

NORTH  
**B4** OVERALL SITE PLAN  
 1" = 80'-0" 0 80' 160'

**PARKING CALCULATIONS**

\*CALCULATIONS SHOWN ONLY TO DEMONSTRATE COMPLIANCE. ALL PARKING IS EXISTING TO REMAIN.

HOSPITAL = 256,310 S.F.  
 MEDICAL OFFICE = 148,058 S.F.

256,310 @ 4/1,000 = 1,026 SPACES  
 148,058 @ 5/1,000 = 740 SPACES  
 TOTAL = 1,766 SPACES

PROXIMITY TO TRANSIT REDUCTION = 1,766 \* .30 = 529 SPACES  
**TOTAL REQUIRED = 1,237 SPACES**

**TOTAL PROVIDED = 1,309 SPACES (INCLUDING 68 ADA)**

ACCESSIBLE PARKING	REQUIRED	PROVIDED
1,001 AND OVER	24	68
63 ACCESSIBLE, 5 VAN ACCESSIBLE		

MOTORCYCLE SPACES  
 NO CHANGE TO EXISTING

BICYCLE PARKING  
 NO CHANGE TO EXISTING

**LEGEND**

- PROPERTY LINE
- ☼ POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SDP5-3
- ↓ SIDEWALK RAMP (ARROW POINTS DOWN)
- ⊕ FIRE HYDRANT

**GENERAL SHEET NOTES**

1. EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
2. ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
3. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

**PROJECT DATA**

**LEGAL DESCRIPTION:** TRACT 1 REPLAT OF TRS E F & A EAST END ADD CONT  
**UPC:** 101905845122642008  
**LOT SIZE:** 18.895 ACRES  
**ZONE:** MX-H MIXED USE HIGH INTENSITY

PROJECT NO. \_\_\_\_\_

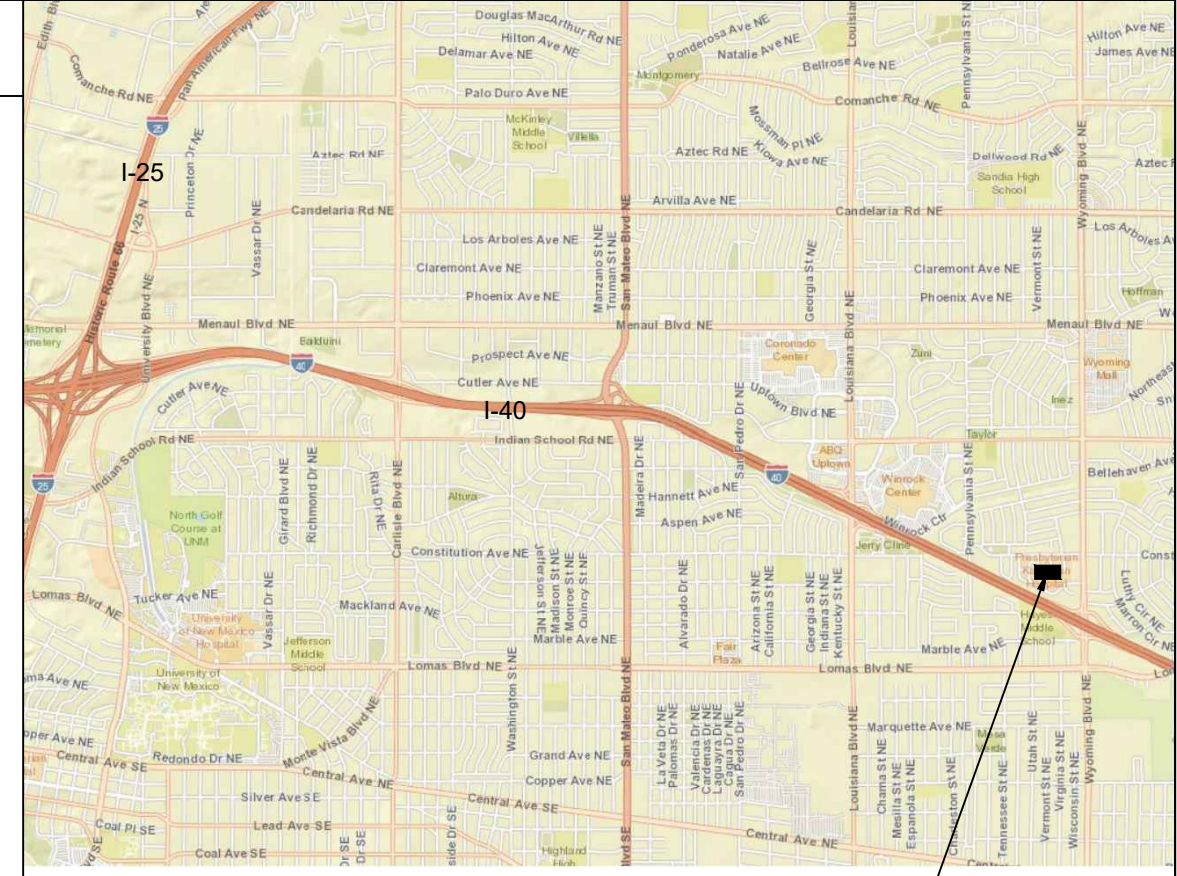
APPLICATION NO. \_\_\_\_\_

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
WATER UTILITY DEPARTMENT	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

**VICINITY MAP**



NORTH  
**VICINITY MAP**  
 ZONE ATLAS PAGE: J-19-Z PROJECT LOCATION

**DEKKER  
 PERICH  
 SABATINI**

ARCHITECTURE  
 DESIGN  
 INSPIRATION

ARCHITECT



ENGINEER

PROJECT

**PKH TOTAL JOINT CENTER**  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 8300 CONSTITUTION AVE, NE  
 ALBUQUERQUE, NM 87110

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE 7/24/2020

PROJECT NO. 19-0007.001

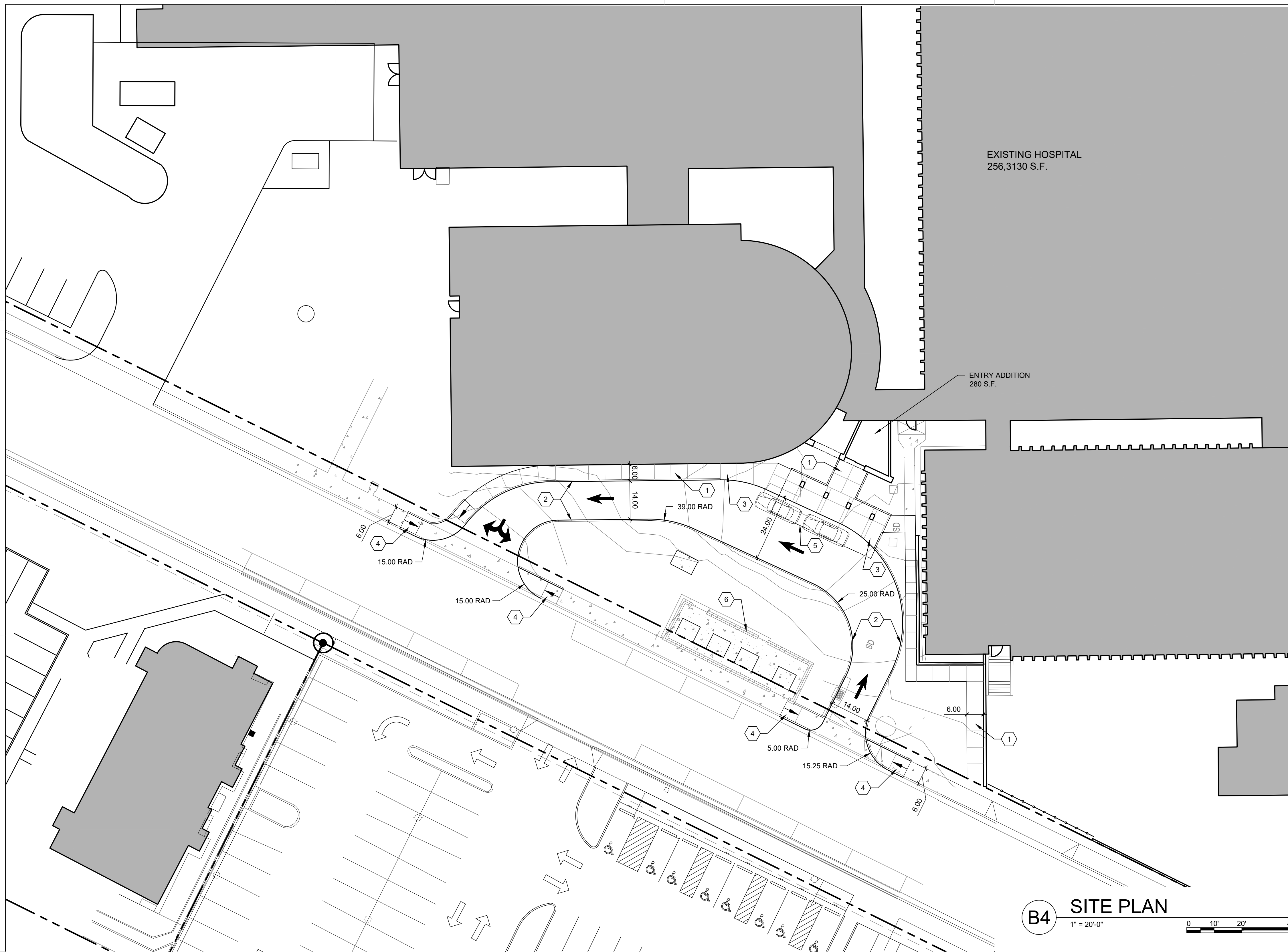
DRAWING NAME

**OVERALL  
 SITE PLAN**

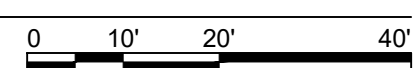
SHEET NO.

