



Effective 3/01/2022

**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of SAN (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SAN (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
<b>BRIEF DESCRIPTION OF REQUEST</b>		
Sketch Plat Review & Comment Approval		

<b>APPLICATION INFORMATION</b>		
Applicant/Owner: YES Housing, Inc. (Contact: Thaddeus Lucero)		Phone: (505) 923-9611
Address: 901 Pennsylvania Street NE		Email: tlucero@yeshousing.org
City: Albuquerque	State: NM	Zip: 87110
Professional/Agent (if any): Isaacson & Arfman, Inc. (Contact: Fred C. Arfman)		Phone: (505) 268-8828
Address: 128 Monroe Street NE		Email: freda@iacivil.com
City: Albuquerque	State: NM	Zip: 87108
Proprietary Interest in Site:	List all owners: City of Albuquerque	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Tract B	Block:	Unit:
Subdivision/Addition: Calle Cuarta	MRGCD Map No.: 33	UPC Code: 101406027208540436
Zone Atlas Page(s): G-14	Existing Zoning: MX-M	Proposed Zoning: None
# of Existing Lots: 1	# of Proposed Lots: 21	Total Area of Site (Acres): 2.5306
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 3510 7th Street NW	Between: 7th Street NW	and: Fairfields PI NW
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
PR-2020-003847; SD-2021-00219; SD-2021-00220		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 09-21-22
Printed Name: Fred C. Arfman	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

## FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Your attendance is required.

### SKETCH PLAT REVIEW AND COMMENT

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*

Zone Atlas map with the entire site clearly outlined and labeled

Letter describing, explaining, and justifying the request

Scale drawing of the proposed subdivision plat

Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

### MAJOR SUBDIVISION FINAL PLAT APPROVAL

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

\_\_\_ A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*

\_\_\_ Zone Atlas map with the entire site clearly outlined and labeled

\_\_\_ Proposed Final Plat

\_\_\_ Design elevations & cross sections of perimeter walls

\_\_\_ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer

### SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

\_\_\_ A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*

\_\_\_ Zone Atlas map with the entire site clearly outlined and labeled

\_\_\_ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)

\_\_\_ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

\_\_\_ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use

\_\_\_ Sidewalk Exhibit and/or cross sections of proposed streets

\_\_\_ Proposed Infrastructure List, if applicable

\_\_\_ Required notice with content per IDO Section 14-16-6-4(K)

\_\_\_ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable

\_\_\_ Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)

\_\_\_ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer

**Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.**

### MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST

Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

\_\_\_ A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*

\_\_\_ Zone Atlas map with the entire site clearly outlined and labeled

\_\_\_ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)

\_\_\_ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan

\_\_\_ Original Preliminary Plat, Infrastructure List, and/or Grading Plan

\_\_\_ Infrastructure List, if applicable


**Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.**



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

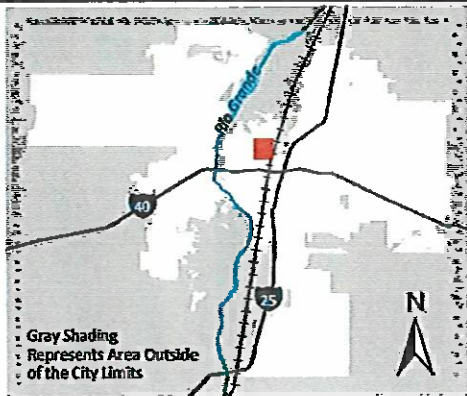
## IDO Zone Atlas

### May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**G-14-Z**



Gray Shading Represents Area Outside of the City Limits

----- Easement      [ ] Escarpment

[ ] Petroglyph National Monument

[ ] Areas Outside of City Limits

[ ] Airport Protection Overlay (APO) Zone

[ ] Character Protection Overlay (CPO) Zone

[ ] Historic Protection Overlay (HPO) Zone

[ ] View Protection Overlay (VPO) Zone

0    250    500    1,000 Feet

April 26, 2022

Jolene Wolfley, DRB Chair  
Planning Department  
City of Albuquerque  
Plaza del Sol Building  
600 Second NW  
Albuquerque, NM 87102

