

PROJECT NUMBER: PR-2020-003847

Application Number: SI-2021-01955

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Table with 2 columns: Name and Date. Includes approvals from Jeane Wolfenbarger, Blaine Carter, Ernest Armijo, and Herman Gallegos.

*Environmental Health, if necessary

2/16/2018

LEGEND

- LANDSCAPE STRIPES
HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2
PROPERTY LINE
FIRE HYDRANT
POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
BIKE RACK
SIDEWALK RAMP (ARROW POINTS DOWN)
TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
6" TALL DECORATIVE METAL FENCE
ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
COMPACT PARKING, REF: D5/SDP1.3
LIGHT POLE 25'-0" HEIGHT
6" BOLLARD WITH SIGN
6" WIDE PAINTED CROSSWALK, SEE A4/SDP1.2

VICINITY MAP



SHEET KEYED NOTES

- 1. TRASH COMPACTOR, SEE C1/SDP1.2
2. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
3. CONCRETE CURB & GUTTER, SEE A2/SDP1.2
4. CONCRETE SIDEWALK SEE B4/SDP1.2
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
10' MIN, 15' MAX BUILDING SETBACK
15' REAR SETBACK
ADA PARKING, SEE A3/SDP1.2
ACCESSIBLE RAMP, SEE B3/SDP1.2
ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 2446
MOTORCYCLE PARKING 4'x8' MINIMUM AND SIGNAGE, SEE B1/SDP1.2
OUTDOOR GATHERING AREA WITH PLAYGROUND
COVERED PARKING STRUCTURE
RECYCLE ENCLOSURE, SEE C4/SDP1.2
15' LANDSCAPE BUFFER
15' MAX BUILDING SETBACK
BREAK AWAY GATE FOR FIRE DEPARTMENT ACCESS ONLY
EXISTING 6" WIDE CONCRETE SIDEWALK ALONG 4TH STREET AND FITZGERALD FRONTAGES.
17' WATER LINE EASEMENT
20' WATER LINE EASEMENT
30' SAS AND WATER LINE EASEMENT
30' PRIVATE ACCESS DRIVE, PEDESTRIAN AND BIKE ROUTE EASEMENT. SEE PLAT FOR MAINTENANCE AND BENEFICIARIES. RESIDENTIAL ACCESS ROAD TO BE CONSTRUCTED PER CITY STANDARDS.
6' WIDE CROSSWALK, SEE B2/SDP1.2
BICYCLE PARKING, 2 SPACES PER RACK FOR TOTAL OF 10 SPACES. SEE B5/SDP1.2
PROVIDE CURVE WARNING SIGNAGE
STABILIZED CRUSHER FINES PATHWAY, SEE D4/SDP5.1
BIKE ROUTE WITH SIGNAGE
CONCRETE CURB AND GUTTER, CONSTRUCT PER CITY STANDARD DETAILS 2415B
OUTDOOR SEATING AND GATHERING AREAS SHALL COMPLY WITH IDO 5-11(E)3
SOUTHERNMOST BUILDING FOOTER SHALL BE DESIGNED SUCH THAT THE ADJACENT SEWER MAIN CAN BE MAINTAINED WITHOUT DISTURBING THE FOOTER ON BEHALF OF ABCWUA
10' SIDEWALK EASEMENT
PEDESTRIAN ACCESS GATE, SEE SDP5.1
ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 2443
VEHICLE OVERHANG AREA
10' DRAINAGE EASEMENT, SEE PLAT

AMENITIES

AMENITIES ON-SITE WILL INCLUDE COVERED PARKING SPACES, LEASING OFFICE, MAIL AND PACKAGE CENTER, FITNESS ROOM, AND ROOF TOP TERRACE.

OPEN SPACE CALCULATIONS

Table showing usable open space calculations: 225 SF x 31 UNITS = 6,975 SF; 285 SF x 22 UNITS = 6,270 SF; 350 SF x 8 UNITS = 2,800 SF; TOTAL = 16,045 SF.

UNIT DATA

Table with columns: UNIT TYPE, DESCRIPTION, GSF, #UNITS, TOTAL. Lists units S1 through C1 with their respective square footages and total counts.

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015
E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING
G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
I. ALL IMPROVEMENTS LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER INCLUDING THE DRIVE FROM FITZGERALD

PROJECT DATA

ZONING: IDO - MIXED USE - MEDIUM INTENSITY ZONING DISTRICT (MX-M)
LANDUSE: MIXED USE
PLANNING CONTEXT: SITE IS WITHIN THE CPO-9 NORTH 4TH CORRIDOR OVERLAY ZONE
TRANSIT: BUS ROUTE 10 ALONG 4TH STREET. A BUS STOP IS LOCATED APPROXIMATELY 160 FEET FROM THE SUBJECT SITE ON 4TH STREET.
LEGAL DESCRIPTION: LOTS 1 THRU 3, BLOCK 1 FITZGERALD ADDITION AND TRACTS 90-C AND 90-B-2 M.R.G.C.D. PROPERTY MAP NO. 33 WITHIN ALBUQUERQUE, GRANT, SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO.
SITE AREA: 5 ACRES
ZONE ATLAS: G-14-2
SETBACKS: FRONT= 10' MIN, 15' MAX; SIDE= 0' MIN, STREET SIDE 0' MIN, 15' MAX; REAR= 15' MIN
BUILDING HEIGHT: MAXIMUM ALLOWED: 55'-0" ACTUAL HEIGHT: 40'-0"
SPRINKLERED: YES, NFPA 13
BUILDING AREA (S.F.): BUILDING A: 53,966 GSF; BUILDING B: 8,360 GSF; BUILDING C: 7,260 GSF; TOTAL: 69,586 GSF

PARKING CALCULATION: (TABLE 5-5-1)
1 SPACES / DWELLING UNITS: 61 X 1 = 61 SPACES
RETAIL 2.5 SPACES / 1000 SF = 10,620 X 2.5 = 27 SPACES
LIVE/WORK 2.5 SPACES / 1000 SF = 3,500 X 2.5 = 9 SPACES
TOTAL REQUIRED SPACES = 97 SPACES

PROVIDED PARKING = 118
ADA PARKING REQUIRED: 101-300 PROVIDED PARKING SPACES = 8 SPACES (2 VAN)
ADA PARKING PROVIDED = 8 SPACES

MOTORCYCLE PARKING REQUIRED: 51-100 REQUIRED OFF-STREET PARKING = 3 SPACES
MOTORCYCLE PARKING PROVIDED = 4 SPACES

BICYCLE PARKING REQUIRED = 10 SPACES
(10% OF REQUIRED OFF-STREET PARKING = 97 X 0.10 = 10 SPACES)
BICYCLE PARKING PROVIDED = 10 SPACES

DEKKER PERICH SABATINI

ARCHITECT



ENGINEER

PROJECT

CALLE CUARTA
3525 4TH STREET NW
ALBUQUERQUE, NM 87107

SITE PLAN - DRB

REVISIONS

- Revision symbols: triangle, circle, square, diamond.

DRAWN BY: D/P/S

REVIEWED BY: D/P/S

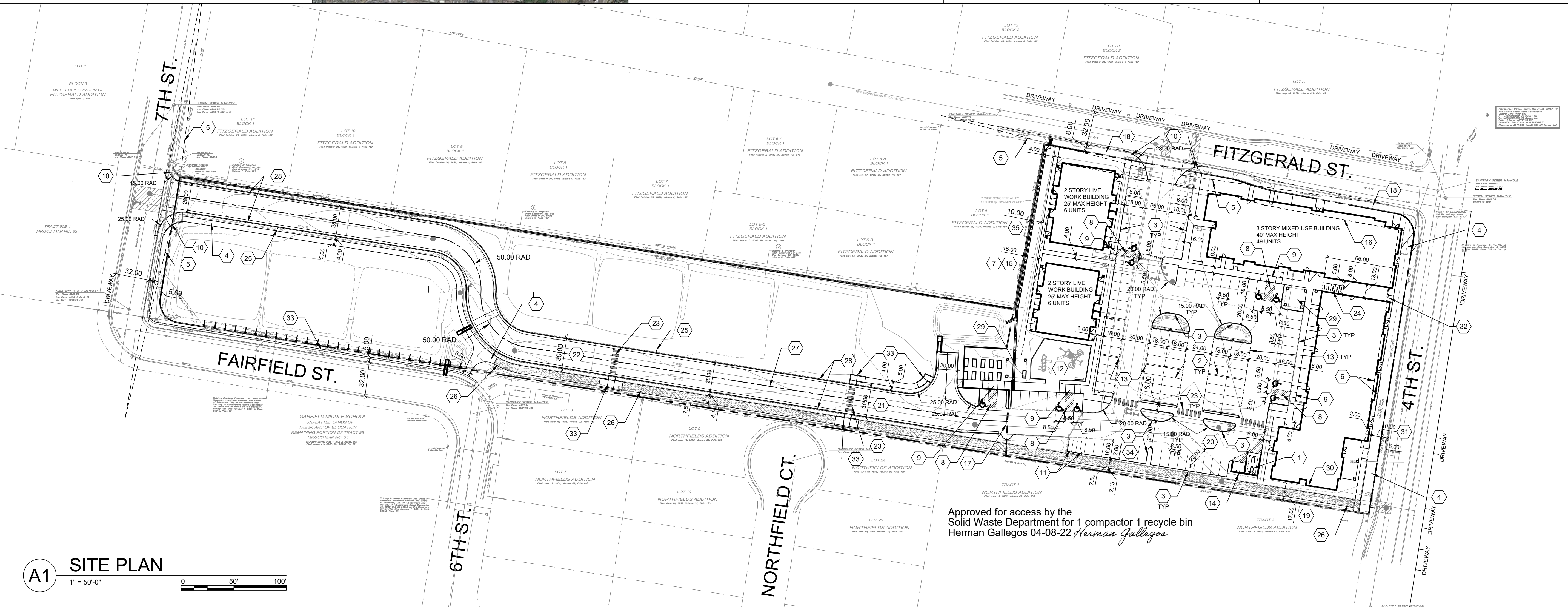
DATE: 11/19/2021

PROJECT NO.: 20-0276

DRAWING NAME: SITE PLAN

SHEET NO.

SDP1.1



Approved for access by the Solid Waste Department for 1 compactor 1 recycle bin Herman Gallegos 04-08-22

