



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that th	ent in the required notice was complete, true, and accurate to the extent of my knowledge.
Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

SITE PLAN DOCUMENTATION

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: TR H5A, H-6B, H9A PLAT FOR TRACTS H-5A, H-6A, H-6B, H-7A, H-8A ANDH-9A VENTANA SQUARE AT 9610 & 9630 Universe Blvd. VENTANA RANCH (BEING COMPRISED OFTRACT H-5 THRU H-9 VENTANA SQUARE AT VENTANA RANCH)

Request Description: Site Plan Adiministrative-DFT for 88,500 sf self-storage facility

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Regina Chen 4/19/2024
Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Ernest Armijo 4/17/2024
Transportation Department Date

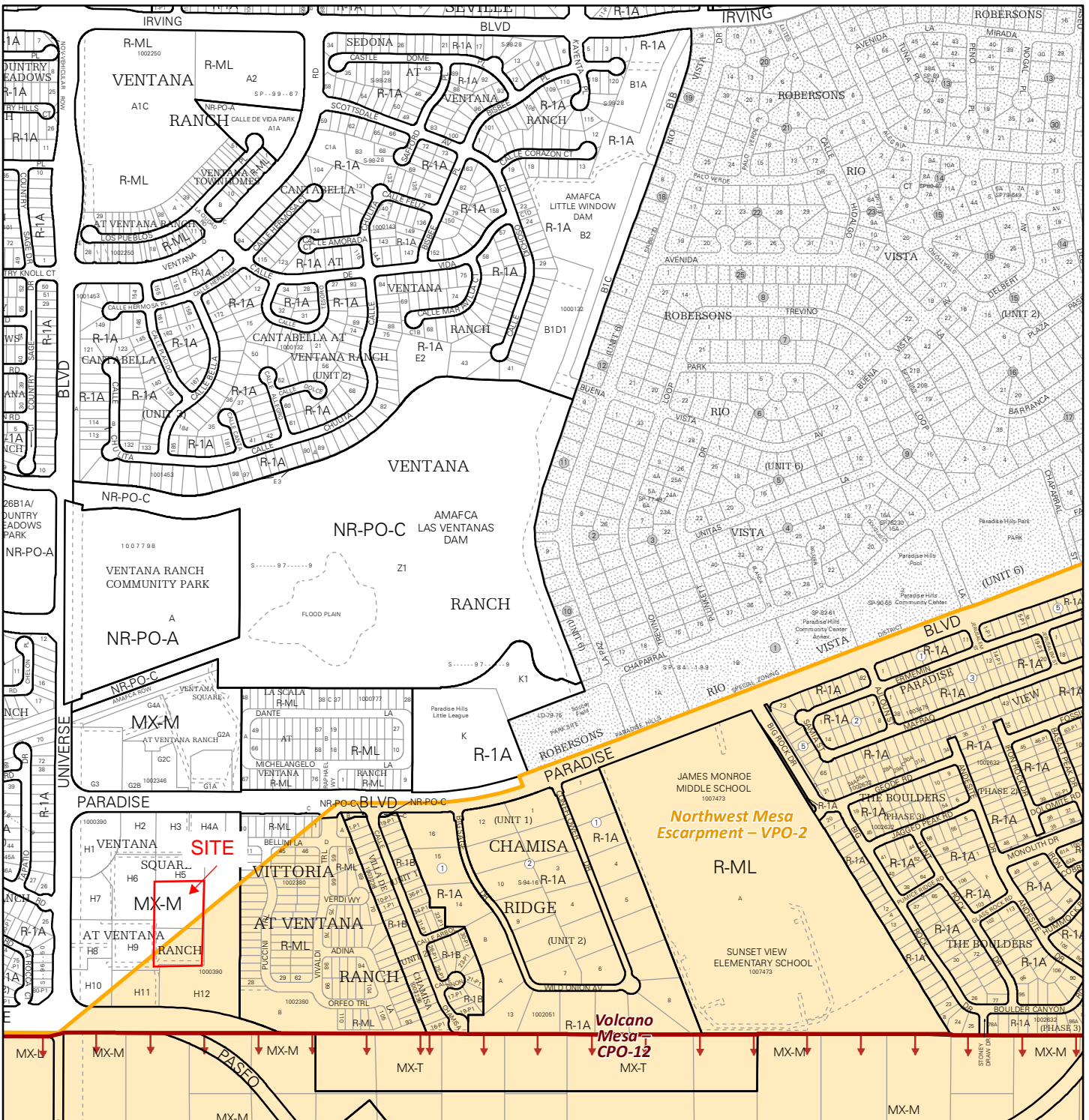
Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number 230911
- Note: Commitment for service is required prior to application approval.

Edwin Bergeron 4/19/2024
ABCWUA Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
B-10-Z

Gray Shading Represents Area Outside of the City Limits

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

PROJECT DIRECTORY

ARCHITECT:
 RKA ARCHITECTS, INC.
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: NEIL FEASER
 PHONE: (602) 955-3900
 FAX: (602) 955-0496
 E-MAIL: nfeaser@rkaa.com

SITE DATA

PARCEL NUMBERS: 101006504904730603 & 101006504807330604 & 101006506208830605
 EXISTING ZONING: MX-M
 SITE AREA: 231,217 SF (5.31 ACRES)

PROPOSED USE: SELF-STORAGE
 2-STORY BUILDING FOR SELF-STORAGE USES AS IS
 CONDITIONALLY ALLOWED IN THE MX-M ZONE (APPROVED BY THE ZHE, VA-2023-00127 AND VA-2022-00128), FACILITY SHALL COMPLY WITH USE SPECIFIC STANDARDS IDO SECTION 4-3(D) (29).

STORAGE BUILDING PARCEL AREA: 97,966 S.F. (2.25 ACRES)
 STORAGE BUILDING AREA (TWO STORIES): 88,500 S.F.
 STORAGE BUILDING FOOTPRINT AREA: 45,050 S.F.

PARKING REQUIRED: 5 SPACES
 OFFICE: 3.5 SPACE PER 1000 S.F.
 SELF-STORAGE: 1 SPACE PER 3000 S.F.
 TOTAL PARKING REQUIRED: 34 SPACES
 PARKING PROVIDED: 35 SPACES

MOTORCYCLE PARKING REQUIRED: 2 SPACES
 MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
 BICYCLE PARKING PROVIDED: 4 SPACES

ADA ACCESSIBLE SPACES REQUIRED: 2 SPACES
 ADA ACCESSIBLE SPACES PROVIDED: 2 SPACES

LANDSCAPING REQUIRED (15% OF PARCEL AREA): 14,694 SF
 LANDSCAPING PROVIDED: 15,523 SF

TRACT H-6B-2 PARCEL AREA: 38,234 S.F. (0.88 ACRES)
 TRACT H-9A-1 PARCEL AREA: 46,163 S.F. (1.06 ACRES)
 TRACT H-5A PARCEL AREA: 48,786 S.F. (1.12 ACRES)

SITE NOTES

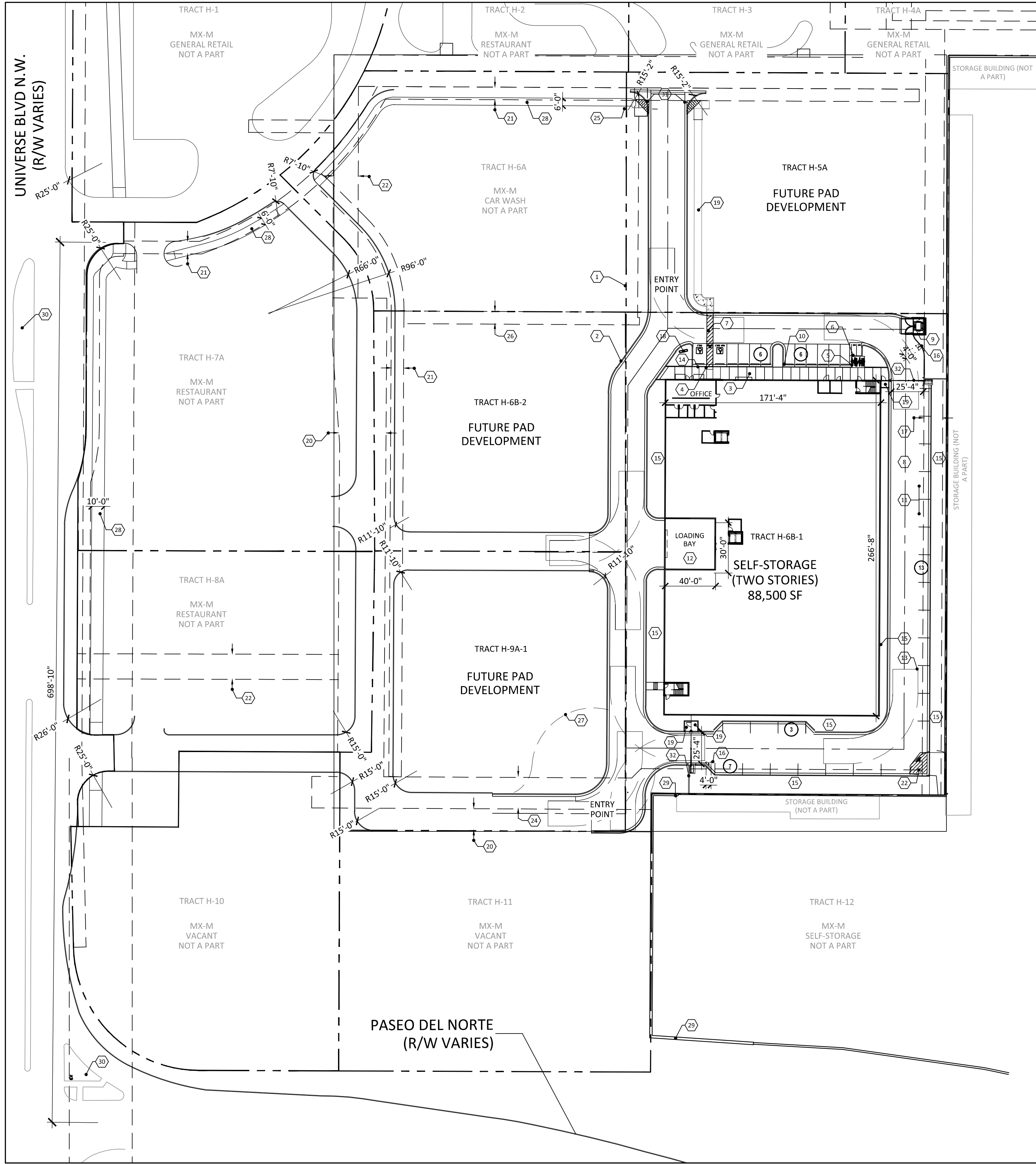
- 1 - PROPERTY LINE
- 2 - CURB
- 3 - NEW SIDEWALK
- 4 - ACCESSIBLE RAMP
- 5 - BICYCLE RACK
- 6 - MOTORCYCLE PARKING ONLY SIGN
- 7 - CONCRETE CROSSWALK
- 8 - ASPHALT PAVING
- 9 - TRASH ENCLOSURE
- 10 - CONCRETE PARKING BUMPER
- 11 - PARALLEL PARKING
- 12 - 30'X40' LOADING ZONE
- 13 - FIRE TRUCK TURNING RADIUS
- 14 - ACCESSIBLE PARKING SIGN
- 15 - LANDSCAPING
- 16 - GATE ACCESS KEY PAD
- 17 - PUBLIC WATERLINE EASEMENT - REFER CIVIL
- 18 - MONUMENT SIGN
- 19 - CONCRETE SIDEWALK
- 20 - EXISTING PUBLIC WATERLINE AND SEWAGE EASEMENT
- 21 - EXISTING 10' PUBLIC UTILITY EASEMENT
- 22 - REMAINING PORTION OF AN EXISTING 20' PUBLIC WATERLINE EASEMENT
- 23 - PRIVATE ACCESS EASEMENT
- 24 - EXISTING 25' PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT
- 25 - EXISTING 10' PUBLIC WATERLINE EASEMENT
- 26 - NEW 10' PUBLIC UTILITY EASEMENT
- 27 - EXISTING CUL-DE-SAC
- 28 - EXISTING SIDEWALK
- 29 - EXISTING 8'-0" BLOCK WALL TO REMAIN
- 30 - EXISTING MEDIAN
- 31 - 10' X 20' VISIBILITY TRIANGLE
- 32 - NEW PROPOSED LIFT GATE AND WALL
 GATE WIDTH CLEARANCE APPROXIMATELY 26'-6" FROM THE TOP OF PAD

