

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Sonata Trails Unit 4 Apartments
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Tracts 1, 2, and 3, The Trails Unit 4
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		Paving 42' Edge - Face	Asphalt pavement, median, striping, curb & gutter	Universe Blvd	Northern boundary of Tract 3	370' south of Tree Line Ave	/	/	/
		42' Edge - Face	Asphalt pavement, median, striping, curb & gutter, and 10' asphalt trail (east side only)	Universe Blvd	Southern boundary of Tract 2	530' north of Tree Line Ave	/	/	/
			1/2 intersection (east side) of Universe Blvd and Tree Line Ave and ADA ramps	Universe Blvd and Tree Line Ave			/	/	/
		72' F-F	Asphalt pavement, median, striping, curb & gutter, and 6' sidewalk (north side only)	Tree Line Ave	Universe Blvd	480' east of Universe Blvd	/	/	/
		28' Face - Face	Asphalt pavement, striping, curb & gutter (north side only), 6' sidewalk (north side only), and transition with asphalt curb	Tree Line Ave	480' east of Universe Blvd	Chatsworth Dr	/	/	/
			1/4 intersection (northwest corner) of Tree Line Ave and Chatsworth Dr and ADA ramp	Tree Line Ave and Chatsworth Dr			/	/	/
		52'	Private entrance with valley gutter and ADA ramps	Tree Line Ave 500' east of Universe Blvd			/	/	/
		28' Face - Face	Asphalt pavement, median, striping, curb & gutter, and 6' sidewalk on west side only	Chatsworth Dr	Tree Line Ave	Oak Ridge Dr	/	/	/
			1/2 intersection (west half) of Oak Ridge Dr and Chatsworth Dr and ADA ramp	Chatsworth Dr and Oak Ridge Dr			/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
			Northbound and southbound 75' left turn lanes plus transitions	Universe Blvd at Tree Line Ave intersection			/	/	/
			Northbound right turn lane extension for a total storage length of 240' plus transition	Universe Blvd at Paseo Del Norte intersection			/	/	/
		36'	Private entrance with valley gutter and ADA ramps	Chatsworth Dr 500' north of Tree Line Ave			/	/	/
		72' F-F	Asphalt pavement, median, striping, curb & gutter, and 6' sidewalk both sides	Oak Ridge Dr. 1000' north of Tree Line	Western boundary of Tract 1	Chatsworth Dr	/	/	/
			Storm Drain						
		30" RCP	50 LF storm drain lateral with manhole	Universe Blvd and Tree Line Ave intersection			/	/	/
		36" RCP	50 LF storm drain lateral with connection to existing manhole	Universe Blvd 260' south of Tree Line Ave			/	/	/
		24"-42" RCP	Double type A and double type C inlets with 1300 LF storm drain	Chatsworth Dr	Tree Line Ave	Oak Ridge Dr	/	/	/
		36" RCP	Double type C inlets with 300 LF storm drain	Oak Ridge Dr	Chatsworth Dr	300' west	/	/	/
			Water						
		8"	1000 LF water main	Tree Line Ave	Universe Blvd	Chatsworth Dr	/	/	/
		10"	500 LF water main	Chatsworth Dr	Tree Line Ave	Private Entrance	/	/	/
		10"	500 LF water main (PHASE 2)	Chatsworth Dr	Private Entrance	Oak Ridge Dr	/	/	/
		8"	300 LF water main (PHASE 2)	Oak Ridge Dr	Western Boundary of Tract 1	Chatsworth Dr	/	/	/
		8"	1300 LF water main	Private property within 20' public waterline easement	Chatsworth Dr	Universe Blvd	/	/	/
			Sewer						
		8"	1000 LF sewer main (PHASE 2)	Chatsworth Dr	Tree Line Ave	Oak Ridge Dr	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Approval		
							Inspector	Private P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature							City User Department Signature		
Date							Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeremy Shell
NAME (print)