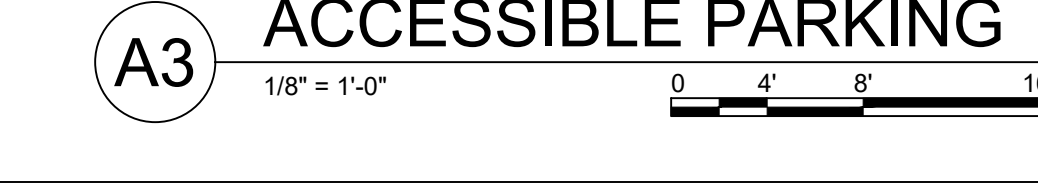
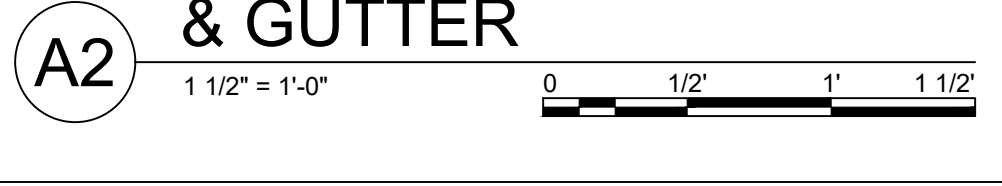
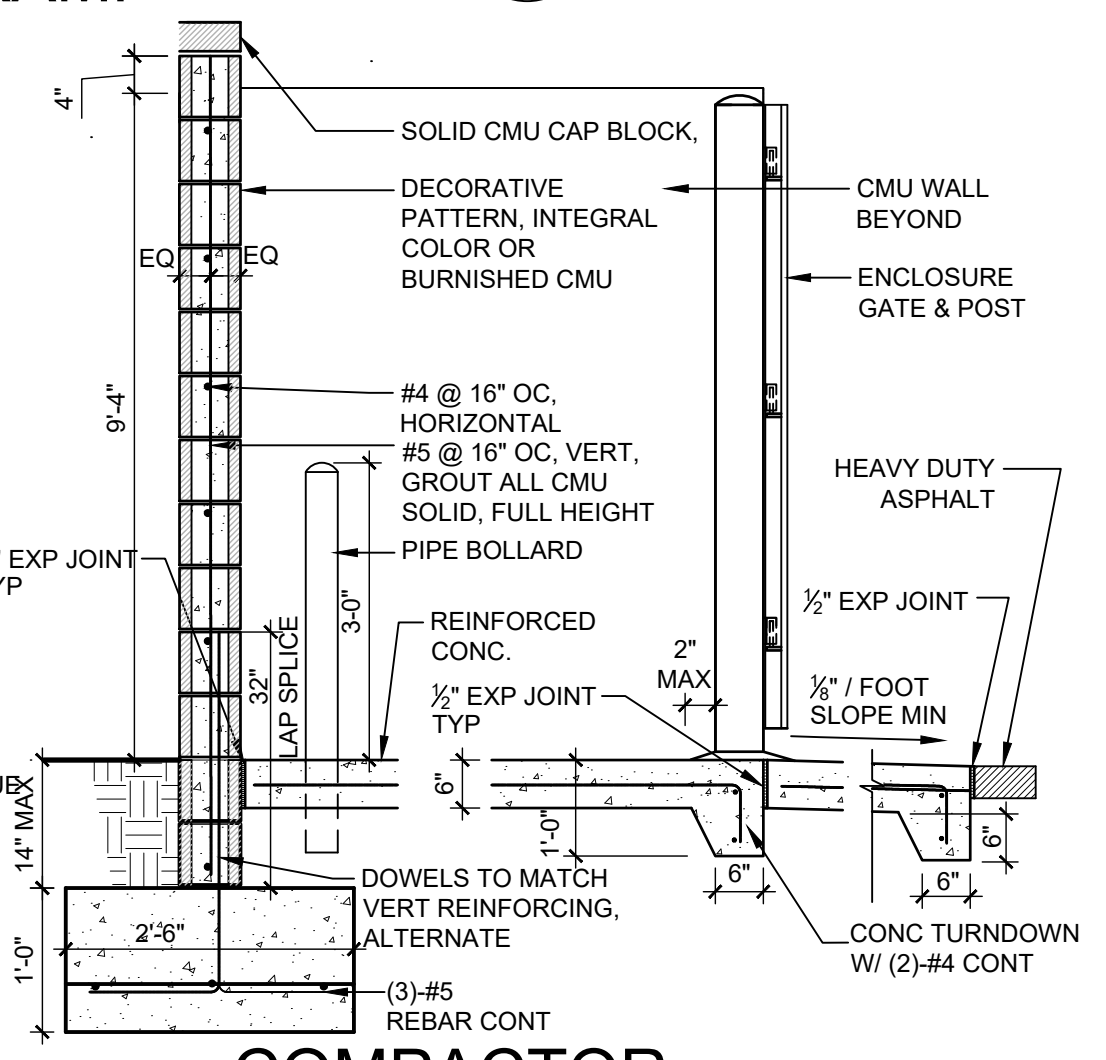
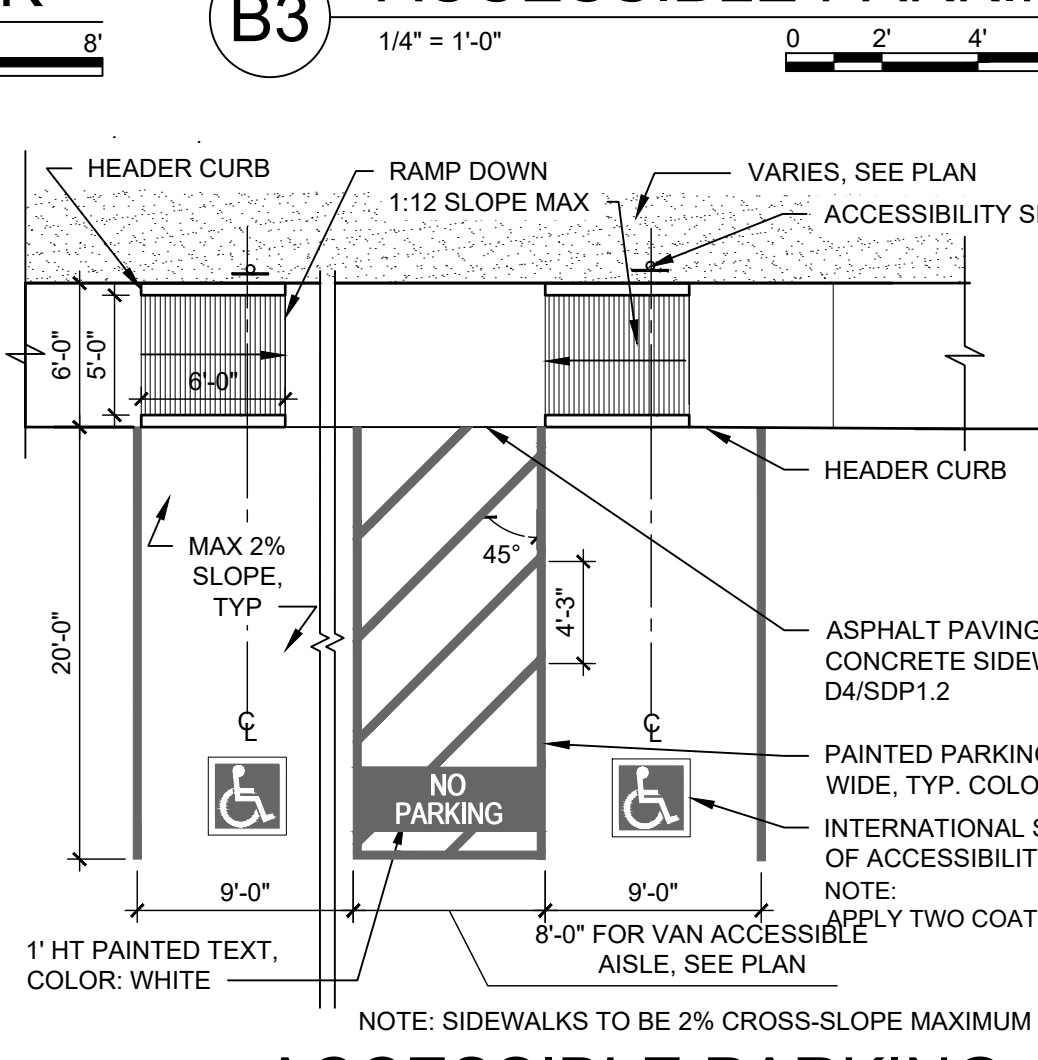
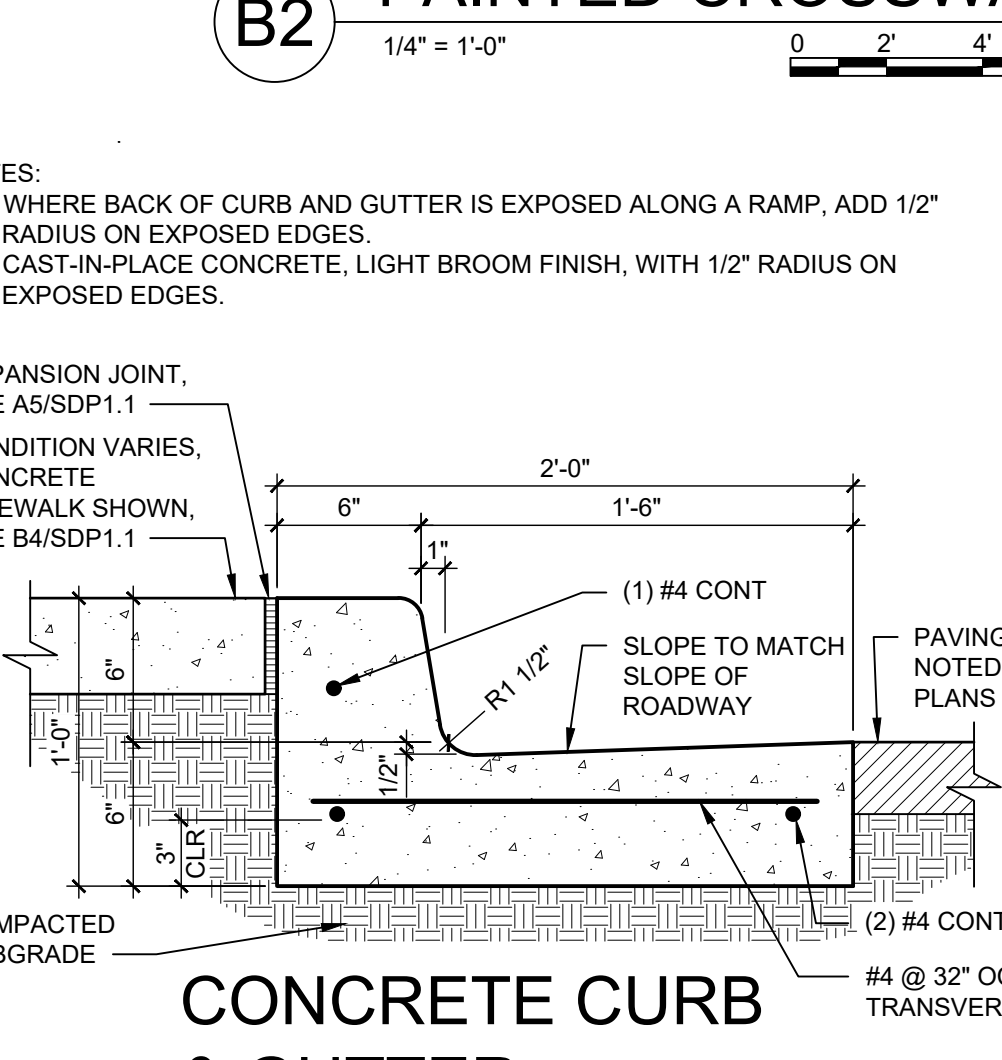
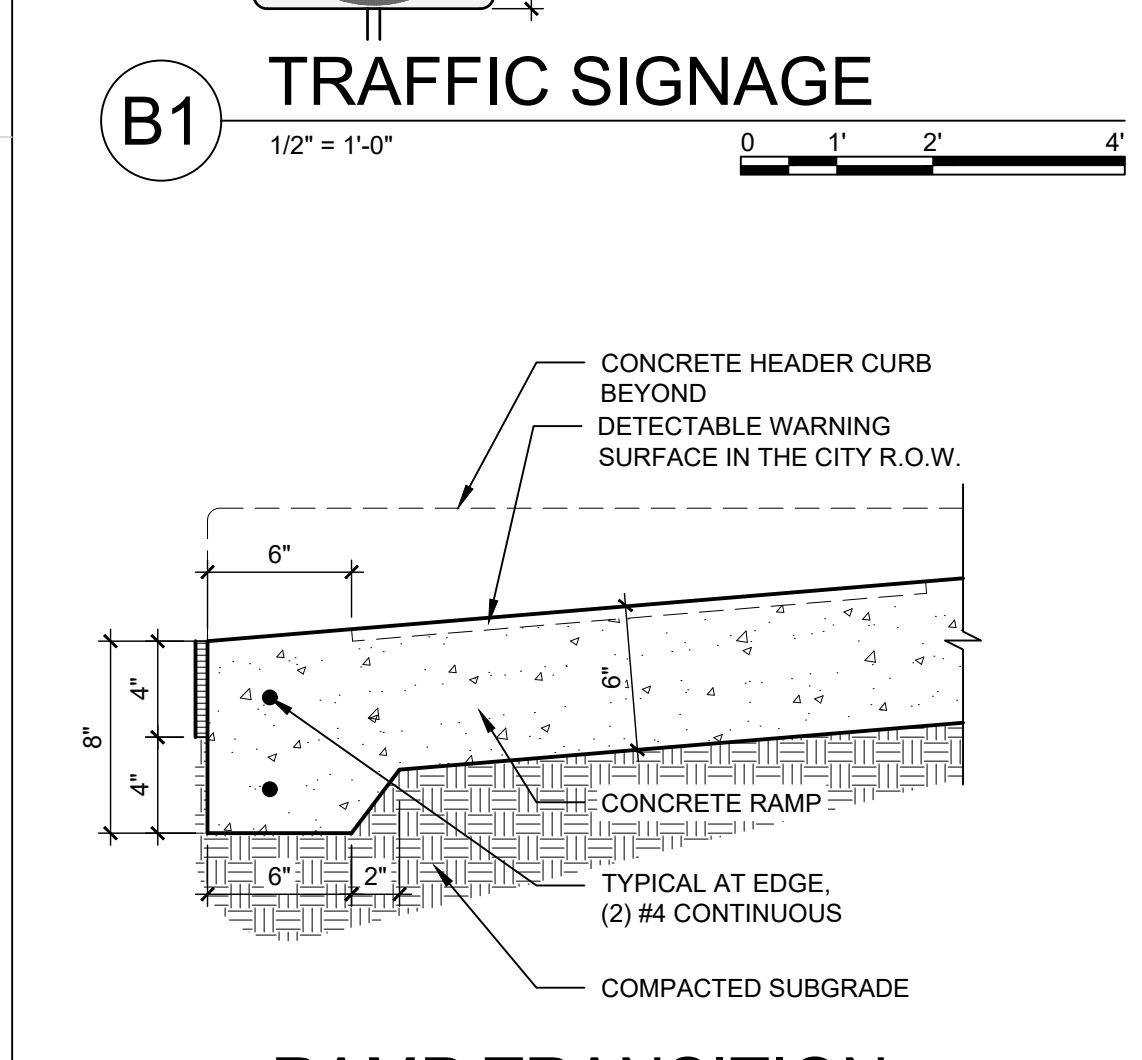
