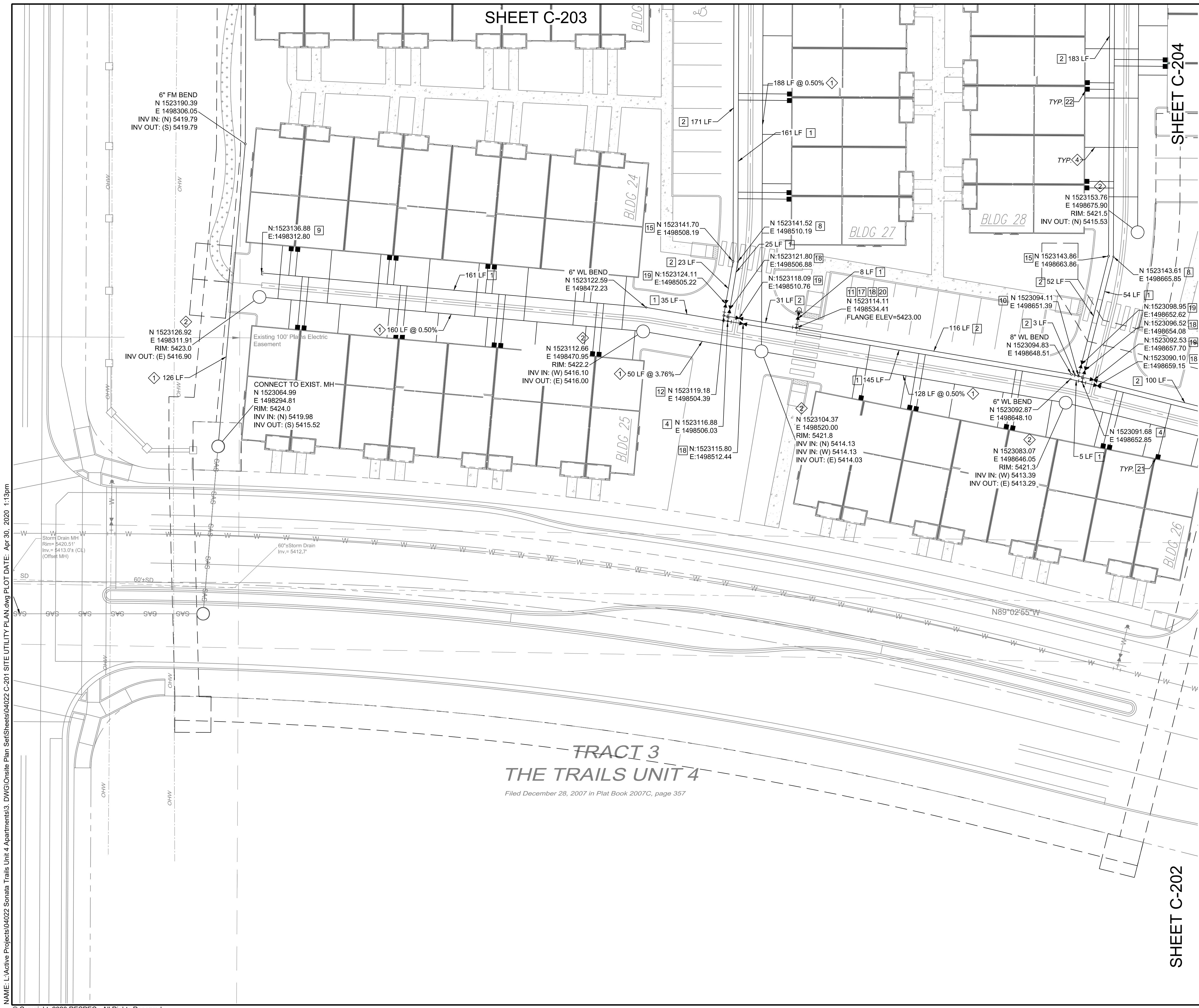
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONCEPTUAL OVERALL UTILITY PLAN

SUBMITTED FOR: DRB SITE PLAN

SHEET NUMBER: C-200



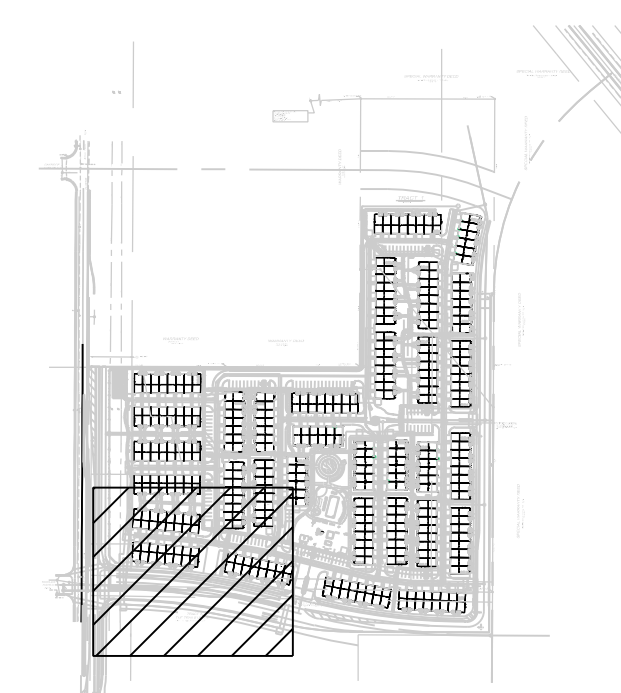
SHEET C-203

SHEET C-204

SHEET C-202

**TRACT 3
THE TRAILS UNIT 4**

Filed December 28, 2007 in Plat Book 2007C, page 357



KEY MAP SCALE: NTS

WATER CONSTRUCTION NOTES

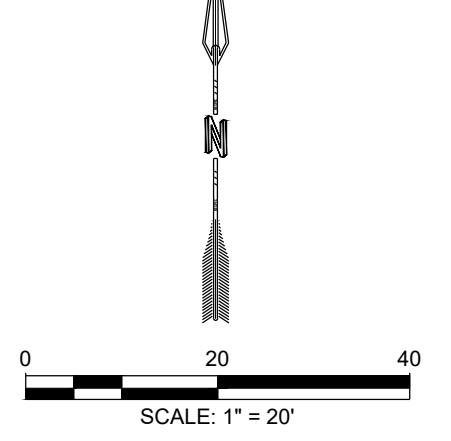
I.D.#	DESCRIPTION
1	INSTALL 6" WATERLINE PER STD. SPEC. SEC. 801
2	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
3	CONNECT NEW WATERLINE TO EXISTING WATERLINE (NON PRESSURIZED CONNECTION)
4	INSTALL 6" TEE
5	INSTALL 6" 90° BEND
6	INSTALL 6" 45° BEND
7	INSTALL 6" 22 1/2° BEND
8	INSTALL 6" 11 1/2° BEND
9	INSTALL 6" CAP
10	INSTALL 8" TEE
11	INSTALL 8" X 6" TEE
12	INSTALL 8" 90° BEND
13	INSTALL 8" 45° BEND
14	INSTALL 8" 22 1/2° BEND
15	INSTALL 8" 11 1/2° BEND
16	INSTALL 8" CAP
17	*MEG A LUG* ALL FITTINGS AND JOINTS FROM TEE TO FIRE HYDRANT
18	INSTALL 6" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328, AND/OR 2329
19	INSTALL 8" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328
20	INSTALL FIRE HYDRANT, PER COA STD. DTL. 2340
21	INSTALL SINGLE WATER SERVICE CONNECTION
22	INSTALL DOUBLE WATER SERVICE CONNECTION

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 6" SEWER PER STD. SPEC. SEC. 901
2	INSTALL 4" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
3	INSTALL 8" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
4	INSTALL 4" SEWER SERVICE, PER COA STD. DTL. 2125. INSTALL DOUBLE CLEANOUT 5' FROM BUILDING, SEE DETAIL ON SHEET C-500.

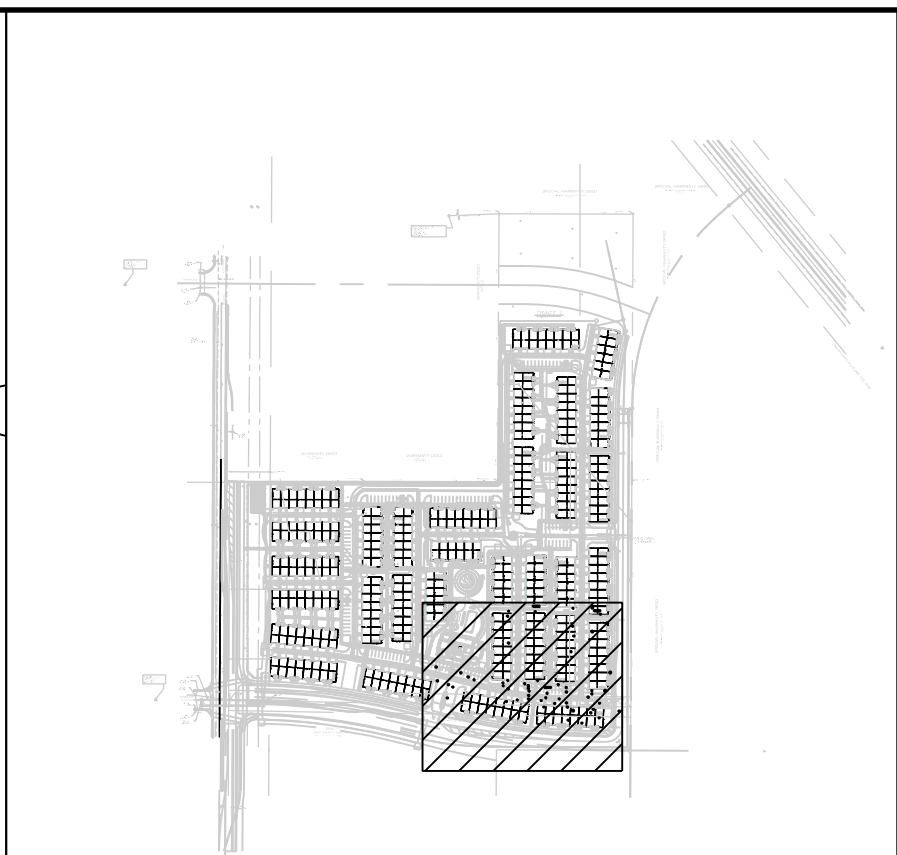
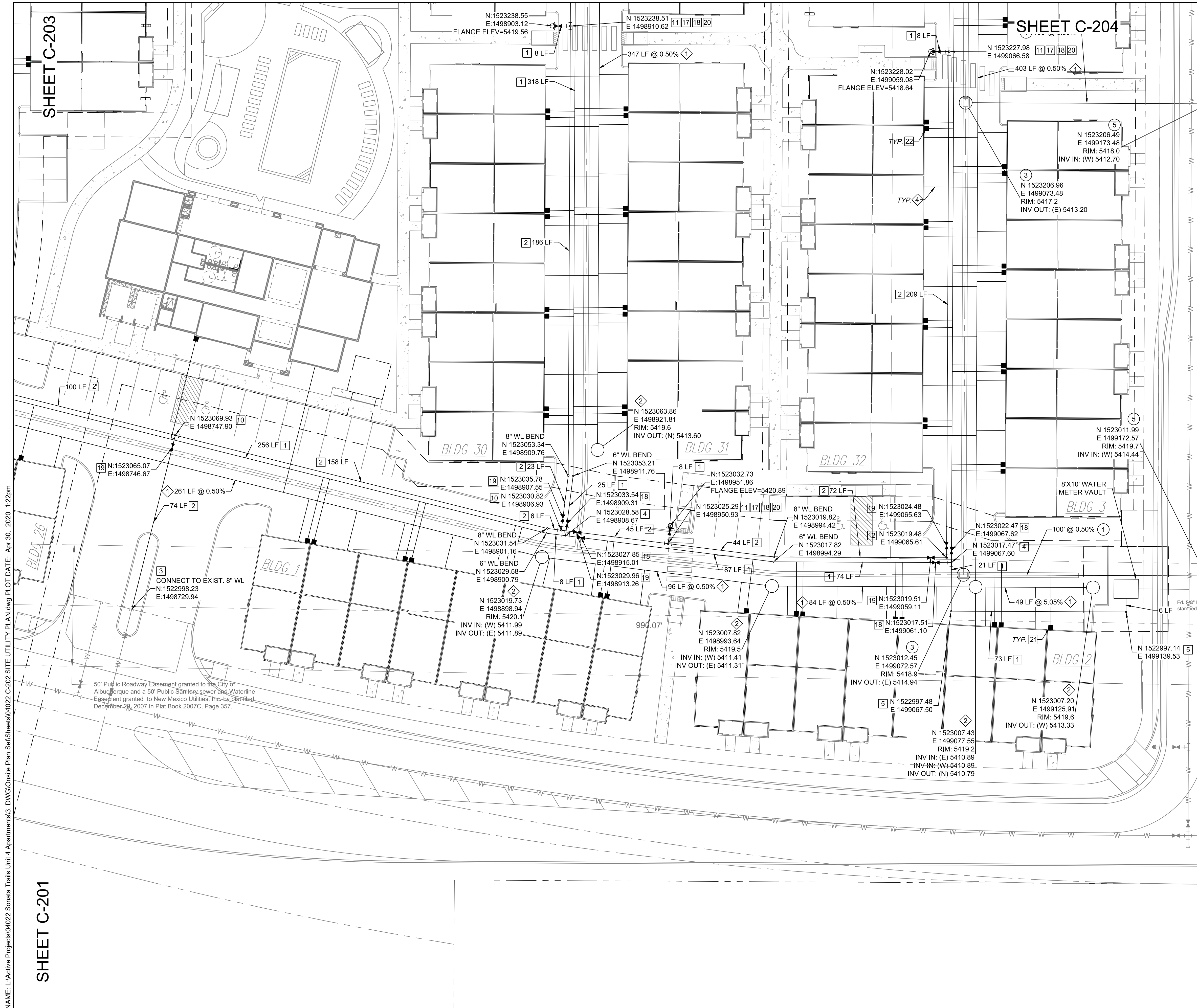
STORM DRAIN CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 24" RCP STORM DRAIN PIPE
2	INSTALL 30" RCP STORM DRAIN PIPE
3	INSTALL CATCH BASIN SINGLE GRATE
4	INSTALL CATCH BASIN DOUBLE GRATE
5	INSTALL 4" DIA. MANHOLE TYPE "E", PER COA STD. DTL. 2102



DESIGNED: JDV	DRAWN: JDV	CHECKED: SG	DATE: 4.30.2020
PRELIMINARY NOT FOR CONSTRUCTION 4/2020			
PROJECT NAME:		SONATA TRAILS UNIT 4 APARTMENTS	
SHEET TITLE:		CONCEPTUAL SITE UTILITY PLAN	
SUBMITTED FOR:		DRB SITE PLAN	
SHEET NUMBER:		C-201	
REVISION			