PROJECT NUMBER: _____
 Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

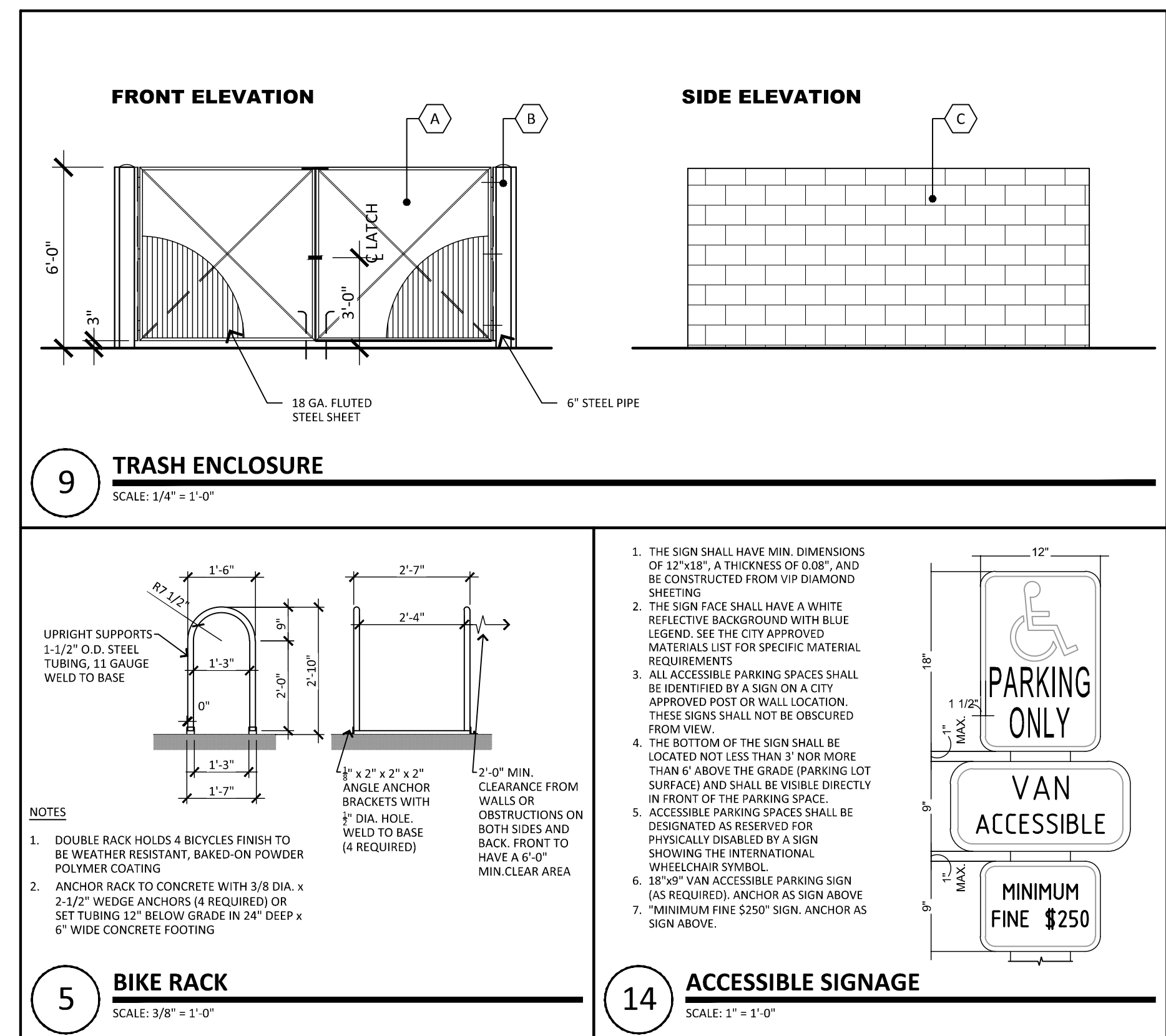
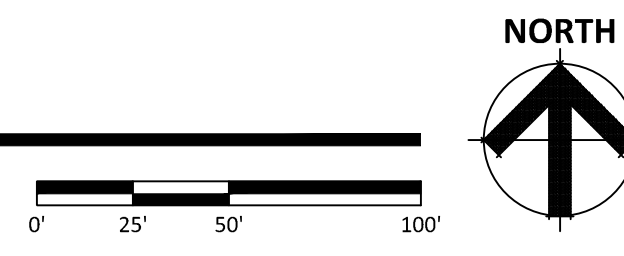
DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
<i>Herman Gallegos</i> Solid Waste Management	04-25-24 Date
Planning Department	Date



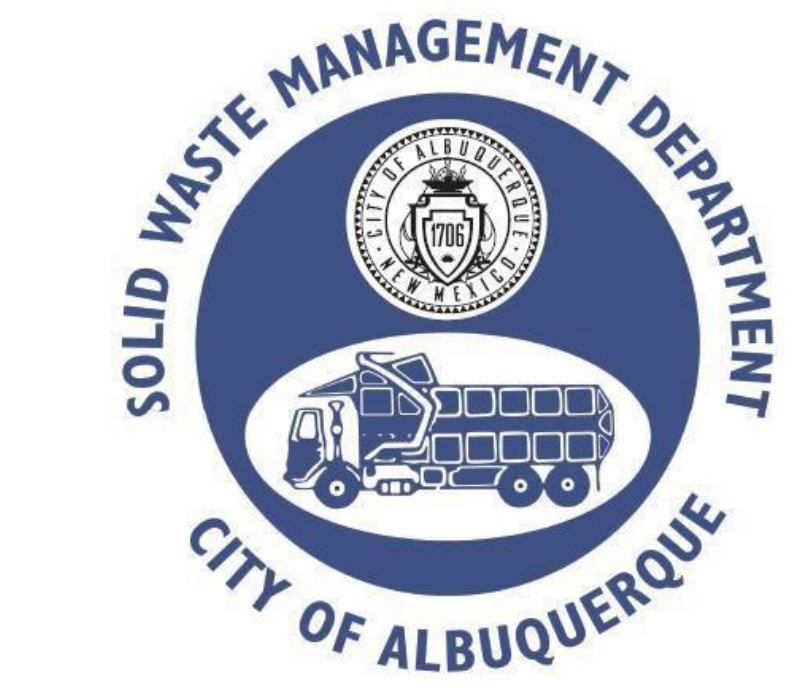
SITE PLAN

SCALE: 1" = 50'-0"



- A METAL GATE: SWINGING**
 FINISH: PAINTED TO MATCH
 MFG: T.B.D.
 COLOR: SHERWIN WILLIAMS IRON ORE #SW 7069
- C 8X8X16 MASONRY:**
 FINISH: SMOOTH FACE
 MFG: SUPERLITE
 COLOR: BLACK MOUNTAIN

- B METAL BOLLARDS:**
 FINISH: PAINTED TO MATCH
 MFG: T.B.D.
 COLOR: SHERWIN WILLIAMS ARGOS #SW 7065



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

between the hours of 5AM and 8PM.