RESPEC
FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

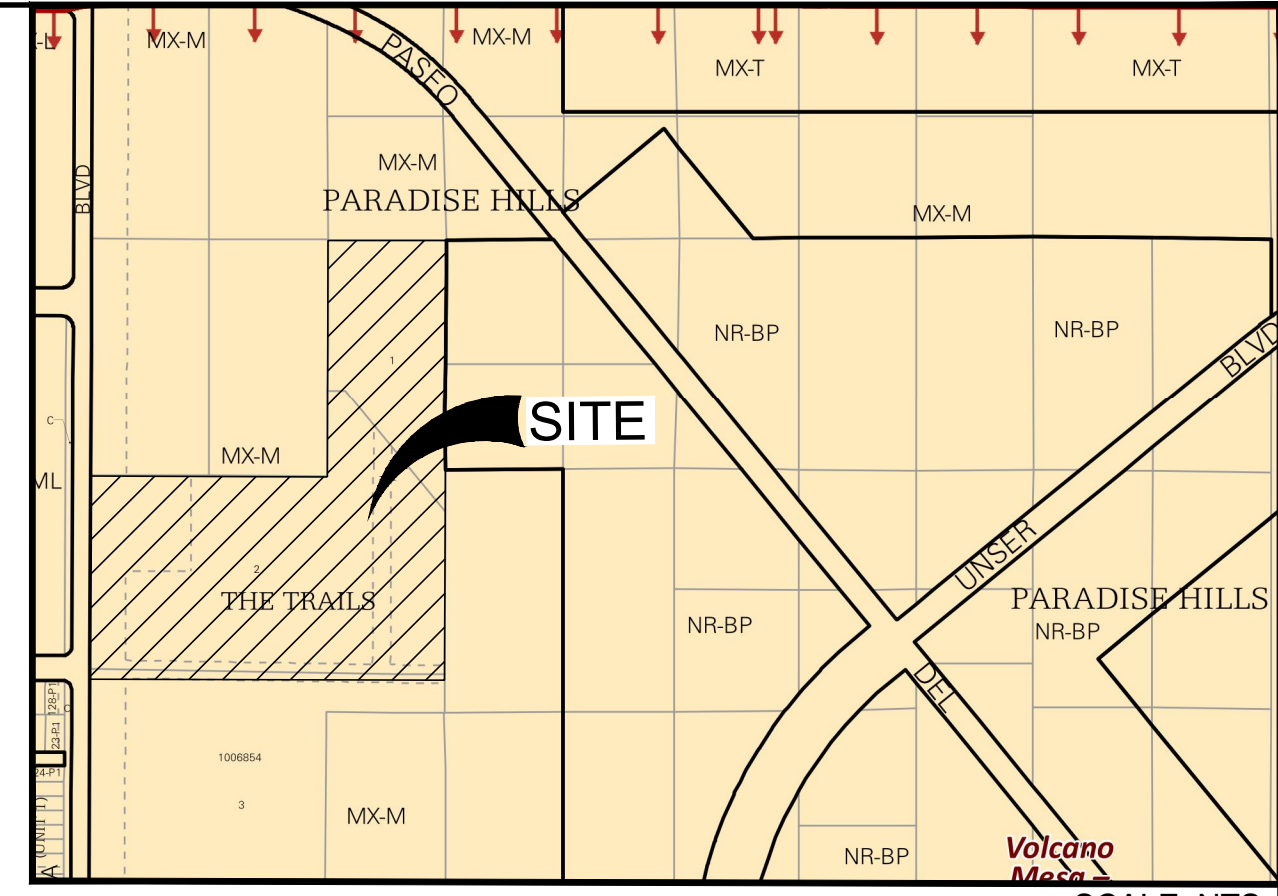
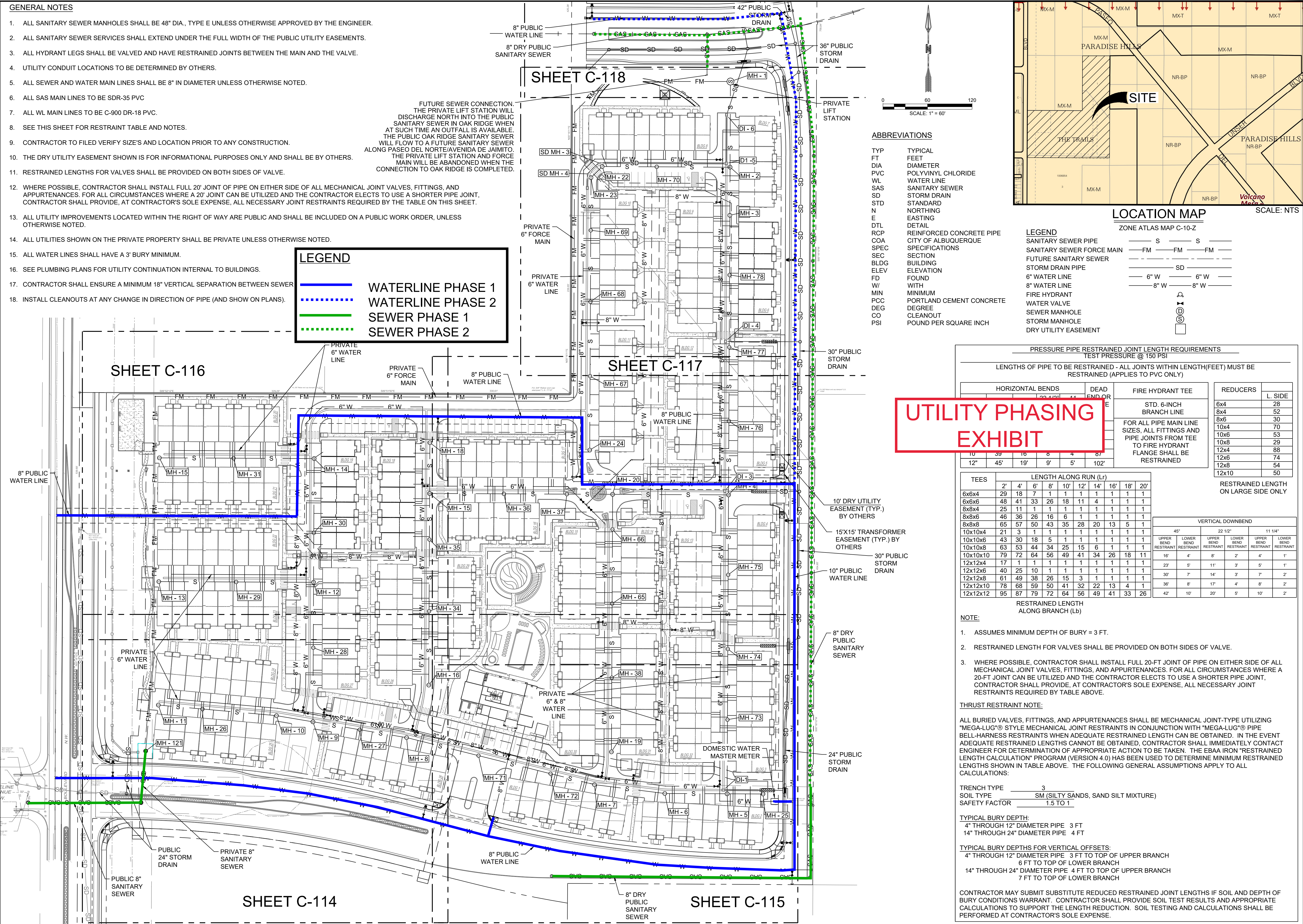
GENERAL NOTES