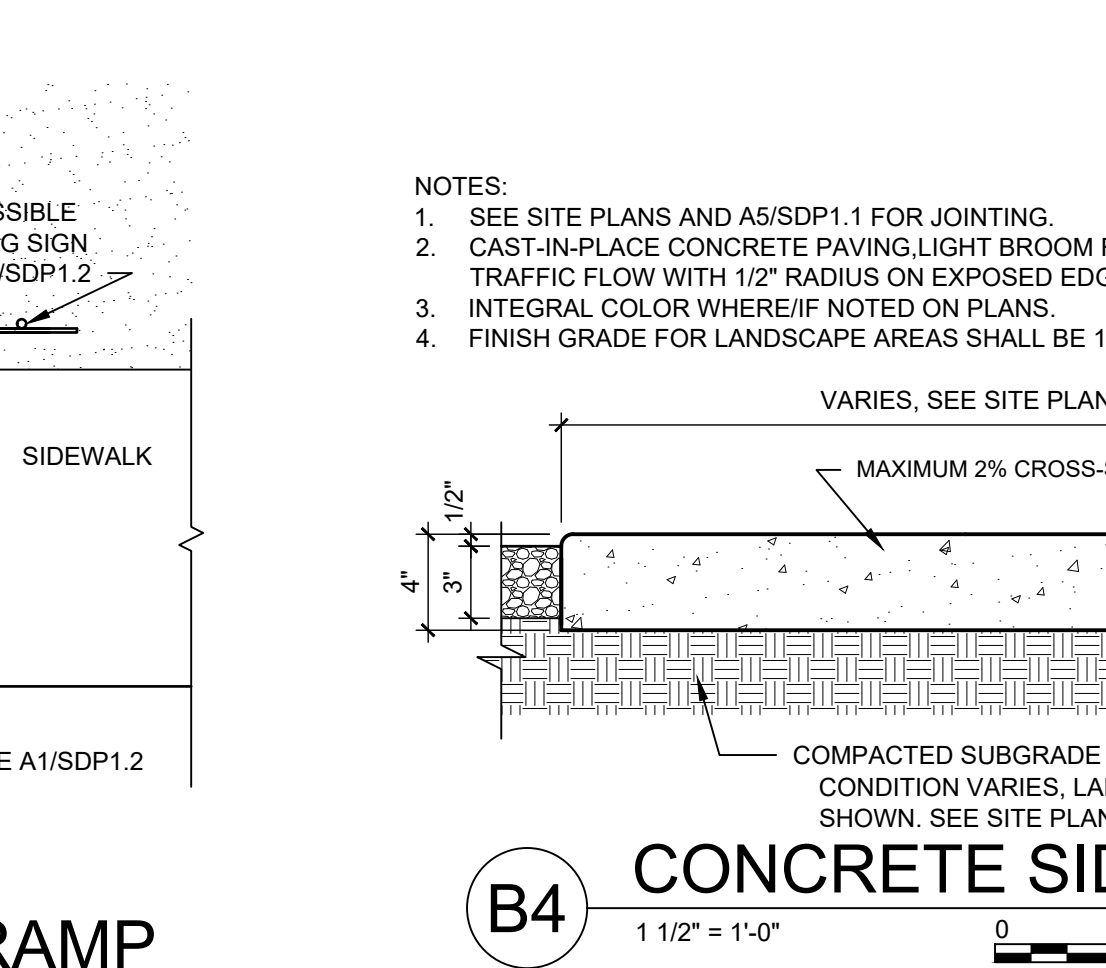
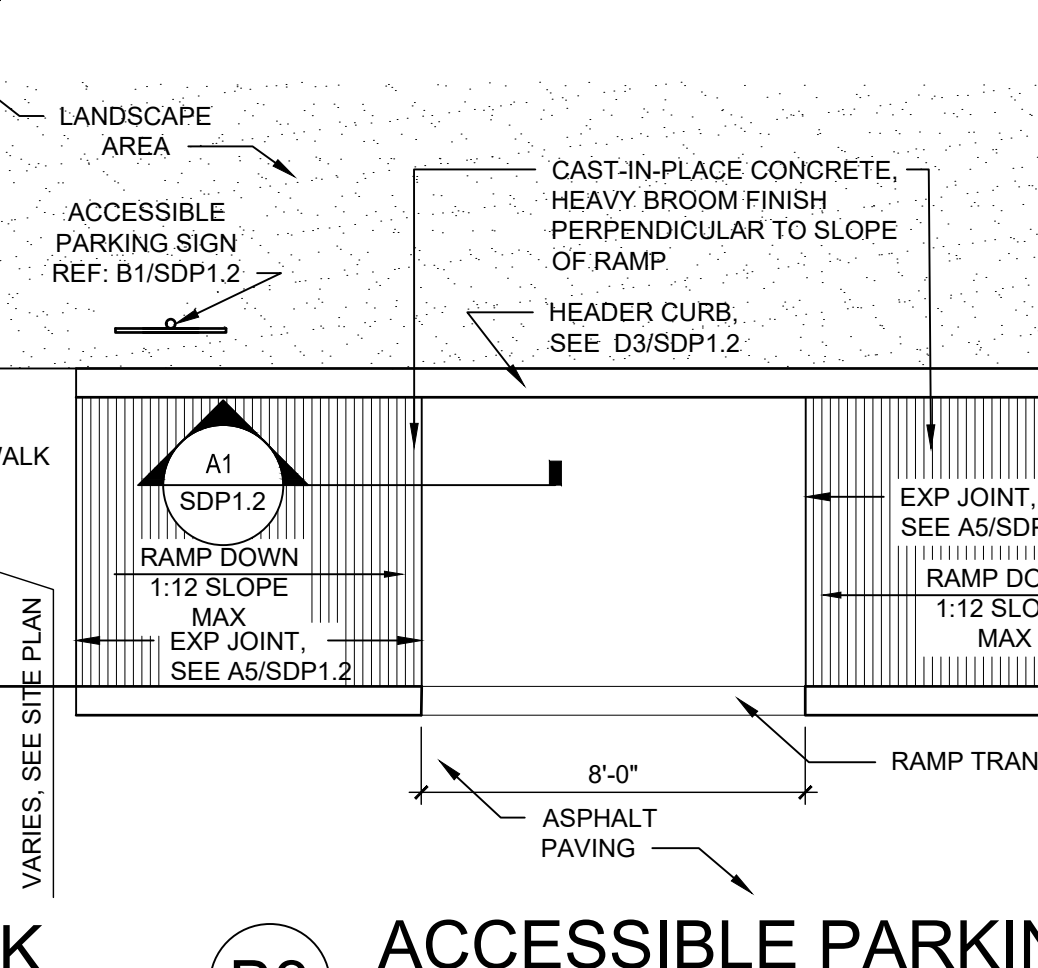
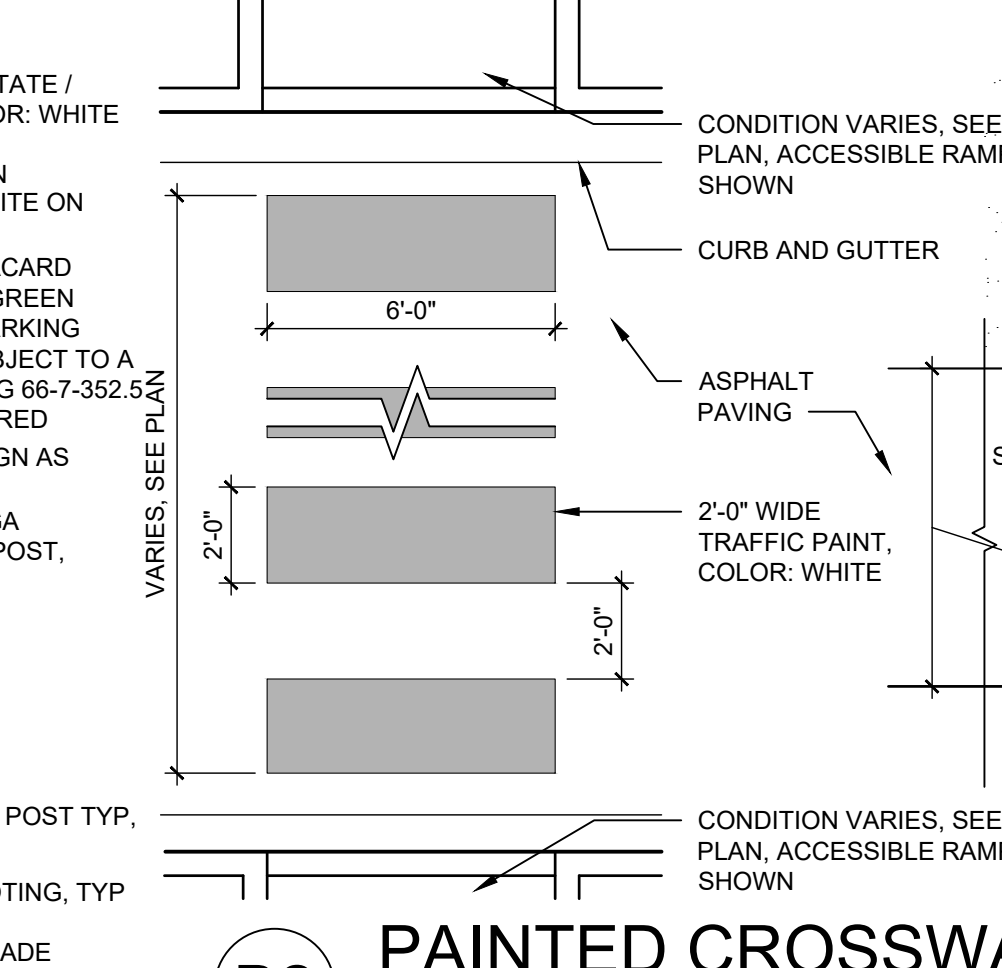
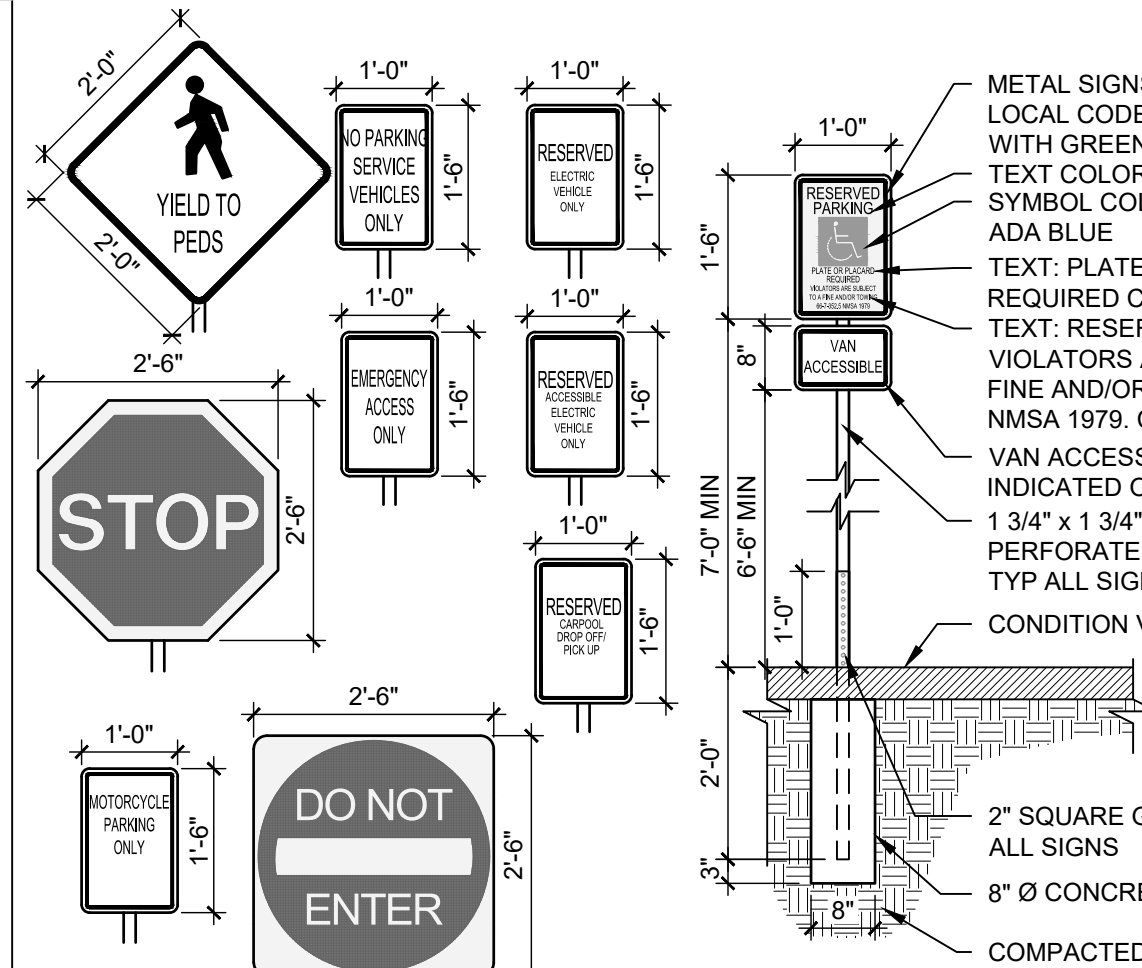
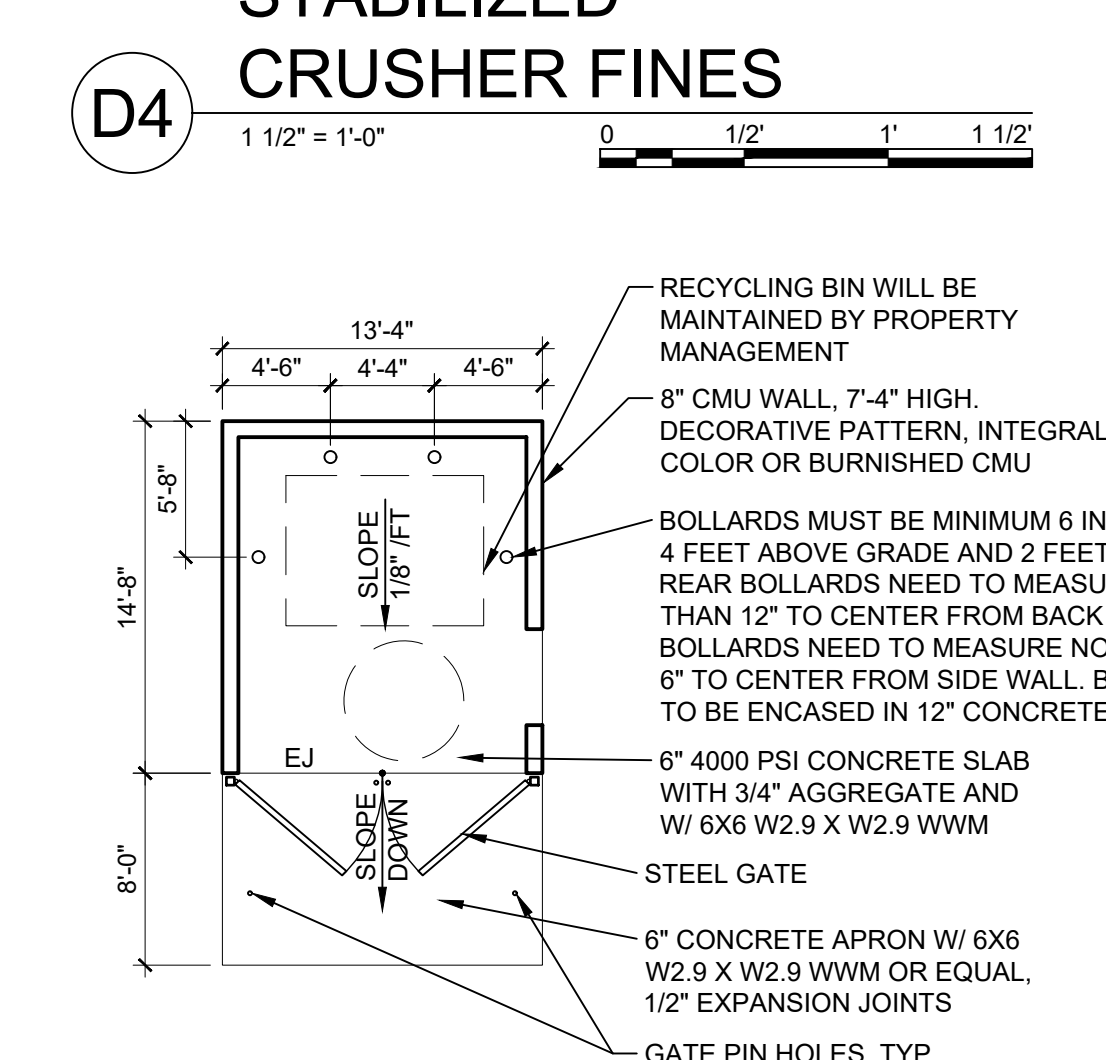
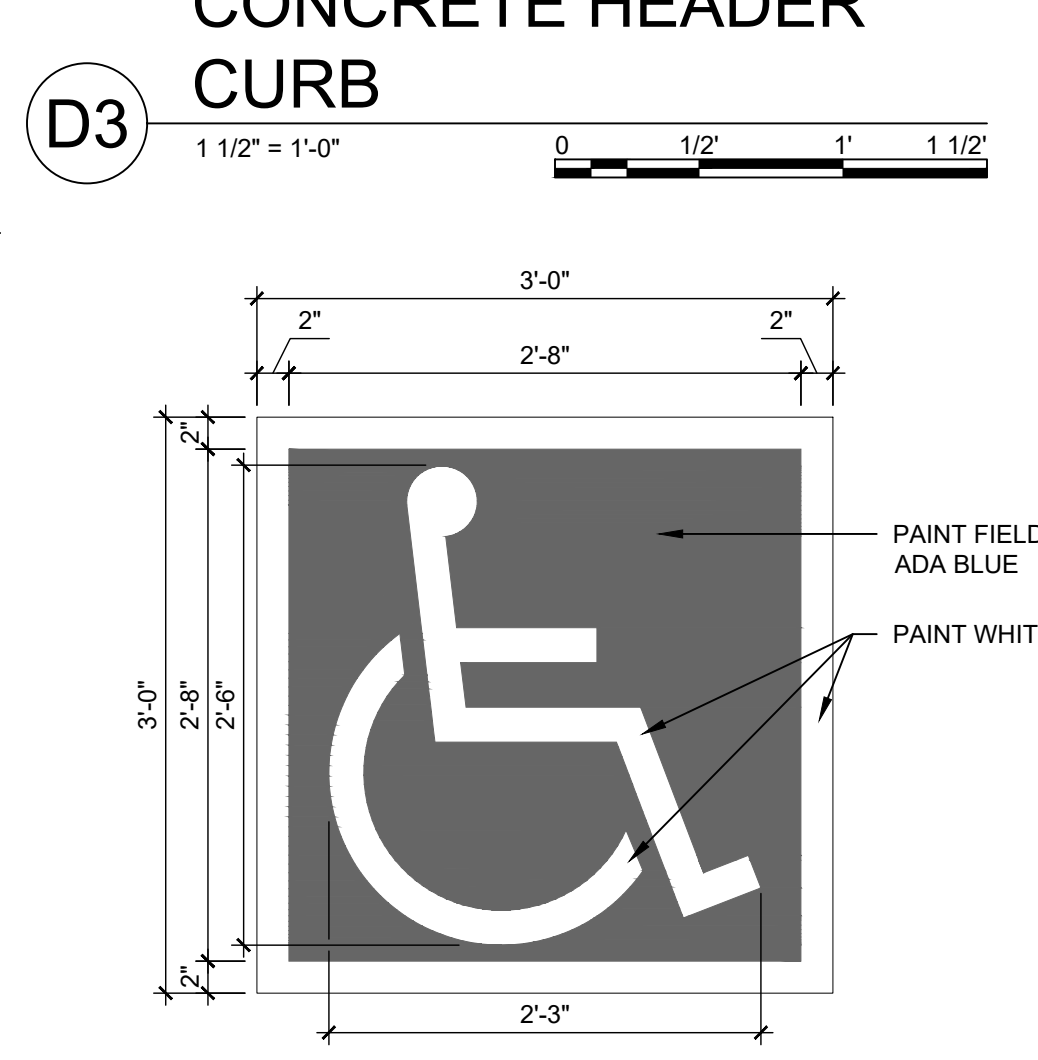
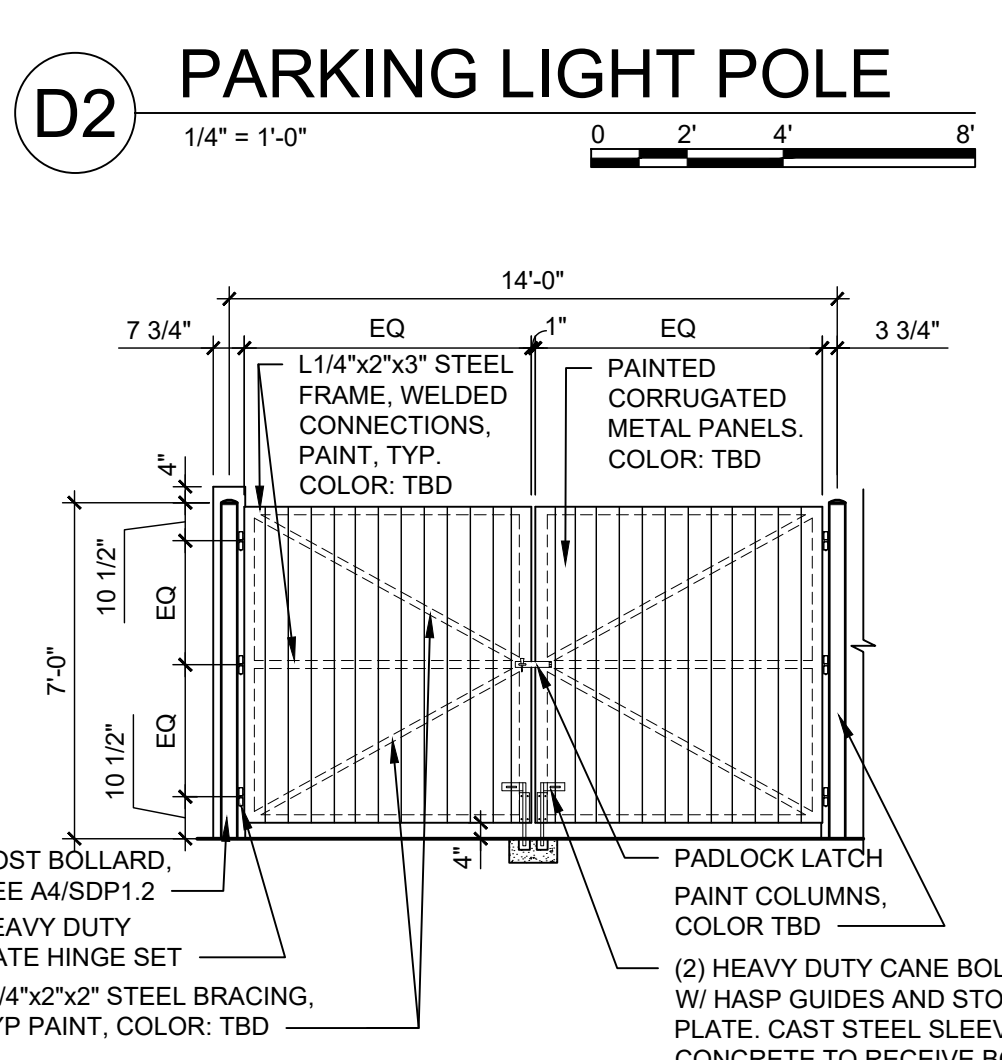