**Reference: YES Housing – Calle Cuarta Subdivision**

**Subject: Tract B, Calle Cuarta Sketch Plat Description**

Isaacson & Arfman, Inc., agent for YES Housing, Inc. would like to request a Sketch Plat review for the referenced project above. The Calle Cuarta Subdivision will construct new housing on platted lots. The site currently vacant.

The development proposes the subdivision of Tract B into twenty-one (21) separate lots, allowing for seven (7) tri-plex units to be constructed. Up to six lots will be affordable housing.

Tract B will soon be platted by DRB Plat Action and the proposed layout conforms to soon to be approved Site Plan (PROJECT NUMBER PR-2020-003847).

Thank you for your consideration on this matter and we are poised to provide additional information upon request.

Sincerely,  
**Isaacson & Arfman, Inc.**

  
Fred C. Arfman, PE

Attachments: Development Review Application, Form S2, Zone Atlas Page, Sketch Plat, Site Sketch

**SKETCH**

PLAT OF

# LOTS 1 THRU 21 CALLE CUARTA RESIDENTIAL

(BEING A REPLAT OF TRACT B, CALLE CUARTA)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT  
PROJECTED SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

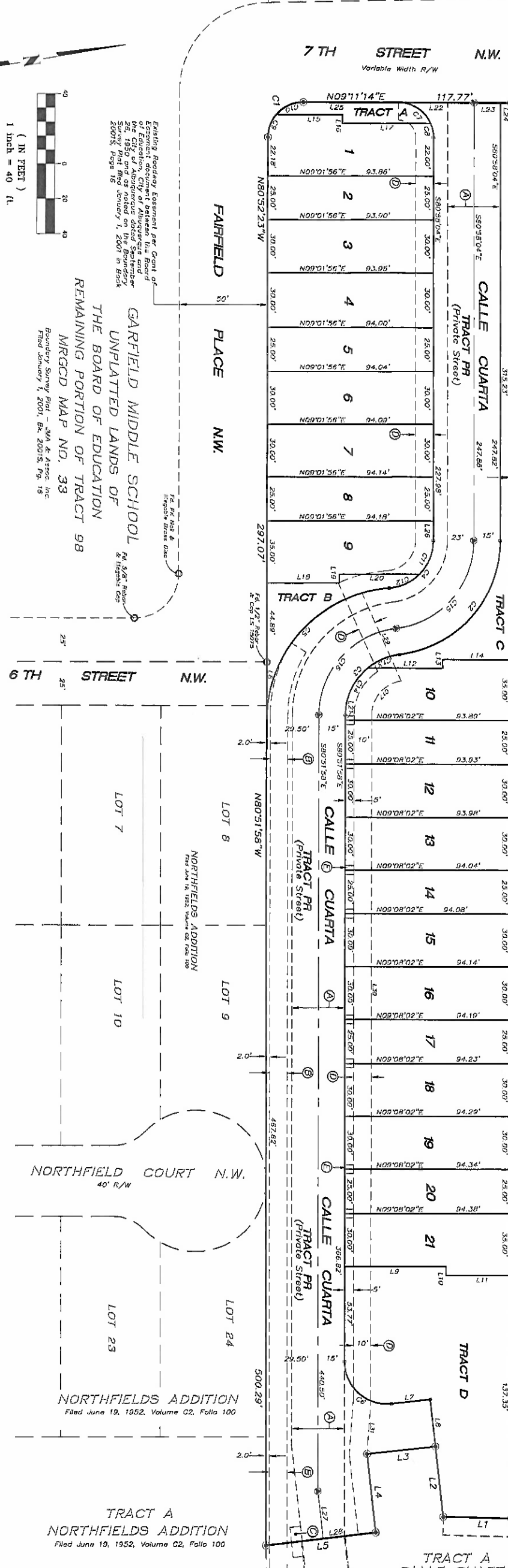
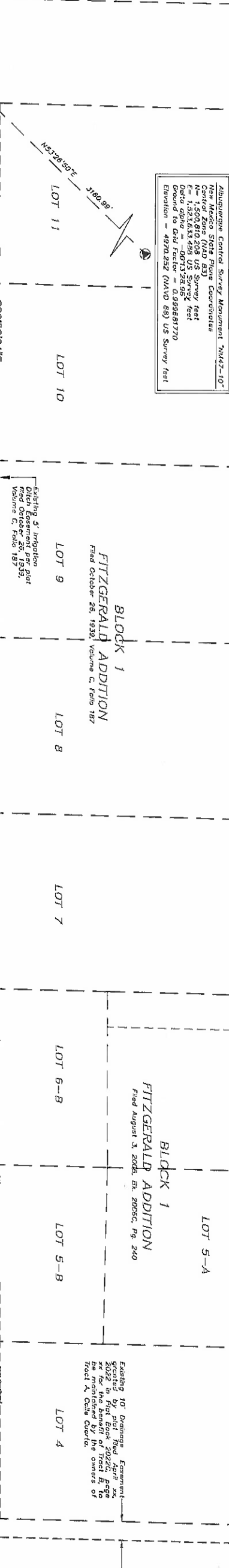
BERNALILLO COUNTY, NEW MEXICO