- ALL SANITARY SEWER MANHOLES SHALL BE 48" DIA., TYPE E UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL SANITARY SEWER SERVICES SHALL EXTEND UNDER THE FULL WIDTH OF THE PUBLIC UTILITY EASEMENTS.
- ALL HYDRANT LEGS SHALL BE VALVED AND HAVE RESTRAINED JOINTS BETWEEN THE MAIN AND THE VALVE.
- UTILITY CONDUIT LOCATIONS TO BE DETERMINED BY OTHERS.
- ALL SEWER AND WATER MAIN LINES SHALL BE 8" IN DIAMETER UNLESS OTHERWISE NOTED.
- ALL SAS MAIN LINES TO BE SDR-35 PVC
- ALL WL MAIN LINES TO BE C-900 DR-18 PVC.
- SEE THIS SHEET FOR RESTRAINT TABLE AND NOTES.
- CONTRACTOR TO FILED VERIFY SIZE'S AND LOCATION PRIOR TO ANY CONSTRUCTION.
- THE DRY UTILITY EASEMENT SHOWN IS FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE BY OTHERS.
- RESTRAINED LENGTHS FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
- WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20' JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20' JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY THE TABLE ON THIS SHEET.
- ALL UTILITY IMPROVEMENTS LOCATED WITHIN THE RIGHT OF WAY ARE PUBLIC AND SHALL BE INCLUDED ON A PUBLIC WORK ORDER, UNLESS OTHERWISE NOTED.
- ALL UTILITIES SHOWN ON THE PRIVATE PROPERTY SHALL BE PRIVATE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL HAVE A 3' BURY MINIMUM.
- SEE PLUMBING PLANS FOR UTILITY CONTINUATION INTERNAL TO BUILDINGS.
- CONTRACTOR SHALL ENSURE A MINIMUM 18" VERTICAL SEPARATION BETWEEN SEWER
- INSTALL CLEANOUTS AT ANY CHANGE IN DIRECTION OF PIPE (AND SHOW ON PLANS).