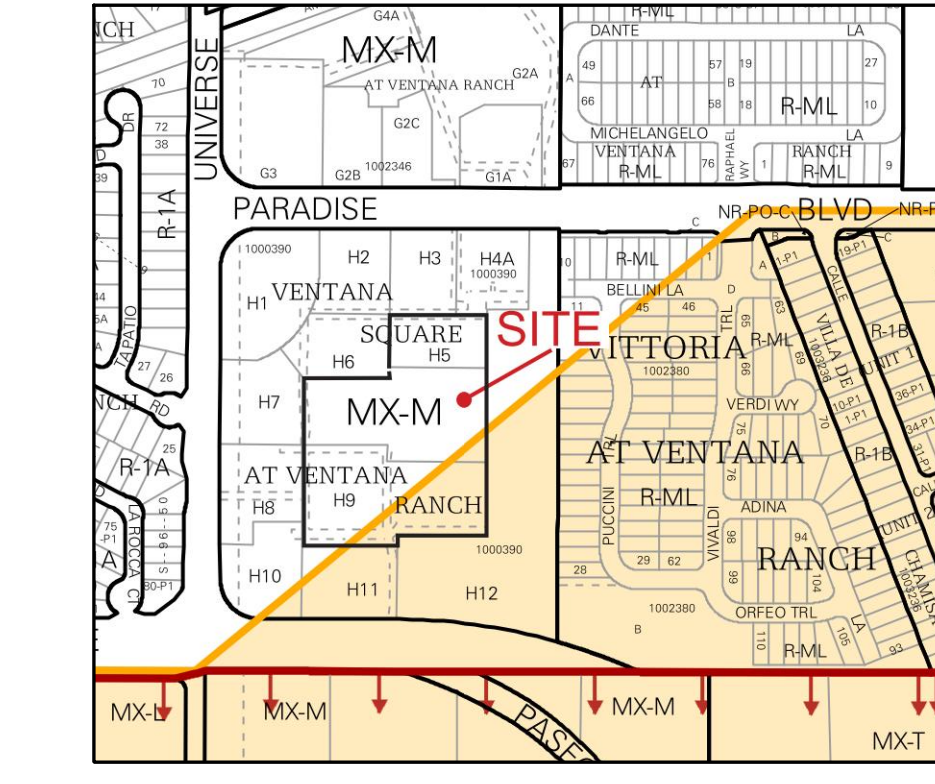
Reviewer: *Herman Gallegos*

Date: 04-25-24

Recycle declined

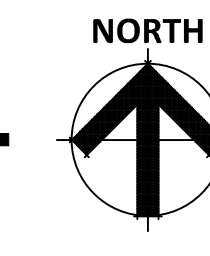
**Keypad Access Clearance 26'-6"

Width 25'-4" see keyed note 32**



VICINITY MAP

SCALE: 1" = 500'-0"



VENTANA SQUARE SELF-STORAGE

NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD

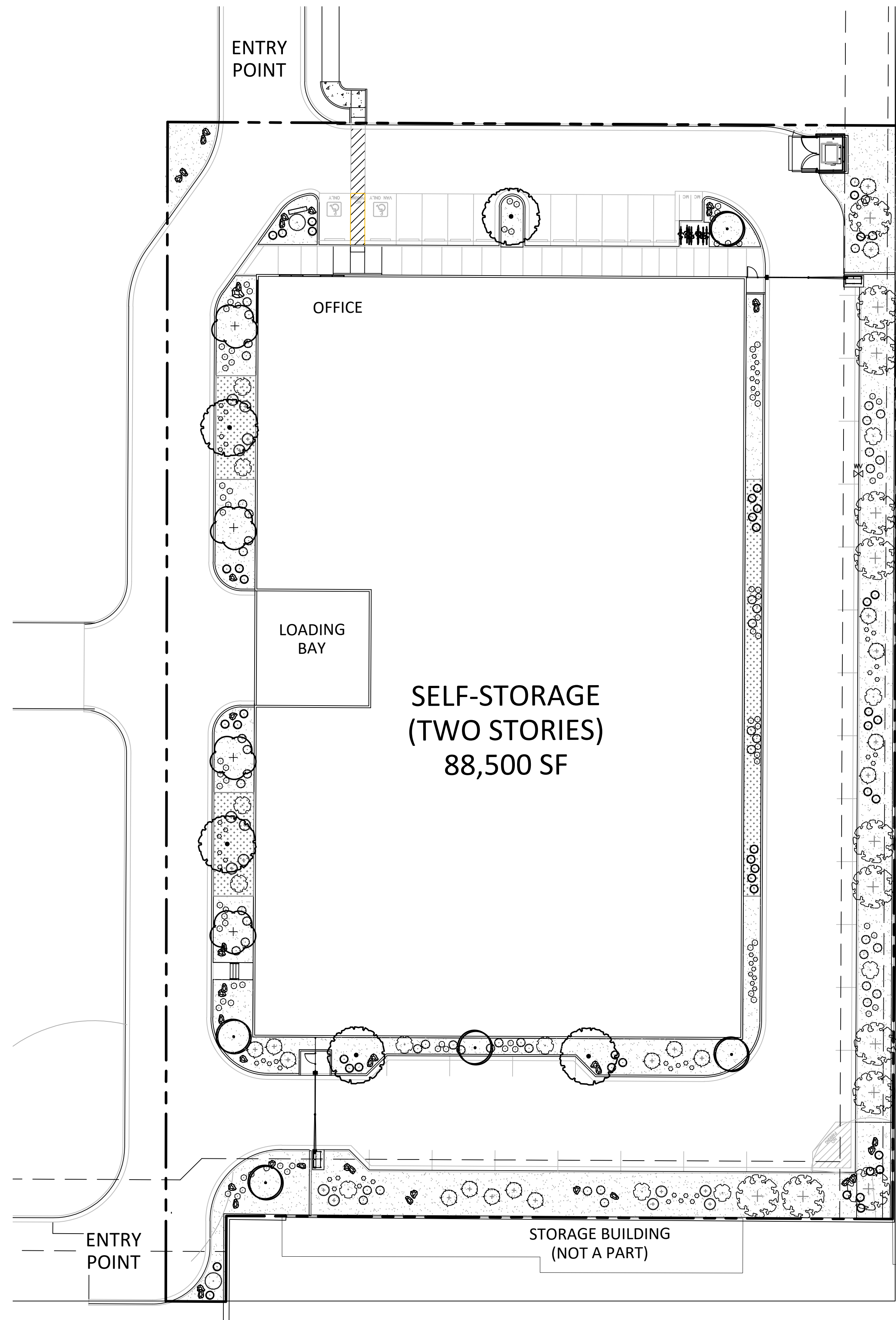
ALBUQUERQUE, NM 87114

DATE: 04-22-2024 (PRELIMINARY)

SP-1

RKAA# 22116.00

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PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE
TREES				
	5	Cercis reniformis 'Oklahoma' / Oklahoma Redbud	2.5" Cal.	15' x 12'
	5	Crataegus phaenopyrum / Washington Hawthorn	2.5" Cal.	20' X 20'
	4	Forestiera pubescens / New Mexico Olive	2.5" Cal.	15' x 15'
SHRUBS				
	2	Agave americana / Century Plant	5 gal.	6' x 6'
	12	Amelanchier utahensis / Serviceberry	2 gal.	15' x 15'
	83	Cerastium tomentosum / Snow In Summer	1 gal.	8" x 2'
	12	Ligustrum vulgare / Common Privet	1 gal.	8' x 6'
	62	Linum perenne / Blue Flax	1 gal.	18" X 18"
	17	Ribes aureum / Golden Currant	1 gal.	6' x 6'
GRASSES				
	52	Panicum virgatum / Switch Grass	#1	4' X 3'
DESERT ACCENTS				
	43	Hesperaloe parviflora / Red Yucca	1 gal.	5' X 3'
	14	Nolina texana / Beargrass	5 gal.	4' x 4'

LANDSCAPE MATERIALS		
2,956 SF		WALK-ON WOOD MULCH BY BARELAS LANDSCAPING MATERIALS (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
13,232 SF		2"-4" BUILDLOGY BROWN COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
37		3' X 3' LARGE BOULDER

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. FOR IRRIGATION PLANS REFERENCE SHEETS _____.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

UTILITY/PNM COORDINATION
VEGETATION SHALL BE LOCATED 3 FEET IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, PIV'S AND FIRE DEPARTMENT CONNECTIONS.

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED PNM EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED BARK MULCH AT TREES
SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3" DIAMETER CIRCLE.

STORMWATER FACILITY STABILIZATION
ALL STORMWATER FACILITY STABILIZATION SHALL ADHERE TO CABQ STD SPECIFICATION 1013.

PLANT MATERIAL
ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI, Z60.1) OF THE AMERICAN HORTICULTURAL INDUSTRY ASSOCIATION.

LANDSCAPE CALCULATIONS

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (2.25 AC.):	98,193 SF
BUILDING AREA:	- 45,632 SF
NET AREA	52,561 SF
REQUIRED / PROVIDED LANDSCAPE	7,884SF (15%) / 16,188 SF (31%)

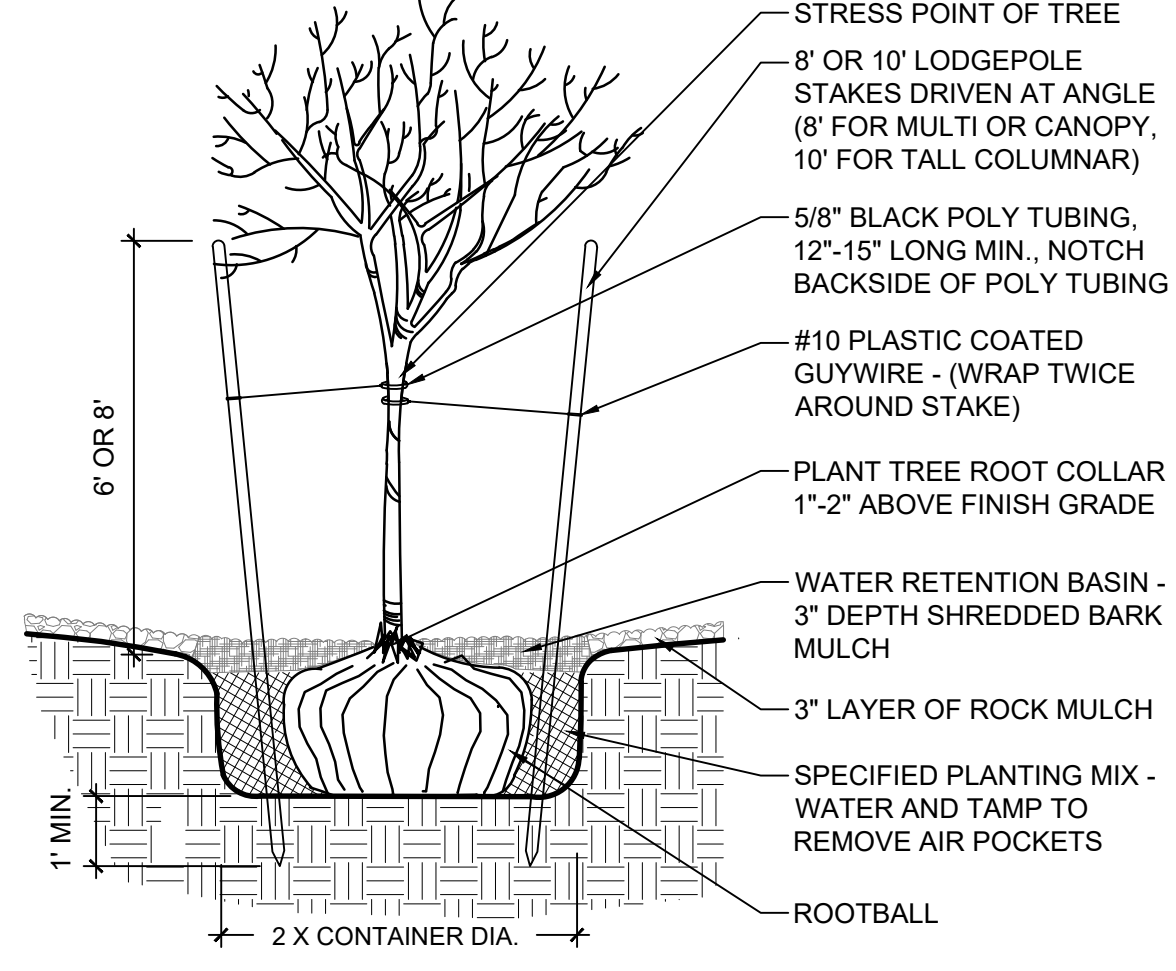
COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL TOTALS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	12,141 SF (75%) / 16,899 (104%)
--	---------------------------------