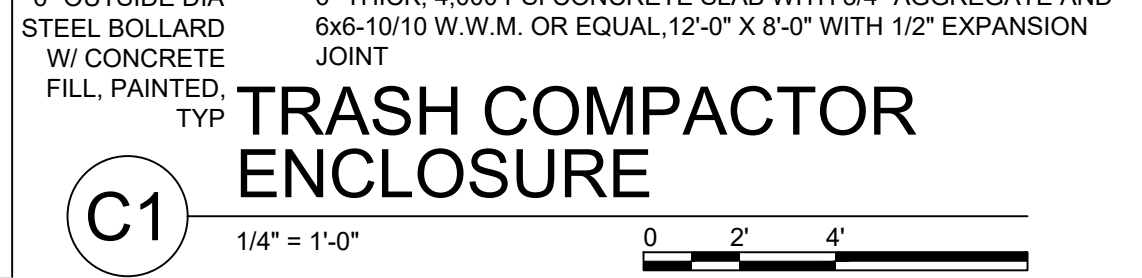
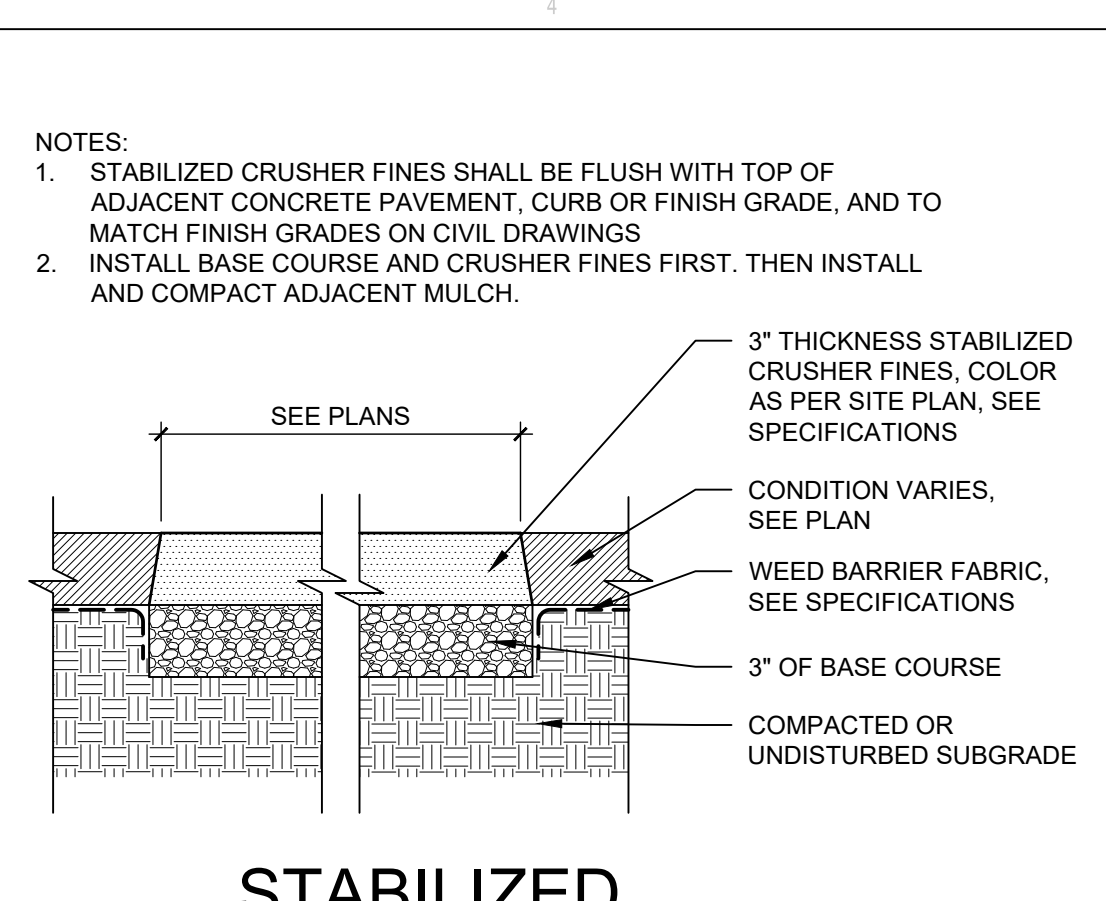
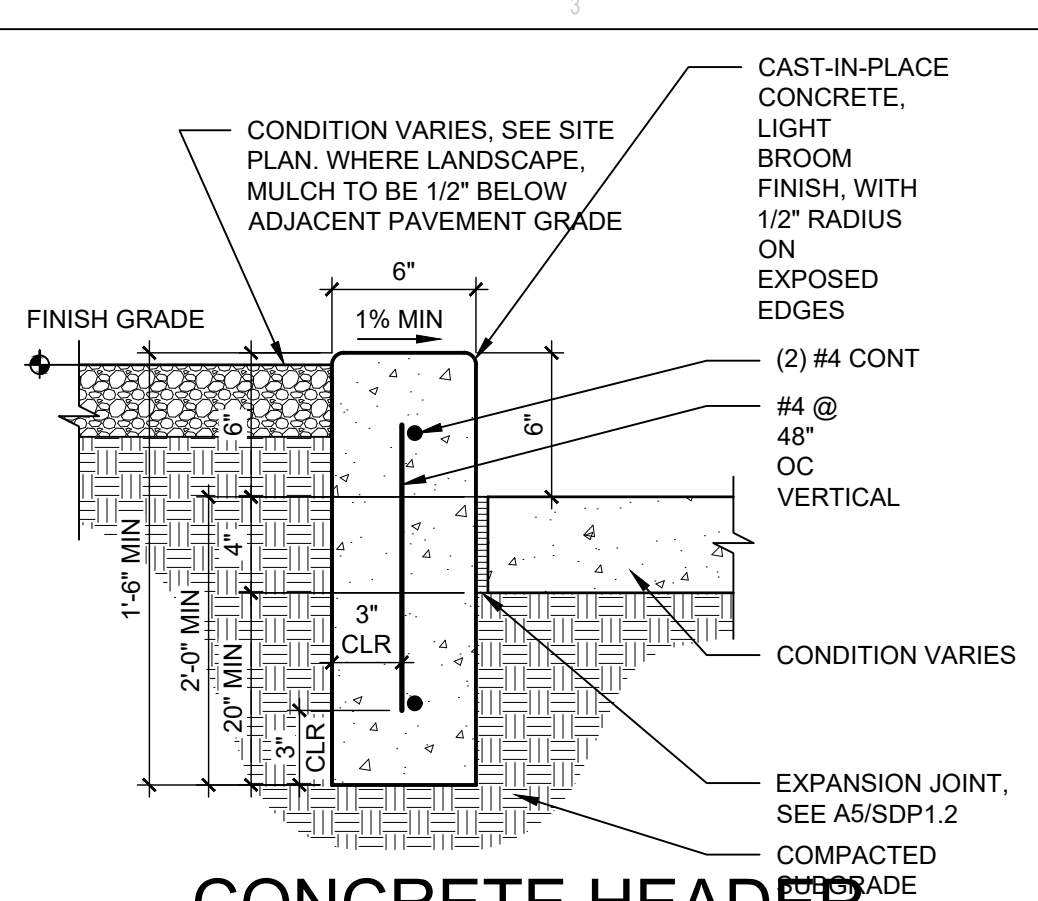
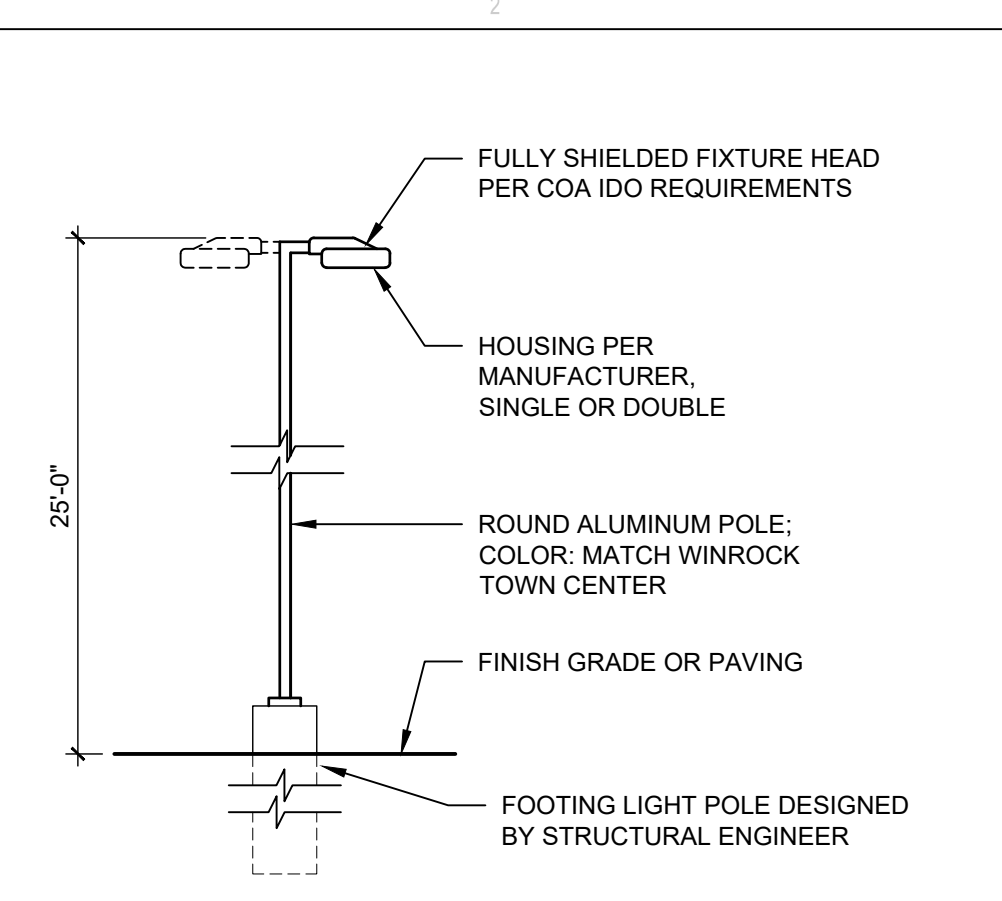
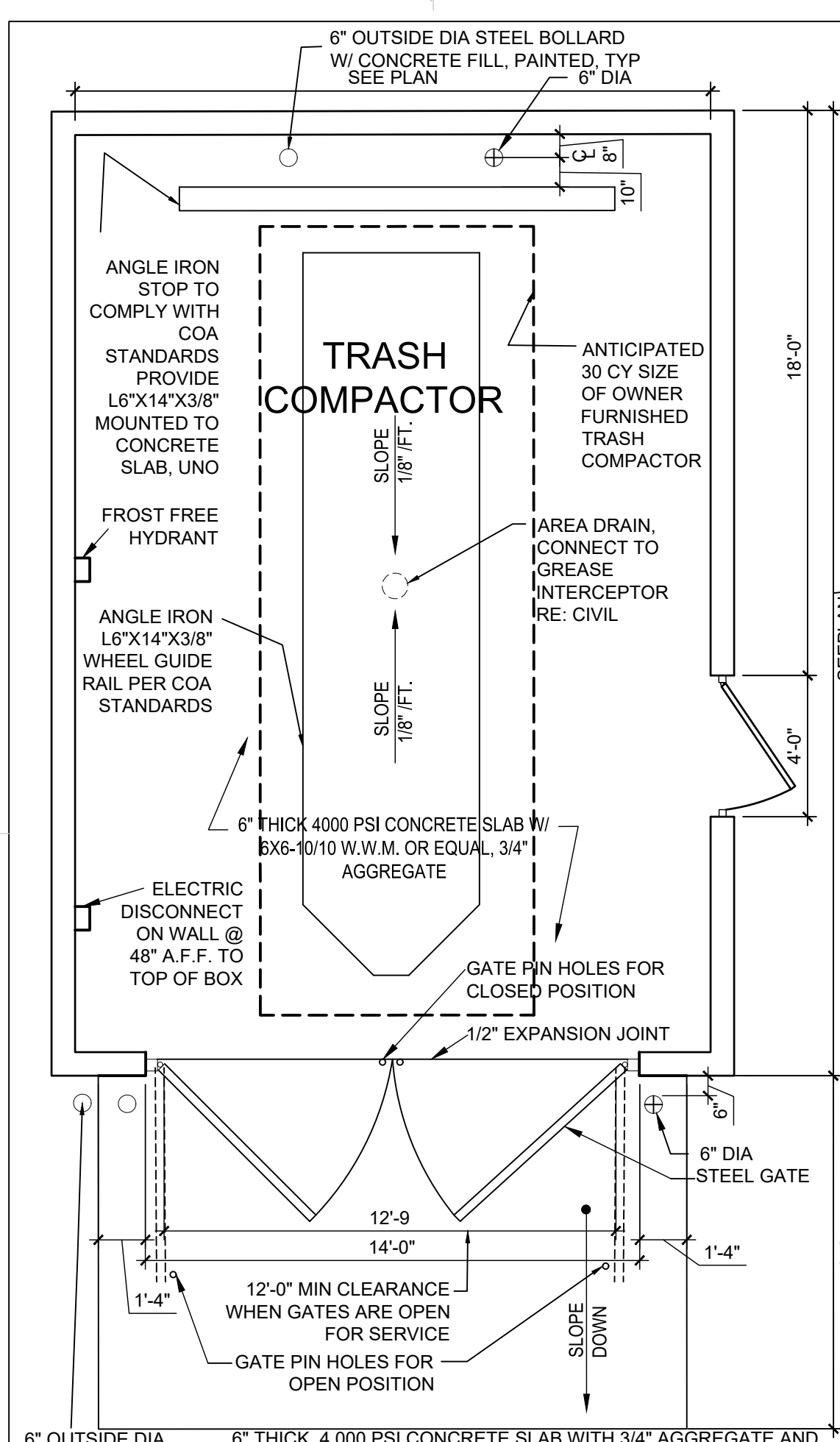
A1 SITE PLAN
1" = 50'-0"
Scale bar showing 0, 50, 100 feet.