APRIL, 2022

### EASEMENT LEGEND

- Ⓐ Existing Public Emergency Access, Pedestrian and Bike Route Easement granted to the City of Albuquerque by plat filed April xx, 2022 in Plot Book 2022C, page xx, maintained by the Owner of Tract B until dedication to the City of Albuquerque.
- Ⓑ Existing 10' Public Pedestrian Access Easement granted to the City of Albuquerque by plat filed April xx, 2022 in Plot Book 2022C, page xx.
- Ⓒ Existing 5'x 16' Public Bike Route Easement granted to the City of Albuquerque by plat filed April xx, 2022 in Plot Book 2022C, page xx.
- Ⓓ New 10' Public Utility Easement granted by this plat.
- Ⓔ New 5'x 5' Public Water Meter Easement granted to ABCMUA by this plat. Said easement is centered on the front lot corners for Lots 10-21 as shown and noted hereon.

Albuquerque Control Survey Monument "MARK-10"  
New Mexico State Plane Coordinates  
Central Zone (NAD 83)  
N = 1,500,810.258 US Survey Feet  
E = 1,000,000.000 US Survey Feet  
Datum = NAD 83  
Datum Shift = -00173.253 US Feet  
Ground to Grid Factor = 0.999881770  
Elevation = 4970.252 (NAVD 83) US Survey Feet