PARKING LOT TREES	
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.	
PARKING LOT SPACES PROVIDED	32
REQUIRED/PROVIDED PARKING LOT TREES:	3/7

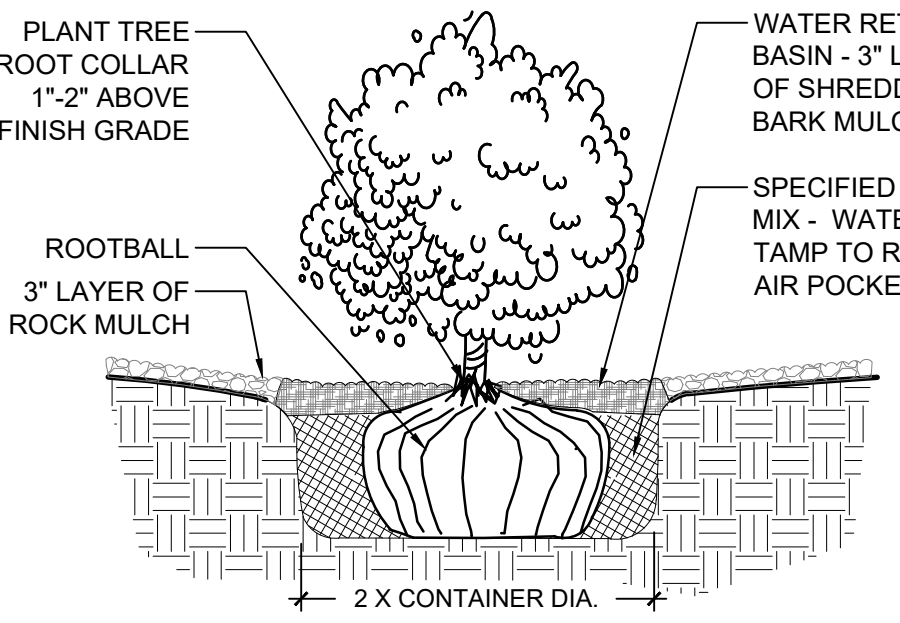
PARKING LOT AREA	
AT LEAST 10% OF THE PARKING LOT AREA CONTAINING 50 OR FEWER SPACES, SHALL BE LANDSCAPED.	
TOTAL PARKING LOT AREA:	21,750 SF
REQUIRED/PROVIDED LANDSCAPE AREA:	2,175 SF (10%) / 10,730 (203%)

- NOTES:
1. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 2. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
 3. REMOVE ROPE AND BURLAP AFTER PLANTING.

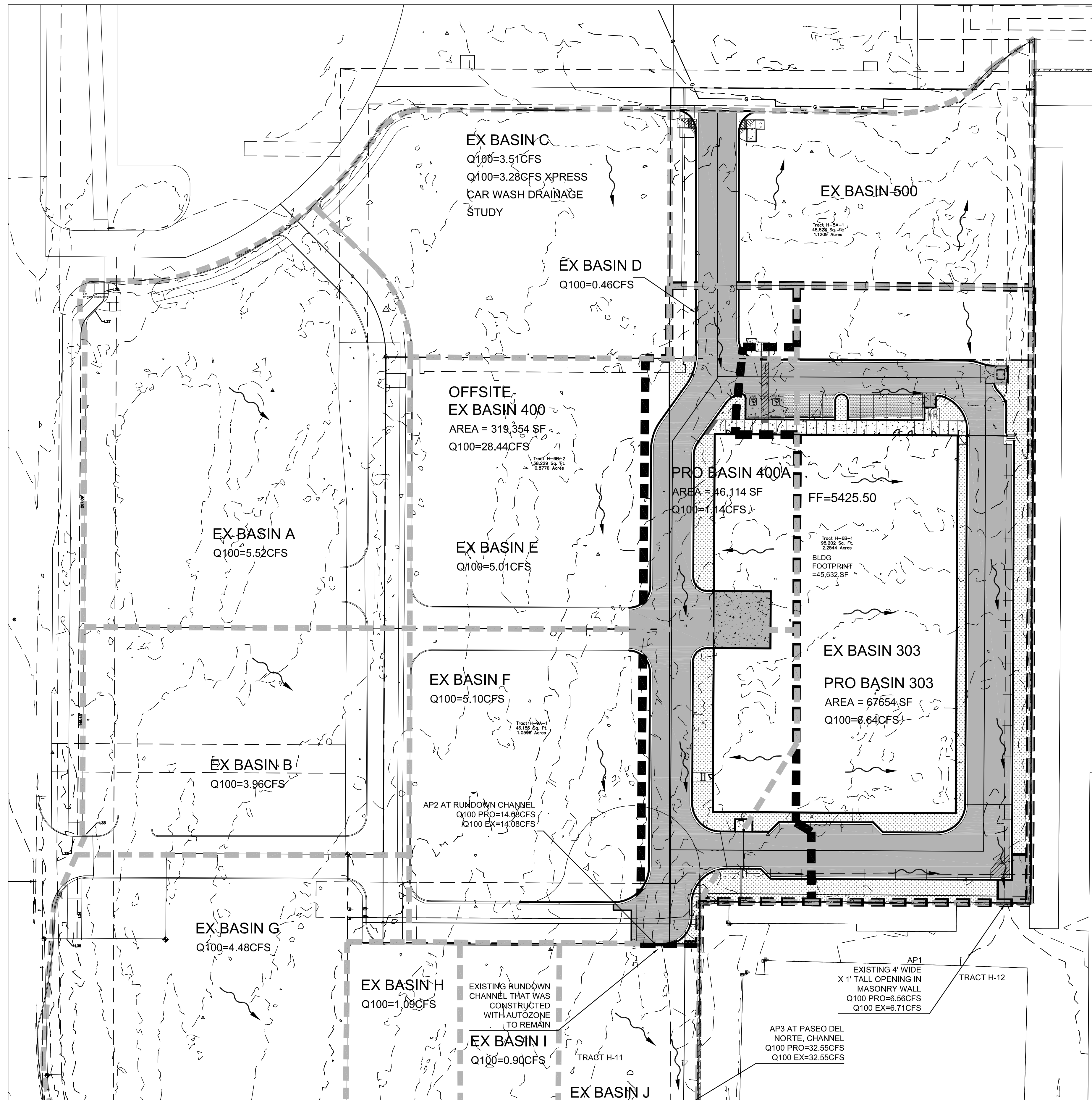


TREE PLANTING DETAIL
DRAWING SCALE: N.T.S. / INSERTION SCALE: 1

- NOTES:
1. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 2. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.

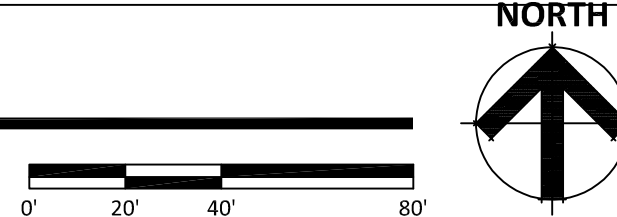


SHRUB PLANTING DETAIL
DRAWING SCALE: N.T.S. / INSERTION SCALE: 1



GRADING AND DRAINAGE PLAN - OVERALL

SCALE: 1" = 40'-0"



I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR THE PROPOSED VENTANA SQUARE SELF-STORAGE PROJECT. THE NEW BUILDING IS LOCATED AT THE NORTH EAST CORNER OF PASEO DEL NORTE AND UNIVERSE BOULEVARD IN NORTHWEST ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS Q-16-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH EAST CORNER OF PASEO DEL NORTE NW AND UNIVERSE BOULEVARD NW IN THE VENTANA SQUARE DEVELOPMENT. THE SITE IS CURRENTLY VACANT. PROPERTIES TO THE EAST AND SOUTH HAVE BEEN DEVELOPED AND CONTAIN SELF STORAGE UNITS. A SHARED STORMWATER POND HAS BEEN CONSTRUCTED TO THE SOUTH EAST OF VENTANA SQUARE ALONG PASEO DEL NORTE. THE POND HAS BEEN SIZED TO ACCEPT RUNOFF FROM THE PROJECT SITE, INCLUDING WATER QUALITY VOLUMES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-24HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1 (WEST OF RIO GRANDE).

V. EXISTING DRAINAGE CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. THE SITE TO THE EAST AND SOUTH IS FULLY DEVELOPED AS A SELF STORAGE FACILITY. RUNOFF FROM THIS SITE UNDER THE PRIOR DRAINAGE PLAN (DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020, PREPARED BY THIS OFFICE) ALLOWS FOR 6.71CFS TO BE DISCHARGED AT THE SOUTHEAST CORNER OF THE PROJECT SITE. THIS RUNOFF WILL PASS THROUGH THE ADJACENT DEVELOPMENT TO REACH THE WATER QUALITY AND RETENTION POND ALONG PASEO DEL NORTE.