NAME: L:\Active Projects\04022_Sonata_Trails_Unit_4_Apartments\3_DWG\OnSite Plan_Sets\Sheets\04022_C-201_SITE UTILITY PLAN.dwg PLOT DATE: Apr 30, 2020 1:13pm



KEY MAP SCALE: NTS

WATER CONSTRUCTION NOTES

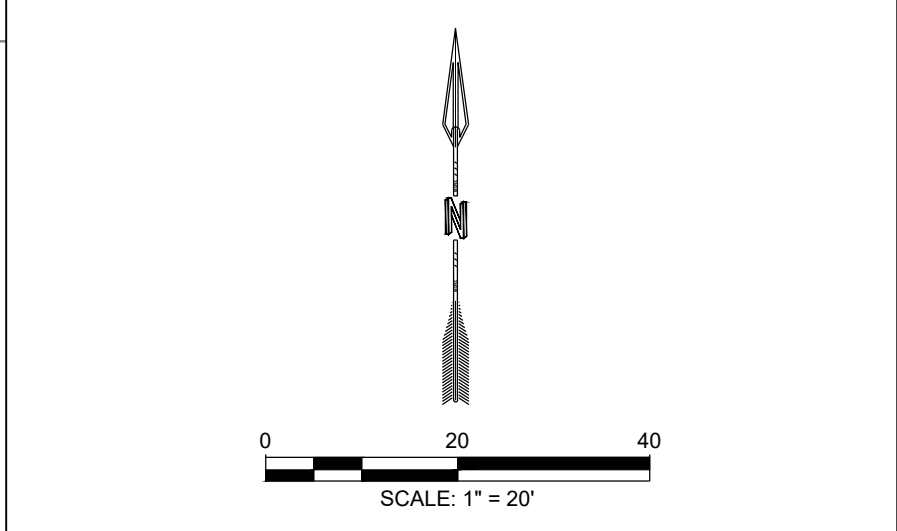
I.D.#	DESCRIPTION
1	INSTALL 6" WATERLINE PER STD. SPEC. SEC. 801
2	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
3	CONNECT NEW WATERLINE TO EXISTING WATERLINE (NON PRESSURIZED CONNECTION)
4	INSTALL 6" TEE
5	INSTALL 6" 90° BEND
6	INSTALL 6" 45° BEND
7	INSTALL 6" 22 1/2° BEND
8	INSTALL 6" 11 1/2° BEND
9	INSTALL 6" CAP
10	INSTALL 8" TEE
11	INSTALL 8" X 6" TEE
12	INSTALL 8" 90° BEND
13	INSTALL 8" 45° BEND
14	INSTALL 8" 22 1/2° BEND
15	INSTALL 8" 11 1/2° BEND
16	INSTALL 8" CAP
17	*MEG A LUG* ALL FITTINGS AND JOINTS FROM TEE TO FIRE HYDRANT
18	INSTALL 6" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328, AND/OR 2329
19	INSTALL 8" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328
20	INSTALL FIRE HYDRANT, PER COA STD. DTL. 2340
21	INSTALL SINGLE WATER SERVICE CONNECTION
22	INSTALL DOUBLE WATER SERVICE CONNECTION

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 6" SEWER PER STD. SPEC. SEC. 901
2	INSTALL 4" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
3	INSTALL 8" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
4	INSTALL 4" SEWER SERVICE, PER COA STD. DTL. 2125. INSTALL DOUBLE CLEANOUT 5' FROM BUILDING, SEE DETAIL ON SHEET C-500.

STORM DRAIN CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 24" RCP STORM DRAIN PIPE
2	INSTALL 30" RCP STORM DRAIN PIPE
3	INSTALL CATCH BASIN SINGLE GRATE
4	INSTALL CATCH BASIN DOUBLE GRATE
5	INSTALL 4" DIA. MANHOLE TYPE "E", PER COA STD. DTL. 2102



DESIGNED BY: RESPEC
 DRAWN BY: RESPEC
 CHECKED BY: RESPEC
 DATE: 4.30.2020

COMMUNITY DESIGN SOLUTIONS
 897 JEFFERSON STREET SUITE 101
 WWW.RESPEC.COM PHONE: 650.253.9718

REVISION

STAMP

PRELIMINARY
 NOT FOR CONSTRUCTION
 4/2020

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

nm811
 Know what's Below. Call before you dig.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONCEPTUAL SITE UTILITY PLAN

DRB SITE PLAN

SHEET NUMBER: C-202

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments\3_DWG\Onsite Plan_Sets\Sheet\04022 C-202 SITE UTILITY PLAN.dwg PLOT DATE: Apr 30, 2020 1:22pm

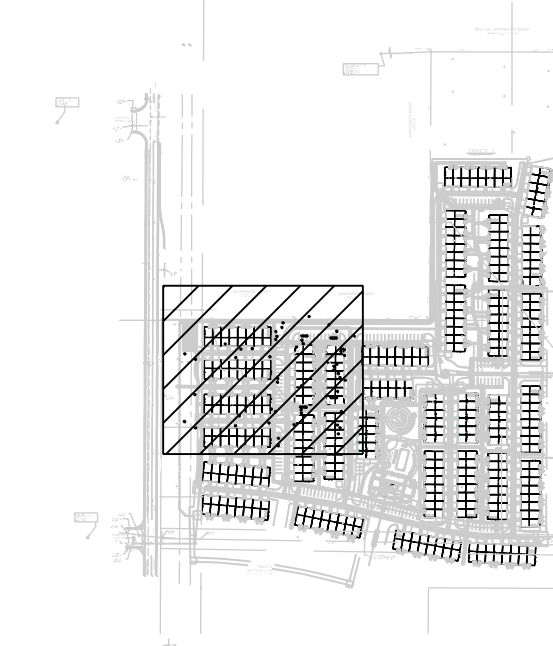
WARRANTY DEED

January 12, 2001
Book A14, Pg. 2769

WARRANTY

February 26, 2007
Book A133, Pg. 563

SHEET C-104



KEY MAP

SCALE: NTS

WATER CONSTRUCTION NOTES

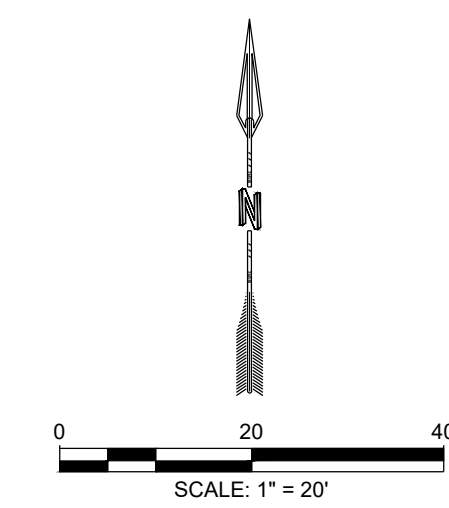
I.D.#	DESCRIPTION
1	INSTALL 6" WATERLINE PER STD. SPEC. SEC. 801
2	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
3	CONNECT NEW WATERLINE TO EXISTING WATERLINE (NON PRESSURIZED CONNECTION)
4	INSTALL 6" TEE
5	INSTALL 6" 90° BEND
6	INSTALL 6" 45° BEND
7	INSTALL 6" 22 1/2° BEND
8	INSTALL 6" 11 1/2° BEND
9	INSTALL 6" CAP
10	INSTALL 8" TEE
11	INSTALL 8" X 6" TEE
12	INSTALL 8" 90° BEND
13	INSTALL 8" 45° BEND
14	INSTALL 8" 22 1/2° BEND
15	INSTALL 8" 11 1/2° BEND
16	INSTALL 8" CAP
17	*MEG A LUG* ALL FITTINGS AND JOINTS FROM TEE TO FIRE HYDRANT
18	INSTALL 6" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328, AND/OR 2329
19	INSTALL 8" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328
20	INSTALL FIRE HYDRANT, PER COA STD. DTL. 2340
21	INSTALL SINGLE WATER SERVICE CONNECTION
22	INSTALL DOUBLE WATER SERVICE CONNECTION

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 6" SEWER PER STD. SPEC. SEC. 901
2	INSTALL 4" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
3	INSTALL 8" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
4	INSTALL 4" SEWER SERVICE, PER COA STD. DTL. 2125. INSTALL DOUBLE CLEANOUT 5' FROM BUILDING, SEE DETAIL ON SHEET C-500.

STORM DRAIN CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 24" RCP STORM DRAIN PIPE
2	INSTALL 30" RCP STORM DRAIN PIPE
3	INSTALL CATCH BASIN SINGLE GRATE
4	INSTALL CATCH BASIN DOUBLE GRATE
5	INSTALL 4" DIA. MANHOLE TYPE "E", PER COA STD. DTL. 2102



DESIGNED BY	DATE
JDV	4.30.2020
DRAWN BY	CHECKED BY
JDV	SG
PROJECT NAME	PROJECT NO.
SONATA TRAILS UNIT 4 APARTMENTS	000000000000000000
CONCEPTUAL SITE UTILITY PLAN	DRB SITE PLAN
SHEET NUMBER:	C-203

RESPEC COMMUNITY DESIGN SOLUTIONS
897 JEFFERSON STREET SUITE 101
WWW.RESPEC.COM PHONE: 605.923.9718

PRELIMINARY
NOT FOR CONSTRUCTION
4/2020

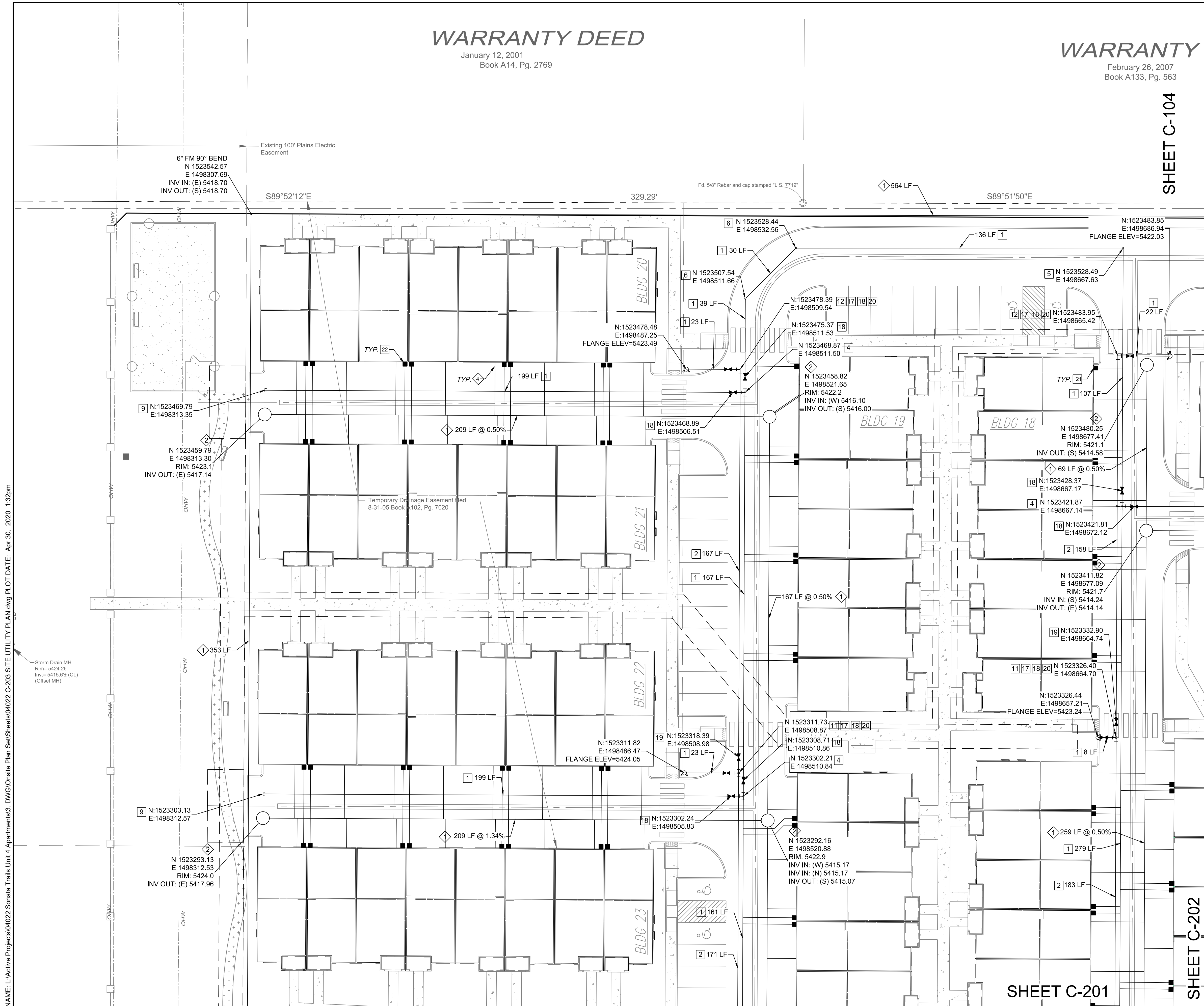
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

PROJECT NAME:
SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE:
CONCEPTUAL SITE UTILITY PLAN

SUBMITTED FOR:
DRB SITE PLAN

SHEET NUMBER:
C-203

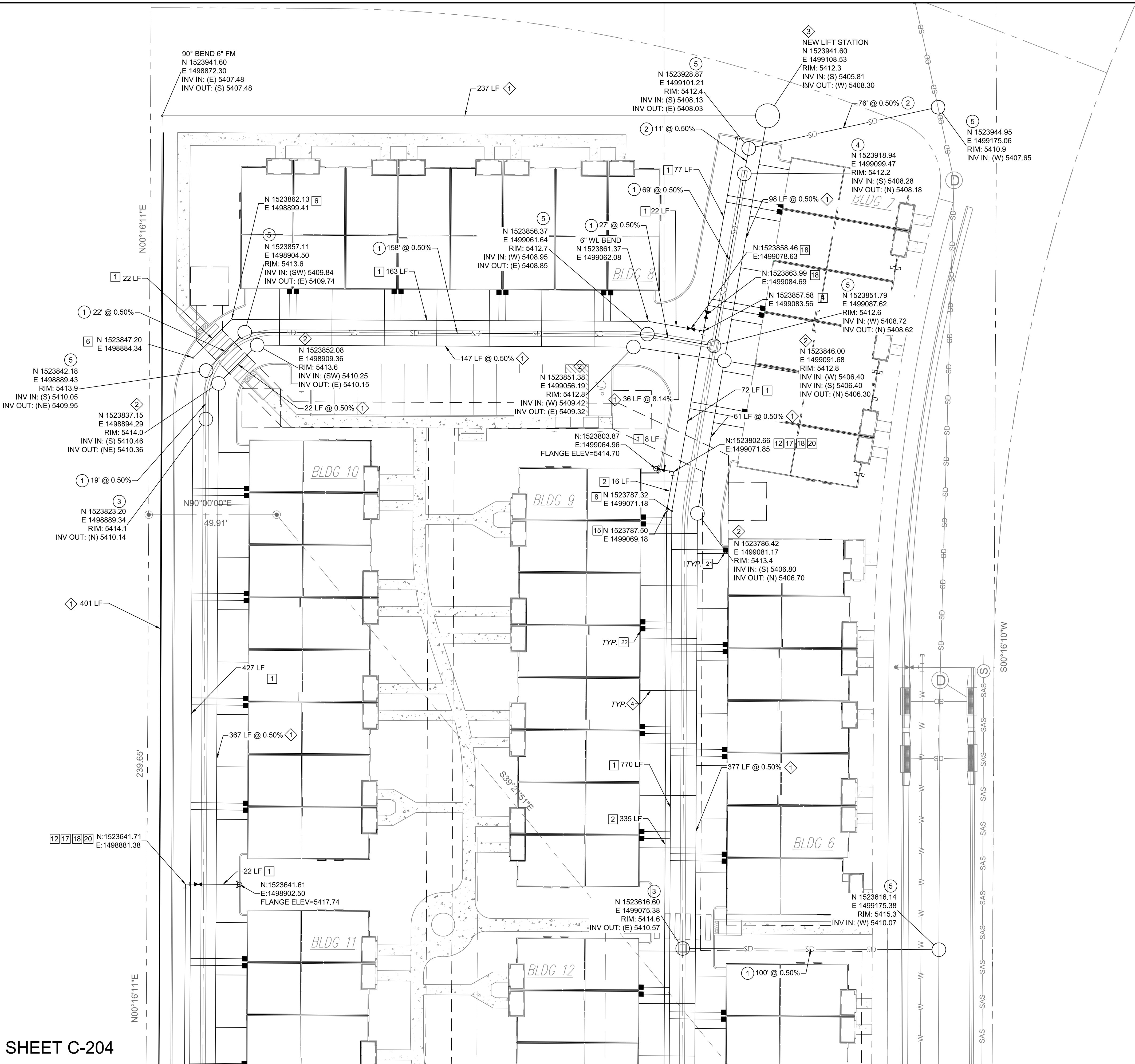


NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments\Plan Set\Sheets\04022 C-203 SITE UTILITY PLAN.dwg PLOT DATE: Apr 30, 2020 1:32pm