LEGEND

- WATERLINE PHASE 1
- - - - WATERLINE PHASE 2
- SEWER PHASE 1
- - - - SEWER PHASE 2

FUTURE SEWER CONNECTION. THE PRIVATE LIFT STATION WILL DISCHARGE NORTH INTO THE PUBLIC SANITARY SEWER IN OAK RIDGE WHEN AT SUCH TIME AN OUTFALL IS AVAILABLE. THE PUBLIC OAK RIDGE SANITARY SEWER WILL FLOW TO A FUTURE SANITARY SEWER ALONG PASEO DEL NORTE/AVENIDA DE JAIMITO. THE PRIVATE LIFT STATION AND FORCE MAIN WILL BE ABANDONED WHEN THE CONNECTION TO OAK RIDGE IS COMPLETED.



ABBREVIATIONS

- | | |
|------|------------------------------------|
| TYP | TYPICAL |
| FT | FEET |
| DIA | DIAMETER |
| PVC | POLYVINYL CHLORIDE |
| WL | WATER LINE |
| SAS | SANITARY SEWER |
| SD | STORM DRAIN |
| STD | STANDARD |
| N | NORTHING |
| E | EASTING |
| DTL | DETAIL |
| RCP | REINFORCED CONCRETE PIPE |
| COA | CITY OF ALBUQUERQUE SPECIFICATIONS |
| SEC | SECTION |
| BLDG | BUILDING |
| ELEV | ELEVATION |
| FD | FOUND |
| W | WITH |
| MIN | MINIMUM |
| PCC | PORTLAND CEMENT CONCRETE |
| DEG | DEGREE |
| CO | CLEANOUT |
| PSI | POUND PER SQUARE INCH |

LEGEND

- | | |
|---------------------------|-----------------|
| SANITARY SEWER PIPE | — S — S — |
| SANITARY SEWER FORCE MAIN | — FM — FM — |
| FUTURE SANITARY SEWER | — FM — FM — |
| STORM DRAIN PIPE | — SD — |
| 6" WATER LINE | — 6" W — 6" W — |
| 8" WATER LINE | — 8" W — 8" W — |
| FIRE HYDRANT | — H — |
| WATER VALVE | — V — |
| SEWER MANHOLE | — M — |
| STORM MANHOLE | — S — |
| DRY UTILITY EASEMENT | — D — |

UTILITY PHASING EXHIBIT

PRESSURE PIPE RESTRAINED JOINT LENGTH REQUIREMENTS
TEST PRESSURE @ 150 PSI

LENGTHS OF PIPE TO BE RESTRAINED - ALL JOINTS WITHIN LENGTH(FEET) MUST BE RESTRAINED (APPLIES TO PVC ONLY)

TEES	LENGTH ALONG RUN (L)									
	2'	4'	6'	8'	10'	12'	14'	16'	18'	20'
6x6x4	29	18	7	1	1	1	1	1	1	1
6x6x6	48	41	33	26	18	11	4	1	1	1
8x8x4	25	11	1	1	1	1	1	1	1	1
8x8x6	46	36	26	16	6	1	1	1	1	1
8x8x8	65	57	50	43	35	28	20	13	5	1
10x10x4	21	3	1	1	1	1	1	1	1	1
10x10x6	43	30	18	5	1	1	1	1	1	1
10x10x8	63	53	44	34	25	15	6	1	1	1
10x10x10	79	72	64	56	49	41	34	26	18	11
12x12x4	17	1	1	1	1	1	1	1	1	1
12x12x6	40	25	10	1	1	1	1	1	1	1
12x12x8	61	49	38	26	15	3	1	1	1	1
12x12x10	78	68	59	50	41	32	22	13	4	1
12x12x12	95	87	79	72	64	56	49	41	33	26

RESTRAINED LENGTH ON LARGE SIDE ONLY

VERTICAL DOWNBEND	45°		22 1/2°		11 1/4°	
	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT
16"	4'	8'	2'	4'	1'	1'
23"	5'	11'	3'	5'	1'	1'
30"	7'	14'	3'	7'	2'	2'
36"	8'	17'	4'	8'	2'	2'
42"	10'	20'	5'	10'	2'	2'

NOTE:

- ASSUMES MINIMUM DEPTH OF BURY = 3 FT.
- RESTRAINED LENGTH FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
- WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20-FT JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20-FT JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY TABLE ABOVE.

