



DEVELOPMENT REVIEW BOARD  
**SUPPLEMENTAL SUBMITTAL**

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2020-003847

Application No. SI-2021-01955

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 12/15/2020 HEARING DATE OF DEFERRAL: 1/12/2021

SUBMITTAL DESCRIPTION: Revised Drawings to address agency comments.

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CONTACT NAME: Anthony Santi

TELEPHONE: 505-761-9700 EMAIL: anthonys@dpsdesign.org



PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

ABCWUA \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

City Engineer/Hydrology \_\_\_\_\_ Date \_\_\_\_\_

Code Enforcement \_\_\_\_\_ Date \_\_\_\_\_

\*Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_

Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

\*Environmental Health, if necessary

2/16/2018

LEGEND

- LANDSCAPE AREA
HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
FIRELANE STRIPING MARKING FIRE ACCESS LANE, REF: A4/SDP1.2
PROPERTY LINE
FIRE HYDRANT
POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
BIKE RACK
SIDEWALK RAMP (ARROW POINTS DOWN)
TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
6" TALL DECORATIVE METAL FENCE
ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2.
COMPACT PARKING, REF: D5/SDP1.3
LIGHT POLE 25'-0" HEIGHT
6" BOLLARD WITH SIGN
6" WIDE PAINTED CROSSWALK, SEE A4/SDP1.2

VICINITY MAP



SHEET KEYED NOTES

- 1. TRASH COMPACTOR, SEE C1/SDP1.2
2. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
3. CONCRETE CURB & GUTTER, SEE A2/SDP1.2
4. 6" WIDE CONCRETE SIDEWALK SEE B4/SDP1.2
5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
6. 10' MIN, 15' MAX BUILDING SETBACK
7. 15' REAR SETBACK
8. ADA PARKING, SEE A3/SDP1.2
9. ACCESSIBLE RAMP, SEE B3/SDP1.2
10. ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 2446
11. MONUMENT SIGN SEE C4/SDP 1.2
12. OUTDOOR GATHERING AREA WITH PLAYGROUND
13. COVERED PARKING

AMENITIES

AMENITIES ON-SITE WILL INCLUDE COVERED PARKING SPACES, LEASING OFFICE, MAIL AND PACKAGE CENTER, AND BIKE STORAGE ROOM. THERE IS A CLUBHOUSE WITH GATHERING SPACE AND FITNESS CENTER. IN ADDITION TO THE CLUBHOUSE, OUTDOOR AMENITIES INCLUDE A SWIMMING POOL AND SPA, COVERED GATHERING AREAS AND LANDSCAPING.

OPEN SPACE CALCULATIONS

Table with 3 columns: UNIT TYPE, DESCRIPTION, GSF, #UNITS, TOTAL. Includes rows for USABLE OPEN SPACE, 1 BD, 2 BD, 3 BD, and REQUIRED OPEN SPACE.

UNIT DATA

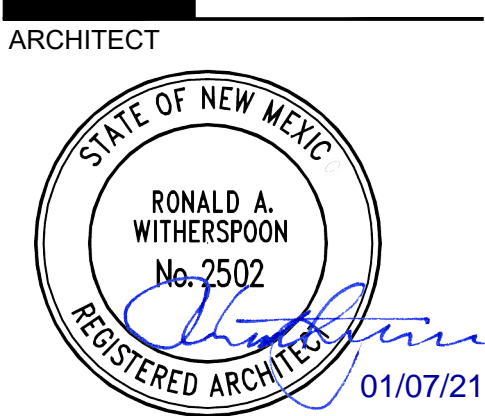
Table with 5 columns: UNIT TYPE, DESCRIPTION, GSF, #UNITS, TOTAL. Lists unit types S1, A1, A2, B1, B2, C1 and their respective specifications.

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-8 OUTDOOR LIGHTING.
G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
I. ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.