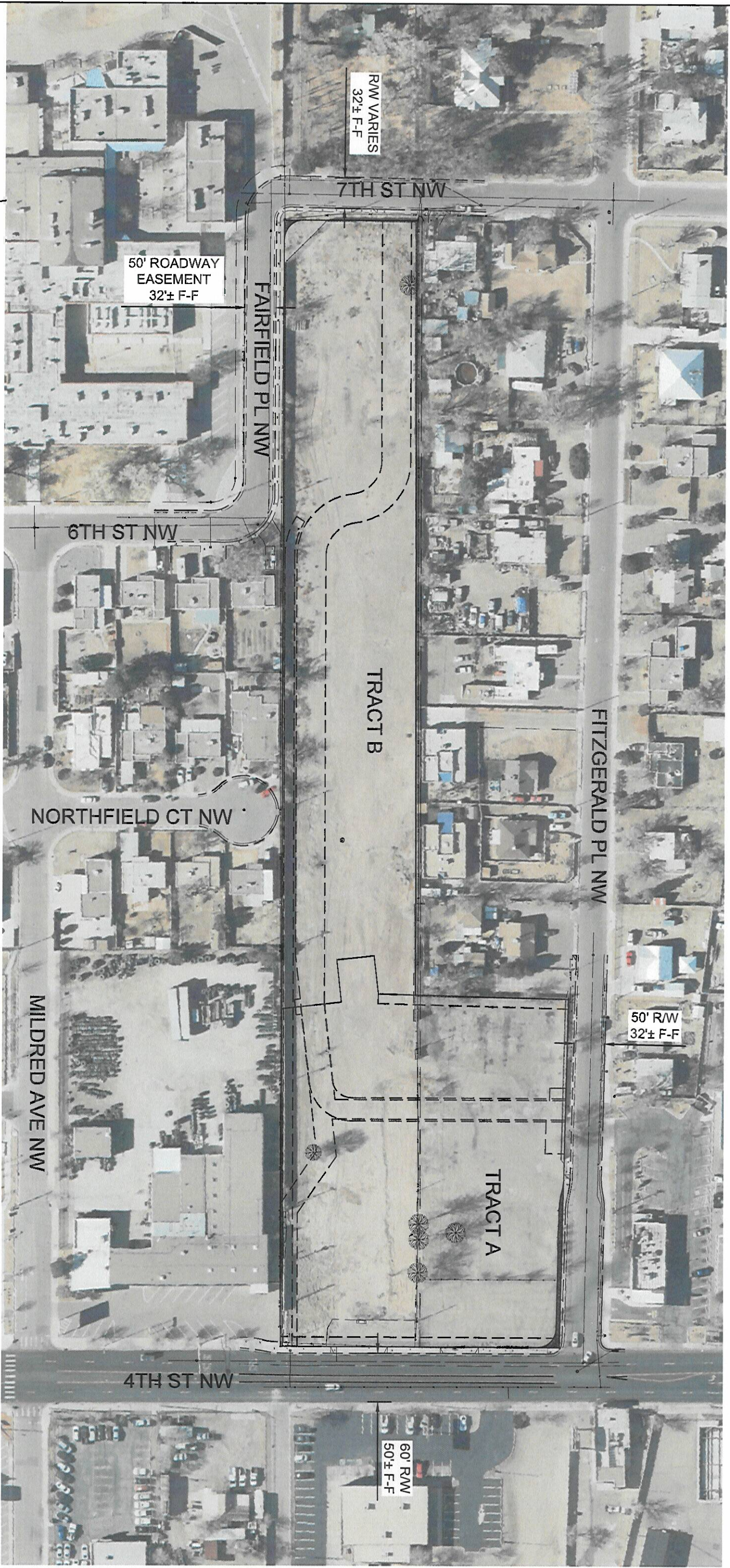


Existing Reading Easement per Grant of Easement document between the State of Education, City of Albuquerque and the City of Albuquerque dated September 14, 2001, recorded in the Public Records Survey Plat filed January 1, 2001 in Book 2001S, Page 16

Existing 5' Irrigation Easement per Grant of Easement document between the State of Education, City of Albuquerque and the City of Albuquerque dated September 14, 2001, recorded in the Public Records Survey Plat filed January 1, 2001 in Book 2001S, Page 16

Existing 10' Drainage Easement granted by plat filed April xx, 2022 in Plot Book 2022C, page xx for the benefit of Tract B and Tract C, maintained by the owners of Tract A, Calle Cuarta.

GARFIELD MIDDLE SCHOOL UNPLATTED LANDS OF THE BOARD OF EDUCATION  
MRGCD MAP NO. 33  
Boundary Survey Plat - JMA & Assoc. Inc  
Filed January 1, 2001, Bk. 2001S, Pg. 16



# SITE SKETCH

04/20/22

SCALE: 1"=80'

# CALLE CUARTA SUBDIVISION