THRUST RESTRAINT NOTE:

ALL BURIED VALVES, FITTINGS, AND APPURTENANCES SHALL BE MECHANICAL JOINT-TYPE UTILIZING "MEGA-LUG" STYLE MECHANICAL JOINT RESTRAINTS IN CONJUNCTION WITH "MEGA-LUG" PIPE BELL-HARNES RESTRAINTS WHEN ADEQUATE RESTRAINED LENGTH CAN BE OBTAINED. IN THE EVENT ADEQUATE RESTRAINED LENGTHS CANNOT BE OBTAINED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR DETERMINATION OF APPROPRIATE ACTION TO BE TAKEN. THE EBAA IRON "RESTRAINED LENGTH CALCULATION" PROGRAM (VERSION 4.0) HAS BEEN USED TO DETERMINE MINIMUM RESTRAINED LENGTHS SHOWN IN TABLE ABOVE. THE FOLLOWING GENERAL ASSUMPTIONS APPLY TO ALL CALCULATIONS:

TRENCH TYPE 3
SOIL TYPE SM (SILTY SANDS, SAND SILT MIXTURE)
SAFETY FACTOR 1.5 TO 1

TYPICAL BURY DEPTH:
4" THROUGH 12" DIAMETER PIPE 3 FT
14" THROUGH 24" DIAMETER PIPE 4 FT

TYPICAL BURY DEPTHS FOR VERTICAL OFFSETS:
4" THROUGH 12" DIAMETER PIPE 3 FT TO TOP OF UPPER BRANCH
6 FT TO TOP OF LOWER BRANCH
14" THROUGH 24" DIAMETER PIPE 4 FT TO TOP OF UPPER BRANCH
7 FT TO TOP OF LOWER BRANCH

CONTRACTOR MAY SUBMIT SUBSTITUTE REDUCED RESTRAINED JOINT LENGTHS IF SOIL AND DEPTH OF BURY CONDITIONS WARRANT. CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS AND APPROPRIATE CALCULATIONS TO SUPPORT THE LENGTH REDUCTION. SOIL TESTING AND CALCULATIONS SHALL BE PERFORMED AT CONTRACTOR'S SOLE EXPENSE.

NAME: L:\Active Projects\04022 Sonata Trails\Unit 4 Apartments3_DWG\Onsite Plan_Sets\Sheets\04022 C-200 OVERALL UTILITY PLAN.dwg PLOT DATE: Aug 04, 2020 3:03pm

DESIGNED BY	JDV
DRAWN BY	JDV
CHECKED BY	SG
DATE	6.12.2020

RESPEC COMMUNITY DESIGN SOLUTIONS
897 JEFFERSON STREET SUITE 101
WWW.RESPEC.COM PHONE: 805.953.9718



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONCEPTUAL OVERALL UTILITY PLAN

SUBMITTED FOR: DRB SITE PLAN

SHEET NUMBER: C-113

NAME: L:\Active Projects\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\04022 SITE PLAN.dwg PLOT DATE: Jul 23, 2020 11:25am

SITE INFORMATION

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS
 MUNICIPALITY: CITY OF ALBUQUERQUE
 LEGAL DESCRIPTION: TRACTS 1, 2, & 3, THE TRAILS UNIT 4
 DEVELOPMENT AREA: 14.3 ACRES
 ZONING: MX-M
 LAND USE: MULTI-FAMILY APARTMENTS
 ADJACENT ZONING: R-ML, MX-M, NR-BP
 OVERLAYS: CPO-12, VPO-2, VOLCANO HEIGHTS URBAN CENTER

DEVELOPMENT AREA:
 EXISTING TRACT 1: 4.3 ACRES
 EXISTING TRACT 2: 13.2 ACRES
 EXISTING TRACT 3: 12.4 ACRES
 EXISTING TOTAL: 29.9 ACRES
 PROPOSED NEW TRACTS TOTAL: 25.4 ACRES
 DEDICATED RIGHT-OF-WAY: 4.5 ACRES

SETBACKS:
 FRONT YARD: 0 FT / 15 FT.
 SIDE YARD: 0 FT / STREET SIDE 15 FT.
 REAR YARD: 15 FT.