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 C-205 SITE UTILITY PLAN.dwg PLOT DATE: Apr 30, 2020 1:48pm

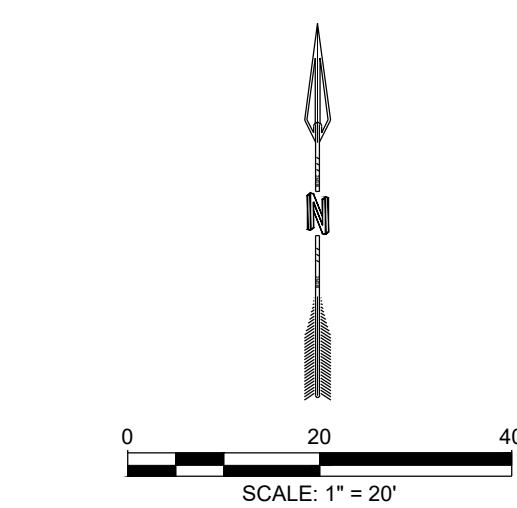
© Copyright 2020 RESPEC - All Rights Reserved

SHEET C-204



SPECIAL WARRANTY DEED

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177



KEY MAP

SCALE: NTS

WATER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 6" WATERLINE PER STD. SPEC. SEC. 801
2	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
3	CONNECT NEW WATERLINE TO EXISTING WATERLINE (NON PRESSURIZED CONNECTION)
4	INSTALL 6" TEE
5	INSTALL 6" 90° BEND
6	INSTALL 6" 45° BEND
7	INSTALL 6" 22 1/2° BEND
8	INSTALL 6" 11 1/2° BEND
9	INSTALL 6" CAP
10	INSTALL 8" TEE
11	INSTALL 8" X 6" TEE
12	INSTALL 8" 90° BEND
13	INSTALL 8" 45° BEND
14	INSTALL 8" 22 1/2° BEND
15	INSTALL 8" 11 1/2° BEND
16	INSTALL 8" CAP
17	*MEG A LUG* ALL FITTINGS AND JOINTS FROM TEE TO FIRE HYDRANT
18	INSTALL 6" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328, AND/OR 2329
19	INSTALL 8" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328
20	INSTALL FIRE HYDRANT, PER COA STD. DTL. 2340
21	INSTALL SINGLE WATER SERVICE CONNECTION
22	INSTALL DOUBLE WATER SERVICE CONNECTION

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 6" SEWER PER STD. SPEC. SEC. 901
2	INSTALL 4" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
3	INSTALL 8" DIA. SEWER MANHOLE TYPE "E", PER COA STD. DTL. 2102
4	INSTALL 4" SEWER SERVICE, PER COA STD. DTL. 2125. INSTALL DOUBLE CLEANOUT 5' FROM BUILDING, SEE DETAIL ON SHEET C-500.

STORM DRAIN CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 24" RCP STORM DRAIN PIPE
2	INSTALL 30" RCP STORM DRAIN PIPE
3	INSTALL CATCH BASIN SINGLE GRATE
4	INSTALL CATCH BASIN DOUBLE GRATE
5	INSTALL 4" DIA. MANHOLE TYPE "E", PER COA STD. DTL. 2102

DESIGNED BY: J.D.V.
 DRAWN BY: J.D.V.
 CHECKED BY: S.G.
 DATE: 4.30.2020

RESPEC COMMUNITY DESIGN SOLUTIONS
 897 JEFFERSON STREET SUITE 101
 WWW.RESPEC.COM PHONE: 605.953.9718

STAMP: PRELIMINARY NOT FOR CONSTRUCTION 4/2020
 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

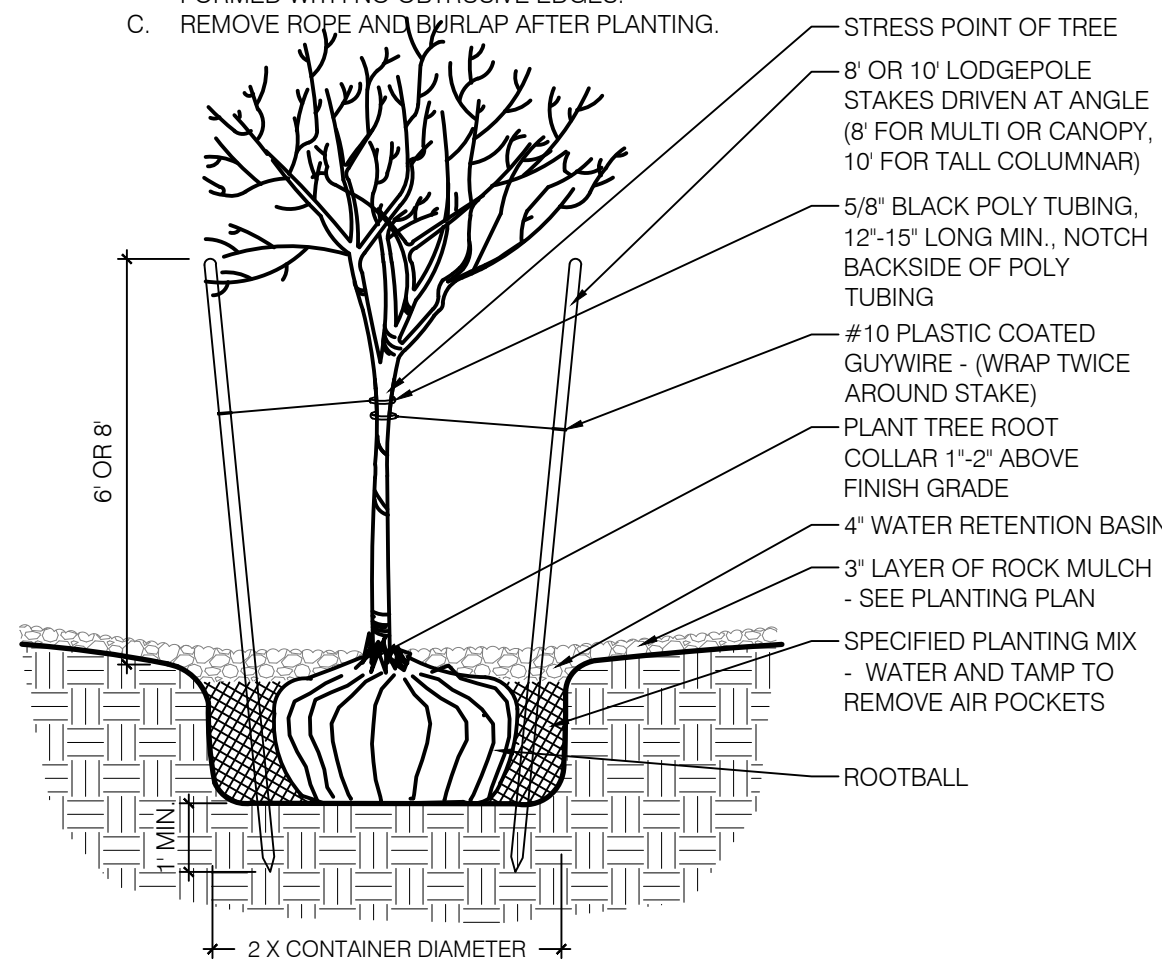
SHEET TITLE: CONCEPTUAL SITE UTILITY PLAN

SUBMITTED FOR: DRB SITE PLAN

SHEET NUMBER: C-205

NOTES:

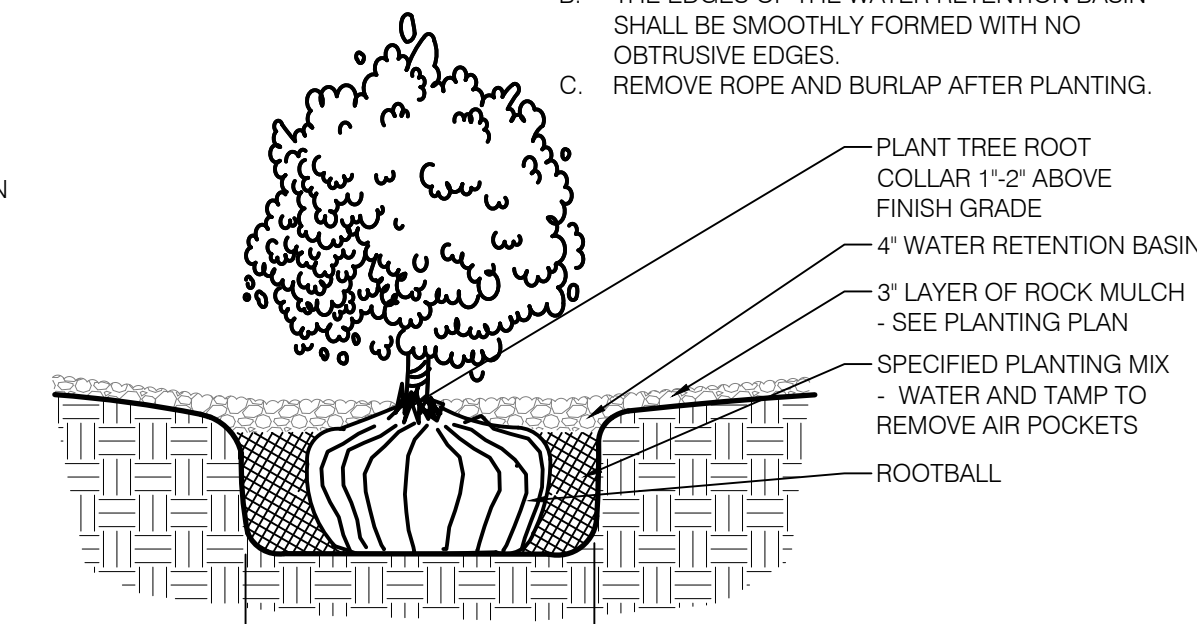
- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- C. REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING DETAIL
SCALE: N.T.S.

NOTES:

- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- C. REMOVE ROPE AND BURLAP AFTER PLANTING.



SHRUB PLANTING DETAIL
SCALE: N.T.S.

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN:
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES PER THE LEGEND.

IRRIGATION:
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 5 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 2 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

POINT OF CONNECTION FOR IRRIGATION SYSTEM SHALL BE PER THE UTILITY PLAN. POWER SHALL BE PROVIDED TO THIS POINT TO PROVIDE POSITIVE HEAT SOURCE TO THE BACKFLOW PREVENTER ENCLOSURE.

IRRIGATION SYSTEM WILL BE OPERATED BY AN AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

RESPONSIBILITY OF MAINTENANCE:
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION:
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE:
TOTAL SITE AREA: 758,576 SF (17.41 AC)
BUILDING AREA (BUILDING ENVELOPE): - 241,847 SF
NET AREA: 516,729 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 77,509 SF
PROVIDED LANDSCAPE AREA: 159,509 SF (31%)

OPEN SPACE REQUIREMENTS
300 SF OF OPEN SPACE REQUIRED PER 3-BEDROOM UNIT
OPEN SPACE REQUIRED (73 X 300 SF): 21,900 SF
OPEN SPACE PROVIDED: XX,XXX SF

LANDSCAPE LIVE VEGETATIVE COVERAGE:
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 25% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 121,940 SF (76%)
PROVIDED GROUND-LEVEL PLANTS: 30,145 SF (25%)

