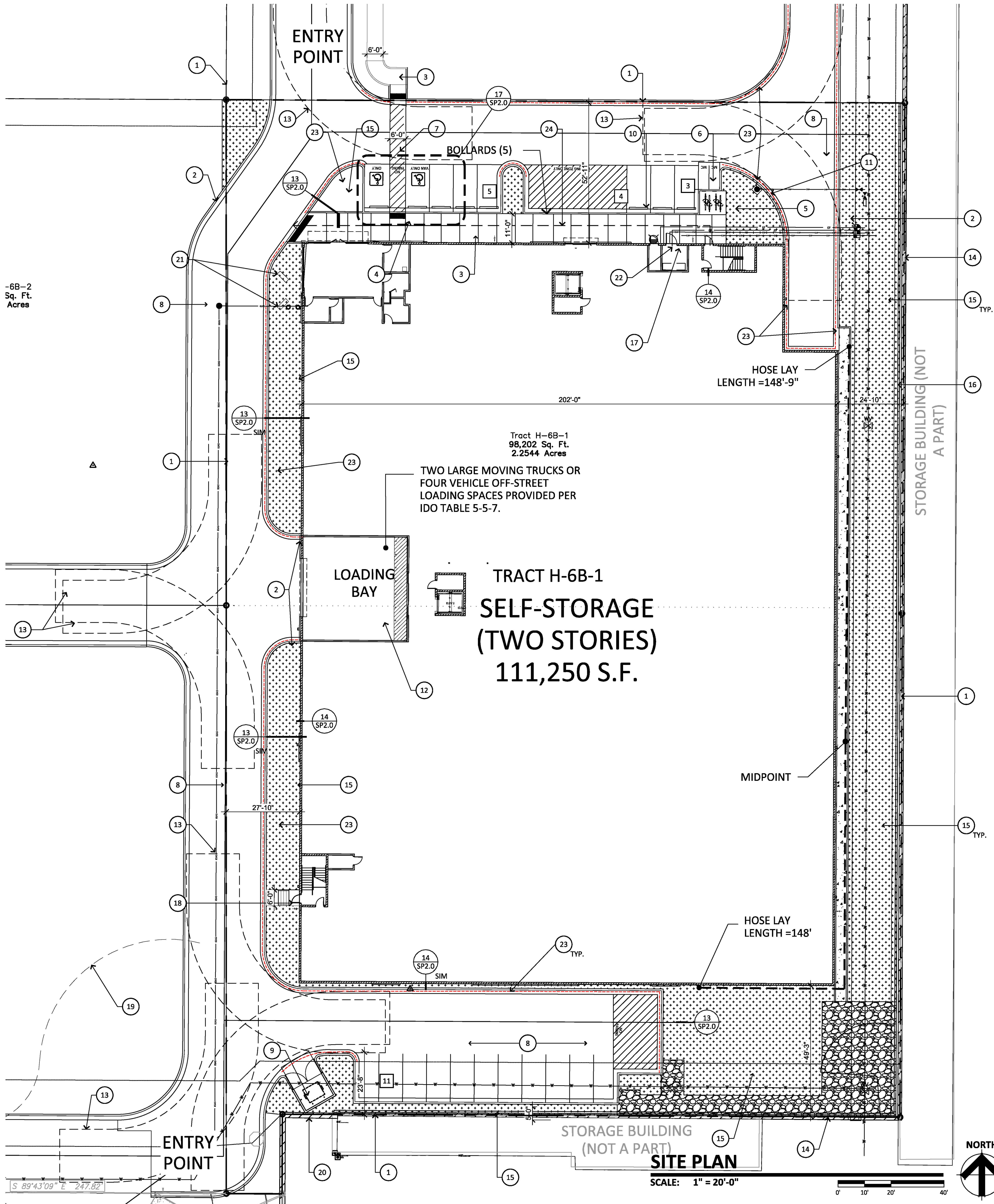




PROJECT NUMBER:	PR-2020-004024
Application Number:	SP-2025-00069
Is an Infrastructure List required? () Yes () No If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DFT SITE DEVELOPMENT PLAN APPROVAL:	
Consult Designer	10/02/2025
Traffic Engineering, Transportation Division	Date
ABC/WUA	10/07/2025
10/02/2025	Date
Parks and Recreation Department	10/02/2025
10/02/2025	Date
Hydrology	10/02/2025
10/02/2025	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
ADRIAN MAREZ	9-3-25
Solid Waste Management	Date
10/02/2025	Date
Planning Department	Date



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: ADRIAN MAREZ
Date: 9-3-25
Recycle Declined

PROJECT DIRECTORY

ARCHITECT:
RKAA ARCHITECTS, INC.
2233 EAST THOMAS ROAD
PHOENIX, ARIZONA 85016

CONTACT: NEIL FEASER
PHONE: (602) 955-3900
FAX: (602) 955-0496
E-MAIL: nfeaser@rkaa.com

SITE DATA

UNIFORM PROPERTY CODE (UPC):	101006506306030614
EXISTING ZONING:	MX-M
SITE AREA:	98,201 SF (2.25 ACRES)
PROPOSED USE:	SELF-STORAGE
2-STORY BUILDING FOR SELF-STORAGE USES AS IS CONDITIONALLY ALLOWED IN THE MX-M ZONE (APPROVED BY THE ZHE, VA-2022-00127 AND VA-2022-00128). FACILITY SHALL COMPLY WITH USE SPECIFIC STANDARDS IDO SECTION 4-3(D) (29).	
STORAGE BUILDING PARCEL AREA:	98,202 S.F. (2.25 ACRES)
STORAGE BUILDING AREA (TWO STORIES):	111,250 S.F.
STORAGE BUILDING FOOTPRINT AREA:	55,625 S.F.
PARKING REQUIRED:	3 SPACES
OFFICE: 3.5 SPACE PER 800 S.F.	37 SPACES
SELF-STORAGE: 1 SPACE PER 3000 S.F.	40 SPACES
TOTAL PARKING REQUIRED	23 SPACES
PARKING PROVIDED:	23 SPACES

*PARKING REDUCTION WAIVER FOR 23 PARKING SPACES WAS APPROVED ON JULY 7, 2025 (SP-2025-00044)	
MOTORCYCLE PARKING REQUIRED:	2 SPACES
MOTORCYCLE PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	4 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
ADA ACCESSIBLE SPACES REQUIRED:	1 SPACES
ADA ACCESSIBLE SPACES PROVIDED:	2 SPACES
LANDSCAPING REQUIRED (15% OF PARCEL AREA):	14,695 SF
LANDSCAPING PROVIDED:	15,990 SF
TRACT H-6B-1 PARCEL AREA:	98,202 S.F. (2.2544 ACRES)

KEY NOTES

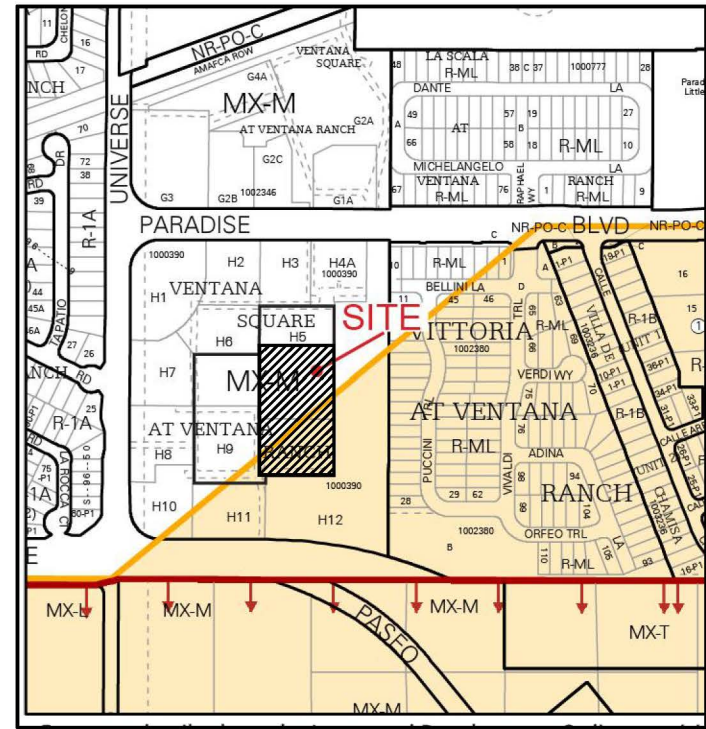
- PROPERTY LINE
- CURB AND GUTTER - SEE CIVIL PLANS
- NEW SIDEWALK
- ACCESSIBLE RAMP - SEE 17/SP2.0
- BICYCLE RACK - SEE 14/SP2.1
- MOTORCYCLE PARKING ONLY SIGN
- CONCRETE CROSSWALK
- ASPHALT PAVING
- TRASH ENCLOSURE - SEE 8/SP2.0
- CONCRETE PARKING BUMPER - SEE DETAIL 10/SP2.1
- FIRE HYDRANT
- 30' X 40' LOADING ZONE
- FIRE TRUCK TURNING RADIUS
- 6'-0" CMU SCREEN WALL - SEE DETAIL 12/SP2.1
- LANDSCAPING AREA - SEE LANDSCAPE PLANS
- PUBLIC WATERLINE EASEMENT - SEE CIVIL DRAWINGS
- KNOX BOX - SEE 16/SP2.0
- CONCRETE STAIRS - SEE CIVIL DRAWINGS
- EXISTING CUL-DE-SAC
- EXISTING 8'-0" BLOCK WALL TO REMAIN
- OUTDOOR SEATING AREA (800 S.F.) BENCH BY OTHERS
- FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS
- FIRE LANE IDENTIFIED BY CURBS PAINTED RED ON BOTH TOP AND FACE ALONG THE ENTIRE LENGTH OF THE FIRE LANE."NO PARKING-FIRE LANE" SHALL BE MARKED EVERY 15 FEET ALONG THE LENGTH OF A FIRE LANE WITH WHITE BLOCK CAPITAL LETTERS OF NOT LESS THAN 5 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4".
- ADA PATH OF TRAVEL FROM EXIT TO STREET.

LEGEND

- # PARKING COUNT
- # KEYNOTE

NOTES

- LIGHTING FOR THE INTERIOR FAUX WINDOWS WILL BE OFF BETWEEN 10:00 PM AND 7:00 AM. LIGHTING IS ALSO COMPLIANT PER IDO SECTION 4-3(D)(29)(E). ALL LIGHTING WILL COMPLY WITH THE NEW MEXICO DARK SKIES ORDINANCE.
- THE ELEVATION FACADES COMPLY WITH THE DEVELOPMENT STANDARDS FOR THE MX-M ZONE DISTRICT CONTAINED IN IDO SECTION 5-11-(E) AND THE STANDARDS FOR VPO-2 CONTAINED IN IDO SECTION 3-6(E)(5)-(7).
- ROLLED DOORS VISIBLE IN THE FAUX WINDOWS SHALL BE MUTED COLORS AS SHOWN ON THE BUILDING ELEVATIONS.



VICINITY MAP

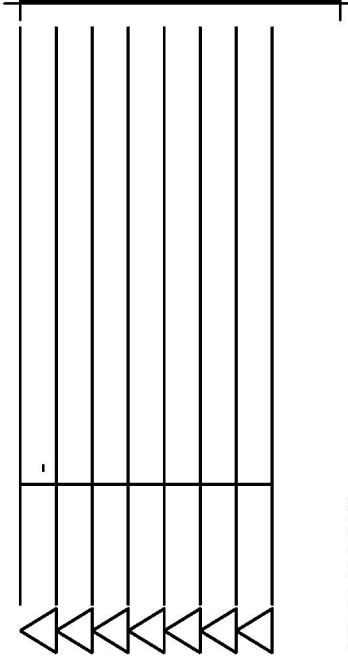
SCALE: N.T.S.



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2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900
RCAA.COM



ADRIAN MAREZ
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW MEXICO
NO. 2384



NOTICE OF ALTERNATE DURING ON-ANNUAL CYCLE:
THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR ESTIMATE IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON A MONTHLY BASIS. BILLING SHALL BE IN CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATE. A WRITTEN DISCRIPTION OF SUCH CYCLE BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

OWNER:
ADDRESS:
CONTACT:
PHONE:

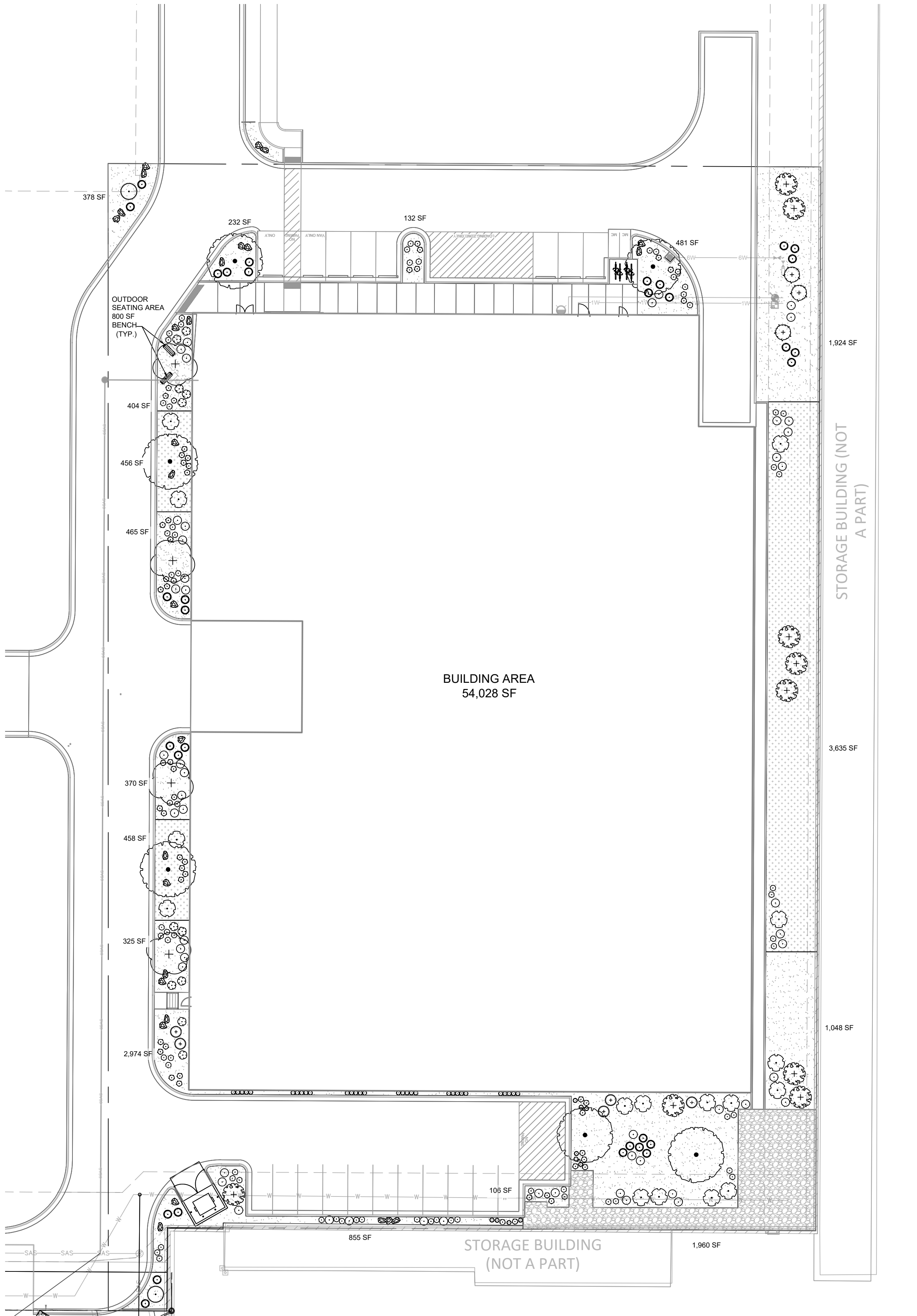
VENTANA SQUARE
SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSITY BLVD
ALBUQUERQUE, NEW MEXICO

CITY SUBMITTAL

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design by: RWK
drawn by: ANB
checked by: BHL

SP1.0
project #: 22116



LANDSCAPE CALCULATIONS

GENERAL LANDSCAPE (5-6-C)

MINIMUM LANDSCAPE AREA IDO 5-6(C)(2)	
TOTAL SITE AREA (2.25 AC.):	98,202 SF
DEVELOPED AREA:	- 54,028 SF
BUILDING AREA:	42,457 SF
NET AREA	6,369 (15%) / 16,204 SF (38%) (COMPLIANT)
REQUIRED / PROVIDED LANDSCAPE	

COVERAGE: IDO 5-6(C)(2)(c)
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	4,776 SF (75%) / 4,784 (75%) (COMPLIANT)
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	1,194 SF (25%) / 2,192 (46%) (COMPLIANT)

PARKING LOT INTERIOR, TREE REQUIREMENTS 5-6(F)(2)
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.
PARKING LOT SPACES PROVIDED 23
REQUIRED/PROVIDED PARKING LOT TREES: 2/3 (COMPLIANT)

PARKING LOT AREA
AT LEAST 10% OF THE PARKING LOT AREA CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.
TOTAL PARKING LOT AREA: 10,046 SF
REQUIRED/PROVIDED LANDSCAPE AREA: 1,005 SF (10%) / 2,134 (21%) (COMPLIANT)

TURF GRASS AREAS (NO TURF GRASS IS PROVIDED)

ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING EDGE.