REVISIONS

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DRAWN BY	DPS
REVIEWED BY	DPS
DATE	11/19/2021
PROJECT NO.	20-0276
DRAWING NAME	

SITE DETAILS



CONCRETE JOINTS & JOINT SPACING

CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS	APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC	
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC	

A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

SHEET KEYED NOTES

1. CONCRETE SIDEWALK SEE B4/SDP1.2
2. ACCESSIBLE RAMP. CONSTRUCT PER C.O.A. STANDARD DETAIL 2446
3. BREAK AWAY GATE FOR FIRE DEPARTMENT ACCESS ONLY
4. STABILIZED CRUSHER FINES PATHWAY

**DEKKER
PERICH
SABATINI**

ARCHITECT
STATE OF NEW MEXICO
RONALD A. WITHERSPOON
No. 2502
REGISTERED ARCHITECT
04/08/22
ENGINEER

PROJECT

CALLE CUARTA
3525 4TH STREET NW
ALBUQUERQUE, NM 87107

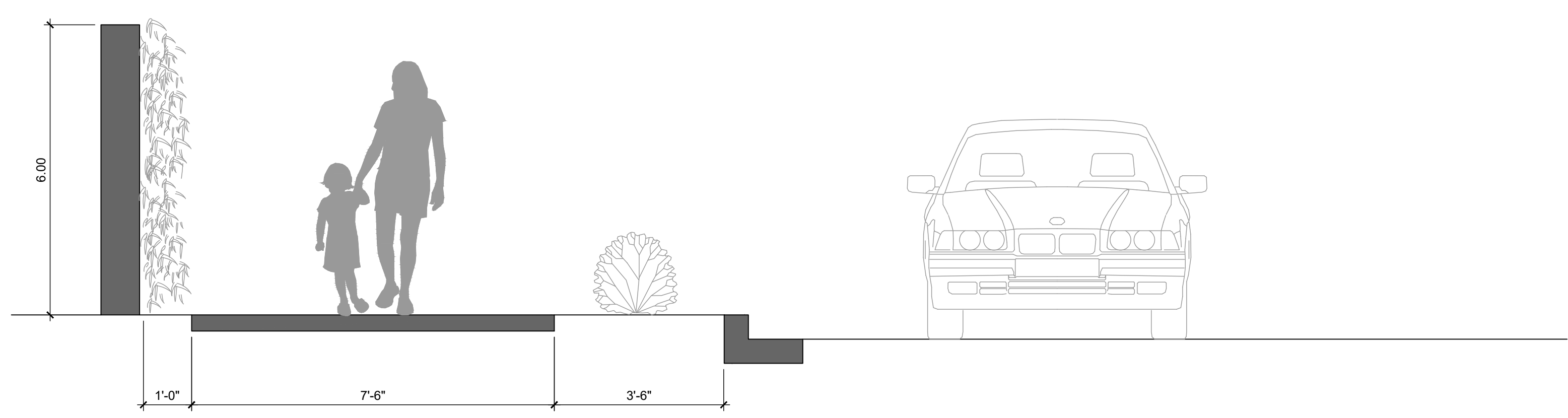
SITE PLAN - DRB

REVISIONS

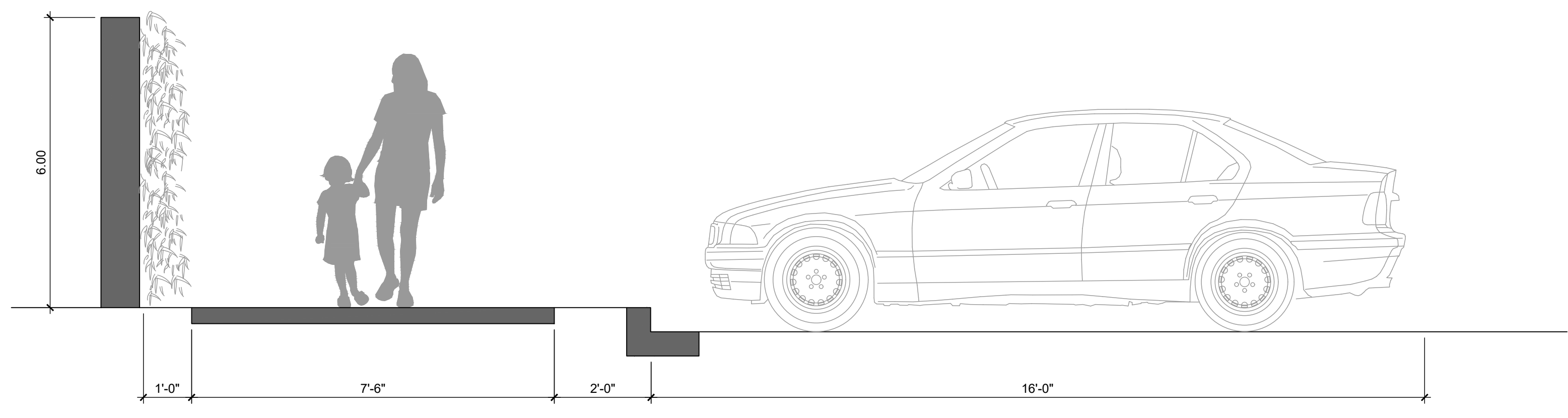
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DRAWN BY: D/P/S
REVIEWED BY: D/P/S
DATE: 11/19/2021
PROJECT NO.: 20-0276
DRAWING NAME: SITE PLAN

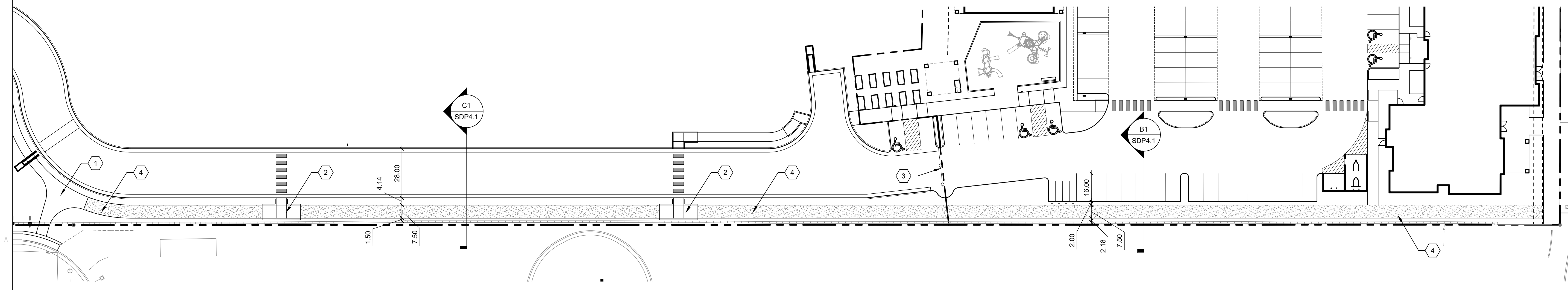
SHEET NO.
SDP4.1
OF



C1 SITE SECTION
1/2" = 1'-0"
0 1' 2' 4'



B1 SITE SECTION
1/2" = 1'-0"
0 1' 2' 4'



A1 ENLARGED PLAN
1" = 30'-0"
0 30' 60'

LANDSCAPE CALCULATIONS

LOT AREA = 106,964 SF

REQUIRED PARKING LOT LANDSCAPE AREA (PER IDO 14-16-5-6-F-2)
 NEW PARKING LOT AREA = 39,686 SF
 REQUIRED LANDSCAPE AREA IN PARKING LOT = 5,953 SF (15% OF PKG LOT AREA)
 PROVIDED LANDSCAPE AREA = 7,226 SF (18% OF PKG LOT AREA)

REQUIRED LANDSCAPE (PER IDO 14-16-5-6-C-2)
 MIN. REQUIRED LANDSCAPE AREA = 16,045 SF (15% OF LOT AREA)
 PROVIDED NEW LANDSCAPE AREA = 19,608 SF (19% OF LOT AREA)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED (PER IDO 14-16-5-6-F)= 1 TREE / 10 PARKING SPACES. NO PARKING SPACE MAY BE MORE THAN 100' FROM A TREE TRUNK
 TOTAL NUMBER OF NEW PARKING SPACES= 105 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 11 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 11

REQUIRED STREET TREES (PER IDO 14-16-5-6-D-1)= 1 TREE PER 25 LINEAR FEET OF STREET FRONTAGE
 STREET TREES =
 4th STREET FRONTAGE = 290 LNFT
 REQUIRED STREET TREES = 12
 PROVIDED STREET TREES = 11
 FITZGERALD FRONTAGE = 361 LNFT
 REQUIRED STREET TREES = 15
 PROVIDED STREET TREES = 15

RESIDENTIAL BUFFER (PER IDO 14-16-5-6-E-5)= 1 TREE/3 SHRUBS PER 15 LINEAR FEET
 FITZGERALD R-1 EDGE= 200 LNFT
 REQUIRED BUFFER TREES = 14
 PROVIDED BUFFER TREES = 14
 REQUIRED BUFFER SHRUBS = 40
 PROVIDED BUFFER SHRUBS = 40

MULTI-FAMILY DWELLING TREES (PER IDO 4-3-B-7) = 1 TREE/GROUND FLOOR UNIT
 4 LIVE/WORK UNITS AND 10 GROUND FLOOR UNITS
 REQUIRED DWELLING TREES = 14
 PROVIDED DWELLING TREES = 14

REQUIRED VEGETATIVE COVERAGE (PER IDO 14-16-5-6-C-2-C)
 TOTAL VEGETATIVE COVER REQUIRED = 14,706 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL VEGETATIVE COVER PROVIDED = 16,119 SF (82% OF TOTAL MULCHED LANDSCAPE AREA)

TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 3674 SF (25% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 5158 SF (31% OF TOTAL MULCHED LANDSCAPE AREA)

GROUND COVER MATERIAL (PER IDO 14-16-5-6-C-5-C)
 TOTAL ROCK MULCH GROUND COVER = 12,342 SF (63% OF MULCHED LANDSCAPE AREA)
 TOTAL ORGANIC MULCH GROUND COVER = 7266 SF (37% OF MULCHED LANDSCAPE AREA)
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED. A MINIMUM OF 25% ORGANIC MULCH IS REQUIRED.