PROJECT DATA

ZONING: IDO - MIXED USE - MEDIUM INTENSITY ZONING DISTRICT (MX-M)
LANDUSE: MIXED USE
PLANNING CONTEXT: SITE IS WITHIN THE CPO-9 NORTH 4TH CORRIDOR OVERLAY ZONE
TRANSIT: BUS ROUTES 140, 251, AND 551 ARE ALONG JEFFERSON ST. A BUS STOP IS LOCATED LESS THAN 250 FEET FROM THE SUBJECT SITE ON JEFFERSON.
LEGAL DESCRIPTION: LOTS 1 THRU 3, BLOCK 1 FITZGERALD ADDITION AND TRACTS 90-C AND 90-B-2 M.R.G.C.D. PROPERTY MAP NO. 33 WITHIN ALBUQUERQUE, GRANT, SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO.
SITE AREA: 2.46 ACRES
ZONE ATLAS: G-14-2
SETBACKS: FRONT= 10' MIN, 15' MAX; SIDE = 0' MIN, STREET SIDE 0' MIN, 15' MAX; REAR= 15' MIN
BUILDING HEIGHT: MAXIMUM ALLOWED: 55'-0"; ACTUAL HEIGHT: 40'-0"
SPRINKLERED: YES, NFPA 13
BUILDING AREA (S.F.): BUILDING A: 53,966 GSF; BUILDING B: 8,360 GSF; BUILDING C: 7,260 GSF; 69,586 GSF
PARKING CALCULATION: (TABLE 5-5-1) 1 SPACES / DWELLING UNITS: 61 X 1 = 61 SPACES; RETAIL 2.5 SPACES / 1000 SF = 10,620 X 2.5 = 27 SPACES; LIVE/WORK 2.5 SPACES / 1000 SF = 3,500 X 2.5 = 9 SPACES; TOTAL REQUIRED SPACES = 97 SPACES; PROVIDED PARKING = 118
BICYCLE PARKING REQUIRED = 10 SPACES; 10% OF REQUIRED OFF-STREET PARKING = 97 X 0.10 = 10 SPACES; BICYCLE PARKING PROVIDED = 10 SPACES



ARCHITECT
ENGINEER
PROJECT

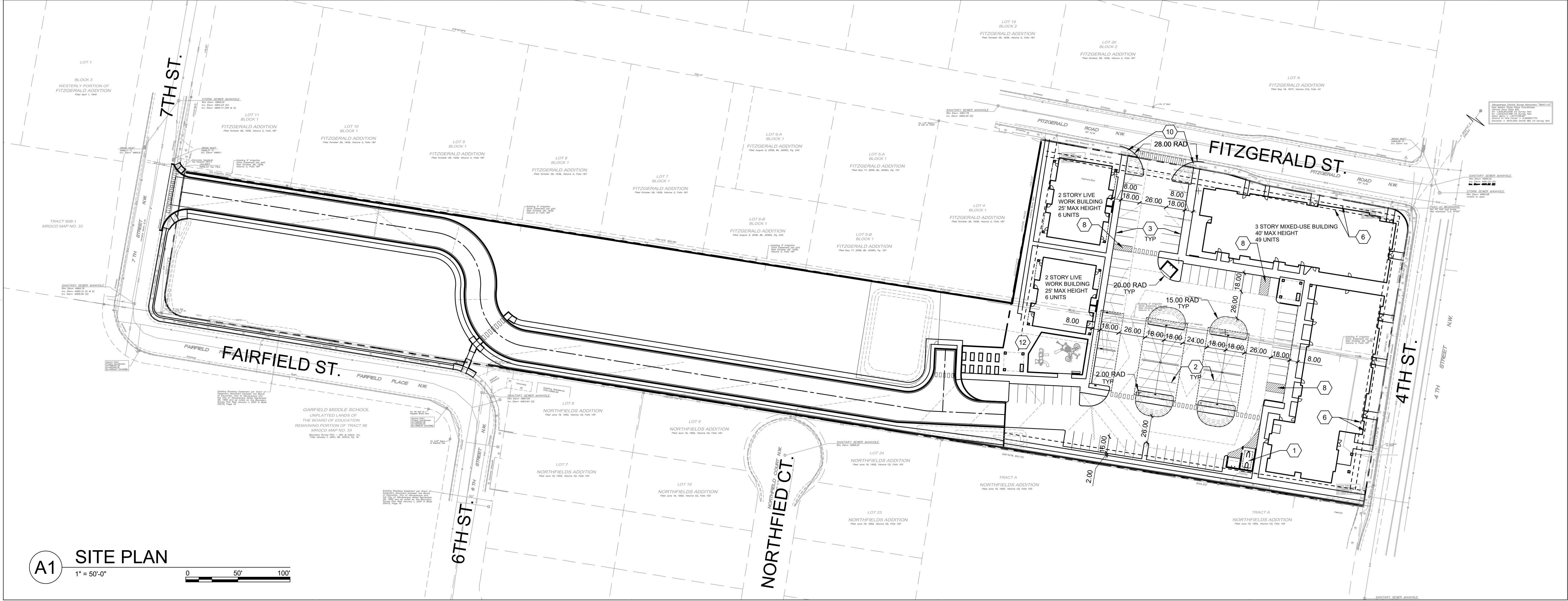
CALLE CUARTA
ALBUQUERQUE, NM

SITE PLAN - DRB

- REVISIONS
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DRAWN BY: D/P/S
REVIEWED BY: D/P/S
DATE: 11/19/2021
PROJECT NO.: 20-0276
DRAWING NAME: SITE PLAN

SHEET NO.
SDP1.1
OF



A1 SITE PLAN
1" = 50'-0"
Scale bar showing 0, 50, 100 feet.



