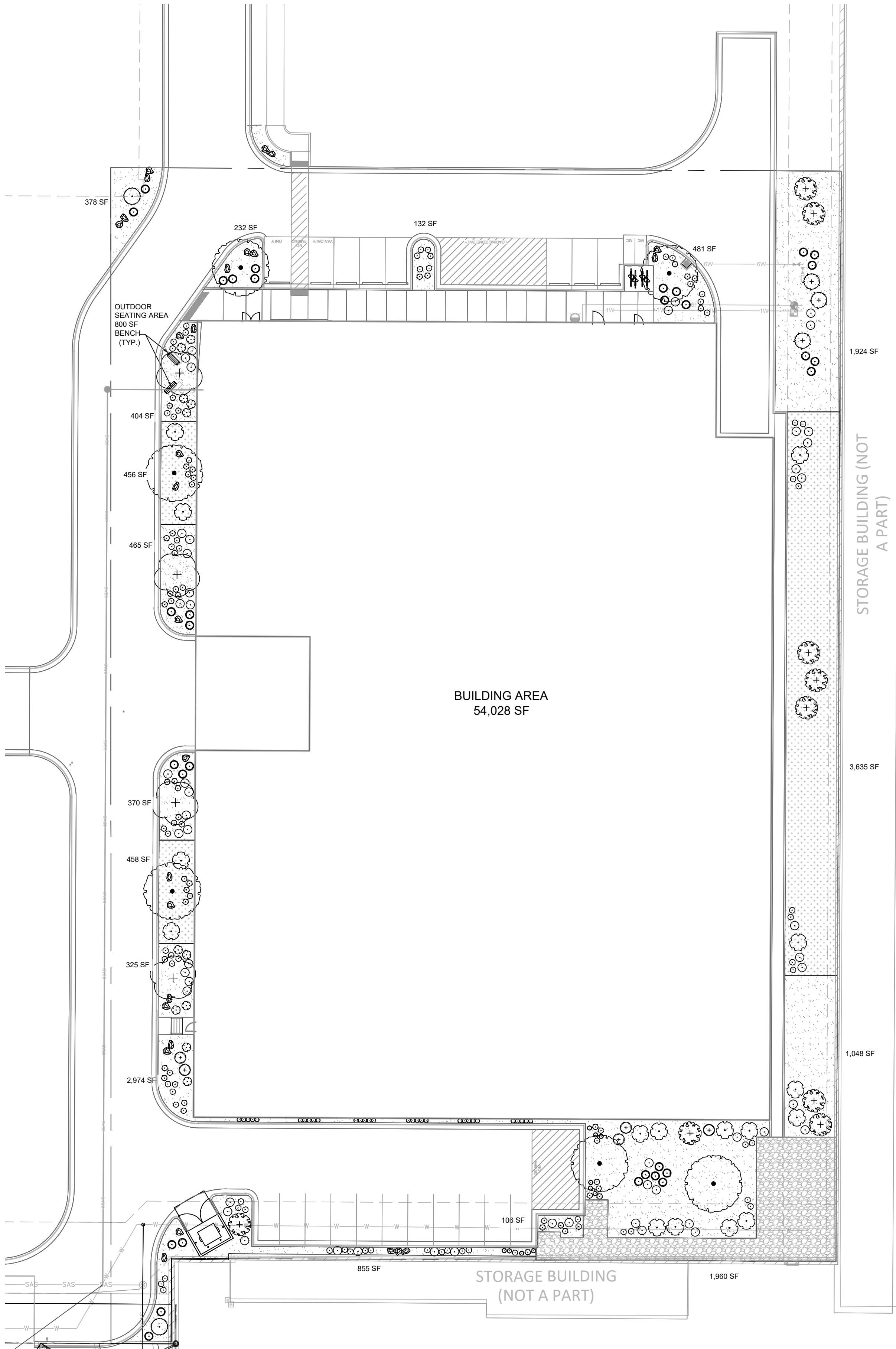




LANDSCAPE CALCULATIONS

GENERAL LANDSCAPE (5-6-C)

MINIMUM LANDSCAPE AREA IDO 5-6(C)(2)	
TOTAL SITE AREA (2.25 AC.):	98,202 SF
DEVELOPED AREA:	- 54,028 SF
BUILDING AREA:	42,457 SF
NET AREA	6,369 (15%) / 16,204 SF (38%) (COMPLIANT)
REQUIRED / PROVIDED LANDSCAPE	

COVERAGE: IDO 5-6(C)(2)(c)
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	4,776 SF (75%) / 4,784 (75%) (COMPLIANT)
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	1,194 SF (25%) / 2,192 (46%) (COMPLIANT)

PARKING LOT INTERIOR, TREE REQUIREMENTS 5-6(F)(2)
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.
PARKING LOT SPACES PROVIDED 23
REQUIRED/PROVIDED PARKING LOT TREES: 2/3 (COMPLIANT)

PARKING LOT AREA
AT LEAST 10% OF THE PARKING LOT AREA CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.
TOTAL PARKING LOT AREA: 10,046 SF
REQUIRED/PROVIDED LANDSCAPE AREA: 1,005 SF (10%) / 2,134 (21%) (COMPLIANT)

TURF GRASS AREAS (NO TURF GRASS IS PROVIDED)

ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING EDGE.

STREET TREES (NON APPLICABLE)

STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C.
LANDSCAPE SHALL APPLY PURSUANT TO IDO 5-6 LANDSCAPE BUFFERING AND SCREENING.

GRAVEL MULCH COVERAGE
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA, OR 50 PERCENT INDT-UC-MS AREAS

REQUIRED:	GRVL 12,153 SF (no more than 75%) / NON GRVL 2,431 SF (more than 25%)
PROVIDED:	GRVL 11,654 SF (72%) / NON GRVL 4,549 SF (28%) (COMPLIANT)

ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

GENERAL LANDSCAPE NOTES

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING, PURSUANT OF IDO 5-6(C)(14)(C).THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' DIAMETER CIRCLE.

IDO STANDARDS
PLANTING SHALL BE FIELD ADJUSTED TO COMPLY WITH THE FOLLOWING REGULATIONS:

CLEARANCE
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

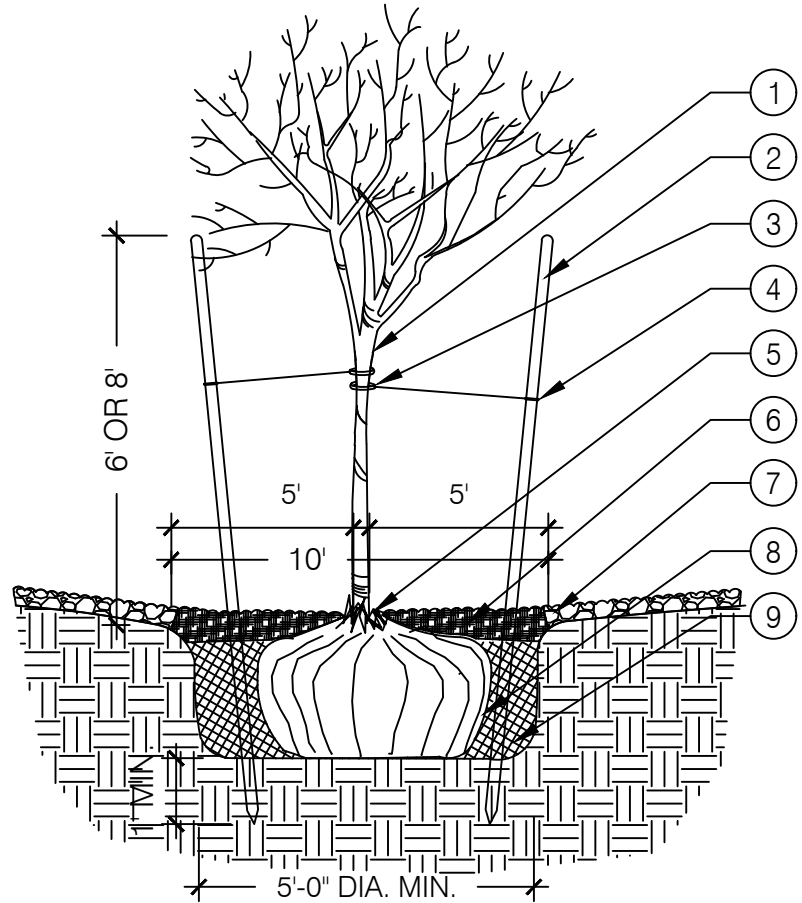
PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
	6	Crataegus phaenopyrum / Washington Hawthorn	2.5" Cal.	20' X 20'	Medium
	4	Forestiera pubescens / New Mexico Olive	2.5" Cal.	15' x 15'	Medium
SHRUBS					
	9	Amelanchier utahensis / Serviceberry	2 gal.	8' x 8'	Medium
	65	Cerastium tomentosum / Snow In Summer	1 gal.	8" x 2'	Medium
	16	Cotoneaster divaricatus / Spreading Cotoneaster	1 gal.	3' x 6'	Medium
	52	Euphorbia myrsinites / Myrtle Spurge	1 gal.	1' x 2'	Low
	11	Lavandula angustifolia / English Lavender	1 gal.	3' x 3'	Medium
	40	Linum perenne / Blue Flax	1 gal.	18" X 18"	Medium
	3	Ribes aureum / Golden Currant	1 gal.	6' x 6'	Medium
GRASSES					
	5	Nolina texana / Beargrass	5 gal.	4' x 4'	Low
	51	Panicum virgatum / Switch Grass	5 gal.	4' X 3'	Medium
DESERT ACCENTS					
	2	Agave americana / Century Plant	5 gal.	6' x 6'	RW
	32	Hesperaloe parviflora / Red Yucca	1 gal.	5' X 3'	RW

LANDSCAPE MATERIALS

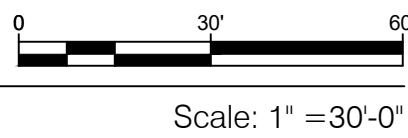
4,549 SF		WALK-ON WOOD MULCH BY BARELAS LANDSCAPING MATERIALS (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
9,694 SF		2"-4" BUILDOLGY BROWN COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
1,960 SF		4"-6" GRAY RIP RAP STONE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
28		3' X 3' LARGE BOULDER
2		BENCH

1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



1 TREE PLANTING

SCALE: N.T.S.



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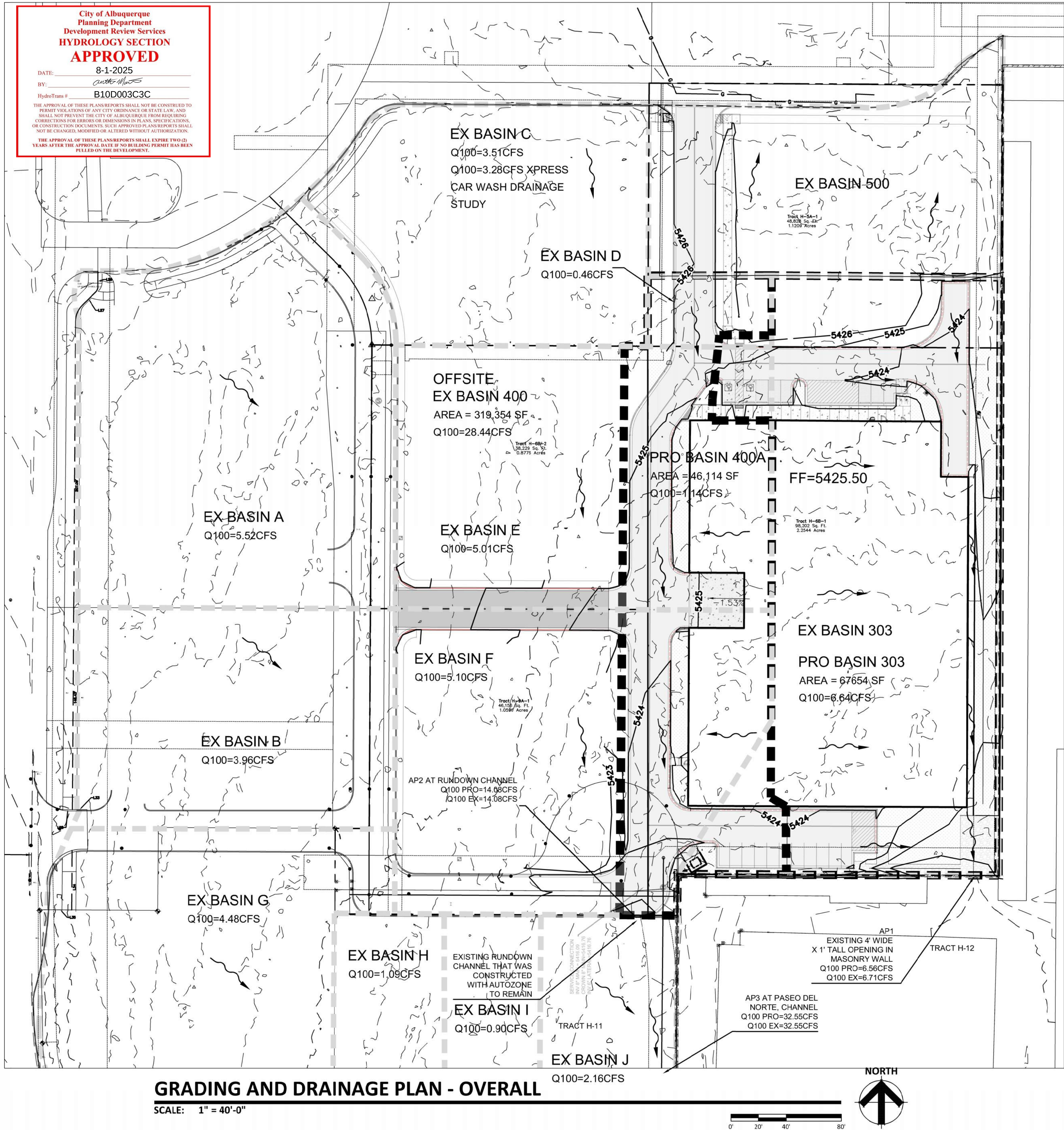


NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE COMMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT OR TO MAKE ALTERNATE BILLING OR ESTIMATES CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DISCRIPTION OF SUCH DISCRIPTIONS BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.
GARRETT DEVELOPMENT CORPORATION
6800 EAST CANNONBALL ROAD, STE 100
3007 DUBLIN, AL 36828
CONTACT: TINA KELTY
PHONE: 404-570-4625

VENTANA SQUARE
SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM
DFT SUBMITTAL

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Albuquerque, NM 87102
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design by: AB
drawn by: AB
checked by: KR
LANDSCAPE PLAN
LS 101



I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR THE PROPOSED VENTANA SQUARE SELF-STORAGE PROJECT. THE NEW BUILDING IS LOCATED AT THE NORTH EAST CORNER OF PASEO DEL NORTE AND UNIVERSE BOULEVARD IN NORTHWEST ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS B-10-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH EAST CORNER OF PASEO DEL NORTE NW, AND UNIVERSE BOULEVARD NW IN THE VENTANA SQUARE DEVELOPMENT. THE SITE IS CURRENTLY VACANT. PROPERTIES TO THE EAST AND SOUTH HAVE BEEN DEVELOPED AND CONTAIN SELF STORAGE UNITS. A SHARED STORMWATER POND HAS BEEN CONSTRUCTED TO THE SOUTH EAST OF VENTANA SQUARE ALONG PASEO DEL NORTE. THE POND HAS BEEN SIZED TO ACCEPT RUNOFF FROM THE PROJECT SITE, INCLUDING WATER QUALITY VOLUMES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-24HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1 (WEST OF RIO GRANDE).

V. EXISTING DRAINAGE CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. THE SITE TO THE EAST AND SOUTH IS FULLY DEVELOPED AS A SELF STORAGE FACILITY. RUNOFF FROM THIS SITE UNDER THE PRIOR DRAINAGE PLAN (DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020, PREPARED BY THIS OFFICE) ALLOWS FOR 6.71CFS TO BE DISCHARGED AT THE SOUTHEAST CORNER OF THE PROJECT SITE. THIS RUNOFF WILL PASS THROUGH THE ADJACENT DEVELOPMENT TO REACH THE WATER QUALITY AND RETENTION POND ALONG PASEO DEL NORTE.

THE DRAINAGE MASTERPLAN IDENTIFIED A RIDGELINE WITHIN THE PARCEL TO THE NORTH. THE PROJECT SITE WILL ALLOW FROM BASIN 500 TO ENTER AND PASS THROUGH THE PROJECT SITE. THE PARCEL TO THE WEST DRAINS SOUTH AND WILL JOIN RUNOFF WITH OTHER PARCELS AS PART OF A 8.39 ACRE DRAINAGE BASIN. THE PEAK FLOW RATE FROM BASIN 400 IS 32.55CFS. BASIN 400 WILL ALSO DRAIN TO THE RETENTION POND ALONG PASEO DEL NORTE.

THE EXISTING BASIN MAP ALSO INCLUDES THE REFINED SUB-BASINS FROM A PRIOR DRAINAGE STUDY FROM 2021. BASIN WITH LETTERS ARE DERIVED FROM THAT STUDY. THE SUMMATION OF THE LETTERED SUB-BASIN EQUAL THE MASTERPLANNED DRAINAGE BASIN #400.

PASEO DEL NORTE CONTAINS STORMWATER COLLECTION AND CONVEYANCE CHANNELS AND PIPING THAT DISCHARGE INTO THE LARGE STORMWATER RETENTION POND. AS MENTIONED IN THE SITE DESCRIPTION AND HISTORY PORTION, THE DRAINAGE MASTER PLAN FOR VENTANA SQUARE REQUIRES THAT THE FLOW RATE OFF THE SITE MATCH THE 6.71CFS AND 32.55CFS RESPECTIVELY.

VI. PROPOSED DRAINAGE CONDITIONS

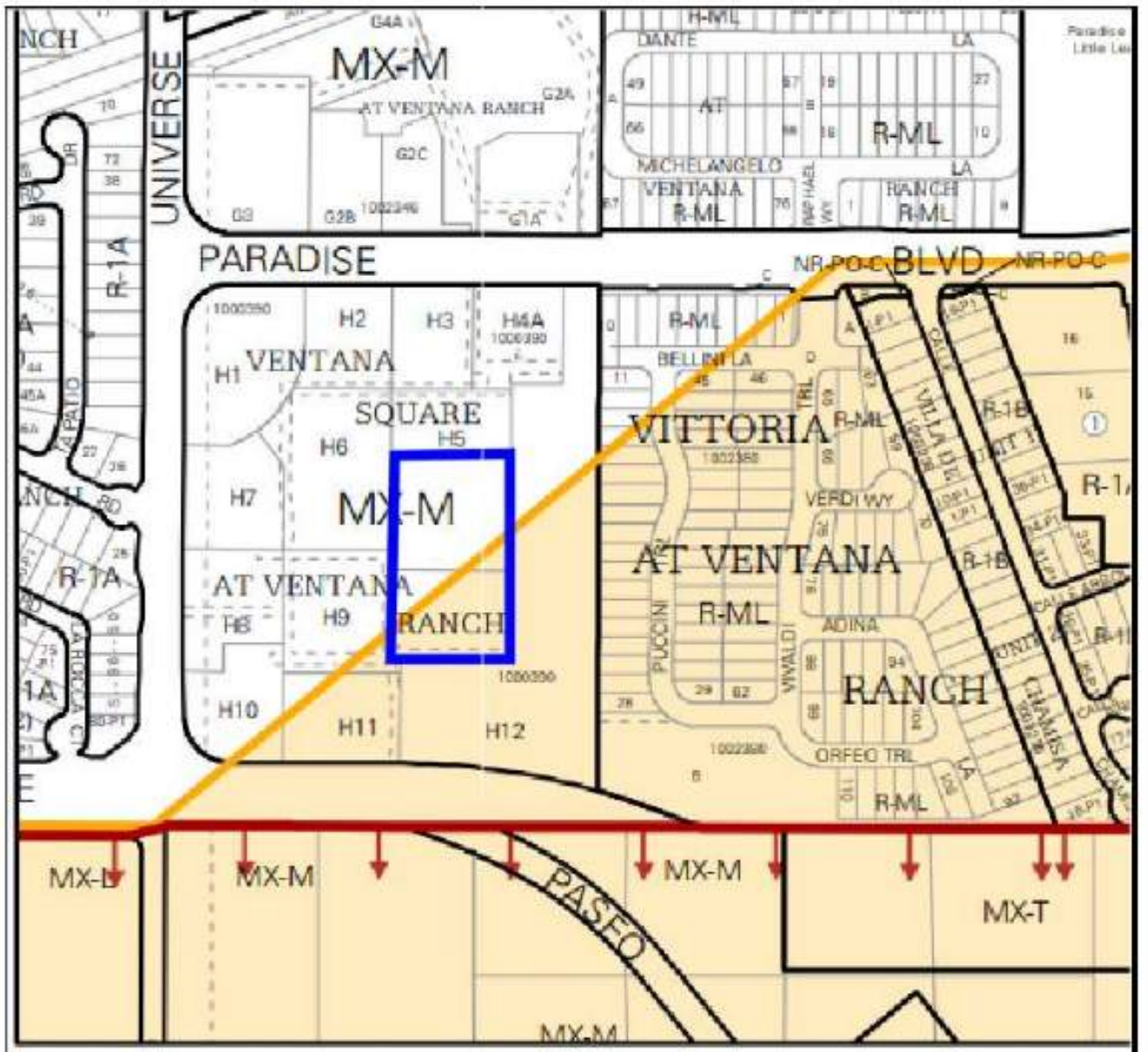
THE NEW BUILDING WILL BE 45,632SF FOOTPRINT, TWO STORY SELF STORAGE BUILDING. THE ROOF WILL HAVE A CENTER RIDGE AND WILL SLOPE BOTH EAST AND WEST. ROOF DOWNSPOUTS WILL CONVEY RUNOFF TO THE GROUND, WHERE SPLASH BLOCKS AND RIPRAP RUNDOWNS WILL CONVEY RUNOFF TO THE SURROUNDING STREET NETWORK OR CONCRETE RUNDOWN CHANNEL. THE ROOF RIDGE IS SLIGHTLY ALTERED FROM THE MASTERPLAN FOR BASIN 303 AND ADDITIONAL PARKING RUNOFF HAS BEEN ADDED TO THE BASIN TO MAINTAIN A SIMILAR FLOWRATE. FLOWRATE AT THE SOUTHEAST CORNER IS REDUCED BY 0.15CFS AT ANALYSIS POINT AP1.

THE WESTERN PART OF THE SITE HAS BEEN IDENTIFIED AT SUB-BASIN PRO BASIN 400A. PRO BASIN 400A GENERATES A PEAK RUNOFF OF 4.11CFS. PRO BASIN 400A WHEN COMBINED WITH OFFSITE PRO BASIN 400 FROM THE PRIOR DRAINAGE STUDY THAT CONTAINS THE REMAINING 28.44 CFS (WILL EQUAL THE DEFINED FLOW RATE OF 32.55CFS). THE LANDSCAPING PERCENTAGE IS SLIGHTLY HIGHER THAN UTILIZED IN THE PRIOR DRAINAGE MASTERPLAN. CONSERVATIVE VALUES FOLLOWING THE MASTER DRAINAGE PLAN HAVE BEEN USED, 7.5% FOR TYPE B AND TYPE C SOILS, AS THIS IS A SUBBASIN WITHIN THE 8.39 ACRE BASIN 400.

THE DISCHARGE RATE AT THE ENTRANCE OF THE CHANNEL (AP2) ON THE EAST SIDE OF AUTOZONE WILL REMAIN AS PREVIOUSLY DESIGNED AT 14.08 CFS. THE DISCHARGE RATE AT ANALYSIS POINT 3 (AP3) REMAINS THE SAME AS THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020 AT 32.55CFS AT THE SOUTH WEST CORNER OF TRACT H-11 WHERE RUNOFF ENTERS THE CONCRETE CHANNEL THAT CONVEYS RUNOFF TO THE DETENTION POND. WATER QUALITY VOLUMES WERE COMPUTED FOR 85% IMPERVIOUS FOR THE 98,202SF LOT ARE 2.365CF. THE SITE DOES NOT CONTAIN A LOCATION FOR RETENTION OF THE WATER QUALITY VOLUME. PER THE "DRAINAGE REPORT FOR VENTANA SQUARE" DATED DECEMBER 2020 THE ADJACENT POND ALONG PASEO DEL NORTE DOES CONTAIN SUFFICIENT VOLUME TO CONTAIN AND INFILTRATE THE 2.365CF OF RUNOFF TO SATISFY THE WATER QUALITY REQUIREMENTS. PER THE 2020 REPORT THE FULL BUILD OUT DEPTH WILL BE 0.80' DEEP IN THE SHARED RETENTION POND.

VII. CONCLUSIONS

THIS DRAINAGE STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020. RUNOFF FROM THE PROJECT SITE WILL DRAIN OUT AT ANALYSIS POINTS AP1 AND AP2 AT THE OR SLIGHTLY REDUCED FROM THE PRIOR STUDY. NO CHANGES ARE REQUIRED TO DOWNSTREAM USERS, AS THIS PROJECT WILL NOT CAUSE AN INCREASE IN FLOWRATE, WATER QUALITY VOLUME OR EXCESS RUNOFF VOLUME FROM THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020.



ZONE ATLAS PAGE B-10Z

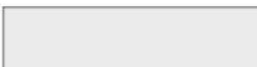
NOT TO SCALE



FEMA FLOOD ZONE MAP 35001C0103H

NOT TO SCALE

MATERIAL LEGEND

	HEAVY DUTY ASPHALT
	HEAVY DUTY CONCRETE PAVEMENT
	4" THICK CONCRETE SIDEWALK
	EROSION PROTECTION, PER DETAIL ON SHEET G&D3
	LANDSCAPING AREA.

LINEWORK LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	DRAINAGE BASIN DEFINITION FROM MASTER DRAINAGE PLAN
	PROPOSED BASIN DEFINITION LINE

GRADING AND DRAINAGE PLAN

VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD

ALBUQUERQUE, NM 87114

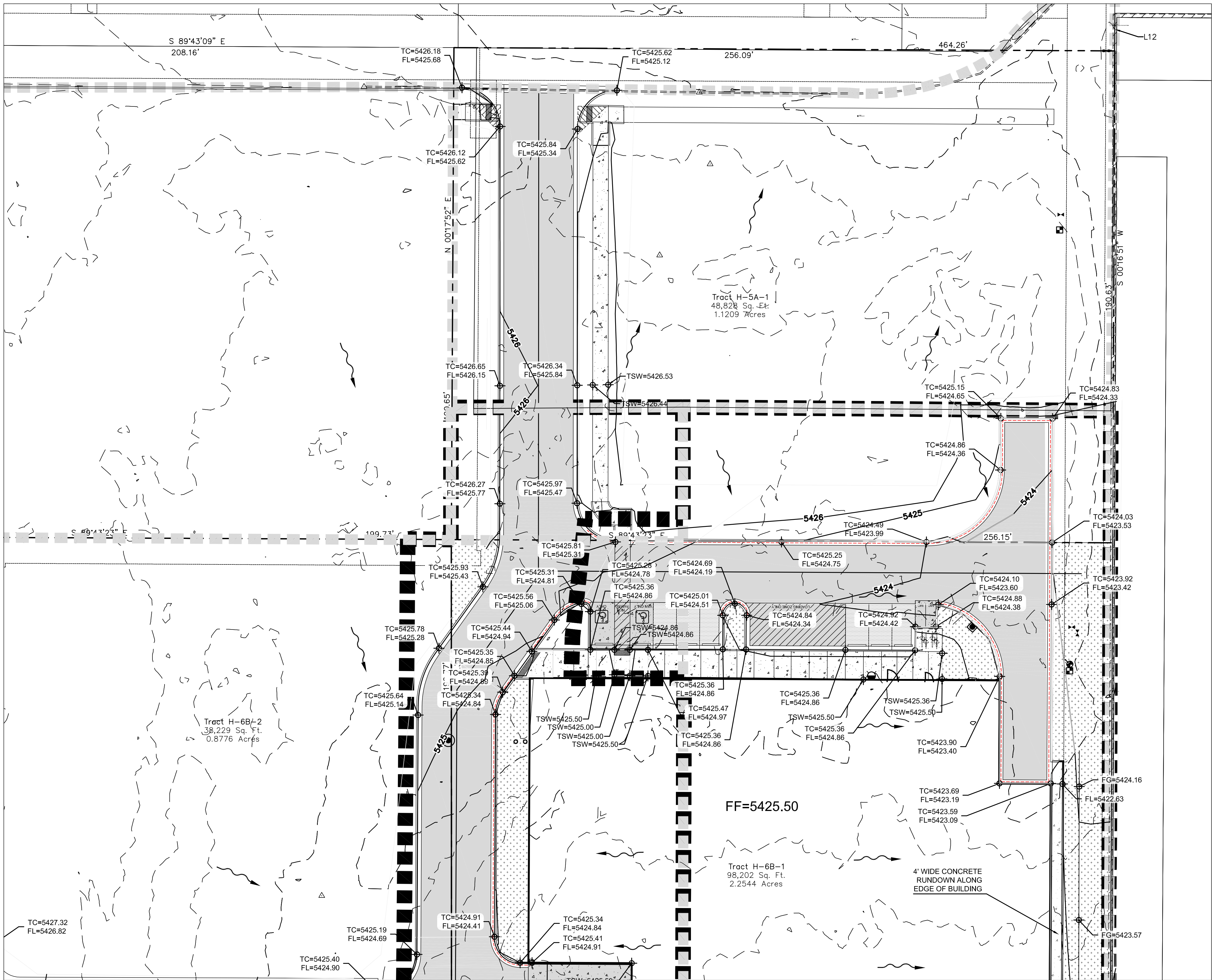
DATE: 07-03-2025 (100% CD PLANS)

G&D 1

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GRADING AND DRAINAGE PLAN - ENLARGED

SCALE: 1" = 20'-0"



VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 07-03-2025 (100% CD PLANS)

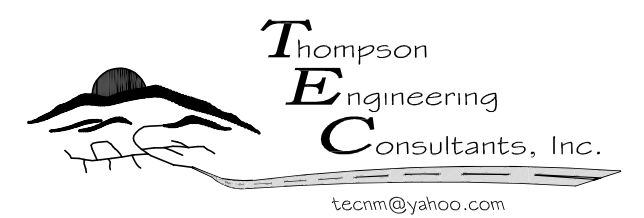


G&D 2

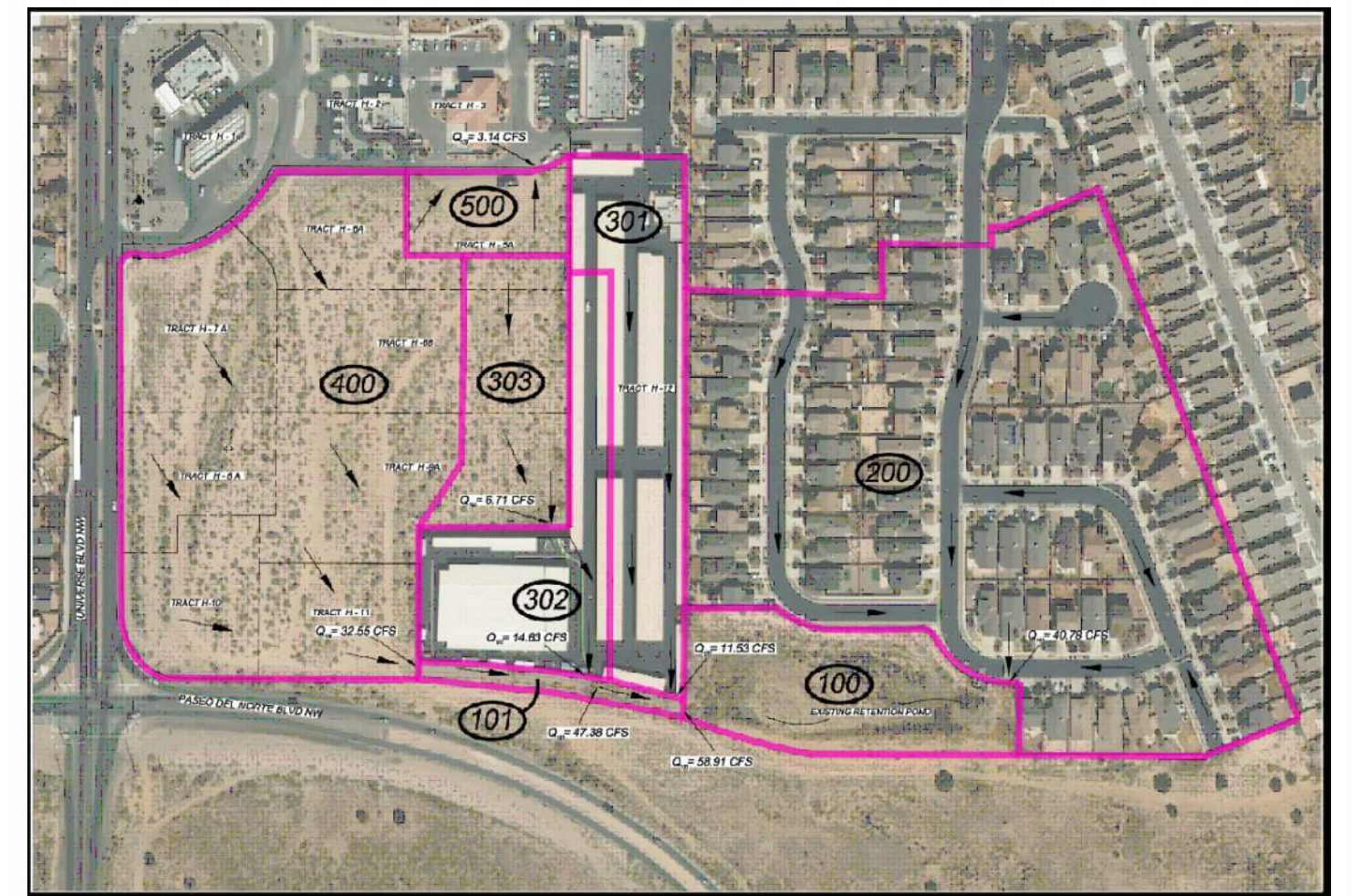
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GRADING AND
DRAINAGE PLAN



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BASIN MAP FROM PRIOR STUDY

BASIN	Area (acres)	100yr-6hr Peak Flow (cfs)	100yr-10 day Runoff Volume (ac-ft)	Land Treatment
100	2.16	4.67	0.13	100%B
101	0.27	1.11	0.09	100%D
200	12.06	40.78	2.54	23%B, 23%C, 54%D
301	2.92	11.53	0.88	5%B, 6%C, 89%D
302	1.97	8.12	0.65	100%D
303	1.73	6.71	0.50	7.5%B, 7.5%C, 85%D
400	8.39	32.55	2.45	7.5%B, 7.5%C, 85%D
500	0.81	3.14	0.24	7.5%B, 7.5%C, 85%D

BASIN CALCULATIONS FROM PRIOR STUDY

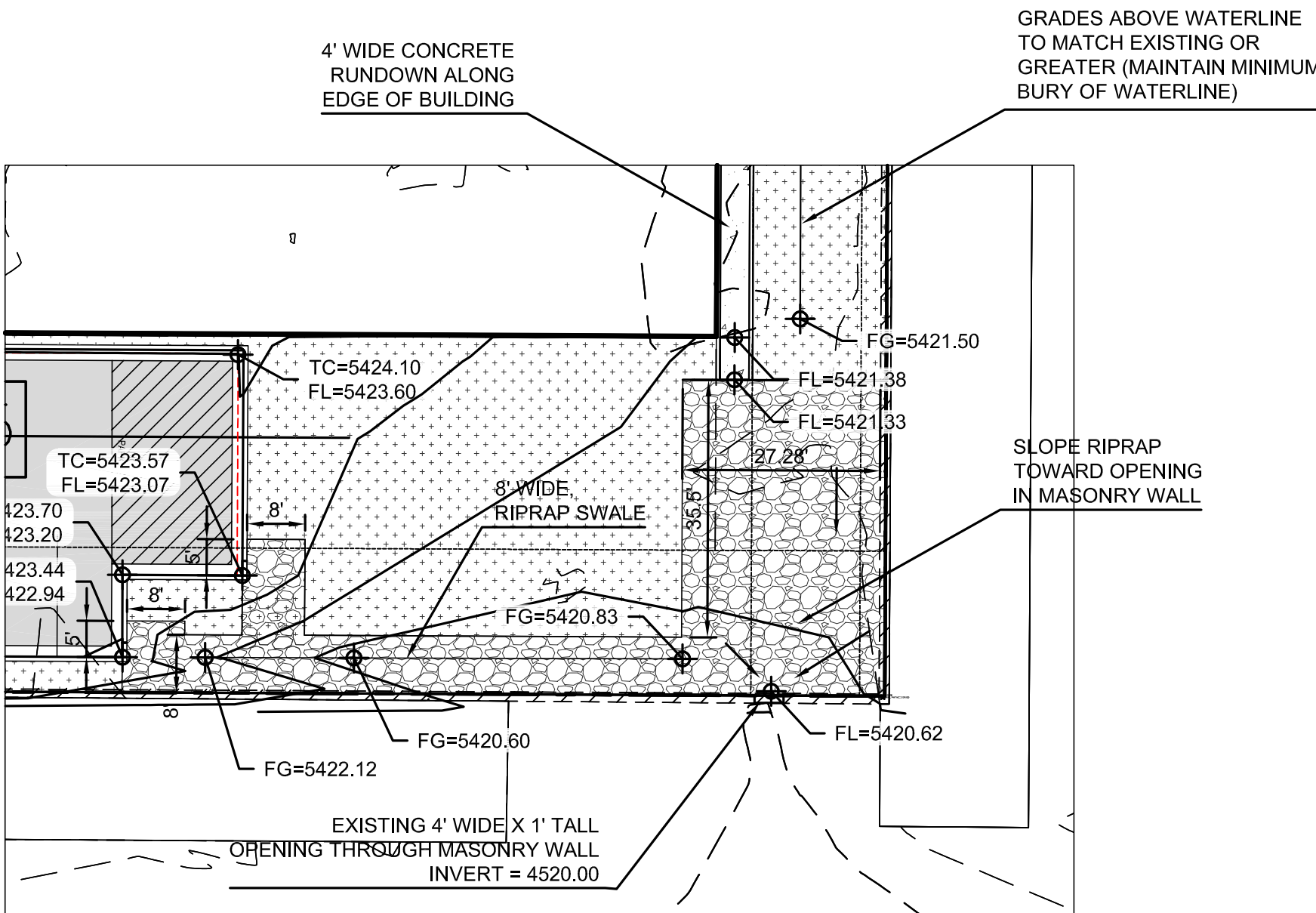
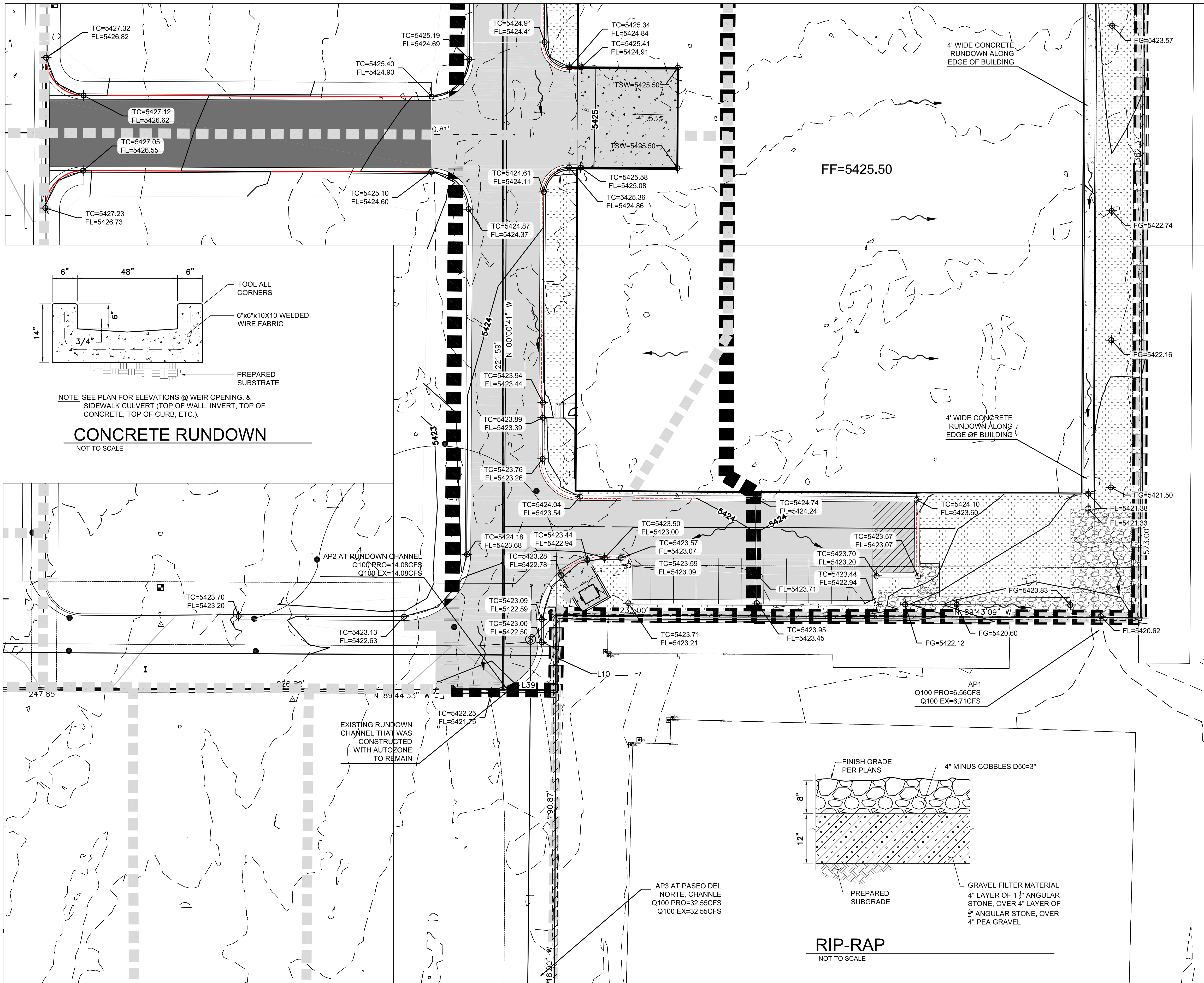
Drainage Summary				
Project:	Ventana Square Self-Storage			
Project Number:	Ventana Square Self-Storage			
Date:	01/21/24			
By:	MTD			
Site Location				
Precipitation Zone	1 Per COA DPM Chapter 6			
Existing summary				
Basin Name	EX 303	EX 400	EX 500	
Area (sf)	75450	365468.4	35283.6	
Area (acres)	1.73	8.39	0.81	
%A Land treatment	0	0	0	
%B Land treatment	7.5	7.5	7.5	
%C Land treatment	7.5	7.5	7.5	
%D Land treatment	85	85	85	
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	
Area "B"	0.13	0.63	0.06	
Area "C"	0.13	0.63	0.06	
Area "D"	1.47	7.13	0.69	
Excess Runoff (acre-feet)				
100yr. 6hr.	0.2930	1.4193	0.1370	acre-ft.
10yr. 6hr.	0.1829	0.8860	0.0855	acre-ft.
2yr. 6hr.	0.1144	0.5541	0.0535	acre-ft.
100yr. 24hr.	0.3323	1.6095	0.1554	acre-ft.
Peak Discharge (cfs)				
100 yr.	6.72	32.55	3.14	cfs
10yr.	4.08	19.76	1.91	cfs
2yr.	2.36	11.45	1.11	cfs

MATERIAL LEGEND

	HEAVY DUTY ASPHALT
	HEAVY DUTY CONCRETE PAVEMENT
	4" THICK CONCRETE SIDEWALK
	EROSION PROTECTION, PER DETAIL ON SHEET G&D3
	LANDSCAPING AREA

LINEWORK LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	DRAINAGE BASIN DEFINITION FROM MASTER DRAINAGE PLAN
	PROPOSED BASIN DEFINITION LINE



RIPRAP RUNDOWN - ENLARGED
SCALE: 1" = 20'-0"
NORTH

Drainage Summary

Project:	Ventana Square Self-Storage			
Project Numbe:	Ventana Square Self-Storage			
Date:	01/21/24			
By:	MTD			
Site Location				
Precipitaion Zone	1 Per COA DPM Chapter 6			
Proposed summary				
Basin Name	PRO 303	OFFSITE	PRO 400A	PRO 501
Area (sf)	73652	319354	48114	32286
Area (acres)	1.691	7.331	1.059	0.741
%A Land treatment	0	0	0	0
%B Land treatment	7.5	7.5	7.5	7.5
%C Land treatment	7.5	7.5	7.5	7.5
%D Land treatment	85	85	85	85
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	0.00
Area "B"	0.13	0.55	0.08	0.06
Area "C"	0.13	0.55	0.08	0.06
Area "D"	1.44	6.23	0.90	0.63
Excess Runoff (acre-feet)				
100yr. 6hr.	0.2860	1.2402	0.1791	0.1254 acre-ft.
10yr. 6hr.	0.1786	0.7742	0.1118	0.0783 acre-ft.
2yr. 6hr.	0.1117	0.4842	0.0699	0.0489 acre-ft.
100yr. 24hr.	0.2860	1.2402	0.1791	0.1254 acre-ft.
100yr. 10day	0.4932	2.1386	0.3088	0.2162 acre-ft.
Peak Discharge (cfs)				
100 yr.	6.56	28.44	4.11	2.88 cfs
10yr.	3.98	17.26	2.49	1.75 cfs
2yr.	2.31	10.01	1.45	1.01 cfs
Water Quality Ponding Voulme (cf)	1773.8	7691.1	1110.6	777.6 cf
Water Quality Acre Feet	0.0407	0.1766	0.0255	0.0179 acre-ft

MATERIAL LEGEND

- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- EROSION PROTECTION, PER DETAIL ON SHEET G&D3
- LANDSCAPING AREA.

LINEWORK LEGEND

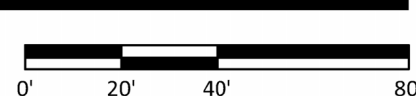
- EXISTING CONTOURS
- PROPOSED CONTOURS
- DRAINAGE BASIN DEFINITION FROM MASTER DRAINAGE PLAN
- PROPOSED BASIN DEFINITION LINE

GRADING AND DRAINAGE PLAN

OVERALL UTILITY PLAN

SCALE: 1" = 40'-0"

SCALE: 1" = 40'-0"



VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD

ALBUQUERQUE, NM 87114

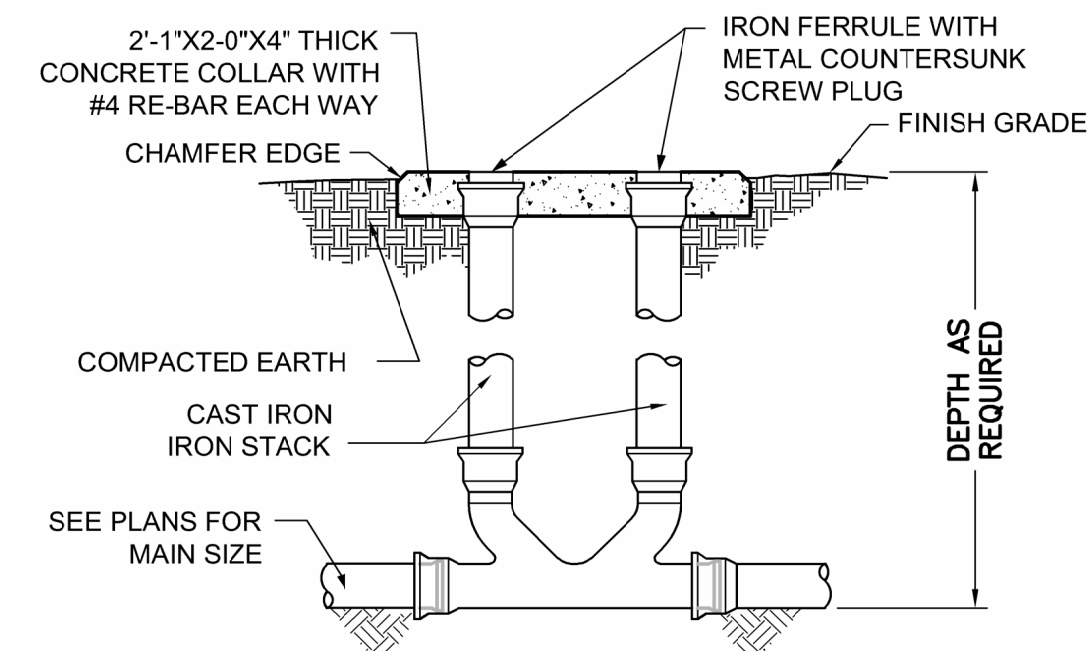
DATE: 07-03-2025 (100% CD PLANS)

GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS; IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. ALL PUBLIC CONNECTIONS OR INFRASTRUCTURE MUST BE DONE VIA CONNECTION PERMIT.
- F. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IN N IN PACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

KEYED NOTES

1. NEW 6" SERVICE LATERAL CONNECTION ONTO EXISTING PUBLIC 8" SANITARY SEWER LINE. PER ABCWUA STD DWG 2125. MATCH INVERT OF LATERAL TO CROWN OF EXISTING MAIN
INV. EXISTING MAIN=-5416.09,
NEW INV IN (6")=-5416.76
2. NEW PRIVATE 6" PVC SDR-35 SANITARY SEWER LINE AT 1.00% SLOPE
3. NEW PRIVATE 4" DIAMETER TYPE E SANITARY SEWER MANHOLE PER COA STD DWG 2102
RIM=-5424.84,
INV OUT (S) 6"=-5419.91
INV IN (E) 4"=-5420.01
4. NEW PRIVATE 4" PVC SDR-26 SANITARY SEWER LINE AT 2.00% SLOPE.
NEW PRIVATE DOUBLE CLEANOUT PER DETAIL THIS SHEET.
5. CONNECT TO BUILDING. INV = 5420.68 (5.53' BFF).
7. EXISTING PUBLIC 8" PVC WATERLINE.
8. NEW NON-PRESSURE CONNECTION. 8"x8"x8" DI TEE. 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333. RESTRAIN ALL JOINT ON PRIVATE FIRE HYDRANT LEG.
6" GATE VALVE
X= _____
Y= _____
9. NEW 42.17' OF PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
NEW PRIVATE FIRE HYDRANT PER ABCWUA STD DWGS 2340 AND 2342.
FIRE HYDRANT FLANGE ELEV.= _____
X= _____
Y= _____
11. NEW PUBLIC 8" GATE VALVE WITH VALVE BOX AND 8" DI TRANSITION COUPLING PER ABCWUA STD DWG 2301, 2326, AND 2328.
12. NEW NON-PRESSURE CONNECTION. 8"x8"x8" DI TEE. 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2329, AND 2333. RESTRAIN ALL JOINT ON PRIVATE FIRE SUPPRESSION LINE. VALVE COVER TO READ "FIRE".
6" GATE VALVE
X= _____
Y= _____
13. NEW 83.07' OF PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
14. NEW PRIVATE 6"x90" DI ELBOW.
15. CONNECTION FIRE SUPPRESSION LINE TO BUILDING. SEE FIRE SUPPRESSION PLANS FOR CONTINUATION.
16. NEW WALL MOUNTED FIRE DEPARTMENT CONNECTION.
17. FIRE RISER ROOM WITH ACCESS DOOR DIRECTLY THROUGH EXTERIOR WALL.
18. CONNECT 1" PEX WATERLINE TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
19. NEW PRIVATE 1" PEX WATERLINE, MINIMUM BURY 3'.
20. NEW 1" WATER SERVICE INCLUDING CORP STD. SUPPLY LINE, METER BOX AND METER PER ABCWUA STD DWGS 2361, 2362 AND 2366.



DOUBLE CLEANOUT

NOT TO SCALE

Easement Notes

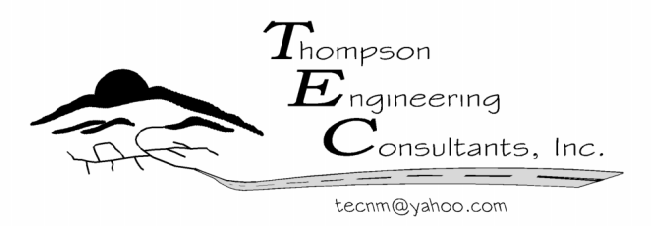
- [1] REMAINING PORTION OF EXISTING 10' ELECTRIC RIGHT-OF-WAY EASEMENT AND SHOWN ON PLAT (12/03/2001, BK. 2001C, PG. 315, DOC. NO. 2001143438), (05/08/1953, BK. MISC 14, PG. 341, DOC. NO. 95018489)
- [2] EXISTING 10' P.U.E (12/03/2001, 2001C-315, DOC. NO. 2001143438)
- [3] EXISTING 25' PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [4] EXISTING 20' PUBLIC SANITARY SEWER EASEMENT (03/04/2003, 2003C-50)
- [5] EXISTING PRIVATE NONEXCLUSIVE PERPETUAL DRAINAGE EASEMENT AND PUBLIC UTILITIES EASEMENT, BLANKET IN NATURE OVER COMMON AREAS (03/04/2003, 2003C-50, DOC. NO. 2003035708) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- [6] EXISTING PRIVATE NONEXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, BLANKET IN NATURE ACROSS THAT PORTION OF THE COMMON AREAS (03/04/2003, 2003C-50, DOC. NO. 2003035708) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- [7] EXISTING PRIVATE NON-EXCLUSIVE PERPETUAL EASEMENT ACROSS THE COMMON AREAS FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF FREE STANDING SIGNS (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- [8] REMAINING PORTION OF EXISTING 10' P.U.E. (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [9] EXISTING 10' PUBLIC WATERLINE EASEMENT (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [10] INTENTIONALLY OMITTED
- [11] EXISTING PUBLIC 15' WATERLINE EASEMENT (7/30/2002, BK. A39, PG. 52201, DOC. NO. 2002095491) (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- [12] EXISTING PUBLIC 20' PUBLIC SANITARY SEWER EASEMENT (07/30/2002, BK. A39, PG. 5218, DOC. NO. 2002095489) AND (7/30/2002, BK. A39, PG. 5223, DOC. NO. 2002095494)
- [13] EXISTING 20' x 30' PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT (03/04/2003, 2003C-50, DOC. NO. 2003035708)
- [14] EXISTING PRIVATE 24' ACCESS EASEMENT (07/30/2002, BK. A39, PG. 5217, DOC. NO. 2002095488)
- [15] REMAINING PORTION OF AN EXISTING 20' PUBLIC WATERLINE EASEMENT (03/04/2003, 2003C-50 DOC. NO. 2003035708)
- [16] EXISTING 25' PUBLIC DRAINAGE EASEMENT (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- [17] EXISTING 5' PUBLIC PERMANENT EASEMENT FOR SANITARY SEWER (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- [18] EXISTING 20' UTILITY EASEMENT (12/03/2001, 2001C-315, 2001143438)
- [19] PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF TRACTS H-5A THRU H-9A, H-10 AND H-11, GRANTED BY DOCUMENT (08/06/2021, DOC. NO. 2021098753) AND AS SHOWN ON PLAT (08/20/2021, 2021C-96)
- [20] EXISTING PRIVATE ACCESS EASEMENT BENEFITING TRACTS H-5A THRU H-9A, H-10 AND H-11. TO BE MAINTAINED BY THE OWNERS OF SAID TRACTS (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753). PORTION VACATED WITH THIS PLAT, SHOWN HEREON AS [REDACTED]
- [21] EXISTING PRIVATE ACCESS EASEMENT BENEFITING TRACTS H-5A THRU H-9A, H-10 AND H-11. TO BE MAINTAINED BY SAID OWNERS (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [22] INTENTIONALLY OMITTED
- [23] INTENTIONALLY OMITTED
- [24] EXISTING PUBLIC WATERLINE AND PUBLIC SEWER EASEMENT, SHOWN HEREON AS [REDACTED] (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [25] EXISTING PUBLIC MULTI-USE TRAIL EASEMENT (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [26] EXISTING ADDITIONAL 5' PUBLIC WATERLINE EASEMENT TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).
- [27] EXISTING 10' PUBLIC UTILITY EASEMENT, SHOWN HEREON AS [REDACTED] (08/20/2021, BK. 2021C, PG. 96, DOC. NO. 2021098753).

OVERALL UTILITY PLAN

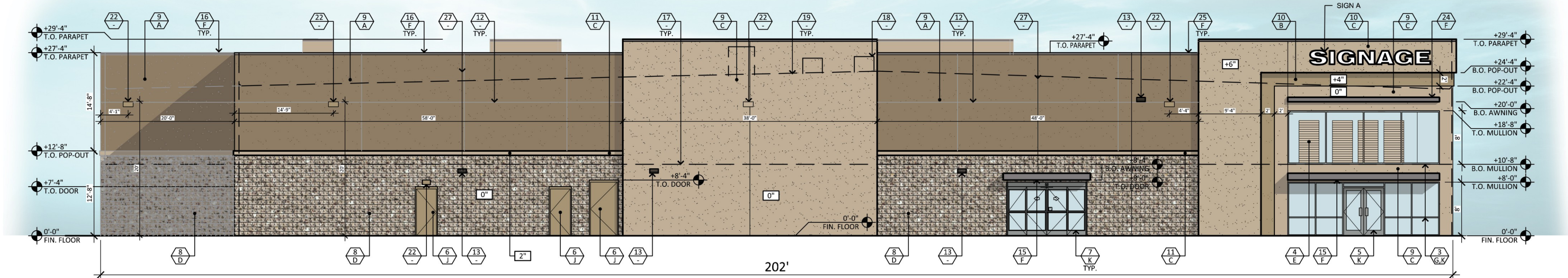
C-301

RKAA# 22116.00

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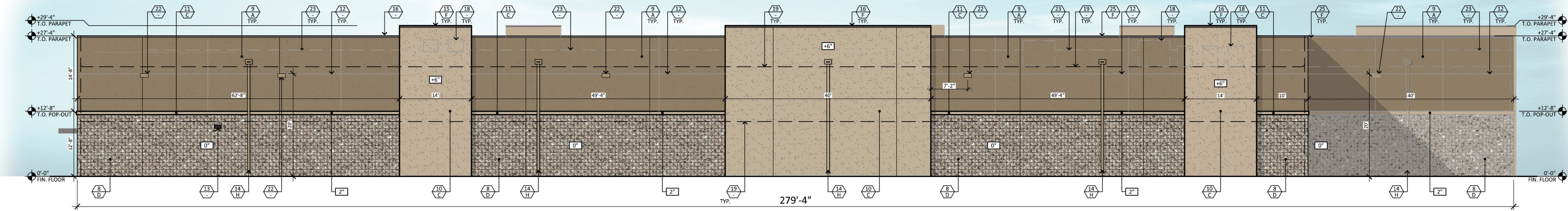


P.O. BOX 65760 PHONE: (505) 271-2199
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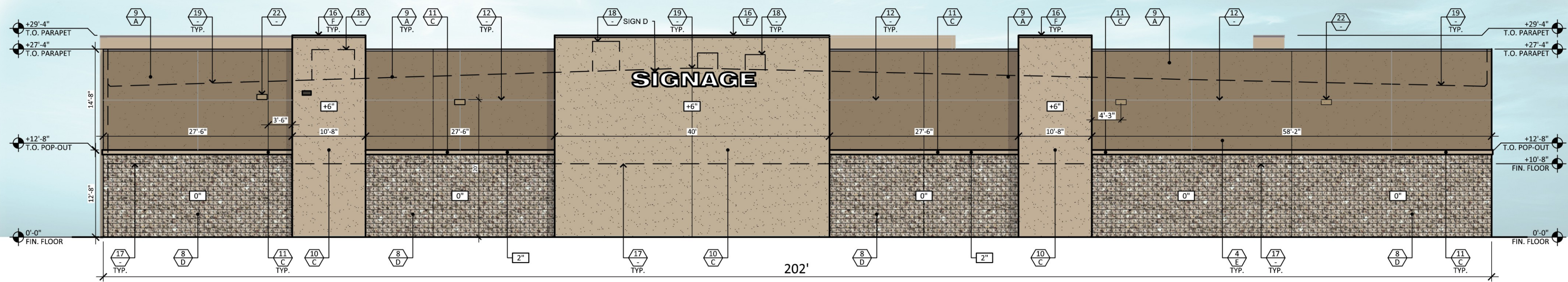
1 NORTH ELEVATION

SCALE: 3/32" = 1'-0"



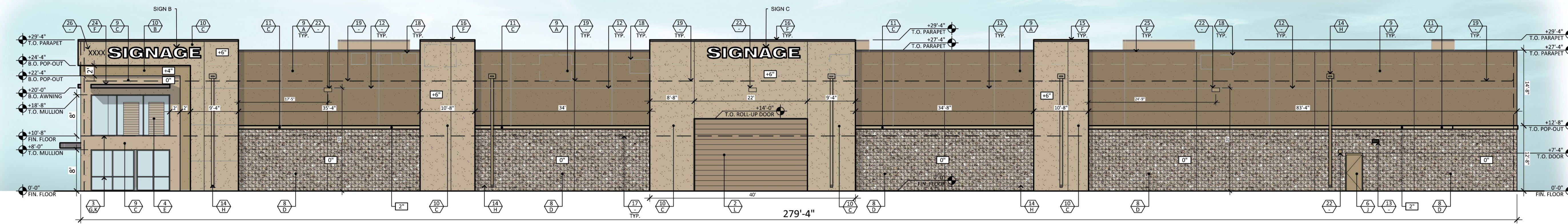
2 EAST ELEVATION

SCALE: 3/32" = 1'-0"



3 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



4 WEST ELEVATION

SCALE: 3/32" = 1'-0"

KEYNOTES:

- SIGNAGE (UNDER SEPARATE PERMIT)
- AUTOMATIC ROLL-UP DOOR - SEE SHEET A6.0
- ALUMINUM STOREFRONT SYSTEM - SEE SHEET A6.0 WINDOW SCHEDULE
- FAUX DOORS - SEE SHEET A6.0
- STOREFRONT ENTRY DOOR - SEE SHEET A6.0 DOOR SCHEDULE
- HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SHEET A6.0 DOOR SCHEDULE FOR SIZE AND TYPE
- AUTO SLIDING DOOR - SEE DETAIL 18/A8.0
- MASONRY WALL - SEE FLOOR PLANS FOR WALL TYPES
- STUCCO OVER MASONRY WALL - SEE FLOOR PLANS FOR WALL TYPES
- STUCCO OVER FRAMED POP-OUT - SEE FLOOR PLANS FOR WALL TYPES
- STUCCO SYSTEM OVER FOAM POP-OUT - SEE FLOOR PLANS FOR WALL TYPES
- STUCCO CONTROL JOINT WHERE APPLIES - SEE DETAIL 7/A8.2
- LOUVER VENT - SEE MECHANICAL DRAWINGS
- DOWNSPOUT SEE PLUMBING PLANS; SEE DETAIL 13/A8.1
- CANOPY - SEE DETAIL 3/A8.2
- SHEET METAL PARAPET CAP - SEE DETAIL 7/A8.2
- DASHED LINE OF 2ND FLOOR BEYOND
- DASHED LINE OF MECHANICAL UNITS BEYOND
- DASHED LINE OF ROOF BEYOND
- RECESSED KNOX BOX - VERIFY INSTALLATION AND TYPE WITH FIRE MARSHALL
- F.D.C. - SEE CIVIL AND PLUMBING DRAWINGS
- WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS FOR TYPE AND SIZE
- LINE OF RIDGE BEYOND
- CANOPY POP OUT - SEE 4/A8.2
- PARAPET CAP FLASHING - SEE 2/A8.2
- ADDRESS PER FIRE DEPARTMENT REQUIREMENTS.
- MASONRY CONTROL JOINT PER STRUCTURAL

FINISH SCHEDULE:

- A. PAINTED STUCCO:**
MFG.: SHERWIN WILLIAMS
FINISH: FINE SAND
COLOR: RESORT TAN
SPEC. #: SW 7750
LVR: 22
- B. PAINTED STUCCO:**
MFG.: SHERWIN WILLIAMS
FINISH: FINE SAND
COLOR: SAN ANTONIO SAGE
SPEC. #: SW 7731
LVR: 31
- C. PAINTED STUCCO:**
MFG.: SHERWIN WILLIAMS
FINISH: FINE SAND
COLOR: KHAKI SHADE
SPEC. #: SW 7533
LVR: 44
- D. 8 X 8 X 16 MASONRY:**
MFG.: SUPERLITE BLOCK
FINISH: SPLIT FACE
COLOR: MALIBU SAND
LVR: 28
- E. ROLLER DOORS:**
MFG.: JANUS
COLOR: LIGHT STONE
LVR: 43
- F. LIGHT GAUGE METAL TRIM/CANOPY:**
MFG.: ATAS
COLOR: SLATE GRAY
LVR: 39
- G. STOREFRONT MULLION:**
MFG.: KAWNEER
COLOR: DOVE GRAY
LVR: 35
- H. DOWNSPOUT:**
PAINT: TO MATCH THE ADJACENT WALL
- J. HOLLOW METAL DOORS:**
MFG.: SHERWIN WILLIAMS
COLOR #: SAN ANTONIO SAGE
SPEC. #: SW 7731
LVR: 31
- K. GLAZING:**
MFG.: PPG OR EQUAL
COLOR: CLEAR
TYPE: SOLARBAN 60 INSULATION
- L. ROLL-UP DOOR:**
MFG.: COOKSON
COLOR: RAL 1019
LVR: 30

GENERAL NOTES:

- A. SEE FLOOR PLAN FOR DEPTHS OF ALL POP-OUTS AND COLUMNS SHOWN ON EXTERIOR ELEVATIONS
- B. FINISHES TO EXTEND 6" ABOVE ADJACENT FINISH GRADE
- C. WALL-MOUNTED LIGHT FIXTURES SHALL BE CUT-OFF TYPE AND SHALL NOT EXCEED +14'-0" ABOVE GRADE
- D. ALL HVAC UNITS SHOWN SHALL NOT EXCEED THE ADJACENT PARAPET HEIGHTS (TYPICAL)
- E. CAULK ALL CMU CONTROL JOINTS BOTH SIDES PRIOR TO LEDGER INSTALL, TYPICAL THROUGHOUT
- F. ALL MATERIALS AND INSTALLATIONS SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN RECOMMENDATIONS
- G. ALL EXTERIOR CMU BLOCK WALLS AND CMU VENEER SHALL RECEIVE CLEAR SEALER ON EXTERIOR SIDE
- H. CAULKING IS REQUIRED AT JOINTS BETWEEN DISSIMILAR MATERIALS WHERE THE JOINT WIDTH EXCEEDS 1/16"
- I. BUILDING WALLS SHOULD BE "DRY FLOOR-PROOFED" TO A MINIMUM OF 2' ABOVE THE PRE-DEVELOPMENT HIGHEST ADJACENT LEVEL.
- J. ALL VENEER AND STONE INSTALLATION SHALL COMPLY WITH NCMA INSTALLATION GUIDE; MORTAR BED RECOMMENDATIONS PER TABLE 2: ANSI A118.4 OR ANSI A118.15 MORTAR.
- K. ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- L. ROLLED DOORS VISIBLE FROM THE FAUX WINDOWS SHALL BE MUTED COLORS, LIKE THE GREY SHOWN ON THE BUILDING ELEVATIONS, SO THEY ARE NOT HIGHLY VISIBLE WHEN LIT.

LEGEND:

- KEYNOTE
MATERIAL/COLOR

SIGN INFORMATION:

- SIGN 'A':**
DIMENSIONS: 2'-0" H X 21'-3" L
ILLUMINATED: YES
SQ. FT.: 24 S.F.
% OF FACADE: 42.5 / 4,794 (TOTAL) = <1%
- SIGN 'B':**
DIMENSIONS: 1'-6" H X 16'-0" L
ILLUMINATED: YES
SQ. FT.: 24 S.F.
% OF FACADE: 24 / 7,363 (TOTAL) = <1%
- SIGN 'C':**
DIMENSIONS: 6'-9" H X 14'-10" L
ILLUMINATED: YES
SQ. FT.: 100 S.F.
% OF FACADE: 100 / 7,363 (TOTAL) = <1%
- SIGN 'D':**
DIMENSIONS: 2'-6" H X 26'-7" L
ILLUMINATED: YES
SQ. FT.: 66 S.F.
% OF FACADE: 66 / 4,794 (TOTAL) = <1%

IDO SIGN RESTRICTIONS:

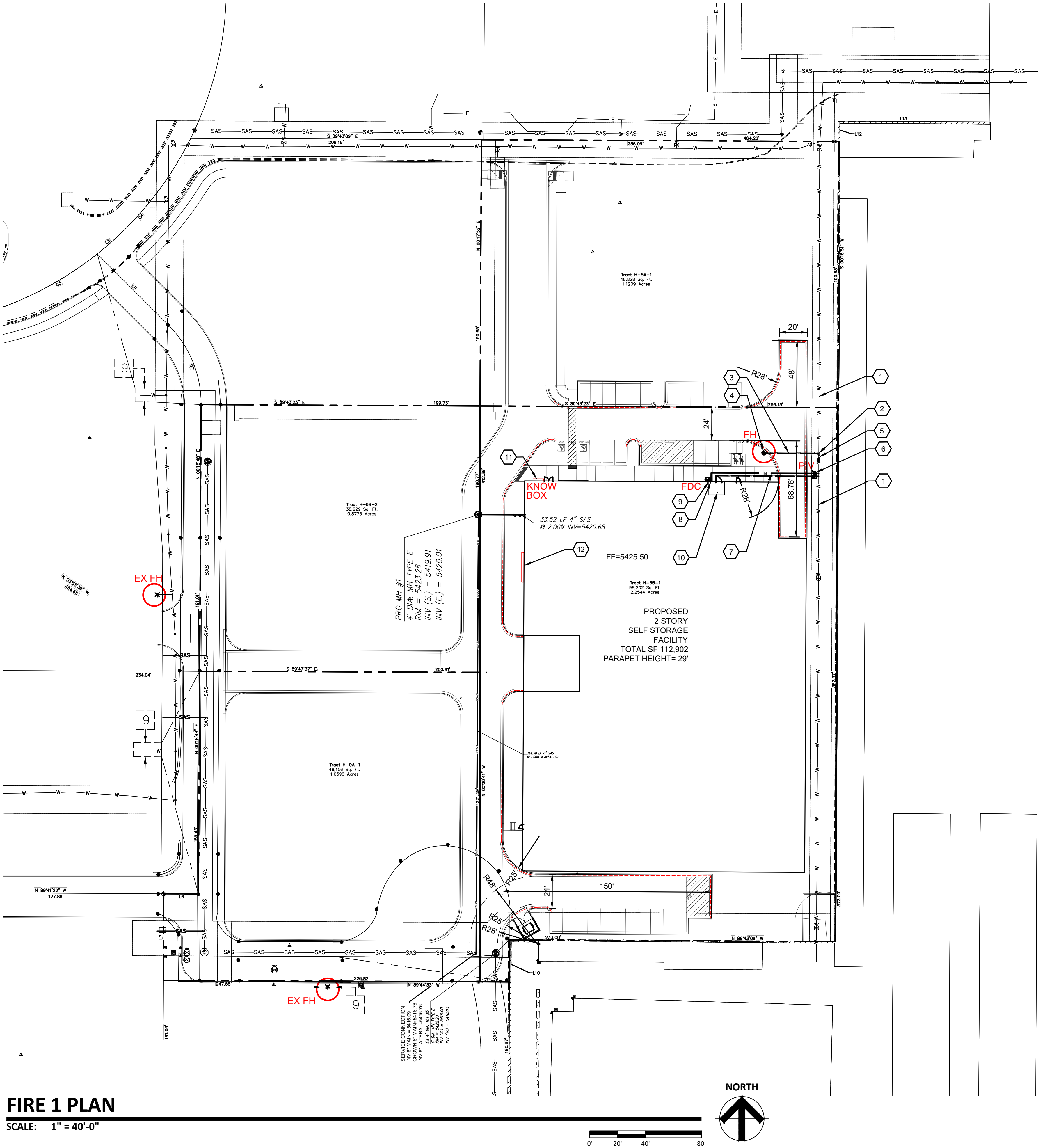
- MAX 25% OF FACADE NO MAX NUMBER OF SIGNS 1 FREESTANDING SIGN



VENTANA SQUARE
SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSITY BLVD/
ALBUQUERQUE, NEW MEXICO

design by: RWK
drawn by: ANB
checked by: BHL

A4.0
project #: 22116



GENERAL NOTES

- ALL FIRE LANES ARE A MINIMUM OF 20' WIDE.
- ALL FIRE LANES DESIGNED TO SUPPORT THE 75,000LB FIRE APPARATUS.
- ALL FIRE LANES WILL BE DESIGNED TO BE LESS THAN 10% LONGITUDINAL SLOPE.
- SECURITY GATES (BOTH PERSONNEL AND VEHICULAR) CAN BE CONTROLLED BY KEYS OR ACCESS CODES LOCATED WITHIN KNOX BOXES.
- PREMISE IDENTIFICATION WILL BE ADDED PER CITY OF ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS.
- ACCESS AND LOADING ZONES WILL BE IDENTIFIED IN THE FIELD PER DIRECTION FROM THE CITY OF CARLSBAD FIRE DEPARTMENT.
- VEHICLES OR OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 15' OF A FIRE HYDRANT OR 5' OF THE FDC.
- NO CHANGES ARE PROPOSED FOR ACCESS OR HYDRANT LOCATIONS.

KEYED NOTES

- EXISTING PUBLIC 8" PVC WATERLINE.
- 8"X8"X6" DI TEE, 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333.
- PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
- PRIVATE FIRE HYDRANT PER ABCWUA STD DWGS 2340 AND 2342.
- PUBLIC 8" GATE VALVE WITH VALVE BOX AND 8" DI TRANSITION COUPLING PER ABCWUA STD DWG 2301, 2326, AND 2328.
- 8"X8"X6" DI TEE, 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333. RESTRAIN ALL JOINT ON PRIVATE FIRE SUPPRESSION LINE. VALVE COVER TO READ "FIRE".
- 83.07' OF PRIVATE 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
- CONNECTION FIRE SUPPRESSION LINE TO BUILDING. SEE FIRE SUPPRESSION PLANS FOR CONTINUATION.
- WALL MOUNTED FIRE DEPARTMENT CONNECTION.
- FIRE RISER ROOM WITH ACCESS DOOR DIRECTLY THROUGH EXTERIOR WALL.
- KNOX BOX LOCATION.
- PREMISE ID LOCATION.

LEGEND

- PROPERTY LINE
- EASEMENT
- PAINTED CURB "FIRE LANE NO PARKING"

FIRE FLOW CALCULATIONS

PROPOSED BUILDING, OCCUPANCY CLASSIFICATION "S-2" SELF-STORAGE.

SELF STORAGE FACILITY
TOTAL SF 112,902SF, TWO STORY, SPRINKLERED, TYPE II-B.

TOTAL BUILDING AREA = 112,902SF, FIRE FLOW DEMAND = 1500GPM (MINIMUM PER TABLE B105.2)

INTERNATIONAL FIRE CODE 2021, APPENDIX B
FIRE FLOW PER IFC TABLE B105.1(2) IS 7,000 GPM

THEREFORE REQUIRED FIRE FLOW FOR SPRINKLERED BUILDING IS 1,750 GPM.
(UTILIZING THE REDUCTION PER TABLE B105.2)

INTERNATIONAL FIRE CODE 2021, APPENDIX C
SPACING AND NUMBER OF HYDRANTS FOR PROPOSAL BUILDING PER TABLE C102.1
MINIMUM NUMBER OF HYDRANTS = 1
AVERAGE SPACING BETWEEN HYDRANTS = 750' (FOOTNOTE F FOR 50% INCREASE)
MAXIMUM DISTANCE FROM ANY POINT ON FIRE LANE TO HYDRANT = 375' (FOOTNOTE F FOR 50% INCREASE)



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

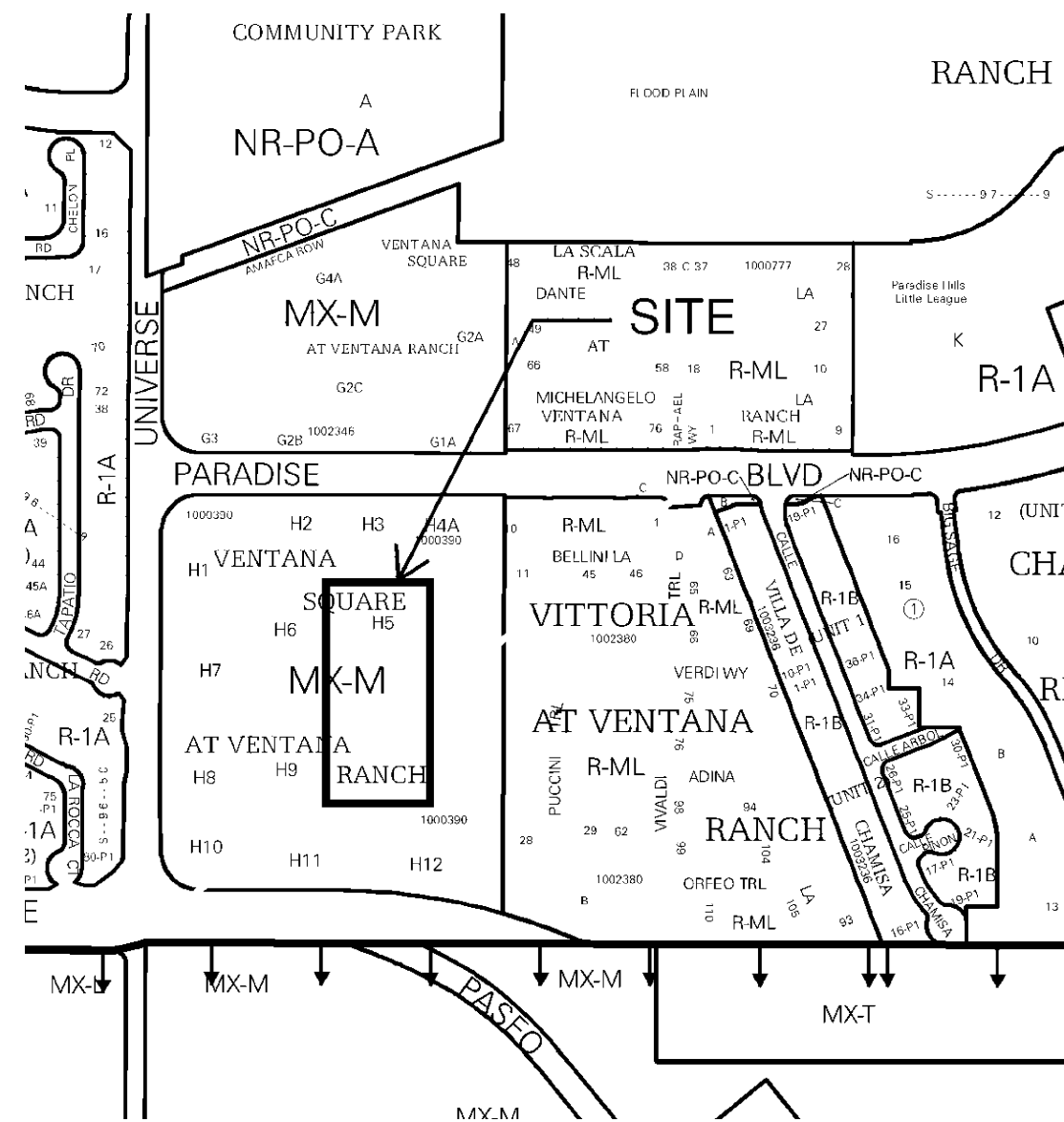
PERMIT

PERMIT NUMBER: FP-25-100112
APPROVED DATE: 03/18/2025

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 1750 GPM, 1 HYDRANT



ZONE ATLAS PAGE B-10-Z

NOT TO SCALE



VENTANA SQUARE SELF-STORAGE

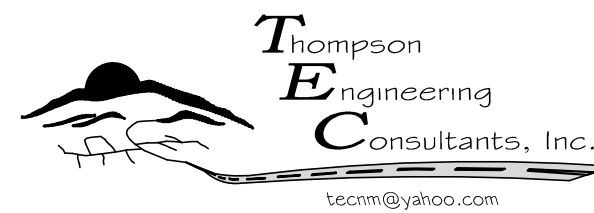
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114

DATE: 12-05-2024 (100% CD PLANS)

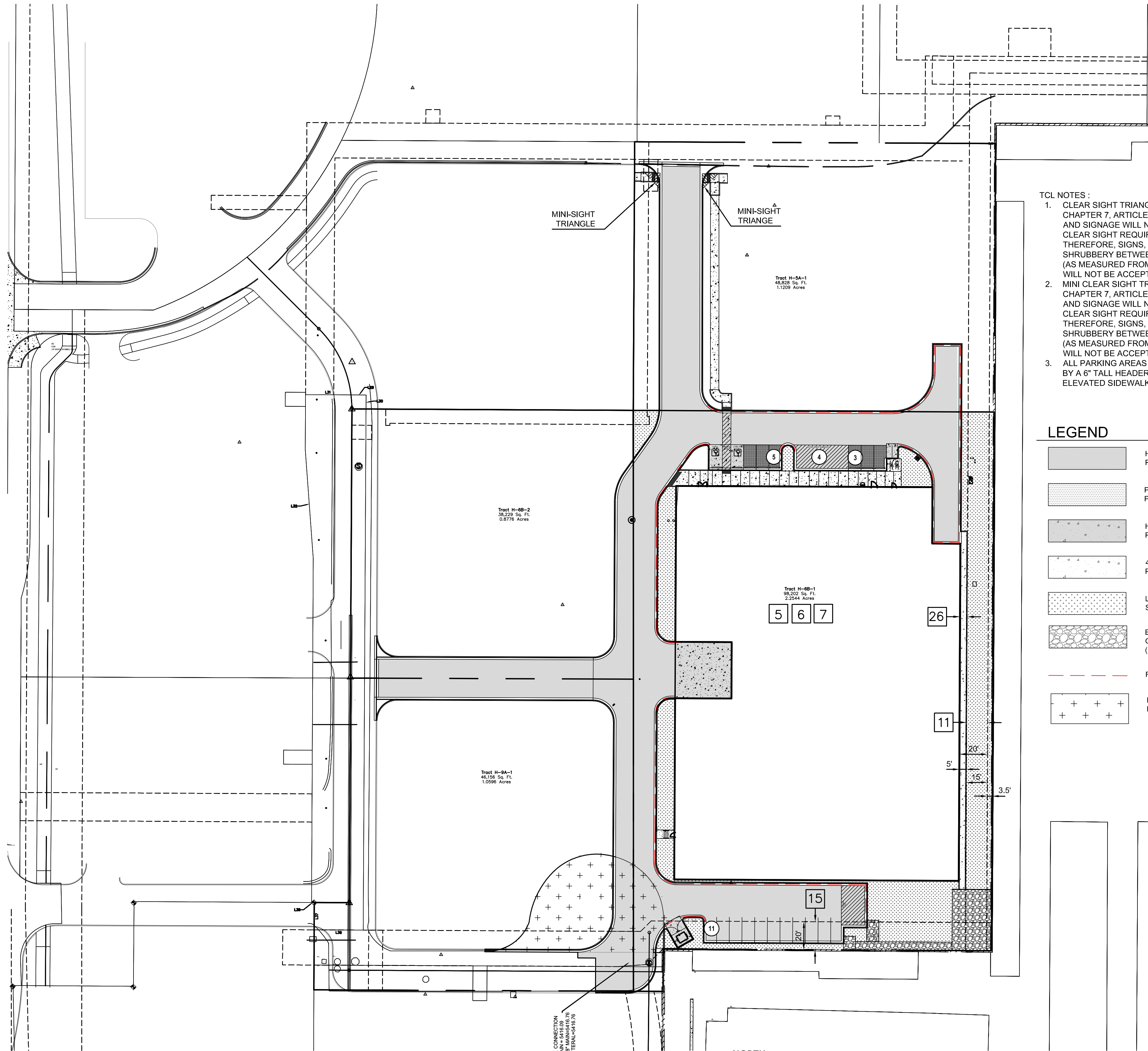
FIRE 1

RKAA# 22116.00

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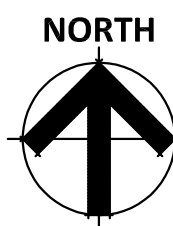
P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9248



TRAFFIC CIRCULATION LAYOUT - OVERALL

SCALE: 1" = 40'-0"

0' 20' 40' 80'



TCL NOTES :

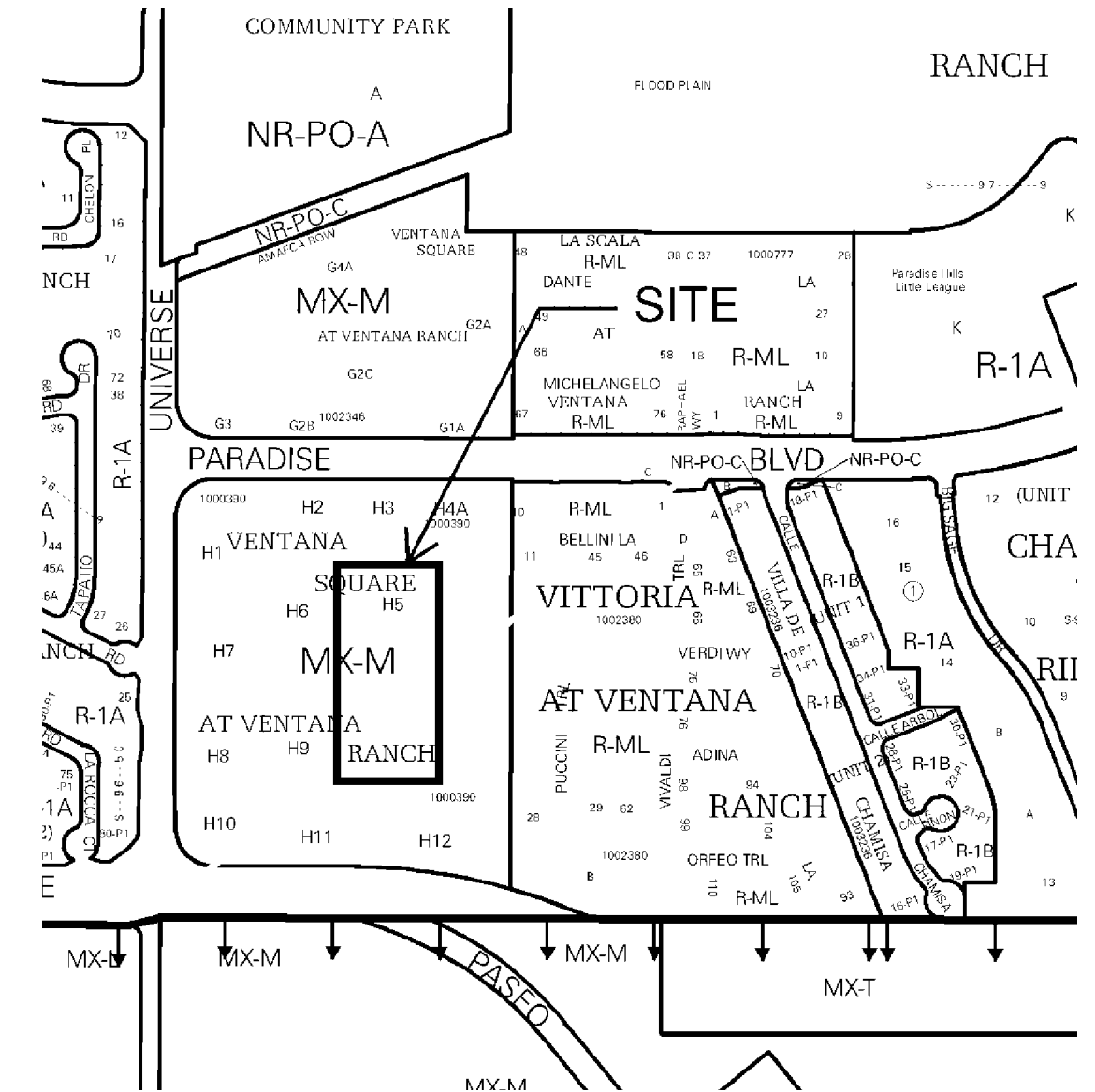
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
3. ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.

LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1/C-501
- PARKING LOT ASPHALT PER DETAIL D1/C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL A4/C-501
- LANDSCAPING AREA SEE LANDSCAPING PLANS
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET G&D-1 THRU G&D-3)
- FIRE LANE "NO PARKING"
- PAVEMENT TO BE REMOVED

Easement Notes

- 5 EXISTING NONEXCLUSIVE PERPETUAL DRAINAGE EASEMENT AND PUBLIC UTILITIES EASEMENT, BLANKET IN NATURE OVER COMMON AREAS (03/04/2003, 2003C-50) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 6 EXISTING NONEXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, BLANKET IN NATURE ACROSS THAT PORTION OF THE COMMON AREAS (03/04/2003, 2003C-50) (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 7 EXISTING NON-EXCLUSIVE PERPETUAL EASEMENT ACROSS THE COMMON AREAS FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF FREE STANDING SIGNS (7/15/2003, BK. A60, PG. 1545, DOC. NO. 2003121810)
- 11 EXISTING 15' WATERLINE EASEMENT (7/30/2002, BK. A39, PG. 52201, DOC. NO. 2002095491) (07/30/2002, BK. A39, PG. 5223, DOCUMENT NO. 2002095494)
- 26 ADDITIONAL 5' PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.



ZONE ATLAS PAGE B-10-Z

NOT TO SCALE

TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 7/16/2025

Signed

Date

PROJECT TABULATED PARKING COUNTS

PROPOSED USE: 2-STORY BUILDING FOR SELF-STORAGE USES AS IS

CONDITIONALLY ALLOWED IN THE MX-M ZONE (APPROVED BY THE ZHE, VA-2022-00127 AND VA-2022-00128). FACILITY SHALL COMPLY WITH USE SPECIFIC STANDARDS IDO SECTION 4-3(D) (29).

STORAGE BUILDING PARCEL AREA: 97,966 S.F. (2.25 ACRES)
STORAGE BUILDING AREA (TWO STORIES): 111,250 S.F.
STORAGE BUILDING FOOTPRINT AREA: 55,625 S.F.

PARKING REQUIRED:
OFFICE: 3.5 SPACE PER 800 S.F. 3 SPACES
SELF-STORAGE: 1 SPACE PER 3000 S.F. 37 SPACES
TOTAL PARKING REQUIRED 40 SPACES

PARKING PROVIDED: 23 SPACES

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

ADA ACCESSIBLE SPACES REQUIRED: 1 SPACES
ADA ACCESSIBLE SPACES PROVIDED: 2 SPACES

PARKING DETERMINED BY PARKING ANALYSIS APPROVED BY CITY OF ALBUQUERQUE ON JULY 7, 2025.

TRAFFIC CIRCULATION LAYOUT

TCL-1

RKAA# 22116.00

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Tompson
Engineering
Consultants, Inc.
tecmm@yahoo.com

P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9248

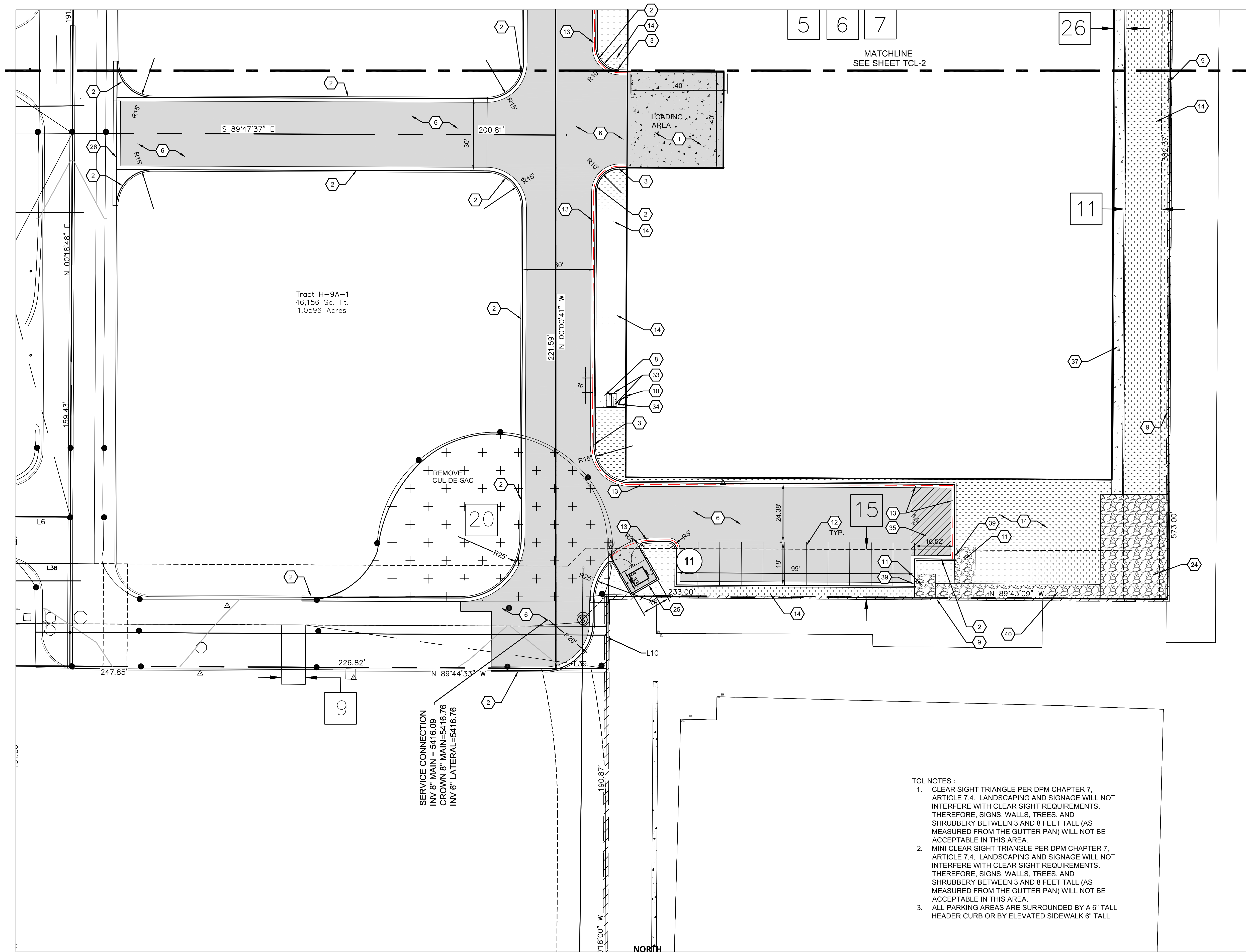
RKAA
ARCHITECTS, INC.

VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114

DATE: 07-03-2025 (100% CD PLANS)

7-8-25



TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 7/16/2025

Signed _____ Date _____

GENERAL NOTES

- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- SEE SHEET C6001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
- TRAFFIC CIRCULATION LAYOUT KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- REFER TO PLAT FOR EASEMENT DEFINITIONS.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- SEE SHEET TCL-1 FOR EASEMENT INFORMATION.

KEYED NOTES

- CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
- RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
- 6" HEADER CURB PER DETAIL A5/C-501.
- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL E1/C-501.
- CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
- CONCRETE SIDEWALK PER DETAIL A4/C-501.
- EXISTING BLOCK WALL TO REMAIN.
- CONCRETE STOOP PER DETAIL D1/C-501.
- RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- SEE LANDSCAPING PLANS FOR DETAILS.
- 6" CONCRETE BOLLARDS AT REFUSE CONTAINER.
- CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
- RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
- 12" TALL WHITE LETTERS.
- UNLOADING ZONE PER DETAIL A3/C-502.
- VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
- RESERVED PARKING SIGN PER DETAIL E6/C-502.
- ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
- PARKING BLOCK PER DETAIL F2/C-501.
- RIPRAP RUNDOWN TO EXISTING OPENING IN SCREEN WALL TO THE SOUTH PER DETAIL D3/C-501.
- REFUSE ENCLOSURE.
- CONCRETE VALLEY GUTTER PER E5/C-501 AND COA STD DWG 2420.
- CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
- 12" TALL LETTERS FOR MOTORCYCLES "MC".
- RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- BIKE RACK PER DETAIL E2/C-501, 4' SPACING BETWEEN HOOPS.
- DETECTABLE WARNING SURFACE PER DETAIL A5/C-502.
- RUNDOWN GUTTER PER DETAIL A5/C-501.
- METAL HANDRAIL PER DETAIL C2/C-501.
- CONCRETE STAIR PER DETAIL B3/C-501.
- STRIPED NO PARKING ZONE.
- PARKING LOT ASPHALT PAVEMENT PER DETAIL E1/C-501.
- 48" WIDE CONCRETE RUNDOWN PER DETAIL D4/C-501.
- 8.5" WIDE OPENING IN CURB TO ALLOW WATER INTO CONCRETE RUNDOWN.
- 2" WIDE OPENING IN CURB FOR DRAINAGE.
- RIPRAP SWALE. SEE SHEET G&D 3 AND D3/C-501.

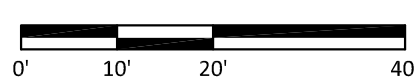
LEGEND

- | | |
|--|---|
| | HEAVY DUTY ASPHALT
PER DETAIL D1/C-501 |
| | PARKING LOT ASPHALT
PER DETAIL D1/C-501 |
| | HEAVY DUTY CONCRETE
PAVEMENT PER DETAIL D4/C-501 |
| | 4" THICK CONCRETE SIDEWALK
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TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 20'-0"



VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114

DATE: 07-03-2025 (100% CD PLANS)

TCL-3

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