PLANT SCHEDULE

TREES	EST. QTY	BASE	RESIDENTIAL	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	25	24	1	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL. B&B	50.00	40.00
	4	4		CERCIS RENIFORMIS	OKLAHOMA REDBUD	2" CAL. B&B	25.00	25.00
	18	18		ILEX VOMITORIA	YAWPON HOLLY	6" HT. B&B	15.00	15.00
	8	8		LAGERSTROEMIA INDICA 'DYNAMITE'	DYNAMITE CRAPE MYRTLE	2" CAL. B&B	12.00	6.00
	9	9		MALUS X 'VELVETCOLE' TM	VELVET PILLAR CRABAPPLE	2" CAL. B/8" HT MIN.	20.00	14.00
	9	9		PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL. B&B	35.00	25.00
	8	8		PYRUS CALLERYANA 'ARISTOCRAT' TM	ARISTOCRAT FLOWERING PEAR	2" CAL. B/8" HT MIN.	30.00	25.00
SHRUBS	EST. QTY	BASE	RESIDENTIAL	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	29		29	BACCHARIS X 'STARN'	THOMPSON BROOM	5 GAL	3.00	3.00
	21	21		BERBERIS THUNBERGII 'LAVA NUGGET'	LAVA NUGGET BARBERRY	5 GAL	3.00	3.00
	38	38		CARYOPTERIS X CLANDONENSIS	BLUEBEARD	5 GAL	3.00	3.00
	27	27		COTONEASTER DAMMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER	5 GAL	0.75	6.00
	24	24		CYTISUS SCOPARIUS 'LENA'S'	LENA'S BROOM	5 GAL	4.00	4.00
	67	67		GENISTA TINCTORIA 'ROYAL GOLD'	ROYAL GOLD WOADWAXEN	5 GAL	3.00	4.00
	34	34		PINUS MUGO 'SLOWMOUND'	MUGO PINE	5 GAL	3.00	3.00
	31	31		POTENTILLA FRUTICOSA 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	5 GAL	2.00	3.00
	32	32		RHAPHIOLIS INDICA 'PINKIE'	'PINKIE' INDIAN HAWTHORNE	5 GAL	3.00	4.00
	30	30		ROSA X 'NOASPLASH'	PINK SPLASH CARPET GROUND COVER ROSE	5 GAL	2.00	4.00
	49	49		ROSA X 'RADSUNNY' TM	SUNNY KNOCK OUT YELLOW ROSE	5 GAL	3.50	3.50
	44	44		ROSMARINUS OFFICINALIS 'ARP'	ARP ROSEMARY	5 GAL	6.00	6.00
DESERT ACCENTS	EST. QTY	BASE	RESIDENTIAL	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	107	92	15	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	5.00	3.00
GRASSES	EST. QTY	BASE	RESIDENTIAL	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	98	73	25	BOUTELOUA 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	3.00	3.00
	120	120		MUHLENBERGIA RIGIDA 'NASHVILLE' TM	NASHVILLE MUHLY	5 GAL	2.00	2.00
	63	63		PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL BLUE SWITCH GRASS	5 GAL	3.50	4.50
PERENNIALS	EST. QTY	BASE	RESIDENTIAL	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	30		30	ACHILLEA MILLEFOLIUM 'SANGRIA'	SANGRIA YARROW	1 GAL.	2.00	3.00
	12	12		ALCEA ROSEA	HOLLYHOCK	5 GAL	6.00	2.50
	39	39		ECHINACEA 'CANTALOUPE'	SUPREME CANTALOUPE CONEFLOWER	1 GAL	2.50	1.50
	54	54		ECHINACEA PURPUREA 'POWWOW WILD BERRY'	POWOW WILD BERRY CONEFLOWER	1 GAL	1.50	1.25
	79	79		LAVANDULA ANGUSTIFOLIA 'HIDCOTE SUPERIOR BLUE'	HIDCOTE SUPERIOR BLUE LAVENDER	1 GAL	1.25	1.25
	41	41		LAVANDULA X INTERMEDIA 'GROSSO'	FAT BUD FRENCH LAVENDER	1 GAL.	3.00	3.00
	12	12		SALVIA GREGGII 'FURMAN'S RED'	FURMAN'S RED SALVIA	1 GAL.	2.50	3.00
VINES	EST. QTY	BASE	RESIDENTIAL	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	52	23	29	HEDERA HELIX	ENGLISH IVY	SEE B1 SUPP. 2.1	5 GAL	

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6). WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 7 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- SEE SITE PLAN FOR IMPERVIOUS AREAS AND EASEMENTS.
- ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A 5'-0" RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY ON THE TRUNK. IN THESE AREAS WEED BARRIER FABRIC IS PROHIBITED. PER IDO 14-16-5-6-C-5-e.

IRRIGATION NOTES

- CONTRACTOR SHALL DESIGN AND INSTALL THE AUTOMATED IRRIGATION SYSTEM AND ENSURE IT COMPLIES WITH THE CITY OF ALBUQUERQUE REQUIREMENTS AND REGULATIONS.
- PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH A SMART IRRIGATION CONTROLLER, PROGRAMMABLE SETTINGS AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE WASTE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING/LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER IS LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS. A SEPARATE IRRIGATION SUB-METER SHALL BE INSTALLED OFF THE WATER SERVICE LINE.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT; RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- SLEEVES SHALL BE INSTALLED UNDER ALL PAVED SURFACES AND SHALL EXTEND 24" MINIMUM BEYOND PAVEMENTS. SLEEVES SHALL BE TWO SIZES LARGER THAN IRRIGATION PIPE ENCLOSED.

CONTINUED MAINTENANCE NOTES

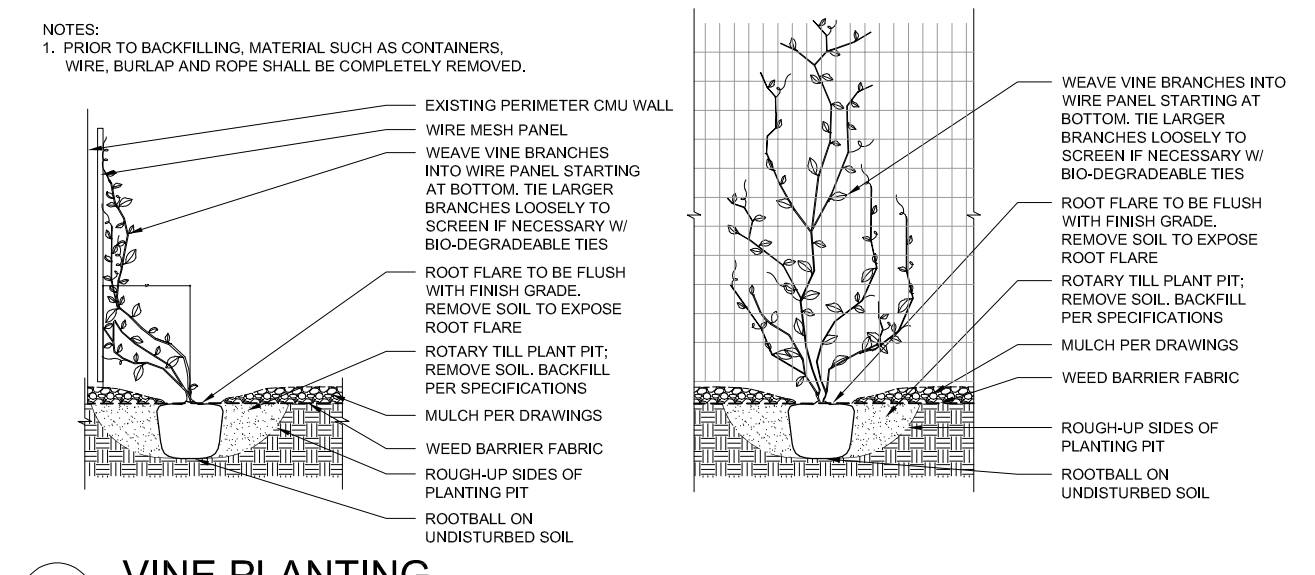
- PER COA CEPTED GUIDELINES, TREE CANOPY TO BE MAINTAINED AT A 6'-0" LOWER BRANCH HEIGHT, AND SHRUBS TO BE MAINTAINED AT 3'-0" HEIGHT. SEE PLANT SCHEDULE FOR INDIVIDUAL PLANT NOTES.

SHEET KEYED NOTES

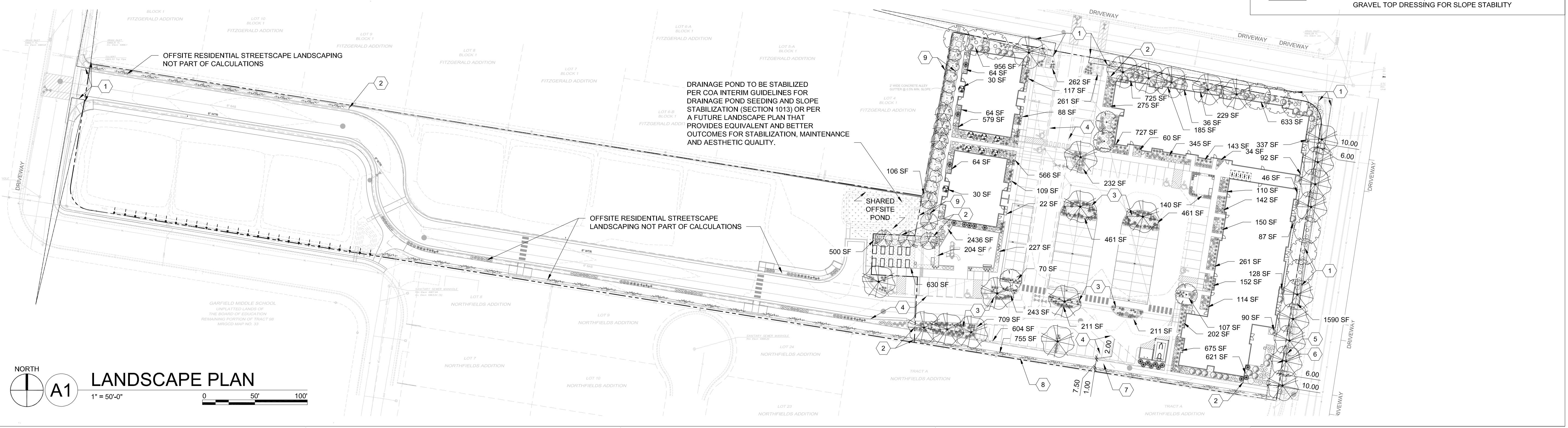
- CLEAR SIGHT TRIANGLE, NO PLANT MATERIAL WITH A MATURE HEIGHT GREATER THAN 3'-0", MEASURED FROM GUTTER PAN, TO BE WITHIN THIS AREA
- CONCRETE MOW CURB, PER COA STD DETAIL
- WATER HARVESTING AREA, SEE CIVIL
- 6"-0" STREET TREE PLANT STRIP
- 10'-0" SIDEWALK
- STABILIZED CRUSHER FINE PATHWAY
- 1'-0" LANDSCAPE STRIP FOR VINES ON WALL
- DRAINAGE EASEMENT

LEGEND

MULCH LEGEND	PROPERTY LINE
	7/16" BROWN ANGULAR GRAVEL MULCH OVER FILTER FABRIC, 2" DEPTH
	2" BROWN ANGULAR GRAVEL MULCH OVER FILTER FABRIC, 3" DEPTH
	MEDIUM SHREDDED WOOD MULCH OVER FILTER FABRIC, 2" DEPTH
	NATIVE SEED, COA STANDARD MIX, SPREAD CAST WITH 3/4" ANGULAR GREY GRAVEL TOP DRESSING FOR SLOPE STABILITY

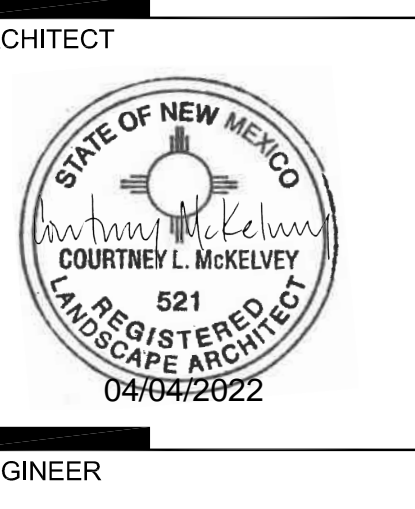


B1 VINE PLANTING



LANDSCAPE PLAN
 1" = 50'-0"
 NORTH

DEKKER PERICH SABATINI



PROJECT

CALLE CUARTA
 3525 4TH STREET NW
 ALBUQUERQUE, NM 87107

SITE PLAN - DRB

REVISIONS	DATE	COMMENTS
2	01/21/2022	DRB COMMENTS
3	01/24/2022	DRB COMMENTS
4	03/04/2022	DRB COMMENTS
5	04/04/2022	DRB COMMENTS

DRAWN BY	CD
REVIEWED BY	CM
DATE	11/19/2021
PROJECT NO.	20-0276
DRAWING NAME	LANDSCAPE PLAN

SHEET NO.
SDP2.1
 OF

LEGEND

- EXTERIOR WALL: STUCCO FINISH - COLOR 1 (OFF WHITE CREAM)
- EXTERIOR WALL: STUCCO FINISH - COLOR 2 (MEDIUM TAN/BROWN)
- EXTERIOR WALL: STUCCO FINISH - COLOR 3 (ACCENT RUST)
- EXTERIOR BAND ELEMENT: STUCCO FINISH - COLOR 4 (WARM GREY)
- MISC. STEEL ELEMENTS: GUARDRAILS, TRELLIS, SIGN PANEL, JULIET BALCONIES, AWNING, GATES FINISH - COLOR (SLATE GREY)
- OPTIONAL BUILDING MURAL: DESIGN T.B.D.

SHEET KEYNOTES

1. EXTERIOR WALL: STUCCO COLOR 1
2. EXTERIOR WALL: STUCCO COLOR 2
3. EXTERIOR WALL: STUCCO COLOR 3
4. STUCCO BAND: STUCCO COLOR 4
5. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR
6. GUARDRAIL - METAL CUSTOM FABRICATED, PRIMED AND PAINTED
7. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
8. RESIDENTIAL WINDOW (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE
9. UNIT JULIET BALCONY - PRIMED AND PAINTED
10. UNIT PATIO/BALCONY DOOR: FULL LITE
11. HOLLOW METAL DOOR, PRIMED AND PAINTED
12. ALUMINUM STOREFRONT (CLEAR ANODIZED)
13. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)
14. OVERHEAD GARAGE DOOR
15. STEEL AWNING: PRIMED AND PAINTED
16. STEEL SHADE STRUCTURE: PRIMED AND PAINTED
17. STEEL ACCESS GATE: PRIMED AND PAINTED
18. BUILDING MOUNTED SIGN PANEL - PRIMED AND PAINTED
19. STEEL COLUMN: PRIMED AND PAINTED
20. OPTIONAL BUILDING MURAL: DESIGN TBD
21. 8' BUILDING STEP BACK ALONG 4TH STREET FOR PORTIONS OF THE BUILDING OVER 30'-0" IN HEIGHT ON THE FRONT FACING FACADE (IDO 3-4(J)(3)(B))
22. MAIN BUILDING ENTRANCE WEATHER PROTECTED (IDO 5-11(D)(1))
23. BUILDING PROJECTION OF AT LEAST 1'-0" IN DEPTH (IDO 5-11(E)(2)(D))
24. CHANGE IN COLOR, TEXTURE, OR MATERIAL (IDO 5-11(E)(2)(B))
25. BUILDING MOUNTED PROJECT SIGNAGE

GENERAL SHEET NOTES

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION
- E. PER IDO 5-11(E)(2), STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES



D1 DRB BUILDING 1 - NORTH ALONG FITZGERALD



B1 DRB BUILDING 1 - WEST



A1 DRB BUILDING 1 - EAST ALONG 4TH ST.