THE DRAINAGE MASTERPLAN IDENTIFIED A RIDGELINE WITHIN THE PARCEL TO THE NORTH. THE PROJECT SITE WILL ALLOW FROM BASIN 500 TO ENTER AND PASS THROUGH THE PROJECT SITE. THE PARCEL TO THE WEST DRAINS SOUTH AND WILL JOIN RUNOFF WITH OTHER PARCELS AS PART OF A 8.39 ACRE DRAINAGE BASIN. THE PEAK FLOW RATE FROM BASIN 400 IS 32.55CFS. BASIN 400 WILL ALSO DRAIN TO THE RETENTION POND ALONG PASEO DEL NORTE.

THE EXISTING BASIN MAP ALSO INCLUDES THE REFINED SUB-BASINS FROM A PRIOR DRAINAGE STUDY FROM 2021. BASIN WITH LETTERS ARE DERIVED FROM THAT STUDY. THE SUMMATION OF THE LETTERED SUB-BASIN EQUAL THE MASTERPLANNED DRAINAGE BASIN #400.

PASEO DEL NORTE CONTAINS STORMWATER COLLECTION AND CONVEYANCE CHANNELS AND PIPING THAT DISCHARGE INTO THE LARGE STORMWATER RETENTION POND. AS MENTIONED IN THE SITE DESCRIPTION AND HISTORY PORTION, THE DRAINAGE MASTER PLAN FOR VENTANA SQUARE REQUIRES THAT THE FLOW RATE OFF THE SITE MATCH THE 6.71CFS AND 32.55CFS RESPECTIVELY.

VI. PROPOSED DRAINAGE CONDITIONS

THE NEW BUILDING WILL BE 45,632SF FOOTPRINT, TWO STORY SELF STORAGE BUILDING. THE ROOF WILL HAVE A CENTER RIDGE AND WILL SLOPE BOTH EAST AND WEST. ROOF DOWNSPOUTS WILL CONVEY RUNOFF TO THE GROUND, WHERE SPLASH BLOCKS AND RIPRAP RUNDOWNS WILL CONVEY RUNOFF TO THE SURROUNDING STREET NETWORK. THE ROOF RIDGE IS SLIGHTLY ALTERED FROM THE MASTERPLAN FOR BASIN 303 AND ADDITIONAL PARKING RUNOFF HAS BEEN ADDED TO THE BASIN TO MAINTAIN A SIMILAR FLOWRATE. FLOWRATE AT THE SOUTHEAST CORNER IS REDUCED BY 0.15CFS AT ANALYSIS POINT AP1.

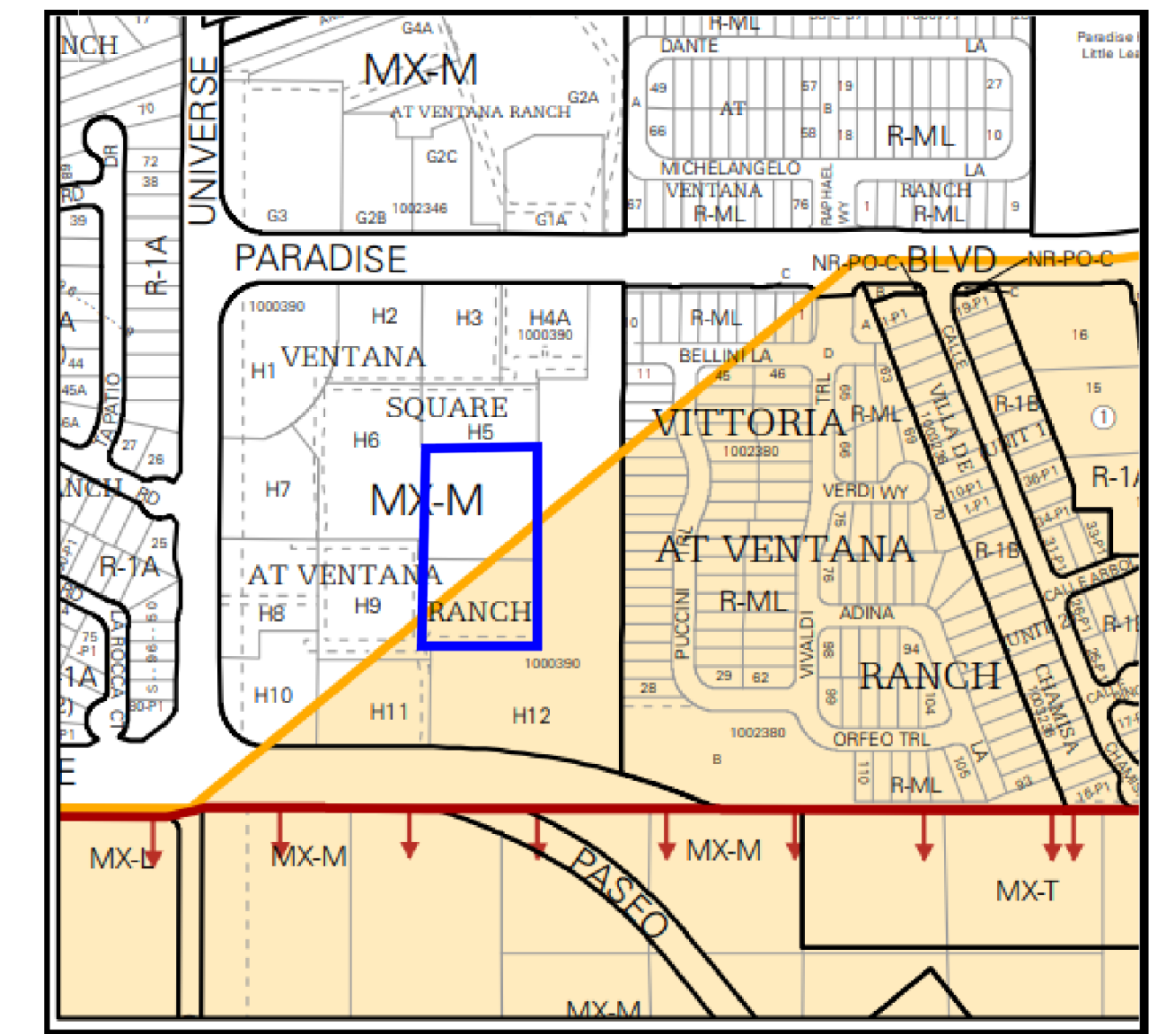
THE WESTERN PART OF THE SITE HAS BEEN IDENTIFIED AT SUB-BASIN PRO BASIN 400A. PRO BASIN 400A GENERATES A PEAK RUNOFF OF 4.11CFS. PRO BASIN 400A WHEN COMBINED WITH OFFSITE PRO BASIN 400 FROM THE PRIOR DRAINAGE STUDY THAT CONTAINS THE REMAINING 28.44 CFS (WILL EQUAL THE DEFINED FLOW RATE OF 32.55CFS). THE LANDSCAPING PERCENTAGE IS SLIGHTLY HIGHER THAN UTILIZED IN THE PRIOR DRAINAGE MASTERPLAN. CONSERVATIVE VALUES FOLLOWING THE MASTER DRAINAGE PLAN HAVE BEEN USED, 7.5% FOR TYPE B AND TYPE C SOILS, AS THIS IS A SUBBASIN WITHIN THE 8.39 ACRE BASIN 400.

THE DISCHARGE RATE AT THE ENTRANCE OF THE CHANNEL (AP2) ON THE EAST SIDE OF AUTOZONE WILL REMAIN AS PREVIOUSLY DESIGNED AT 14.08 CFS.

THE DISCHARGE RATE AT ANALYSIS POINT 3 (AP3) REMAINS THE SAME AS THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020 AT 32.55CFS AT THE SOUTH WEST CORNER OF TRACT H-11 WHERE RUNOFF ENTERS THE CONCRETE CHANNEL THAT CONVEYS RUNOFF TO THE DETENTION POND. WATER QUALITY VOLUMES WERE COMPUTED FOR 85% IMPERVIOUS FOR THE 98,202SF LOT ARE 2,365CF. THE SITE DOES NOT CONTAIN A LOCATION FOR RETENTION OF THE WATER QUALITY VOLUME. PER THE "DRAINAGE REPORT FOR VENTANA SQUARE" DATED DECEMBER 2020 THE ADJACENT POND ALONG PASEO DEL NORTE DOES CONTAIN SUFFICIENT VOLUME TO CONTAIN AND INFILTRATE THE 2,365CF OF RUNOFF TO SATISFY THE WATER QUALITY REQUIREMENTS. PER THE 2020 REPORT THE FULL BUILD OUT DEPTH WILL BE 0.80' DEEP IN THE SHARED RETENTION POND.

VII. CONCLUSIONS

THIS DRAINAGE STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020. RUNOFF FROM THE PROJECT SITE WILL DRAIN OUT AT ANALYSIS POINTS AP1 AND AP2 AT THE OR SLIGHTLY REDUCED FROM THE PRIOR STUDY. NO CHANGES ARE REQUIRED TO DOWNSTREAM USERS, AS THIS PROJECT WILL NOT CAUSE AN INCREASE IN FLOWRATE, WATER QUALITY VOLUME OR EXCESS RUNOFF VOLUME FROM THE DRAINAGE REPORT FOR VENTANA SQUARE DATED DECEMBER 2020.



ZONE ATLAS PAGE B-10Z

NOT TO SCALE



FEMA FLOOD ZONE MAP 35001C0103H

NOT TO SCALE

MATERIAL LEGEND

- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS
- LANDSCAPING AREA



APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

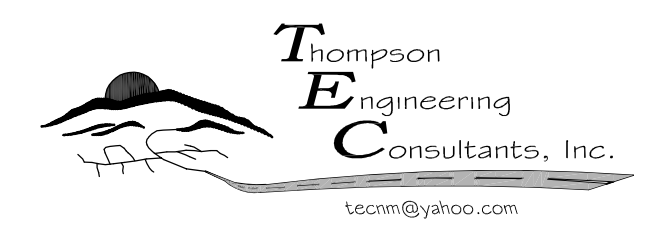


VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 01-10-2024 (PRELIMINARY)

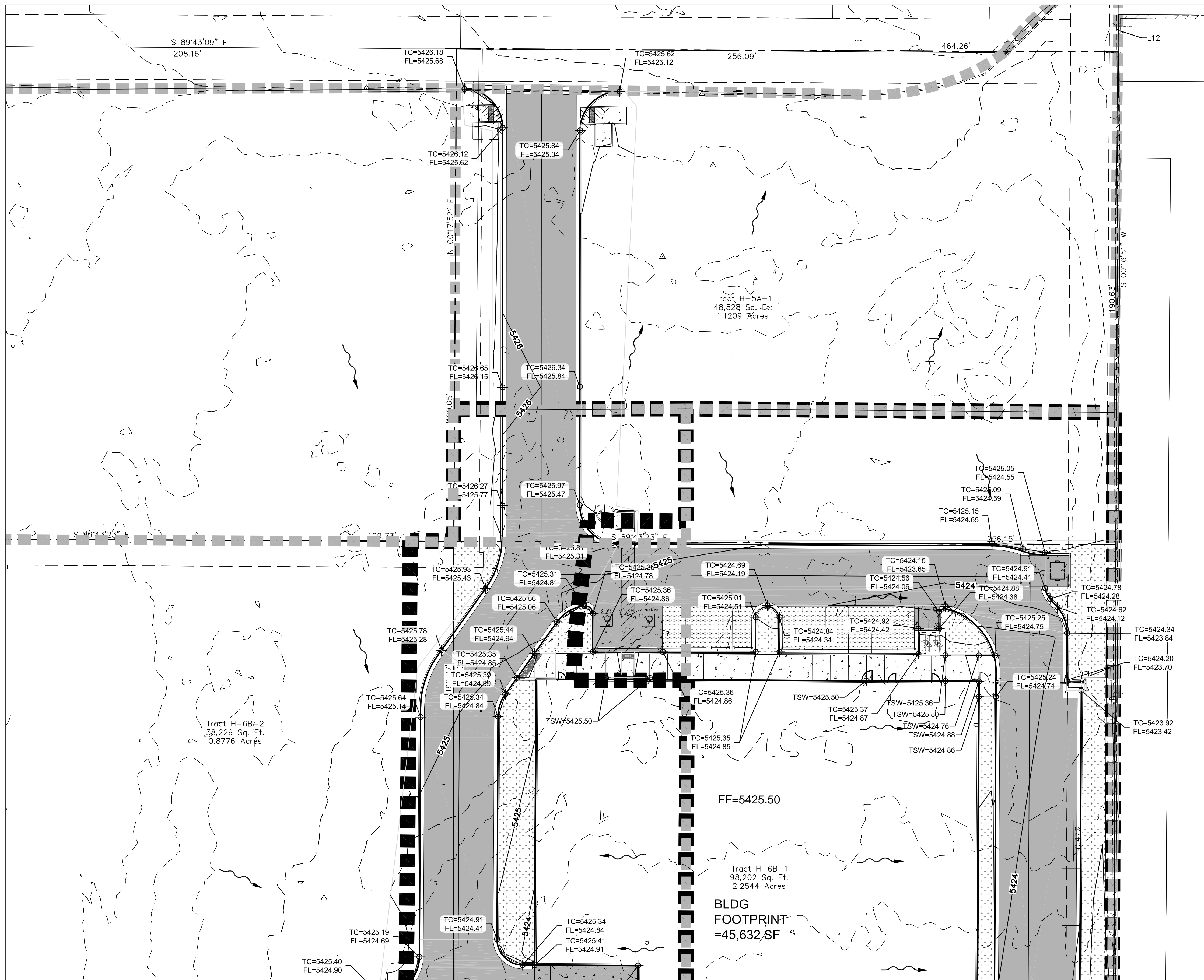
G&D 1

RKAA# 22116.00

GRADING AND DRAINAGE PLAN

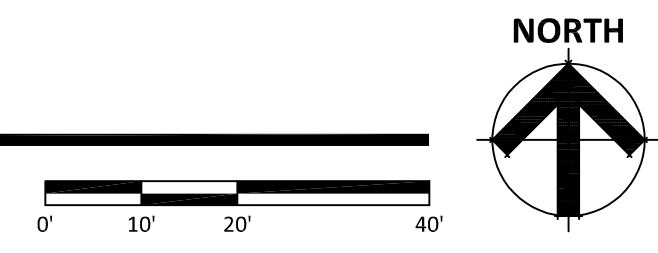


P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 850-9248



GRADING AND DRAINAGE PLAN - ENLARGED

SCALE: 1" = 20'-0"

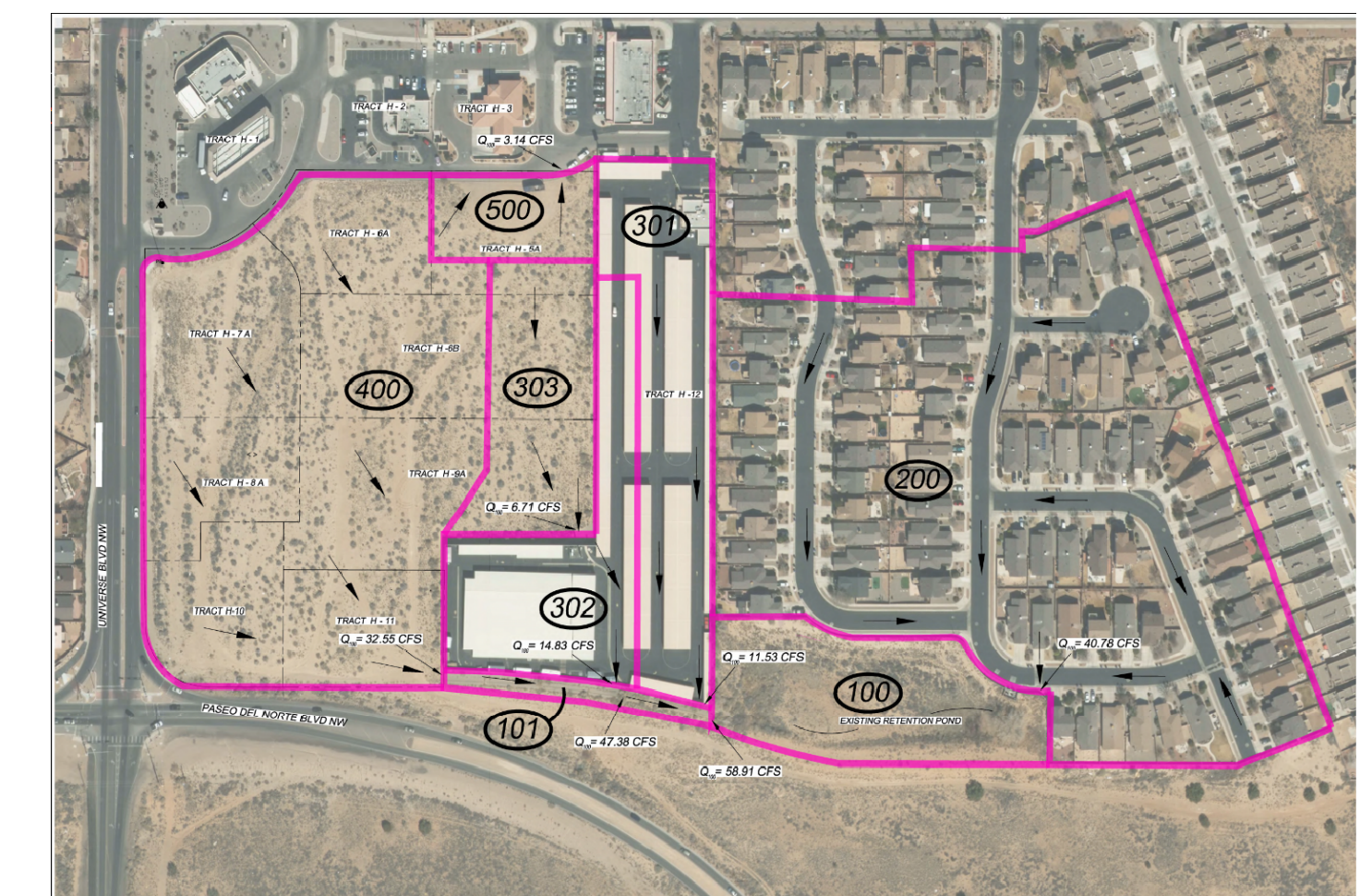


VENTANA SQUARE SELF-STORAGE
 NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
 ALBUQUERQUE, NM 87114
 DATE: 01-10-2024 (PRELIMINARY)

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/13/24
 BY: *Roger C. Bransette*
 HydroTeam # B10D003C3C

THE APPROVAL OF THESE PLANS AND REPORT SHALL NOT BE CONSIDERED AN ENDORSEMENT OR GUARANTEE OF ANY TYPE OR WARRANTY BY THE CITY OF ALBUQUERQUE. THE CITY OF ALBUQUERQUE DOES NOT PROVIDE ENGINEERING OR ARCHITECTURAL SERVICES. THE CITY OF ALBUQUERQUE DOES NOT PROVIDE ENGINEERING OR ARCHITECTURAL SERVICES. THE CITY OF ALBUQUERQUE DOES NOT PROVIDE ENGINEERING OR ARCHITECTURAL SERVICES.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



BASIN MAP FROM PRIOR STUDY

BASIN	Area (acres)	100yr-6hr Peak Flow (cfs)	100yr-10 day Runoff Volume (ac-ft)	Land Treatment
100	2.16	4.67	0.13	100%B
101	0.27	1.11	0.09	100%D
200	12.06	40.78	2.54	23%B, 23%C, 54%D
301	2.92	11.53	0.88	5%B, 6%C, 89%D
302	1.97	8.12	0.65	100%D
303	1.73	6.71	0.50	7.5%B, 7.5%C, 85%D
400	8.39	32.55	2.45	7.5%B, 7.5%C, 85%D
500	0.81	3.14	0.24	7.5%B, 7.5%C, 85%D

BASIN CALCULATIONS FROM PRIOR STUDY

Drainage Summary

Project: Ventana Square Self-Storage
 Project Number: Ventana Square Self-Storage
 Date: 01/21/24
 By: MTD

Site Location: 1 Per COA DPM Chapter 6

Existing summary

Basin Name	EX 303	EX 400	EX 500
Area (sf)	75450	365468.4	35283.6
Area (acres)	1.73	8.39	0.81
%A Land treatment	0	0	0
%B Land treatment	7.5	7.5	7.5
%C Land treatment	7.5	7.5	7.5
%D Land treatment	85	85	85
Soil Treatment (acres)			
Area "A"	0.00	0.00	0.00
Area "B"	0.13	0.63	0.06
Area "C"	0.13	0.63	0.06
Area "D"	1.47	7.13	0.69
Excess Runoff (acre-feet)			
100yr. 6hr.	0.2930	1.4193	0.1370
10yr. 6hr.	0.1829	0.8860	0.0855
2yr. 6hr.	0.1144	0.5541	0.0535
100yr. 24hr.	0.3323	1.6095	0.1554
Peak Discharge (cfs)			
100 yr.	6.72	32.55	3.14
10yr.	4.08	19.76	1.91
2yr.	2.36	11.45	1.11

MATERIAL LEGEND

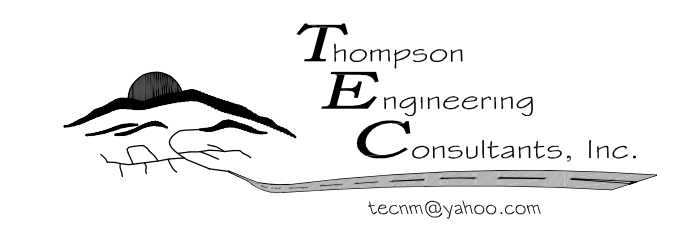
- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS
- LANDSCAPING AREA.

GRADING AND DRAINAGE PLAN

G&D 2

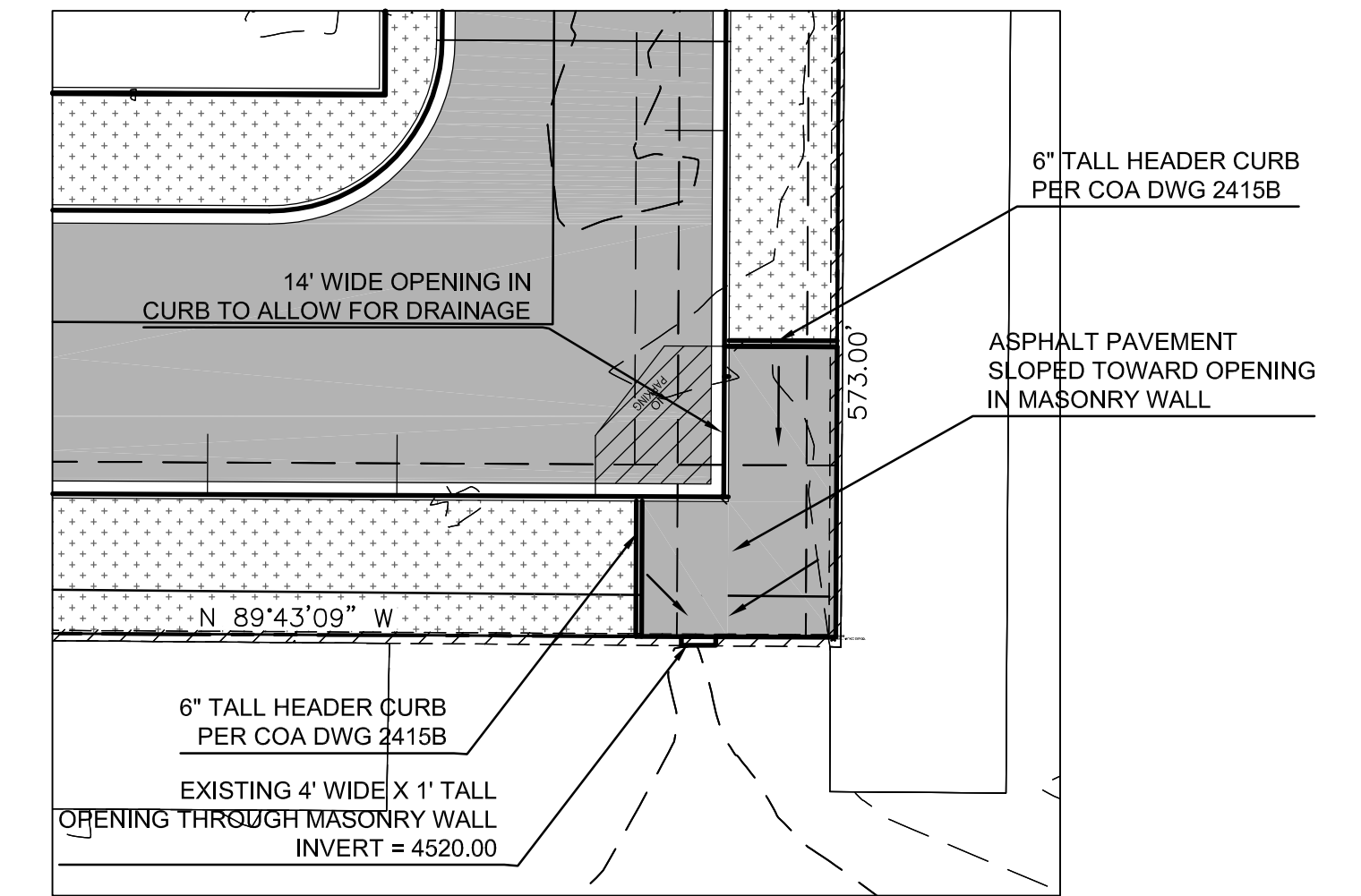
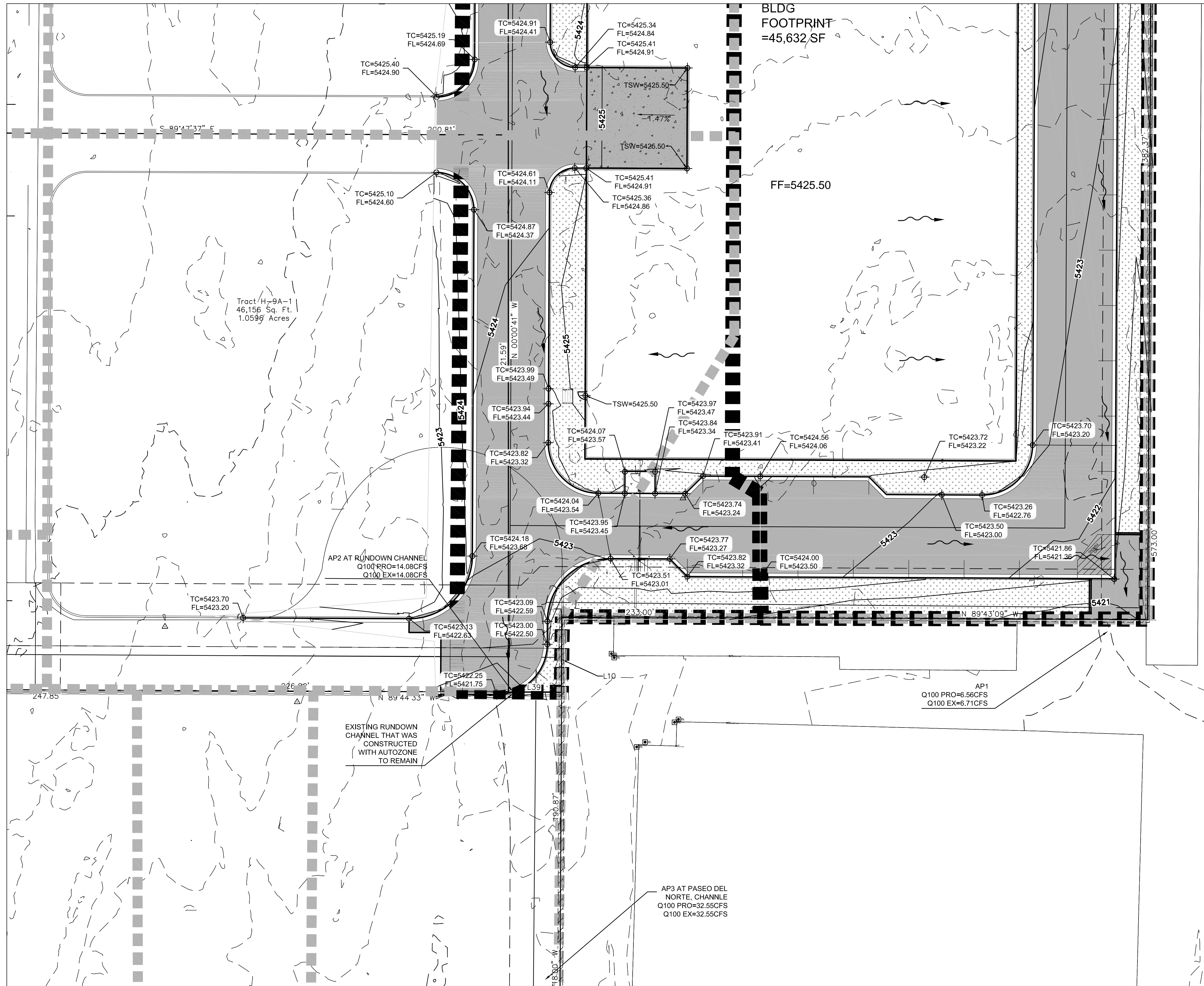
RKAA# 22116.00

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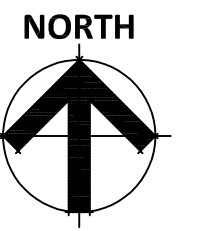
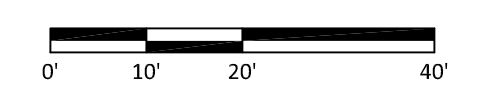
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 ALBUQUERQUE, NM 87193
 PHONE: (505) 271-2199
 FAX: (505) 830-9248





ASPHALT RUNDOWN - ENLARGED

SCALE: 1" = 20'-0"



Drainage Summary

Project:	Ventana Square Self-Storage			
Project Numbe:	Ventana Square Self-Storage			
Date:	01/21/24			
By:	MTD			
Site Location	1 Per COA DPM Chapter 6			
Precipitation Zone	1 Per COA DPM Chapter 6			
Proposed summary				
Basin Name	PRO 303	OFFSITE PRO 400	PRO 400A	PRO 501
Area (sf)	73652	319354	46114	32286
Area (acres)	1.691	7.331	1.059	0.741
%A Land treatment	0	0	0	0
%B Land treatment	7.5	7.5	7.5	7.5
%C Land treatment	7.5	7.5	7.5	7.5
%D Land treatment	85	85	85	85
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	0.00
Area "B"	0.13	0.55	0.08	0.06
Area "C"	0.13	0.55	0.08	0.06
Area "D"	1.44	6.23	0.90	0.63
Excess Runoff (acre-feet)				
100yr 6hr	0.2860	1.2402	0.1791	0.1254
10yr 6hr	0.1786	0.7742	0.1118	0.0783
2yr 6hr	0.1117	0.4842	0.0699	0.0489
100yr 24hr	0.2860	1.2402	0.1791	0.1254
100yr 10day	0.4932	2.1386	0.3088	0.2162
Peak Discharge (cfs)				
100 yr.	6.56	28.44	4.11	2.88
10yr.	3.98	17.26	2.49	1.75
2yr.	2.31	10.01	1.45	1.01
Water Quality Ponding Volume (cf)	1773.8	7691.1	1110.6	777.6
Water Quality Acre Feet	0.0407	0.1766	0.0255	0.0179

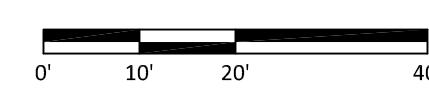
MATERIAL LEGEND

- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE PAVEMENT
- 4" THICK CONCRETE SIDEWALK
- EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS
- LANDSCAPING AREA.