LANDSCAPE TURF:
10% OF LANDSCAPED AREAS MAY BE IRRIGATED TURF.
TURF ALLOWED: 75,858 SF
TURF PROVIDED: 6,525 SF

SITE TREES
1 TREE REQUIRED PER UNIT.
SITE TREES REQUIRED: 241
SITE TREES PROVIDED: 250

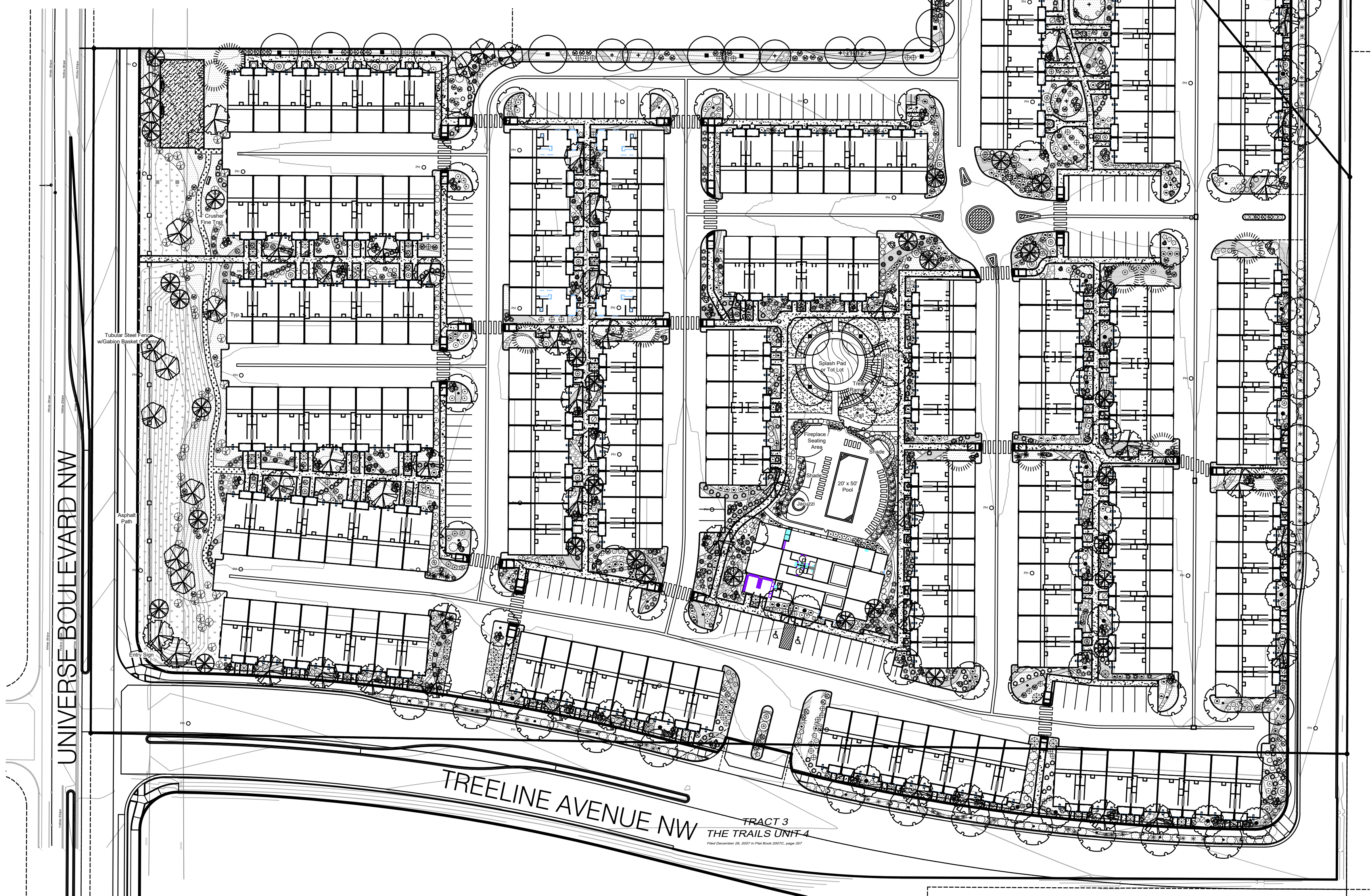
PARKING LOT TREES:
THE PROJECT IS PROVIDING 112 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
PARKING LOT TREES REQUIRED: 11
PARKING LOT TREES PROVIDED: 38

STREET TREES:
TREELINE AVENUE IS A MAJOR COLLECTOR AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 50' O.C.

TREELINE AVENUE FRONTAGE IS 910'.
STREET TREES REQUIRED: 19
STREET TREES PROVIDED: 31

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
54		ACER TATARICUM GARANN' HOT WINGS MAPLE	2' B&B	20' HT. X 24' SPR.	MED+
13		CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	8' MS	20' HT. X 20' SPR.	LOW+
23		FRAXINUS OXYCARPA RAYWOOD' RAYWOOD ASH	2.5' B&B	35' HT. X 25' SPR.	MED+
19		PINUS NIGRA AUSTRIAN PINE	B&B	35' HT. X 25' SPR.	MED
18		PISTACIA ATLANTICA X RED PUSH RED PUSH PISTACHE	2.5' B&B	40' HT. X 30' SPR.	MED
67		ULMUS CARP. X PARV. FRONTIER FRONTIER ELM	2.5' B&B	40' HT. X 30' SPR.	MED+
25		PYRUS CALLERYANA 'AUTUMN BLAZE' AUTUMN BLAZE PEAR	2.5' B&B	30' HT. X 25' SPR.	MED+
31		VITEX AGNUS-CASTUS PURPLE CHASTETREE (MULTI-TRUNK)	15-GAL	20' HT. X 20' SPR.	MED
SHRUBS AND GROUNDCOVERS					
302		ACHILLEA MOONSHINE MOONSHINE YARROW	1-GAL	2' HT. X 2' SPR.	MED
132		BIDDLEIA DAVIDI NANHOENSIS' DWARF BLUE BUTTERFLY BUSH	5-GAL	4' HT. X 4' SPR.	MED
179		CARYOPTERIS CLAN. 'DARK KNIGHT' DARK KNIGHT SPIREA	5-GAL	4' HT. X 4' SPR.	LOW
125		CYTISUS SCOPARIUS 'ALL GOLD' ALL GOLD SCOTCH BROOM	5-GAL	4' HT. X 4' SPR.	LOW
67		FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
137		JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER	5-GAL	1' HT. X 7' SPR.	MED
19		JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5-GAL	1' HT. X 8' SPR.	MED
22		NANDINA DOMESTICA 'GULFSTREAM' HEAVENLY BAMBOO	5-GAL	4' HT. X 4' SPR.	MED+
94		PINUS MUGO PUMILIO DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
174		POTENTILLA FRUTICOSA 'JACKMANI' JACKMAN'S SHRUBBY CINQUEFOIL	5-GAL	3' HT. X 3' SPR.	MED
64		PRUNUS CISTENA CISTENA PLUM	5-GAL	6' HT. X 6' SPR.	MED
45		PRUNUS GLANDULOSA FLOWERING ALMOND	5-GAL	4' HT. X 4' SPR.	MED
185		RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC	5-GAL	2' HT. X 4' SPR.	LOW+
203		SALVIA DORRII PURPLE SAGE	5-GAL	3' HT. X 3' SPR.	MED
133		SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	3-GAL	30' HT. X 3' SPR.	MED
DESERT ACCENTS					
103		DASYLIRIUM WHEELERI DESERT SPOON	5-GAL	4' HT. X 4' SPR.	LOW
85		HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	3-GAL	3' HT. X 3' SPR.	LOW
ORNAMENTAL GRASSES					
250		CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	5-GAL	30' HT. X 3' SPR.	MED
288		MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS	5-GAL	3' HT. X 4' SPR.	MED
MULCHES AND BOULDERS					
		MOSS ROCK BOULDERS (3x3 MIN)			
		GRAY CRUSHER FINES (3\"/>			
		7/8\"/>			
		3/4\"/>			
		2\"/>			
		SUNSET ROSE CRUSHER FINES (3\"/>			
		DOG PARK ENGINEERED WOOD FIBER (4\"/>			
		TURF - BLUEGRASS SOD			
REVEGETATIVE SEEDING					
		AREAS SHALL BE REVEGETATED BY HYDROMULCH TACKIFIER APPLICATION PER COA SPECIFICATION SECTION 1012 (GRAVELY UPLANDS AND SLOPES). LIMITS OF REVEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMIT OF DISTURBANCE			

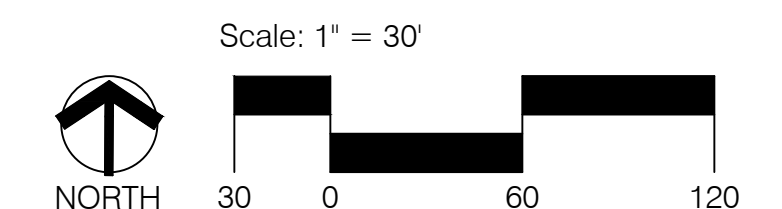


SONATA

LANDSCAPE PLAN

Prepared for:
SONATA TRAILS, LLC

Prepared by:
CONSENSUS PLANNING, INC.

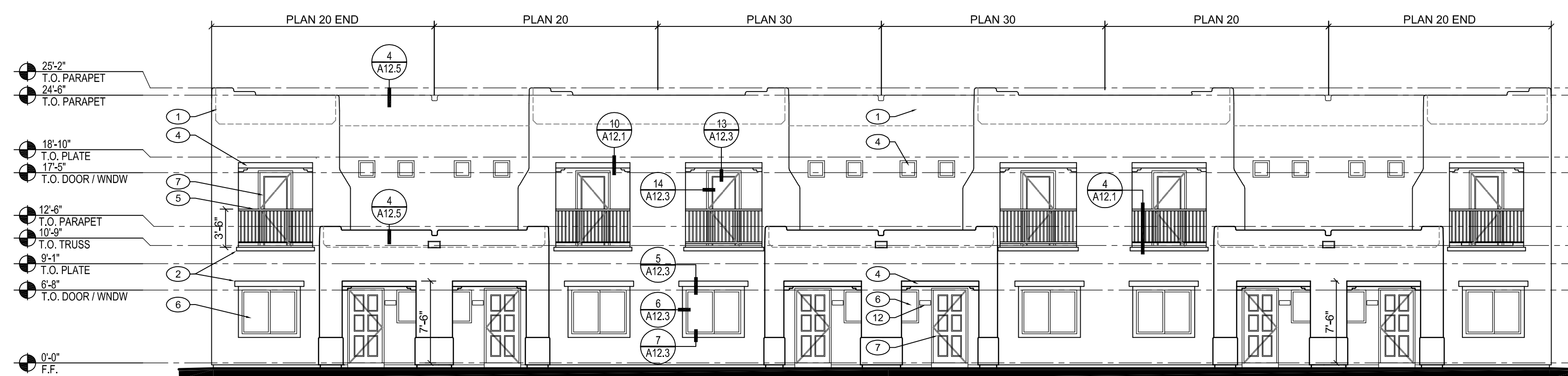


APRIL 30, 2020

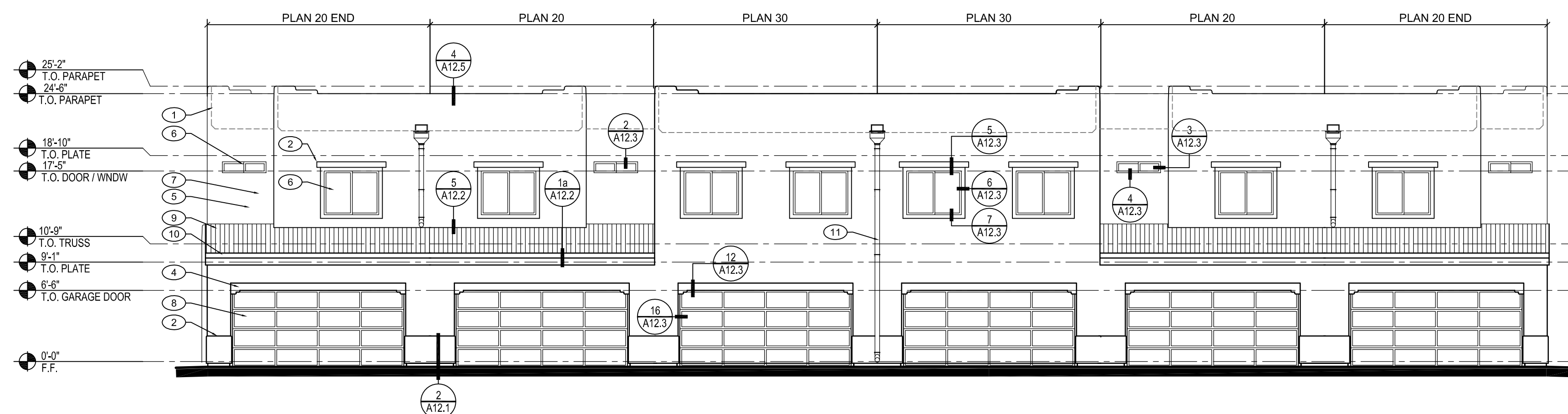
Seal

PROGRESS SET
NOT FOR CONSTRUCTION
MARCH 27, 2020

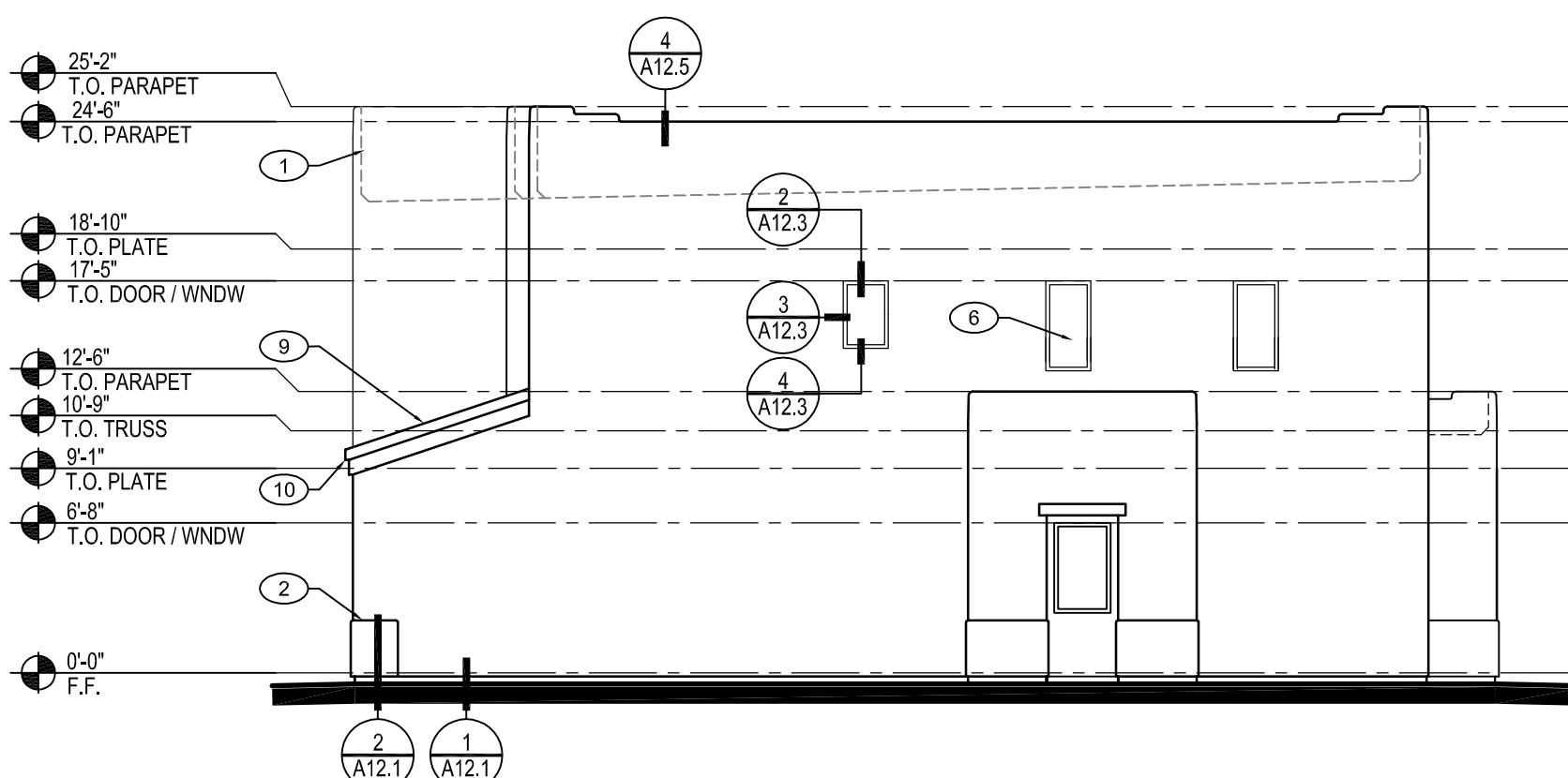
These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.
© COPYRIGHT 2020, HOWARD PERLMAN, A.I.A.