**DEKKER
PERICH
SABATINI**



SEAL
PROJECT

**DESIGN
REVIEW
BOARD
APPLICATION
(DRB)**

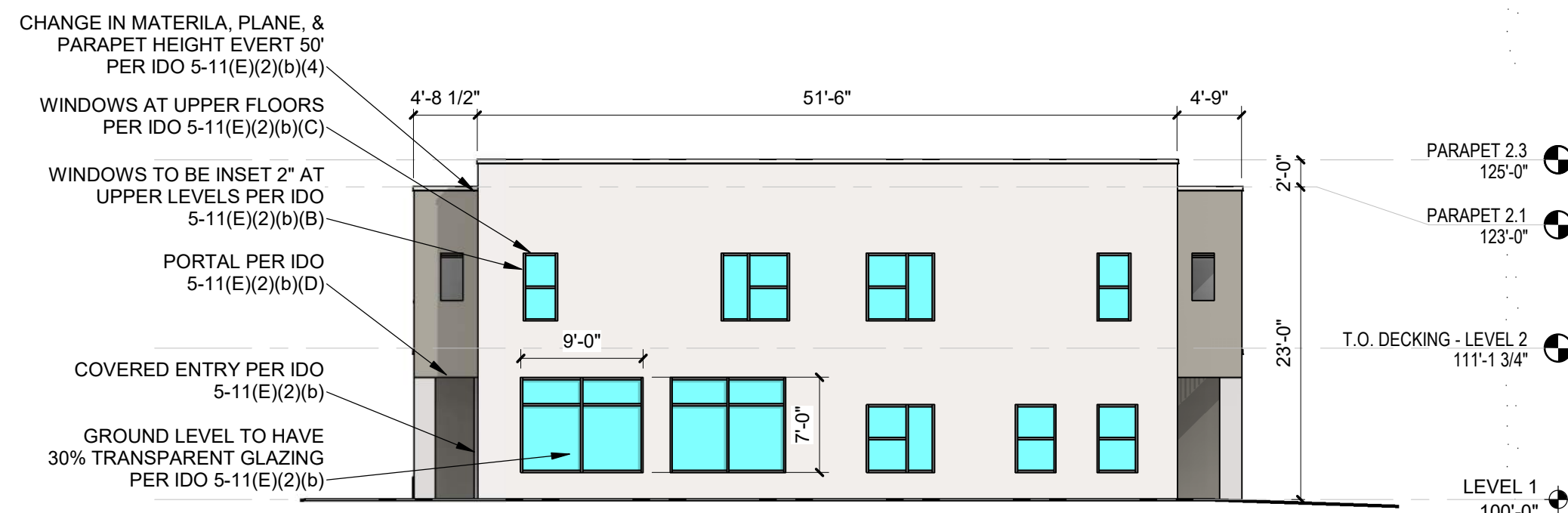
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DRAWN BY: DPS
REVIEWED BY: DPS
DATE: 01/07/2022
PROJECT NO: 20-0276

DRAWING NAME
**BUILDING
ELEVATIONS**

SHEET NO
SDP 5.1

2/15/2022 10:03:09 AM



D1 DRB BUILDING 3 - NORTH ALONG FITZGERALD
3/32" = 1'-0"

LEGEND

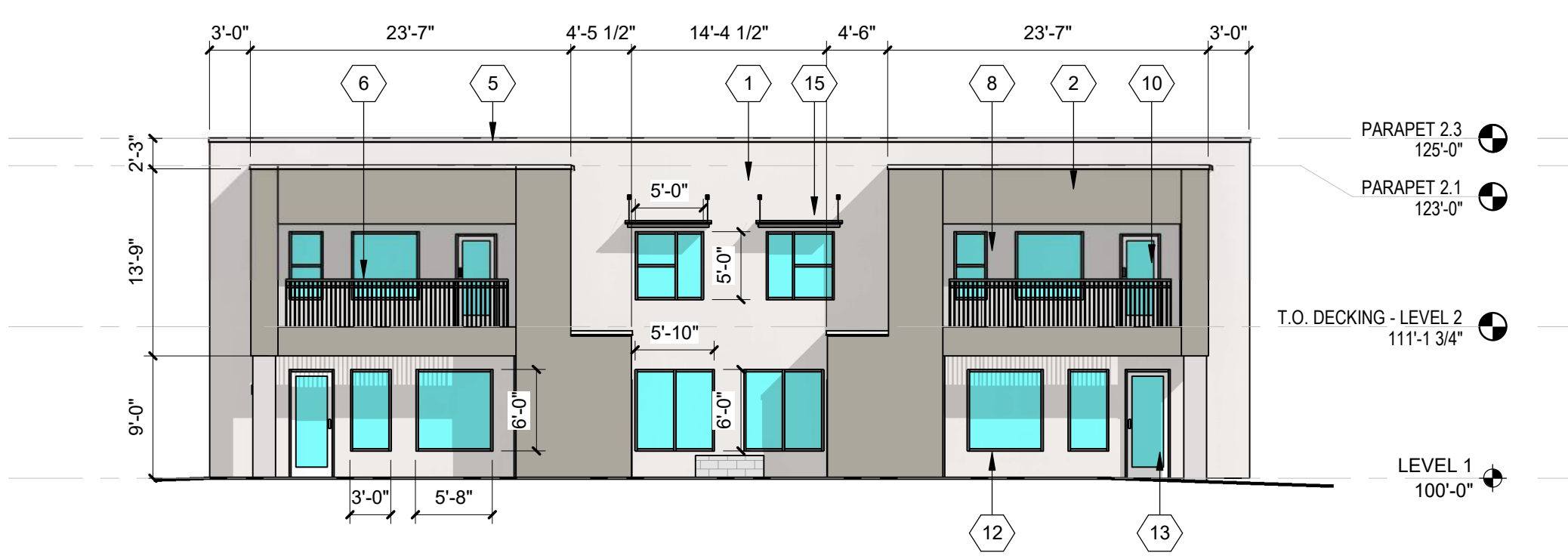
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- MISC. STEEL ELEMENTS: GUARDRAILS, TRELIS, SIGN PANEL, JULIET BALCONIES, AWNING, GATES FINISH - COLOR (SLATE GREY)
- OPTIONAL BUILDING MURAL: DESIGN T.B.D.

SHEET KEYNOTES

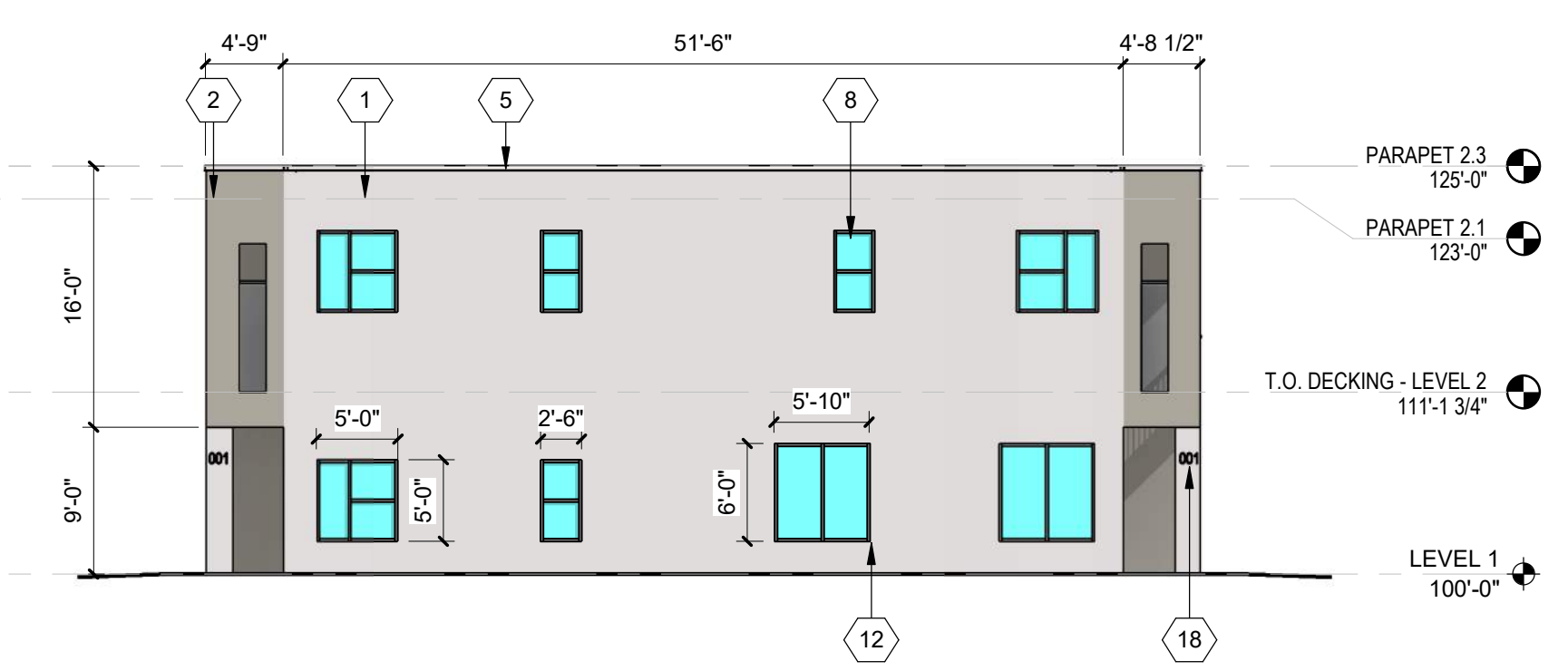
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- STEEL COLUMN: PRIMED AND PAINTED
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- 8' BUILDING STEP BACK ALONG 4TH STREET FOR PORTIONS OF THE BUILDING OVER 30'-0" IN HEIGHT ON THE FRONT FACING FACADE (IDO 3-4(J)(3)(B))
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- CHANGE IN COLOR, TEXTURE, OR MATERIAL (IDO 5-11(E)(2)(B))
- BUILDING MOUNTED PROJECT SIGNAGE

GENERAL SHEET NOTES

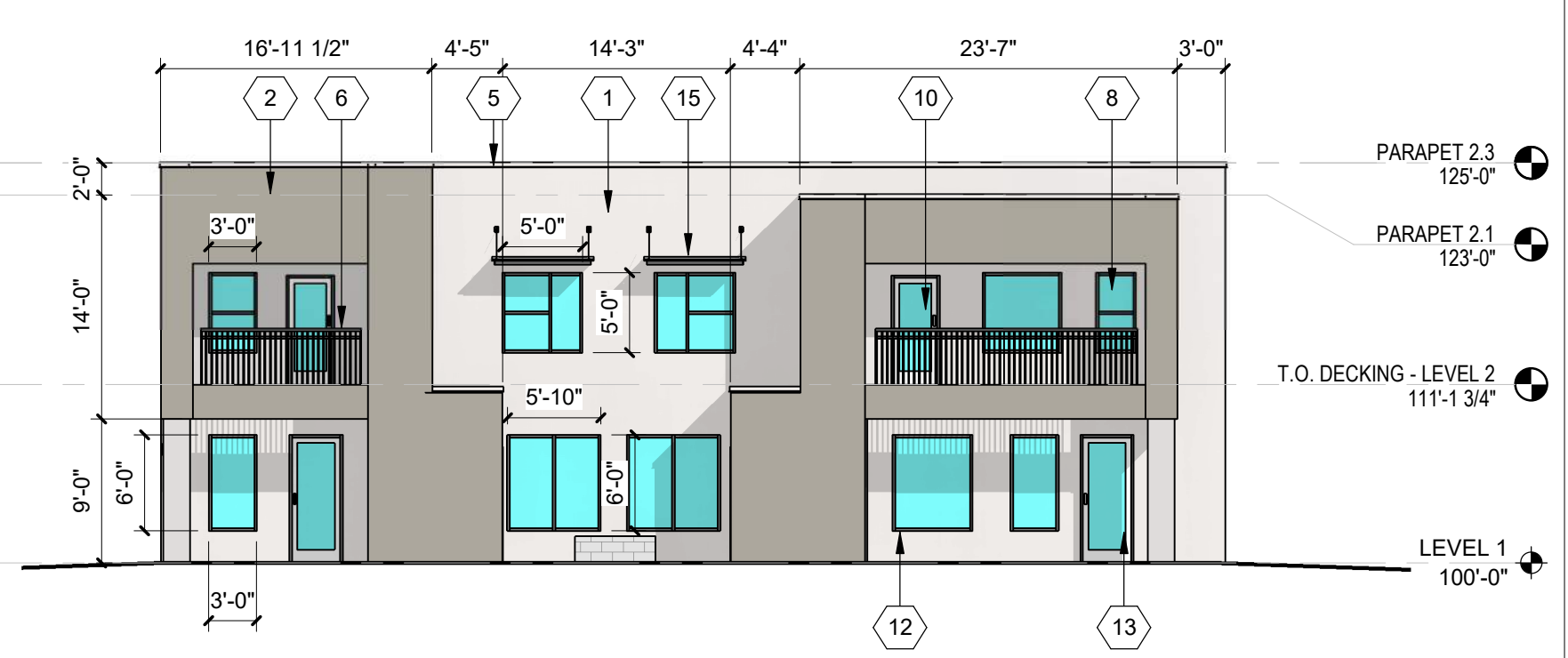
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
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- ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION
- PER IDO 5-11(E)(2), STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES



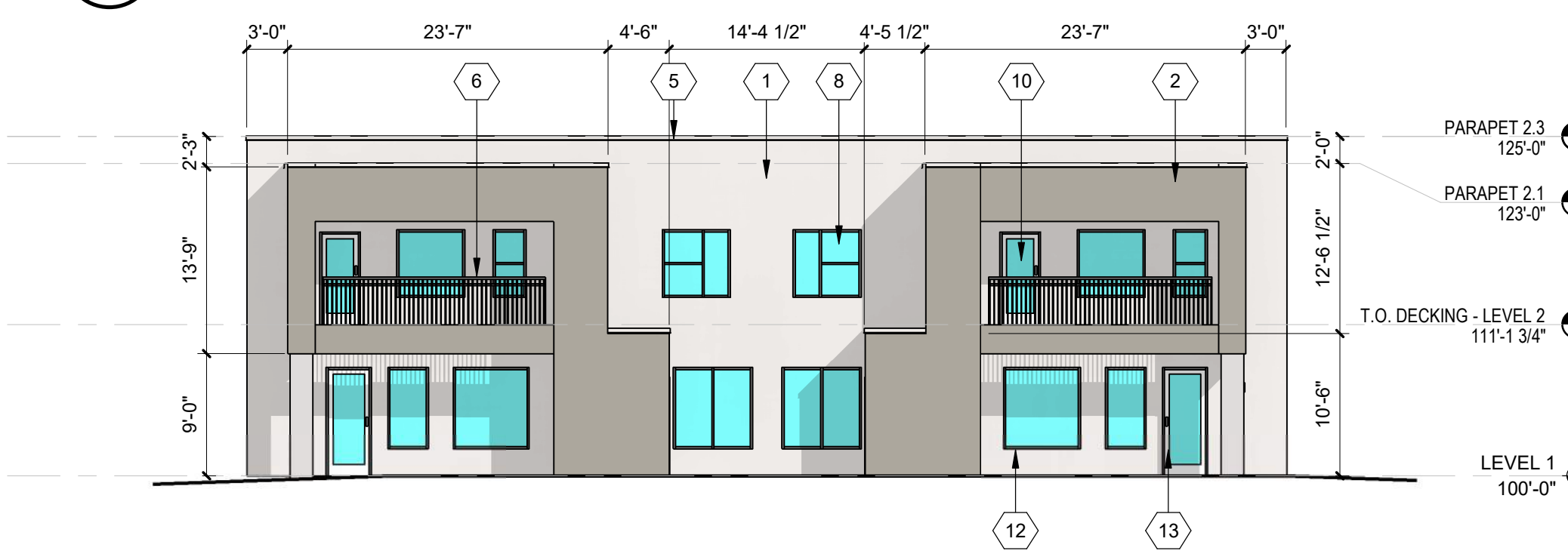
C1 DRB BUILDING 2 - EAST
3/32" = 1'-0"