HEIGHT LIMIT: 65 FT.

PARKING (1 SPACE / DU)	REQUIRED	PROVIDED
VISITOR		115 SPACES
GARAGE	482 SPACES	597 SPACES
OFF-STREET CONVENTIONAL	248 SPACES	50 SPACES
FUTURE STREET CONVENTIONAL		6 SPACES
MOTORCYCLE	5 SPACES	24 SPACES
BICYCLE	24 SPACES	12 SPACES
ADA ACCESSIBLE	12 SPACES	

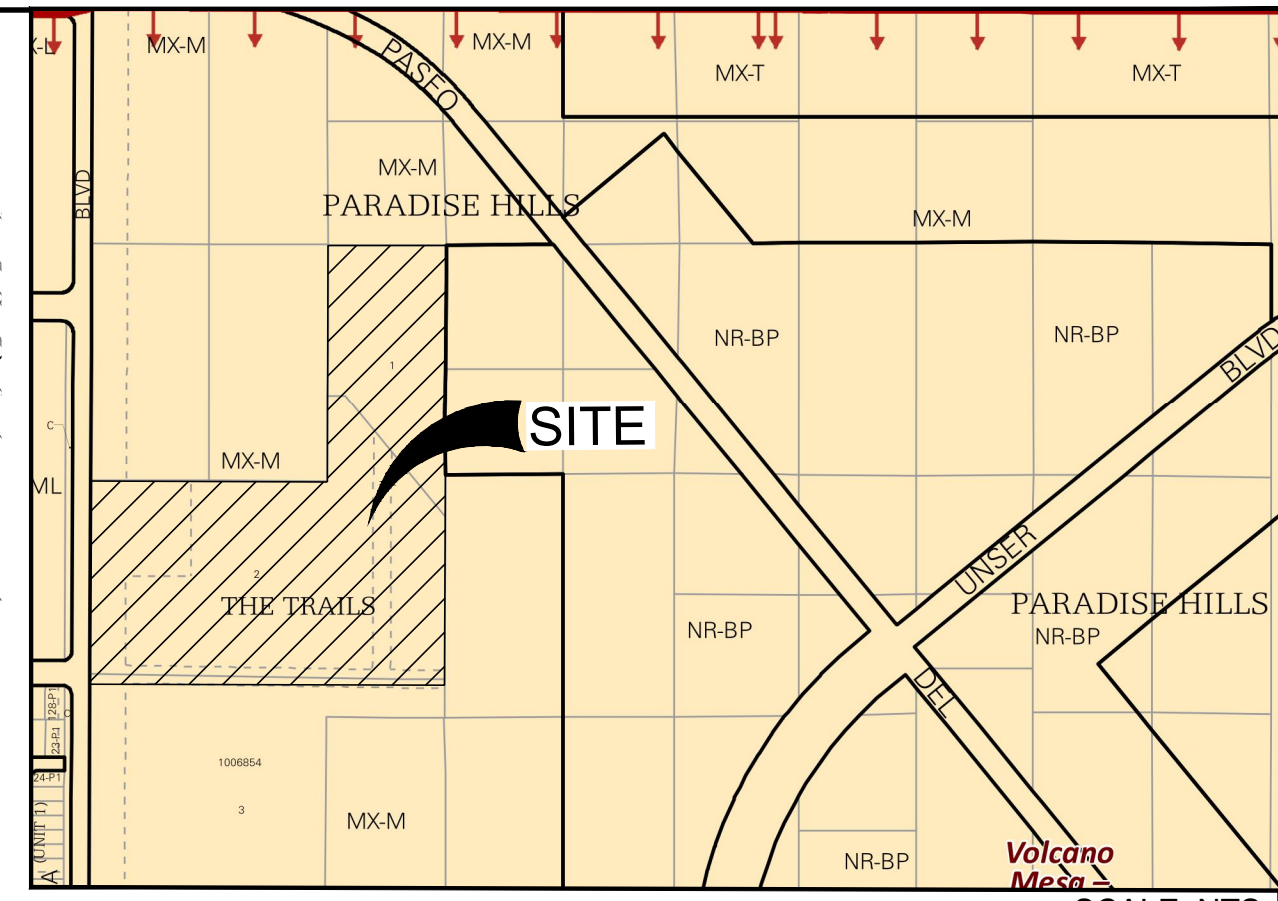
LANDSCAPE	REQUIRED	PROVIDED
	10% NET LOT AREA	25% NET LOT AREA

OPEN SPACE	REQUIRED	PROVIDED
150 SQ. FT. / >3BR UNIT	10,950 SQ. FT.	
125 SQ. FT. / 2BR UNIT	21,000 SQ. FT.	
100 SQ. FT. / 1BR UNIT	700 SQ. FT.	
TOTAL	32,650 SQ. FT.	45,000 SQ. FT.