STREET TREES (NON APPLICABLE)

STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C.
LANDSCAPE SHALL APPLY PURSUANT TO IDO 5-6 LANDSCAPE BUFFERING AND SCREENING.

GRAVEL MULCH COVERAGE
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA, OR 50 PERCENT INDT-UC-MS AREAS

REQUIRED:	GRVL 12,153 SF (no more than 75%) / NON GRVL 2,431 SF (more than 25%)
PROVIDED:	GRVL 11,654 SF (72%) / NON GRVL 4,549 SF (28%) (COMPLIANT)

ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

GENERAL LANDSCAPE NOTES

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING, PURSUANT OF IDO 5-6(C)(14)(C).THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' DIAMETER CIRCLE.

IDO STANDARDS
PLANTING SHALL BE FIELD ADJUSTED TO COMPLY WITH THE FOLLOWING REGULATIONS:

CLEARANCE
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

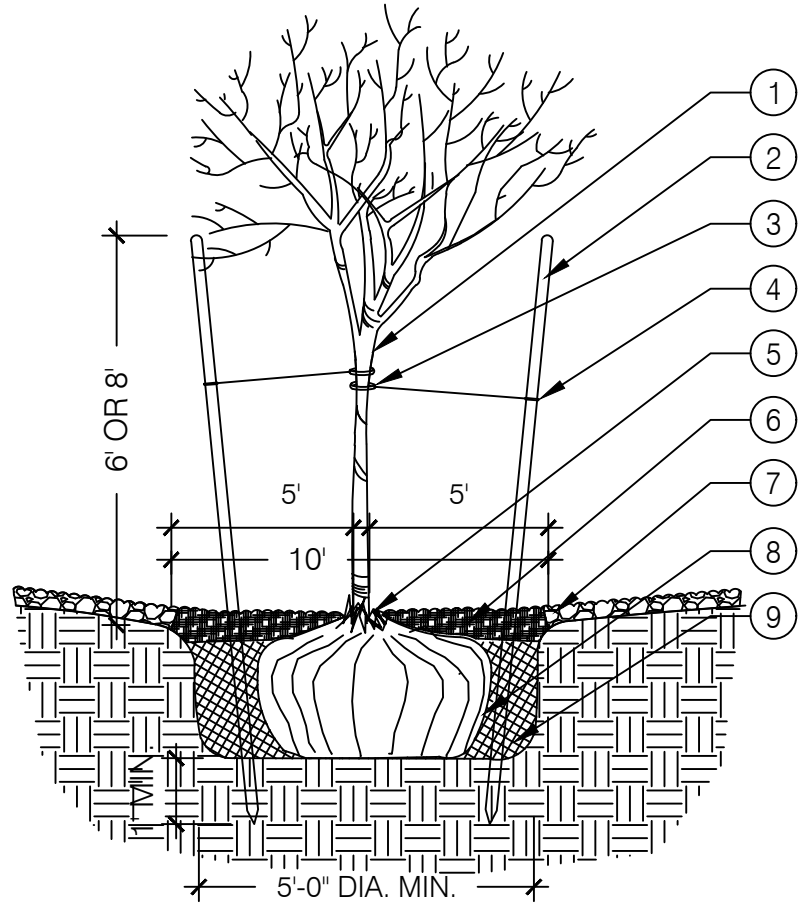
PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
	6	Crataegus phaenopyrum / Washington Hawthorn	2.5" Cal.	20' X 20'	Medium
	4	Forestiera pubescens / New Mexico Olive	2.5" Cal.	15' x 15'	Medium
SHRUBS					
	9	Amelanchier utahensis / Serviceberry	2 gal.	8' x 8'	Medium
	65	Cerastium tomentosum / Snow In Summer	1 gal.	8" x 2'	Medium
	16	Cotoneaster divaricatus / Spreading Cotoneaster	1 gal.	3' x 6'	Medium
	52	Euphorbia myrsinites / Myrtle Spurge	1 gal.	1' x 2'	Low
	11	Lavandula angustifolia / English Lavender	1 gal.	3' x 3'	Medium
	40	Linum perenne / Blue Flax	1 gal.	18" X 18"	Medium
	3	Ribes aureum / Golden Currant	1 gal.	6' x 6'	Medium
GRASSES					
	5	Nolina texana / Beargrass	5 gal.	4' x 4'	Low
	51	Panicum virgatum / Switch Grass	5 gal.	4' X 3'	Medium
DESERT ACCENTS					
	2	Agave americana / Century Plant	5 gal.	6' x 6'	RW
	32	Hesperaloe parviflora / Red Yucca	1 gal.	5' X 3'	RW

LANDSCAPE MATERIALS

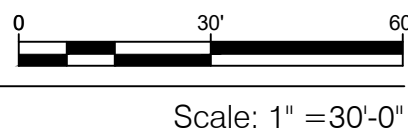
4,549 SF		WALK-ON WOOD MULCH BY BARELAS LANDSCAPING MATERIALS (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
9,694 SF		2"-4" BUILDOLGY BROWN COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
1,960 SF		4"-6" GRAY RIP RAP STONE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
28		3' X 3' LARGE BOULDER
2		BENCH

1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



1 TREE PLANTING

SCALE: N.T.S.



RKAA
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2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
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9-04-2025

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE COMMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT OR TO MAKE ALTERNATE BILLING OR ESTIMATES CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DISCRIPTION OF SUCH DISCRIPTIONS BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.
GARRETT DEVELOPMENT CORPORATION
6800 EAST CARMONA ROAD, STE 100
SCOTTSDALE, AZ 85253
CONTACT: TINA KELTY
PHONE: 480-570-4625

VENTANA SQUARE
SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM
DFT SUBMITTAL

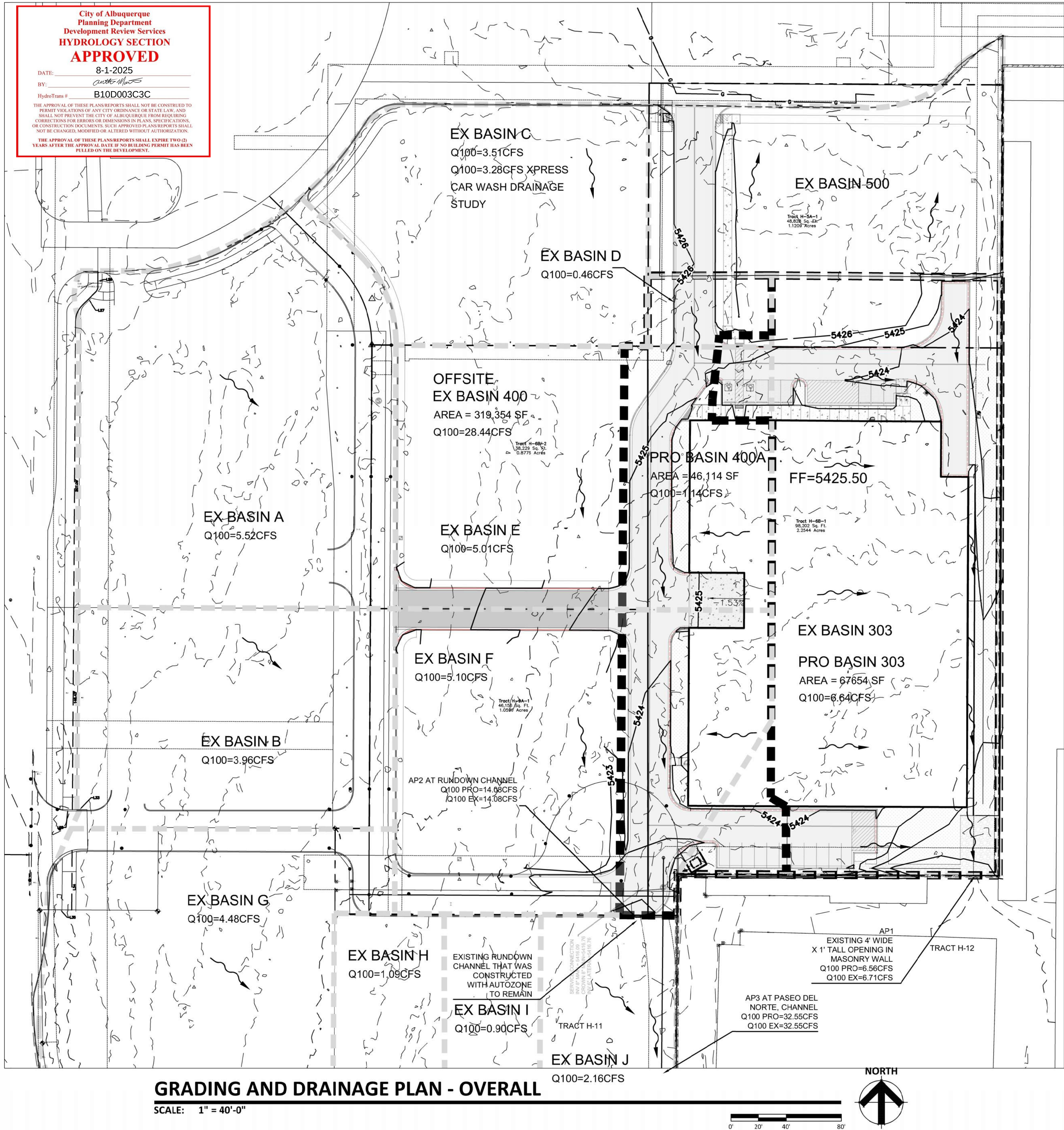


CONSENSUS
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design by: AB
drawn by: AB
checked by: KR

LANDSCAPE
PLAN

LS 101



I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR THE PROPOSED VENTANA SQUARE SELF-STORAGE PROJECT. THE NEW BUILDING IS LOCATED AT THE NORTH EAST CORNER OF PASEO DEL NORTE AND UNIVERSE BOULEVARD IN NORTHWEST ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS B-10-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH EAST CORNER OF PASEO DEL NORTE NW, AND UNIVERSE BOULEVARD NW IN THE VENTANA SQUARE DEVELOPMENT. THE SITE IS CURRENTLY VACANT. PROPERTIES TO THE EAST AND SOUTH HAVE BEEN DEVELOPED AND CONTAIN SELF STORAGE UNITS. A SHARED STORMWATER POND HAS BEEN CONSTRUCTED TO THE SOUTH EAST OF VENTANA SQUARE ALONG PASEO DEL NORTE. THE POND HAS BEEN SIZED TO ACCEPT RUNOFF FROM THE PROJECT SITE, INCLUDING WATER QUALITY VOLUMES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-24HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1 (WEST OF RIO GRANDE).

V. EXISTING DRAINAGE CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. THE SITE TO THE EAST AND SOUTH IS FULLY DEVELOPED AS A SELF STORAGE FACILITY. RUNOFF FROM THIS SITE UNDER THE PRIOR DRAINAGE PLAN (DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020, PREPARED BY THIS OFFICE) ALLOWS FOR 6.71CFS TO BE DISCHARGED AT THE SOUTHEAST CORNER OF THE PROJECT SITE. THIS RUNOFF WILL PASS THROUGH THE ADJACENT DEVELOPMENT TO REACH THE WATER QUALITY AND RETENTION POND ALONG PASEO DEL NORTE.

THE DRAINAGE MASTERPLAN IDENTIFIED A RIDGELINE WITHIN THE PARCEL TO THE NORTH. THE PROJECT SITE WILL ALLOW FROM BASIN 500 TO ENTER AND PASS THROUGH THE PROJECT SITE. THE PARCEL TO THE WEST DRAINS SOUTH AND WILL JOIN RUNOFF WITH OTHER PARCELS AS PART OF A 8.39 ACRE DRAINAGE BASIN. THE PEAK FLOW RATE FROM BASIN 400 IS 32.55CFS. BASIN 400 WILL ALSO DRAIN TO THE RETENTION POND ALONG PASEO DEL NORTE.

THE EXISTING BASIN MAP ALSO INCLUDES THE REFINED SUB-BASINS FROM A PRIOR DRAINAGE STUDY FROM 2021. BASIN WITH LETTERS ARE DERIVED FROM THAT STUDY. THE SUMMATION OF THE LETTERED SUB-BASIN EQUAL THE MASTERPLANNED DRAINAGE BASIN #400.

PASEO DEL NORTE CONTAINS STORMWATER COLLECTION AND CONVEYANCE CHANNELS AND PIPING THAT DISCHARGE INTO THE LARGE STORMWATER RETENTION POND. AS MENTIONED IN THE SITE DESCRIPTION AND HISTORY PORTION, THE DRAINAGE MASTER PLAN FOR VENTANA SQUARE REQUIRES THAT THE FLOW RATE OFF THE SITE MATCH THE 6.71CFS AND 32.55CFS RESPECTIVELY.