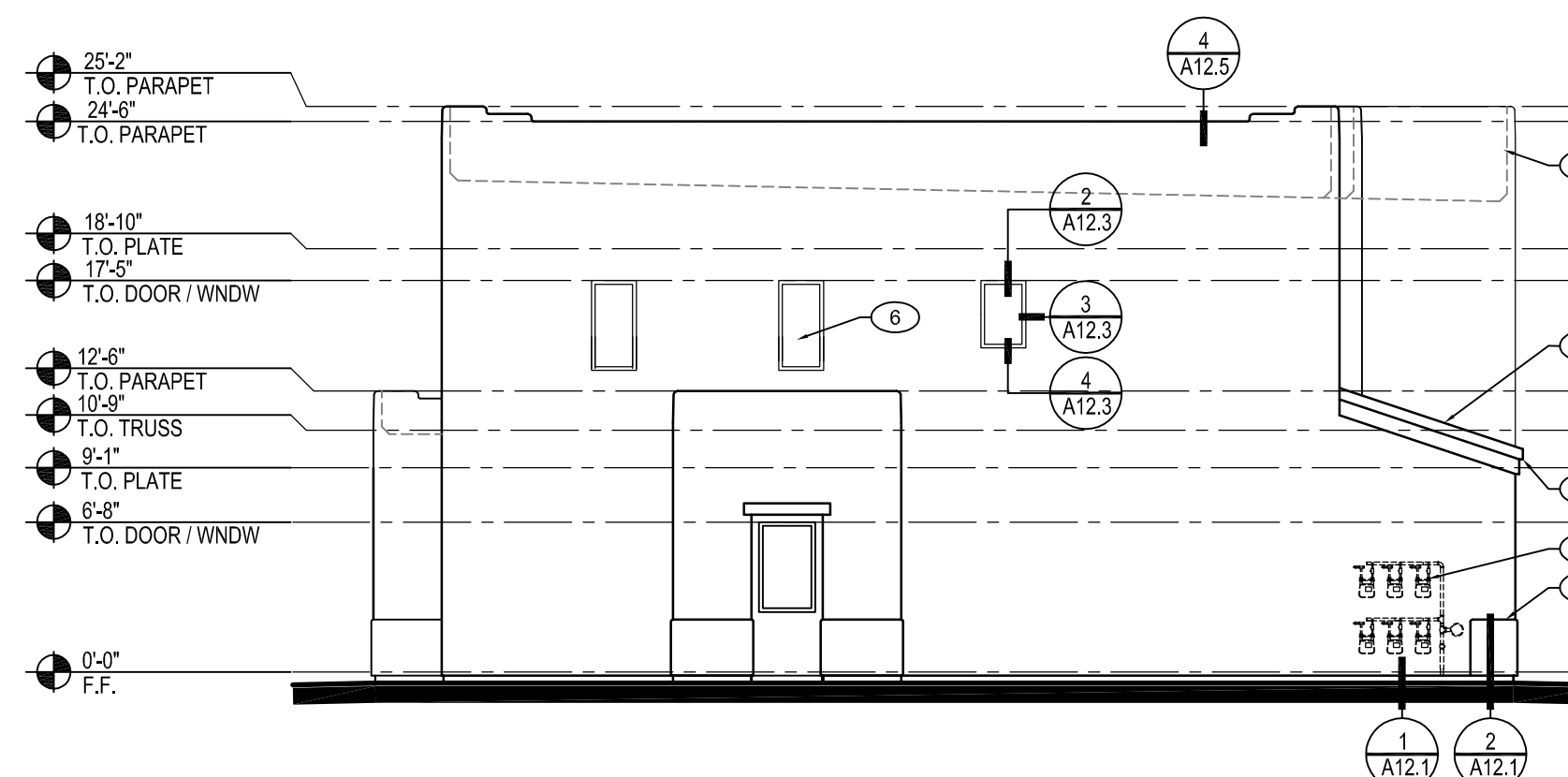
A BUILDING TYPE 6 - FRONT ELEVATION
SCALE: 1/8" = 1'-0" 2-STORY



B BUILDING TYPE 6 - REAR ELEVATION
SCALE: 1/8" = 1'-0" 2-STORY



C BUILDING TYPE 6 - SIDE ELEVATION
SCALE: 1/8" = 1'-0" 2-STORY



D BUILDING TYPE 6 - SIDE ELEVATION
SCALE: 1/8" = 1'-0" 2-STORY

KEY NOTES

#	DESCRIPTION
1	2-COAT EXTERIOR PLASTER
2	FOAM POPOUT
3	CONTROL JOINT - SEE DETAIL 7/A12.1
4	FAUX WOOD LINTEL
5	WROUGHT IRON RAILING - VERTICLE PICKETS SPACE 4" O.C.
6	WINDOW - SEE SCHEDULES A7.1a
7	DOOR - SEE SCHEDULES A7.1a
8	OVERHEAD GARAGE DOOR - SEE SCHEDULE A7.1a
9	METAL ROOFING O' UNDERLAYMENT O' ROOF SHEATHING
10	FASCIA - SEE DETAILS
11	METAL COLLECTOR HEAD & DOWNSPOUT - SEE DETAIL 6/A12.5
12	LIGHT FIXTURE
13	UNIT ADDRESS LOCATION
14	BUILDING ADDRESS LOCATION - TO BE LOCATED ON (1) SIDE ONLY
15	ELECTRICAL METERS - REFER TO ELECTRICAL PLANS
16	GAS METERS - REFER TO UTILITY PLANS FOR SPECIFIC LOCATIONS

GENERAL NOTES

- ALL WALL PENETRATIONS BY MECHANICAL & PLUMBING SYSTEMS ARE REQUIRED TO BE WATERPROOFED. SEE DETAILS 6, 7, & 8/A12.4 FOR TYPICAL WATERPROOFING. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY SHOULD QUESTIONS ARISE OR CONDITIONS ARE REVEALED THAT ARE NOT COVERED BY THE DETAILS.
- 15 # WRAP AT STUCCO WALLS W/ FASTWALL STUCCO PRODUCT

Rev	Date	By	Description

SONATA
At The Trails, Tract 1
ALBUQUERQUE, NEW MEXICO
SONATA 1, LLC

Sheet Title:
**BLDG TYPE 6
EXTERIOR
ELEVATIONS**

Drawn/Checked By:
m/RPS

Date:
MARCH 27, 2020

Project Number:
920016

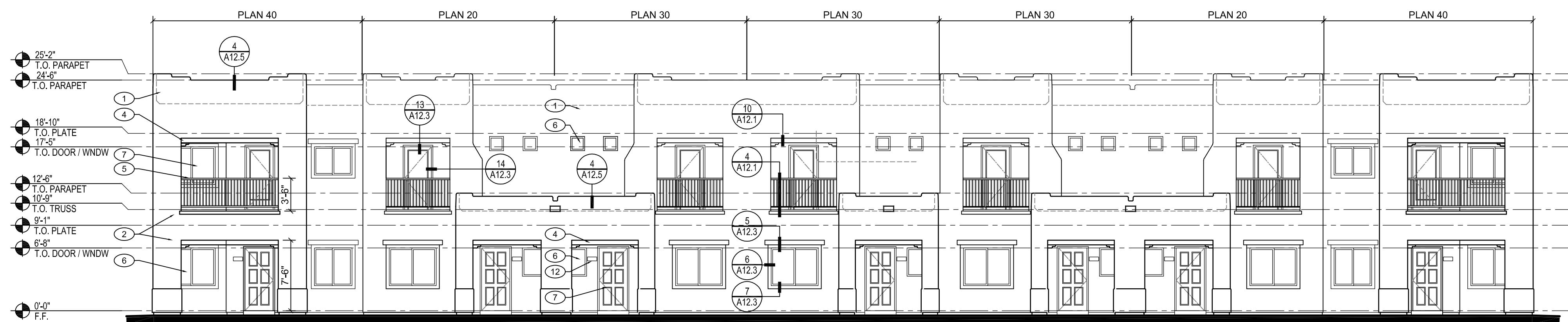
Sheet Number:
A1.3
BUILDING TYPE 6

R:\2020 Residential Projects\02-Galway-Sonata\02. Drawings\05. Working Set\Sheets\920016-A1-3.dwg Rick Salyer 3/30/2020 Project No. 915007 © 2020 PA Residential, LLC.

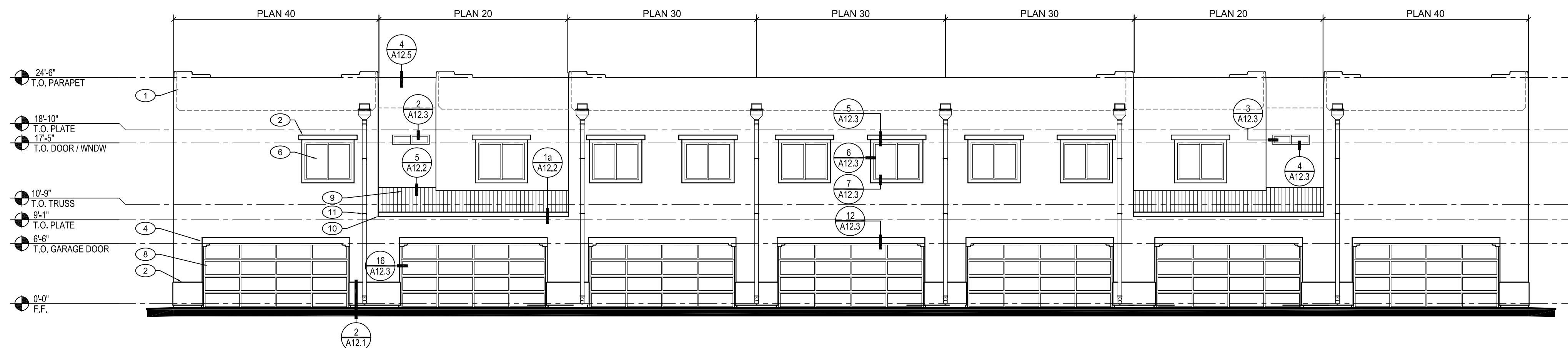
Seal

PROGRESS SET
 NOT FOR CONSTRUCTION
 MARCH 27, 2020

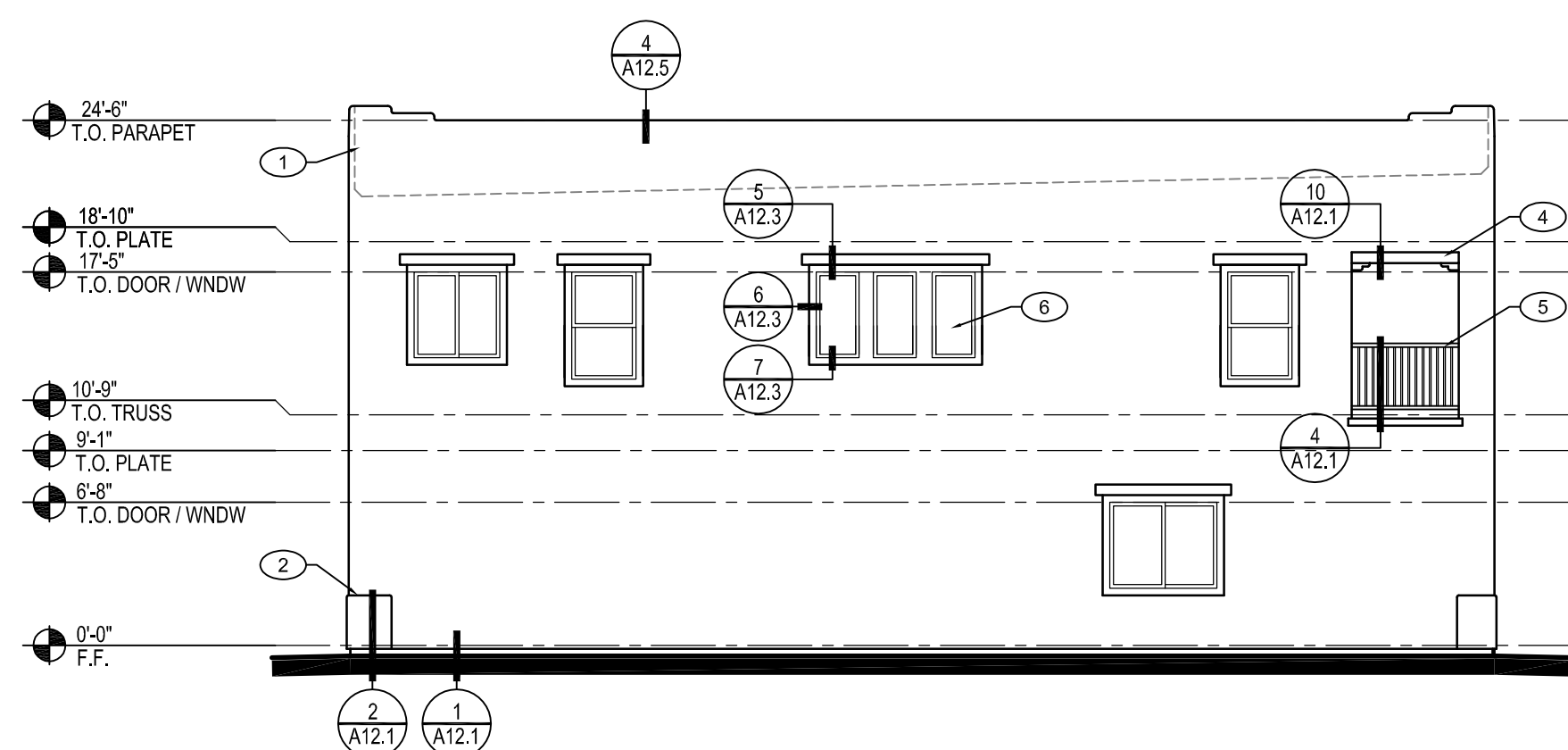
These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.
 © COPYRIGHT 2020, HOWARD PERLMAN, A.I.A.