**LEGEND**

- EXTERIOR WALL: STUCCO FINISH - COLOR 1 (OFF WHITE CREAM)
- EXTERIOR WALL: STUCCO FINISH - COLOR 2 (MEDIUM TAN/BROWN)
- EXTERIOR WALL: STUCCO FINISH - COLOR 3 (ACCENT RUST)
- EXTERIOR BAND ELEMENT: STUCCO FINISH - COLOR 4 (WARM GREY)
- MISC. STEEL ELEMENTS: GUARDRAILS, TRELIS, SIGN PANEL, JULIET BALCONIES, AWNING, GATES FINISH - COLOR (SLATE GREY)
- OPTIONAL BUILDING MURAL: DESIGN T.B.D.

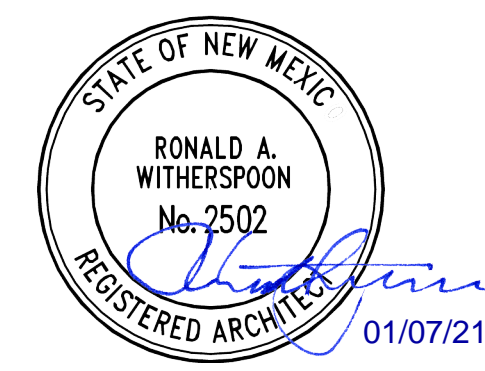
**SHEET KEYNOTES**

1. EXTERIOR WALL: STUCCO COLOR 1
2. EXTERIOR WALL: STUCCO COLOR 2
3. EXTERIOR WALL: STUCCO COLOR 3
4. STUCCO BAND: STUCCO COLOR 4
5. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR.
6. GUARDRAIL - METAL CUSTOM FABRICATED, PRIMED AND PAINTED
7. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
8. RESIDENTIAL WINDOW (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE
9. UNIT JULIET BALCONY - PRIMED AND PAINTED
10. UNIT PATIO/BALCONY DOOR: FULL LITE
11. HOLLOW METAL DOOR, PRIMED AND PAINTED
12. ALUMINUM STOREFRONT (CLEAR ANODIZED)
13. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)
14. OVERHEAD GARAGE DOOR
15. STEEL AWNING: PRIMED AND PAINTED
16. STEEL SHADE STRUCTURE: PRIMED AND PAINTED
17. STEEL ACCESS GATE: PRIMED AND PAINTED
18. BUILDING MOUNTED SIGN PANEL - PRIMED AND PAINTED
19. STEEL COLUMN: PRIMED AND PAINTED
20. OPTIONAL BUILDING MURAL: DESIGN TBD
21. 8' BUILDING STEP BACK ALONG 4TH STREET FOR PORTIONS OF THE BUILDING OVER 30'-0" IN HEIGHT ON THE FRONT FACING FACADE (DO 3-4(J)(3)(B))
22. MAIN BUILDING ENTRANCE WEATHER PROTECTED (IDO 5-11(D)(1))
23. BUILDING PROJECTION OF AT LEAST 1'-0" IN DEPTH (IDO 5-11(E)(2)(D))
24. CHANGE IN COLOR, TEXTURE, OR MATERIAL (IDO 5-11(E)(2)(B))
25. BUILDING MOUNTED PROJECT SIGNAGE

**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION
- E. PER IDO 5-11(E)(2), STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES

**DEKKER  
PERICH  
SABATINI**



SEAL

PROJECT

CALLE CUARTA  
ALBUQUERQUE, NM

**SITE PLAN - DRB**

REVISIONS

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DRAWN BY: DPS  
REVIEWED BY: DPS  
DATE: 01/07/2022  
PROJECT NO: 20-0276