VI. PROPOSED DRAINAGE CONDITIONS

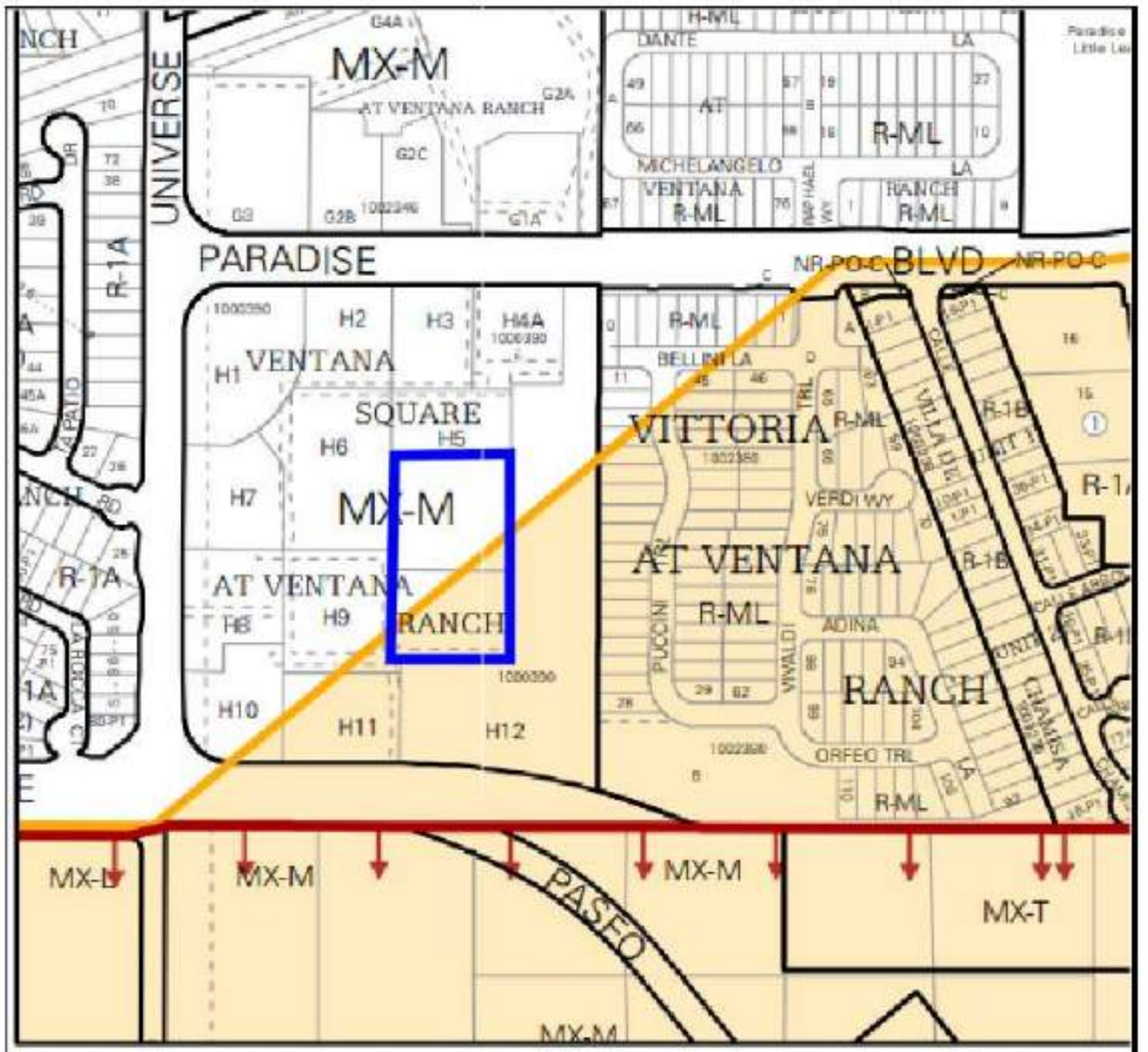
THE NEW BUILDING WILL BE 45,632SF FOOTPRINT, TWO STORY SELF STORAGE BUILDING. THE ROOF WILL HAVE A CENTER RIDGE AND WILL SLOPE BOTH EAST AND WEST. ROOF DOWNSPOUTS WILL CONVEY RUNOFF TO THE GROUND, WHERE SPLASH BLOCKS AND RIPRAP RUNDOWNS WILL CONVEY RUNOFF TO THE SURROUNDING STREET NETWORK OR CONCRETE RUNDOWN CHANNEL. THE ROOF RIDGE IS SLIGHTLY ALTERED FROM THE MASTERPLAN FOR BASIN 303 AND ADDITIONAL PARKING RUNOFF HAS BEEN ADDED TO THE BASIN TO MAINTAIN A SIMILAR FLOWRATE. FLOWRATE AT THE SOUTHEAST CORNER IS REDUCED BY 0.15CFS AT ANALYSIS POINT AP1.

THE WESTERN PART OF THE SITE HAS BEEN IDENTIFIED AT SUB-BASIN PRO BASIN 400A. PRO BASIN 400A GENERATES A PEAK RUNOFF OF 4.11CFS. PRO BASIN 400A WHEN COMBINED WITH OFFSITE PRO BASIN 400 FROM THE PRIOR DRAINAGE STUDY THAT CONTAINS THE REMAINING 28.44 CFS (WILL EQUAL THE DEFINED FLOW RATE OF 32.55CFS). THE LANDSCAPING PERCENTAGE IS SLIGHTLY HIGHER THAN UTILIZED IN THE PRIOR DRAINAGE MASTERPLAN. CONSERVATIVE VALUES FOLLOWING THE MASTER DRAINAGE PLAN HAVE BEEN USED, 7.5% FOR TYPE B AND TYPE C SOILS, AS THIS IS A SUBBASIN WITHIN THE 8.39 ACRE BASIN 400.

THE DISCHARGE RATE AT THE ENTRANCE OF THE CHANNEL (AP2) ON THE EAST SIDE OF AUTOZONE WILL REMAIN AS PREVIOUSLY DESIGNED AT 14.08 CFS. THE DISCHARGE RATE AT ANALYSIS POINT 3 (AP3) REMAINS THE SAME AS THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020 AT 32.55CFS AT THE SOUTH WEST CORNER OF TRACT H-11 WHERE RUNOFF ENTERS THE CONCRETE CHANNEL THAT CONVEYS RUNOFF TO THE DETENTION POND. WATER QUALITY VOLUMES WERE COMPUTED FOR 85% IMPERVIOUS FOR THE 98,202SF LOT ARE 2.365CF. THE SITE DOES NOT CONTAIN A LOCATION FOR RETENTION OF THE WATER QUALITY VOLUME. PER THE "DRAINAGE REPORT FOR VENTANA SQUARE" DATED DECEMBER 2020 THE ADJACENT POND ALONG PASEO DEL NORTE DOES CONTAIN SUFFICIENT VOLUME TO CONTAIN AND INFILTRATE THE 2.365CF OF RUNOFF TO SATISFY THE WATER QUALITY REQUIREMENTS. PER THE 2020 REPORT THE FULL BUILD OUT DEPTH WILL BE 0.80' DEEP IN THE SHARED RETENTION POND.

VII. CONCLUSIONS

THIS DRAINAGE STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020. RUNOFF FROM THE PROJECT SITE WILL DRAIN OUT AT ANALYSIS POINTS AP1 AND AP2 AT THE OR SLIGHTLY REDUCED FROM THE PRIOR STUDY. NO CHANGES ARE REQUIRED TO DOWNSTREAM USERS, AS THIS PROJECT WILL NOT CAUSE AN INCREASE IN FLOWRATE, WATER QUALITY VOLUME OR EXCESS RUNOFF VOLUME FROM THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020.



MATERIAL LEGEND

	HEAVY DUTY ASPHALT
	HEAVY DUTY CONCRETE PAVEMENT
	4" THICK CONCRETE SIDEWALK
	EROSION PROTECTION, PER DETAIL ON SHEET G8D3
	LANDSCAPING AREA.

LINEWORK LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	DRAINAGE BASIN DEFINITION FROM MASTER DRAINAGE PLAN
	PROPOSED BASIN DEFINITION LINE

GRADING AND
DRAINAGE PLAN

VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD

ALBUQUERQUE, NM 87114

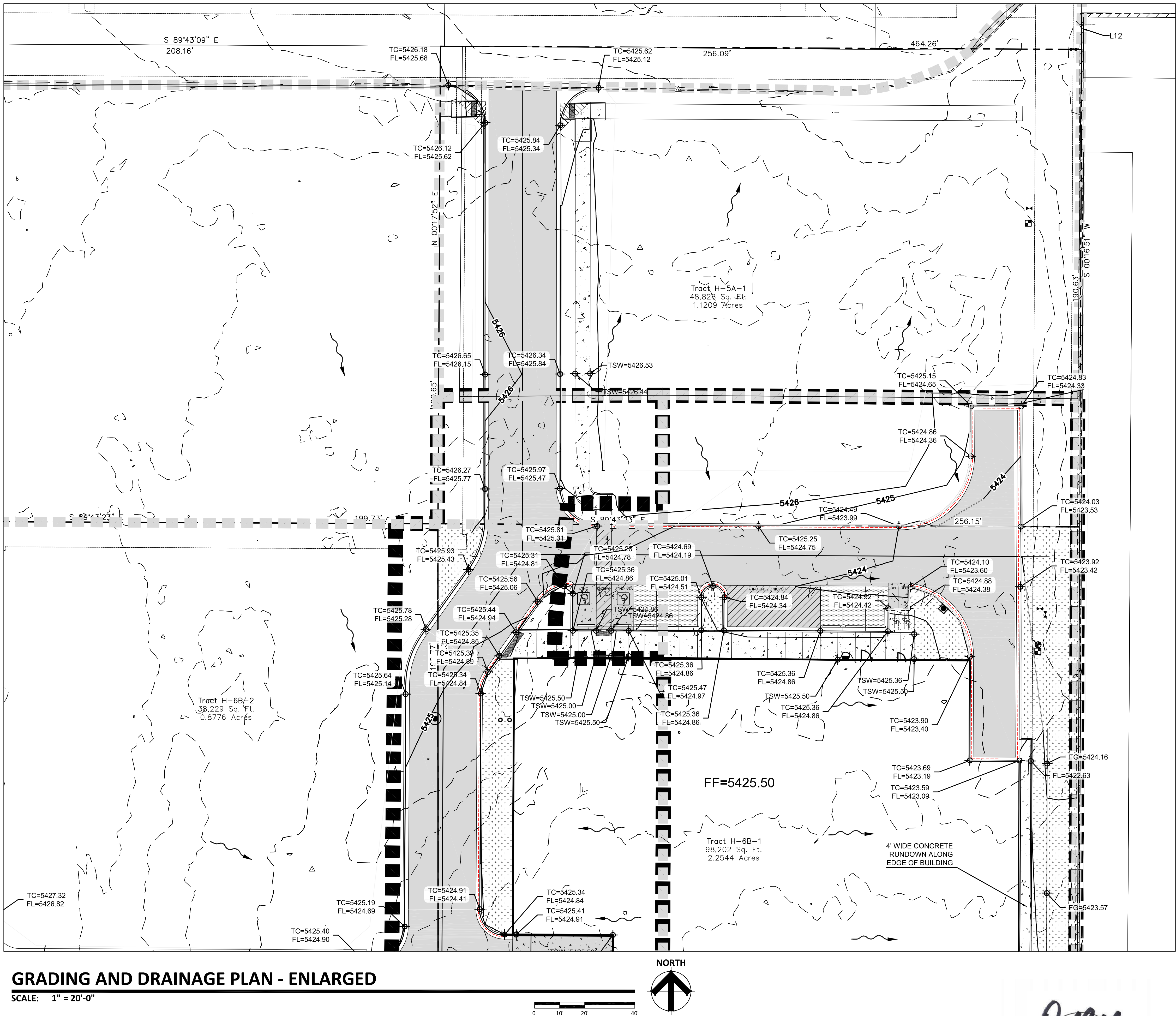
DATE: 07-03-2025 (100% CD PLANS)

G&D 1

RKAA# 22116.00

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FAX: (505) 830-9246



GRADING AND DRAINAGE PLAN - ENLARGED

SCALE: 1" = 20'-0"



VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 07-03-2025 (100% CD PLANS)

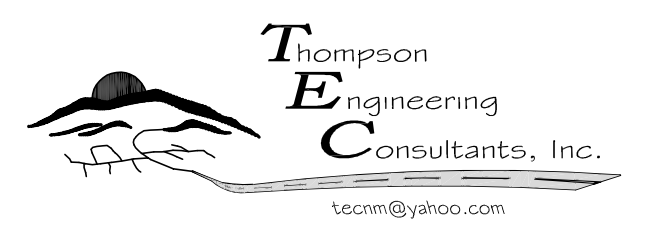
DUBH
7-8-25

G&D 2

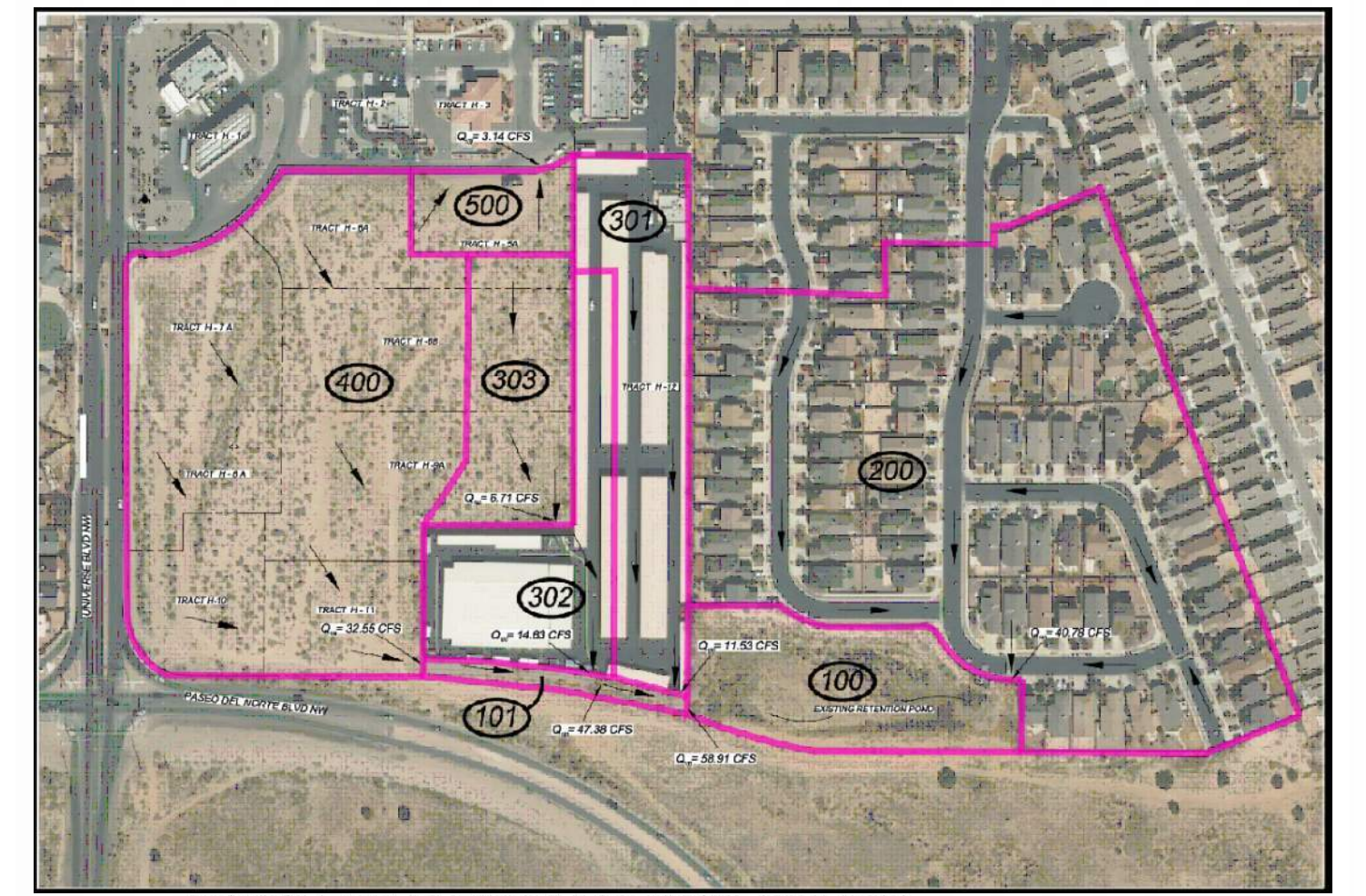
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GRADING AND
DRAINAGE PLAN



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BASIN MAP FROM PRIOR STUDY

BASIN	Area (acres)	100yr-6hr Peak Flow (cfs)	100yr-10 day Runoff Volume (ac-ft)	Land Treatment
100	2.16	4.67	0.13	100%B
101	0.27	1.11	0.09	100%D
200	12.06	40.78	2.54	23%B, 23%C, 54%D
301	2.92	11.53	0.88	5%B, 6%C, 89%D
302	1.97	8.12	0.65	100%D
303	1.73	6.71	0.50	7.5%B, 7.5%C, 85%D
400	8.39	32.55	2.45	7.5%B, 7.5%C, 85%D
500	0.81	3.14	0.24	7.5%B, 7.5%C, 85%D