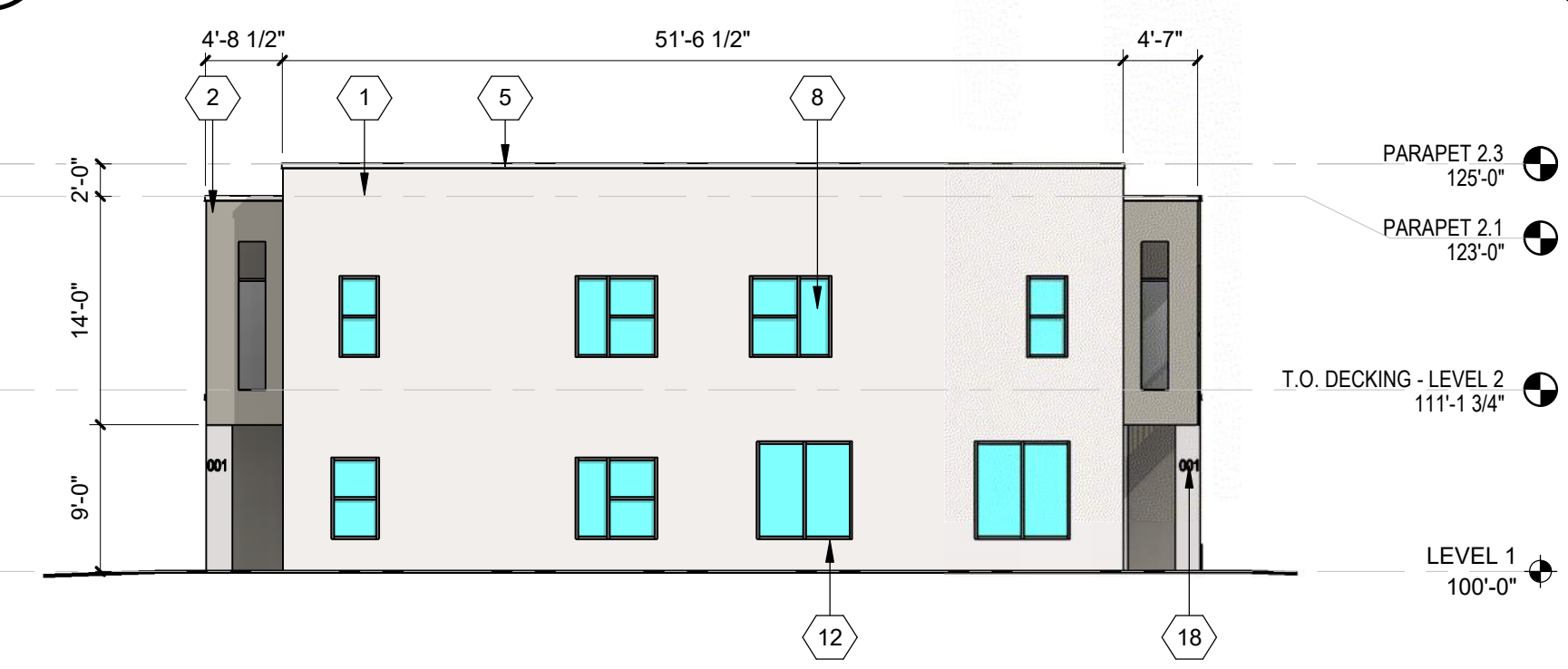
C3 DRB BUILDING 3 - SOUTH
3/32" = 1'-0"



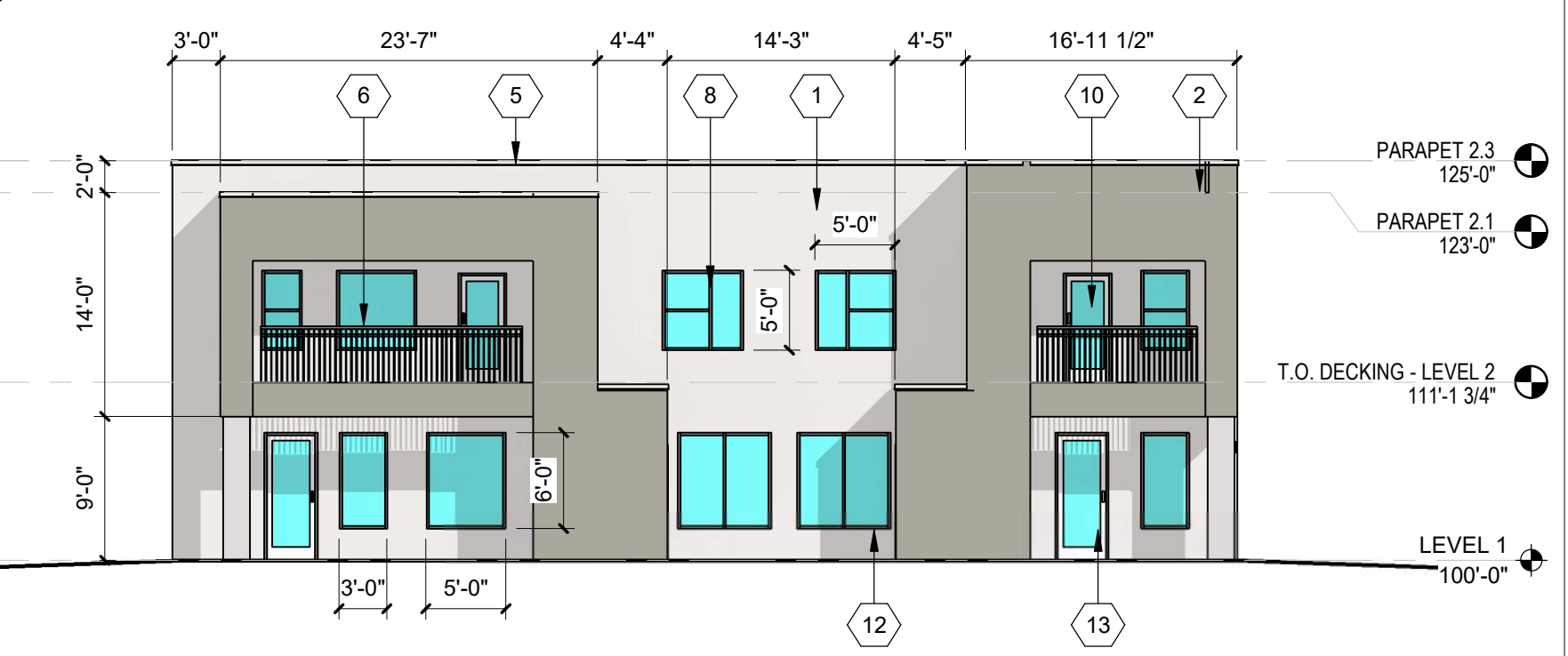
C4 DRB BUILDING 3 - EAST
3/32" = 1'-0"



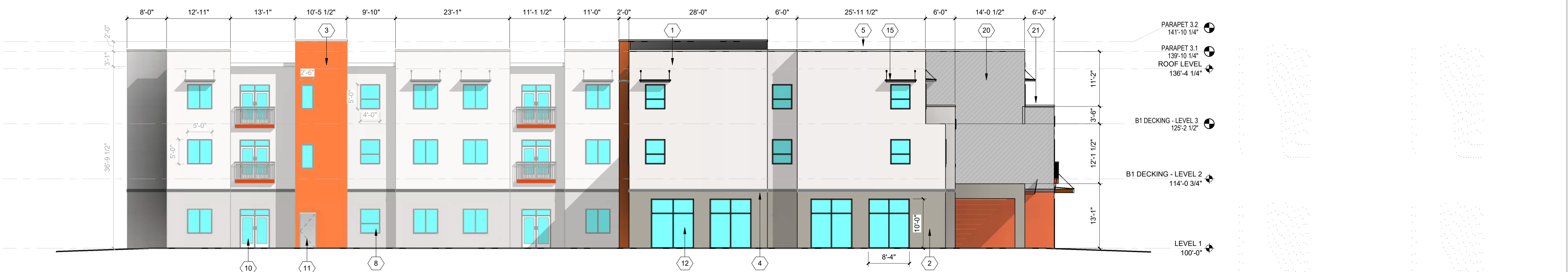
B1 DRB BUILDING 2 - WEST
3/32" = 1'-0"



B3 DRB BUILDING 2 - SOUTH (NORTH SIMILAR)
3/32" = 1'-0"



B4 DRB BUILDING 3 - WEST
3/32" = 1'-0"



A1 DRB BUILDING 1 - SOUTH
3/32" = 1'-0"

**DEKKER
PERICH
SABATINI**



SEAL
04/08/22
PROJECT

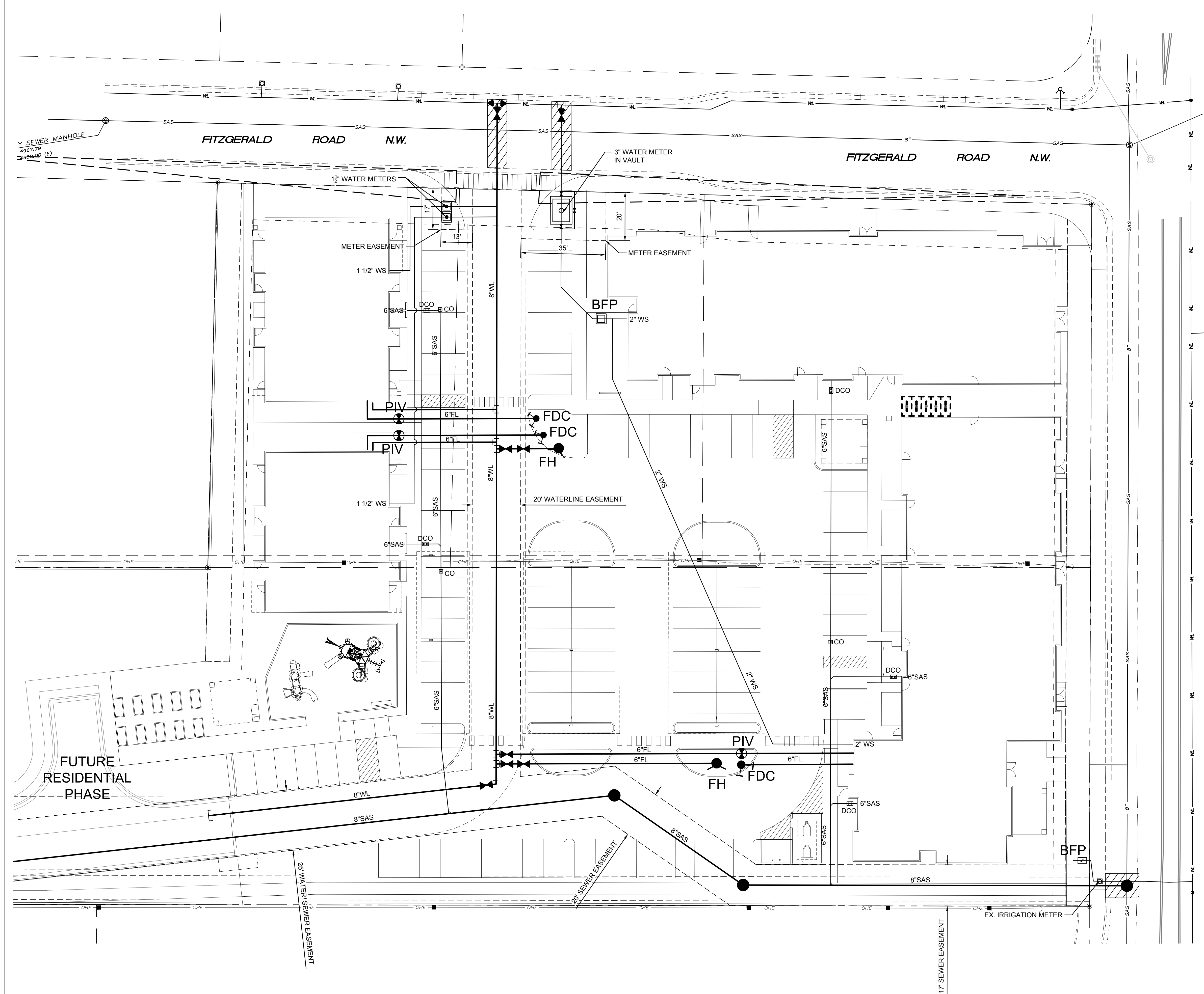
DESIGN
REVIEW
BOARD
APPLICATION
(DRB)

- REVISIONS
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DRAWN BY: DPS
REVIEWED BY: DPS
DATE: 01/07/2022
PROJECT NO: 20-0276

DRAWING NAME
**BUILDING
ELEVATIONS**

SHEET NO
SDP 5.2



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GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

LEGEND

- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- NEW WATERLINE
- NEW FIRE HYDRANT
- NEW WATER VALVE
- NEW FDC
- NEW PIV
- NEW WATER SERVICE

Isaacson & Arfman, Inc.
 Civil Engineering Consultants

128 Monroe Street NE
 Albuquerque, NM 87108
 505-266-8828 | www.iaarfi.com

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Engineer

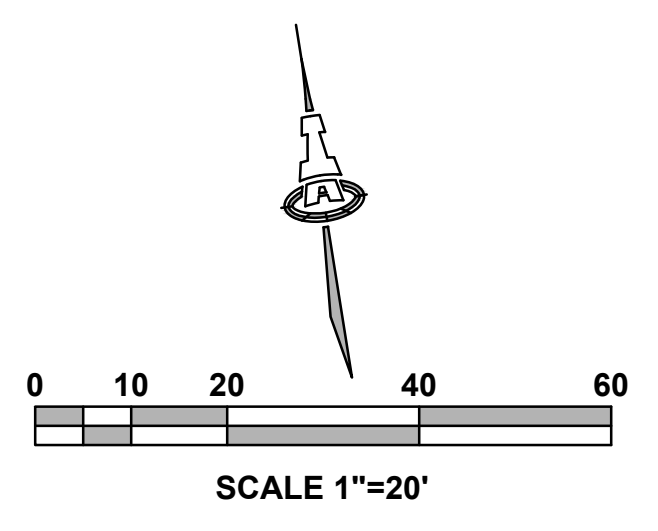
Calle Cuarta Residential & Commercial a development of YES Housing

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2429	
FILE:	DEC
DRAWN BY:	FCA
CHECKED BY:	JAN. 2022
DATE:	

No.	Date	Description

SHEET TITLE
CONCEPTUAL UTILITY PLAN

SHEET NUMBER
CU-101













PR-2020-003847_SI-2021-01955_Site_Plan_Aproved_1-26-22

Final Audit Report

2022-04-22

Created:	2022-04-20
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAFIX4kkEtQ6lykIRMPHBtYQQp3p9iHpMW

"PR-2020-003847_SI-2021-01955_Site_Plan_Aproved_1-26-22" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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Signature Date: 2022-04-22 - 1:49:41 PM GMT - Time Source: server

 Agreement completed.

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