DRAWING NAME  
**BUILDING ELEVATIONS**

SHEET NO  
**SDP 5.1**



1/7/2022 11:19:05 AM



**LEGEND**

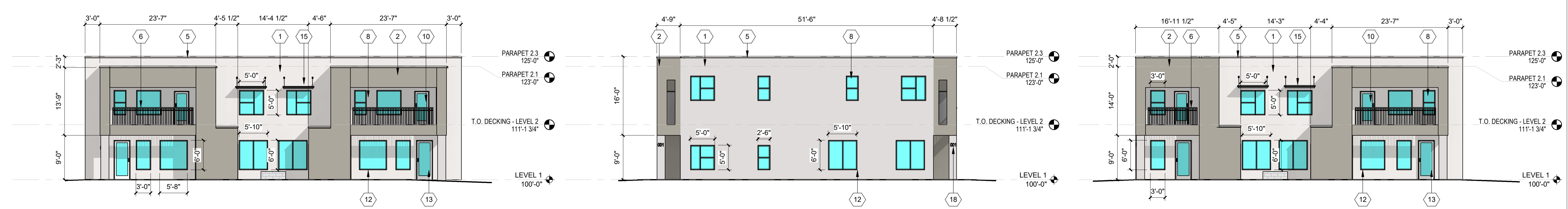
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**GENERAL SHEET NOTES**

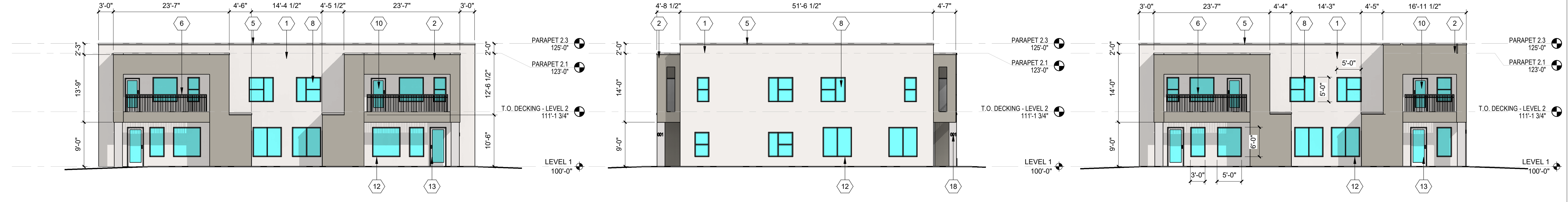
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- E. PER IDO 5-11(E)(2); STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES



**C1 DRB BUILDING 2 - EAST**  
3/32" = 1'-0"

**C3 DRB BUILDING 3 - SOUTH**  
3/32" = 1'-0"

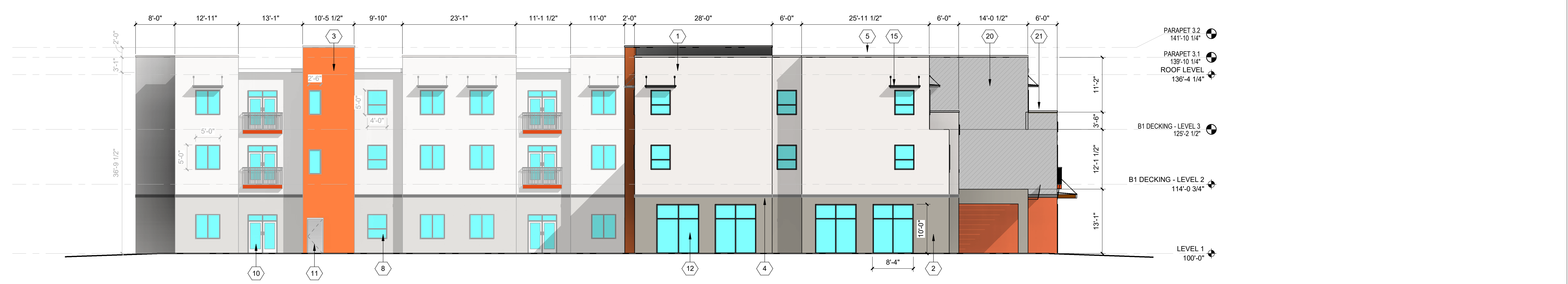
**C4 DRB BUILDING 3 - EAST**  
3/32" = 1'-0"



**B1 DRB BUILDING 2 - WEST**  
3/32" = 1'-0"

**B3 DRB BUILDING 2 - SOUTH**  
3/32" = 1'-0"

**B4 DRB BUILDING 3 - WEST**  
3/32" = 1'-0"



**A1 DRB BUILDING 1 - SOUTH**  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**



SEAL

PROJECT

CALLE CUARTA  
ALBUQUERQUE, NM

SITE PLAN - DRB

REVISIONS

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DRAWN BY: DPS  
REVIEWED BY: DPS  
DATE: 01/07/2022  
PROJECT NO: 20-0276

DRAWING NAME  
**BUILDING  
ELEVATIONS**

SHEET NO  
**SDP 5.2**