BASIN CALCULATIONS FROM PRIOR STUDY

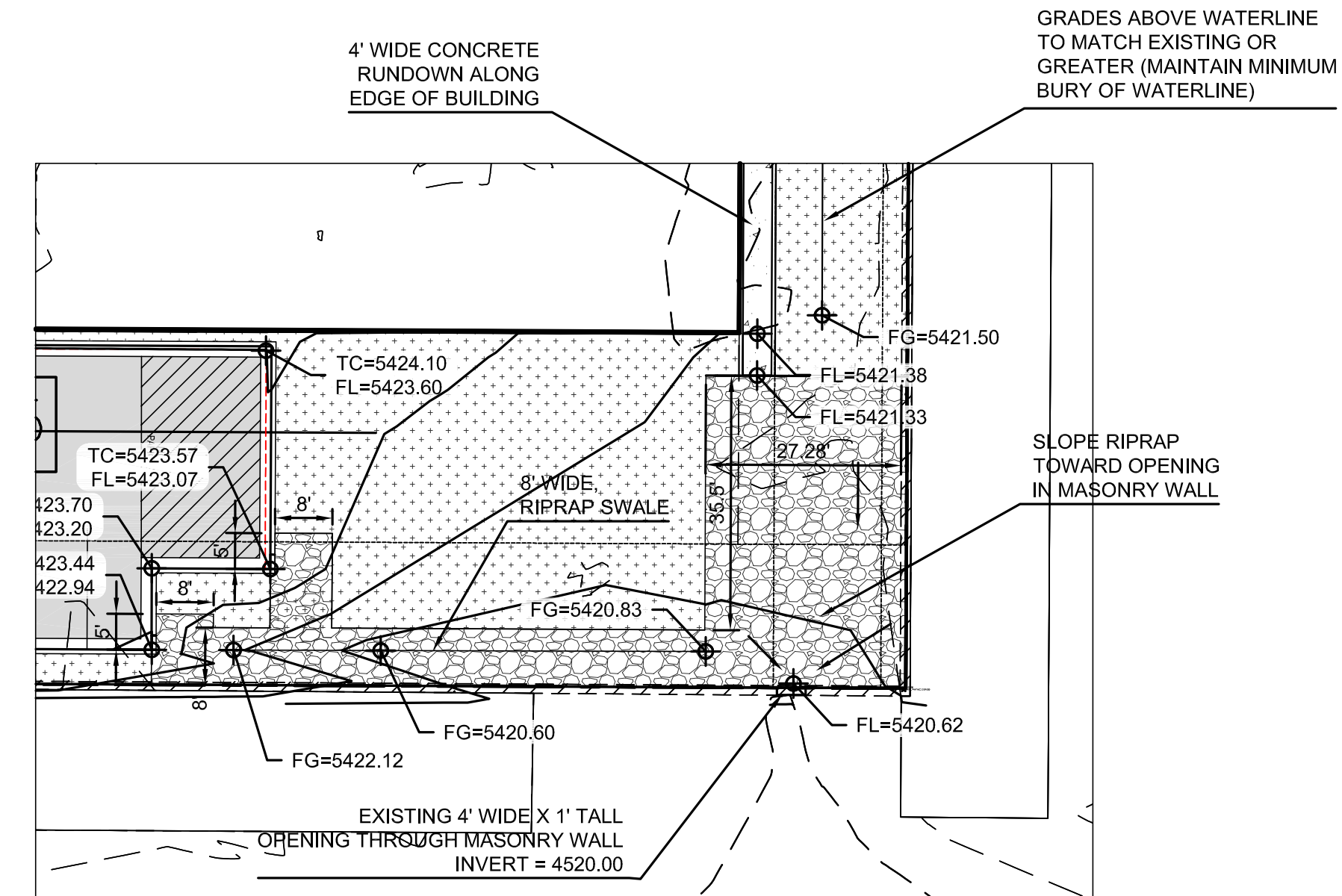
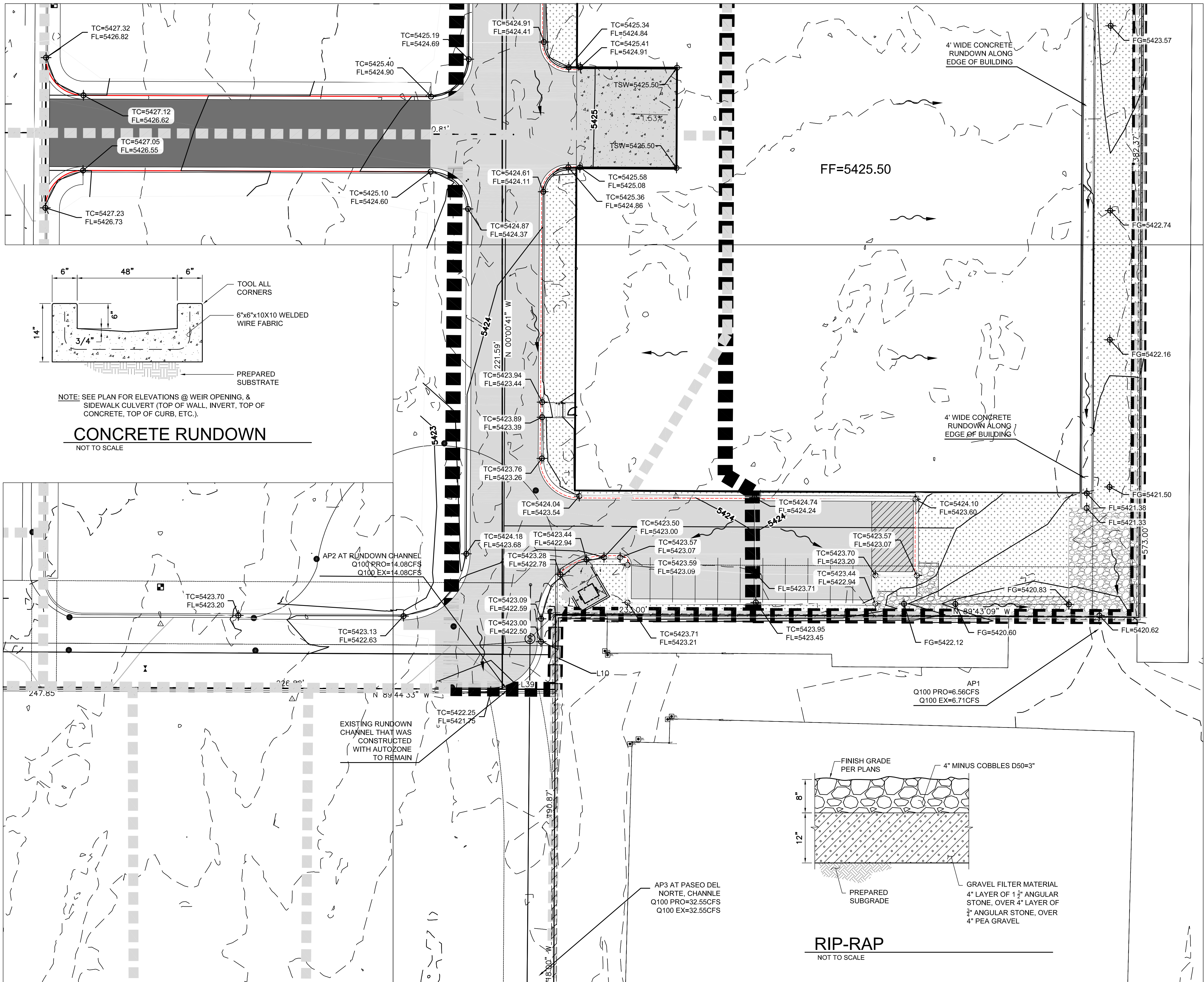
Drainage Summary				
Project:	Ventana Square Self-Storage			
Project Number:	Ventana Square Self-Storage			
Date:	01/21/24			
By:	MTD			
Site Location				
Precipitation Zone	1 Per COA DPM Chapter 6			
Existing summary				
Basin Name	EX 303	EX 400	EX 500	
Area (sf)	75450	365468.4	35283.6	
Area (acres)	1.73	8.39	0.81	
%A Land treatment	0	0	0	
%B Land treatment	7.5	7.5	7.5	
%C Land treatment	7.5	7.5	7.5	
%D Land treatment	85	85	85	
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	
Area "B"	0.13	0.63	0.06	
Area "C"	0.13	0.63	0.06	
Area "D"	1.47	7.13	0.69	
Excess Runoff (acre-feet)				
100yr. 6hr.	0.2930	1.4193	0.1370	acre-ft.
10yr. 6hr.	0.1829	0.8860	0.0855	acre-ft.
2yr. 6hr.	0.1144	0.5541	0.0535	acre-ft.
100yr. 24hr.	0.3323	1.6095	0.1554	acre-ft.
Peak Discharge (cfs)				
100 yr.	6.72	32.55	3.14	cfs
10yr.	4.08	19.76	1.91	cfs
2yr.	2.36	11.45	1.11	cfs

MATERIAL LEGEND

	HEAVY DUTY ASPHALT
	HEAVY DUTY CONCRETE PAVEMENT
	4" THICK CONCRETE SIDEWALK
	EROSION PROTECTION, PER DETAIL ON SHEET G&D3
	LANDSCAPING AREA

LINEWORK LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	DRAINAGE BASIN DEFINITION FROM MASTER DRAINAGE PLAN
	PROPOSED BASIN DEFINITION LINE



RIPRAP RUNDOWN - ENLARGED
SCALE: 1" = 20'-0"

Drainage Summary

Project:	Ventana Square Self-Storage			
Project Numbe:	Ventana Square Self-Storage			
Date:	01/21/24			
By:	MTD			
Site Location				
Precipitation Zone	1 Per COA DPM Chapter 6			
Proposed summary				
Basin Name	PRO 303	OFFSITE	PRO 400A	PRO 501
Area (sf)	73652	319354	46114	32286
Area (acres)	1.691	7.331	1.059	0.741
%A Land treatment	0	0	0	0
%B Land treatment	7.5	7.5	7.5	7.5
%C Land treatment	7.5	7.5	7.5	7.5
%D Land treatment	85	85	85	85
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	0.00
Area "B"	0.13	0.55	0.08	0.06
Area "C"	0.13	0.55	0.08	0.06
Area "D"	1.44	6.23	0.90	0.63
Excess Runoff (acre-feet)				
100yr. 6hr.	0.2860	1.2402	0.1791	0.1254 acre-ft.
10yr. 6hr.	0.1786	0.7742	0.1118	0.0783 acre-ft.
2yr. 6hr.	0.1117	0.4842	0.0699	0.0489 acre-ft.
100yr. 24hr.	0.2860	1.2402	0.1791	0.1254 acre-ft.
100yr. 10day	0.4932	2.1386	0.3088	0.2162 acre-ft.
Peak Discharge (cfs)				
100 yr.	6.56	28.44	4.11	2.88 cfs
10yr.	3.98	17.26	2.49	1.75 cfs
2yr.	2.31	10.01	1.45	1.01 cfs
Water Quality Pounding Volume (cf)	1773.8	7691.1	1110.6	777.6 cf
Water Quality Acre Feet	0.0407	0.1766	0.0255	0.0179 acre-ft

MATERIAL LEGEND

- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- EROSION PROTECTION, PER DETAIL ON SHEET G&D3
- LANDSCAPING AREA.

LINEWORK LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- DRAINAGE BASIN DEFINITION FROM MASTER DRAINAGE PLAN
- PROPOSED BASIN DEFINITION LINE

GRADING AND DRAINAGE PLAN - ENLARGED

SCALE: 1" = 20'-0"



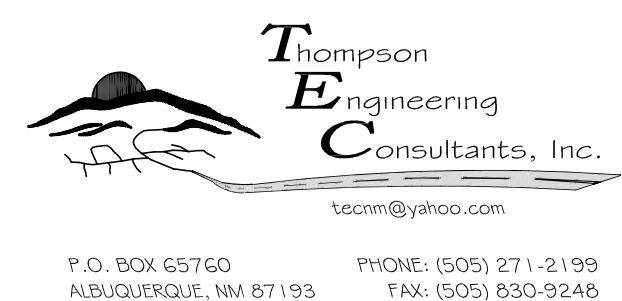
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ALBUQUERQUE, NM 87114
DATE: 07-03-2025 (100% CD PLANS)



G&D 3

RKAA# 22116.00

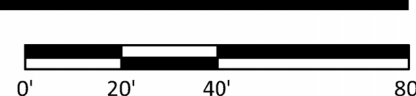
GRADING AND DRAINAGE PLAN



OVERALL UTILITY PLAN

SCALE: 1" = 40'-0"

SCALE: 1" = 40'-0"



VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD

ALBUQUERQUE, NM 87114

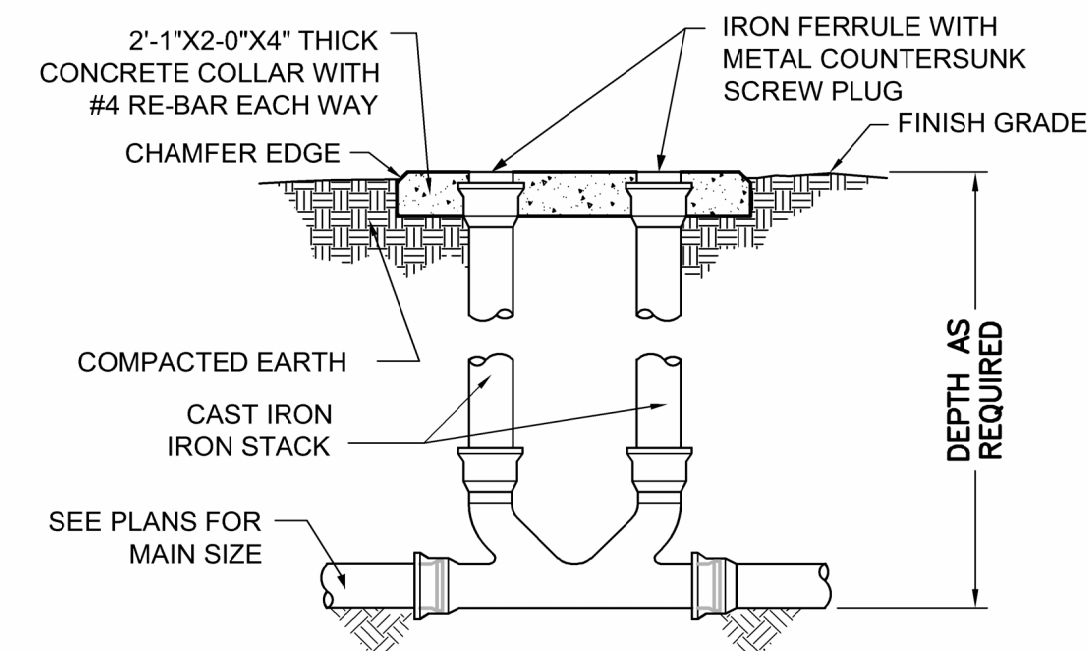
DATE: 07-03-2025 (100% CD PLANS)

GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS; IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. ALL PUBLIC CONNECTIONS OR INFRASTRUCTURE MUST BE DONE VIA CONNECTION PERMIT.
- F. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IN N IN PACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

KEYED NOTES

1. NEW 6" SERVICE LATERAL CONNECTION ONTO EXISTING PUBLIC 8" SANITARY SEWER LINE. PER ABCWUA STD DWG 2125. MATCH INVERT OF LATERAL TO CROWN OF EXISTING MAIN
INV. EXISTING MAIN=-5416.09,
NEW INV IN (6")=-5416.76
2. NEW PRIVATE 6" PVC SDR-35 SANITARY SEWER LINE AT 1.00% SLOPE
3. NEW PRIVATE 4" DIAMETER TYPE E SANITARY SEWER MANHOLE PER COA STD DWG 2102
RIM=-5424.84,
INV OUT (S) 6"=-5419.91
INV IN (E) 4"=-5420.01
4. NEW PRIVATE 4" PVC SDR-26 SANITARY SEWER LINE AT 2.00% SLOPE.
NEW PRIVATE DOUBLE CLEANOUT PER DETAIL THIS SHEET.
5. CONNECT TO BUILDING. INV = 5420.68 (5.53' BFF).
7. EXISTING PUBLIC 8" PVC WATERLINE.
8. NEW NON-PRESSURE CONNECTION. 8"x8"x8" DI TEE. 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333. RESTRAIN ALL JOINT ON PRIVATE FIRE HYDRANT LEG.
6" GATE VALVE
X= _____
Y= _____
9. NEW 42.17' OF PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
NEW PRIVATE FIRE HYDRANT PER ABCWUA STD DWGS 2340 AND 2342.
FIRE HYDRANT FLANGE ELEV.= _____
X= _____
Y= _____
11. NEW PUBLIC 8" GATE VALVE WITH VALVE BOX AND 8" DI TRANSITION COUPLING PER ABCWUA STD DWG 2301, 2326, AND 2328.
12. NEW NON-PRESSURE CONNECTION. 8"x8"x8" DI TEE. 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2329, AND 2333. RESTRAIN ALL JOINT ON PRIVATE FIRE SUPPRESSION LINE. VALVE COVER TO READ "FIRE".
6" GATE VALVE
X= _____
Y= _____
13. NEW 83.07' OF PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
14. NEW PRIVATE 6"x90" DI ELBOW.
15. CONNECTION FIRE SUPPRESSION LINE TO BUILDING. SEE FIRE SUPPRESSION PLANS FOR CONTINUATION.
16. NEW WALL MOUNTED FIRE DEPARTMENT CONNECTION.
17. FIRE RISER ROOM WITH ACCESS DOOR DIRECTLY THROUGH EXTERIOR WALL.
18. CONNECT 1" PEX WATERLINE TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
19. NEW PRIVATE 1" PEX WATERLINE, MINIMUM BURY 3'.
20. NEW 1" WATER SERVICE INCLUDING CORP STD, SUPPLY LINE, METER BOX AND METER PER ABCWUA STD DWGS 2361, 2362 AND 2366.