TOTAL UNITS: 248 UNITS
 4 BR: 6 UNITS
 3 BR: 67 UNITS
 2 BR: 168 UNITS
 1 BR: 7 UNITS

PNM NOTES:

- ALL METALLIC OBJECTS WITHIN THE PNM EASEMENT ALONG THE WESTERN BOUNDARY SHALL BE GROUNDED TO PREVENT ELECTRIC SHOCK.
- ALL TREES WITHIN THE PNM EASEMENT SHALL NOT BE TALLER THAN 14 FEET IN HEIGHT AT MATURITY TO PREVENT INTERFERENCE WITH THE 115 KV TRANSMISSION LINE.



LOCATION MAP
 ZONE ATLAS MAP C-10-Z
 SCALE: NTS

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCWUA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Code Enforcement	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
AMAFCA	Date

Signature: Adam May *Location only 4/1/20*

* Environmental Health, if necessary

GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE LIGHT POLE LOCATIONS ARE CONCEPTUAL AND ARE NOT MEANT FOR BUILDING PURPOSES. REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING.
- SIDEWALKS TO EACH UNIT ARE 3' IN WIDTH. ALL OTHER SIDEWALKS PROVIDING CONNECTIVITY THROUGHOUT THE SITE ARE 4' AND 5'. THE ONLY EXCEPTION IS A 6' SIDEWALK CONNECTION FROM THE TREE LINE AND CHATSWORTH RIGHT-OF-WAY TO THE CLUBHOUSE AS SHOWN.

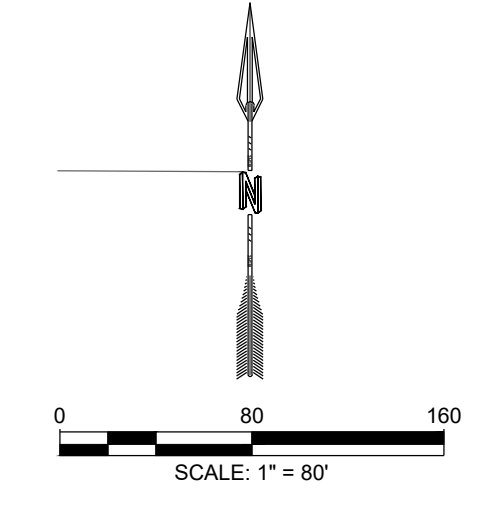
LEGEND:

- PROPERTY BOUNDARY
- ⊗ NUMBER OF PARKING SPACES
- ♿ ADA PARKING SYMBOL
- ▨ CONCRETE SIDEWALK
- ▤ CRUSHER FINE TRAIL
- ▥ MEDIAN CONCRETE
- ▧ ASPHALT TRAIL
- ▩ SIDEWALK ADA RAMP
- ▭ SIDEWALK ADA PARKING RAMP
- ▯ CROSS-WALK
- LIGHT POLE

EASEMENT NOTES

I.D.#	DESCRIPTION
1	EXISTING 100' PLAINS ELECTRIC EASEMENT TO REMAIN.
2	EXISTING TEMPORARY DRAINAGE EASEMENT TO BE VACATED.
3	EXISTING 50' PUBLIC ROADWAY, SEWER, AND WATER EASEMENT TO BE VACATED.

EXHIBIT A



DESIGNED BY	DRAWN BY	CHECKED BY	DATE
J.S.	J.S.	S.G.	6.12.2020

RESPEC COMMUNITY DESIGN SOLUTIONS
 897 JEFFERSON STREET SUITE 101
 WWW.RESPEC.COM PHONE: 805.925.9718

STAMP

PRELIMINARY
 NOT FOR CONSTRUCTION
 7/2020

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONCEPTUAL OVERALL SITE PLAN

DRB SITE PLAN

SHEET NUMBER: C-100