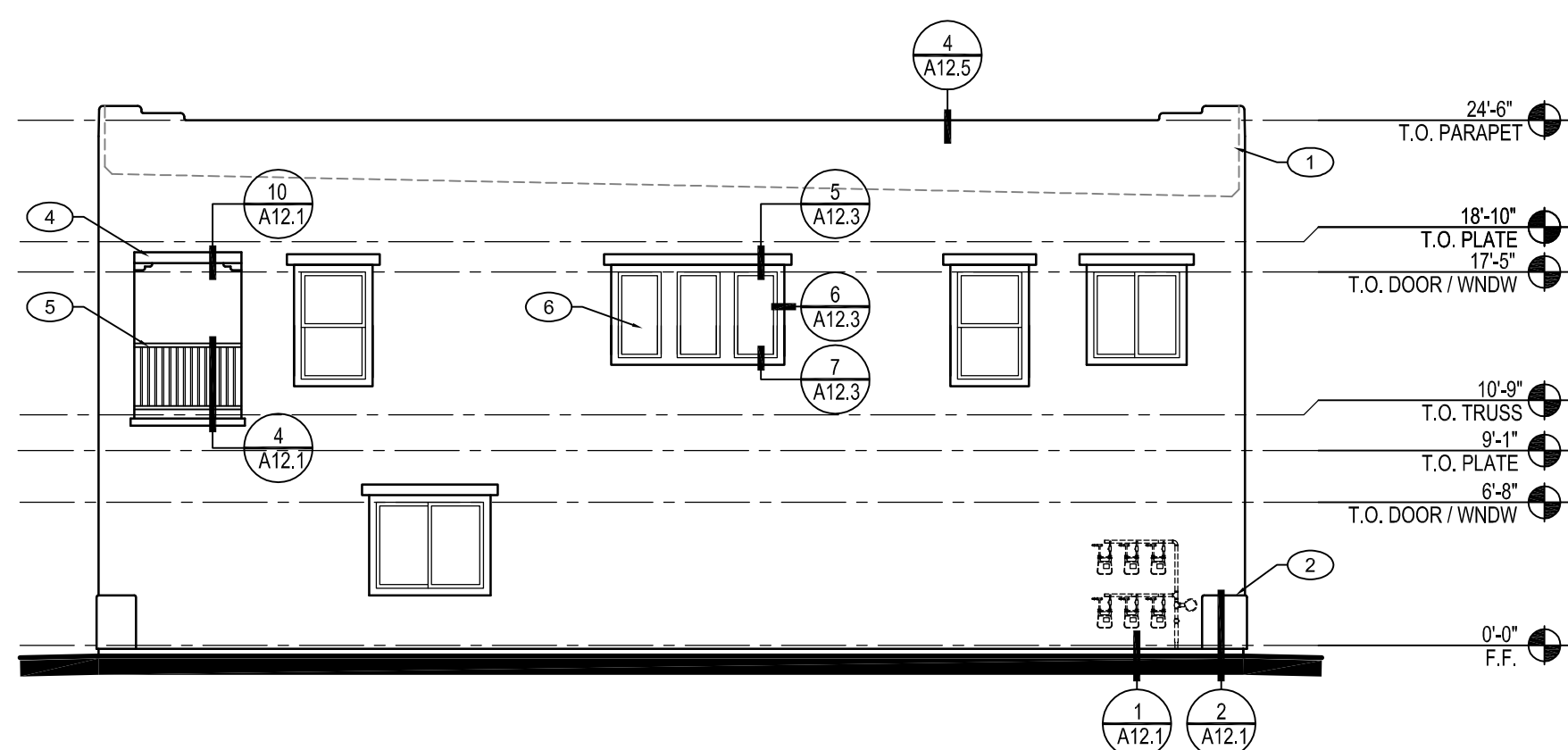
A BUILDING TYPE 7 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY



B BUILDING TYPE 7 - REAR ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY



C BUILDING TYPE 6 - SIDE ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY



D BUILDING TYPE 6 - SIDE ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY

KEY NOTES

#	DESCRIPTION
1	2-COAT EXTERIOR PLASTER
2	FOAM POPOUT
3	CONTROL JOINT - SEE DETAIL 7/A12.1
4	FAUX WOOD LINTEL
5	WROUGHT IRON RAILING - VERTICLE PICKETS SPACE 4" O.C.
6	WINDOW - SEE SCHEDULES A7.1a
7	DOOR - SEE SCHEDULES A7.1a
8	OVERHEAD GARAGE DOOR - SEE SCHEDULE A7.1a
9	METAL ROOFING O' UNDERLAYMENT O' ROOF SHEATHING
10	FASCIA - SEE DETAILS
11	METAL COLLECTOR HEAD & DOWNSPOUT - SEE DETAIL 6/A12.5
12	LIGHT FIXTURE
13	UNIT ADDRESS LOCATION
14	BUILDING ADDRESS LOCATION - TO BE LOCATED ON (1) SIDE ONLY
15	ELECTRICAL METERS - REFER TO ELECTRICAL PLANS
16	GAS METERS - REFER TO UTILITY PLANS FOR SPECIFIC LOCATIONS

GENERAL NOTES

- ALL WALL PENETRATIONS BY MECHANICAL & PLUMBING SYSTEMS ARE REQUIRED TO BE WATERPROOFED. SEE DETAILS 6, 7, & 8/A12.4 FOR TYPICAL WATERPROOFING. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY SHOULD QUESTIONS ARISE OR CONDITIONS ARE REVEALED THAT ARE NOT COVERED BY THE DETAILS.
- 15 # WRAP AT STUCCO WALLS W/ FASTWALL STUCCO PRODUCT

Rev	Date	By	Description

SONATA
 At The Trails, Tract 1
 ALBUQUERQUE, NEW MEXICO
 SONATA 1, LLC

Sheet Title:

BLDG TYPE 7 - ELEVATIONS

Drawn/Checked By
 m/RPS

Date
 MARCH 27, 2020

Project Number
 920016

Sheet Number

A2.3
 BUILDING TYPE 7

Seal

PROGRESS SET
 NOT FOR CONSTRUCTION
 MARCH 27, 2020

These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.
 © COPYRIGHT 2020, HOWARD PERLMAN, A.I.A.

© COPYRIGHT 2020, HOWARD PERLMAN, A.I.A.

Description

By

Date

Rev

SONATA
 At The Trails, Tract 1
 ALBUQUERQUE, NEW MEXICO
 SONATA 1, LLC

Sheet Title:

BLDG TYPE 8 - ELEVATIONS

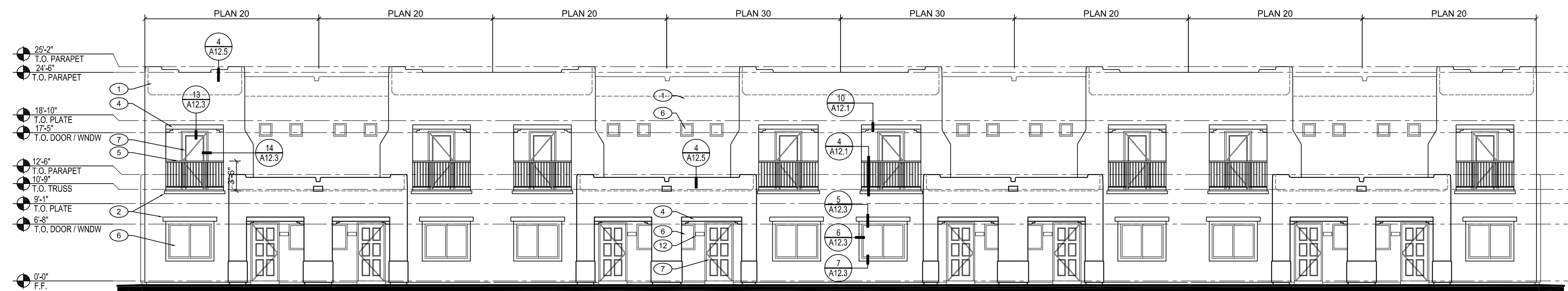
Drawn/Checked By
 m/RPS

Date
 MARCH 27, 2020

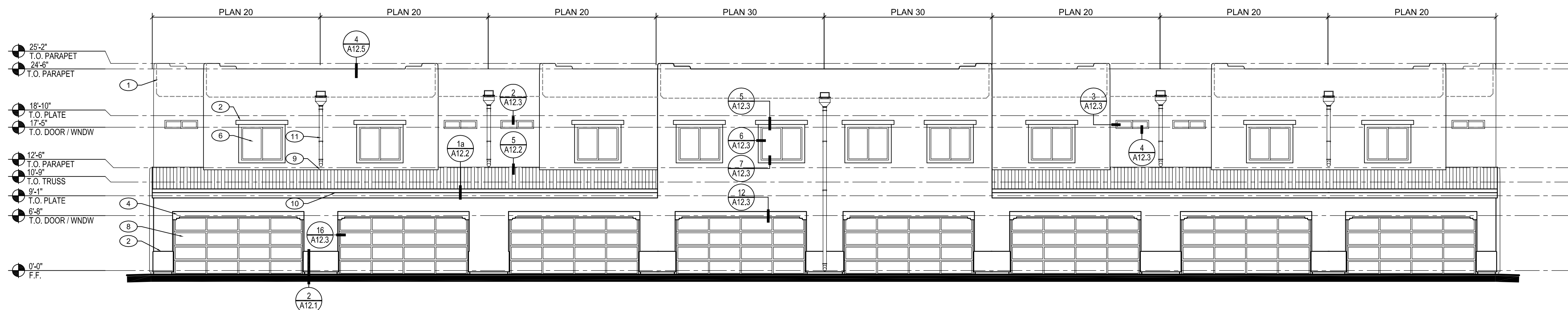
Project Number
 920016

Sheet Number

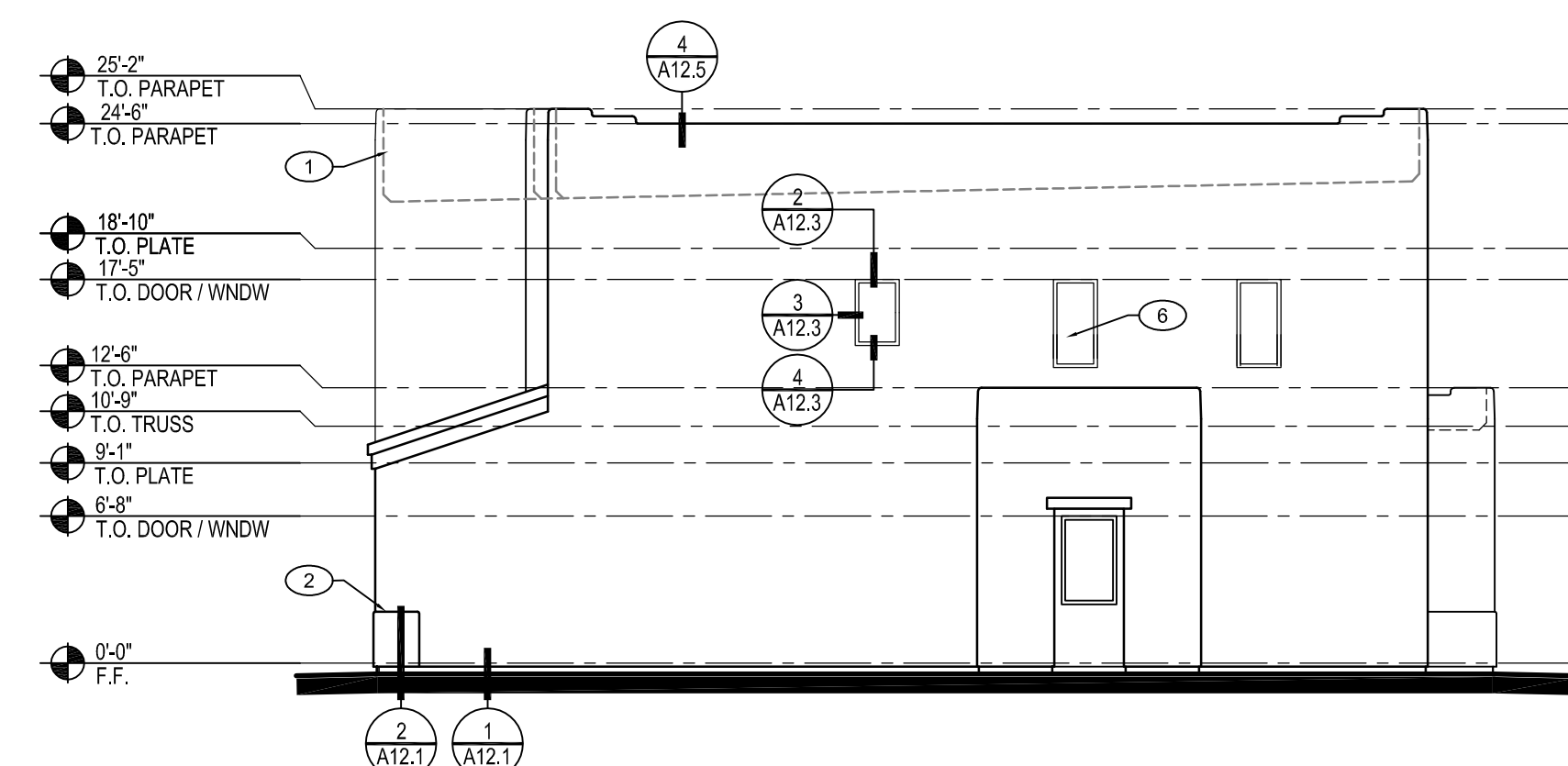
A3.3
 BUILDING TYPE 8



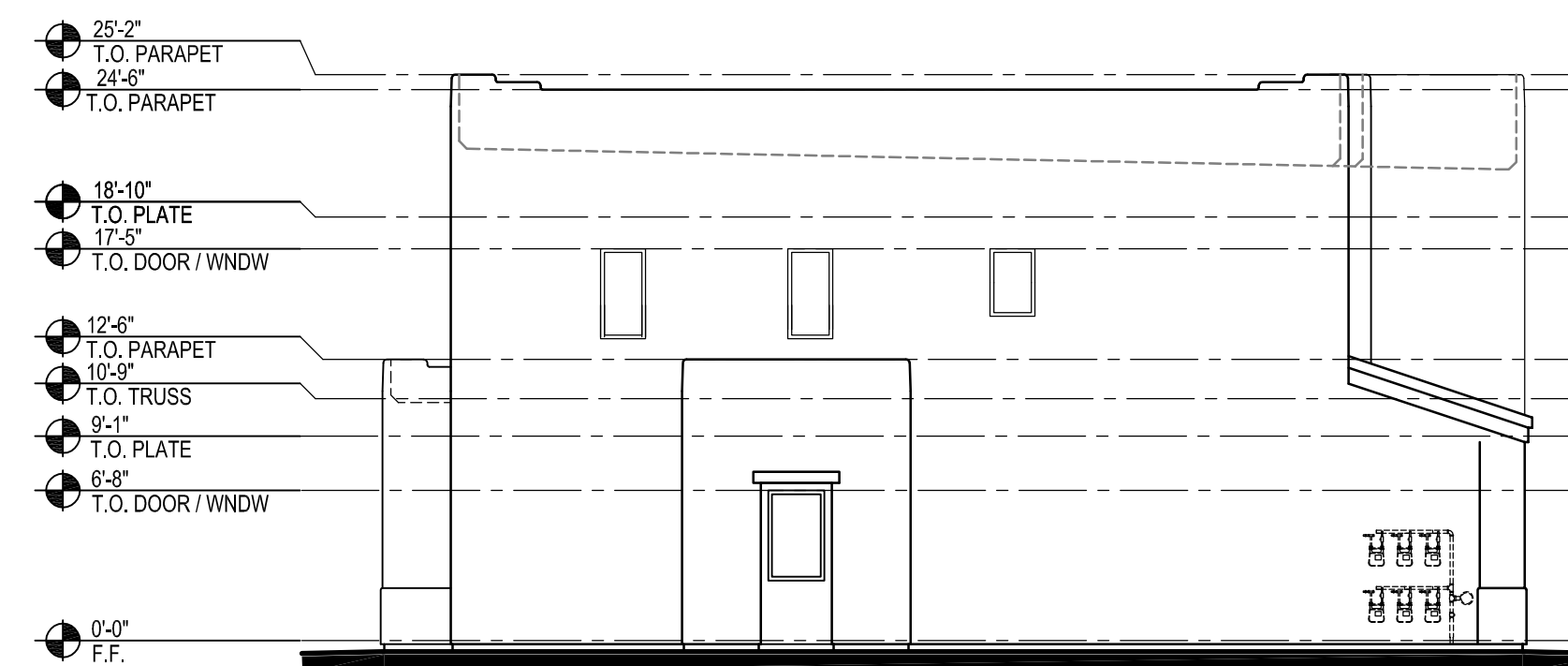
A BUILDING TYPE 8 - FRONT ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY



B BUILDING TYPE 8 - REAR ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY



C BUILDING TYPE 8 - SIDE ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY



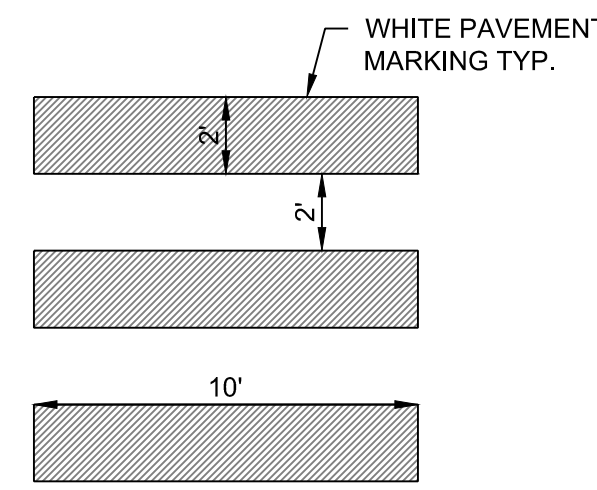
D BUILDING TYPE 8 - SIDE ELEVATION
 SCALE: 1/8" = 1'-0" 2-STORY

KEY NOTES

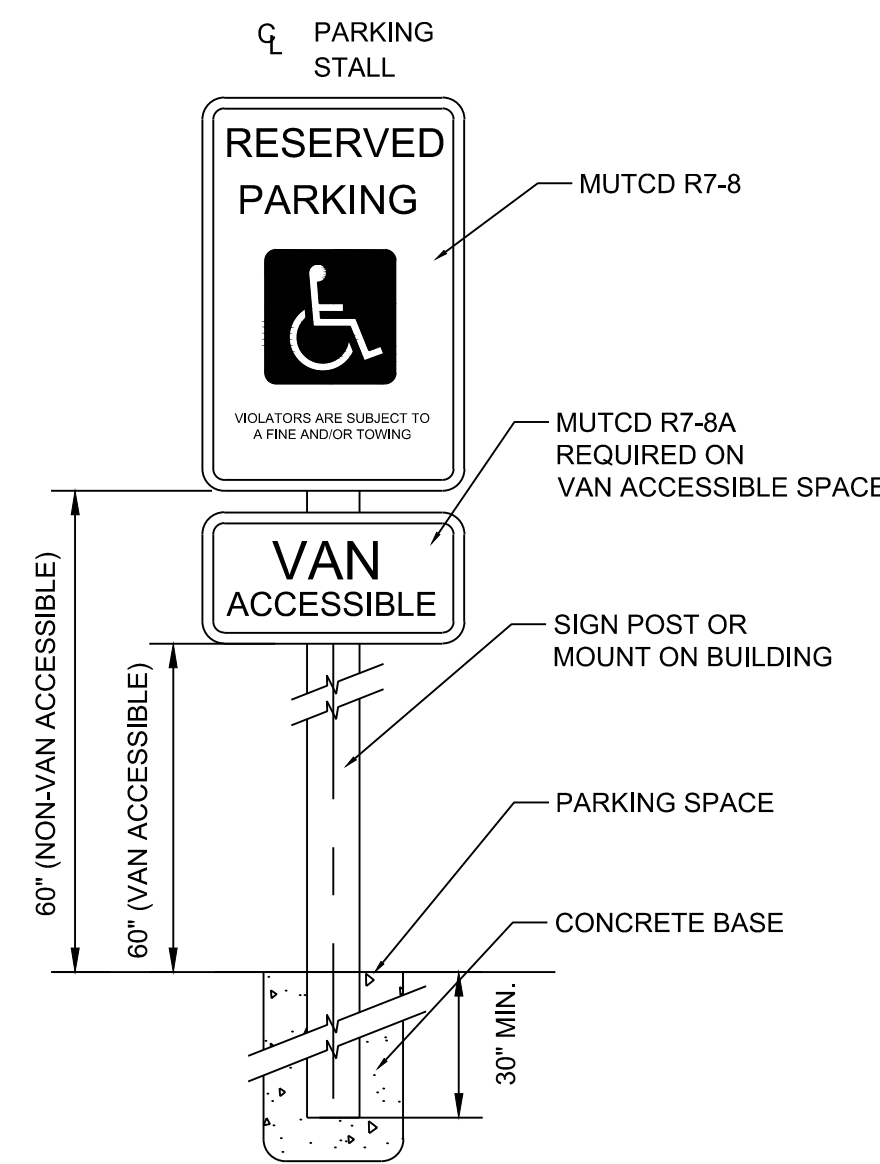
#	DESCRIPTION
1	2-COAT EXTERIOR PLASTER
2	FOAM POPOUT
3	CONTROL JOINT - SEE DETAIL 7/A12.1
4	FAUX WOOD LINTEL
5	WROUGHT IRON RAILING - VERTICLE PICKETS SPACE 4" O.C.
6	WINDOW - SEE SCHEDULES A7.1a
7	DOOR - SEE SCHEDULES A7.1a
8	OVERHEAD GARAGE DOOR - SEE SCHEDULE A7.1a
9	METAL ROOFING O/ UNDERLAYMENT O/ ROOF SHEATHING
10	FASCIA - SEE DETAILS
11	METAL COLLECTOR HEAD & DOWNSPOUT - SEE DETAIL 6/A12.5
12	LIGHT FIXTURE
13	UNIT ADDRESS LOCATION
14	BUILDING ADDRESS LOCATION - TO BE LOCATED ON (1) SIDE ONLY
15	ELECTRICAL METERS - REFER TO ELECTRICAL PLANS
16	GAS METERS - REFER TO UTILITY PLANS FOR SPECIFIC LOCATIONS

GENERAL NOTES

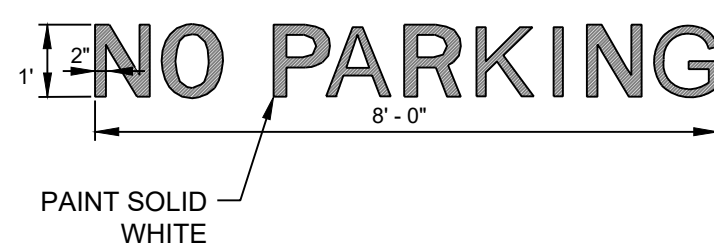
- ALL WALL PENETRATIONS BY MECHANICAL & PLUMBING SYSTEMS ARE REQUIRED TO BE WATERPROOFED. SEE DETAILS 6, 7, & 8/A12.4 FOR TYPICAL WATERPROOFING. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY SHOULD QUESTIONS ARISE OR CONDITIONS ARE REVEALED THAT ARE NOT COVERED BY THE DETAILS.
- 15 # WRAP AT STUCCO WALLS W/ FASTWALL STUCCO PRODUCT



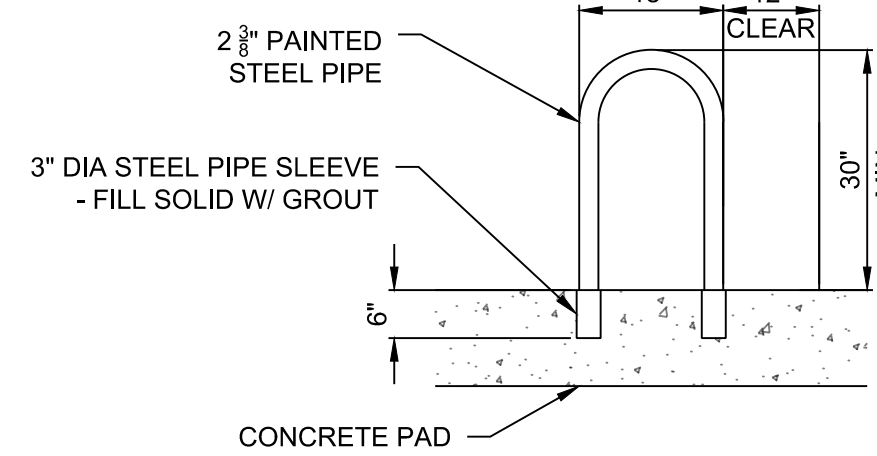
1 CROSS-WALK STRIPING DETAIL
NO SCALE



5 ADA PARKING SIGN DETAIL
NO SCALE

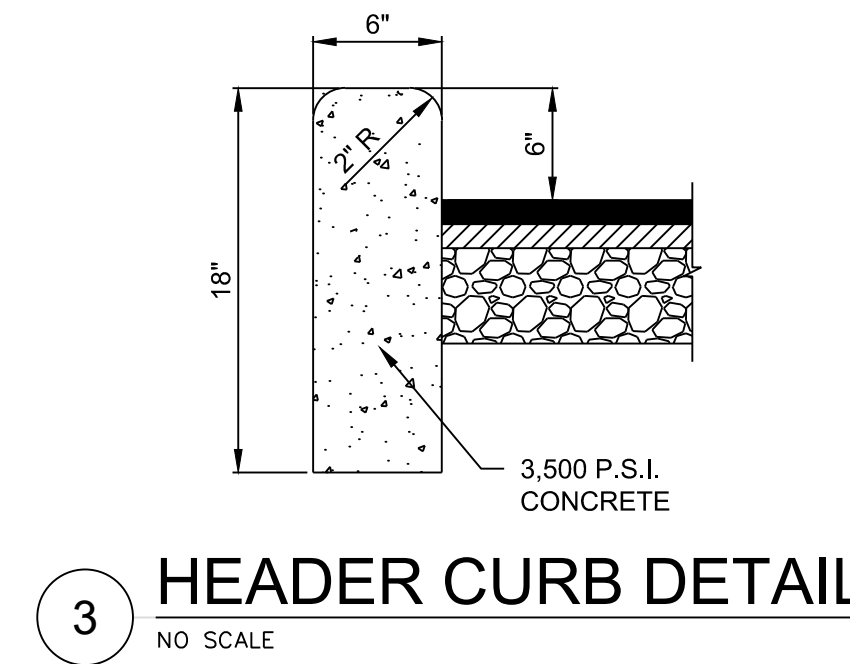


10 "NO PARKING" PAINT MARKING DETAIL
NO SCALE

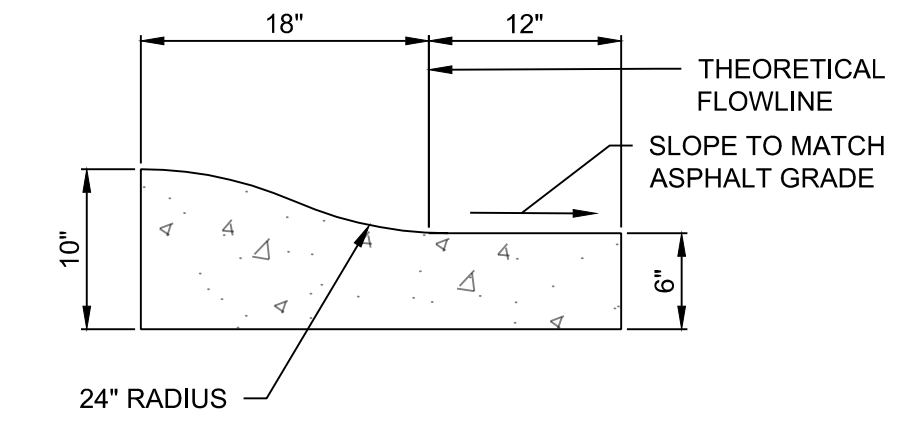


2 BICYCLE PARKING DETAIL
NO SCALE

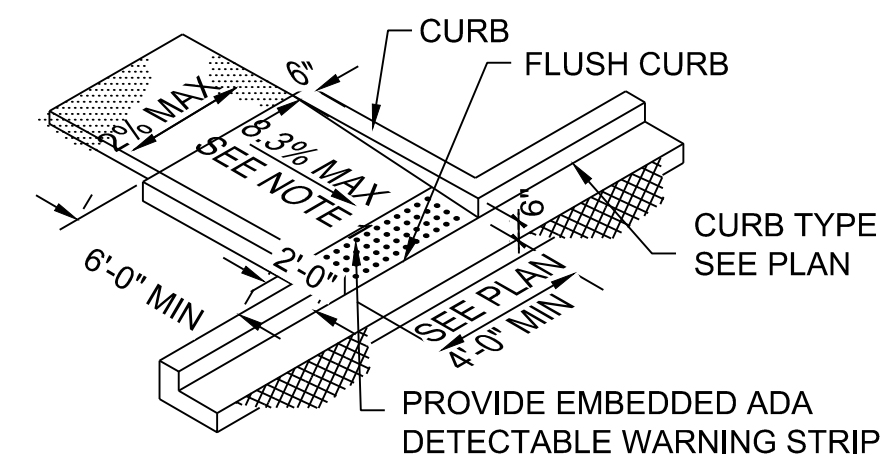
- BICYCLE RACK NOTES:**
1. SEE SITE PLAN FOR BIKE RACK LOCATION.
 2. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMBI/TOASTER RACKS ARE NOT ALLOWED.
 3. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
 4. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 5. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 6. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 7. BICYCLE RACK SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
 8. BICYCLE PARKING SPACES SHALL BE AT LEAST 6' LONG AND 2' WIDE.