**AS100**

OF



**B4 SITE PLAN**  
1" = 20'-0"



**GENERAL SHEET NOTES**

- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

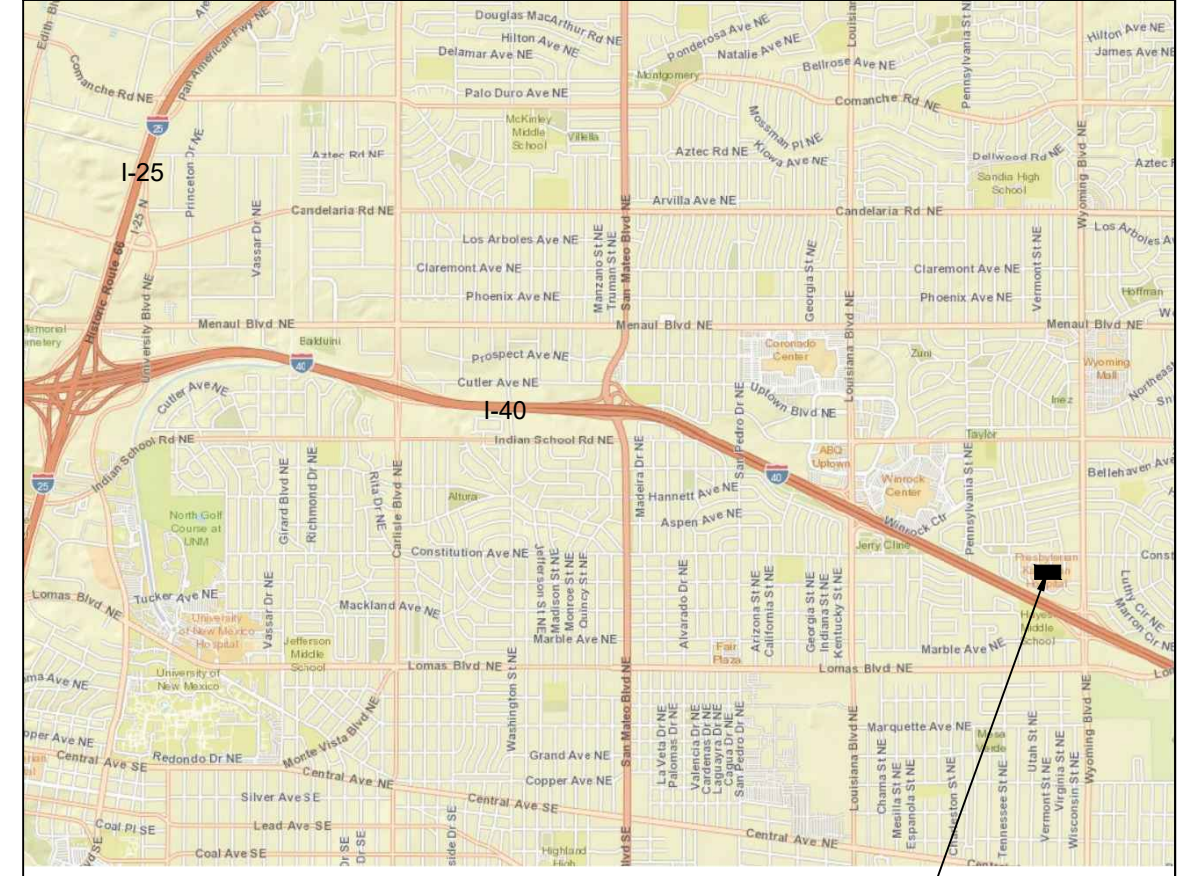
**SHEET KEYED NOTES**

- CONCRETE SIDEWALK. SEE C6/AS501
- CONCRETE CURB AND GUTTER. SEE B6/AS501
- FLUSH CONCRETE SIDEWALK. SEE DETAIL D3/AS501
- ACCESSIBLE RAMP TO BE CONSTRUCTED PER CITY DESIGN STANDARDS.
- CANOPY OVERHEAD
- EXISTING ELECTRICAL ENCLOSURE

**LEGEND**

- PROPERTY LINE
- ☼ POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SDPS-3
- ↓ SIDEWALK RAMP (ARROW POINTS DOWN)

**VICINITY MAP**



**VICINITY MAP**  
ZONE ATLAS PAGE: J-19-Z

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

**PKH TOTAL JOINT CENTER**  
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REVISIONS

- △
- △
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- △

DRAWN BY

REVIEWED BY

DATE 7/24/2020

PROJECT NO. 19-0007.001

DRAWING NAME

ARCHITECTURAL  
SITE PLAN

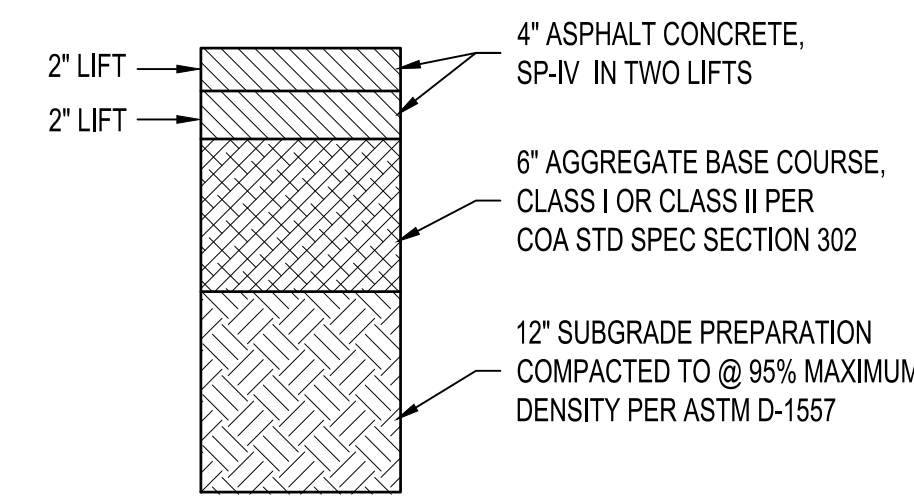
SHEET NO.

**AS101**

OF

**KEYED NOTES**

1. INSTALL STORM DRAIN PIPE.
2. CONSTRUCT TYPE 'C' SINGLE GRATE OVERFLOW STORM DRAIN INLET.
3. CONNECT TO EXISTING STORM DRAIN PIPE.
4. CONSTRUCT RETAINING WALL, SEE ARCHITECTURAL / STRUCTURAL PLANS FOR DETAILS.

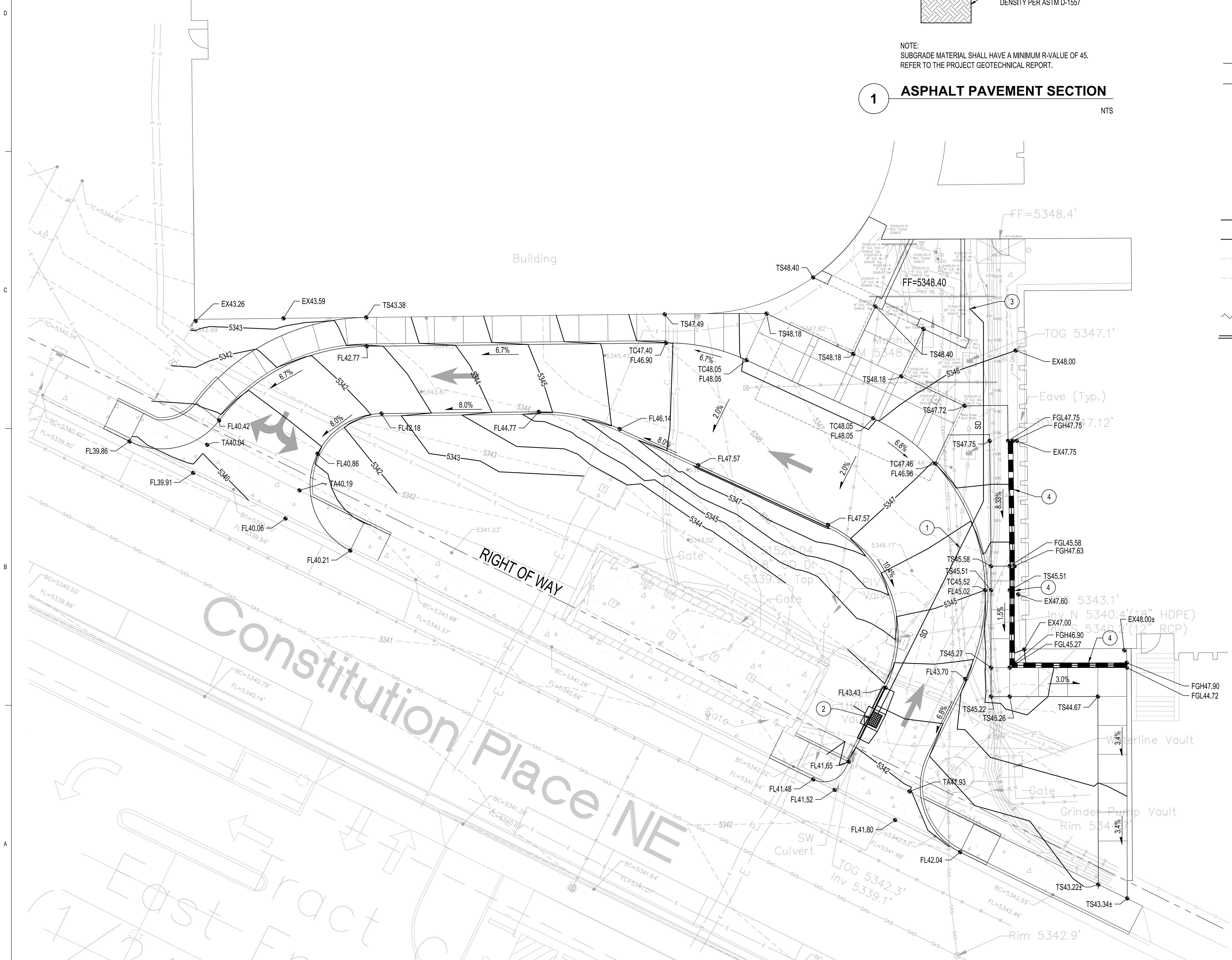


NOTE:  
SUBGRADE MATERIAL SHALL HAVE A MINIMUM R-VALUE OF 45.  
REFER TO THE PROJECT GEOTECHNICAL REPORT.

**1 ASPHALT PAVEMENT SECTION**  
NTS

**LEGEND**

- PROPERTY LINE
- 95.40 PROPOSED SPOT ELEVATION
- TA=TOP OF ASPHALT
- TC=TOP OF CURB
- FL=FLOW LINE
- TOC=TOP OF CONCRETE
- TS=TOP OF SIDEWALK
- TG=TOP OF GRATE
- FG=FINISHED GRADE
- FGH=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- INV=INVERT
- 4960 PROPOSED INDEX CONTOUR
- 4959 PROPOSED INTERMEDIATE CONTOUR
- 4960 EXISTING INDEX CONTOUR
- 4959 EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- ~~~~~ WATER BLOCK / GRADE BREAK
- SD PROPOSED STORM DRAIN PIPE
- ⊗ PROPOSED STORM DRAIN MANHOLE
- ⊞ PROPOSED STORM DRAIN INLETS
- ⊞ PROPOSED STORM DRAIN CAP



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT



NOT FOR CONSTRUCTION

PROJECT

PKH TOTAL JOINT CENTER  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
8300 CONSTITUTION AVE. SE  
ALBUQUERQUE, NM 87110

REVISIONS

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DRAWN BY BO  
REVIEWED BY GSB  
DATE 7/24/2020  
PROJECT NO. 19-0007.001  
DRAWING NAME

GRADING &  
DRAINAGE PLAN

SHEET NO.

**C101**  
OF

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

Thu 23-Jul-2020 - 2:45 pm Plotted by: BORTEGA  
P:\20210017\CDP\Plans\General\20210017 GP02.dwg

**GENERAL SHEET NOTES**

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: DISTURBED LANDSCAPE AREAS ARE OR SHALL BE COVERED WITH TURF, OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH NEW TREE ROOTBALL AREA/DRIPLINE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 7 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- G. LANDSCAPE AREAS THAT AREA DISTURBED DURING CONSTRUCTION WILL BE REPAIRED TO THEIR ORIGINAL CONDITION.
- H. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- I. EXISTING PLANT MATERIAL TO BE PRESERVED ON THE PROPERTY IS SHOWN AND QUANTIFIED IN THE LANDSCAPE CALCULATIONS.
- J. SEE SITE PLAN FOR IMPERVIOUS AREAS AND EASEMENTS.

**IRRIGATION NOTES**

- A. THE IRRIGATION FOR NEW CONSTRUCTION AREAS IS CONNECTED TO THE SITE'S EXISTING IRRIGATION SYSTEM.
- B. THE IRRIGATION SYSTEM DESIGN IS BE BASED ON RECORD DRAWINGS AND OWNER'S REPRESENTATIVE'S INFORMATION TO SPECIFY EXISTING IRRIGATION EQUIPMENT AND DATA. RECORD DRAWINGS ARE AVAILABLE UPON REQUEST.
- C. THE IRRIGATION SYSTEM IS COMPRISED OF THE FOLLOWING:
  - AN EXISTING POINT OF CONNECTION AND CONTROLLER ARE TBD. THE EXISTING CONTROLLER WILL OPERATE NEW AND EXISTING IRRIGATION.
  - THE CURRENT VACUUM BREAKER, IF NOT IN COMPLIANCE, WILL BE REMOVED AND REPLACED WITH A NEW BACKFLOW PREVENTER THAT COMPLIES WITH THE CITY OF ALBUQUERQUE BACKFLOW PREVENTION DEVICE STANDARDS AND SPECIFICATIONS.
  - THE IRRIGATION ZONES BEING CREATED OR MODIFIED WITH THIS PROJECT ARE COMPRISED OF THE FOLLOWING:
    - NEW DRIP IRRIGATION ZONES.
    - RETROFIT ZONES THAT ARE IRRIGATING EXISTING PLANTS.
- D. THE NEW DRIP IRRIGATION ZONES ARE DESIGNED TO MINIMIZE THE USE OF WATER.
- E. THE NEW AND RETROFIT IRRIGATION ZONES WILL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- F. THE NEW AND RETROFIT IRRIGATION ZONE'S RUN TIMES ARE BASE UPON PLANT SPECIES AND ESTABLISHMENT. THE CONTRACTOR SHALL ADJUST RUN TIMES ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- G. THE CONTRACTOR SHALL AUDIT THE EXISTING IRRIGATION SYSTEM TO DETERMINE ITS EXTENTS, PERFORMANCE, AND CONDITION. THE CONTRACTOR SHALL VERIFY THE EXISTING SYSTEM AND NOTE WATER METERS, SHUT-OFF VALVES, BACKFLOW PREVENTION ASSEMBLIES, PIPING, STATIONS AND OTHER COMPONENTS NECESSARY TO MANAGE DISTURBANCE, REPLACEMENT, AND OPERATION DURING CONSTRUCTION.
- H. THE CONTRACTOR SHALL PROTECT THE EXISTING IRRIGATION SYSTEM TO ENSURE THAT REMAINING PLANT MATERIAL RECEIVES IRRIGATION DURING CONSTRUCTION. THE CONTRACTOR MAY TEMPORARILY MODIFY THE EXISTING IRRIGATION SYSTEM TO ASSURE IRRIGATION TO THE REMAINING PLANT MATERIALS DURING CONSTRUCTION.
- I. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

**LEGEND**

- PROPERTY LINE
- EXISTING SHRUB TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- 7/8"Ø SANTA FE BROWN ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC
- EXISTING VEGETATION TO REMAIN

**SHEET KEYED NOTES**

- | SYMBOL | DESCRIPTION  |
|--------|--|
| △      | CLEAR SIGHT TRIANGLE, NO PLANT MATERIAL WITH A MATURE HEIGHT GREATER THAN 3'-0" TO BE WITHIN THIS AREA |

**LANDSCAPE CALCULATIONS**

REQUIRED STREET TREES = 1 TREE PER 25' LINEAR FEET OF STREET FRONTAGE  
 STREET TREES =  
 CONSTITUTION PLACE FRONTAGE = 219 LNFT  
 REQUIRED STREET TREES = 9  
 PROVIDED STREET TREES = 0'  
 (\*TREES NOT POSSIBLE DUE TO EXISTING UTILITIES)

GROUND COVER MATERIAL  
 TOTAL ROCK MULCH GROUND COVER = 5526 SF (100% OF MULCHED LANDSCAPE AREA)

REQUIRED VEGETATIVE COVERAGE  
 TOTAL VEGETATIVE COVER REQUIRED = 4,4145 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)  
 TOTAL VEGETATIVE COVER PROVIDED = 4194 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)

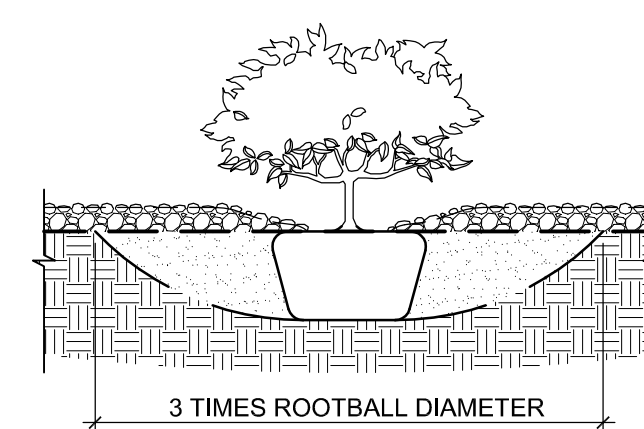


**PLANT SCHEDULE**

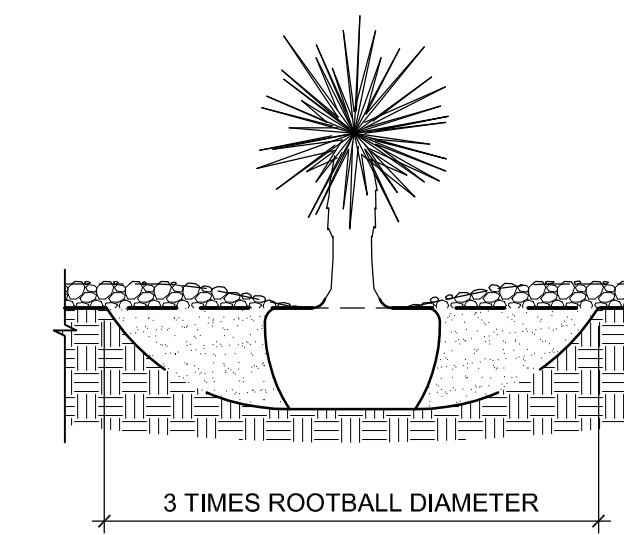
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
○	38	AMORPHA CANESCENS	LEADPLANT	5 GAL	3.00	3.00
✱	16	CYTISUS SCOPARIUS 'LENA'S'	LENA'S BROOM	5 GAL	4.00	4.00
⊗	3	JUNIPERUS SABINA 'TAMARISCIFOLIA'	TAM JUNIPER	5 GAL	3.50	8.00
○	4	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL	15.00	15.00
DESERT ACCENTS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
✱	31	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	5.00	3.00
⊗	12	NOLINA MICROCARPA	BEARGRASS	5 GAL	6.00	5.00
✱	13	OPUNTIA BASILARIS	BEAVERTAIL PRICKLYPEAR	5 GAL	1.50	6.00
✱	9	YUCCA ELATA	SOAPTREE YUCCA	5 GAL	10.00	7.00
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
✱	100	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	5 GAL	4.00	2.5"
✱	45	MUHLENBERGIA CAPILLARIS 'IRVINE'	PLUMETASTIC PINK MUHLY	5 GAL	3.00	4.00
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
⊕	19	GAILLARDIA X GRANDIFLORA 'BURGUNDY'	BURGUNDY BLANKETFLOWER	5 GAL	2.00	3.00

NOTES:  
 1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.

NOTE:  
 1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



**A3** 3/4" = 1'-0" 0 1' 2' 3'



**A4** 3/4" = 1'-0" 0 1' 2' 3'



**LANDSCAPE PLAN**

Bridgers & Paxton Project No: 6278.50 7/24/2020 9:14:11 AM D:\Revit\2020\Projects\6278.50\MEP-Kaseman Total Joint Replacement Center\_v20\_MP\adiadi.rvt



**A1**

### ELECTRICAL SITE PLAN - TJRC ENTRY ADDITION

SCALE: 1" = 20'-0"

0' 15' 30' 60'



#### GENERAL SHEET NOTES

- A. THE CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT PRIOR TO THE BID OPENING. TO ALLOW THEM TO SUBMIT A COMPLETE BID WITHIN THE SCOPE OF THE DRAWINGS AND SPECIFICATIONS. ANY QUESTIONS ARISING DURING THE BID PERIOD, IN REGARD TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF THE WORK OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE ENGINEER FOR CLARIFICATION PRIOR TO AWARD OF CONTRACT.
- B. COORDINATE EXISTING UNDERGROUND/OVER HEAD ELECTRICAL CONDUITS AND CIRCUIT LOCATIONS IN FIELD TO AVOID CONFLICTS.
- C. CONTRACTOR TO FIELD VERIFY ALL UNDERGROUND AND OVERHEAD ELECTRICAL AND DATA UTILITY LOCATIONS PRIOR TO EXCAVATION.
- D. CONTRACTOR SHALL MAINTAIN ALL CIRCUIT AND CONDUIT CONTINUITY TO ALL EXISTING DEVICES WHICH ARE TO REMAIN. PROVIDE ALL FIELD CIRCUIT VERIFICATION AS REQUIRED TO ENSURE CONTINUITY AS MAINTAINED.
- E. ALL POWER CONDUCTORS/BRANCH CIRCUIT WIRES SHALL BE A MINIMUM OF #8 AWG UNLESS OTHERWISE NOTED.

#### KEYNOTES

- 1. OUTDOOR LED AREA LIGHT FIXTURE. BASIS OF DESIGN: LSI LIGHTING - #MRM-LED-9L-SIL-3-IL-UNV-DIM-40-70CRI-BRZ-IL ON HAPCO #12 SSS POLE; 4000K, 70CRI WITH SILICONE REFRACTOR OPTICS; TYPE 3 DISTRIBUTION WITH COMPONENTS FULLY ENCASED AND COMPLIES WITH FCC STANDARDS; LISTED TO UL 1598 AND UL 8750. COORDINATE EXACT LOCATIONS WITH PHS STAFF PRIOR TO INSTALLATION.

# DEKKER PERICH SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

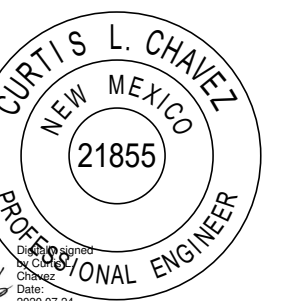


**BRIDGERS & PAXTON**

4600 C Montgomery Blvd, NE  
Albuquerque, NM 87109  
505-883-4111 www.bpx.com

INNOVATIVE | DEPENDABLE | SOLUTIONS

ENGINEER



PROJECT

**PKH TOTAL JOINT CENTER**  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
8300 CONSTITUTION AVE. NE  
ALBUQUERQUE, NM 87110

REVISIONS



DRAWN BY MPV

REVIEWED BY CLC

DATE 7/24/2020

PROJECT NO. 19-0007.001

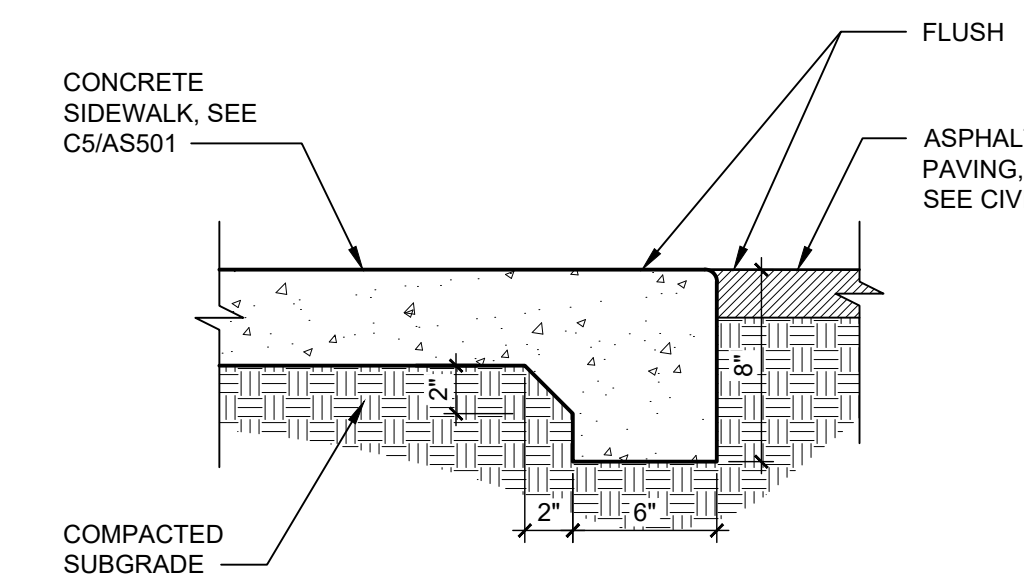
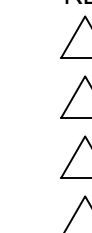
DRAWING NAME

**ELECTRICAL SITE PLAN**

SHEET NO.

# ES102

OF



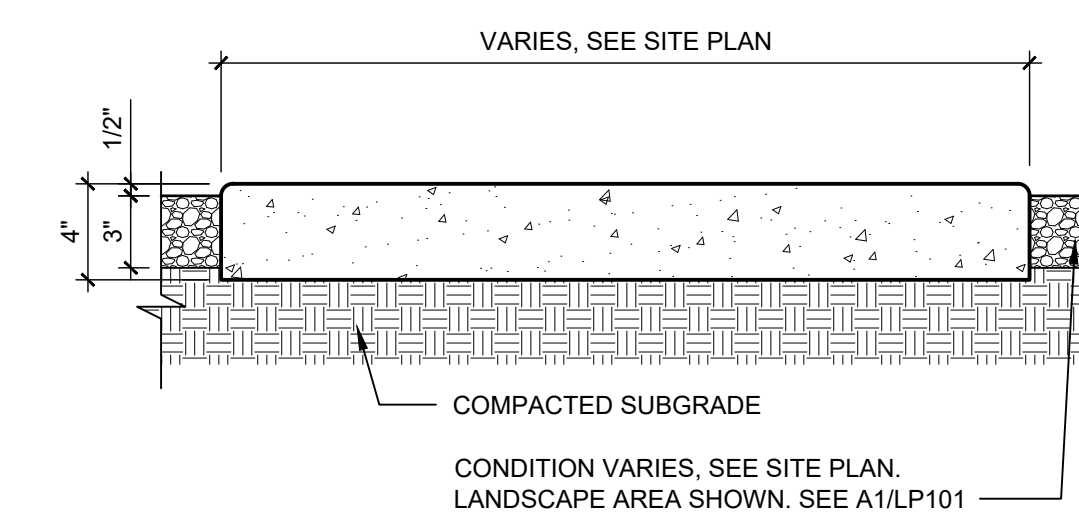
**FLUSH CONCRETE  
SIDEWALK**

**D5**

1 1/2" = 1'-0" 0 1/2' 1' 1 1/2'

NOTES:

1. SEE SITE PLANS AND D6/AS501 FOR JOINTING.
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES.
3. INTEGRAL COLOR WHERE NOTED ON PLANS.
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.

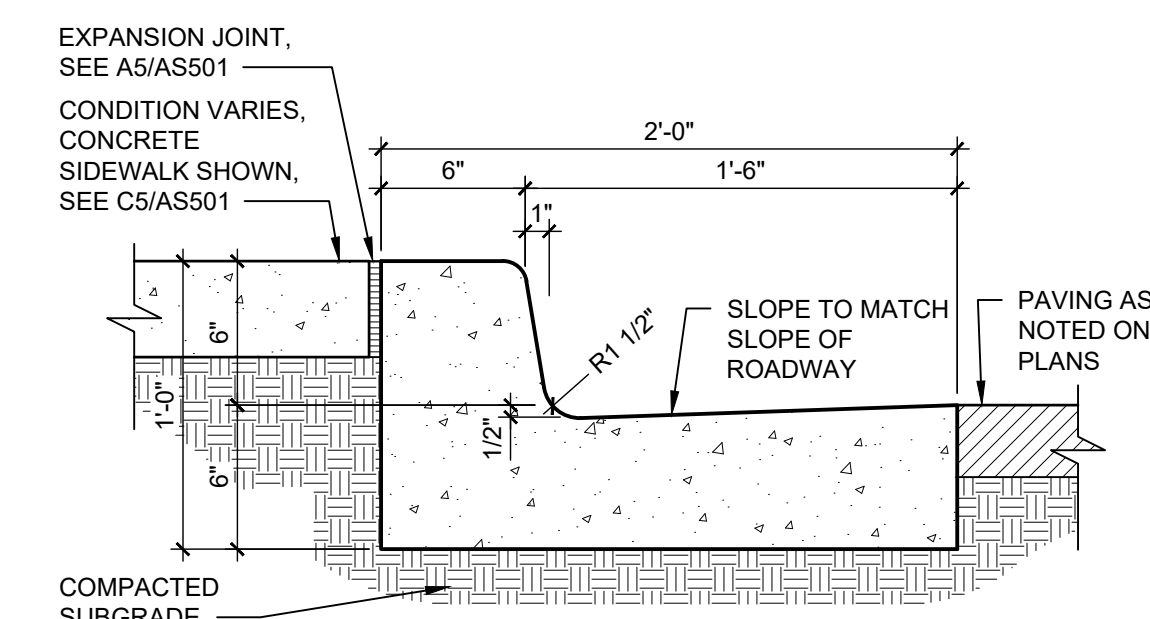


**C5**

1 1/2" = 1'-0" 0 1/2' 1' 1 1/2'

NOTES:

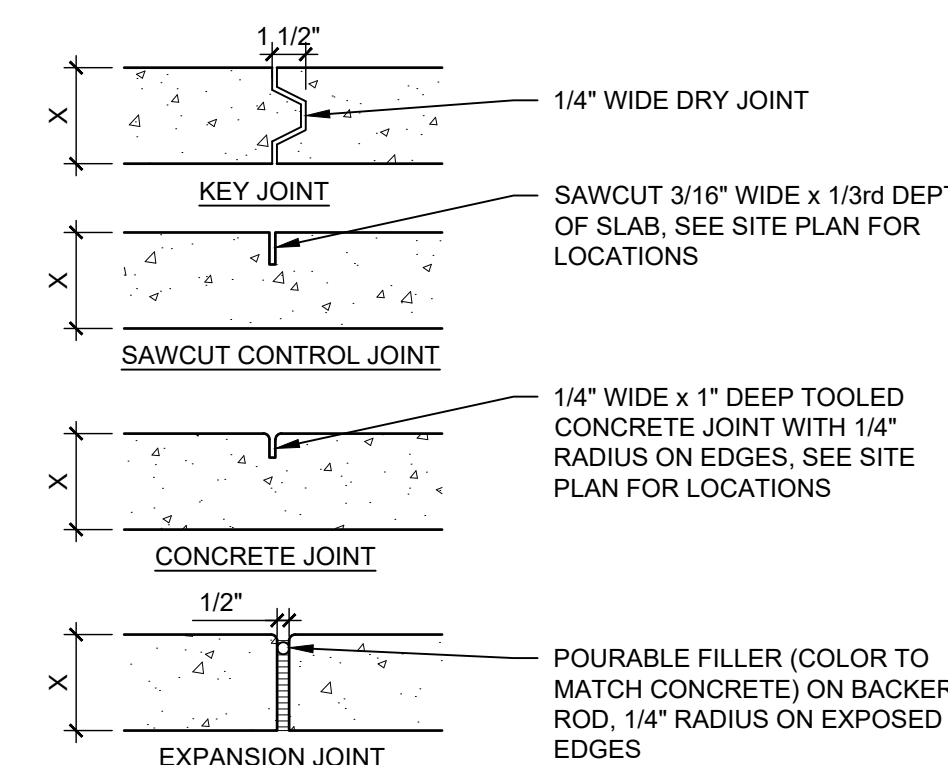
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.



**CONCRETE CURB  
& GUTTER**

**B5**

1 1/2" = 1'-0" 0 1/2' 1' 1 1/2'



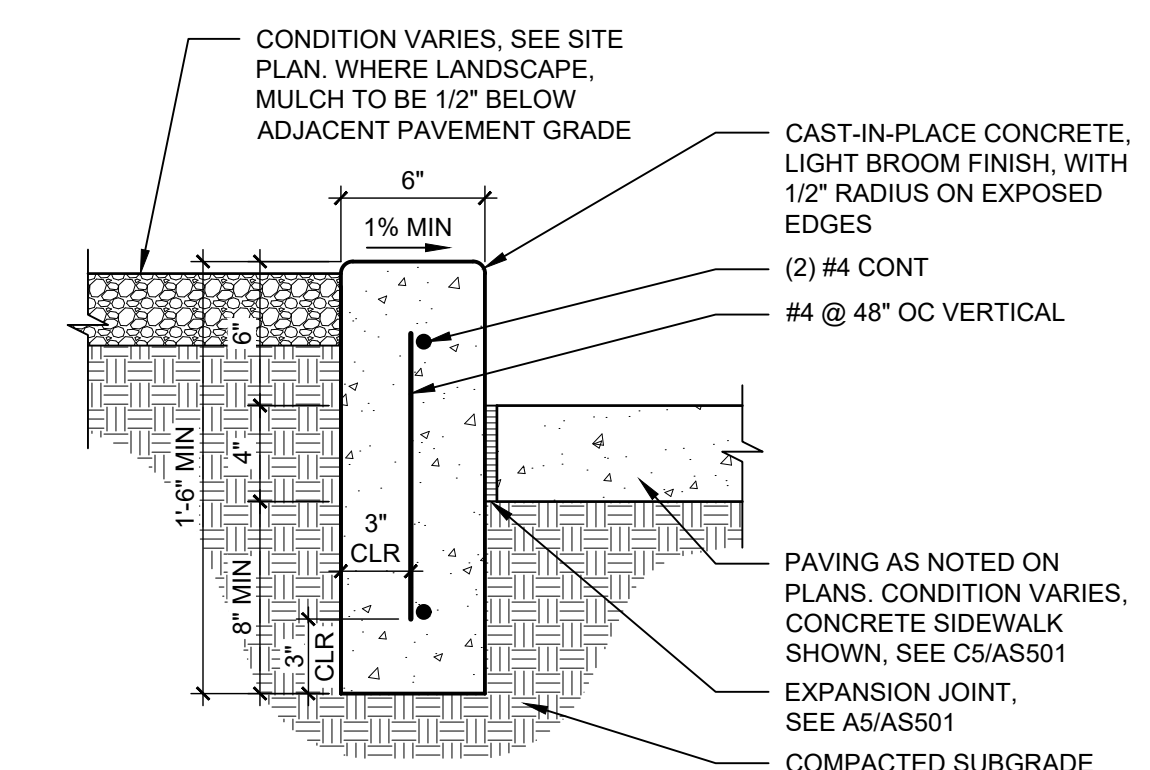
CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS

APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL-HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

**CONCRETE JOINTS  
& JOINT SPACING**

**A4**

1 1/2" = 1'-0" 0 1/2' 1' 1 1/2'



**CONCRETE HEADER  
CURB**

**A5**

1 1/2" = 1'-0" 0 1/2' 1' 1 1/2'



SEAL

PROJECT

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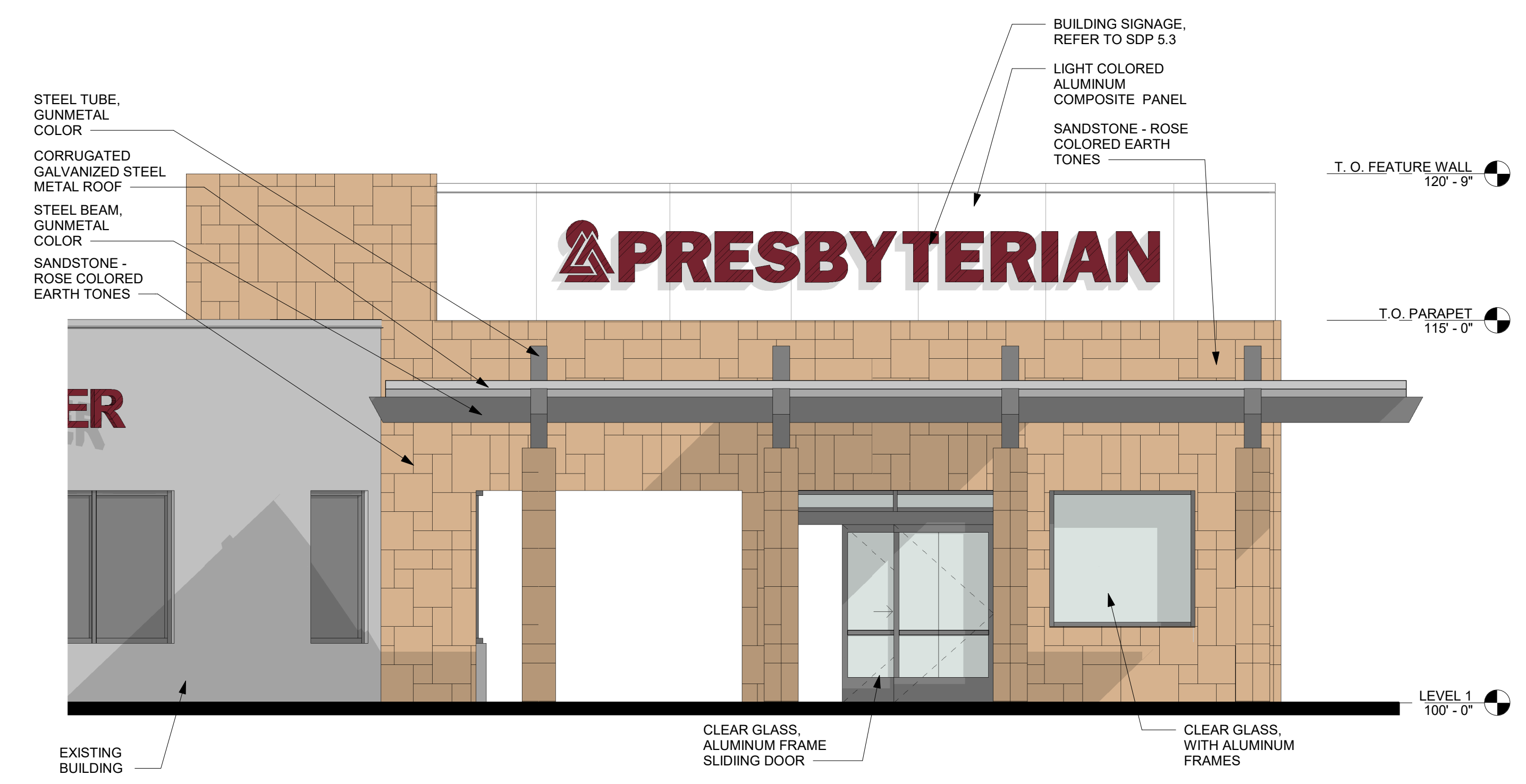
REVISIONS

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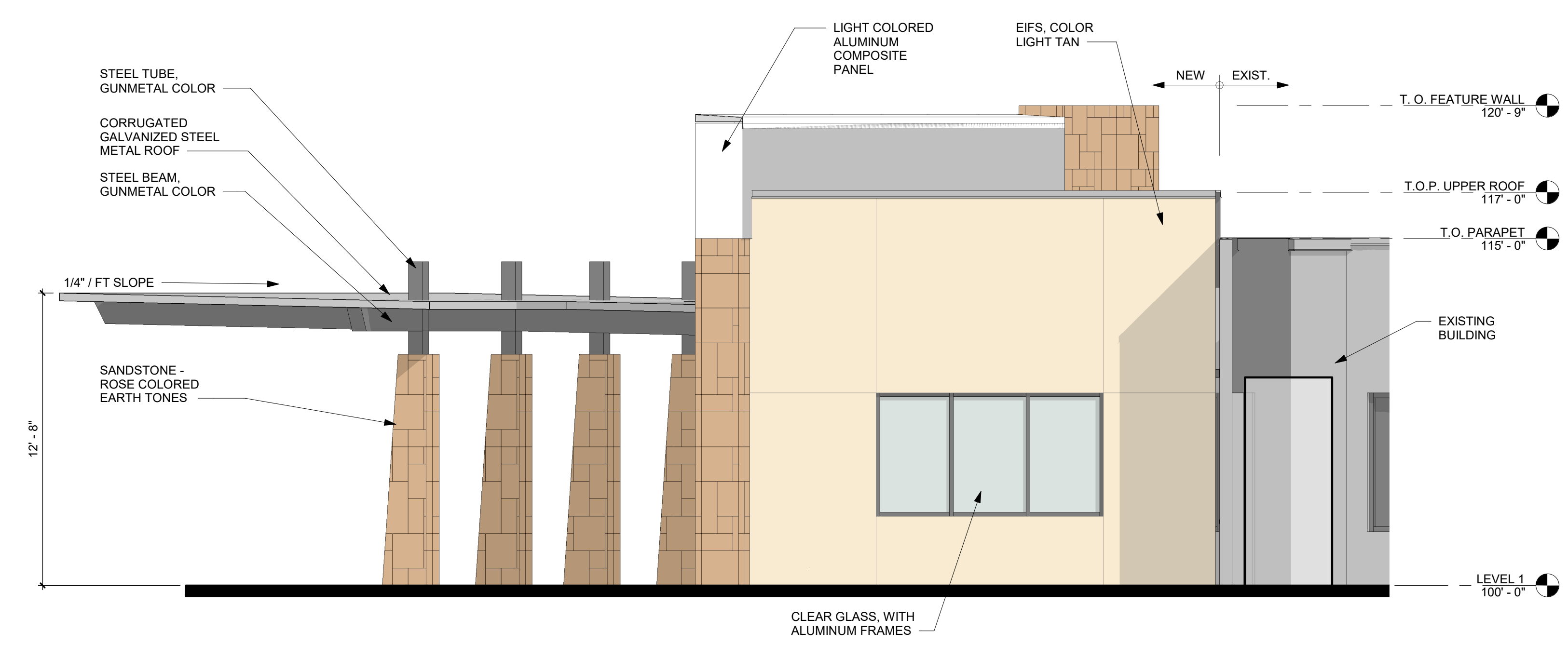
DRAWN BY	T. SANCHEZ
REVIEWED BY	J. MEDRANO
DATE	7/24/2020
PROJECT NO.	19-0007.001

DRAWING NAME  
**BUILDING  
ELEVATIONS**

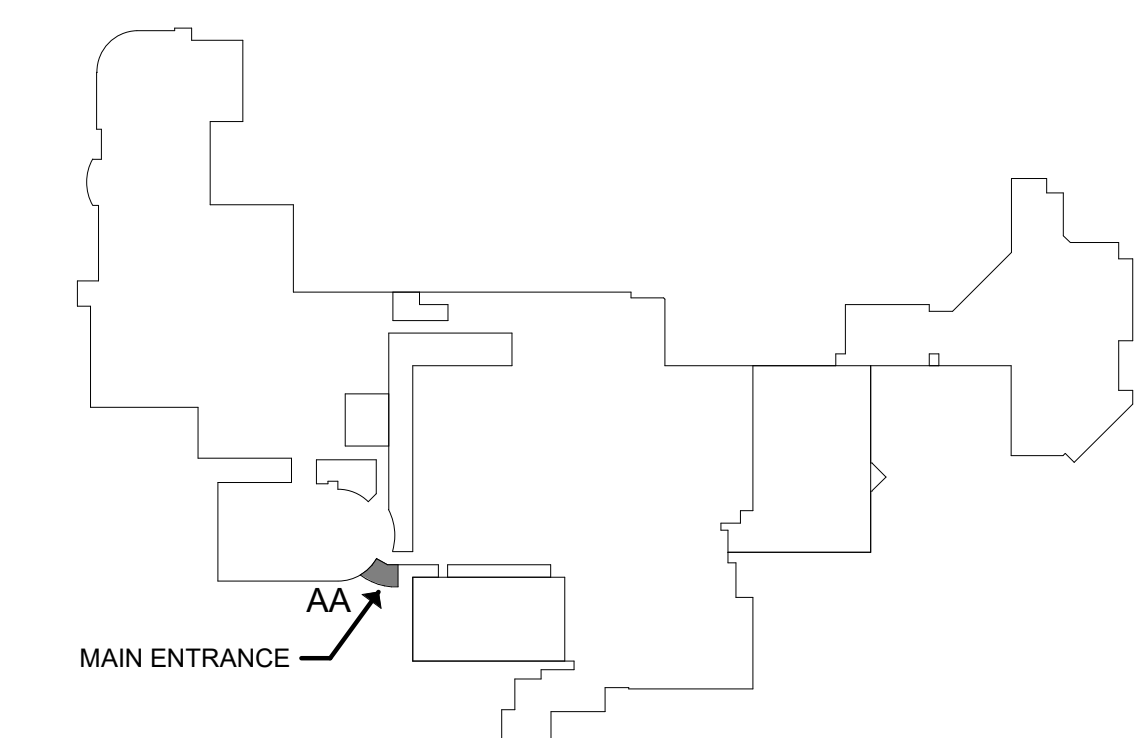
SHEET NO  
**SDP-5.1**



**D5** SOUTHWEST BUILDING ELEVATION  
1/4" = 1'-0"  
0' 2' 4' 8'  
Scale: 1/4" = 1'-0"



**B5** EAST BUILDING ELEVATION  
1/4" = 1'-0"  
0' 2' 4' 8'  
Scale: 1/4" = 1'-0"



**KEYPLAN**  
NOT TO SCALE



SEAL

PROJECT

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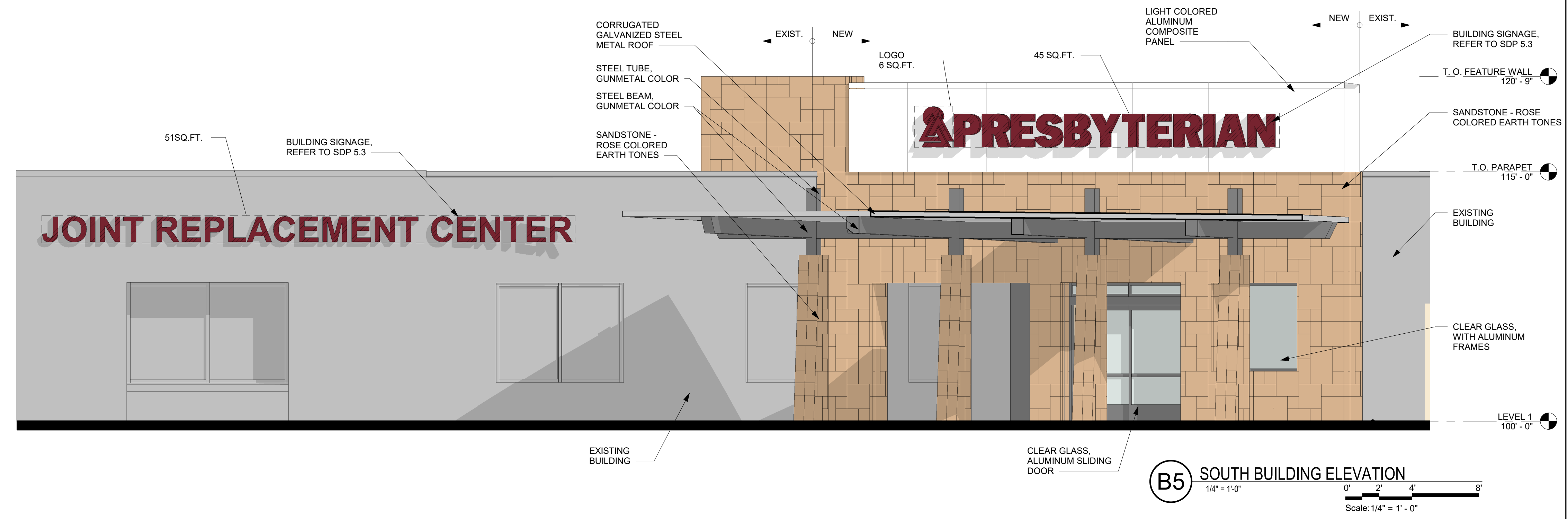
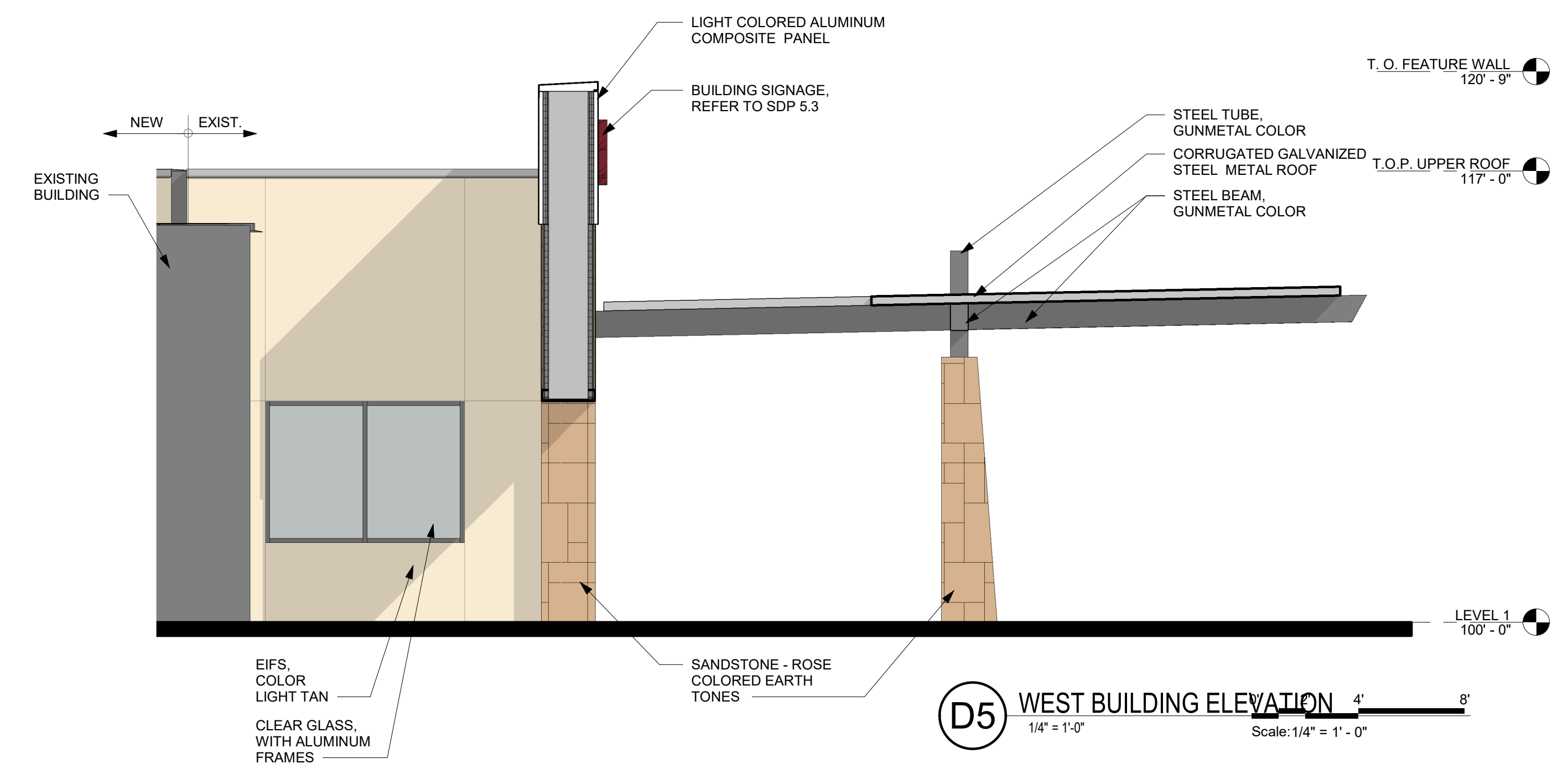
REVISIONS

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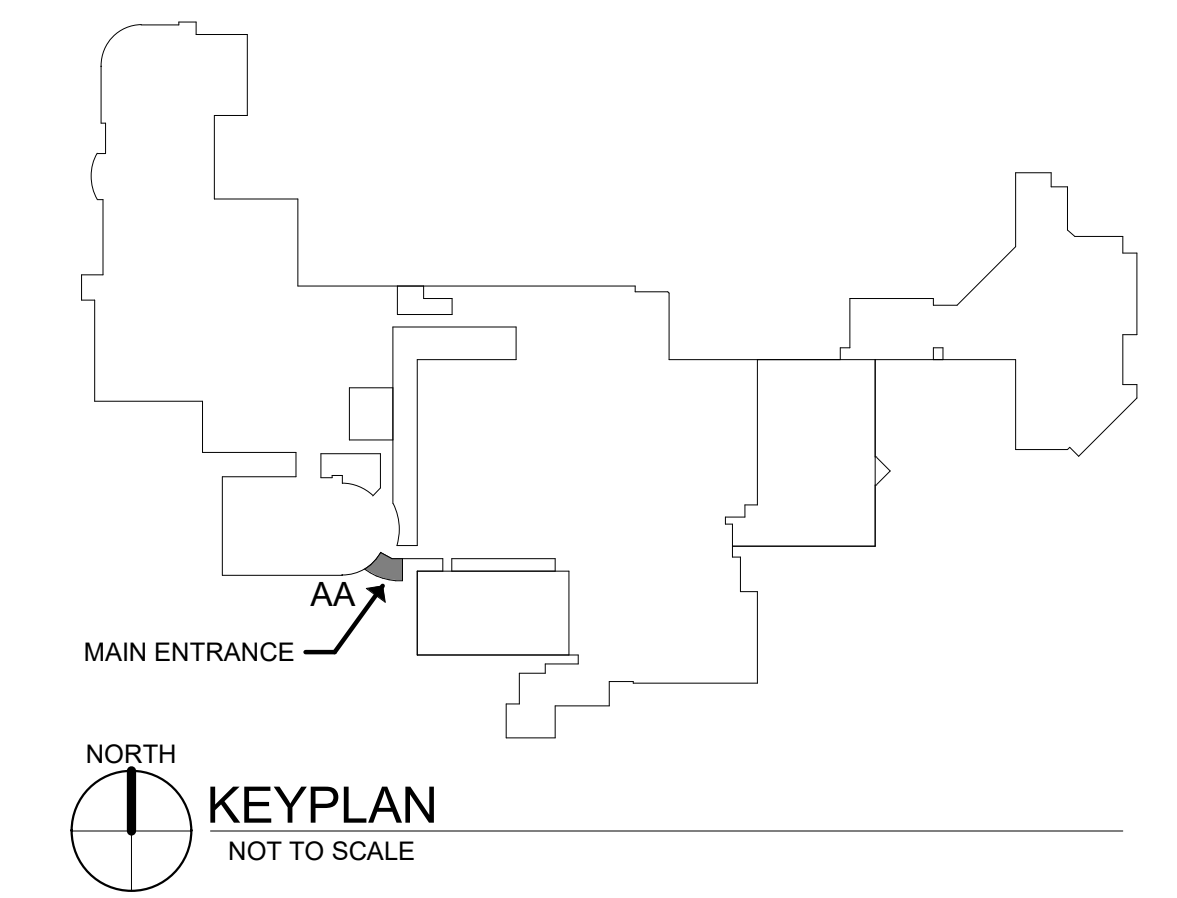
DRAWN BY T. SANCHEZ  
REVIEWED BY J. MEDRANO  
DATE 7/24/2020  
PROJECT NO: 19-0007.001

DRAWING NAME  
**BUILDING  
ELEVATIONS**

SHEET NO  
**SDP-5.2**



SIGN CALCULATIONS	
SOUTH FACADE AREA = 2,572 SQ. FT.	
SIGN TYPE A =	51 SQ. FT.
SIGN TYPE B =	51 SQ. FT.
TOTAL =	102 SQ. FT.
ALLOWABLE SIGN AREA = 15% OF FACADE	
ACTUAL SIGN AREA =	102 SQ. FT. / 2,572 SQ. FT. = 4 %







SEAL

PROJECT

PKH TOTAL JOINT CENTER  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
8300 CONSTITUTION AVE, NE  
ALBUQUERQUE, NM 87110

REVISIONS

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DRAWN BY T. SANCHEZ

REVIEWED BY J. MEDRANO

DATE 7/24/2020

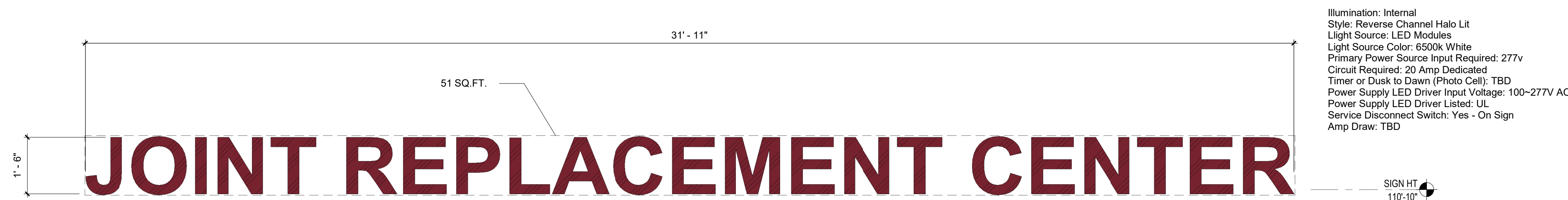
PROJECT NO: 19-0007.001

DRAWING NAME

SIGN  
ELEVATIONS

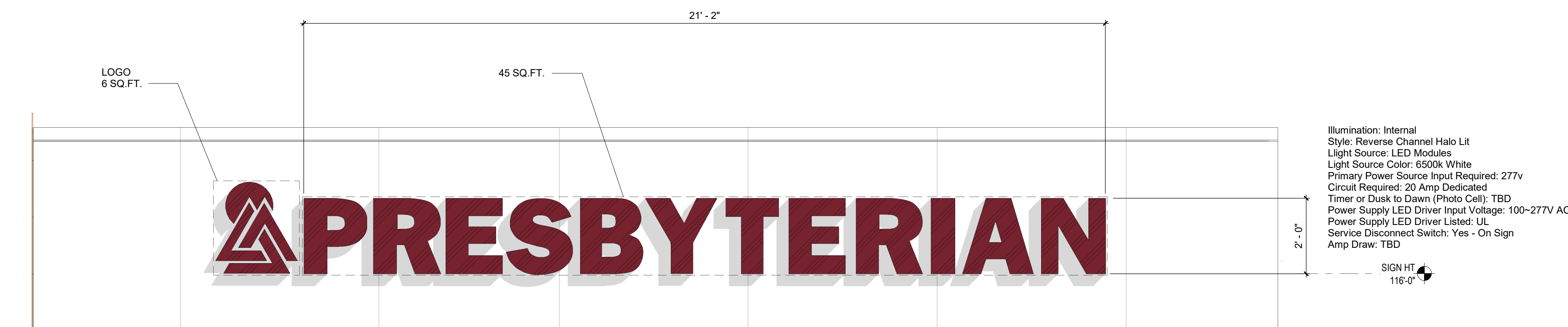
SHEET NO

SDP-5.3



**B5** BUILDING MOUNTED SIGN - TYPE B  
1/2" = 1'-0"  
Scale: 1/2" = 1'-0"

Illumination: Internal  
Style: Reverse Channel Halo Lit  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Listed: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD



**A5** BUILDING MOUNTED SIGN - TYPE A  
1/2" = 1'-0"  
Scale: 1/2" = 1'-0"

Illumination: Internal  
Style: Reverse Channel Halo Lit  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Listed: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD

Sign Type	Zone District	
	Mixed-use Zone Districts, NR-C, NR-LM, NR-GM	NR-BP, NR-SU, NR- PD, PD, PC
Wall Sign	N/A	
Number, maximum	Shall not exceed the following percentages of façade area, inclusive of door and window openings.	
Size, maximum	MX-T, MX-FB-ID: 5% MX-L: 10% MX-M, MX-H, MX-FB-FX, MX-FB-AC, MX-FB-UD, NR-C: 15% NR-LM, NR-GM: 25%	Per approved plan <sup>1)</sup>
Location	Where there is no side setback between 2 establishment frontages in the same or abutting buildings, no wall sign may extend closer than 2 feet to the shared edge of the frontage.	

**A1** IDO DEVELOPMENT STANDARDS - SIGNAGE