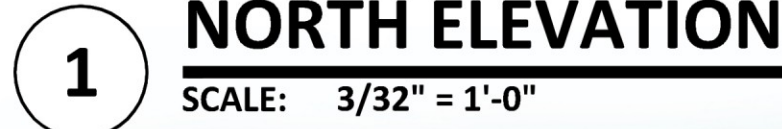
DOUBLE CLEANOUT

NOT TO SCALE

Easement Notes

- [1] REMAINING PORTION OF EXISTING 10' ELECTRIC RIGHT-OF-WAY EASEMENT AND SHOWN ON PLAT (12/03/2001, BK. 2001C, PG. 315, DOC. NO. 2001143438), (05/08/1953, BK. MISC 14, PG. 341, DOC. NO. 95018489)
- [2] EXISTING 10' P.U.E (12/03/2001, 2001C-315, DOC. NO. 2001143438)
- [3] EXISTING 25' PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [4] EXISTING 20' PUBLIC SANITARY SEWER EASEMENT (03/04/2003, 2003C-50)
- [5] EXISTING PRIVATE NONEXCLUSIVE PERPETUAL DRAINAGE EASEMENT AND PUBLIC UTILITIES EASEMENT, BLANKET IN NATURE OVER COMMON AREAS (03/04/2003, 2003C-50, DOC. NO. 2003035708) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- [6] EXISTING PRIVATE NONEXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, BLANKET IN NATURE ACROSS THAT PORTION OF THE COMMON AREAS (03/04/2003, 2003C-50, DOC. NO. 2003035708) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- [7] EXISTING PRIVATE NON-EXCLUSIVE PERPETUAL EASEMENT ACROSS THE COMMON AREAS FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF FREE STANDING SIGNS (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- [8] REMAINING PORTION OF EXISTING 10' P.U.E. (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [9] EXISTING 10' PUBLIC WATERLINE EASEMENT (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [10] INTENTIONALLY OMITTED
- [11] EXISTING PUBLIC 15' WATERLINE EASEMENT (7/30/2002, BK. A39, PG. 52201, DOC. NO. 2002095491) (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- [12] EXISTING PUBLIC 20' PUBLIC SANITARY SEWER EASEMENT (07/30/2002, BK. A39, PG. 5218, DOC. NO. 2002095489) AND (7/30/2002, BK. A39, PG. 5223, DOC. NO. 2002095494)
- [13] EXISTING 20' x 30' PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [14] EXISTING PRIVATE 24' ACCESS EASEMENT (07/30/2002, BK. A39, PG. 5217, DOC. NO. 2002095488)
- [15] REMAINING PORTION OF AN EXISTING 20' PUBLIC WATERLINE EASEMENT (03/04/2003, 2003C-50 DOC. NO. 2003035708)
- [16] EXISTING 25' PUBLIC DRAINAGE EASEMENT (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- [17] EXISTING 5' PUBLIC PERMANENT EASEMENT FOR SANITARY SEWER (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- [18] EXISTING 20' UTILITY EASEMENT (12/03/2001, 2001C-315, 2001143438)
- [19] PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF TRACTS H-5A THRU H-9A, H-10 AND H-11, GRANTED BY DOCUMENT (08/06/2021, DOC. NO. 2021098753) AND AS SHOWN ON PLAT (08/20/2021, 2021C-96)
- [20] EXISTING PRIVATE ACCESS EASEMENT BENEFITING TRACTS H-5A THRU H-9A, H-10 AND H-11. TO BE MAINTAINED BY THE OWNERS OF SAID TRACTS (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753). PORTION VACATED WITH THIS PLAT, SHOWN HEREON AS [REDACTED]
- [21] EXISTING PRIVATE ACCESS EASEMENT BENEFITING TRACTS H-5A THRU H-9A, H-10 AND H-11. TO BE MAINTAINED BY SAID OWNERS (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [22] INTENTIONALLY OMITTED
- [23] INTENTIONALLY OMITTED
- [24] EXISTING PUBLIC WATERLINE AND PUBLIC SEWER EASEMENT, SHOWN HEREON AS [REDACTED] (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [25] EXISTING PUBLIC MULTI-USE TRAIL EASEMENT (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [26] EXISTING ADDITIONAL 5' PUBLIC WATERLINE EASEMENT TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [27] EXISTING 10' PUBLIC UTILITY EASEMENT, SHOWN HEREON AS [REDACTED] (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).

OVERALL UTILITY PLAN



SCALE: $3/32" = 1'-0"$



SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"

- | | |
|---|--|
| 1. SIGNAGE (UNDER SEPARATE PERMIT) | 14. DOWNSPOUT SEE PLUMBING PLANS; SEE DETAIL 13/A8.1 |
| 2. AUTOMATIC ROLL-UP DOOR - SEE SHEET A6.0 | 15. CANOPY - SEE DETAIL 3/A8.2 |
| 3. ALUMINUM STOREFRONT SYSTEM - SEE SHEET A6.0 WINDOW SCHEDULE | 16. SHEET METAL PARAPET CAP - SEE DETAIL 7/A8.2 |
| 4. FAUX DOORS - SEE SHEET A6.0 | 17. DASHED LINE OF 2ND FLOOR BEYOND |
| 5. STOREFRONT ENTRY DOOR - SEE SHEET A6.0 DOOR SCHEDULE | 18. DASHED LINE OF MECHANICAL UNITS BEYOND |
| 6. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SHEET A6.0 DOOR SCHEDULE FOR SIZE AND TYPE | 19. DASHED LINE OF ROOF BEYOND |
| 7. AUTO SLIDING DOOR - SEE DETAIL 18/A8.0 | 20. RECESSED KNOX BOX - VERIFY INSTALLATION AND TYPE WITH FIRE MARSHALL |
| 8. MASONRY WALL - SEE FLOOR PLANS FOR WALL TYPES | 21. F.D.C. - SEE CIVIL AND PLUMBING DRAWINGS |
| 9. STUCCO OVER MASONRY WALL - SEE FLOOR PLANS FOR WALL TYPES | 22. WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS FOR TYPE AND SIZE |
| 10. STUCCO OVER FRAMED POP-OUT - SEE FLOOR PLANS FOR WALL TYPES | 23. LINE OF RIDGE BEYOND |
| 11. STUCCO SYSTEM OVER FOAM POP-OUT - SEE FLOOR PLANS FOR WALL TYPES | 24. CANOPY POP OUT - SEE 4/A8.2 |
| 12. STUCCO CONTROL JOINT WHERE APPLIES - SEE DETAIL 7/A8.2 | 25. PARAPET CAP FLASHING - SEE 2/A8.2 |
| 13. LOUVER VENT - SEE MECHANICAL DRAWINGS | 26. ADDRESS PER FIRE DEPARTMENT REQUIREMENTS. |
| | 27. MASONRY CONTROL JOINT PER STRUCTURAL |

A. PAINTED STUCCO:
MFG.: SHERWIN WILLIAMS
FINISH: FINE SAND
COLOR: RESORT TAN
SPEC. #: SW 7550
LRV: 22

B. PAINTED STUCCO:
MFG.: SHERWIN WILLIAMS
FINISH: FINE SAND
COLOR: SAN ANTONIO SAGE
SPEC. #: SW 7731
LRV: 31

C. PAINTED STUCCO:
MFG.: SHERWIN WILLIAMS
FINISH: FINE SAND
COLOR: KHAKI SHADE
SPEC. #: SW 7533
LRV: 44

D. 8 X 8 X 16 MASONRY:
MFG.: SUPERLITE BLOCK
FINISH: SPLIT FACE
COLOR: MALIBU SAND
LRV: 28

- E. ROLLER DOORS:**
MFG.: JANUS
COLOR: LIGHT STONE
LRV: 43
- F. LIGHT GAUGE METAL TRIM/CANOPY:**
MFG.: ATAS
COLOR: SLATE GRAY
LRV: 39
- G. STOREFRONT MULLION:**
MFG.: KAWNEER
COLOR: DOVE GRAY
LRV: 35
- H. DOWNSPOUT:**
PAINT: TO MATCH THE ADJACENT WALL
- J. HOLLOW METAL DOORS:**
MFG.: SHERWIN WILLIAMS
COLOR #.: SAN ANTONIO SAGE
SPEC. #: SW 7731
LRV: 31
- K. GLAZING:**
MFG.: PPG OR EQUAL
COLOR: CLEAR
TYPE: SOLARBAN 60 INSULATION
- L. ROLL-UP DOOR:**
MFG.: COOKSON
COLOR: RAL 1019
LRV: 30

 KEYNOTE
 MATERIAL/COLOR

SIGN 'A':
DIMENSIONS: 2'-0" H X 21'-3" L
ILLUMINATED: YES
SQ. FT.: 24 S.F.
% OF FACADE: 42.5 / 4,794 (TOTAL) = <1%

SIGN 'B':
DIMENSIONS: 1'-6" H X 16'-0" L
ILLUMINATED: YES
SQ. FT.: 24 S.F.
% OF FACADE: 24 / 7,363 (TOTAL) = <1%

SIGN 'C':
DIMENSIONS: 6'-9" H X 14'-10" L
ILLUMINATED: YES
SQ. FT.: 100 S.F.
% OF FACADE: 100 / 7,363 (TOTAL) = <1%

SIGN 'D':
DIMENSIONS: 2'-6" H X 26'-7" L
ILLUMINATED: YES
SQ. FT.: 66 S.F.
% OF FACADE: 66 / 4,794 (TOTAL) = <1%

1. MAX 25% OF FACADE NO MAX NUMBER OF SIGNS 1
FREESTANDING SIGN



EXTERIOR ELEVATIONS



**VENTANA SQUARE
SELF-STORAGE**
NEC OF PASEO DEL NORTE BLVD AND UNIVERSITY BLVD\
ALBUQUERQUE, NEW MEXICO

CITY SUBMITTAL

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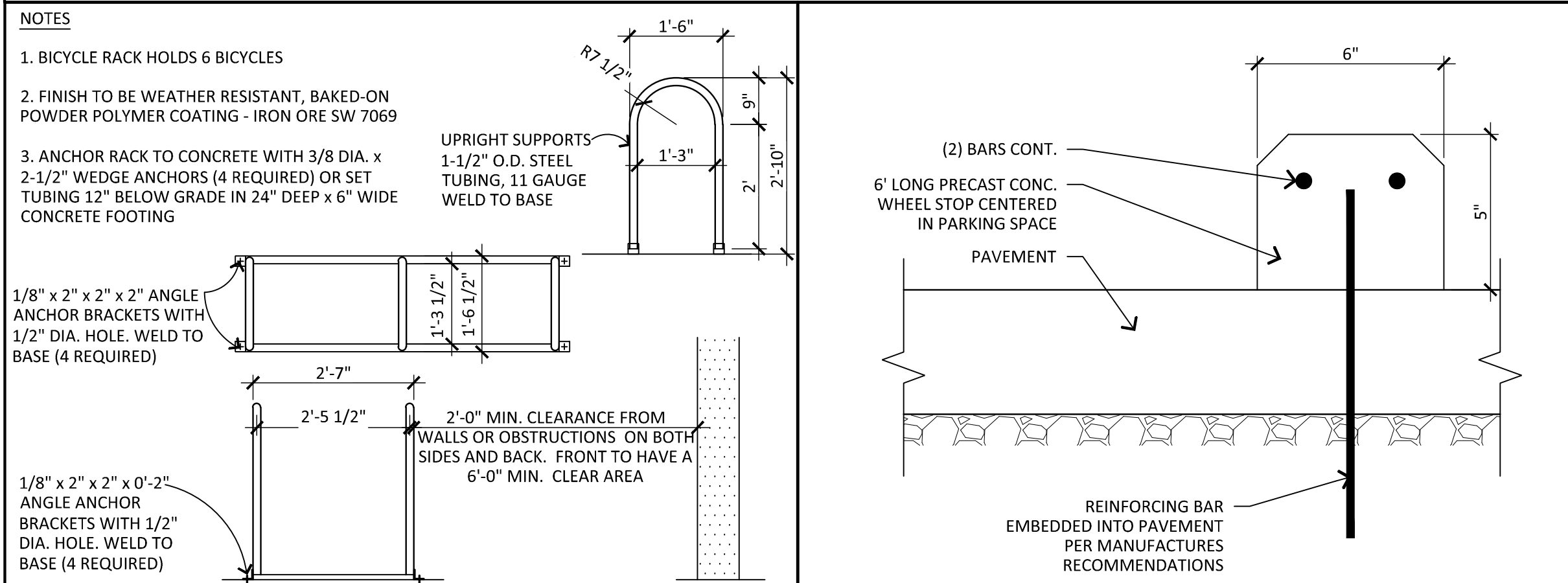
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checked by: BHL

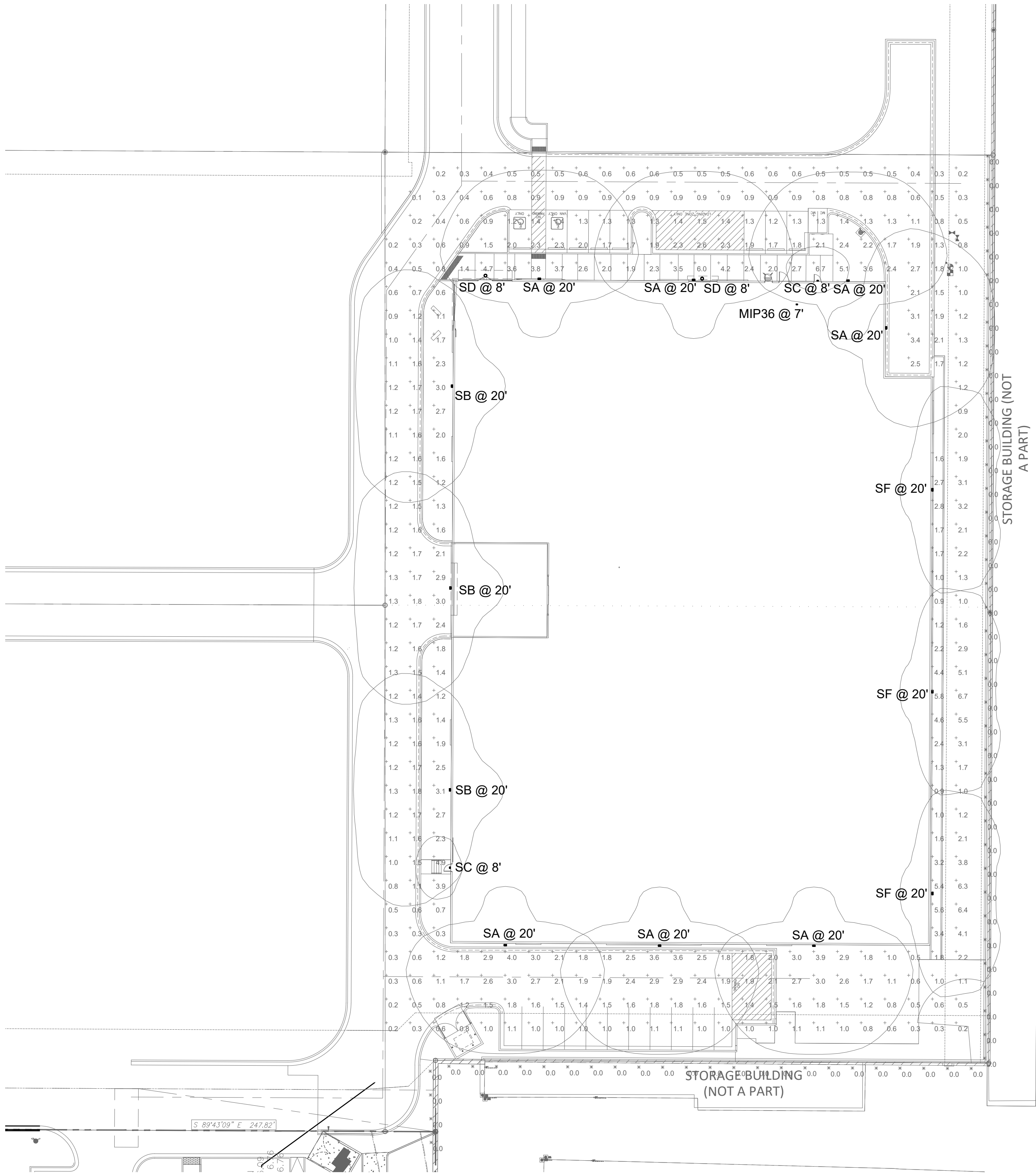
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project #: 22116

13

NOT USED

SCALE: FULL





1 ELECTRICAL PHOTOMETRIC SITE PLAN
SCALE: 1"=30'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE - FC @ GRADE	✕	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
SITE - FC @ GRADE	+	1.7 fc	6.7 fc	0.1 fc	67.0:1	17.0:1

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage
	MIP100	1	EVENLITE	MIP36	100W INVERTER WITH 800W TOTAL PASS THROUGH CAPACITY. CONNECT TYPE SC AND SD FIXTURES TO THE INVERTER. UPON POWER LOSS, THE INVERTER WILL SUPPLY A TOTAL OF 100W OF EMERGENCY POWER	N/A	N/A	N/A	N/A	N/A	100
	SA	7	LITHONIA	WDGE3 LED P2 80CRI RFT 30K MVOLT SRM (FINISH)	WDGE3 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, FORWARD THROW OPTIC	LED - 3000K	WDGE3_LED_P2_70CR_L_RFT_30K.ies	7922	1	0.91	59.2761
	SB	3	LITHONIA	WDGE3 LED P2 80CRI R3 30K MVOLT SRM (FINISH)	WDGE3 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 3 OPTIC	LED - 3000K	WDGE3_LED_P2_70CR_L_R3_30K.ies	7851	1	0.91	59.2761
	SC	2	LITHONIA	WDGE1 LED P1 30K 80CRI VW MVOLT SRM DMG (FINISH)	WALL MOUNT WITH P1 PERFORMANCE PACKAGE WITH VISUAL WIDE OPTICS. PULL DIMMING WIRES TO CONNECT TO EVENLITE MIP100 FOR EMERGENCY LIGHTING	LED - 3000K	WDGE1_LED_P1_30K_80CRI_VW.ies	1163	1	0.91	10.0002
	SD	2	BROWNLE	7200 (FINISH) L16 30K	PENNY-OD SURFACE MOUNT. PULL DIMMING WIRES TO CONNECT TO EVENLITE MIP100 FOR EMERGENCY LIGHTING	LED - 3000K	7200-L16-35K.ies	1486	1	0.91	15.39
	SF	3	LITHONIA	WDGE3 LED P2 80CRI R2 30K MVOLT SRM (FINISH)	WDGE3 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 70CRI, TYPE 2 OPTIC	LED - 3000K	WDGE3_LED_P2_70CR_L_R2_30K.ies	7981	1	0.91	59.2761



IRKAA
ARCHITECTS
2333 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900
RAA.com



ELECTRICAL PHOTOMETRIC SITE PLAN

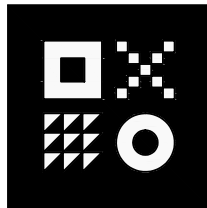
NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON A MONTHLY BASIS. THE PROJECT WILL BE CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.
GARRETT DEVELOPMENT CORPORATION
8800 EAST CANTERBURY ROAD, STE 100
SCOTTSDALE, AZ 85263
CONTACT: TINA BELTY
PHONE: 480.570.4825

**VENTANA SQUARE
SELF-STORAGE**
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM

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design by: DL
drawn by: DL
checked by: PC

E0.5
project #: 22116.00



**ARDEBILI
Engineering**

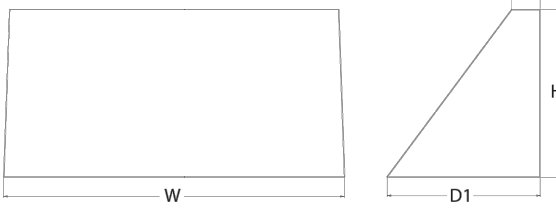
Project Number: 24539 | Project Manager: AV
7328 E Stetson Dr., Scottsdale, AZ 85261
P: 480.626.7072 | ardebilieng.com

WDGE3 LED Architectural Wall Sconce



Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs
(without options)



WDGE LED Family Overview

Luminaire	Standard EM, D/C	Cold EM, -20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	--	1,200	2,000	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000
WDGE3 LED	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--
WDGE4 LED	--	--	Standalone / nLight	--	12,000	16,000	18,000	20,000	25,000

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WDGE3 LED	P1	30K	3000K	70CRI	R2	Type 2	SRM	Surface mounting bracket
	P2	40K	4000K	80CRI	R3	Type 3	ICW	Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)
	P3	50K	5000K	--	R4	Type 4	--	--
	P4	--	--	BFT	Forward Throw	--	--	--

Options		Finish	
E1SWH	Emergency battery backup, Certified in CA Title 20 MAEDBS (15W, 5°C min)	DSBKD	Dark bronze
E2OWC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	DBLKD	Black
PE	Photozell, Button Type ¹	DNAXD	Natural aluminum
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ²	DSND	Sandstone
BCE	Bottom conduit entry for back box (P8BW), Total of 4 entry points.	DSBKD	Textured dark bronze
SPT10KV	10KV surge pack ²	DBLKD	Textured black
BAA	Buy American ³ Act Compliant	DNAXD	Textured natural aluminum
		DWNGD	Textured white
		DSSTXD	Textured sandstone

Standard Sensors/Controls	
P8H	Bi-Linear (10/35V) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
PIR8H	Bi-Linear (10/35V) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
PRTFC3V	Bi-Linear (10/35V) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.
PRTFC3V	Bi-Linear (10/35V) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.
Networked Sensors/Controls	
N1MR2 PIR	nLGP4P Wireless enabled bi-linear/motion/ambient sensor for 8-15' mounting heights.
N1MR2 PIR	nLGP4P Wireless enabled bi-linear/motion/ambient sensor for 15-30' mounting heights.
N1MR2 PIRB24	nLGH1P4P Wireless enabled, US/CA Listed motion/ambient sensor for 8-15' mounting heights ⁴ .
N1MR2 PIRB24Z	nLGH1P4P Wireless enabled, US/CA Listed motion/ambient sensor for 15-30' mounting heights ⁴ .

See page 4 for list of functionality

Accessories	NOTES
WDGEHWS100B0	WDGE 3000K Architectural Wall Sconce (specify finish)
WDGEHWS100B0	WDGE 3000K Architectural Wall Sconce (specify finish)

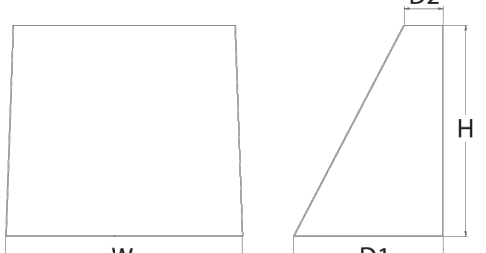
LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WDGE1 LED Rev. 11/16/23

WDGE1 LED Architectural Wall Sconce



Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
(without options)



WDGE LED Family Overview

Luminaire	Standard EM, D/C	Cold EM, -20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	--	1,200	2,000	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	--	12,000	16,000	18,000	20,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WDGE1 LED	P0	27K	2700K	80CRI	90CRI	VF	SRM	Surface mounting bracket
	P1	30K	3000K	90CRI	90CRI	VW	ICW	Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)
	P2	35K	3500K	--	--	--	--	--
	P3	40K	4000K	--	--	--	--	--

Options	Finish
E1SWH	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)
PE	Photozell, Button Type
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)
BCE	Bottom conduit entry for back box (P8BW), Total of 4 entry points.
BAA	Buy American ³ Act Compliant
DSLE	Dual Switching (2 Drivers, 2 Light Engines)

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WDGE1 LED Rev. 11/16/23

SA/SB/SF

Catalog Number	Notes	Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

EVENLITE LIVES DEPEND ON US

MIP

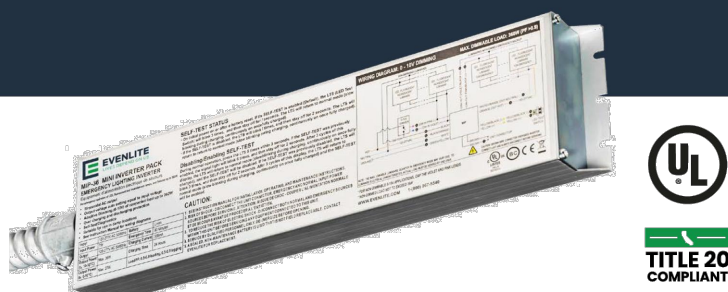
Mini Inverter Pack

The MIP is a refined, fully featured Emergency Lighting Inverter in a traditional compact power pack format for installation versatility—suitable for mounting within, on, or remotely. Available in both 36W and 100W models, the MIP can be wired for Switched, Normally-On, Normally-Off, or the groundbreaking Adaptive Dimming feature. This patented adaptive technology intelligently apportions the pack rating via 0-10V dimming of connected luminaires during emergency mode, ensuring optimal performance. Equipped with field-selectable Self-Test/Self-Diagnostics and automatic voltage select capabilities, the MIP is the ultimate choice for multi-luminaire setups or applications demanding high lumen outputs.

ELECTRICAL

- Pure Sine Wave AC pulse width modulated (PWM) output
- Automatic Voltage Input/Output select 120-277VA 50/60Hz
- Adaptive 0 – 10V dimming of connected loads
- Universal 120/277 VAC, 60Hz, Input/output
- Field Selectable Self-Test/Self-Diagnostics. Preprogrammed Scheduled Self-Test will occur after 24 hours and up to 7 days after initial power on. Monthly tests will occur every 30 days after initial power on.
- Annual tests will occur every 52 weeks after initial power on
- Supports Switched, Normally-ON, Normally-OFF or Adaptive Dimming input wiring
- Remote Mounting Distance of up to 1,000 ft
- Long Life, high capacity, maintenance-free lithium-ion battery provides required 90 minutes of emergency duration and environmentally friendly end of life recycling
- Over voltage, over current, inrush current limiting, over temperature, short circuit, and open circuit protections
- Zero current LVCO ensures positive charge acceptance following extended battery discharge
- Brownout sensing assures emergency illumination during periods of low line voltage
- Can be derated for FEMA 2 Hours emergency duration
- Efficiency Rating: 80% (MIP-36) & 84% (MIP-100)
- Rated current: 0.1A (MIP-36) & 0.4A @ 120V (MIP-100)
- Rated power: 7W (MIP-36) & 35W (MIP-100)
- Output Power: 36W (MIP-36) & 100W (MIP-100)
- Maximum Pass through: 360W (MIP-36) & 900W (MIP-100)
- Charging time: 24 hours (MIP-36) & 12 hours (MIP-100)
- Charging current: 0.34A (Max) (MIP-36) & 0.6A (MIP-100)
- Operating Temperature: 0-50C (32 – 122°F)

Project Name:	Approved By:
Catalog No:	Type No: MIP36



CONSTRUCTION

- Slim and versatile extruded aluminum housing
- 21" lead wires with 3/4" flexible metallic conduit
- Suitable for use in plenum, damp and dry locations or grounded damp location rated luminaires
- Multi-function LED and Test Switch

STATUS INDICATOR

- Single color (GREEN) LED lamp indicator shows the following status:
 - LTS Slow Blinking:** Normal Charging
 - LTS ON:** Battery Fully Charged
 - LTS OFF:** Power Failure
 - LTS Gradual Change:** In Testing Mode
 - LTS Quickly Blinking:** Abnormal Condition – Corrective Action Required

CERTIFICATION

- Tested and Listed by Underwriters Laboratories in compliance with UL924 and Canadian CSA-C22.2 No. 141-15
- UL924 listed for field installation
- California Title 20 Certified
- Meets or exceeds NFPA101 Life Safety Code, NFPA 70-NEC and OSHA requirements

WARRANTY

- 5 year limited warranty - view complete warranty terms online at www.evenlite.com/terms-warranty.

PENNY-OD OUTDOOR SURFACE

SD



7200 LED

The multifaceted Penny collection is comprised of both indoor (Penny-ID) and outdoor (Penny-OD) rated models. Full breakdown below.

Penny-ID Surface - Model #: 2100 | Penny-ID Pendant - Model #: 2700.
Penny-OD Surface - Model #: 7200 | Penny-OD Pendant - Model #: 7400.
Penny-OD Cantilever - Model #: 7205.

While minimal in terms of aesthetic, it is everything but minimal from an application standpoint. Penny is functional enough for corridor illumination, fun enough for cluster mounting in lobbies and common areas, and durable enough for outdoor environments. Penny can also be wiped down for use in healthcare settings.

FINISHES



PENNY-OD OUTDOOR SURFACE

STANDARD SPECIFICATIONS - OUTDOOR SURFACE MOUNT (7200)

HOUSING

High quality cast aluminum. No visible hardware when mounted. Closed cell foam gasket at rear of fixture to assist with mounting on moderately uneven surfaces.

DIFFUSER

UV stabilized frosted acrylic diffuser. Injection molded. Smooth uniform illumination.

LED PERFORMANCE - 3500K STANDARD

120-277V - 3500K, 62 CRI - L80 rating - 60,000 hrs - L70 rating (projected) - 100,000 hrs
Amperage rated @ 110V input
Operating ambient temperature: -20°C / -4°F - 40°C / 104°F

Delivered 3500K lumens noted. Consult Brownlee.com for performance of all CCTs.

14 Size: L16 - 16W nominal, 13 A input - 1490 lm, Dimmable (0-10V),
14 Size: L32 - 32W nominal, 26 A input - 2690 lm, Dimmable (0-10V),
14 Size: L52 - 52W nominal, 44 A input - 3945 lm, Dimmable (0-10V).

INDIRECT COMPONENT (OPTIONAL)

Dedicated indirect up light component available as an optional offering. Wired to same circuit as direct (down) light output and not independently controllable. Contact factory if independent control is required.

Refer to Options section of spec sheet to order.

UP1 - 16W nominal, 15 A input - 1600 lm (0-10V),
UP2 - 22W nominal, 20 A input - 2220 lm (0-10V).

MOUNTING

Fixture mounts directly to box (by others). Clearance holes (two) must be drilled into rear of housing for mounting. Hardware provided. NOTE: Suction cup (4-5" dia., with handle) required for proper installation of diffuser in outdoor environments. This is not included. Third party reference: <https://amazon.co.uk/dp/B000MgR>.

FINISH

Parts are prepared using a three step pre-treatment/sealing process, followed by a durable powder coat finish. Custom colors available, contact factory.

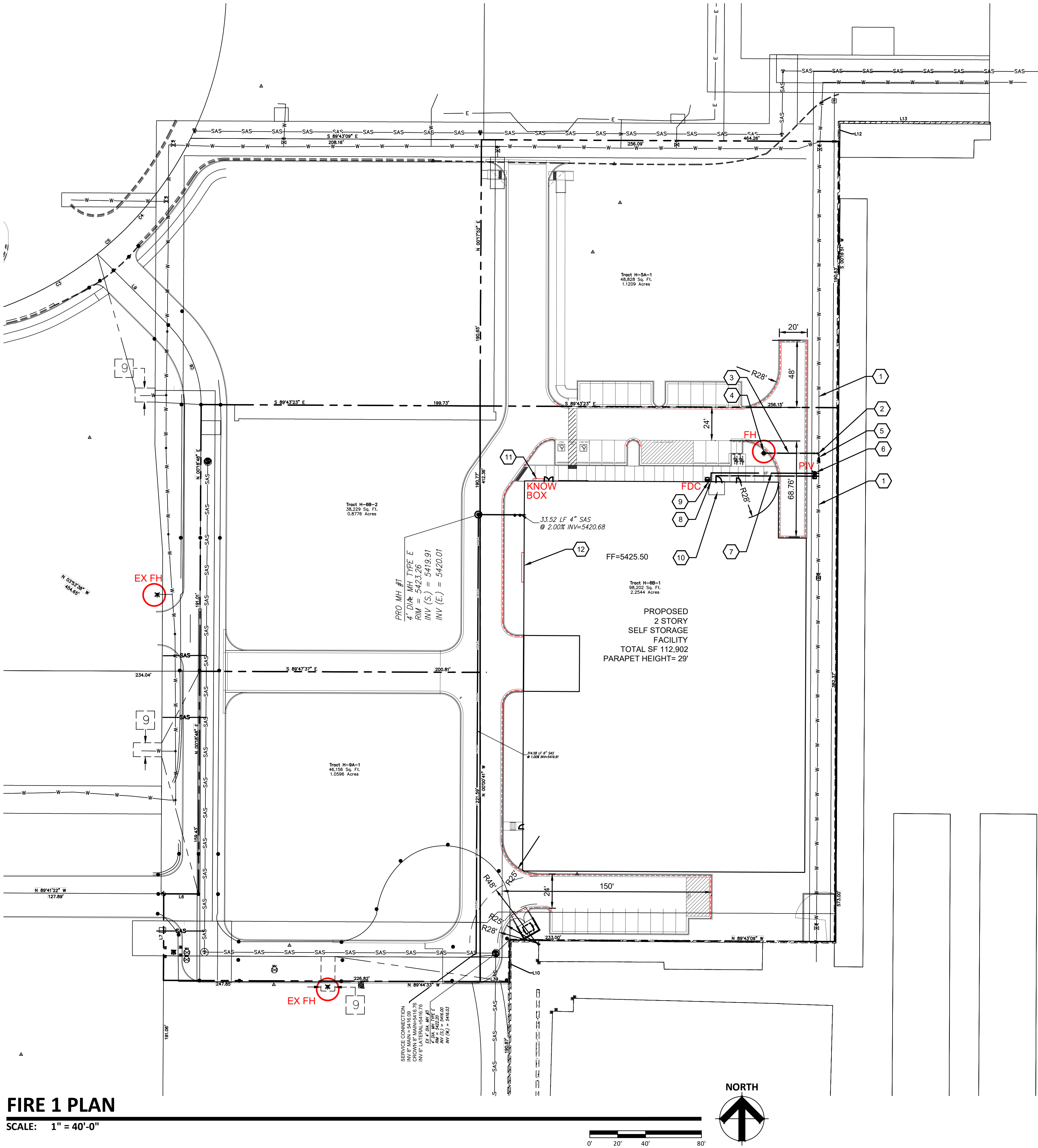
WARRANTY

5 year limited warranty on this LED product.

ORDERING INFORMATION

7200 - Model	2 -	3 -	4 -	5 -
2. FINISH	3. WATTAGE	4. COLOR TEMPERATURE	5. AVAILABLE OPTIONS	
BL Black (RAL 5024)	14 SIZE	35K 3500K standard color temperature	90R ¹ 90 CRI (30K & 35K only) MAY ADD TO LEAD TIME	
BZ Bronze	L16 16W L Series LED	30K 3000K color temperature	*Only applies to L Series direct output. Optional indirect component unavailable in 90 CRI.	
GN Pastel Green (RAL 6019)	L32 32W L Series LED	40K 4000K color temperature	AMF Antimicrobial Finish (BL, NT, WH only) (See AMF Note)	
MG Metallic Gold	L52 52W L Series LED	Note: Contact factory for 2700K color temperature. May require MOQ.	BAC ¹ Buy American Compliant (BAA)	
NT Nickel Tone			DTN ¹ Triac (Line Voltage) Dimming (120V)	
RD Red (RAL 3020)			FCL ¹ French Canadian Label	
TB Textured Black			UP1 Up Light (Indirect) Component - 16W / 1600 lm	
TG Textured Grey			UP2 Up Light (Indirect) Component - 22W / 2220 lm	
TW Textured White				
TZ Textured Bronze				
WH White				
YL Yellow (RAL 1018)				

Universal Footcandle (only applies if superscript is shown in Options section): (9) 90R - All LED CCTs are being transitioned to 90 CRI standard over 2023. Inquire for this month's availability. (1) BAC/BAA - www.buyamericancan.com. (2) BAC/BAA - cannot combine with BLD. (3) BZ - cannot combine with BLD. (4) BZ - cannot combine with BLD. (5) BZ - cannot combine with BLD. (6) BZ - cannot combine with BLD. (7) BZ - cannot combine with BLD. (8) BZ - cannot combine with BLD. (9) BZ - cannot combine with BLD. (10) BZ - cannot combine with BLD. (11) BZ - cannot combine with BLD. (12) BZ - cannot combine with BLD. (13) BZ - cannot combine with BLD. (14) BZ - cannot combine with BLD. (15) BZ - cannot combine with BLD. (16) BZ - cannot combine with BLD. (17) BZ - cannot combine with BLD. (18) BZ - cannot combine with BLD. (19) BZ - cannot combine with BLD. (20) BZ - cannot combine with BLD. (21) BZ - cannot combine with BLD. (22) BZ - cannot combine with BLD. (23) BZ - cannot combine with BLD. 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FIRE 1 PLAN
SCALE: 1" = 40'-0"



VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 12-05-2024 (100% CD PLANS)

FIRE 1

RKAA# 22116.00

GENERAL NOTES

- ALL FIRE LANES ARE A MINIMUM OF 20' WIDE.
- ALL FIRE LANES DESIGNED TO SUPPORT THE 75,000LB FIRE APPARATUS.
- ALL FIRE LANES WILL BE DESIGNED TO BE LESS THAN 10% LONGITUDINAL SLOPE.
- SECURITY GATES (BOTH PERSONNEL AND VEHICULAR) CAN BE CONTROLLED BY KEYS OR ACCESS CODES LOCATED WITHIN KNOX BOXES.
- PREMISE IDENTIFICATION WILL BE ADDED PER CITY OF ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS.
- ACCESS AND LOADING ZONES WILL BE IDENTIFIED IN THE FIELD PER DIRECTION FROM THE CITY OF CARLSBAD FIRE DEPARTMENT.
- VEHICLES OR OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 15' OF A FIRE HYDRANT OR 5' OF THE FDC.
- NO CHANGES ARE PROPOSED FOR ACCESS OR HYDRANT LOCATIONS.

KEYED NOTES

- EXISTING PUBLIC 8" PVC WATERLINE.
- 8"X8"X6" DI TEE, 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333.
- PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
- PRIVATE FIRE HYDRANT PER ABCWUA STD DWGS 2340 AND 2342.
- PUBLIC 8" GATE VALVE WITH VALVE BOX AND 8" DI TRANSITION COUPLING PER ABCWUA STD DWG 2301, 2326, AND 2328.
- 8"X8"X6" DI TEE, 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333. RESTRAIN ALL JOINT ON PRIVATE FIRE SUPPRESSION LINE. VALVE COVER TO READ "FIRE".
- 83.07' OF PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
- CONNECTION FIRE SUPPRESSION LINE TO BUILDING. SEE FIRE SUPPRESSION PLANS FOR CONTINUATION.
- WALL MOUNTED FIRE DEPARTMENT CONNECTION.
- FIRE RISER ROOM WITH ACCESS DOOR DIRECTLY THROUGH EXTERIOR WALL.
- KNOX BOX LOCATION.
- PREMISE ID LOCATION.

LEGEND

- PROPERTY LINE
- EASEMENT
- PAINTED CURB "FIRE LANE NO PARKING"

FIRE FLOW CALCULATIONS

PROPOSED BUILDING, OCCUPANCY CLASSIFICATION "S-2" SELF-STORAGE.

SELF STORAGE FACILITY
TOTAL SF 112,902SF, TWO STORY, SPRINKLERED, TYPE II-B.

TOTAL BUILDING AREA = 112,902SF, FIRE FLOW DEMAND = 1500GPM (MINIMUM PER TABLE B105.2)

INTERNATIONAL FIRE CODE 2021, APPENDIX B
FIRE FLOW PER IFC TABLE B105.1(2) IS 7,000 GPM

THEREFORE REQUIRED FIRE FLOW FOR SPRINKLERED BUILDING IS 1,750 GPM.
(UTILIZING THE REDUCTION PER TABLE B105.2)

INTERNATIONAL FIRE CODE 2021, APPENDIX C
SPACING AND NUMBER OF HYDRANTS FOR PROPOSAL BUILDING PER TABLE C102.1
MINIMUM NUMBER OF HYDRANTS = 1
AVERAGE SPACING BETWEEN HYDRANTS = 750' (FOOTNOTE F FOR 50% INCREASE)
MAXIMUM DISTANCE FROM ANY POINT ON FIRE LANE TO HYDRANT = 375' (FOOTNOTE F FOR 50% INCREASE)



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

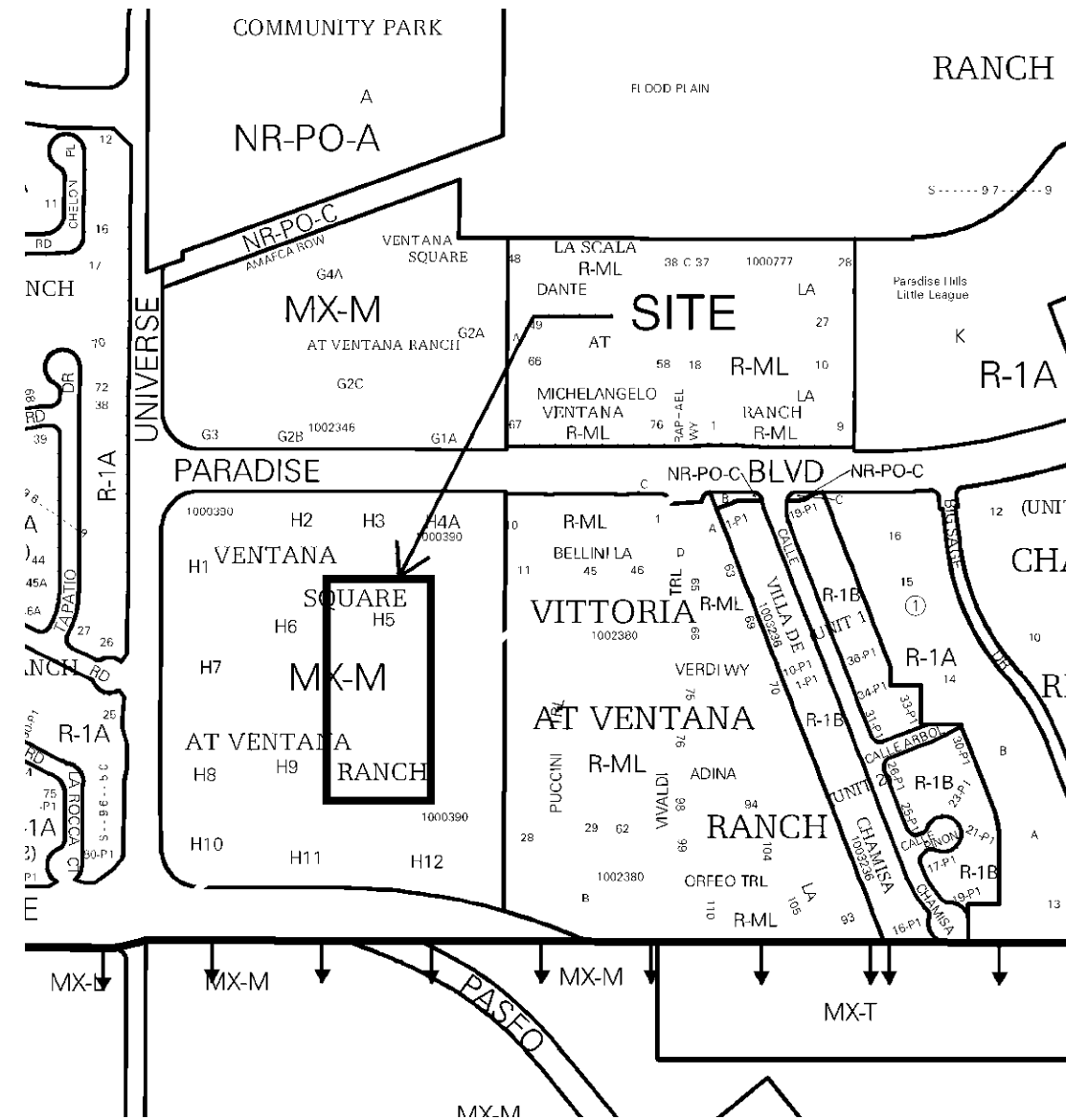
PERMIT

PERMIT NUMBER: FP-25-100112
APPROVED DATE: 03/18/2025

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

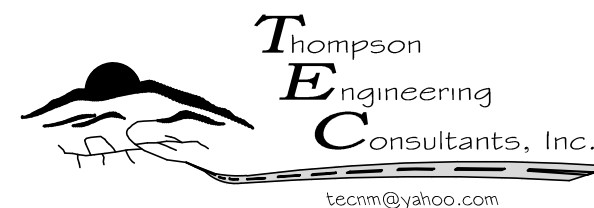
FIRE FLOW: 1750 GPM, 1 HYDRANT



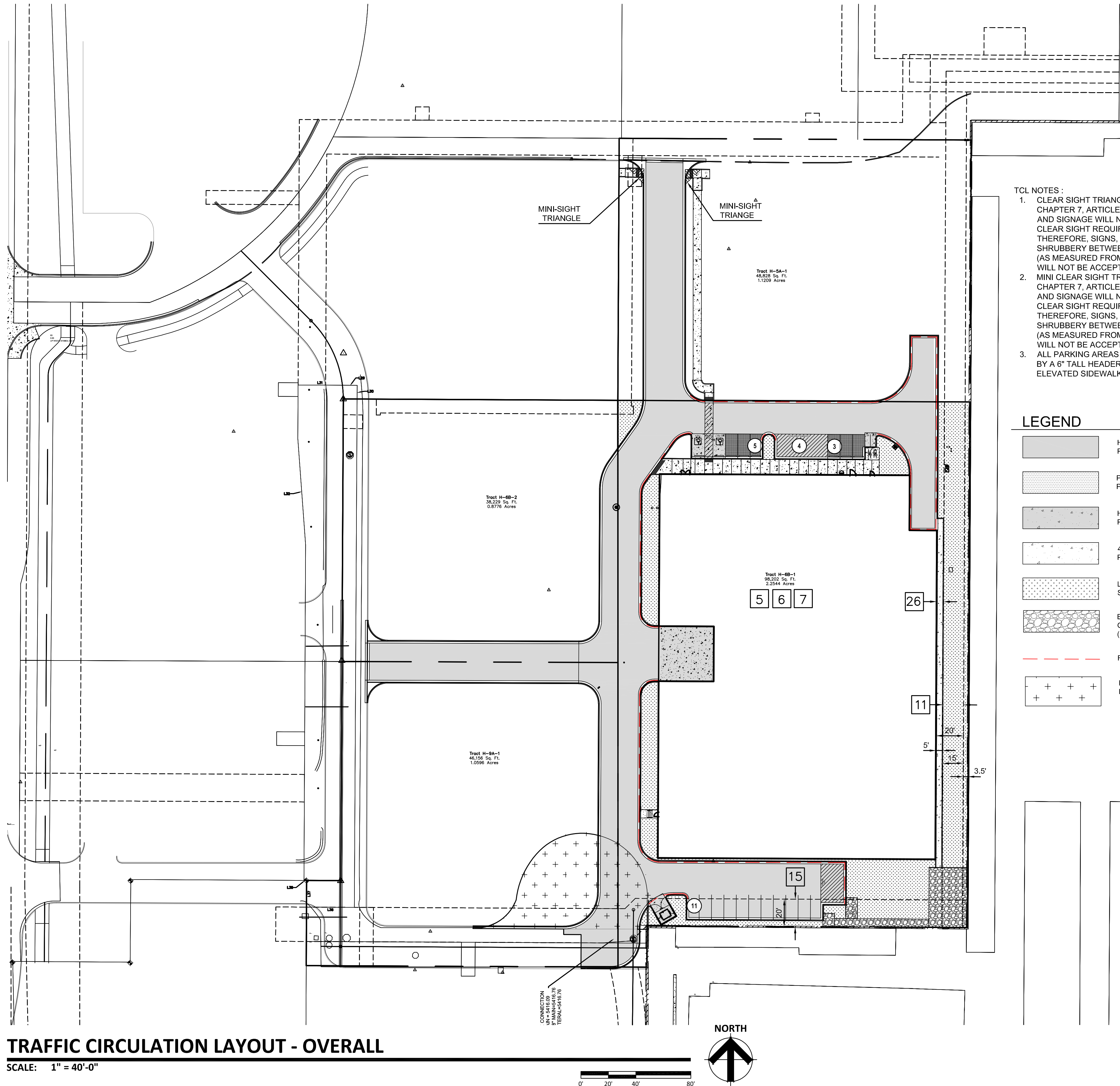
ZONE ATLAS PAGE B-10-Z

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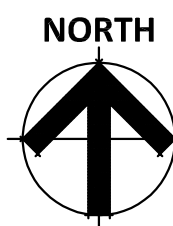
P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9248



TRAFFIC CIRCULATION LAYOUT - OVERALL

SCALE: 1" = 40'-0"

0' 20' 40' 80'



TCL NOTES :

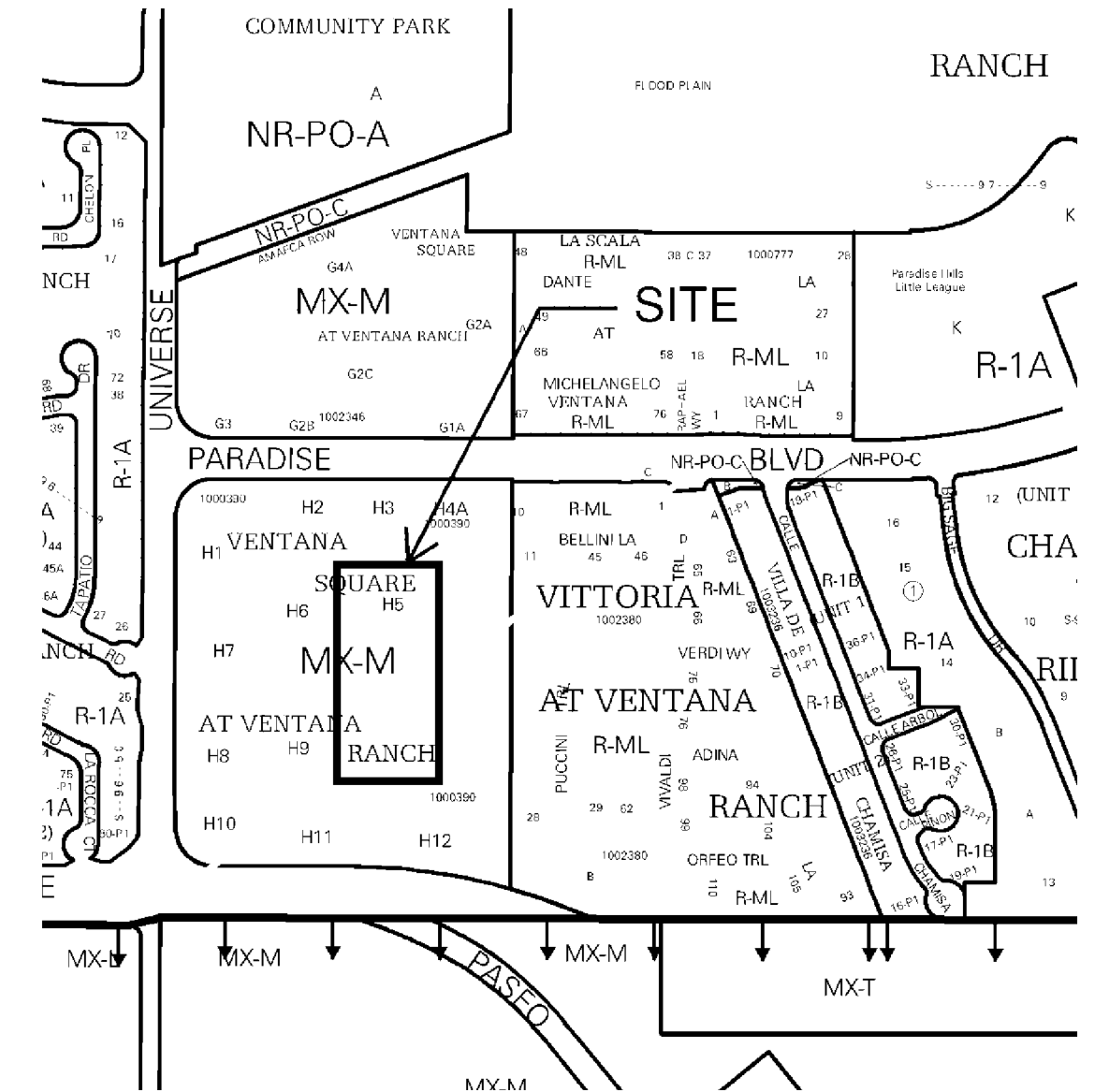
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
3. ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.

LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1/C-501
- PARKING LOT ASPHALT PER DETAIL D1/C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL A4/C-501
- LANDSCAPING AREA SEE LANDSCAPING PLANS
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET G&D-1 THRU G&D-3)
- FIRE LANE "NO PARKING"
- PAVEMENT TO BE REMOVED

Easement Notes

- 5 EXISTING NONEXCLUSIVE PERPETUAL DRAINAGE EASEMENT AND PUBLIC UTILITIES EASEMENT, BLANKET IN NATURE OVER COMMON AREAS (03/04/2003, 2003C-50) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 6 EXISTING NONEXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, BLANKET IN NATURE ACROSS THAT PORTION OF THE COMMON AREAS (03/04/2003, 2003C-50) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 7 EXISTING NON-EXCLUSIVE PERPETUAL EASEMENT ACROSS THE COMMON AREAS FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF FREE STANDING SIGNS (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 11 EXISTING 15' WATERLINE EASEMENT (7/30/2002, BK. A39, PG. 52201, DOC. NO. 2002095491) (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- 26 ADDITIONAL 5' PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.



ZONE ATLAS PAGE B-10-Z

NOT TO SCALE

TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 7/16/2025

Signed

Date

PROJECT TABULATED PARKING COUNTS

PROPOSED USE: 2-STORY BUILDING FOR SELF-STORAGE USES AS IS

CONDITIONALLY ALLOWED IN THE MX-M ZONE (APPROVED BY THE ZHE, VA-2022-00127 AND VA-2022-00128). FACILITY SHALL COMPLY WITH USE SPECIFIC STANDARDS IDO SECTION 4-3(D) (29).

STORAGE BUILDING PARCEL AREA: 97,966 S.F. (2.25 ACRES)
STORAGE BUILDING AREA (TWO STORIES): 111,250 S.F.
STORAGE BUILDING FOOTPRINT AREA: 55,625 S.F.

PARKING REQUIRED:
OFFICE: 3.5 SPACE PER 800 S.F. 3 SPACES
SELF-STORAGE: 1 SPACE PER 3000 S.F. 37 SPACES
TOTAL PARKING REQUIRED 40 SPACES

PARKING PROVIDED: 23 SPACES

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

ADA ACCESSIBLE SPACES REQUIRED: 1 SPACES
ADA ACCESSIBLE SPACES PROVIDED: 2 SPACES

PARKING DETERMINED BY PARKING ANALYSIS APPROVED BY CITY OF ALBUQUERQUE ON JULY 7, 2025.

TRAFFIC CIRCULATION LAYOUT

TCL-1

RKAA# 22116.00

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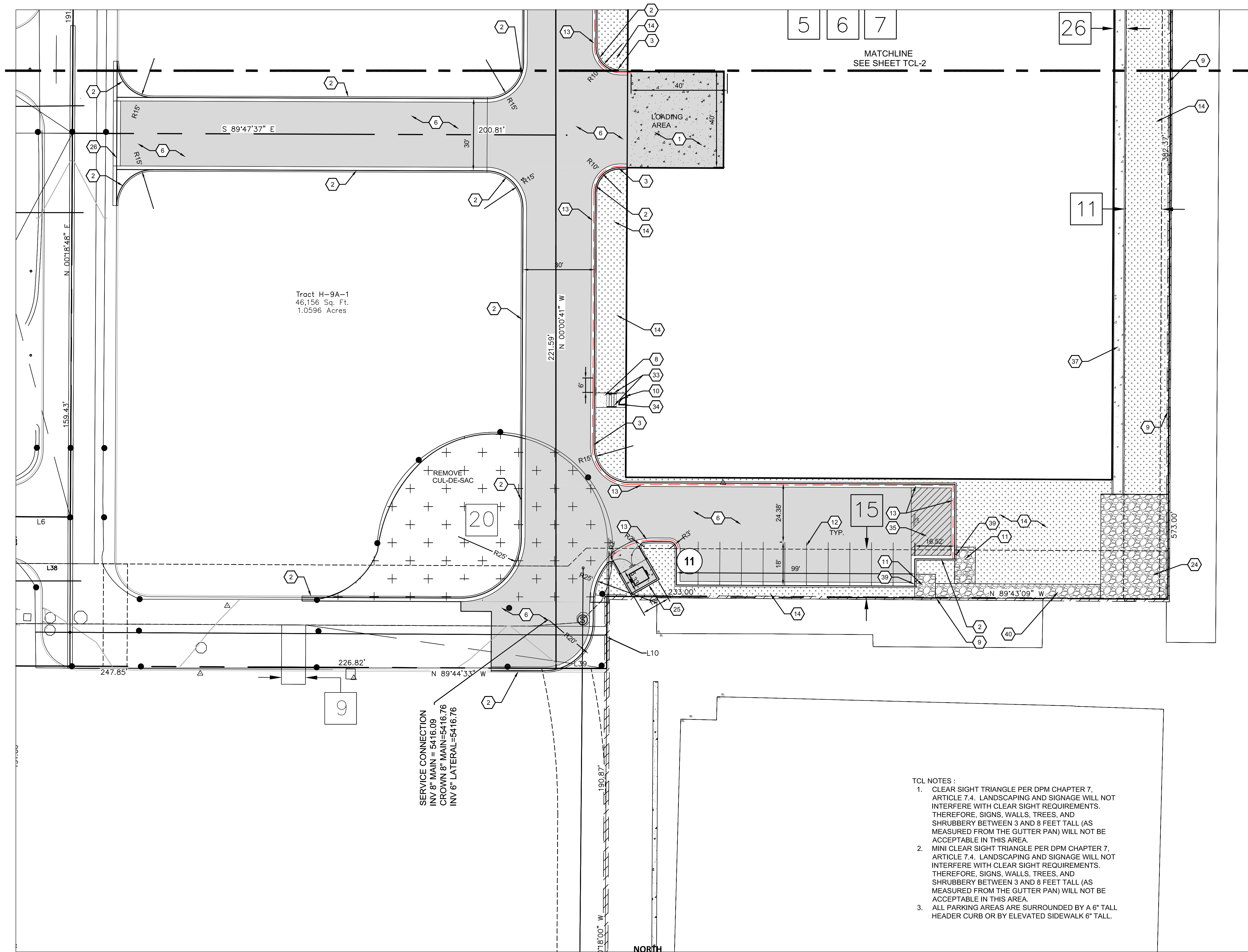
RKAA
ARCHITECTS, INC.

VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114

DATE: 07-03-2025 (100% CD PLANS)

7-8-25



TRAFFIC CIRCULATION
LAYOUT APPROVED
Sertil A. Kanbar 7/16/2025
Signed _____ Date _____

GENERAL NOTES

- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- SEE SHEET C6001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
- TRAFFIC CIRCULATION LAYOUT KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- REFER TO PLAT FOR EASEMENT DEFINITIONS.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- SEE SHEET TCL-1 FOR EASEMENT INFORMATION.

KEYED NOTES

- CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
- RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
- 6" HEADER CURB PER DETAIL A5/C-501.
- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL E1/C-501.
- CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
- CONCRETE SIDEWALK PER DETAIL A4/C-501.
- EXISTING BLOCK WALL TO REMAIN.
- CONCRETE STOOP PER DETAIL D1/C-501.
- RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- SEE LANDSCAPING PLANS FOR DETAILS.
- 6" CONCRETE BOLLARDS AT REFUSE CONTAINER.
- CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
- RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
- 12" TALL WHITE LETTERS.
- UNLOADING ZONE PER DETAIL A3/C-502.
- VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
- RESERVED PARKING SIGN PER DETAIL E6/C-502.
- ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
- PARKING BLOCK PER DETAIL F2/C-501.
- RIPRAP RUNDOWN TO EXISTING OPENING IN SCREEN WALL TO THE SOUTH PER DETAIL D3/C-501.
- REFUSE ENCLOSURE.
- CONCRETE VALLEY GUTTER PER E5/C-501 AND COA STD DWG 2420.
- CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
- 12" TALL LETTERS FOR MOTORCYCLES "MC".
- RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- BIKE RACK PER DETAIL E2/C-501, 4" SPACING BETWEEN HOOPS.
- DETECTABLE WARNING SURFACE PER DETAIL A5/C-502.
- RUNDOWN GUTTER PER DETAIL A5/C-501.
- METAL HANDRAIL PER DETAIL C2/C-501.
- CONCRETE STAIR PER DETAIL B3/C-501.
- STRIPED NO PARKING ZONE.
- PARKING LOT ASPHALT PAVEMENT PER DETAIL E1/C-501.
- 48" WIDE CONCRETE RUNDOWN PER DETAIL D4/C-501.
- 8.5" WIDE OPENING IN CURB TO ALLOW WATER INTO CONCRETE RUNDOWN.
- 2" WIDE OPENING IN CURB FOR DRAINAGE.
- RIPRAP SWALE. SEE SHEET G&D 3 AND D3/C-501.

LEGEND

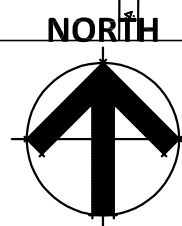
- | | |
|--|---|
| | HEAVY DUTY ASPHALT
PER DETAIL D1/C-501 |
| | PARKING LOT ASPHALT
PER DETAIL D1/C-501 |
| | HEAVY DUTY CONCRETE
PAVEMENT PER DETAIL D4/C-501 |
| | 4" THICK CONCRETE SIDEWALK
PER DETAIL A4/C-501 |
| | LANDSCAPING AREA
SEE LANDSCAPING PLANS |
| | EROSION PROTECTION. SEE
GRADING AND DRAINAGE PLANS
(SHEET G&D-1 THRU G&D-3) |
| | FIRE LANE "NO PARKING" |
| | PAVEMENT TO BE
REMOVED |

TCL NOTES :

- CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
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TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 20'-0"



VENTANA SQUARE SELF-STORAGE

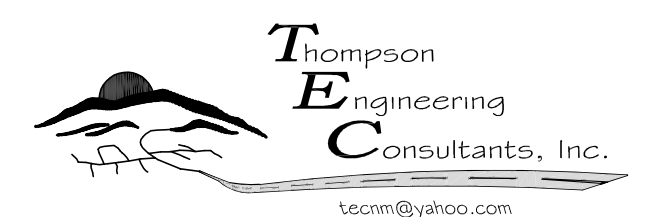
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114

DATE: 07-03-2025 (100% CD PLANS)

TCL-3

RKAA# 22116.00

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SITE PLAN_PR-2020-004024_SP-20Approved_09.17.2025_v1_FullSet 1

Final Audit Report

2025-10-08

Created:	2025-10-02
By:	Jacob Boylan (jboylan@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAvh2xQRlogNvln6mcsAfhSRPe4gUP-Okz

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