3 HEADER CURB DETAIL
NO SCALE

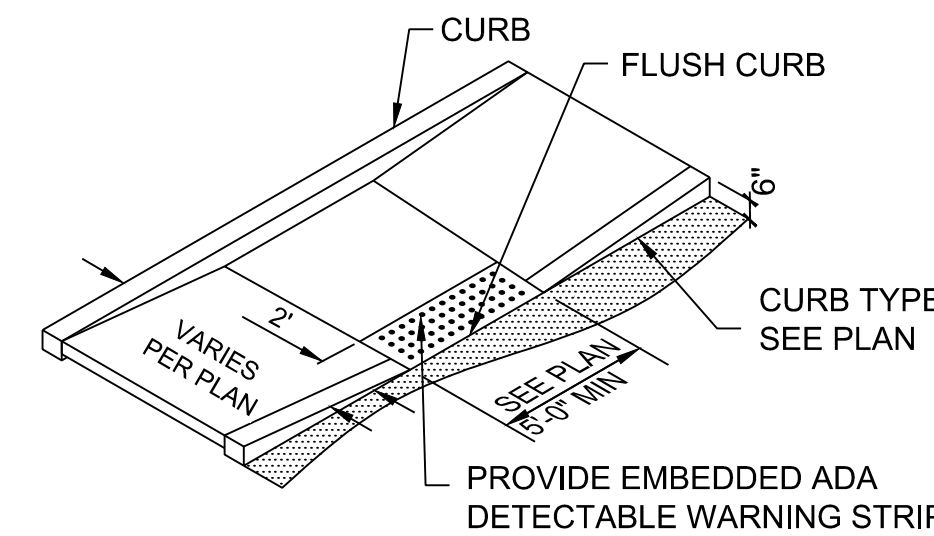


4 ROLL CURB DETAIL
NO SCALE



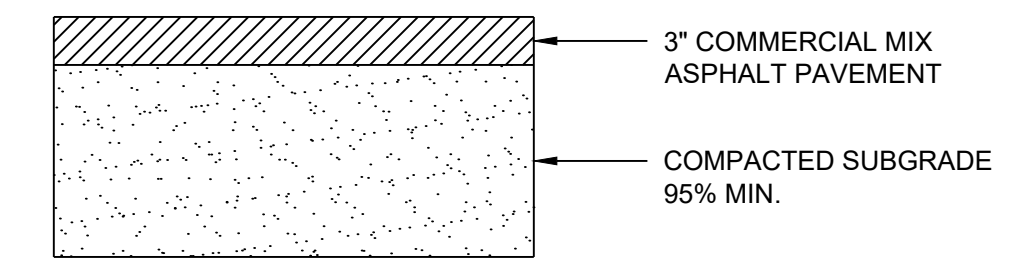
- NOTES:**
1. THE CURB RAMP RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET. WHEN APPLYING THE 15 FEET MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS POSSIBLE.
 2. CROSS SLOPE NOT TO EXCEED 2%.

6 ADA RAMP TYPE A DETAIL
NO SCALE

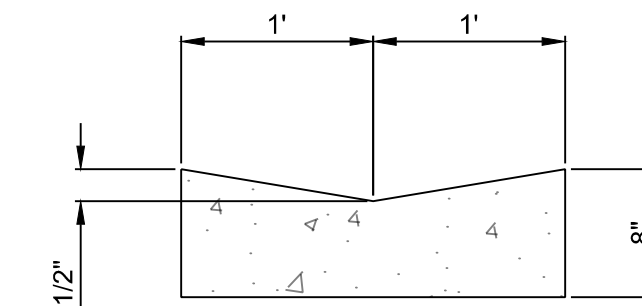


- NOTES:**
1. LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.3%.
 2. CROSS RAMP SLOPE NOT TO EXCEED 2.0%.
 3. PROVIDE 5' x 5' MIN. LANDING AT TOP AND BOTTOM OF RAMP. LANDING SLOPE NOT TO EXCEED 2.0% IN ALL DIRECTIONS.

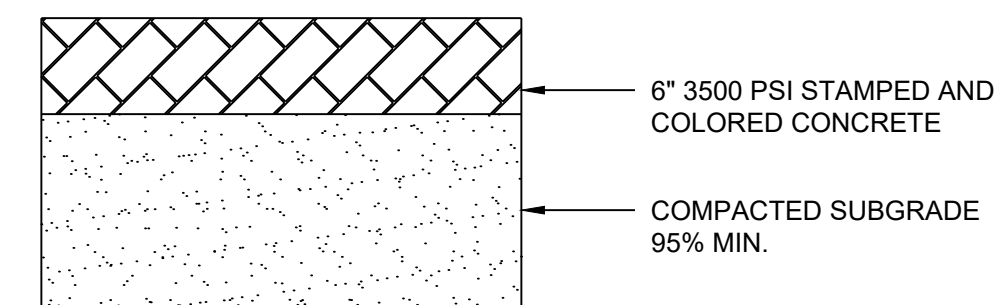
7 ADA RAMP TYPE B DETAIL
NO SCALE



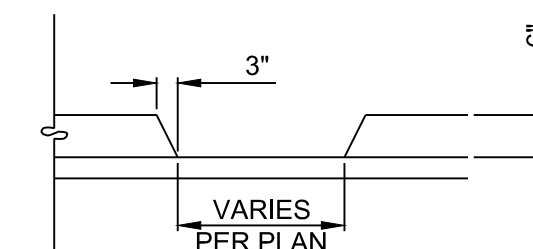
8 ASPHALT PAVEMENT SECTION
NO SCALE



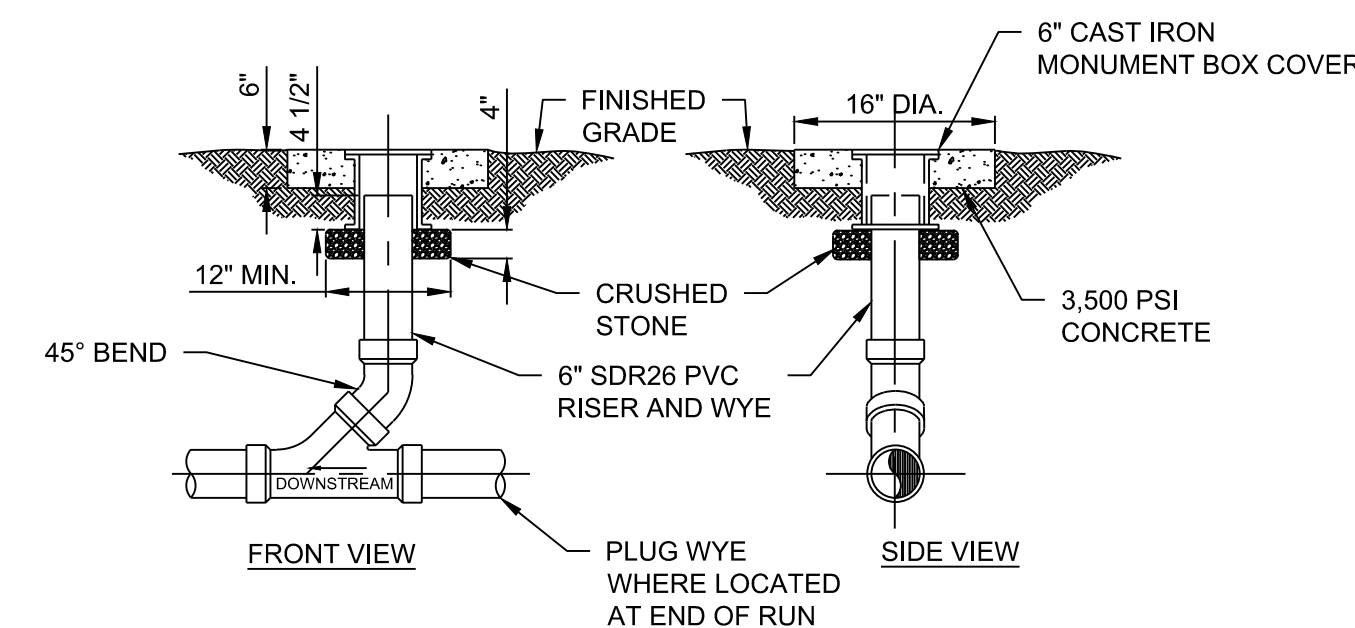
9 ALLEY GUTTER DETAIL
NO SCALE



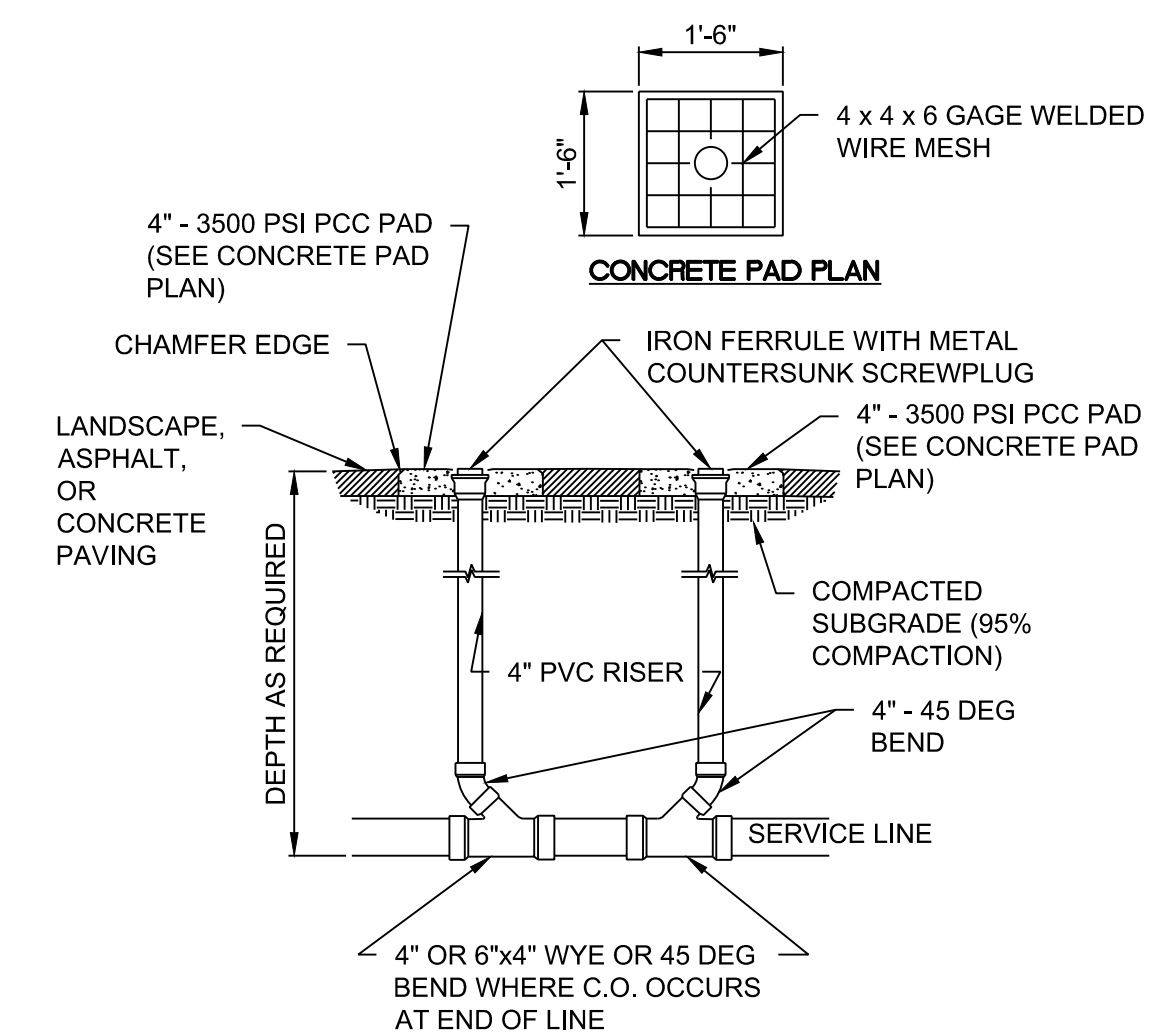
11 MEDIAN CONCRETE DETAIL
NO SCALE



12 CURB CUT DETAIL
NO SCALE



14 SEWER SINGLE CLEAN OUT DETAIL
NO SCALE



13 SEWER DOUBLE CLEAN OUT DETAIL
NO SCALE

DESIGNED BY		DRAWN BY		CHECKED BY		DATE	
RESPEC		RESPEC		RESPEC		4.30.2020	
COMMUNITY DESIGN SOLUTIONS 897 JEFFERSON STREET SUITE 101 WWW.RESPEC.COM PHONE: 605.925.9718							

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION
4/2020

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



PROJECT NAME:
SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE:
DETAIL

SUBMITTED FOR:
DRB SITE PLAN

SHEET NUMBER:
C-500



Current DRC
Project Number: _____

FIGURE 12

Date Submitted: April 30, 2020

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

Sonata Trails Unit 4 Apartments

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 1, 2, and 3, The Trails Unit 4

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		Paving 42' Edge - Face	Asphalt pavement, median, striping, curb & gutter, and asphalt trail	Universe Blvd	Northern boundary of Tract 2	370' south of Tree Line Ave	/	/	/
			1/2 intersection (east side) of Universe Blvd and Tree Line Ave and ADA ramps	Universe Blvd and Tree Line Ave			/	/	/
		70' F-F	Asphalt pavement, median, striping, curb & gutter, and sidewalk (north side only)	Tree Line Ave	Universe Blvd	480' east of Universe Blvd	/	/	/
		27' Edge - Face	Asphalt pavement, striping, curb & gutter (north side only), sidewalk (north side only), and transition with asphalt curb	Tree Line Ave	480' east of Universe Blvd	Chatsworth Dr	/	/	/
			1/4 intersection (northwest corner) of Tree Line Ave and Chatsworth Dr and ADA ramp	Tree Line Ave and Chatsworth Dr			/	/	/
		52'	Private entrance with valley gutter and ADA ramps	Tree Line Ave 500' east of Universe Blvd			/	/	/
		27' Edge - Face	Asphalt pavement, median, striping, curb & gutter, and sidewalk on west side only	Chatsworth Dr	Tree Line Ave	800' north of Tree Line Ave	/	/	/
			Curb & gutter and sidewalk on west side only	Chatsworth Dr	800' north of Tree Line Ave	1000' north of Tree Line Ave	/	/	/
		36'	Private entrance with valley gutter and ADA ramps	Chatsworth Dr 500' north of Tree Line Ave			/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	Storm Drain							
		60" RCP	50 LF storm drain lateral with manhole	Universe Blvd and Tree Line Ave intersection			/	/	/
<input type="text"/>	<input type="text"/>	36" RCP	50 LF storm drain lateral with connection to existing manhole	Universe Blvd 260' south of Tree Line Ave			/	/	/
<input type="text"/>	<input type="text"/>	18"-36" RCP	Double type A and double type C inlets with 1300 LF storm drain	Chatsworth Dr	Tree Line Ave	1300' north of Tree Line Ave	/	/	/
<input type="text"/>	<input type="text"/>	Water							
<input type="text"/>	<input type="text"/>	8"	1000 LF water main	Tree Line Ave	Universe Blvd	Chatsworth Dr	/	/	/
<input type="text"/>	<input type="text"/>	8"	1000 LF water main	Chatsworth Dr	Tree Line Ave	1000' north of Tree Line Ave	/	/	/
<input type="text"/>	<input type="text"/>	Sewer							
<input type="text"/>	<input type="text"/>	8"	1000 LF sewer main	Chatsworth Dr	Tree Line Ave	1000' north of Tree Line Ave	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeremy Shell
NAME (print)

RESPEC
FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER