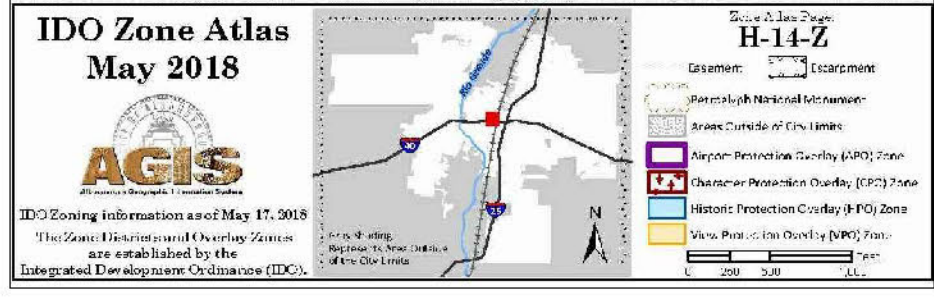
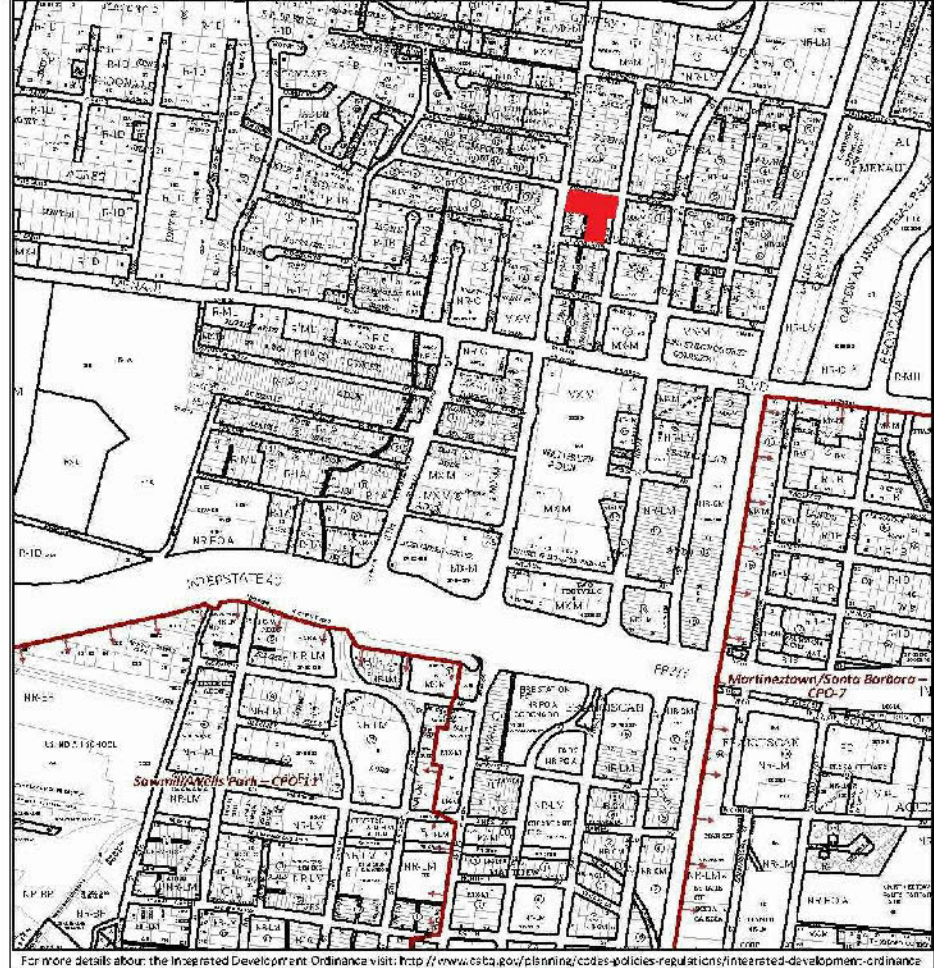


**MX-M ZONING**

NOTE: IF NORTH 4TH ST AREA STANDARDS ARE SILENT, IDO STANDARDS SHALL APPLY.

**KEYED NOTES**

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- B. 10 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- H. FIRE DEPT. CONNECTION
- I. HC PARKING SYMBOL
- J. 8" CMU WALL
- K. 6" ACCESSIBLE ROUTE
- L. HEADER CURB, REF DETAIL THIS SHEET
- M. EXISTING PROPERTY LINE
- N. DO NOT ENTER SIGN, REF DETAIL THIS SHEET
- O. VEHICULAR GATE
- P. NEW 8" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- Q. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB.
- R. "EMERGENCY VEHICLE ONLY" SIGN
- S. KNOX BOX
- T. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- U. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- V. RED PAINT WITH "FIRE LANE" NOTATION.
- W. REMOVE EXISTING DRIVE ENTRANCE.
- X. NEW SIDEWALK EASEMENT.
- Y. SEWER EASEMENT VACATED UNDER SEPARATE DRB ACTION
- Z. "DO NOT ENTER" SIGN MOUNTED TO INSIDE OF GATE
- AA. PLANTING BED.
- AB. REFUSE CONTAINER PICKUP POINT, COA STANDARD DETAIL 9'X5' SWANSON COLLECTION SITE WITH ENCLOSURE, 4EA 4" BOLLARDS AND PAIR OF 3' DOORS



NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-6 (5)

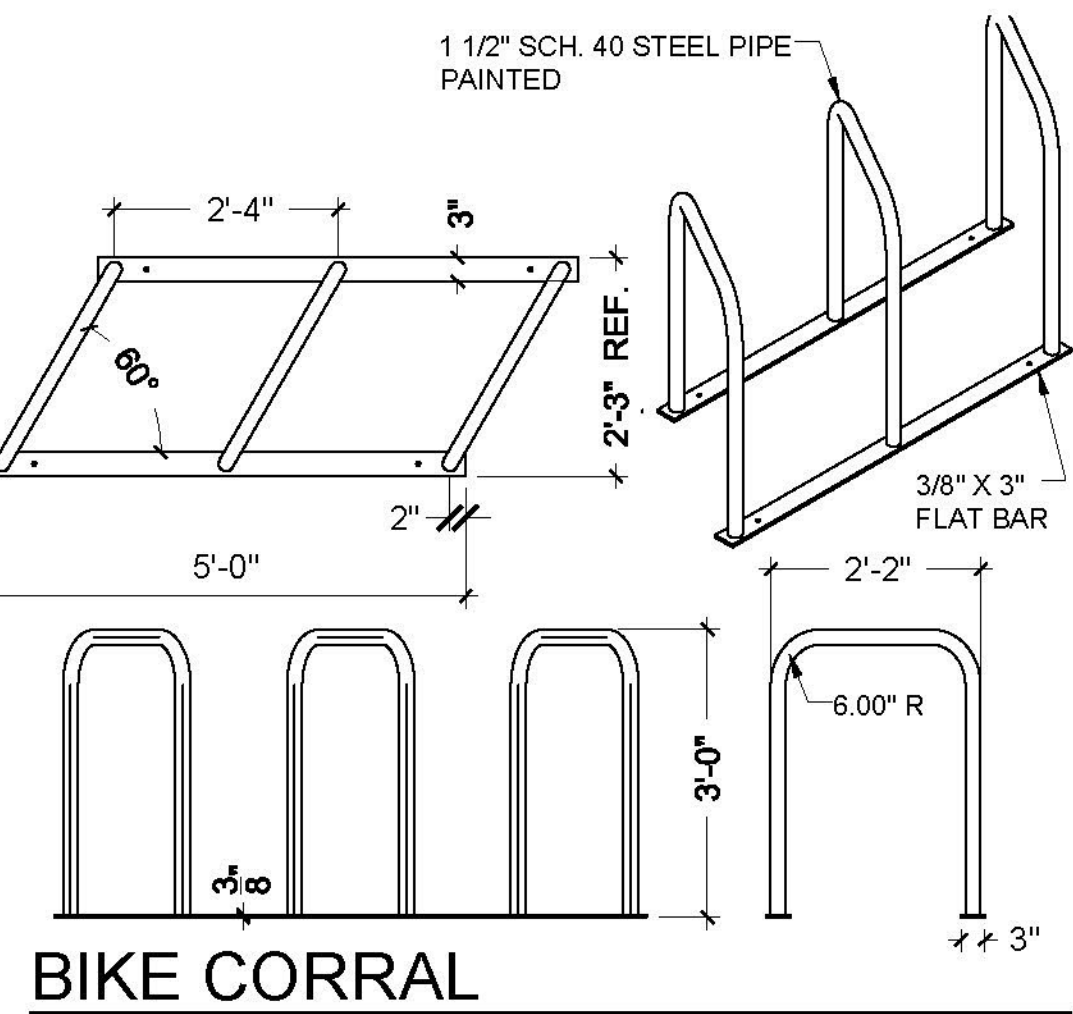
ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

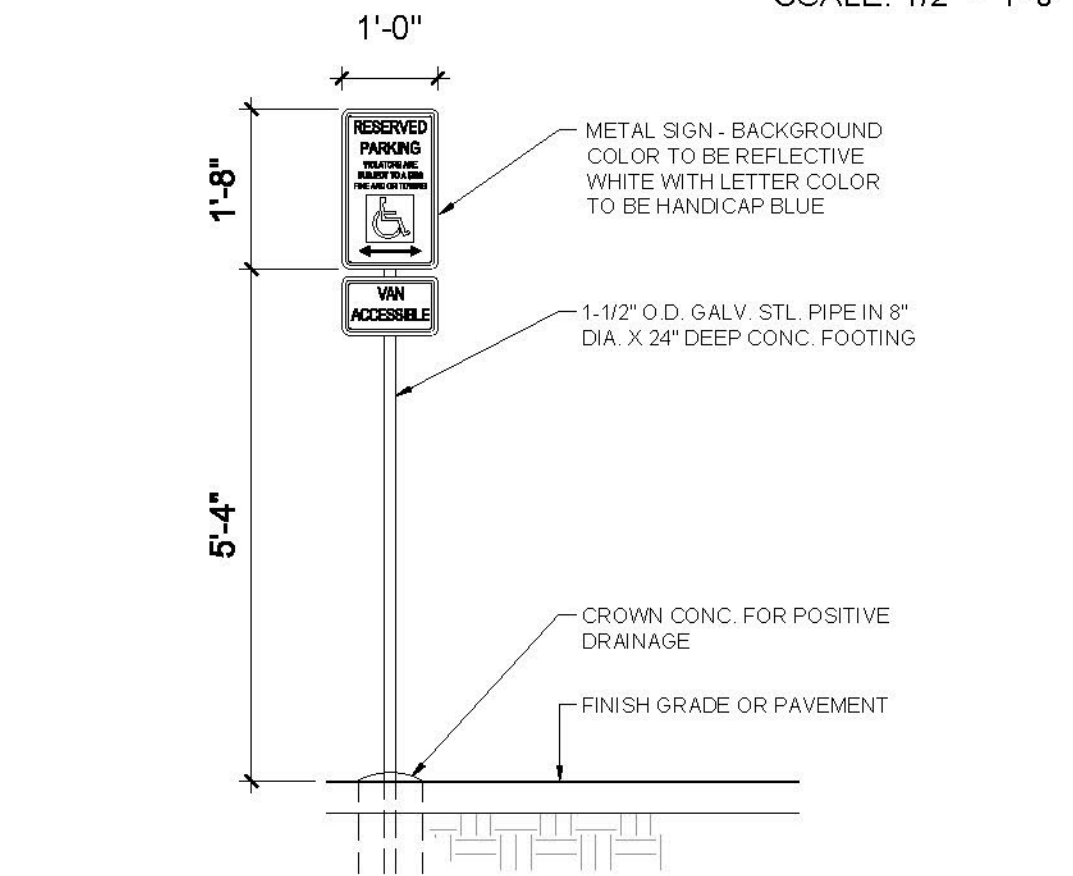
**PARKING:**  
 OFFICE: 3,806SF X 0.0035 = 13 SPACES  
 MULTI-FAMILY DWELLING: 87 X 15 = 130.5 SPACES  
 SHARED PARKING: 143.5 / 1.3 = 110 SPACES  
 111 SPACES PROVIDED  
 HC REQUIRED: 4 STANDARD, 1 VAN  
 4 MOTORCYCLE REQUIRED  
 1 EA. 6 SPACE BIKE RACK

GROSS LOT AREA = 55,278 SF  
 BUILDINGS = 36,452 SF  
 NET LOT AREA = 18,826 SF  
 REQUIRED LANDSCAPE AREA @ 15% = 2,824 SF ; 2,838 SF PROVIDED

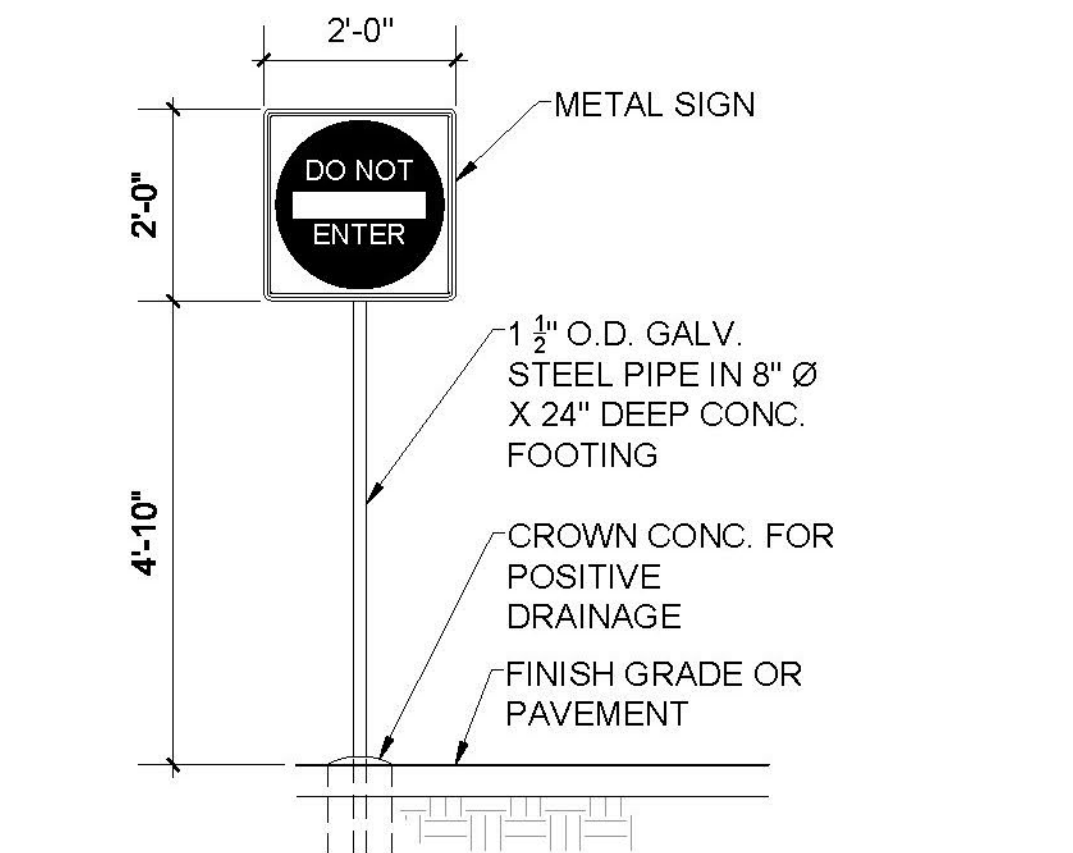
UPC: 101405933541911310  
 LEGAL: LOT 1-A, BLOCK 2, CITY REALTY ADDITION NUMBER 1  
 ZONING: MX-M  
 ZONE ATLAS PAGE: H14



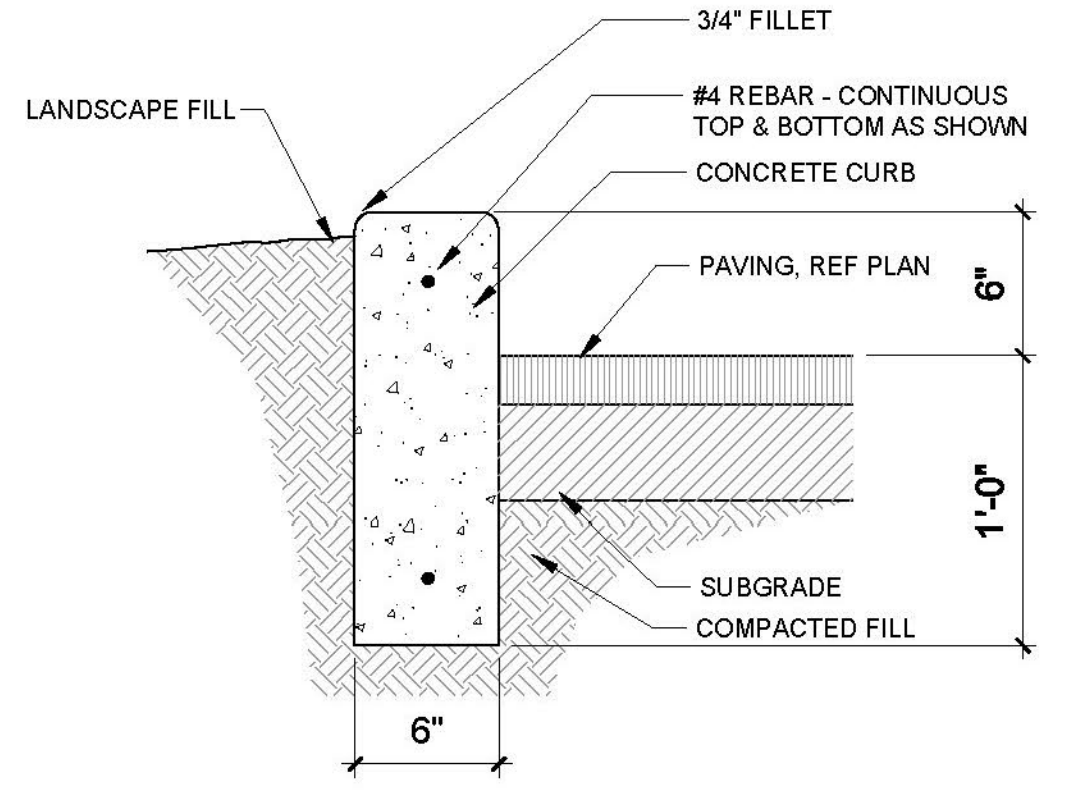
**BIKE CORRAL**  
SCALE: 1/2" = 1'-0"



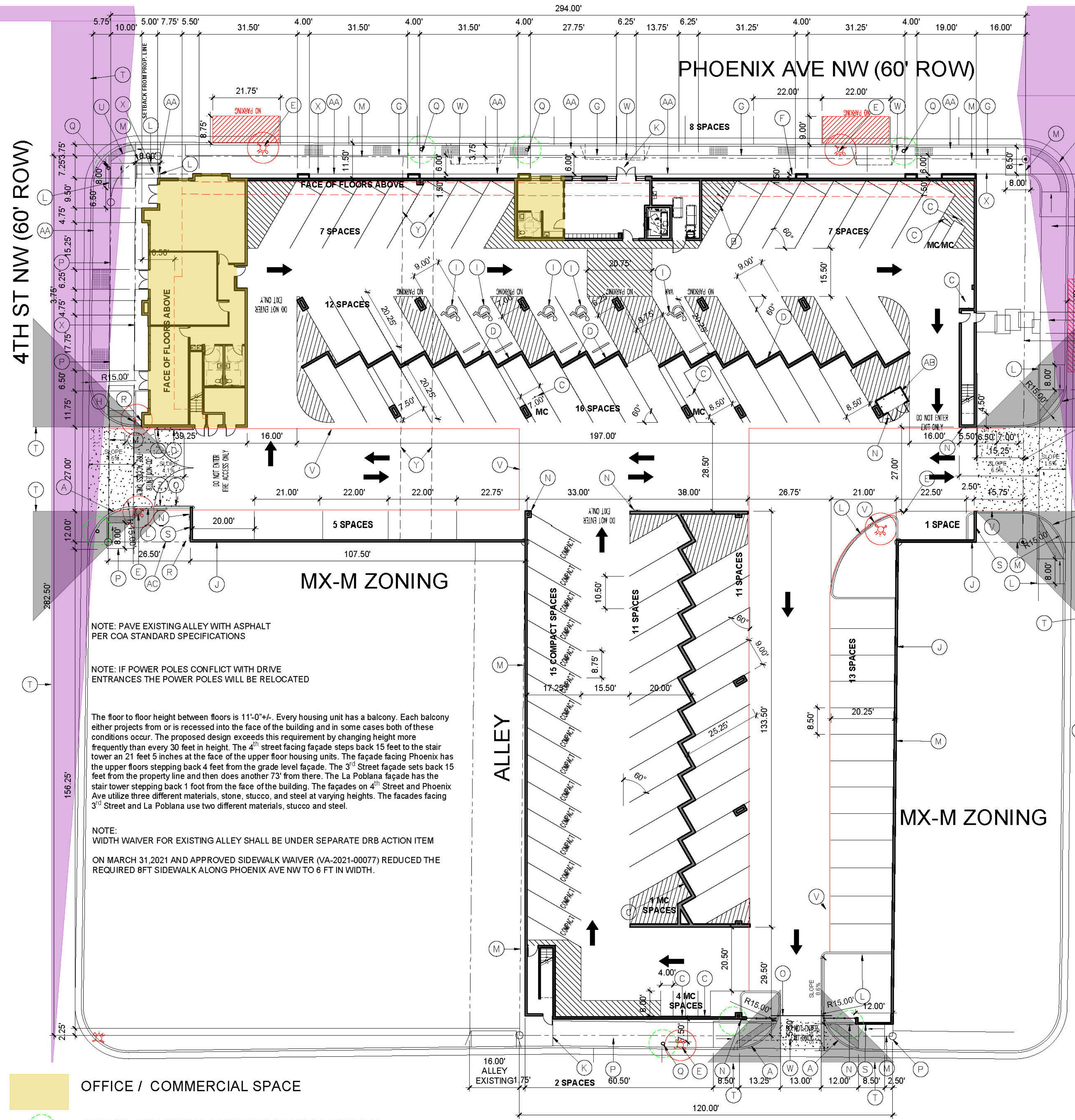
**HC SIGN**  
SCALE: NTS



**DO NOT ENTER SIGN**  
SCALE: NTS



**CURB DETAIL**  
SCALE: NTS



- OFFICE / COMMERCIAL SPACE
- 4'-0" CLEARANCE AROUND OBSTRUCTION
- 4'-0" CLEARANCE AROUND FIRE HYDRANT
- 35'-0" CLEAR SIGHT TRIANGLE
- DPM 35 MPH CLEAR SIGHT TRIANGLE

NOTE: PAVE EXISTING ALLEY WITH ASPHALT PER COA STANDARD SPECIFICATIONS

NOTE: IF POWER POLES CONFLICT WITH DRIVE ENTRANCES THE POWER POLES WILL BE RELOCATED

The floor to floor height between floors is 11'-0" +/- . Every housing unit has a balcony. Each balcony either projects from or is recessed into the face of the building and in some cases both of these conditions occur. The proposed design exceeds this requirement by changing height more frequently than every 30 feet in height. The 4<sup>th</sup> street facing facade steps back 15 feet to the stair tower an 21 feet 5 inches at the face of the upper floor housing units. The facade facing Phoenix has the upper floors stepping back 4 feet from the grade level facade. The 3<sup>rd</sup> Street facade sets back 15 feet from the property line and then does another 73' from there. The La Poblana facade has the stair tower stepping back 1 foot from the face of the building. The facades on 4<sup>th</sup> Street and Phoenix Ave utilize three different materials, stone, stucco, and steel at varying heights. The facades facing 3<sup>rd</sup> Street and La Poblana use two different materials, stucco and steel.

NOTE: WIDTH WAIVER FOR EXISTING ALLEY SHALL BE UNDER SEPARATE DRB ACTION ITEM ON MARCH 31, 2021 AND APPROVED SIDEWALK WAIVER (VA-2021-00077) REDUCED THE REQUIRED 8 FT SIDEWALK ALONG PHOENIX AVE NW TO 6 FT IN WIDTH.

**LA POBLANA RD NW (60' ROW)**  
**MX-M ZONING**

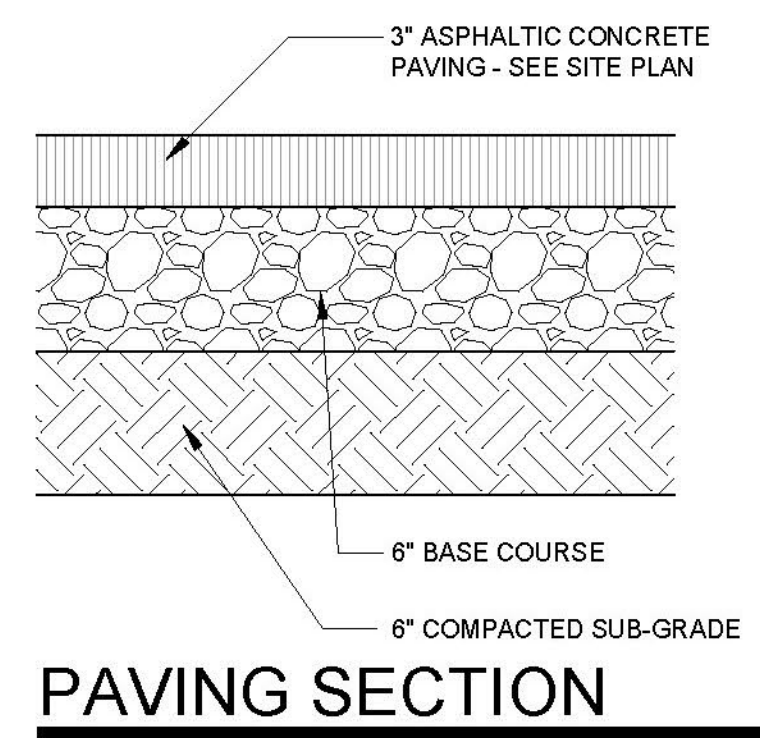
**3RD ST NW (60' ROW)**  
**MX-M ZONING**

IDO TABLE 5-1-2 OPEN SPACE:  
 1 BEDROOM: 45 EA X 200SF = 9,000 SF  
 2 BEDROOM: 39 EA X 250SF = 9,750 SF

TOTAL REQUIRED = 18,750 SF

GRADE LEVEL = 3,832 SF  
 BALCONIES = 9,987 SF  
 ROOF DECK = 5,000 SF

TOTAL PROVIDED = 18,819 SF



**PAVING SECTION**  
SCALE: NTS



**MOTORCYCLE SIGN**  
SCALE: 1/2" = 1'-0"

PROJECT NUMBER: 2020 - 003887  
 APPLICATION NUMBER: SI-2020-00367

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is and Infrastructure List required ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Jeanne Wolfenbarger</i>	Date	Jul 23, 2021
Traffic Engineer, Transportation Division	Date	Jul 23, 2021
<i>Blaine Carter</i>	Date	Jul 26, 2021
Water Utility Department	Date	Jul 26, 2021
<i>Ernest Amigo</i>	Date	Jul 22, 2021
Parks & Recreation Department	Date	Jul 22, 2021
City Engineer	Date	
* Environmental Health	Date	
SEE NEXT SHEET		
Solid Waste Management	Date	Jul 22, 2021
<i>Maggie Gould</i>	Date	Jul 26, 2021
Code Enforcement	Date	
Albuquerque Metropolitan Flood Control Authority	Date	Jul 26, 2021
<i>Maggie Gould</i>	Date	Jul 26, 2021
DRB Chairperson, Planning Department	Date	
* Environmental Health, if necessary		

No	Revision	Item	Date

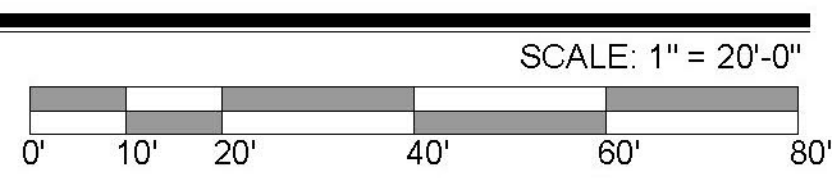
**SCOTT C. ANDERSON & ASSOCIATES architects**

PHOENIX APARTMENT BUILDING  
 2818 4TH ST NW  
 ALBUQUERQUE, NM 87107

DRAWING TITLE: **SITE PLAN**

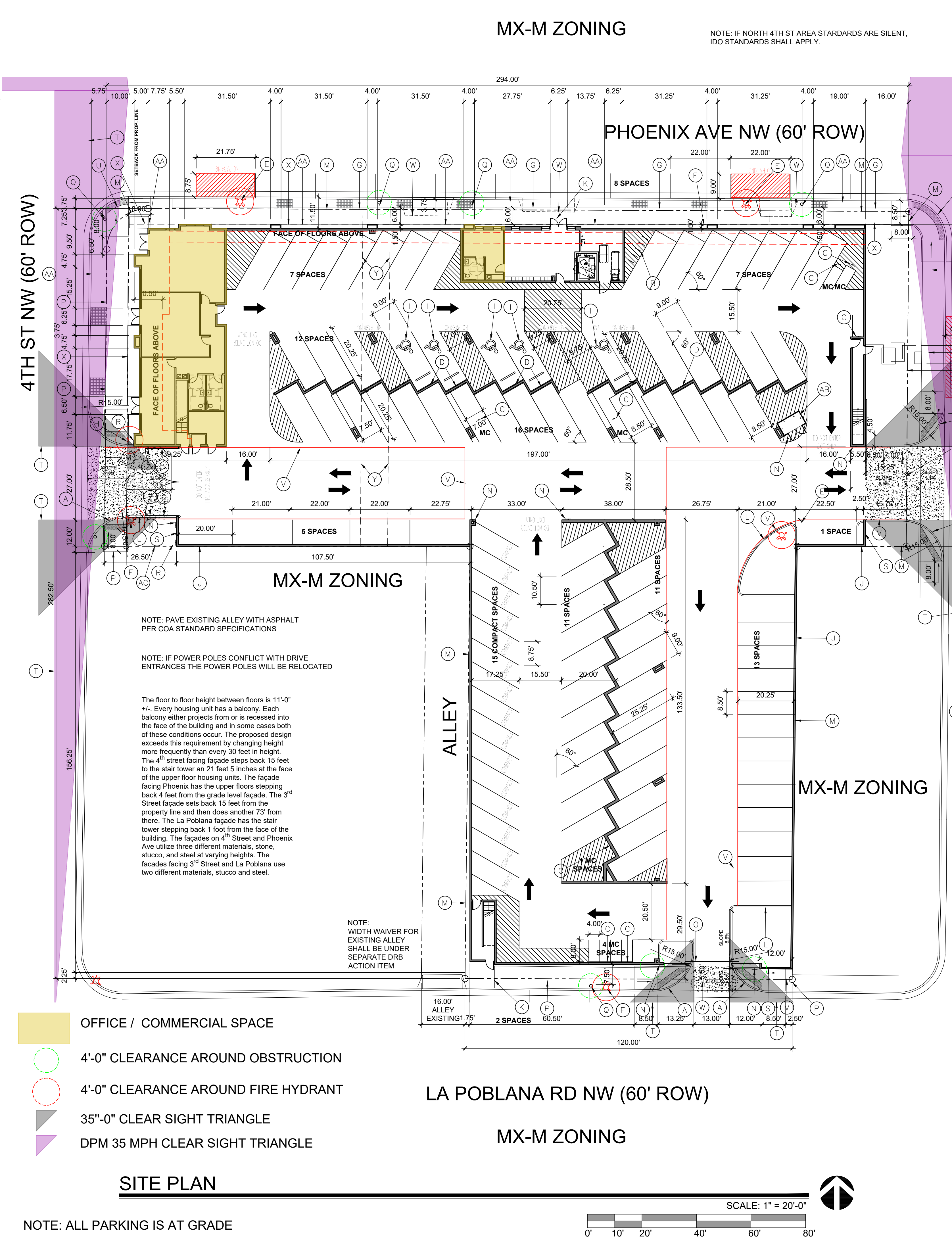
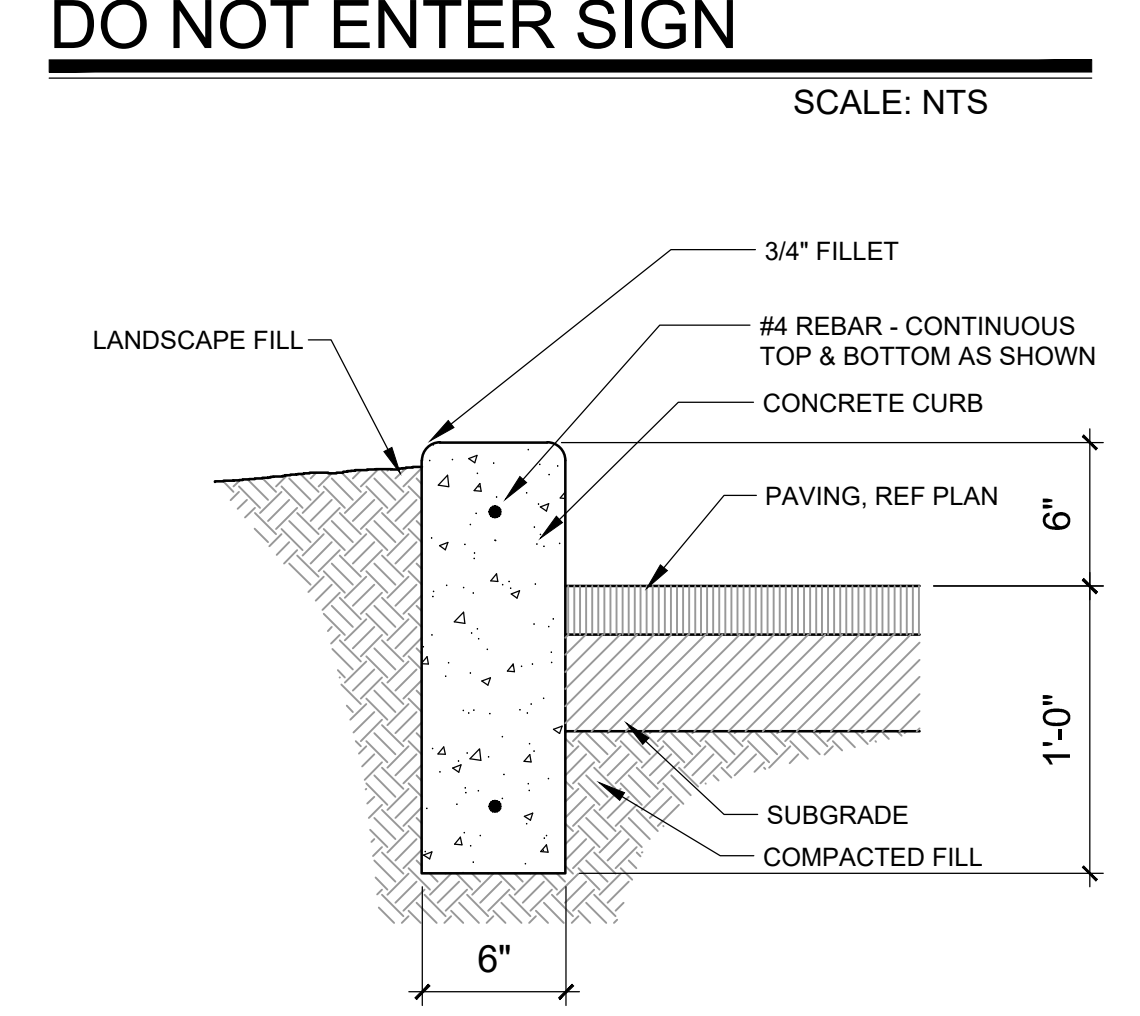
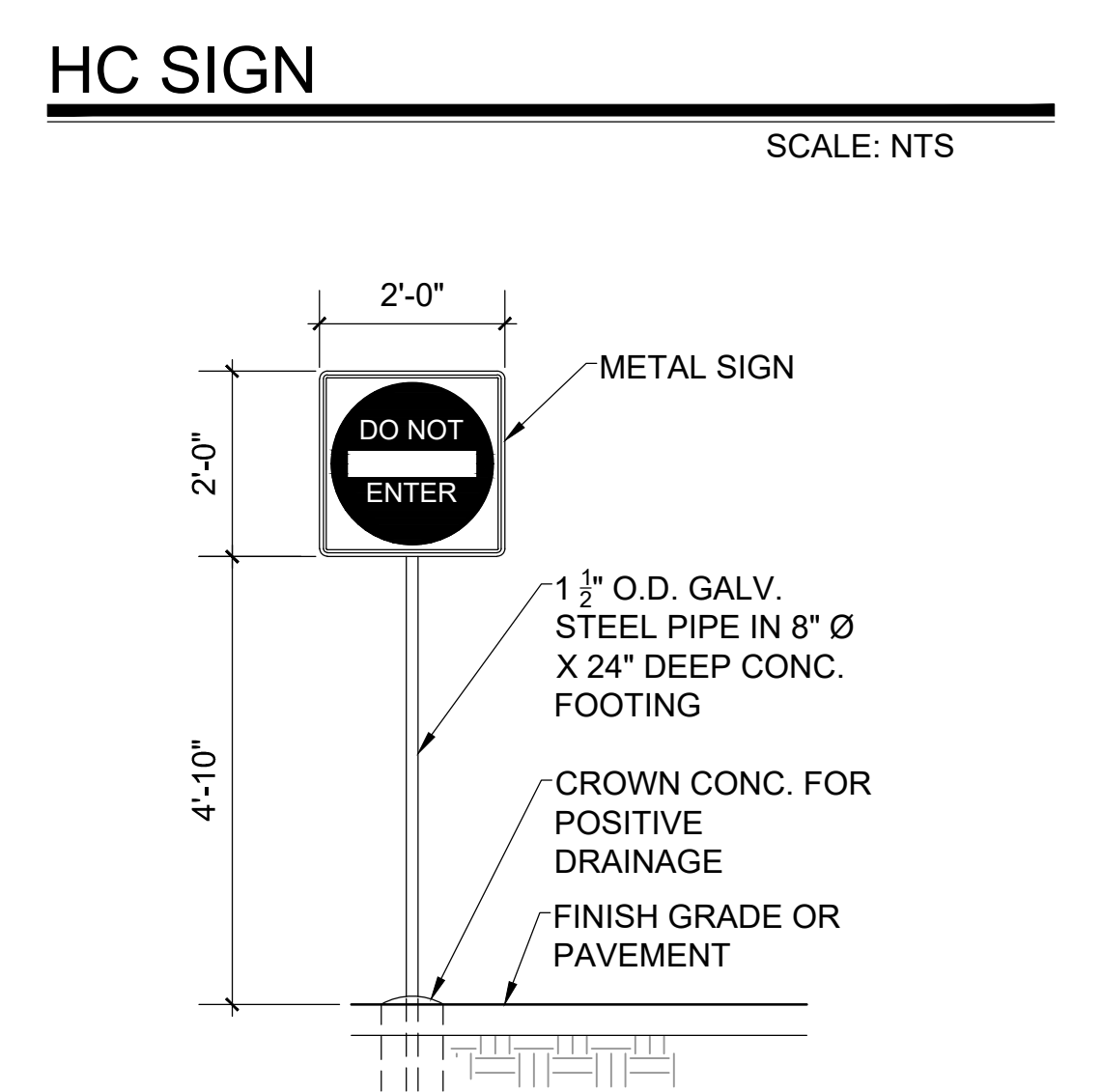
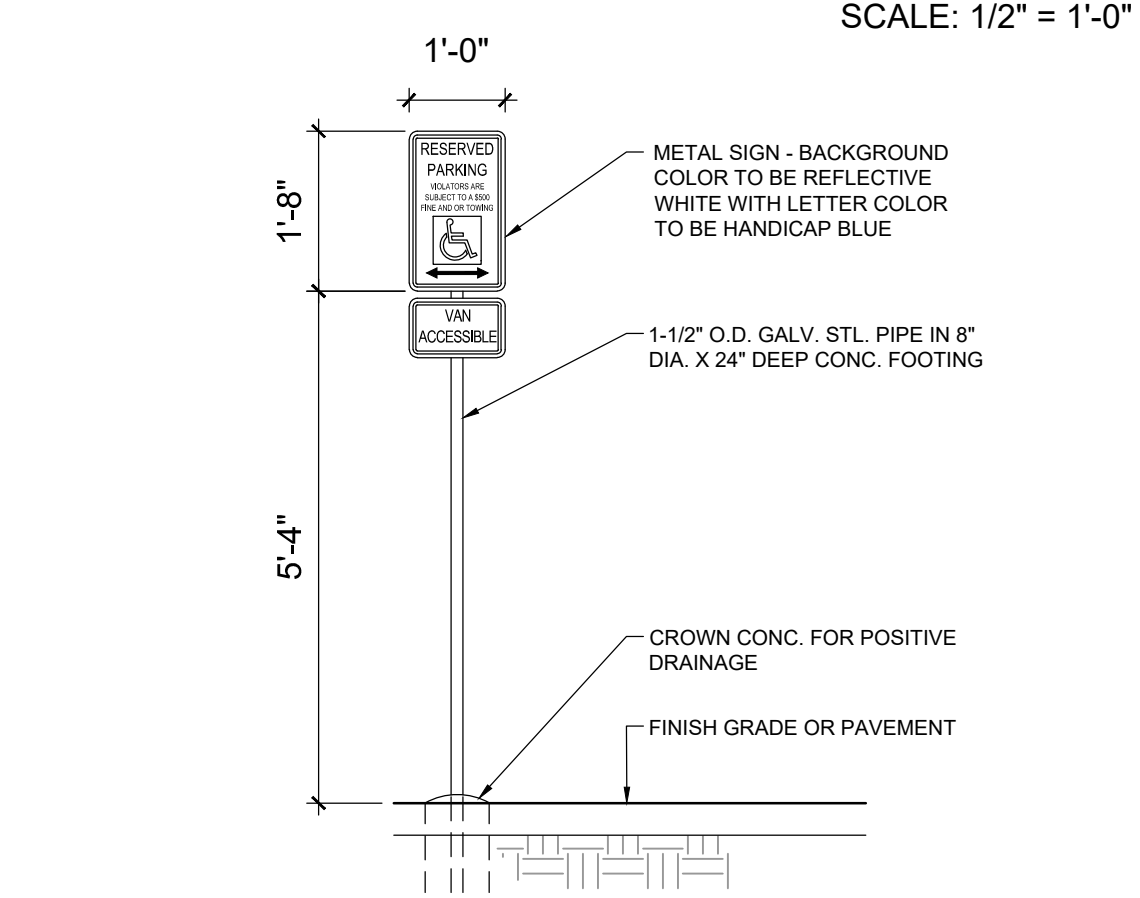
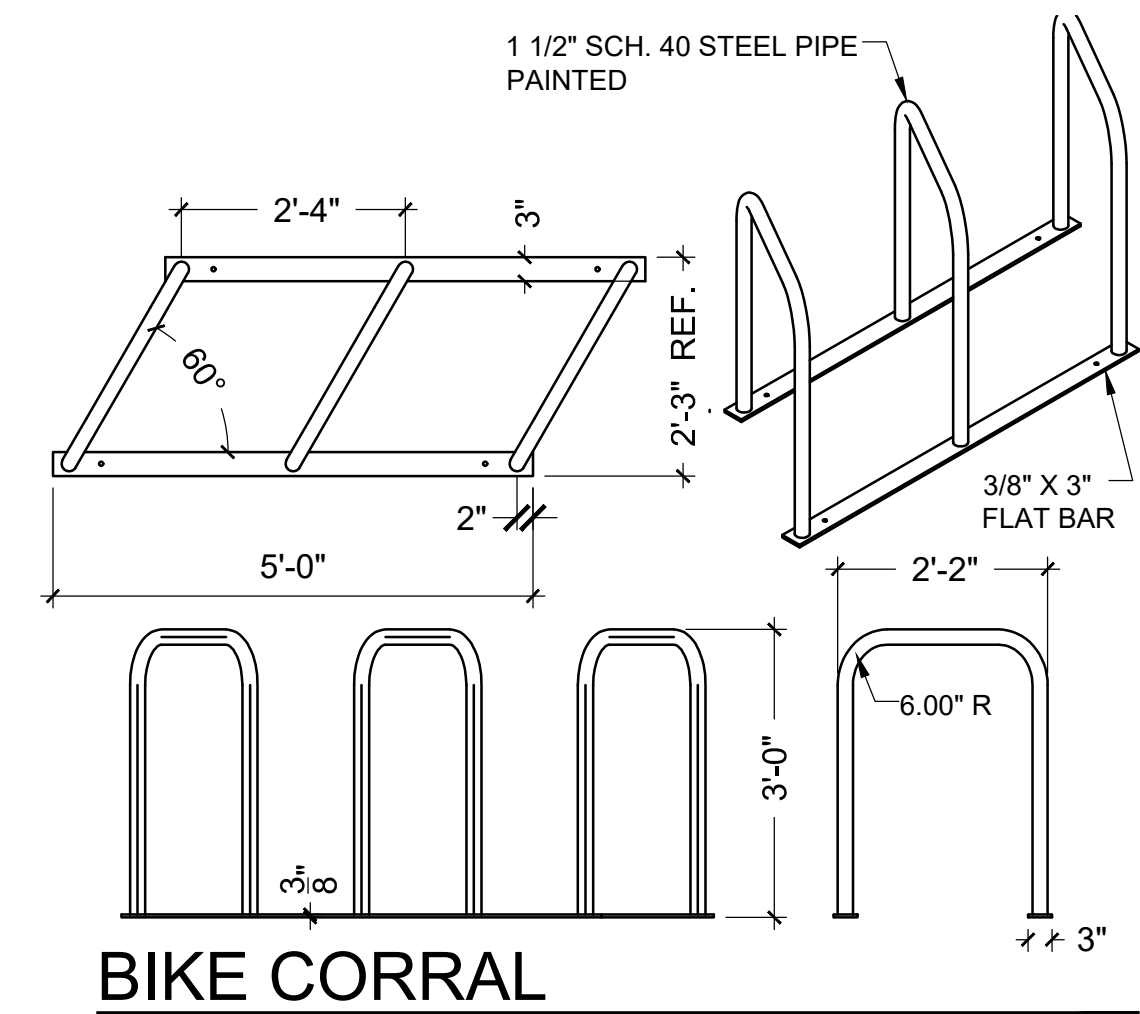
DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	<b>A-100</b>
DATE	3/25/2021

SEAL: STATE OF NEW MEXICO, SCOTT C. ANDERSON, No. 4341, 3/25/2021, REGISTERED ARCHITECT



NOTE: ALL PARKING IS AT GRADE

**SITE PLAN**

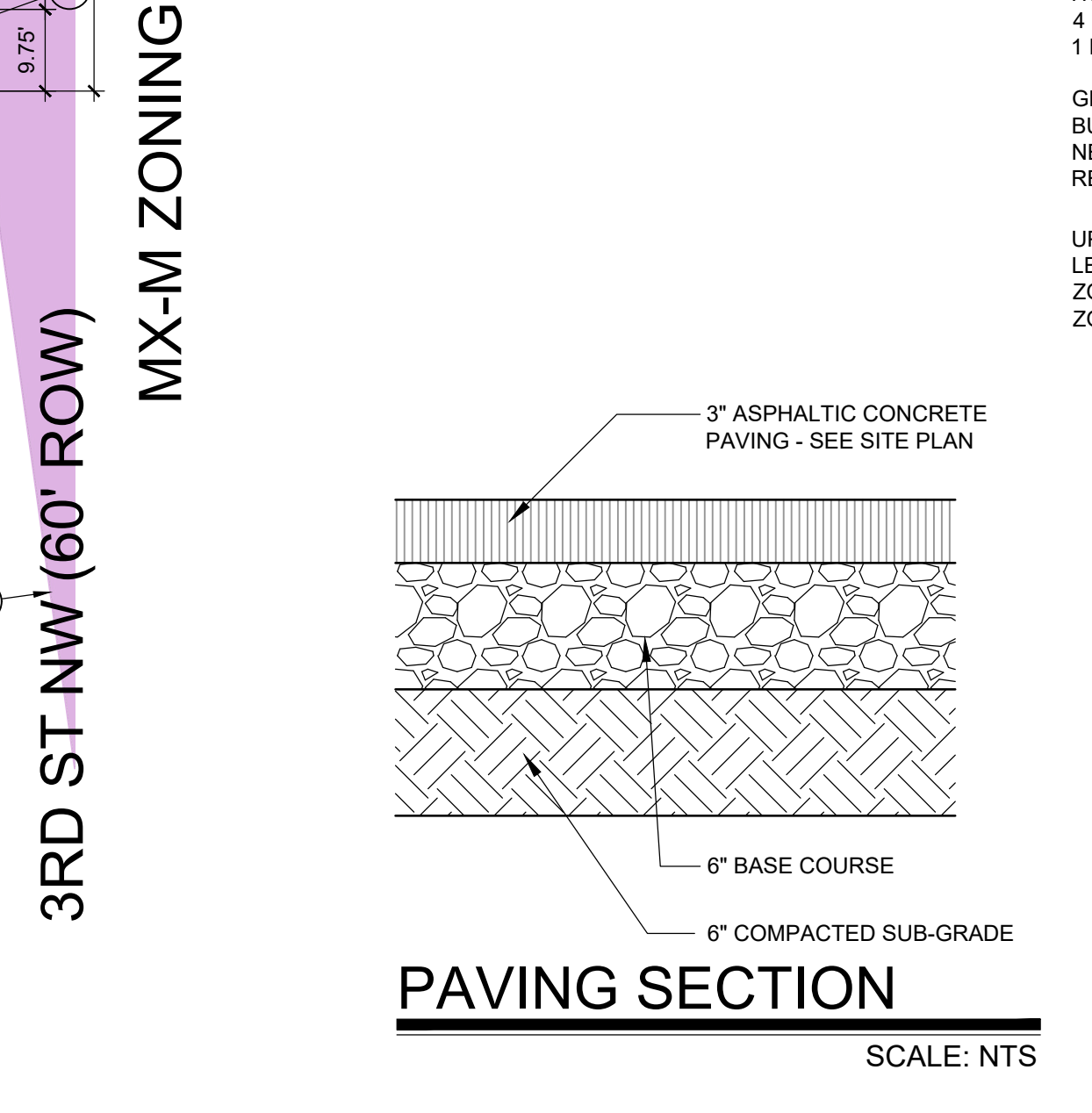


**KEYED NOTES**

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426
- B. 10 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- H. FIRE DEPT. CONNECTION
- I. HC PARKING SYMBOL
- J. 8' CHIU WALL
- K. 6' ACCESSIBLE ROUTE
- L. HEADER CURB, REF DETAIL THIS SHEET
- M. EXISTING PROPERTY LINE
- N. DO NOT ENTER SIGN, REF DETAIL THIS SHEET
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- U. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2445
- V. RED PAINT WITH "FIRE LANE" NOTATION
- W. REMOVE EXISTING DRIVE ENTRANCE
- X. NEW SIDEWALK EASEMENT
- Y. SEWER EASEMENT VACATED UNDER SEPARATE DRB ACTION
- Z. "DO NOT ENTER" SIGN MOUNTED TO INSIDE OF GATE
- AA. PLANTING BED
- AB. REFUSE CONTAINER PICKUP POINT, COA STANDARD DETAIL 9'X5' SWANSON COLLECTION SITE WITH ENCLOSURE, 4EA 4" BOLLARDS AND PAIR OF 3' DOORS

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TOTAL REQUIRED = 18,750 SF  
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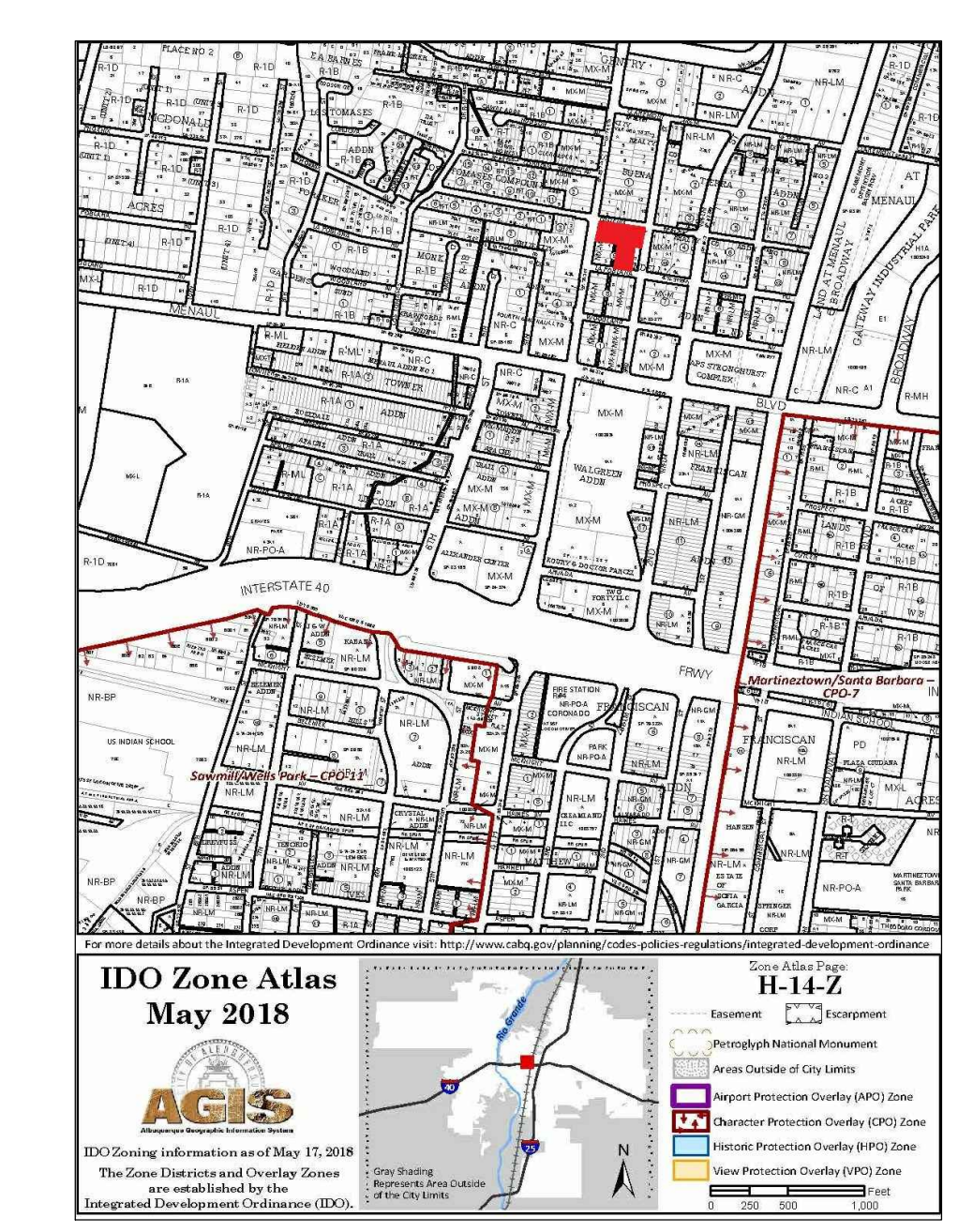
PROJECT NUMBER: 2020 - 003887  
 APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is and Infrastructure List required ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Department	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health	Date
Herman Gallegos <i>Herman Gallegos</i>	03-30-21
Solid Waste Management	Date
Code Enforcement	Date
Albuquerque Metropolitan Flood Control Authority	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	Date



NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

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ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G)

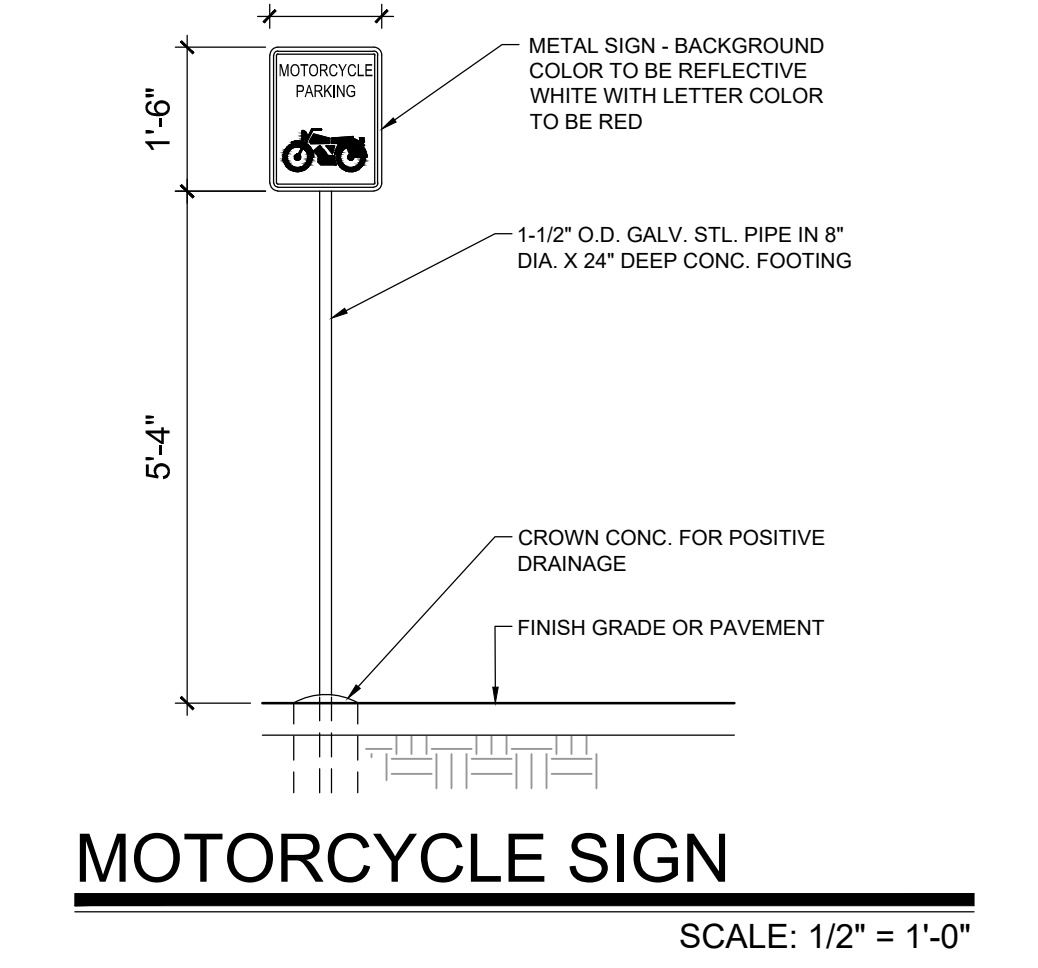
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BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

PARKING:  
 OFFICE: 3,806SF X 0.0035 = 13 SPACES  
 MULTI-FAMILY DWELLING: 87 X 1.5 = 130.5 SPACES  
 SHARED PARKING: 143.5 / 1.3 = 110 SPACES  
 111 SPACES PROVIDED  
 HC REQUIRED: 4 STANDARD, 1 VAN  
 4 MOTORCYCLE REQUIRED  
 1 EA. 6 SPACE BIKE RACK

GROSS LOT AREA = 55,278 SF  
 BUILDINGS = 36,452 SF  
 NET LOT AREA = 18,826 SF  
 REQUIRED LANDSCAPE AREA @ 15% = 2,824 SF ; 2,838 SF PROVIDED

UPC: 101405933541911310  
 LEGAL: LOT 1-A, BLOCK 2, CITY REALTY ADDITION NUMBER 1  
 ZONING: MX-M  
 ZONE ATLAS PAGE: H14



No	Revision	Item	Date

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
 4419 4th St NW, Ste. B  
 Albuquerque, NM 87107  
 scott@scottcanderson.com  
 505.461.7575

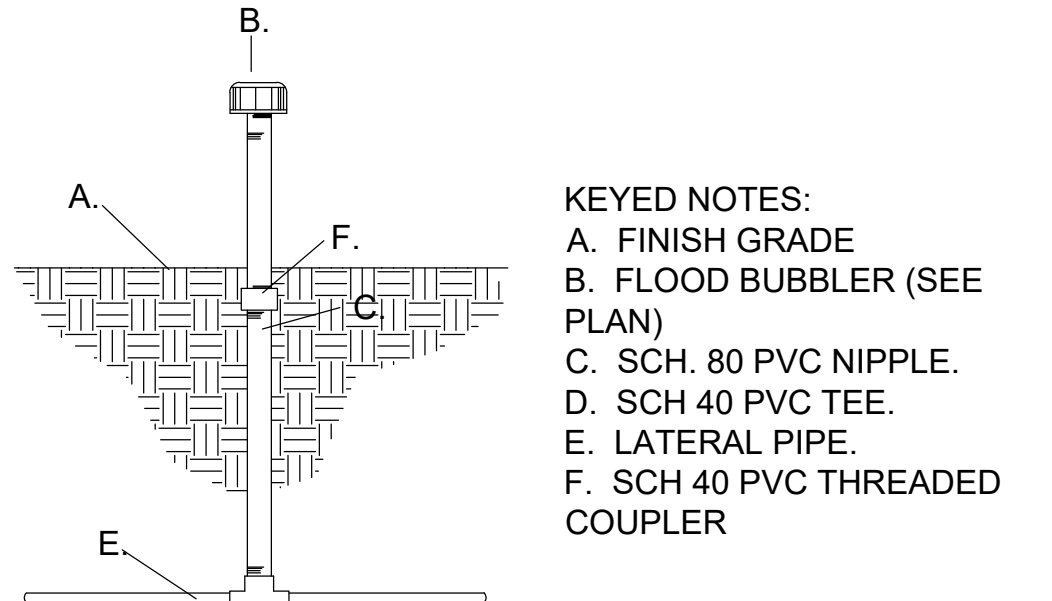
**PHOENIX APARTMENT BUILDING**  
 2818 4TH ST NW  
 ALBUQUERQUE, NM 87107

DRAWING TITLE: **SITE PLAN**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	<b>A-100</b>
DATE	3/25/2021

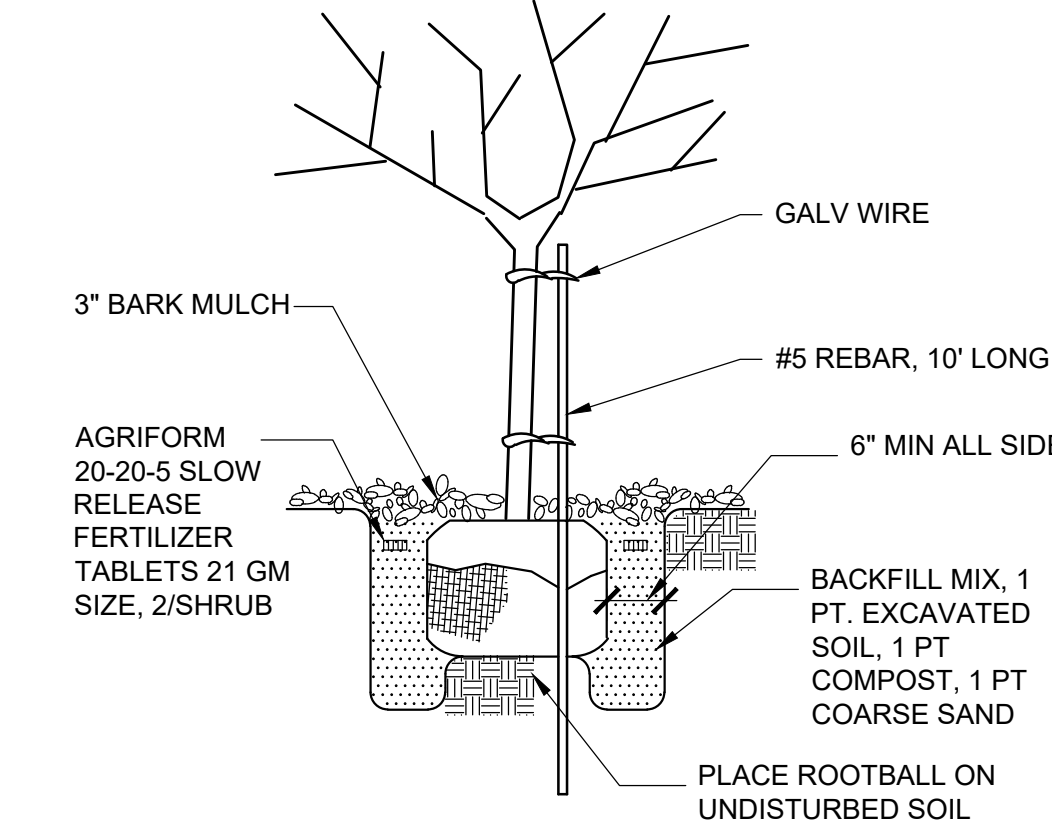
SEAL: SCOTT C. ANDERSON, No. 4341, REGISTERED ARCHITECT, 3/25/2021

NOTE:  
LATERAL LINE TESTING SHALL BE COMPLETED PRIOR TO INSTALLATION  
LATERAL TESTING SHALL BE ACCOMPLISHED BY INSTALLING A PLUG IN THE OUTLET OF LATERAL LINE TEES AND ELLS.



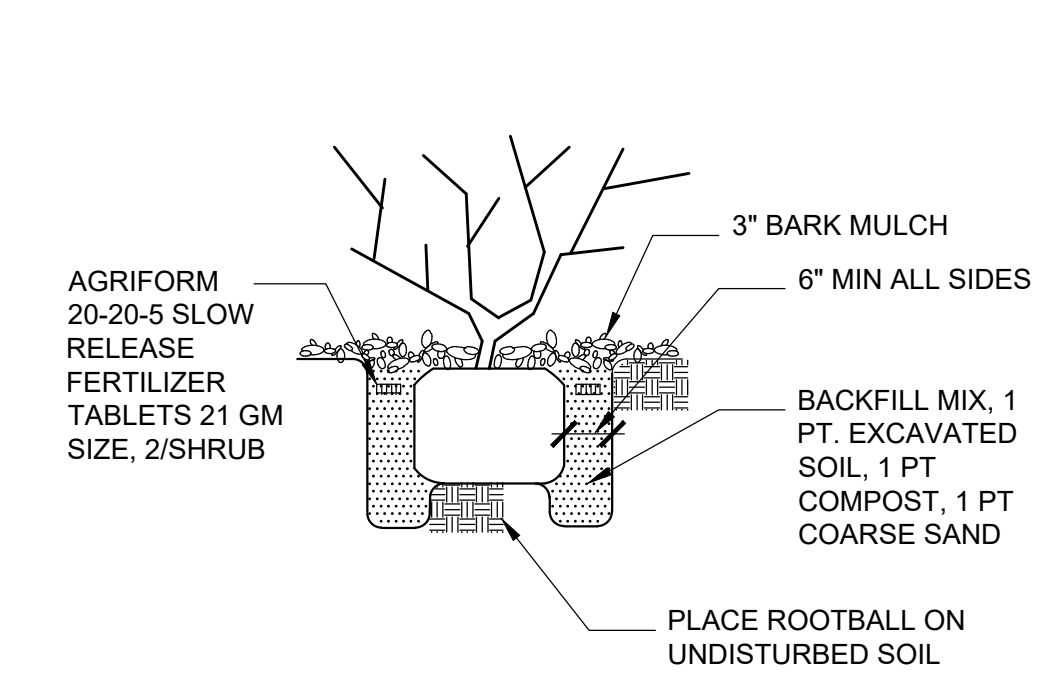
**IRRIGATION BUBBLER**

SCALE: NTS  
NOTE: CUT & REMOVE WIRE FROM ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL. CAREFULLY TAMP IN BACKFILL MIX TO INSURE ROOTBALL REMAINS INTACT



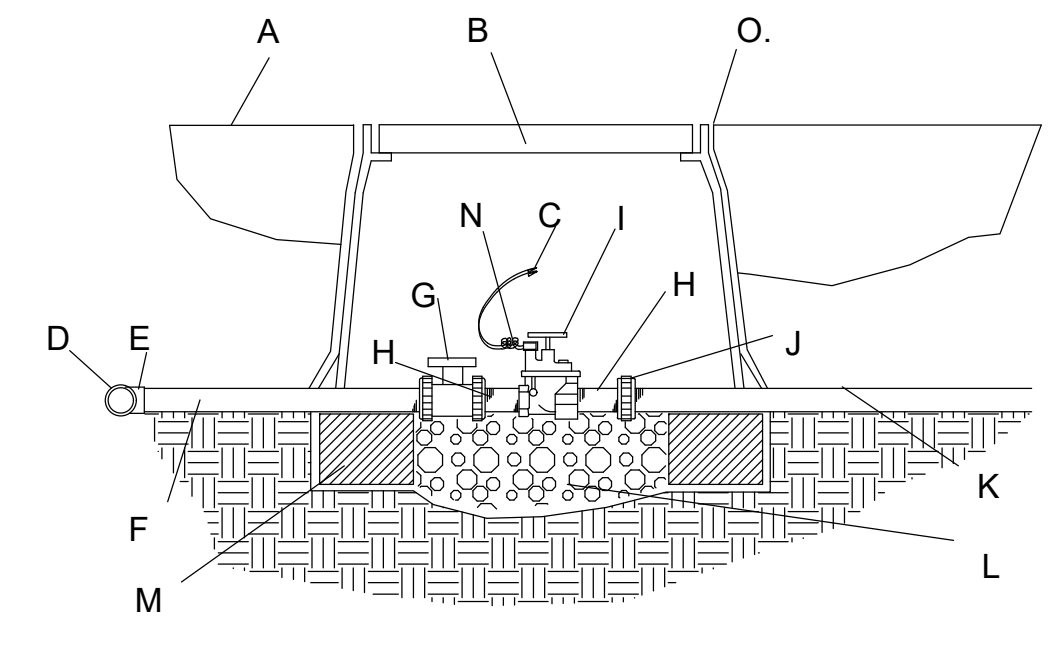
**TREE PLANTING**

SCALE: NTS  
NOTE: CONTRACTOR SHALL GRADE SOIL ADJACENT TO TREES AND SHRUBS TO ENSURE EVEN AND ADEQUATE WATERING OF ALL PLANT MATERIAL



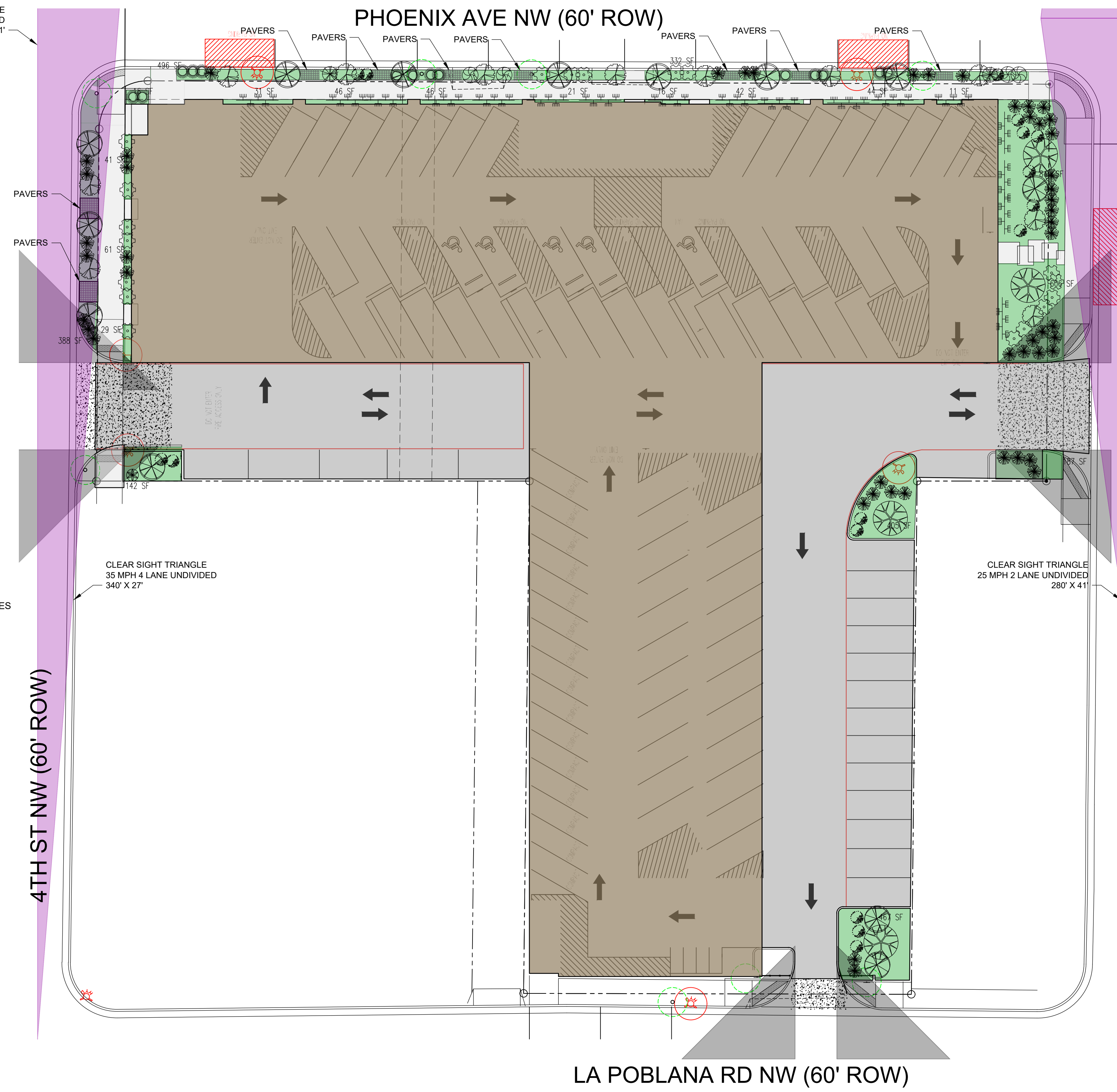
**LANDSCAPE PLANTING**

SCALE: NTS



**IRRIGATION VALVES**

SCALE: NTS



**LANDSCAPE PLAN**

SCALE: 1" = 20'-0"

35"-0" CLEAR SIGHT TRIANGLE  
DPM 35 MPH CLEAR SIGHT TRIANGLE

KEYED NOTES:  
A. FINISH GRADE  
B. BROOKS PRODUCTS, INC. 1730 PB-18 BODY (ABS) VALVE BOX W/1730 BOLT DOWN COVER (ABS) & TWO 8" EXTENSIONS.  
C. DRY SPLICE CONNECTOR OR EQUAL.  
D. IRRIGATION MAINLINE.  
E. IRRIGATION MAINLINE SERVICE TEE OR ELL.  
F. SCHEDULE 80 PVC X 12" NIPPLE.  
G. SPEARS TRUE UNION SCHEDULE 80 PVC BALL VALVE.  
H. SCHEDULE 80 PVC CLOSE NIPPLE  
I. ELECTRIC VALVE (SEE PLAN)  
J. SPEARS SCHEDULE 80 PVC UNION.  
K. LATERAL LINE.  
L. 1 CUBIC FOOT 1" DIA. WASHED ROCK.  
M. 8" X 8" X 16" SOLID CMU BLOCK.  
N. 24" WIRE EXPANSION COIL.  
O. 6 mm BLACK POLYETHYLENE PLASTIC TAPE TO ALL INLET & OUTLET PIPE & INSTALL THE FULL DEPTH OF THE VALVE BOX BOTTOM.

NOTES:  
INSTALL AN 8" X 8" X 16" SOLID CMU BLOCK @ EA. CORNER OF THE VALVE BOX.  
WASH ROCK SHALL BE INSTALLED FLUSH WITH BOTTOM OF PIPE & VALVE.

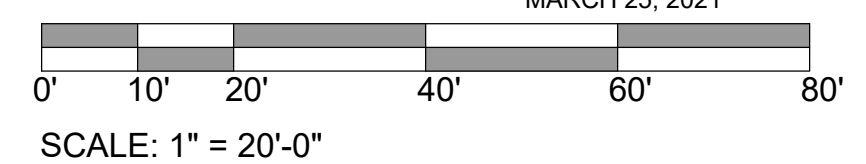
- CM - CRAPE MYRTLE - LAGERSTROEMIA INDICA - 7'-9'
- OR - OKLAHOMA REDBUD - CERCIS RENIFORMIS - 8'-10'
- LE - LACEBARK ELM - ULMUS PARVIFOLIA - 8'-10'
- S - BLUE MIST SPIREA - CARYOPTERIS X CLANDONENSIS - 1-2 GAL
- FG - MEXICAN FEATHER GRASS - NASSELLA TENUISSIMA - 1-2 GAL
- C - CATMINT - NEPETA FAASSENII - 1-2 GAL
- PM - PINK MUHLYGRASS - MUHLENBERGIA CAPILLARIS - 1-2 GAL
- FRG - FEATHER REED GRASS - CALAMAGROSTIS ACUTIFLORA 1-2 GAL
- BAG - BLUE AVENA GRASS - HELICTOTRICHON SEMPERVIRENS 1-2 GAL
- EI - ENGELMAN IVY - 1-2 GAL - 25 EACH (ATTACHED TO WALL)
- GRAVEL MULCH

GROSS LOT AREA = 55,278 SF  
BUILDINGS = 35,142 SF  
NET LOT AREA = 20,136 SF  
REQUIRED LANDSCAPE AREA @ 15% = 3,021 SF ; 3,717 SF PROVIDED

GROUND FLOOR DWELLING UNITS = 0  
2ND FLOOR DWELLING UNITS = 28  
TREES REQUIRED = 28  
TREES PROVIDED = 31

- GENERAL NOTES:
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
  - PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
  - SFBROWN GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.
  - IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.
  - RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.
  - POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.
  - IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.
  - IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.
  - INSTALL BACKFLOW PREVENTION @ IRRIGATION SYSTEM. REFERENCE DETAIL THIS SHEET.
  - NO PARKING SPACE SHALL BE MORE THAN 50'-0" FROM A TREE TRUNK.
  - TREE CANOPY COUNTS TOWARD 75% OF REQUIRED GROUND COVER FOR LANDSCAPE AREAS UP TO 100SF.

NOTE: THE PROPERTY OWNER SHALL PROPERLY MAINTAIN ALL IRRIGATION SYSTEMS, LANDSCAPING PLANTS AND GRAVEL MULCH



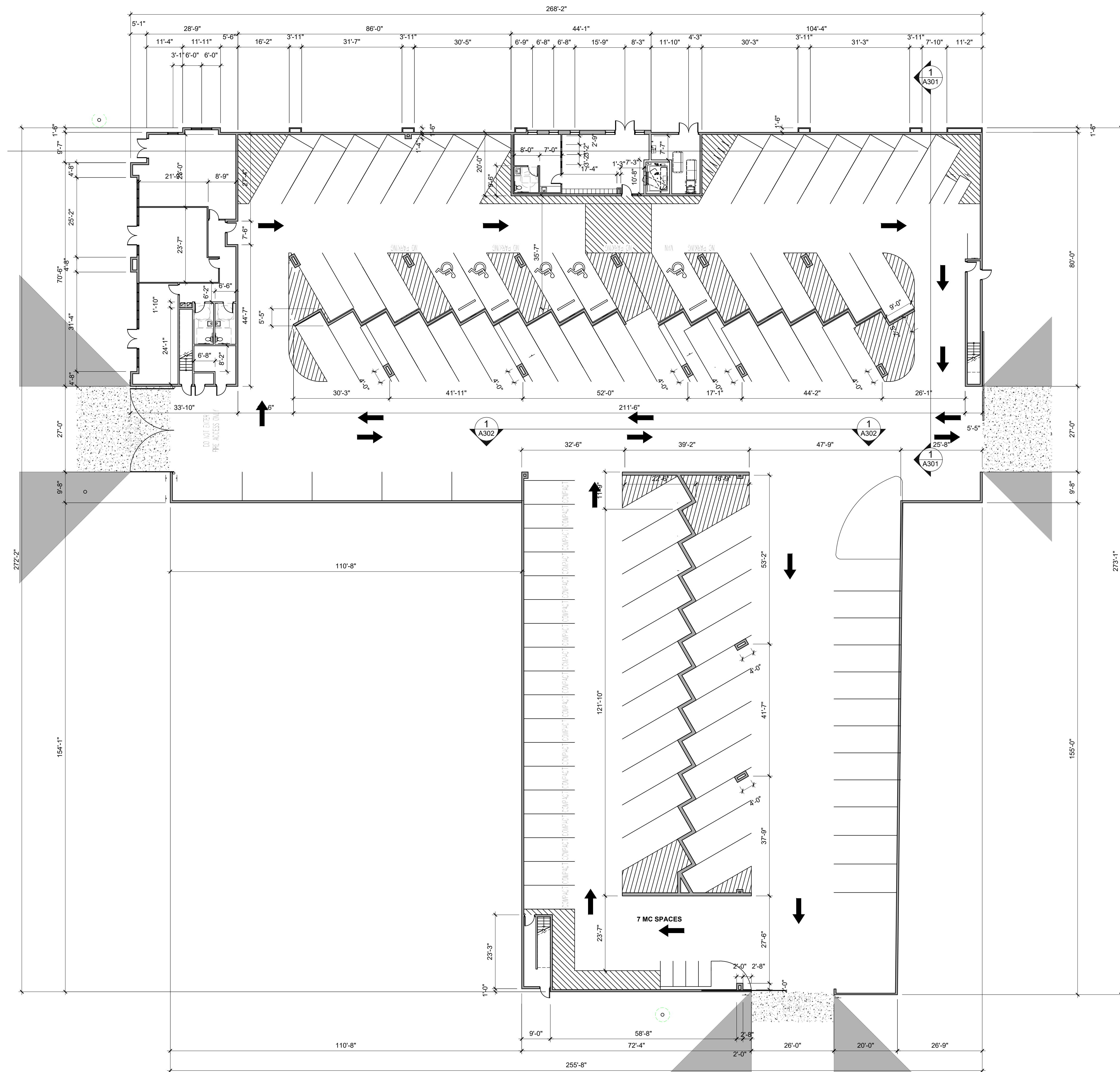
No	Revision	Item	Date

**SCOTT C. ANDERSON & ASSOCIATES architects**  
4419 4th St NW apt B  
ALBUQUERQUE, NM 87107  
scott@scottcanderson.com  
505-481-7375

**PHOENIX APARTMENT BUILDING**  
2818 4TH ST NW  
ALBUQUERQUE, NM 87107

DRAWING TITLE: **LANDSCAPE PLAN**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	<b>L-101</b>
DATE	3/25/2021



**FIRST FLOOR PLAN**

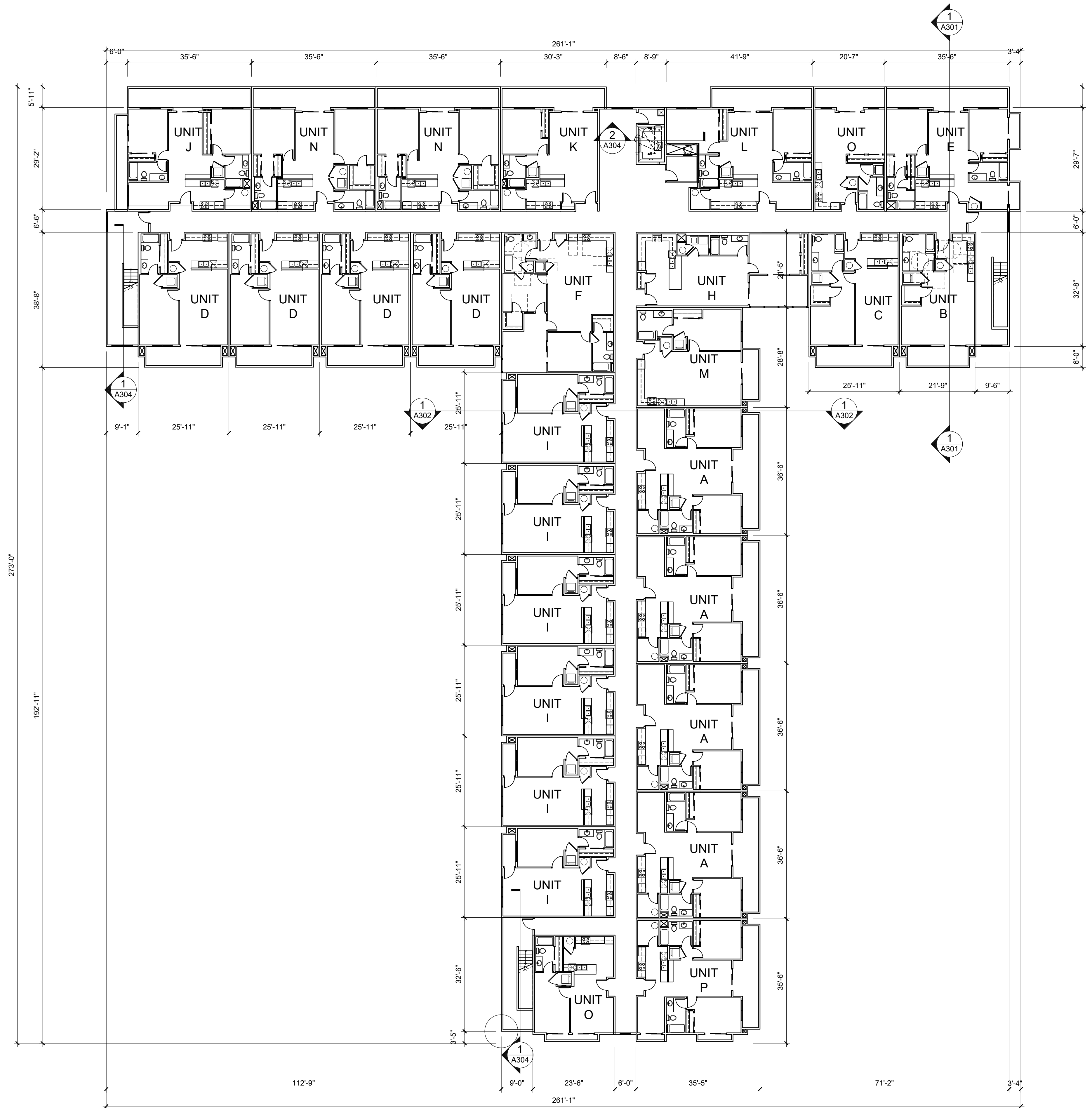
SCALE: 1/16" = 1'-0"

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
2. ALL WORK TO COMPLY WITH LATEST VERSIONS OF THE IBC, AND NFPA.
3. PROVIDE BLOCKING IN WALLS FOR INSTALLATION OF GRAB BARS, TOWEL RACKS AND SHELVES.
4. PROVIDE BLOCKING IN WALLS AS REQUIRED BY FHA AS REQUIRED FOR THE INSTALLATION OF CABINETS AND UNIT FINISHES.
5. ALL WORK SHALL BE PERFORMED IN A SATISFACTORY AND WORKMANLIKE MANNER. DEFICIENT WORK AND OR MATERIALS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION AS DIRECTED BY THE OWNER
6. ALL GYPSUM BOARD TO BE 5/8" TYPE "X" UNLESS NOTED OTHERWISE.
7. MOISTURE RESISTANT GYPSUM BOARD SHALL BE USED IN RESTROOM AND OTHER WET AREAS, (I.E. BEHIND ELECTRIC WATER COOLERS).
8. SIGNAGE FOR INDIVIDUAL AREAS AND ROOMS TO BE PER OWNER'S SPECIFICATIONS AND COORDINATED BY CONTRACTOR.
9. FOR FIRE EXTINGUISHER CABINET REFERENCE DETAIL ON SHEET A502.
10. REFERENCE SHEET A410 FOR FIXTURE MOUNTING HEIGHTS.
11. CONTRACTOR (HARDWARE SUPPLIER) SHALL CAREFULLY REVIEW CONDITIONS AND DETAILS AT EACH OPENING AND FURNISH COMPLETE ITEMS OF HARD-WARE W/ APPROPRIATE FASTENERS AND OTHER ACCESSORY ITEMS AS REQUIRED TO PROVIDE THE INDICATED. WHETHER OR NOT THE ACCESSORY ITEMS ARE CONTRACTOR TO MEET W/ OWNER TO COORDINATE ALL KEYING OF LOCKS.
12. PROVIDE SILENCERS ON ALL DOORS. ALL FINISHES ARE US28D OR TO MATCH SAME, UNLESS NOTED OTHERWISE.
13. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. THEY SHALL BE MOUNTED NO HIGHER THAN A MAXIMUM HEIGHT OF 48" A.F.F.
14. THE MAXIMUM FORCE, EXPRESSED IN POUNDS-FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: EXTERIOR HINGED DOORS: 6.5 LBF INTERIOR HINGED DOORS: 5.0 LBF
15. ALL EXTERIOR DOORS TO HAVE WEATHER STRIPPING AND SWEEP.
16. HARDWARE TO BE COORDINATED AND APPROVED BY OWNER PRIOR TO INSTALLATION. FINISH IS BRUSHED CHROME. ALL LOCKS TO BE ON MASTERKEY SYSTEM, AND ALL HARDWARE TO BE SCHLAGE D-SERIES OR EQUAL.
17. REFERENCE ENLARGED UNIT PLANS FOR TOILET FIXTURES, TOILET ACCESSORIES, THEIR MOUNTING LOCATIONS AND MOUNTING HEIGHTS.
18. ALL FIRE EXTINGUISHERS TO BE 2A-10BC SURFACE MOUNTED TYPE ABC.

No	Revision	Item	Date
<b>SCOTT C. ANDERSON</b> & associates architects <small>4419 4th St. NW, Ste. B          Albuquerque, NM 87107          scott@scottcanderson.com          505.401.7575</small>			
<b>PHOENIX APARTMENT BUILDING</b> 2818 4TH ST NW ALBUQUERQUE, NM 87107			
DRAWING TITLE <b>FIRST FLOOR PLAN</b>			
	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	<b>A-101</b>	
DATE	10/2/2020		

4TH ST NW



LA POBLANA RD NW

FLOOR PLAN LEVELS 2, 3 AND 4

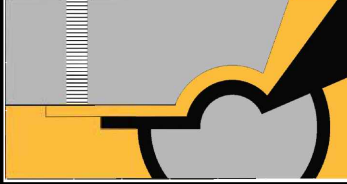
SCALE: 1/16" = 1'-0"



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12. PROVIDE SILENCERS ON ALL DOORS. ALL FINISHES ARE US26D OR TO MATCH SAME, UNLESS NOTED OTHERWISE.
13. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. THEY SHALL BE MOUNTED NO HIGHER THAN A MAXIMUM HEIGHT OF 48" A.F.F.
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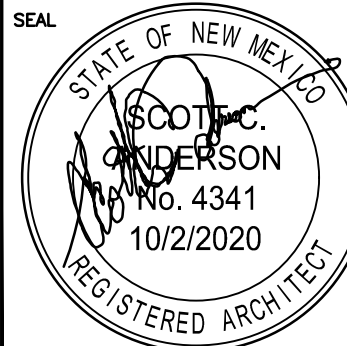
No	Revision Item	Date



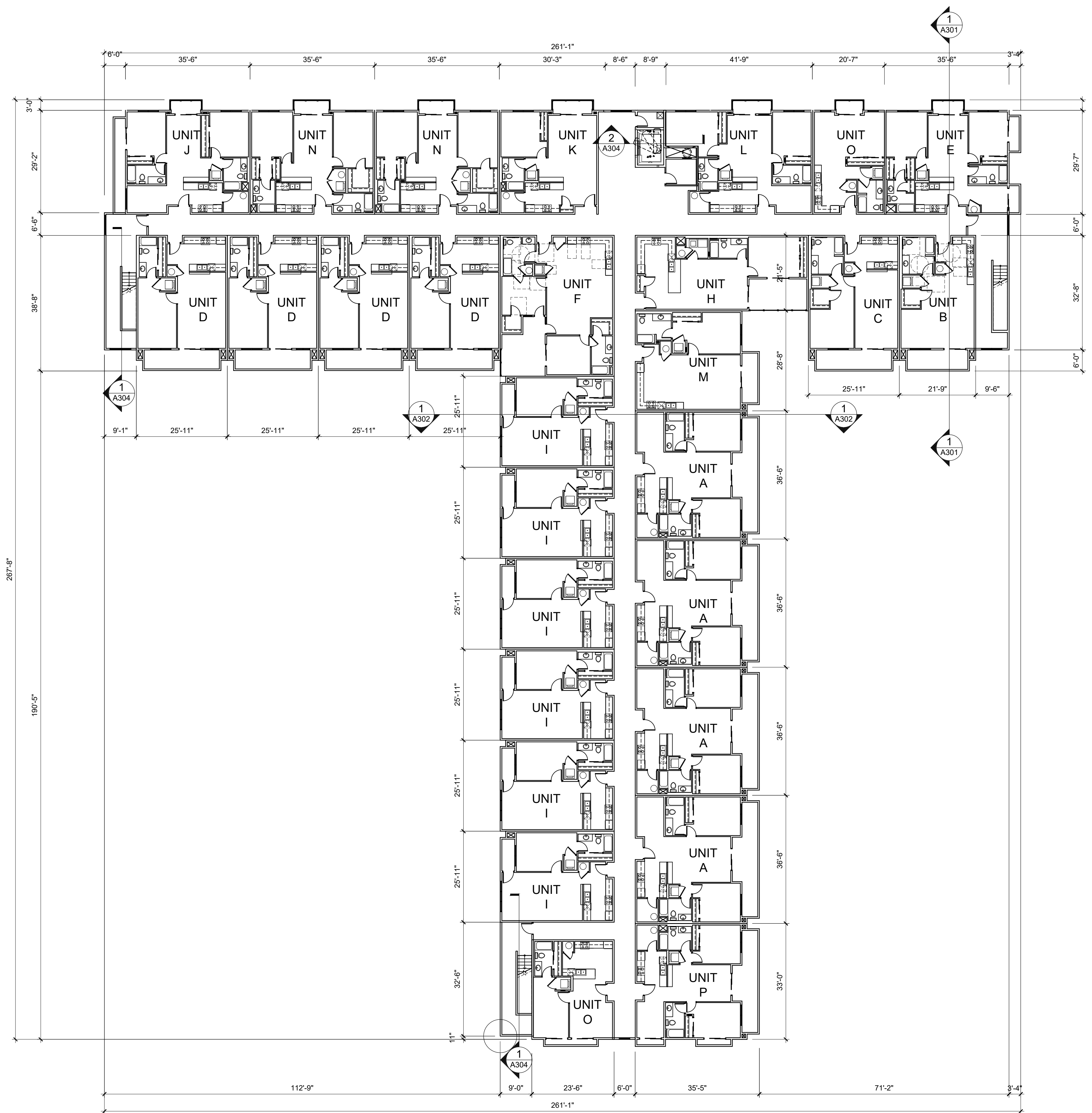
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**PHOENIX APARTMENT BUILDING**  
2818 4TH ST NW  
ALBUQUERQUE, NM 87107

DRAWING TITLE: **2ND FLOOR PLAN**

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-102</b>
DATE	10/2/2020	

4TH ST NW



LA POBLANA RD NW

FLOOR PLAN LEVELS 2, 3 AND 4

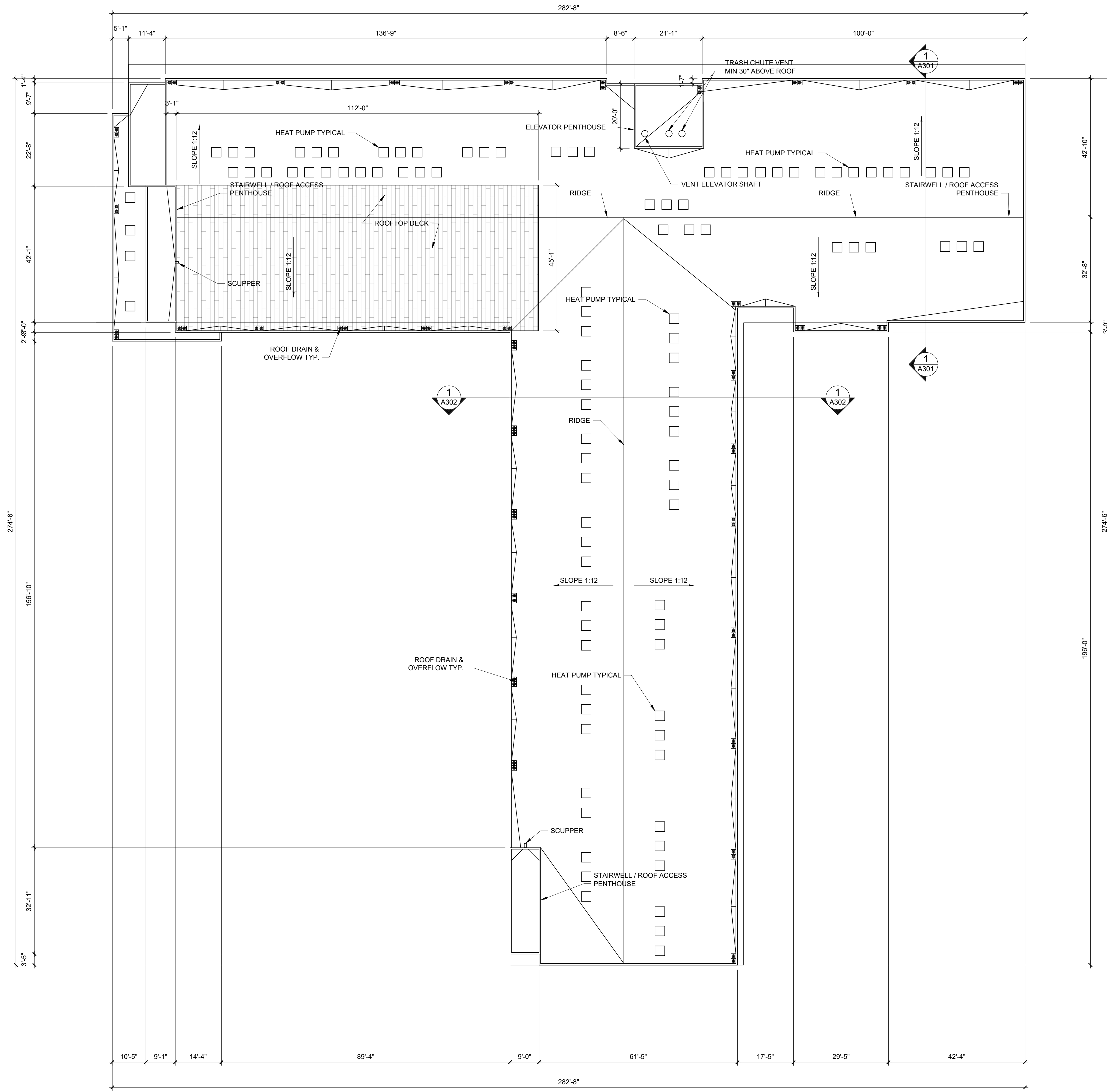
SCALE: 1/16" = 1'-0"



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No	Revision Item	Date
<p><b>SCOTT C. ANDERSON</b> &amp; associates architects 4419 4th St NW, Ste. B Albuquerque, NM 87107 scand@scottcanderson.com 505.461.7575</p>		
<p>PHOENIX APARTMENT BUILDING 2818 4TH ST NW ALBUQUERQUE, NM 87107</p>		
DRAWING TITLE		<b>LEVEL 3 &amp; LEVEL 4 FLOOR PLAN</b>
	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-103</b>
DATE	10/2/2020	



**ROOF PLAN**

SCALE: 1/16" = 1'-0"

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL EXTEND ALL VENT-THRU-ROOF PIPES TO 12" MINIMUM ABOVE THE FINISHED ROOFING SYSTEM.
2. ALL LOCATIONS OF ITEMS SHOWN ON ROOF PLANS ARE APPROXIMATE.
3. BUR ROOF COVERING SHALL HAVE SOLAR REFLECTANCE VALUE OF 0.65 OR GREATER.
4. PIPES 1-1/2" AND SMALLER SHALL BE SUPPORTED AT 8'-0" O.C. MAXIMUM AND PIPES 2" AND LARGER SHALL BE SUPPORTED AT 10'-0" O.C. MAXIMUM.
5. ALL CRICKETS SHALL HAVE A MINIMUM SLOPE OF 1/2" PER 1'-0" AS MEASURED FROM LEVEL FOR POSITIVE DRAINAGE.
6. ALL ROOF TOP EQUIPMENT SHALL BE INSTALLED A MINIMUM OF 8" OR MORE ABOVE THE FINISHED ROOF AS REQUIRED BY THE ROOFING SYSTEM. MAINTAIN UNIFORM SIDE AND STAGGERED END LAPS. BOND AND SEAL LAPS, LEAVING NO VOIDS.
7. BASE FLASHING: INSTALL BASE-SHEET BACKER AND MODIFIED BITUMINOUS MEMBRANE BASE FLASHING AND SECURE TO SUBSTRATE. PROTECT ROOFING AND BASE FLASHINGS FROM DAMAGE AND WEAR DURING REMAINDER OF CONSTRUCTION PERIOD.
8. THE ROOFING CONTRACTOR SHALL PROVIDE FASTENERS AS REQUIRED FOR CORROSIVE AGENTS ADDED TO TREATED WOOD NAILERS AND AS RECOMMENDED BY THE ROOFING MANUFACTURER AND AS REQUIRED FOR THE WARRANTY.
9. ALL ROOFING SHALL MEET FM I-75 FOR WIND UPLIFT.
10. SEE SHEET A-502 FOR TYPICAL ROOF PLUMBING VENT FLASHING.
11. SEE SHEET A-502 FOR TYPICAL VENT DETAILING AND FLASHING.

**ROOF VENT CALCULATION:**

34,996 SF / 300 = 117 SF OF ROOF VENTILATION

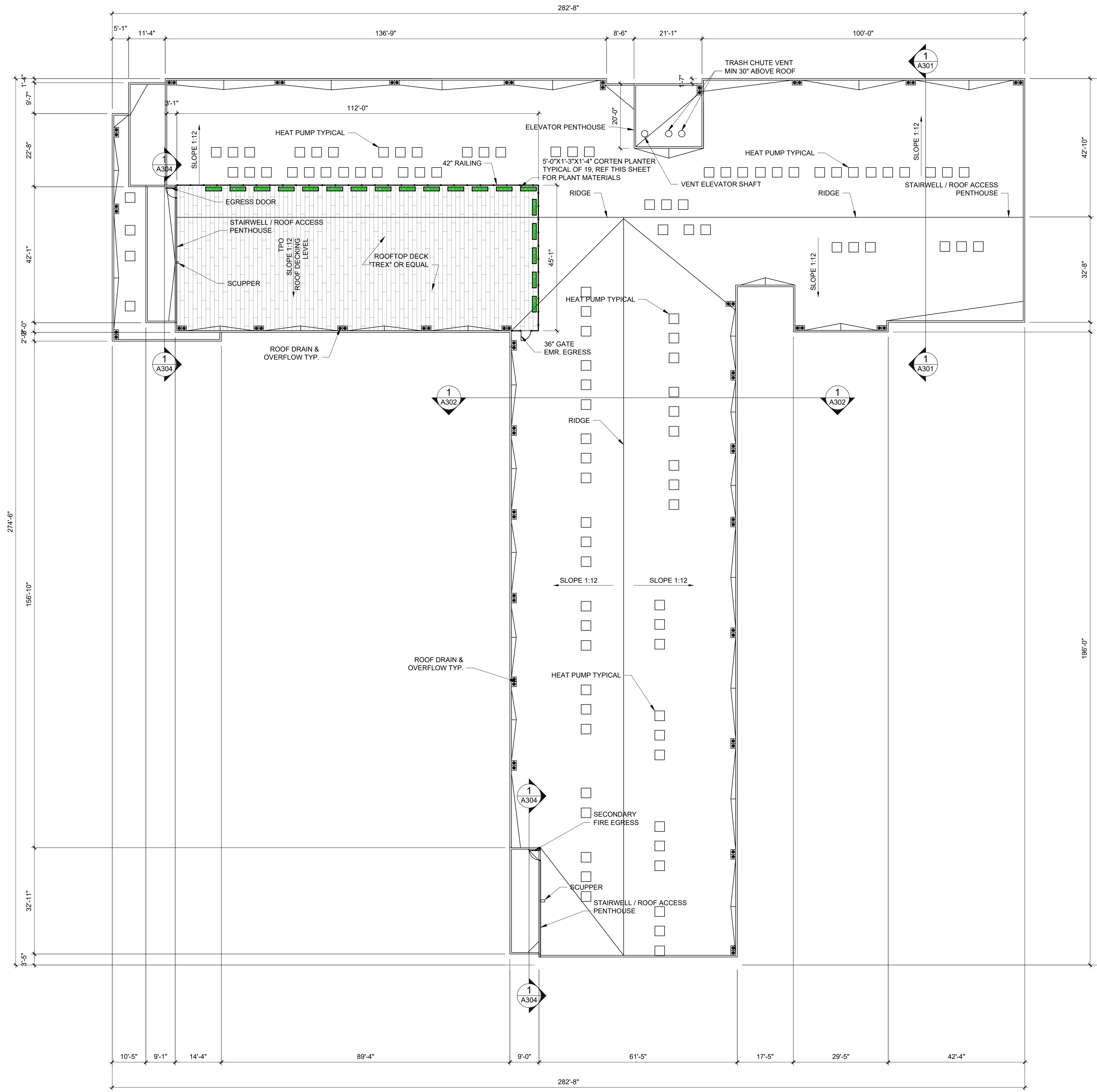
No	Revision	Item	Date

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 505.401.7375

**PHOENIX APARTMENT BUILDING**  
 2818 4TH ST NW  
 ALBUQUERQUE, NM 87107

DRAWING TITLE: **ROOF PLAN**

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-105</b>
	DATE	



- GENERAL NOTES:
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  11. SEE SHEET A-502 FOR TYPICAL VENT DETAILING AND FLASHING.

ORNAMENTAL GRASSES				
FRG	FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	1 GAL	20
BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL	20
SG	SWITCH GRASS	PANICUM VIRGATUM SHENANDOAH	1 GAL	20
BLB	BLAZE LITTLE BLUETEM	SCHIZACHYRIUM SCOPARIUM BLUZE	1 GAL	20

ROOF VENT CALCULATION:  
 34,996 SF / 300 = 117 SF OF ROOF VENTILATION

No	Revision	Item	Date

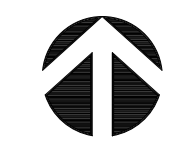
**SCOTT C. ANDERSON & ASSOCIATES architects**  
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**PHOENIX APARTMENT BUILDING**  
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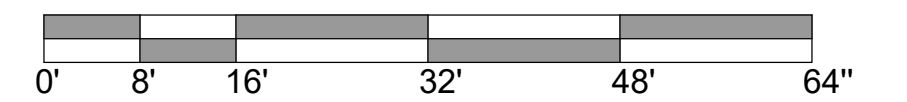
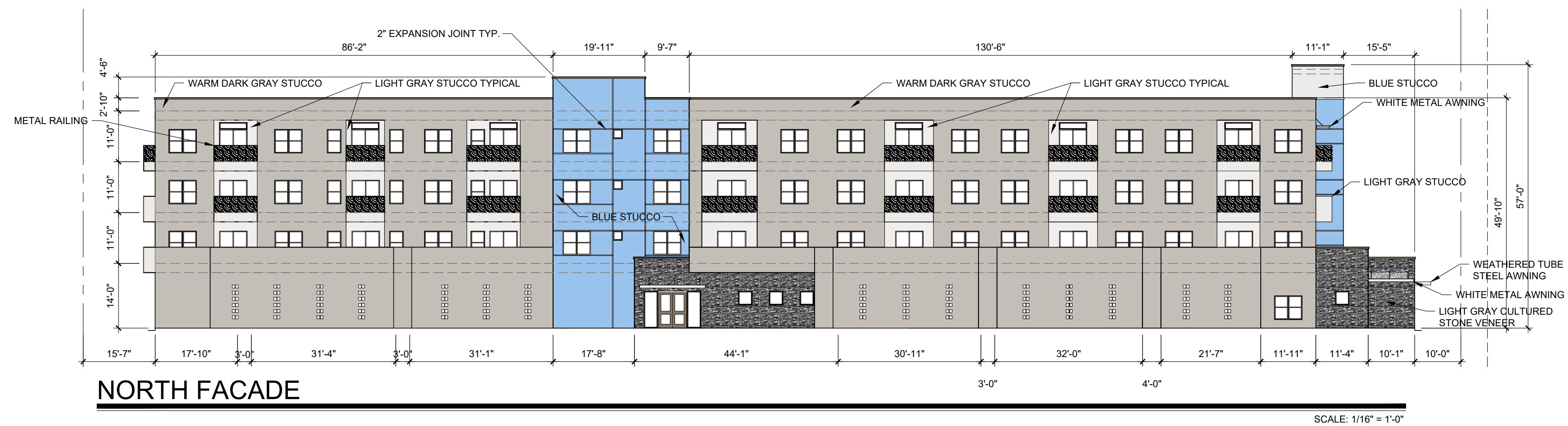
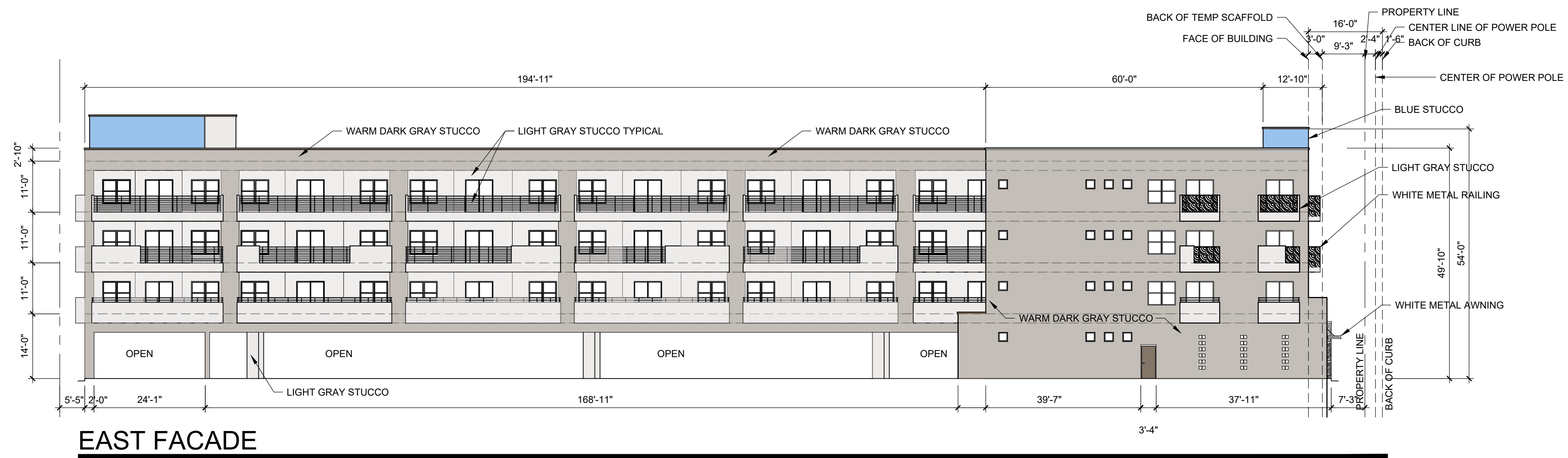
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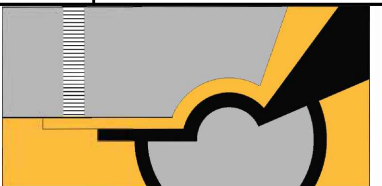
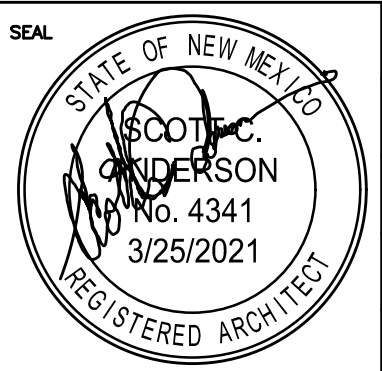
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	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-108</b>
DATE	12/2/2020	

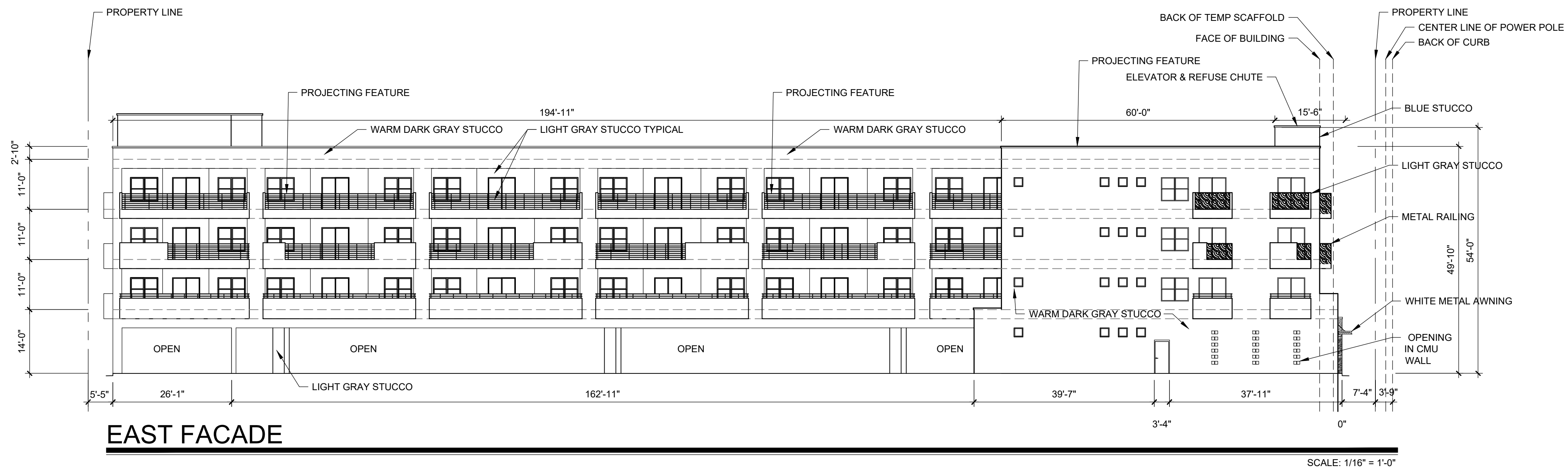
**ROOF PLAN**  
 SCALE: 1/16" = 1'-0"







No	Revision Item	Date
 <b>SCOTT C. ANDERSON</b> & associates architects <small>4419 4th St NW STE B            ALBUQUERQUE, NM 87107            scott@scottcanderson.com            505-461-7373</small>		
<b>PHOENIX APARTMENT BUILDING</b> 2818 4TH ST NW ALBUQUERQUE, NM 87107		
<b>DRAWING TITLE</b> <b>BUILDING ELEVATIONS</b>		
	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-201</b>
	DATE	



**EAST FACADE**

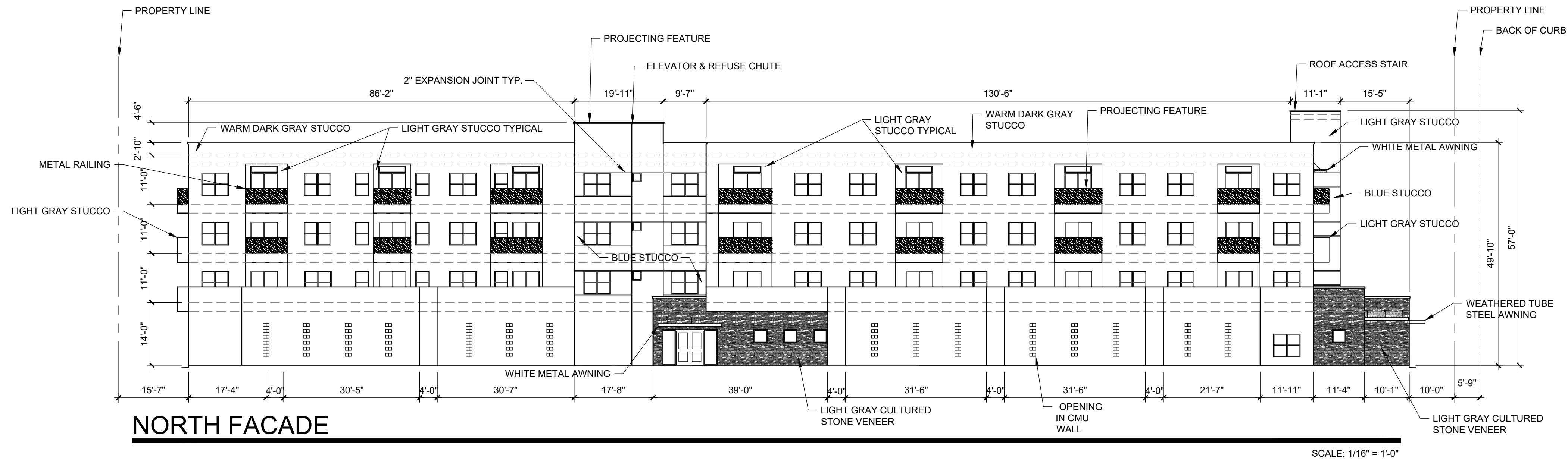
SCALE: 1/16" = 1'-0"

THE BUILDING CODE MANDATES A MIN. 4'-0" CLEAR REFUGE SPACE ABOVE THE TOP OF THE ELEVATOR CAB WHEN IT IS LOCATED AT ITS HIGHEST POINT. TO ACCOMPLISH THIS LIFE SAFETY REQUIREMENT IT IS NECESSARY TO PROJECT THE TOP OF THE SHAFT ABOVE THE TOP OF THE ROOF.

VENTS ARE REQUIRED BY THE IBC AT THE TOP OF THE REFUSE CHUTE SHAFT AND THE ELEVATOR SHAFT. THE PARAPET HAS BEEN EXTENDED ABOVE THE ROOFS OF THESE SHAFTS TO CONCEAL THE VENTS FROM VIEW.

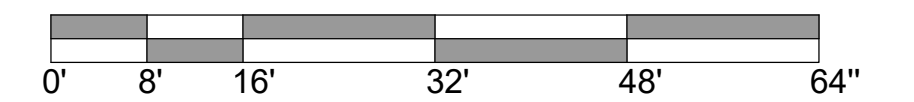
THE IBC REQUIRES ACCESS TO THE ROOF VIA STAIRWELL OR PERMANENTLY AFFIXED LADDER. STAIRWELLS ENCLOSURES EXTEND ABOVE THE TOP OF THE ROOF DECK TO PROVIDE ACCESS AND EMERGENCY EGRESS FOR MAINTENANCE PURPOSES AND FOR ACCESS TO THE ROOFTOP DECK NEEDED FOR COMPLIANCE WITH THE OUTDOOR SPACE REQUIREMENT MANDATED BY THE IDO.

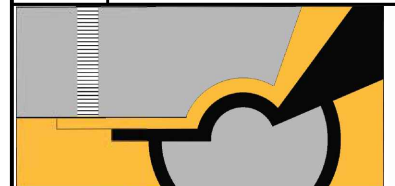

INSET WINDOWS 2" FROM EXT. WALL.

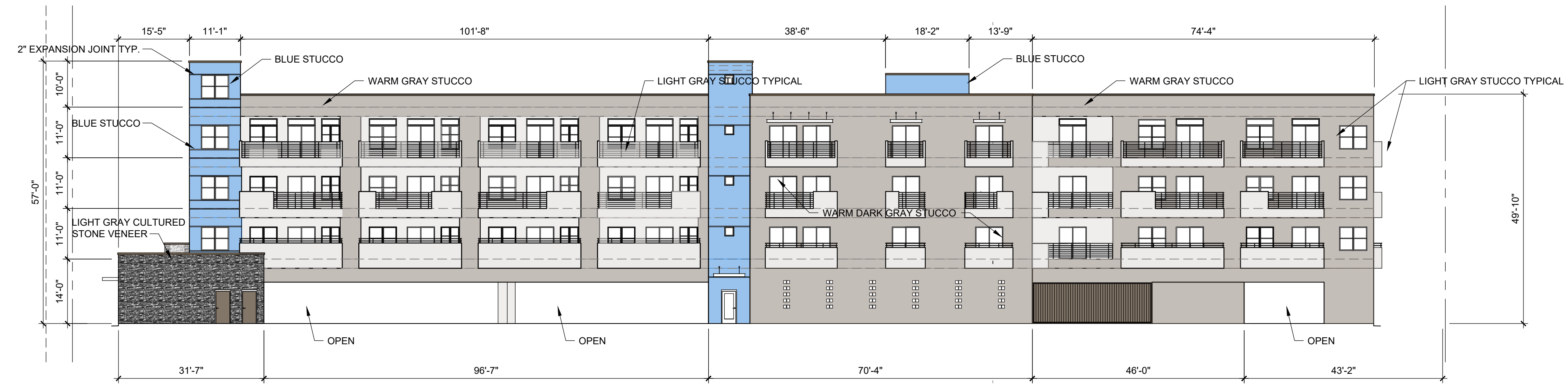


**NORTH FACADE**

SCALE: 1/16" = 1'-0"

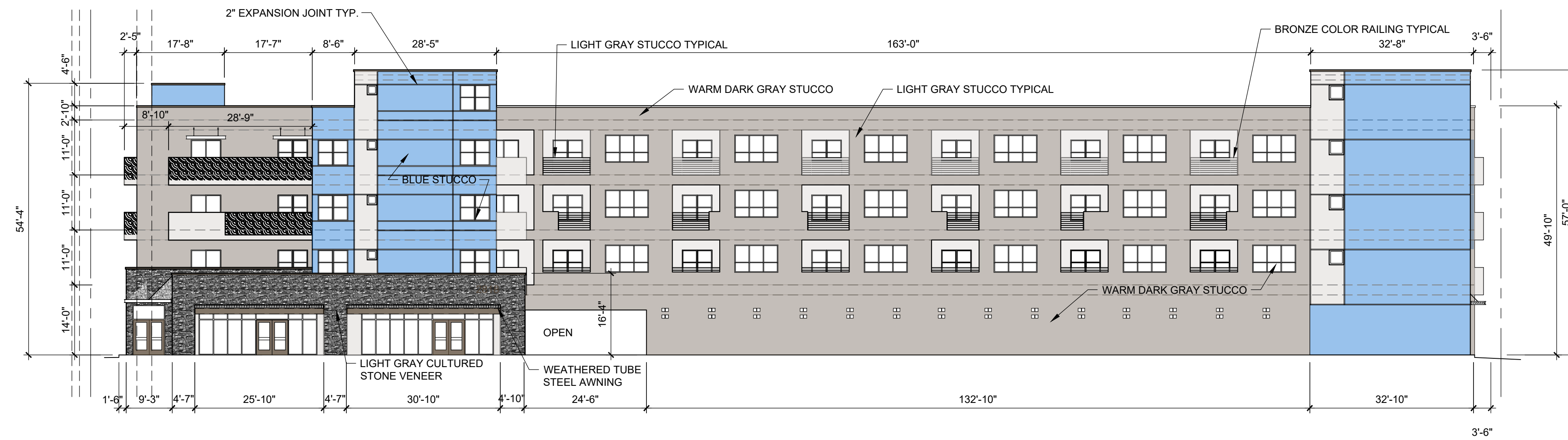


No	Revision Item	Date
 <b>SCOTT C. ANDERSON</b> & associates architects <small>4419 4th St NW STE B            ALBUQUERQUE, NM 87107            scott@scottcanderson.com            505-461-7373</small>		
<b>PHOENIX APARTMENT BUILDING</b> 2818 4TH ST NW ALBUQUERQUE, NM 87107		
DRAWING TITLE <b>BUILDING ELEVATIONS</b>		
	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-201
	DATE	



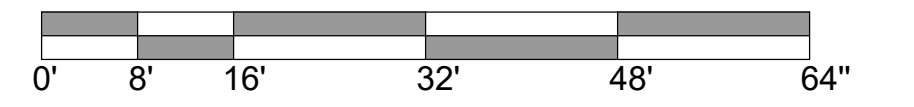
**SOUTH FACADE**

SCALE: 1/16" = 1'-0"



**WEST FACADE**

SCALE: 1/16" = 1'-0"



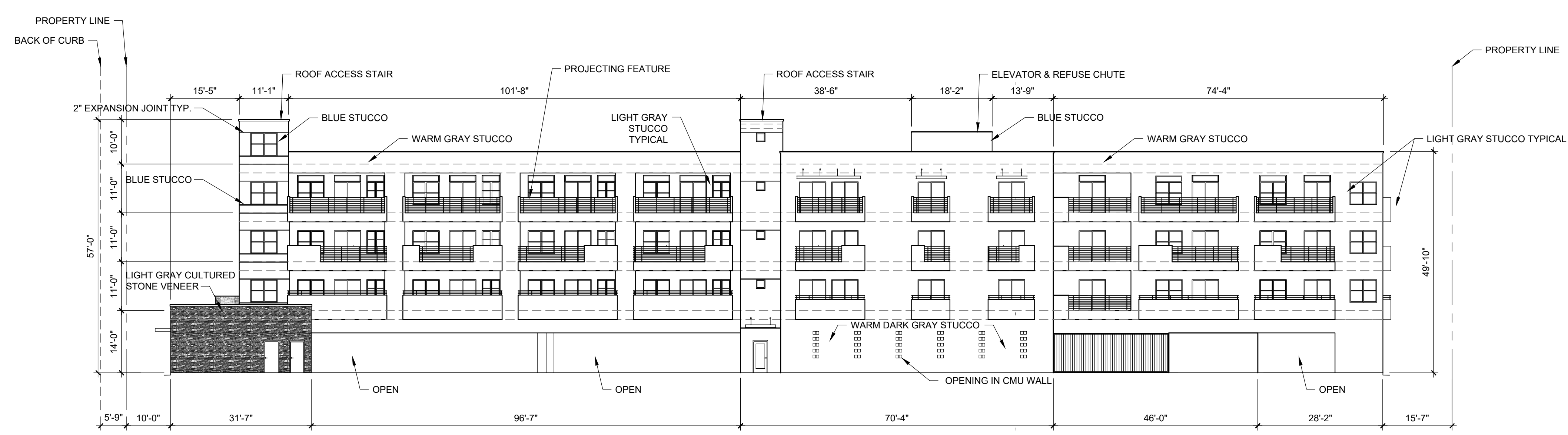
No	Revision Item	Date

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PHOENIX APARTMENT BUILDING  
 2818 4TH ST NW  
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DRAWING TITLE  
**BUILDING ELEVATIONS**

SEAL 	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-202</b>
	DATE 3/25/2021	



**SOUTH FACADE**

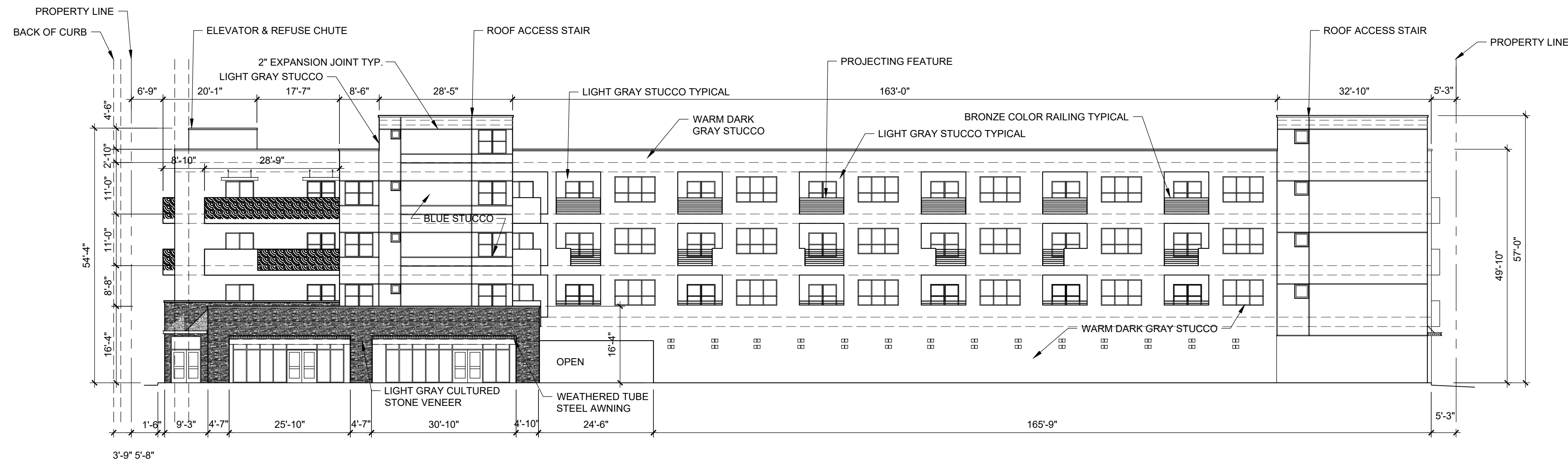
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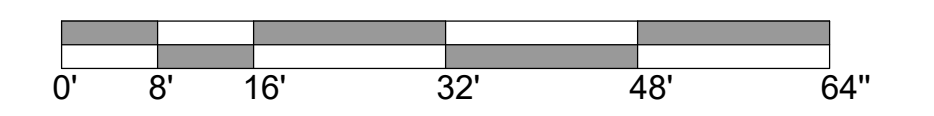
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INSET WINDOWS 2" FROM EXT. WALL.



**WEST FACADE**

SCALE: 1/16" = 1'-0"



GROUND FLOOR STREET FACING FACADE (4TH ST) = 1,348 SF

GLAZING PROVIDED @ WEST FACADE = 566 SF

**BUILDING ARTICULATION:**

- 1.a) INSET ALL WINDOWS 2" FROM WALL PLANE
- 1.b) WINDOWS PROVIDED ON UPPER FLOORS @ ALL FACADES
- 1.c) PRIMARY PEDESTRIAN ENTRANCES ON ALL FACADES FACING THE STREET
- 1.d) PORTALS AND TRELLISES PROVIDED AT ALL FACADES

**GLAZING CALCULATIONS:**

FRONT FACADE AREA = 1,345 SF  
FRONT GLAZING AREA = 586 SF

No	Revision Item	Date

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
 4419 4th St NW STE B  
 ALBUQUERQUE, NM 87107  
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 505-461-7373

**PHOENIX APARTMENT BUILDING**  
 2818 4TH ST NW  
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**BUILDING ELEVATIONS**

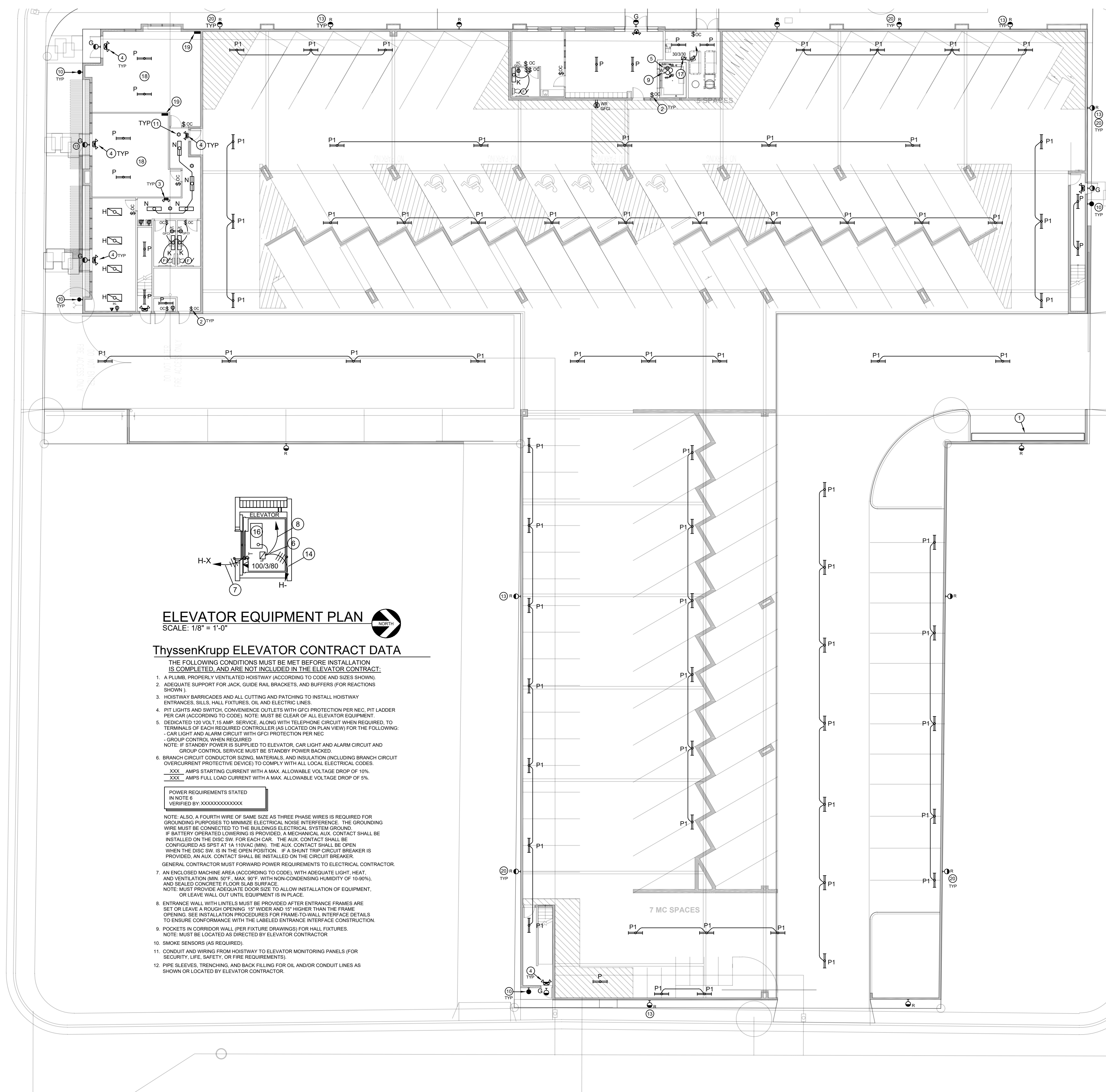
	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-202</b>
	DATE 3/25/2021	

**GENERAL NOTES:**

- A. VERIFY LOCATION OF ALL FIRE/SMOKE DAMPERS WITH MECHANICAL PLANS.
- B. COORDINATE EXACT LOCATION OF HVAC EQUIPMENT, T'STATS, CONTROLS, ETC. WITH MECHANICAL PLANS PRIOR TO ROUGH-IN. PROVIDE CONDUIT REQUIRED FOR MECHANICAL CONTROLS. ALL CONTROLS WIRING AND TERMINATION OF CONTROLS SHALL BE BY MECHANICAL.

**ELECTRICAL KEYED NOTES:**

- 1. METER BANK, REFER TO POWER RISER DIAGRAM.
- 2. OCCUPANCY SENSOR WALL SWITCH, LITHONIA WSD PDT WH (WHITE). ADJUST FOR 5 MINUTE INTERVAL.
- 3. EMERGENCY TWIN-EYE LIGHTING UNIT. CONNECT TO UNSWITCHED 120V LIGHTING CIRCUIT SERVING THIS SPACE.
- 4. COMBINATION EXIT SIGN / EMERGENCY TWIN-EYE UNIT WITH BATTERY BACK-UP. CONNECT TO UNSWITCHED 120V LIGHTING CIRCUIT SERVING THIS SPACE.
- 5. LOCATE RECEPTACLE IN ELEVATOR PIT. SUMP PUMP SHALL BE PLUGGED INTO THIS RECEPTACLE. COORDINATE EXACT LOCATION IN FIELD WITH MECHANICAL CONTRACTOR.
- 6. ELEVATOR EQUIPMENT ENCLOSED SWITCH. 100A, 240V, 3P-SN, FUSIBLE, NEMA 1, FERRAZ SHESLER 1200V OR EQUAL. FUSE PER ELEVATOR MANUFACTURER'S RECOMMENDATIONS. MAKE ALL FINAL POWER CONNECTIONS REQUIRED FOR A FULLY OPERATIONAL ELEVATOR SYSTEM.
- 7. DEDICATED 20A-1P DISCONNECT FOR ELEVATOR LIGHTING. MAKE ALL FINAL POWER CONNECTIONS TO ELEVATOR EQUIPMENT AS REQUIRED FOR A FULLY OPERATIONAL SYSTEM.
- 8. EXTEND 120V INTERLOCK WIRING TO ELEVATOR CONTROL CABINET.
- 9. PROVIDE MARINE-STYLE LIGHT (WITH A19, 9.5W L.E.D. BULB), GFCI RECEPTACLE, AND SWITCH FOR ELEVATOR PIT.
- 10. EXTERIOR EMERGENCY EGRESS LIGHT (EXEM), CONNECT TO NEAREST UNSWITCHED 120V LIGHTING CIRCUIT.
- 11. OCCUPANCY SENSOR FOR CONTROL OF ALL CORRIDOR LIGHTING FIXTURES. SET SENSOR "ON" TIME FOR 15 MINUTES.
- 12. NUMBER ADJACENT TO RECEPTACLE INDICATES CIRCUIT NUMBER. EXTEND 3 #12 TO CIRCUIT INDICATED IN PANEL "H".
- 13. EXTEND TO CIRCUIT INDICATED THROUGH PHOTOCELL / TIMECLOCK CONTROLS, REFER TO LIGHTING CONTROL DIAGRAM. USE #10 CONDUCTORS THROUGHOUT ENTIRE CIRCUIT.
- 14. 200A FEEDER. 3 #3/0 CU AND 1 #3/0 CU E.G.R. (PER THYSSENKRUPP) IN 2.5" CONDUIT.
- 15. PROVIDE 120V CONTROL POWER TO FIRE/SMOKE DAMPERS (FSD) PER MANUFACTURER'S REQUIREMENTS. FSD'S FURNISHED BY MECHANICAL DIVISION.
- 16. ELEVATOR CONTROL EQUIPMENT IS LOCATED IN THE ELEVATOR SHAFT/PIT AREA. PROVIDE ALL ELECTRICAL REQUIREMENTS AS OUTLINED IN THE THYSSENKRUPP ELEVATOR CONTRACT DATA.
- 17. DISCONNECT FOR TRASH COMPACTOR EQUIPMENT. IN ADDITION TO THE 3-PHASE MOTOR CIRCUIT SHOWN (4 #10), PROVIDE A 120V CONTROL CONNECTION (3 #12) TO THE NEAREST UNSWITCHED 120V RECEPTACLE CIRCUIT. MAKE ALL POWER AND CONTROL CONNECTIONS PER MANUFACTURER'S REQUIREMENTS FOR A FULLY OPERATIONAL SYSTEM.
- 18. NO ADDITIONAL WORK TO BE DONE IN RETAIL SPACE (LIGHTING AND POWER TO BE INSTALLED IN FUTURE TENANT IMPROVEMENTS).
- 19. PANEL DEDICATED TO THIS SPACE.
- 20. REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION AND HEIGHT OF BUILDING MOUNTED LIGHT FIXTURES.



**ELEVATOR EQUIPMENT PLAN**  
SCALE: 1/8" = 1'-0"

**ThyssenKrupp ELEVATOR CONTRACT DATA**

- THE FOLLOWING CONDITIONS MUST BE MET BEFORE INSTALLATION IS COMPLETED, AND ARE NOT INCLUDED IN THE ELEVATOR CONTRACT:
- 1. A PLUMB, PROPERLY VENTILATED HOISTWAY (ACCORDING TO CODE AND SIZE SHOWN).
  - 2. ADEQUATE SUPPORT FOR JACK, GUIDE RAIL, BRACKETS, AND BUFFERS (FOR REACTIONS SHOWN).
  - 3. HOISTWAY BARRICADES AND ALL CUTTING AND PATCHING TO INSTALL HOISTWAY ENTRANCES, SIGNS, HALL FIXTURES, OIL AND ELECTRIC LINES.
  - 4. PIT LIGHTS AND SWITCH, CONVENIENCE OUTLETS WITH GFCI PROTECTION PER NEC, PIT LADDER PER CAR (ACCORDING TO CODE). NOTE: MUST BE CLEAR OF ALL ELEVATOR EQUIPMENT.
  - 5. DEDICATED 120 VOLT 15 AMP SERVICE, ALONG WITH TELEPHONE CIRCUIT WHEN REQUIRED, TO TERMINALS OF EACH REQUIRED CONTROLLER (AS LOCATED ON PLAN VIEW) FOR THE FOLLOWING:
    - CAR LIGHT AND ALARM CIRCUIT WITH GFCI PROTECTION PER NEC
    - GROUP CONTROLS, WHEN REQUIRED
  - NOTE: IF STANDBY POWER IS SUPPLIED TO ELEVATOR, CAR LIGHT AND ALARM CIRCUIT AND GROUP CONTROLS, SERVICE MUST BE STANDBY POWER BACKED.
  - 6. BRANCH CIRCUIT CONDUCTOR SIZES, MATERIALS, AND INSULATION (INCLUDING BRANCH CIRCUIT OVERCURRENT PROTECTION) TO COMPLY WITH ALL LOCAL ELECTRICAL CODES:
    - XXX AMP'S STARTING CURRENT WITH A MAX. ALLOWABLE VOLTAGE DROP OF 10%.
    - XXX AMP'S FULL LOAD CURRENT WITH A MAX. ALLOWABLE VOLTAGE DROP OF 5%.
  - POWER REQUIREMENTS STATED IN NOTE 6 VERIFIED BY: XXXXXXXXXXXXXXX
  - NOTE: ALSO A FOURTH WIRE OF SAME SIZE AS THREE PHASE WIRES IS REQUIRED FOR GROUNDING PURPOSES TO MINIMIZE ELECTRICAL NOISE INTERFERENCE. THE GROUNDING WIRE MUST BE CONNECTED TO THE BUILDING ELECTRICAL SYSTEM GROUND. IF BATTERY OPERATED LOWERING IS PROVIDED, A MECHANICAL AUX. CONTACT SHALL BE INSTALLED ON THE DISC SW FOR EACH CAR. THE AUX. CONTACT SHALL BE CONFIGURED AS SPST AT 1A 110VAC (MIN). THE AUX. CONTACT SHALL BE OPEN WHEN THE DISC SW IS IN THE OPEN POSITION. IF A SHUNT TRIP CIRCUIT BREAKER IS PROVIDED, AN AUX. CONTACT SHALL BE INSTALLED ON THE CIRCUIT BREAKER.
  - GENERAL CONTRACTOR MUST FORWARD POWER REQUIREMENTS TO ELECTRICAL CONTRACTOR.
  - 7. AN ENCLOSED MACHINE AREA (ACCORDING TO CODE), WITH ADEQUATE LIGHT, HEAT, AND VENTILATION (MIN. 50% MAX. 70% WITH NON-CONDENSING HUMIDITY OF 100%), AND SEALED CONCRETE FLOOR SLAB SURFACE. NOTE: MUST PROVIDE ADEQUATE DOOR SIZE TO ALLOW INSTALLATION OF EQUIPMENT, OR LEAVE WALL OUT UNTIL EQUIPMENT IS IN PLACE.
  - 8. ENTRANCE WALL WITH LINTEL MUST BE PROVIDED AFTER ENTRANCE FRAMES ARE SET OR LEAVE A ROUGH OPENING 15" WIDER AND 15" HIGHER THAN THE FRAME. OPENING: SEE INSTALLATION PROCEDURES FOR FRAME TO WALL INTERFACE DETAILS TO ENSURE CONFORMANCE WITH THE LABELED ENTRANCE INTERFACE CONSTRUCTION.
  - 9. POCKETS IN CORRIDOR WALL (PER FIXTURE DRAWINGS) FOR HALL FIXTURES. NOTE: MUST BE LOCATED AS DIRECTED BY ELEVATOR CONTRACTOR.
  - 10. SMOKE SENSORS (AS REQUIRED).
  - 11. CONDUIT AND WIRING FROM HOISTWAY TO ELEVATOR MONITORING PANELS (FOR SECURITY LIFE SAFETY, OR FIRE REQUIREMENTS).
  - 12. PIPE SLEEVES, TRENCHING, AND BACK FILLING FOR ALL AND/OR CONDUIT LINES AS SHOWN OR LOCATED BY ELEVATOR CONTRACTOR.

**ELECTRICAL SHEET INDEX**

- 1. E-001 SYMBOL LEGEND, GENERAL NOTES
- 2. E-002 RISER DIAGRAM
- 3. E-003 PANEL SCHEDULES
- 4. E-004 PANEL SCHEDULES
- 5. ES-100 ELECTRICAL SITE PLAN
- 6. E-100 FIRST FLOOR LIGHTING & POWER PLANS
- 7. E-200 2ND, 3RD & 4TH FLOOR ELECTRICAL PLANS
- 8. E-300 2ND, 3RD & 4TH FLOOR FIRE ALARM PLANS
- 9. E-400 2ND, 3RD & 4TH FLOOR MEP PLANS
- 10. E-500 ELECTRICAL ROOF PLAN
- 11. EU-100 UNIT ELECTRICAL PLANS
- 12. EU-200 UNIT ELECTRICAL PLANS
- 13. EU-300 UNIT ELECTRICAL PLANS

No	Revision	Item	Date

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
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Albuquerque, NM 87107  
505.401.7575

**PHOENIX APARTMENT BUILDING**  
2818 4TH ST NW  
ALBUQUERQUE, NM 87107

DRAWING TITLE  
**LEVEL 1 LIGHTING & POWER PLAN**

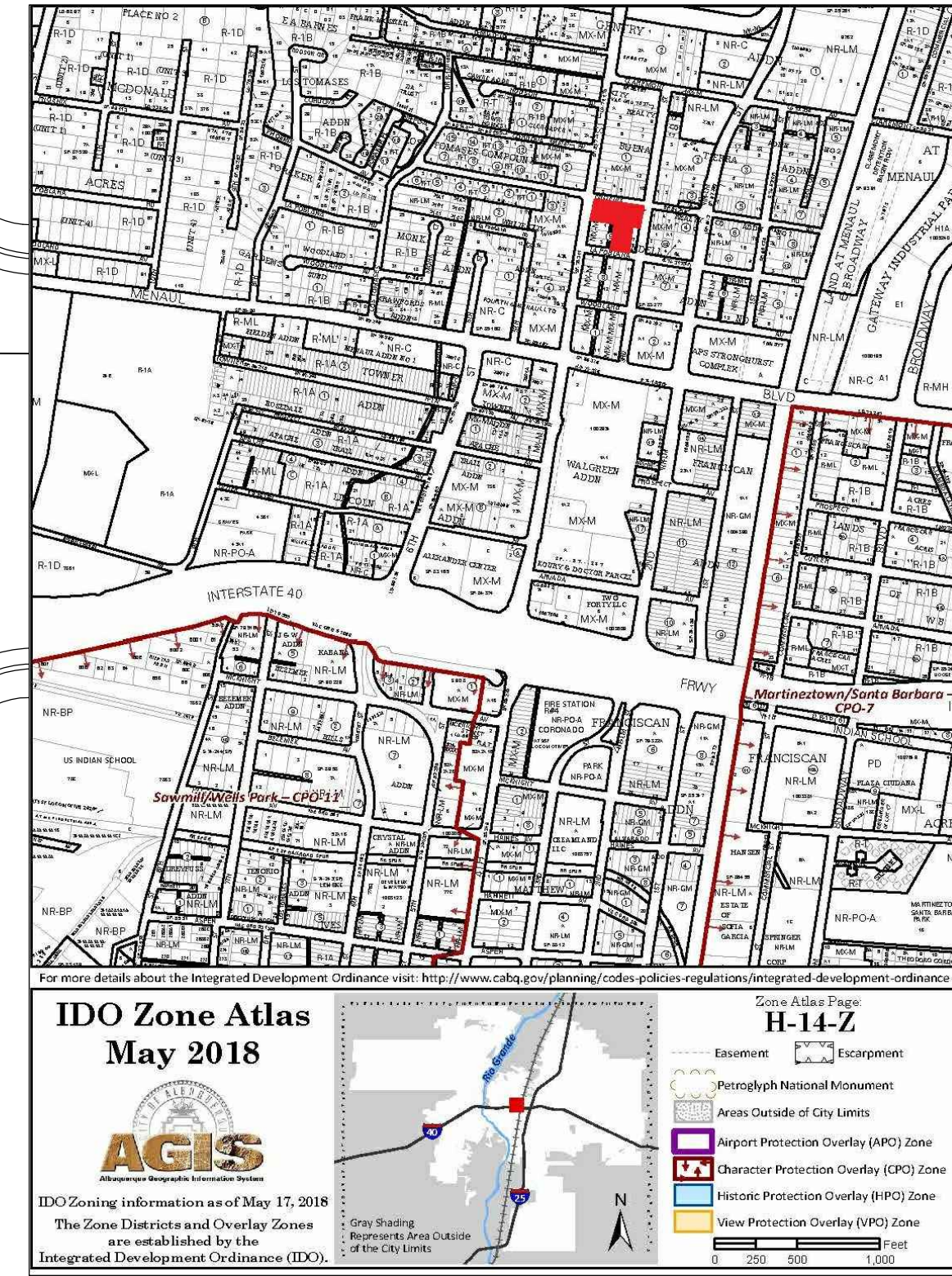
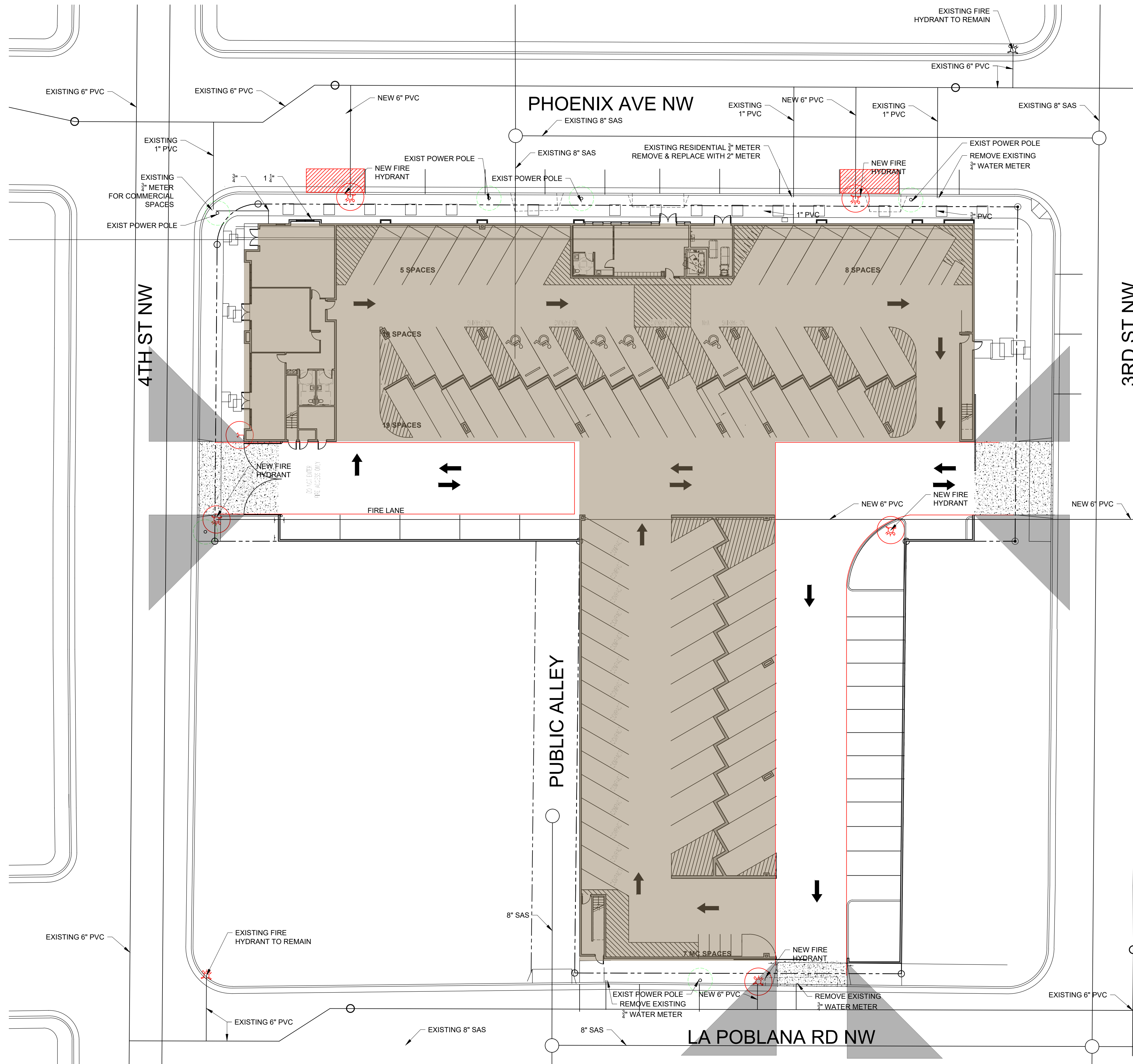
DESIGNED	JT	PROJECT NO
DRAWN	DP	SCALE
CHECKED		DRAWING NO
REVIEWED		<b>E-100</b>
DATE	06/29/20	

**CONTRACTORS AEC ENGINEERS**  
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Albuquerque, NM 87199  
505-856-3419

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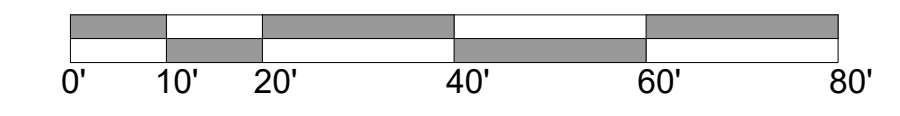
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ANY CONTRACTOR RELYING ON THESE DOCUMENTS SHALL DO SO ONLY IN CONCERT WITH CURRENT CODE COMMISSIONER, FIELD INSPECTION/VERIFICATION AND UTILITY COORDINATION IN ORDER TO PROVIDE A COMPREHENSIVE INSTALLATION.



UTILITY PLAN

SCALE: 1" = 20'-0"

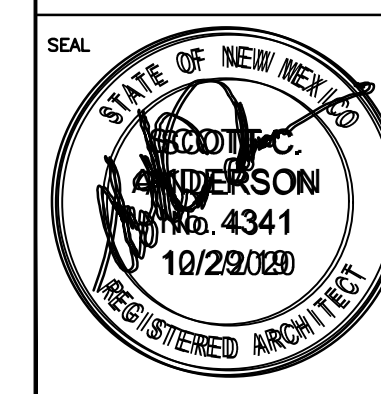


No	Revision	Item	Date

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
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 ALBUQUERQUE, NM 87107

DRAWING TITLE		PROJECT NO
UTILITY PLAN		
DESIGNED	DRAWN	SCALE
CHECKED	REVIEWED	DRAWING NO
DATE	12/2/2020	<b>U-101</b>



**DRAINAGE MANAGEMENT PLAN**

**Location**

LOTS 1-A, 6, 7, 8, 9, AND 10, BLOCK 2, CITY REALTY COMPANY'S ADDITION NO. 1; TOGETHER WITH LOTS 4, 5, AND 6, BLOCK 9, OF THE MANDELL ADDITION NO. 2. CONTAINING 1.2690 ACRE. See attached portion of Vicinity Map H-14-Z for exact location.

**Purpose**

The purpose of this drainage report is to present a grading and drainage solution for the proposed commercial buildings. We are requesting site plan for building permit approval as well as building permit approval.

**Existing Site/Drainage Conditions**

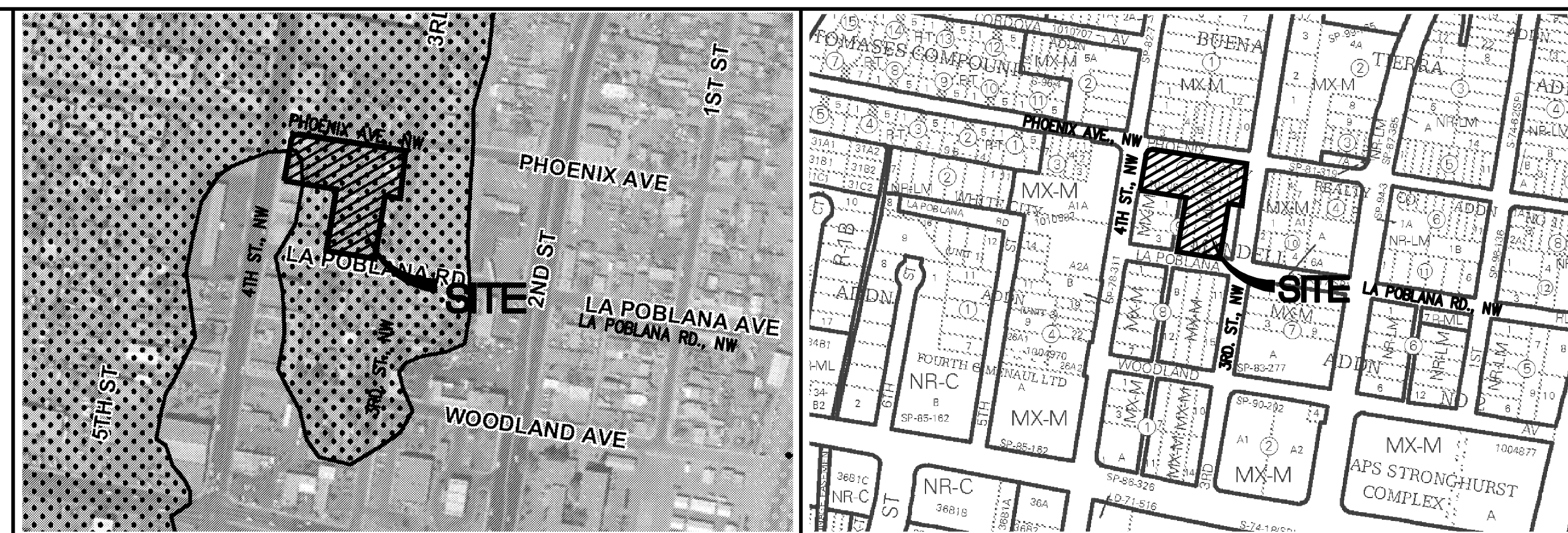
This site contained of existing buildings, concrete pads, asphalt and some gravel. All the existing structures and asphalt and concrete pads have been removed. The site is fairly flat. Most of the site was draining into adjacent streets. No offsite runoff impacts this site.

**Proposed Conditions and On-Site Drainage Management Plan**

This site is located within zone 2 and in the north valley. We are proposing a building with ground level and underground parking structure. This site will pond most of water and discharge at a control rate. According to grading plan file #G14-D086, the north valley rate of discharge is 2.75 CFS per acre. This site contains 1.2690 acre (55,277.64 sf). Therefore our rate of discharge will be at 3.49 CFS (1.2690 \* 2.75). The site was analyzed under Basins A and B. The runoff from Basin A is detained in the parking lot and drained at a controlled discharge rate of 0.47 cfs via a 4" pipe to the back of sidewalk culvert to La Poblana Rd. Basin B is discharge at a detained rate of 1.86 cfs and drain out via 2-8" pipe to a sidewalk culvert to 4th St. The total detainee discharge rate is 2.33 cfs which is well below the allowable discharge of 3.49 cfs and less than current discharge under the existing conditions.

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



FIRM MAP:

35001C0332G

VICINITY MAP:

H-14-Z

LOTS 1-A, 6, 7, 8, 9, AND 10, BLOCK 2, CITY REALTY COMPANY'S ADDITION NO. 1; TOGETHER WITH

LOTS 4, 5, AND 6, BLOCK 9, OF THE MANDELL ADDITION NO. 2.

CONTAINING: 55,277.54 SF (1.2690 ACRE )

**GENERAL NOTES:**

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION A-438, HAVING AN ELEVATION OF 4975.35 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.

**POND VOLUME REQUIRED FOR FIRST FLUSH**

**BASIN A**  
0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 33,961.48) = 962.24 CF  
THIS VOLUME IS PART OF THE PONDING PROVIDED.

**BASIN B**  
0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 18,561.82) = 525.92 CF  
THIS VOLUME IS PART OF THE PONDING PROVIDED.

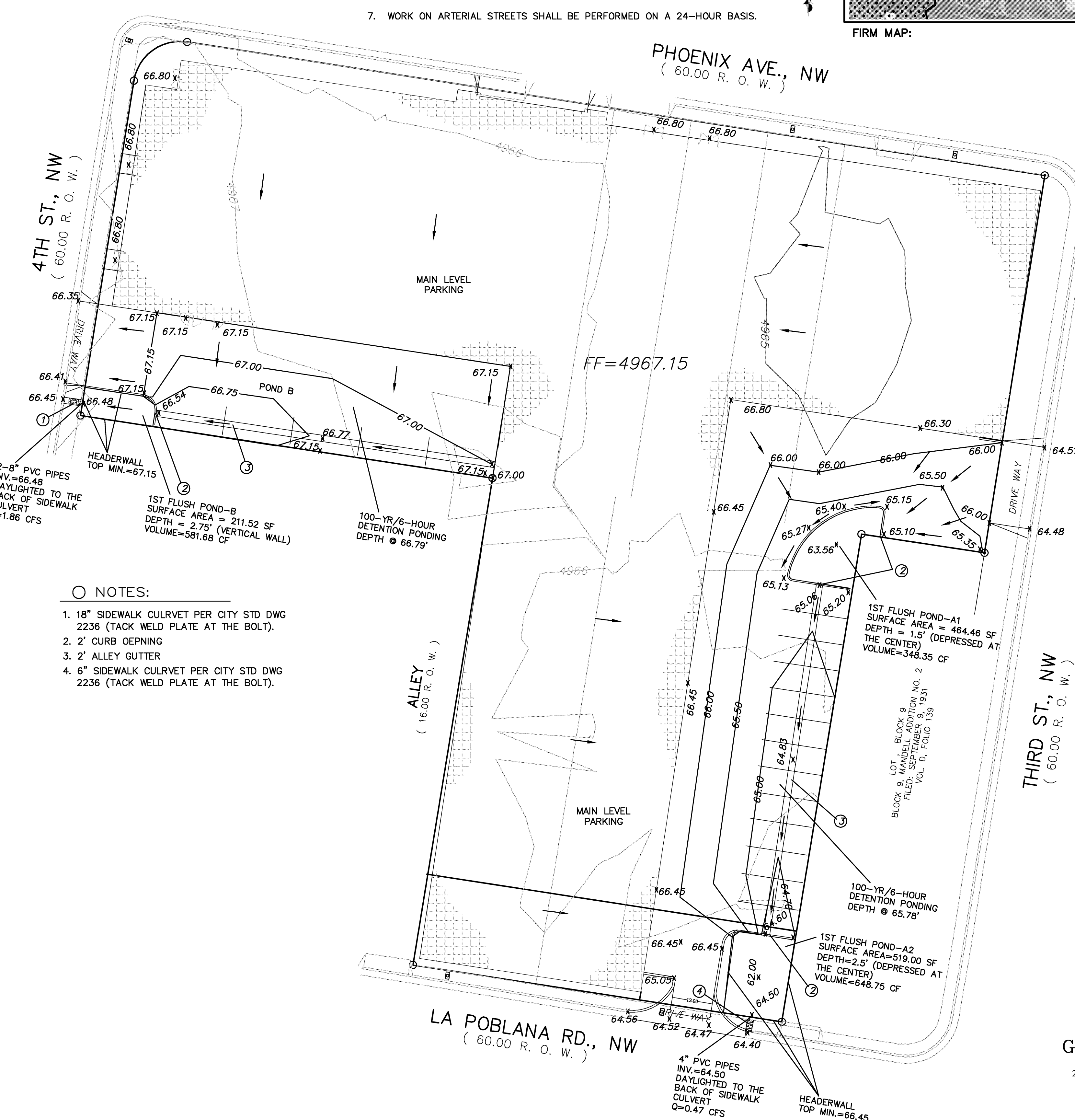
**FIRST FLUSH PONDING VOLUME PROVIDED**

POND A-1: AREA @ TOP = 464.46, BOTTOM = 0, DEPTH=1.50'  
POND VOLUME = (464.46+0)/2\*1.50' = 348.35 CF

POND A-2: AREA @ TOP = 519.00, BOTTOM = 0, DEPTH=2.50'  
POND VOLUME = (519.00+0)/2\*2.50' = 648.75 CF

POND A-1 + POND A-2 = 348.35 + 648.75 = 997.10 CF > 962.24 CF

POND B: AREA @ TOP = 211.52, BOTTOM = 211.52, DEPTH=2.75'  
POND VOLUME = (211.52+211.52)/2\*2.75' = 581.68 CF > 525.92 CF



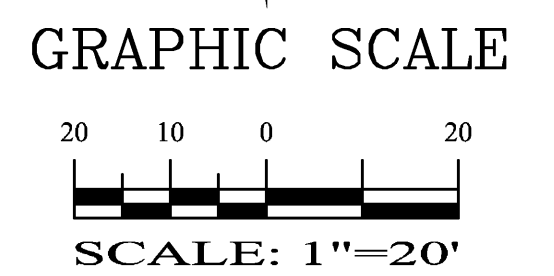
- NOTICE TO CONTRACTOR**  
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (S0-19")
1. Build sidewalk culvert per COA STD DWG 2236.
  2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
  3. An excavation permit will be required before beginning any work within City Right-Of-Way.
  4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
  5. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
  6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
  7. Backfill compaction shall be according to traffic/street use.
  8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
  9. Work on arterial streets may be required on a 24-hour basis.
  10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction at (505) 924-3416.

- NOTES:**
1. 18" SIDEWALK CULVERT PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT).
  2. 2' CURB OPENING
  3. 2' ALLEY GUTTER
  4. 6" SIDEWALK CULVERT PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT).

APPROVALS	NAME	DATE
INSPECTOR		

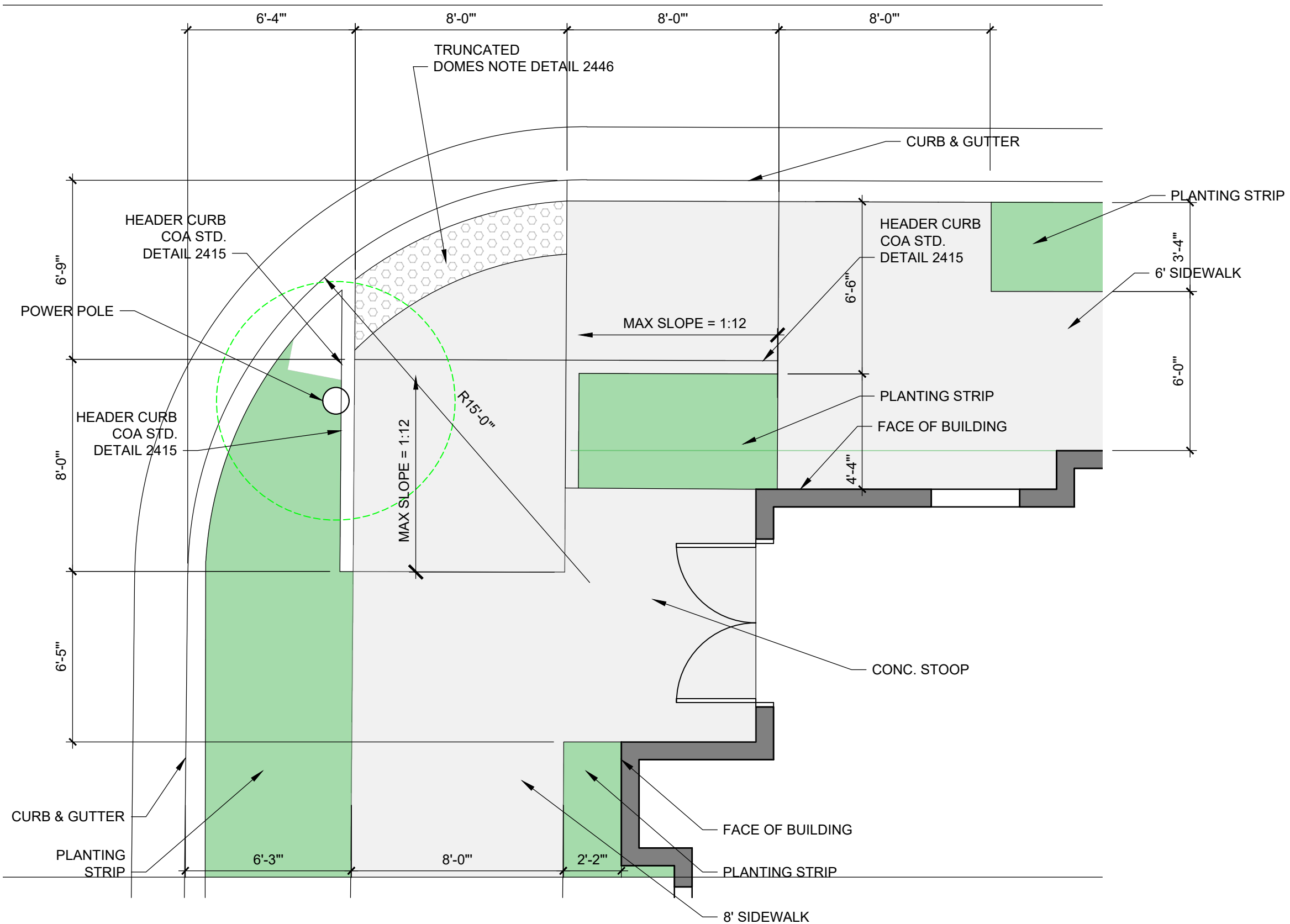
**LEGEND**

— 50.30 —	EXISTING CONTOUR (MAJOR)
— — —	EXISTING CONTOUR (MINOR)
— — —	BOUNDARY LINE
28.50	PROPOSED SPOT ELEVATION
5029.16	EXISTING GRADE
x 5028.65	EXISTING FLOWLINE ELEVATION
x FL	EXISTING FLOWLINE ELEVATION
— x —	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TC=28.50	TOP OF CURB
TA=28.00	TOP OF ASPHALT
HP	HIGH POINT
86.65	AS-BUILT GRADES
85.47	AS-BUILT GRADES
x 86.65	AS-BUILT SPOT ELEVATIONS



<b>2818 4TH STREET, NW GRADING AND DRAINAGE PLAN</b>			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201836.DWG	SH-B	02-20-2020	C 101

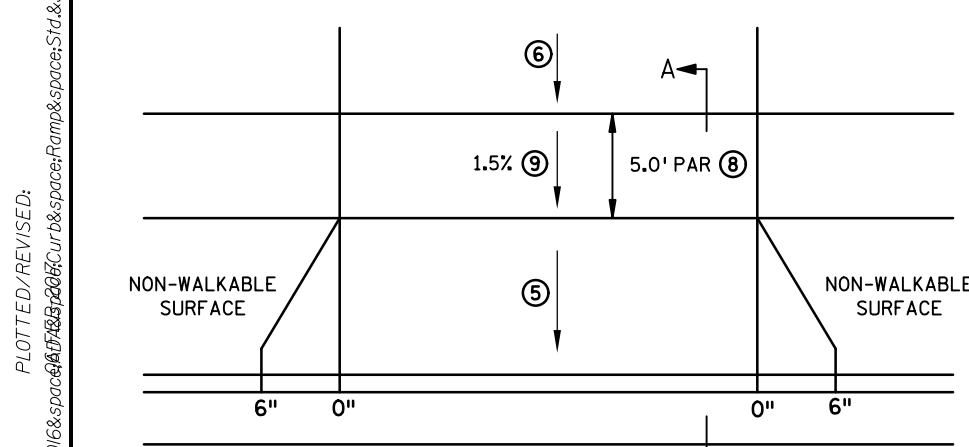
LAST REVISION: 06-28-2021



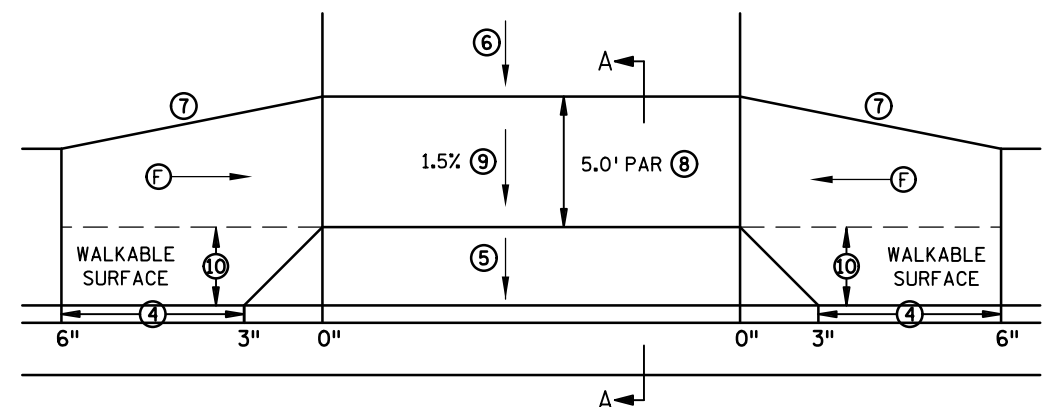
# RAMP DETAIL

SCALE: 1/4" = 1'-0"

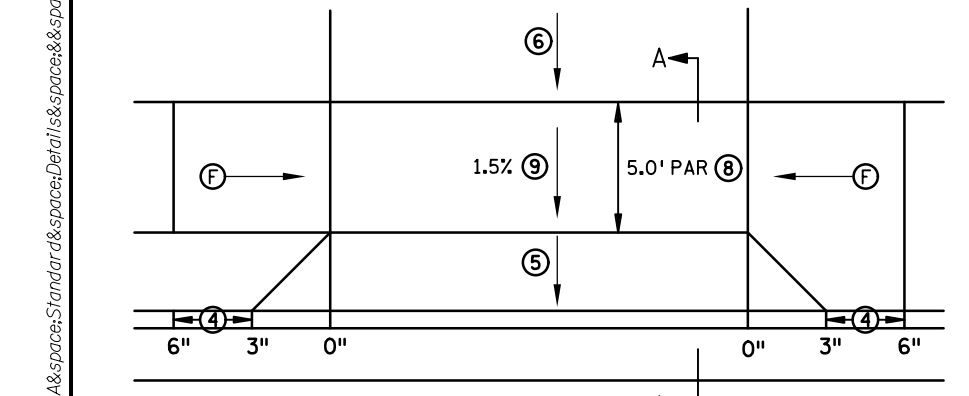




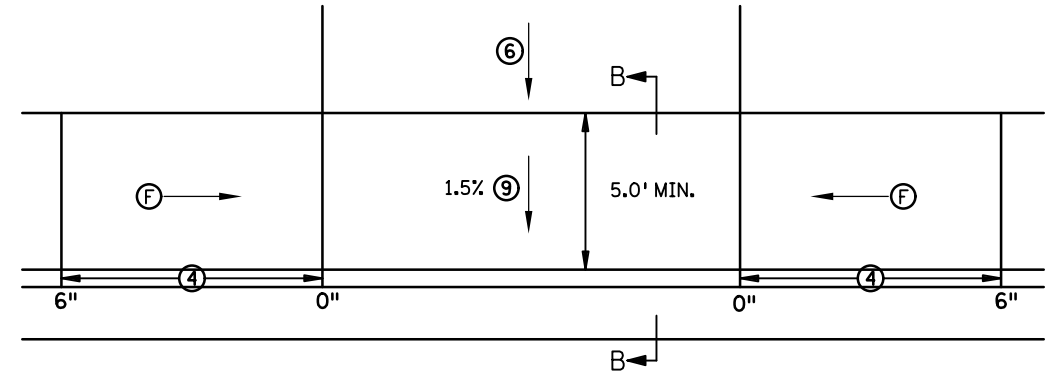
**PERPENDICULAR DRIVEWAY ①**



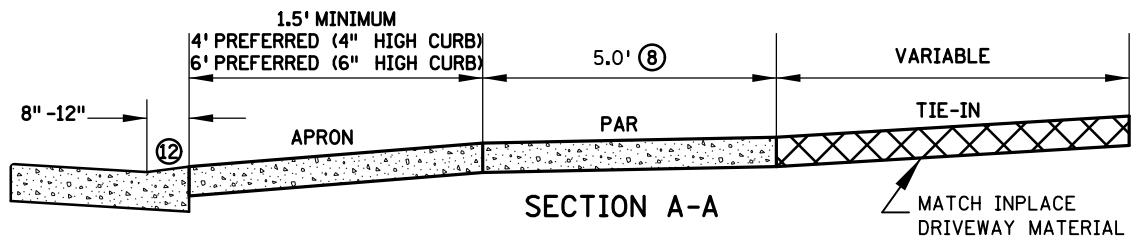
**TIERED PERPENDICULAR OFFSET DRIVEWAY**



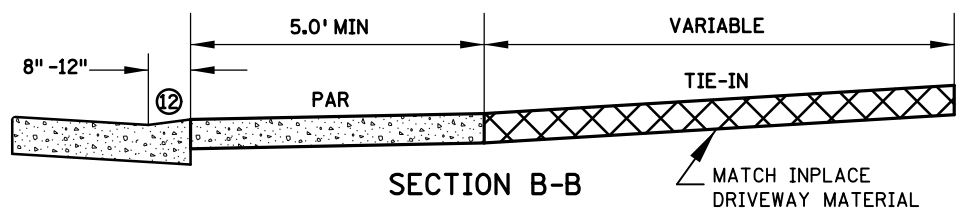
**TIERED PERPENDICULAR DRIVEWAY ②**



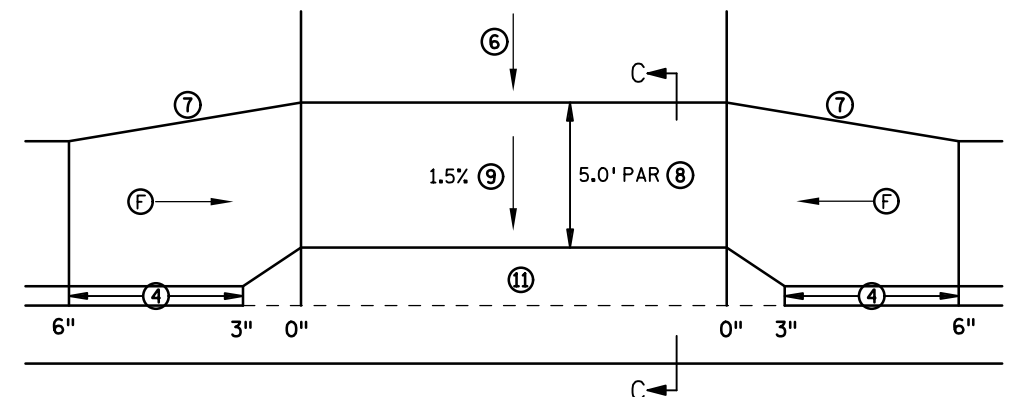
**PARALLEL DRIVEWAY ③**



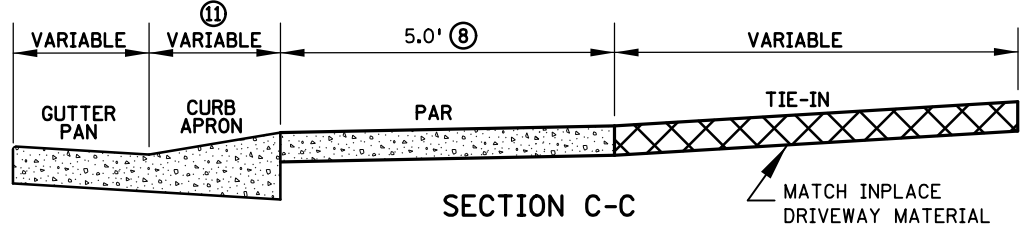
**SECTION A-A**



**SECTION B-B**



**VALLEY GUTTER DRIVEWAY**



**SECTION C-C**

**NOTES:**

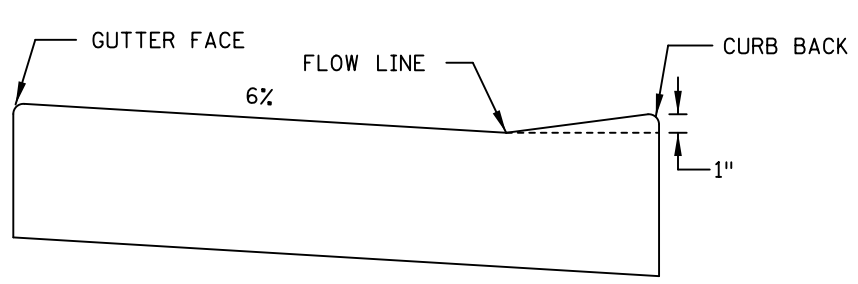
- IN NO CASE SHALL SIDEWALK PROFILES EXCEED 5.0%, EXCEPT SIDEWALK PROFILES CAN MATCH ROADWAY GRADE IF ROADWAY GRADE IS GREATER THAN 5.0%. RAMPS FOR DRIVEWAYS ARE REQUIRED TO FOLLOW THE ABOVE SIDEWALK CRITERIA.
- CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS WITHIN THE PEDESTRIAN ACCESS ROUTE (PAR). 1/4" DEEP VISUAL JOINTS SHALL BE USED AT THE TOPS OF CONCRETE FLARES ADJACENT TO WALKABLE SURFACES.
- DRIVEWAY TYPES FROM MOST PREFERRED TO LEAST PREFERRED ARE AS FOLLOWS: PERPENDICULAR, TIERED PERPENDICULAR, TIERED PERPENDICULAR OFFSET & PARALLEL.
- ① TO BE USED WHEN THE DRIVEWAY PAR IS LEVEL WITH OR ABOVE THE TOP OF CURB, RESULTING IN A CONTINUOUS PAR PROFILE.
- ② TO BE USED WHEN THE DRIVEWAY PAR IS BELOW THE ROADWAY CURB HEIGHT. THIS DRIVEWAY TYPE CAN BE USED FOR BOTH PAVED (AS SHOWN) AND GRASS BOULEVARDS.
- ③ SHOULD BE USED FOR NEGATIVE SLOPED DRIVEWAYS. DW CURB TYPE 2 CURB SHOULD BE USED TO RAISE PAR ABOVE GUTTER AND REDUCE "ROLLER COASTER" EFFECT. 4" HIGH ROADWAY CURB SHOULD BE USED TO REDUCE "ROLLER COASTER" EFFECT ESPECIALLY WHEN MULTIPLE DRIVEWAYS ARE PRESENT.
- ④ TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.
- ⑤ 8% MAX. PREFERRED, 10% MAX. FOR COMMERCIAL AND 12% MAX. FOR RESIDENTIAL. SEE GENERAL NOTES ON SHEET 2 FOR MORE INFORMATION.
- ⑥ 8% MAX. PREFERRED, SEE SHEET 2 FOR MORE INFORMATION.
- ⑦ 1:3 MIN. 1:5 PREFERRED FOR DRIVEWAY RETROFIT PROJECTS. 1:10 PREFERRED FOR SIDEWALK REPLACEMENT PROJECTS.
- ⑧ 5.0' MIN. PAR WIDTH IS THE STANDARD THROUGH DRIVEWAYS. IF FEASIBLE WIDEN DRIVEWAY PAR WIDTH TO MATCH APPROACHING SIDEWALK PAR WIDTHS. IN VERTICALLY CONSTRAINED AREAS PAR WIDTHS CAN INCREMENTALLY BE REDUCED TO 4.5' OR 4' MIN AFTER ALL OTHER OPTIONS HAVE BEEN APPLIED.
- ⑨ THE PEDESTRIAN ACCESS ROUTE, MAY NOT EXCEED 0.02 FT./FT. AS CONSTRUCTED.
- ⑩ SIDEWALK OFFSET TO BE LESS THAN OR EQUAL TO HALF THE APPROACHING SIDEWALK WIDTH.
- ⑪ VALLEY GUTTER APRON TO BE POURED INTEGRAL WITH THE CURB AND GUTTER. SEE SHEET 2 FOR MORE INFORMATION.
- ⑫ SEE SHEET 2 FOR CURB TYPE INFORMATION.

LEGEND	
(F) ↓	INDICATES DRIVEWAY RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
X"	CURB HEIGHT (INCHES)

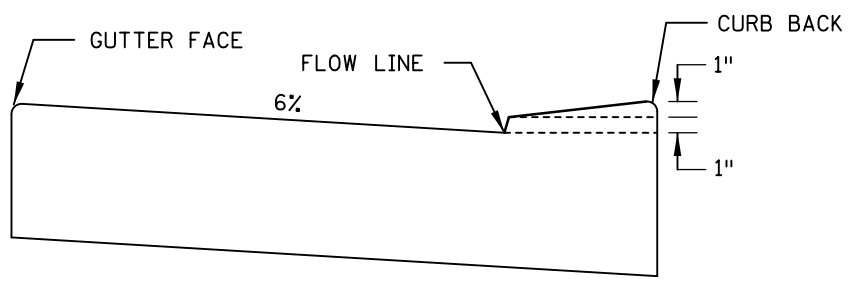
**DRIVEWAY AND SIDEWALK DETAILS**

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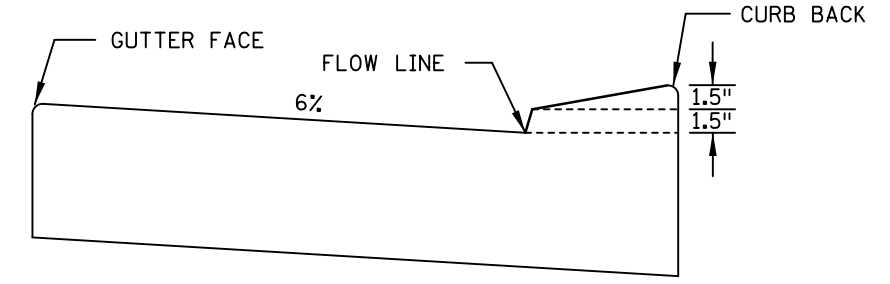
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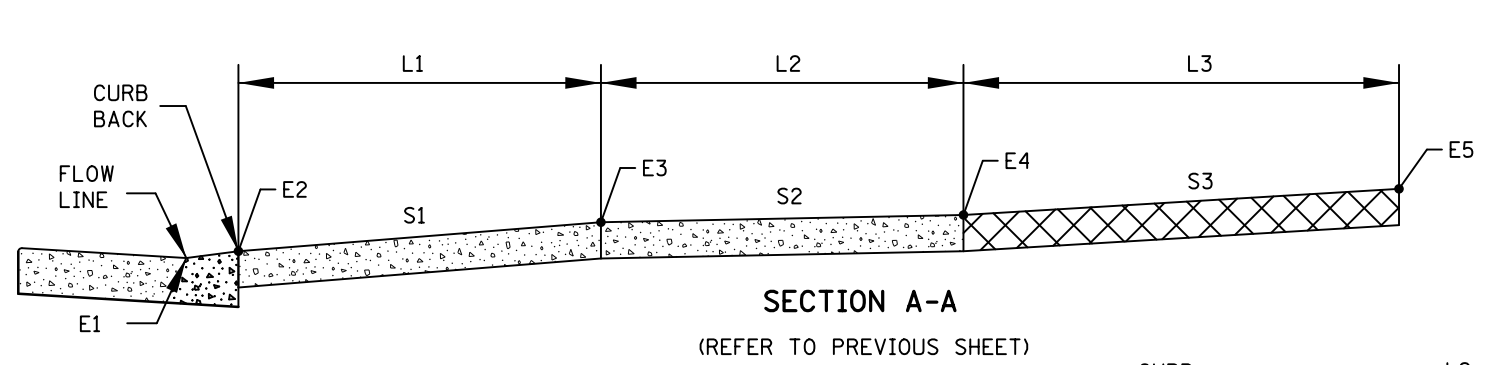
**DW CURB STANDARD**  
STANDARD CURB AT DRIVEWAY



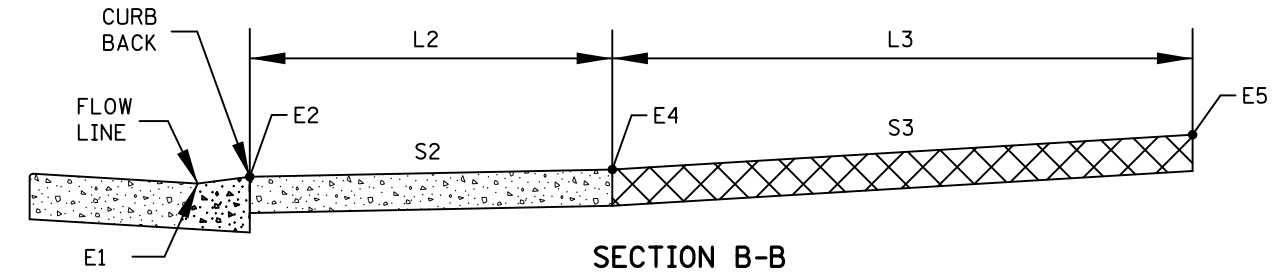
**DW CURB TYPE 2**  
VERTICALLY CONSTRAINED



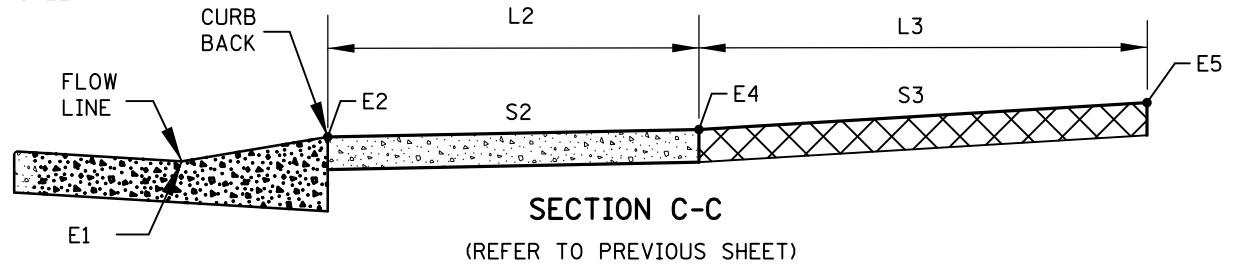
**DW CURB TYPE 3**  
VERTICALLY CONSTRAINED



**SECTION A-A**  
(REFER TO PREVIOUS SHEET)

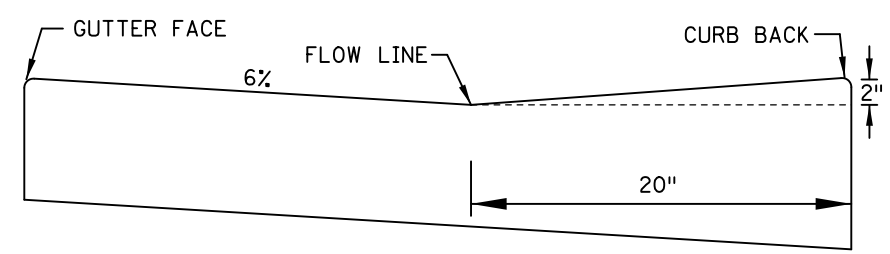


**SECTION B-B**  
(REFER TO PREVIOUS SHEET)

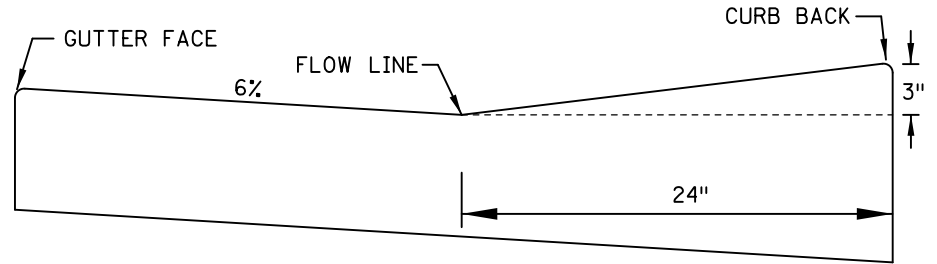


**SECTION C-C**  
(REFER TO PREVIOUS SHEET)

DRIVEWAY TABULATION ①																
STATION	SIDE	DRIVEWAY TYPE	CURB TYPE ③	E1	E2	L1	S1	E3	L2	S2 ②	E4	L3	S3	EXISTING	E5	COMMENTS
						FT	%		FT	%		FT	%	%		



**VG 220**



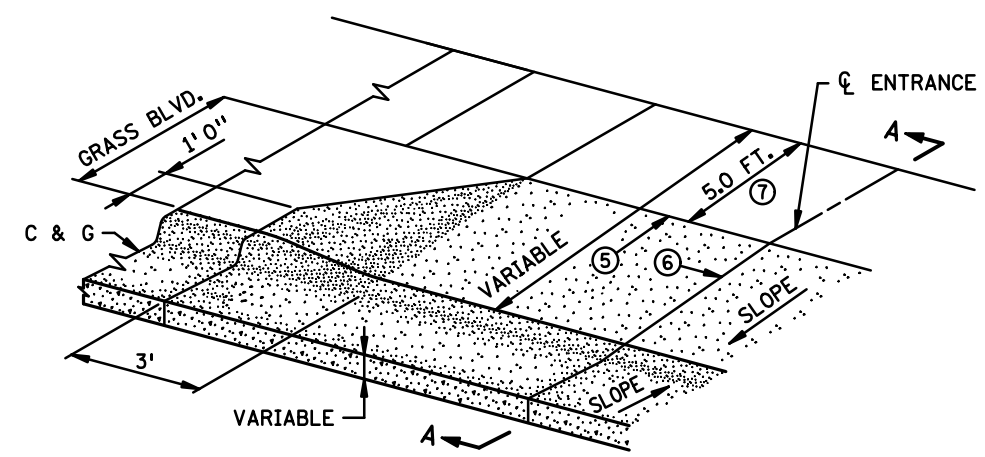
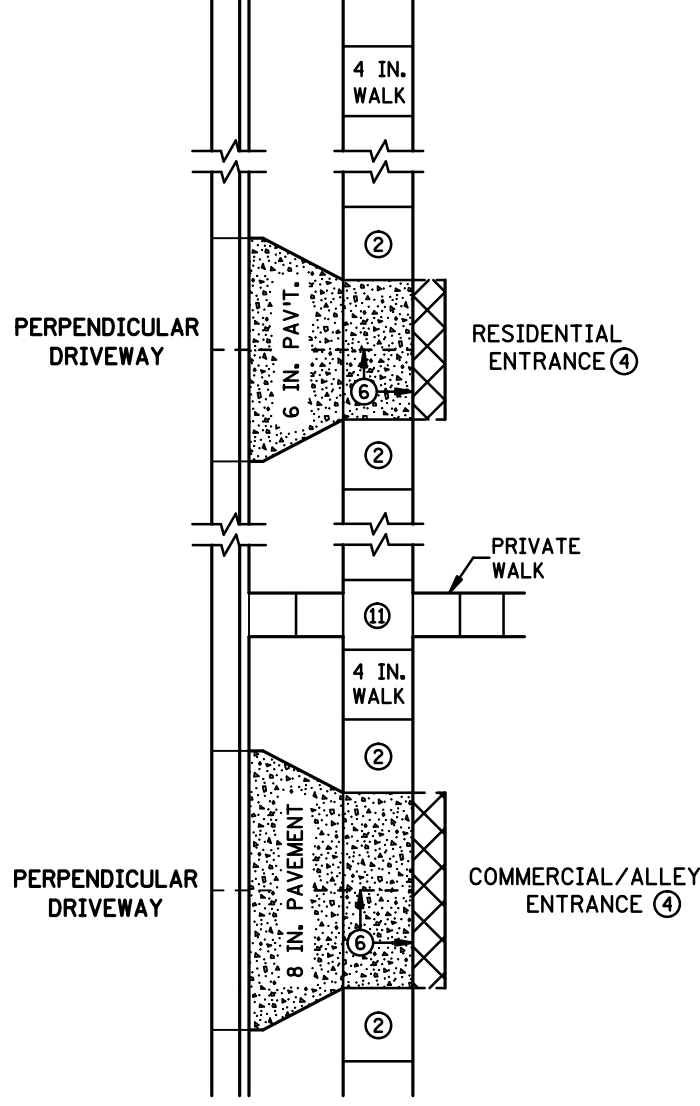
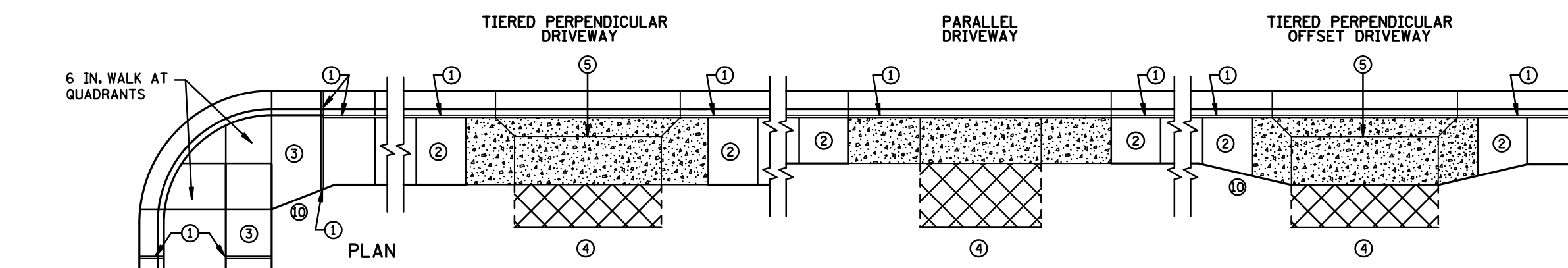
**VG 324**

**VALLEY GUTTER CURB**  
OTHER CURB HEIGHTS & CURB APRON LENGTHS CAN BE USED

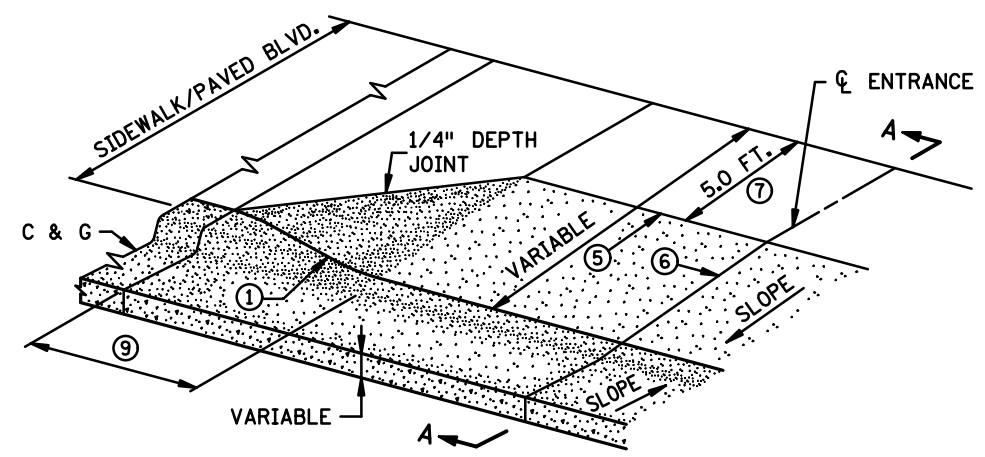
**NOTES:**

- DW CURB STANDARD SHALL BE USED WHEN THE DRIVEWAY ACTS AS A PEDESTRIAN RAMP. THE MAX. APRON SLOPE MUST ADHERE TO ADA CRITERIA AS WELL. DW CURB STANDARD SHOULD BE USED IF THERE IS ON STREET PARKING.
- WHERE ROADWAY DRAINAGE IS A CONCERN (NEGATIVE SLOPED APRON) DW CURB TYPE 2 CAN BE USED TO HELP KEEP THE WATER ON PUBLIC RIGHT OF WAY.
- S1 8% MAX PREFERRED, 10% MAX. COMMERCIAL AND 12% MAX. RESIDENTIAL. IF EXISTING GRADES ARE STEEPER DO NOT MAKE GRADES APPRECIABLY WORSE BY USING BEST PRACTICES SUCH AS DRIVEWAY CURB HEIGHTS, EXTENDING L3 AND/ OR STEEPEN S3.
- DW CURB TYPE 3 SHALL ONLY BE USED IN EXTREME TIE-IN CASES.
- S3 8% MAX PREFERRED, IF THIS SLOPE IS EXCEEDED OR IS CONTINUED FOR MORE THAN 5' ANALYZE THE NEED FOR VERTICAL CURVE(S). SEE ROAD DESIGN MANUAL, CHAPTER 5, FOR GEOMETRIC DESIGNS OF DRIVEWAYS.
- ① EXAMPLE SHOWN TO BE INCLUDED IN PLAN FOR EACH DRIVEWAY.
- ② SHOULD BE DESIGNED AT 1.5%.
- ③ DW CURB STANDARD SHALL BE THE STARTING POINT FOR ALL PERPENDICULAR AND TIERED DRIVEWAYS. DW CURB TYPES 2 AND 3 SHALL ONLY BE USED AFTER UTILIZING BEST PRACTICES SUCH AS MAXIMIZING S1, S3, AND L3.

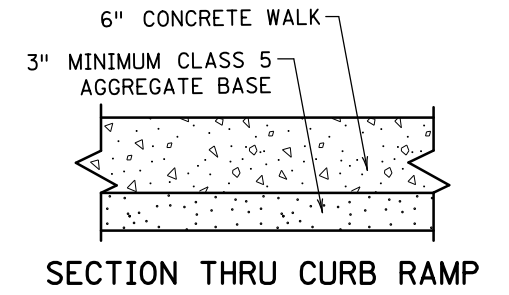
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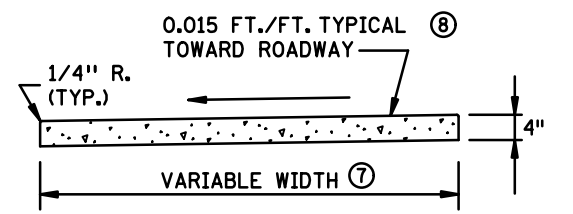
HALF PLAN PERSPECTIVE  
PERPENDICULAR DRIVEWAYS WITH GRASS BOULEVARDS



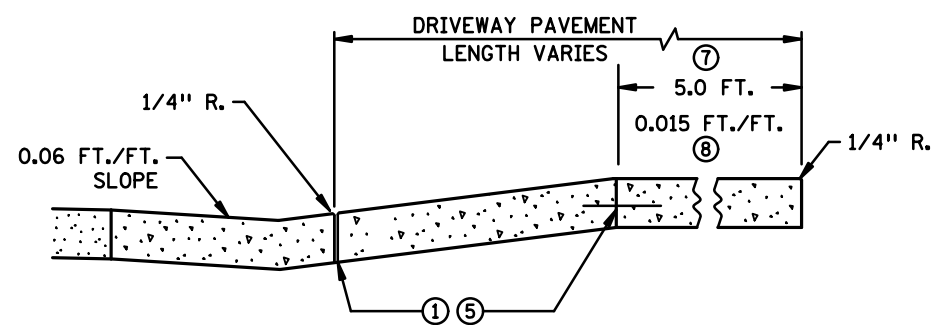
HALF PLAN PERSPECTIVE  
PERPENDICULAR DRIVEWAYS WITH CONCRETE BOULEVARDS AND ALL TIERED DRIVEWAYS



SECTION THRU CURB RAMP



SECTION THRU WALK



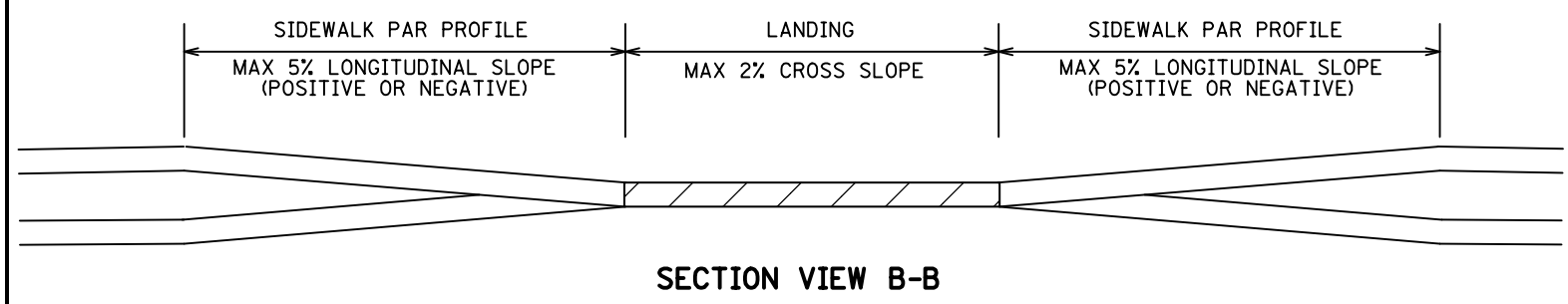
SECTION A-A  
SECTION THRU DRIVEWAY

**NOTES:**

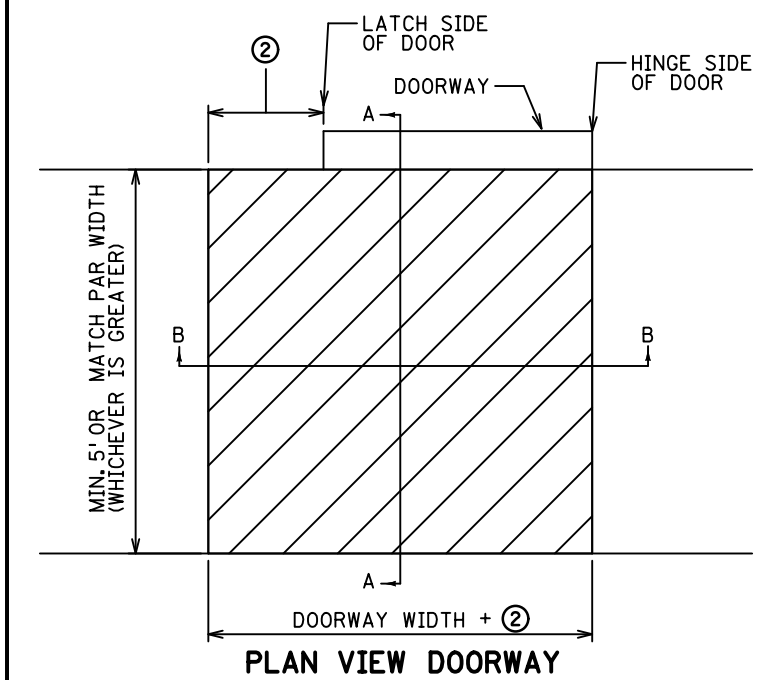
- TO MINIMIZE SIDEWALK "ROLLER COASTER" EFFECT IT IS DESIRABLE TO KEEP THE PAR ELEVATION CONTINUOUS OR AT LEAST IN THE UPPER HALF OF CURB HEIGHT. 4" HIGH CURB SHOULD BE USED INSTEAD OF 6" HIGH CURB TO HELP THIS PROBLEM WHEN APPLICABLE.
- 4" HIGH ADJACENT CURB IS PREFERRED WHEN BOULEVARDS 4' OR LESS ARE PRESENT MEASURED FROM THE BACK OF CURB. WHEN THE DRIVEWAY IS SLOPING DOWN FROM THE ROADWAY (NEGATIVE) 4" HIGH ADJACENT CURB SHOULD ALSO BE USED.
- SEE ROAD DESIGN MANUAL, CHAPTER 5, FOR GEOMETRIC DESIGN OF DRIVEWAYS.
- ① 1/2 IN. PREFORMED JOINT FILLER MATERIAL PER MNDOT SPEC. 3702, EXCEPT AT GRASS BOULEVARDS.
- ② TRANSITION DRIVEWAY THICKNESS TO WALK THICKNESS.
- ③ TRANSITION CURB RAMP THICKNESS TO WALK THICKNESS.
- ④ MATCH INPLACE DRIVEWAY WIDTH, MATERIAL TYPE AND THICKNESS.
- ⑤ TIE ONLY IF ADJACENT SECTIONS ARE NOT POURED MONOLITHICALLY. SEE SECTION A-A.
- ⑥ FORM CONTRACTION JOINT AS NEEDED TO PRODUCE APPROXIMATELY SQUARE PANELS (MAXIMUM WIDTH 15 FT. BETWEEN JOINTS).
- ⑦ 5.0' MIN. PAR WIDTH IS THE STANDARD THROUGH DRIVEWAYS. IF FEASIBLE WIDEN DRIVEWAY PAR WIDTH TO MATCH APPROACHING SIDEWALK PAR WIDTHS. IN VERTICALLY CONSTRAINED AREAS PAR WIDTHS CAN INCREMENTALLY BE REDUCED TO 4.5' OR 4' MIN AFTER ALL OTHER OPTIONS HAVE BEEN APPLIED.
- ⑧ THE PEDESTRIAN ACCESS ROUTE CROSS-SLOPE, SHALL NOT EXCEED 0.02 FT./FT. AS CONSTRUCTED.
- ⑨ 8% TO 10% FLARES SHALL BE USED WHEN ADJACENT TO WALKABLE SURFACES AND FOR ALL TIERED DRIVEWAYS WITH GRASS BOULEVARDS.
- ⑩ 1:10 MIN. SIDEWALK OFFSET TAPER REQUIRED FOR SIDEWALK REPLACEMENT PROJECTS. 1:3 MIN. AND 1:5 MIN. PREFERRED SIDEWALK OFFSET TAPER FOR DRIVEWAY REPLACEMENT.
- ⑪ LANDING REQUIRED, SEE NEXT SHEET FOR MORE INFORMATION.

**DRIVEWAY AND SIDEWALK DETAILS**

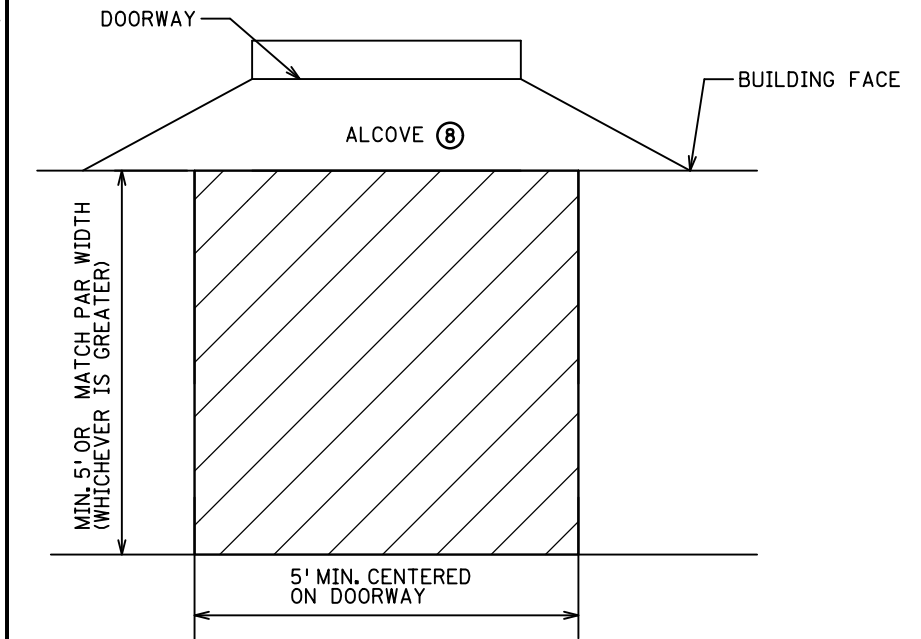
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**SECTION VIEW B-B**

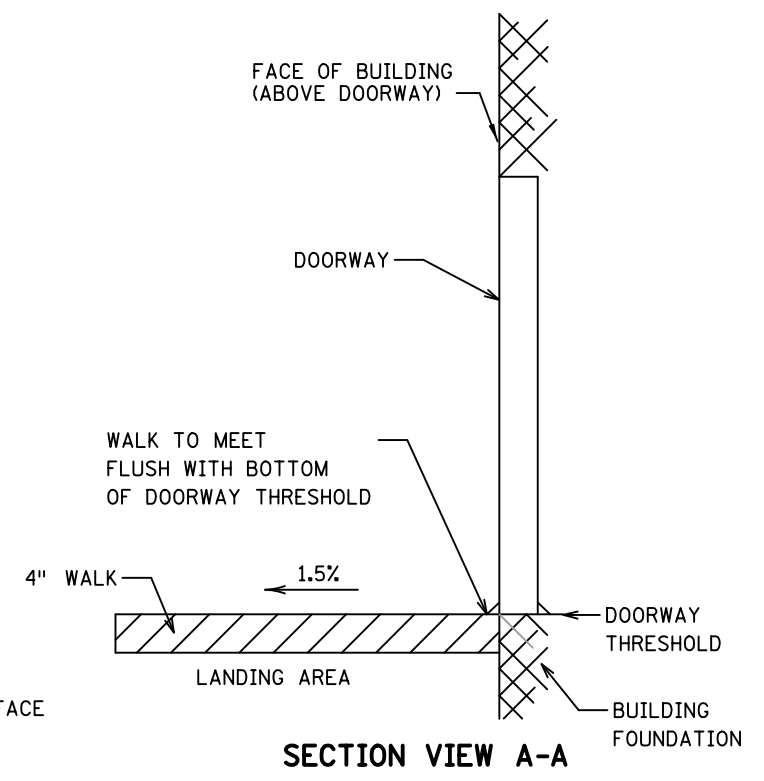


**PLAN VIEW DOORWAY**

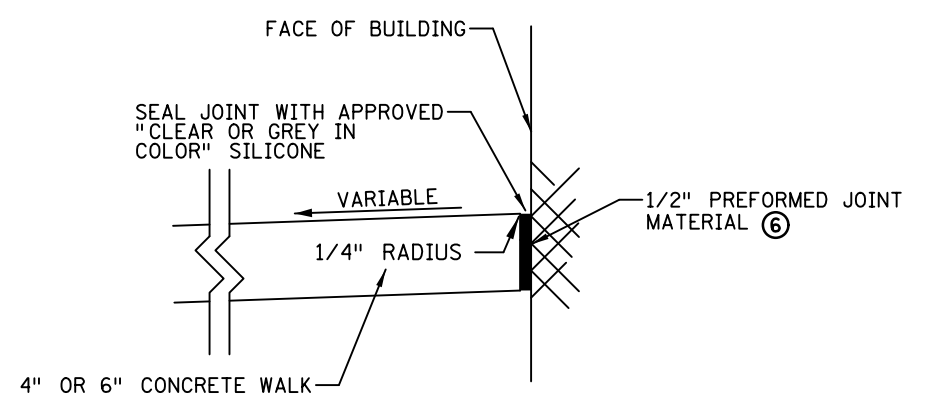


**PLAN VIEW DOORWAY WITH ALCOVE**

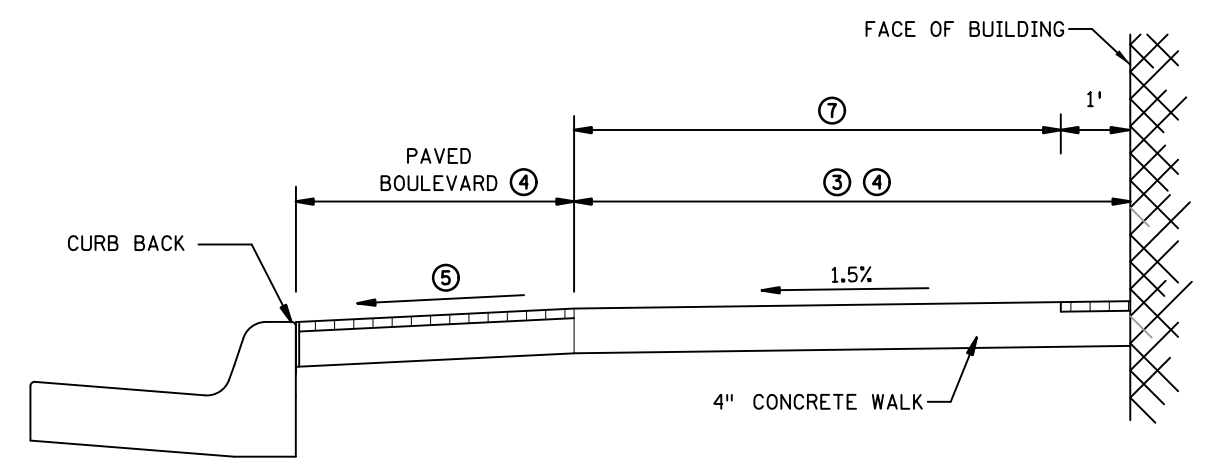
**SIDEWALK LANDING REQUIREMENTS ①**



**SECTION VIEW A-A**



**BUILDING JOINT SEAL (INCIDENTAL)**



**DOWNTOWN SIDEWALK TYPICAL SECTION**

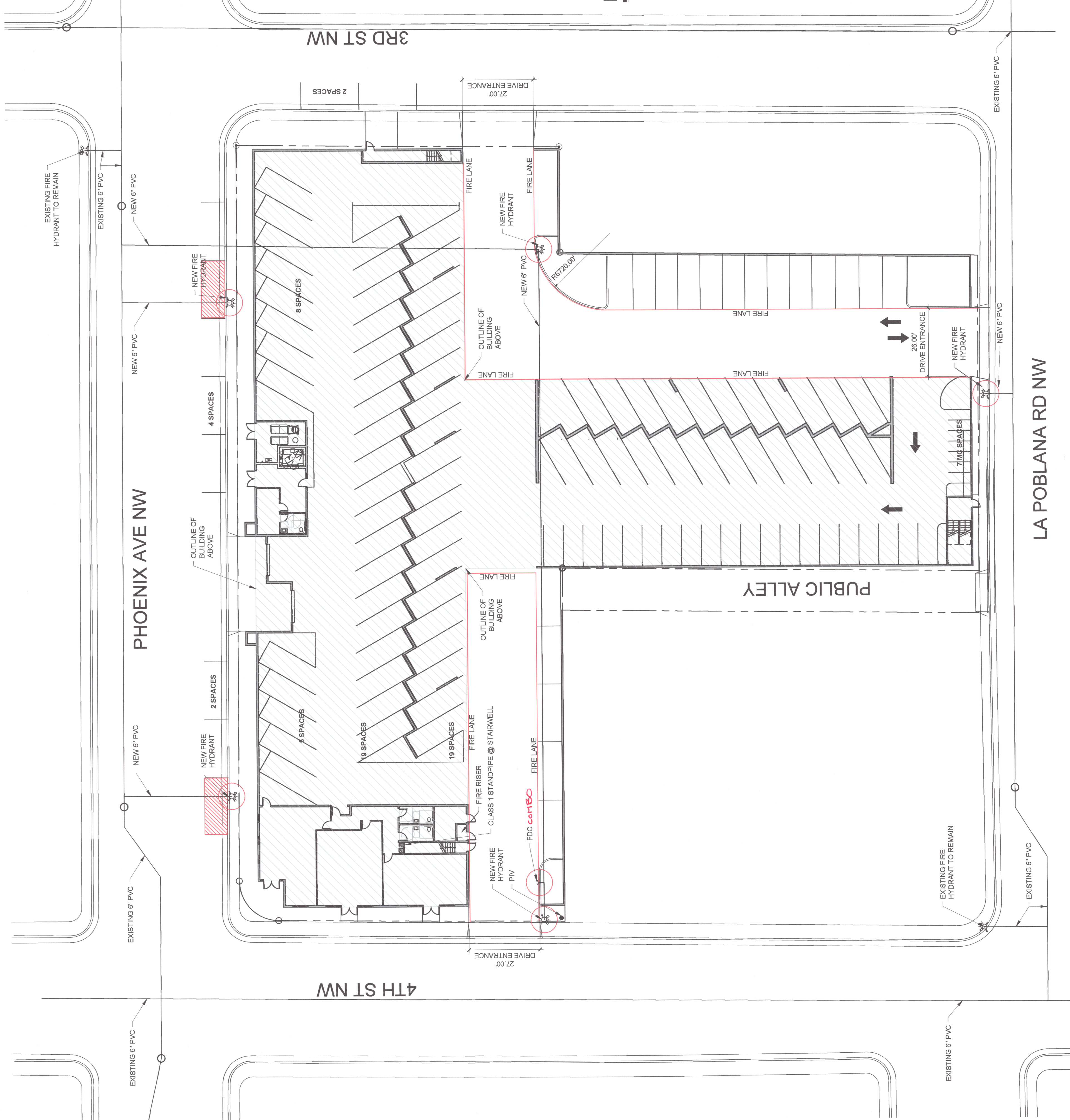
**NOTES:**

- FIELD ADJUST SIDEWALK PROFILES TO MEET ALL DOORWAY THRESHOLDS.
- SIDEWALK MUST MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING TO THE ROADWAY. SEE SPECIAL PROVISIONS FOR SILICONE SPECIFICATIONS.
- ① LANDING CRITERIA IS REQUIRED FOR ALL DOORS, PRIVATE WALKS AND STEPS.
- ② 18" MIN. WHEN DOOR SWINGS OUTWARD FROM BUILDING. 12" MIN WHEN DOOR SWINGS INWARD FROM BUILDING.
- ③ 6' MIN. PAR REQUIRED WHEN ADJACENT TO BUILDINGS.
- ④ 2/3 PAR TO 1/3 BOULEVARD SHOULD BE USED WHEN FEASIBLE.
- ⑤ 1%-5% FOR THE MAJORITY OF THE BLOCK, WITH EXCEPTIONS UP TO 8% IN CONSTRAINED AREAS. 10% MAX. FOR SHORT SECTIONS ALLOWED TO ACCOUNT FOR FIELD TOLERANCES.
- ⑥ FURNISH AND INSTALL BACKER ROD OF APPROPRIATE DIAMETER.
- ⑦ TO MINIMIZE VIBRATION AND ROLLING RESISTANCE, AREA SHOULD BE FREE OF PAVERS, STAMPED CONCRETE, AND/OR EXCESSIVE JOINTING.
- ⑧ 2% MAX. PER BUILDING CODE. IF GREATER THAN 2%, FLATTEN AS FEASIBLE.

LEGEND	
	LANDING - ALL SLOPES TO BE LESS THAN 2%
	OPTIONAL AESTHETIC TREATMENT

FIRE DEPT. - HYDRANT & ACCESS PERMIT REVIEW CHECKLIST

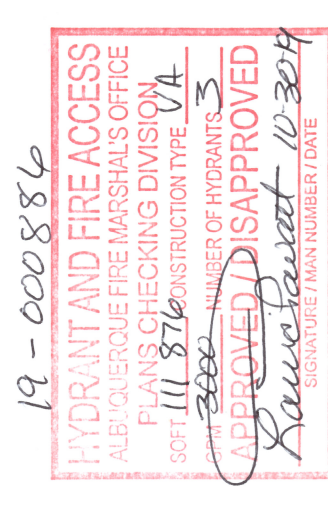
1. HARD COPY PROVIDED
2. FLOW REQUIREMENTS CONSTRUCTION TYPE V-A: 111,876 - 6,000 GPM, 4 HR (CALCS BELOW)
3. PER TABLE C105.1 - FIRE FLOW 6,000 = 6 HYDRANT @ 250 FT
4. 2 EXISTING FIRE HYDRANTS
5. EXISTING HYDRANTS & PROPOSED HYDRANTS IDENTIFIED
6. WATER SUPPLY LINES IDENTIFIED ON THE PLAN
7. PUBLIC WATER MAIN IDENTIFIED ON THE PLAN
8. NO PARKING 15 FT FROM THE HYDRANT
9. ACCESS PROVIDED TO 150 FT
10. BUILDING HT 50 FT, 3 MEANS OF APPARATUS ACCESS
11. TOTAL BUILDING AREA GREATER THAN 62,000 SF, 3 MEANS OF APPARATUS ACCESS
12. THIS IS A RESIDENTIAL PROJECT WITH LESS THAN 100 UNITS
13. THIS IS NOT A ONE OR TWO FAMILY RESIDENTIAL PROJECT
14. 3 MEANS OF ACCESS PROVIDED, GREATER THAN 1/2 THE MAX DISTANCE
15. BUILDING GREATER THAN 30 FT IN HT, 26 FT ROAD WIDTH PROVIDED
16. ACCESS ROAD 26 FT WIDE
17. ACCESS ROAD 26 FT WIDE
18. ACCESS ROAD MARKED 2 SIDES
19. TURNING RADIUS = 28 FT
20. DEAD END IS LESS THAN 150 FT
21. ACCESS ROAD IS ASPHALT CAPABLE OF SUPPORTING 75,000 LBS
22. REFERENCE DETAIL SHEET AND CIVIL SHEET FOR ASPHALT PAVING DATA
23. ACCESS ROAD GRADE LESS THAN 10%
24. ALL GATES SHALL HAVE KNOX BOX
25. REFER TO G SHEETS FOR FIRE RATINGS
26. SPRINKLER SYSTEM PROVIDED, SHOP DRAWINGS SHALL BE SUBMITTED FOR FIRE MARSHAL'S REVIEW
27. FDC REQUIRED, LOCATED LESS THAN 100 FT FROM HYDRANT
28. FDC .3 FT CLEAR RADIUS PROVIDED
29. PIV REQUIRED, LOCATED ON THE PLAN
30. STANDPIPE REQUIRED
31. STANDPIPE LOCATED LESS THAN 100 FT FROM HYDRANT
32. REMISE ID SHALL BE 12" BRONZE LETTERS MOUNTED TO WEST FACADE (4TH ST NW)
33. SINGLE BUILDING WITH SINGLE ADDRESS
34. KNOX BOX PROVIDED AT MAIN ENTRANCE TO THE BUILDING



**FIRE CALCULATIONS**

BUILDING HEIGHT = 52'-6", 4 STORY  
 TYPE V-A (SPRINKLERED) CONSTRUCTION  
 HYDRANTS REQUIRED PER IFC TABLE C105.1 = 1 HYDRANT @ 250 FT MAX  
 CONCRETE PAVING SHALL SUPPORT 75,000 LBS.

FIRE FLOW CALCULATION IFC 2015 APPENDIX B TABLE B104.1:  
 IFC B104.1 CONSTRUCTION TYPE IUB 148,188 SF = FLOW @ 7,000 GPM FOR 4 HOURS  
 IFC B105.2 SPRINKLER SYSTEM PROVIDED; 148,188 SF X 0.75 = 111,876 - 6,000 GPM, 4 HR  
 IFC B105.2a MIN GPM = 1,500 FOR 2 HOURS



No.	Revision	Item	Date

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
 419 4th St NW, Suite 200  
 Phoenix, AZ 85004-1175

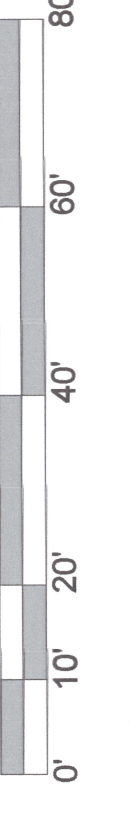
**PHOENIX APARTMENT BUILDING**  
 2818 4TH ST NW  
 ALBUQUERQUE, NM 87107

DRAWING TITLE: **FIRE 1 PLAN**

DESIGNED	PROJECT NO.
DRAWN	SCALE
CHECKED	DRAWING NO.
REVIEWED	DATE

DATE: 10/21/19

**F-101**



**FIRE 1 PLAN**

SCALE: 1" = 20'-0"





2318



2818









# PR-2020-003887\_SI-2020-00367\_Site\_Plan\_Approved\_3-31-21\_Sheet\_1

Final Audit Report

2021-07-26

Created:	2021-07-26
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAARQxiol1B758mu35zj8fc6BGpZLOIFisA

## "PR-2020-003887\_SI-2020-00367\_Site\_Plan\_Approved\_3-31-21\_Sheet\_1" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2021-07-26 - 8:06:47 PM GMT - IP address: 143.120.132.106
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2021-07-26 - 8:08:07 PM GMT
-  Email viewed by Maggie Gould (mgould@cabq.gov)  
2021-07-26 - 8:08:26 PM GMT - IP address: 143.120.132.84
-  Document e-signed by Maggie Gould (mgould@cabq.gov)  
Signature Date: 2021-07-26 - 8:09:08 PM GMT - Time Source: server - IP address: 143.120.132.84
-  Agreement completed.  
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