GRADING AND DRAINAGE PLAN - ENLARGED

SCALE: 1" = 20'-0"



VENTANA SQUARE SELF-STORAGE
 NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
 ALBUQUERQUE, NM 87114
 DATE: 01-10-2024 (PRELIMINARY)

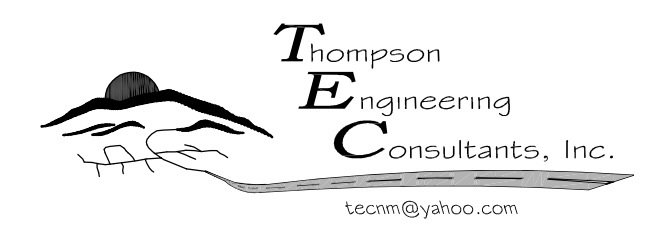
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/13/24
 BY: *Ronald C. Bennett*
 HydroTeam # B10D003C3C

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

G&D 3

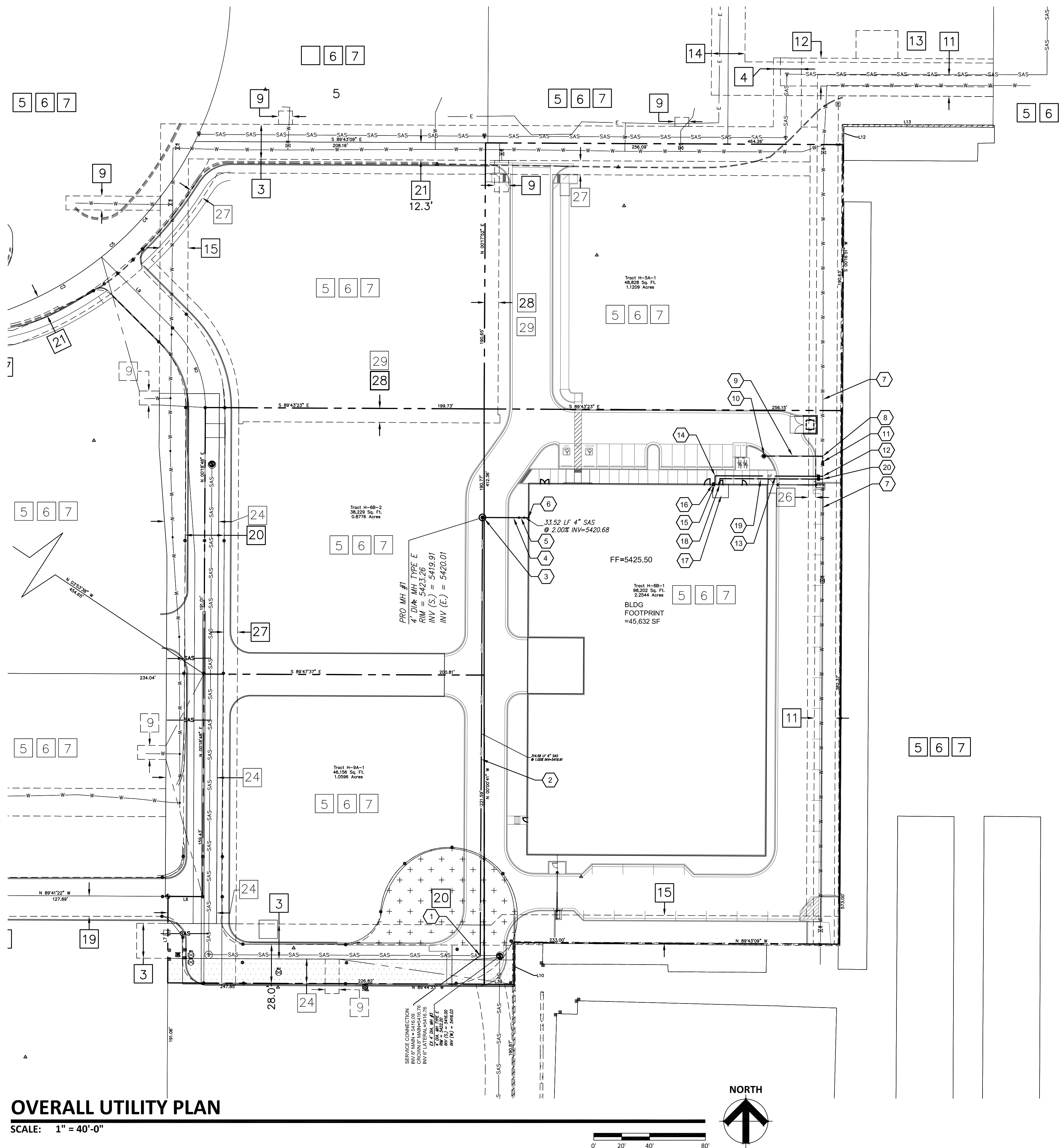
RKAA# 22116.00

GRADING AND DRAINAGE PLAN



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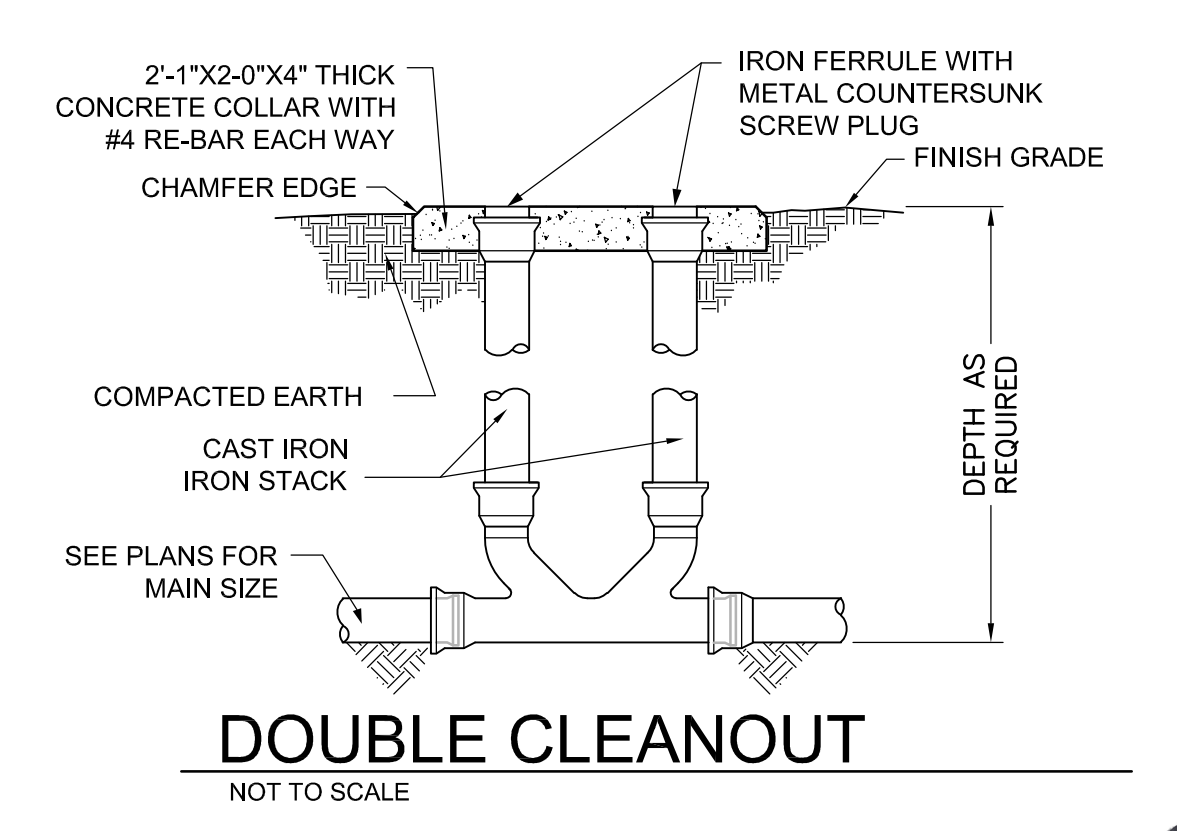




GENERAL NOTES

A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 B. FIELD VERIFY ALL DIMENSIONS.
 C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER, BEFORE PROCEEDING.
 D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
 E. REFER TO PLAT FOR EASEMENT DEFINITIONS.

- KEYED NOTES**
- NEW 6" SERVICE LATERAL CONNECTION ONTO EXISTING 8" SANITARY SEWER LINE, PER ABCWUA STD DWG 2125. MATCH INVERT OF LATERAL TO CROWN OF EXISTING MAIN. INV. EXISTING MAIN=5416.09, NEW INV IN (6")=5416.76
 - NEW 6" PRIVATE PVC SDR-35 SANITARY SEWER LINE AT 1.00% SLOPE
 - NEW 4" DIAMETER TYPE E SANITARY SEWER MANHOLE PER COA STD DWG 2102. RIM=5424.84, INV OUT (S) 6"=5419.91, INV IN (E) 4"=5420.01
 - NEW 4" PVC SDR-26 SANITARY SEWER LINE AT 2.00% SLOPE.
 - DOUBLE CLEANOUT PER DETAIL THIS SHEET.
 - CONNECT TO BUILDING. INV = 5420.68 (5.5' BFF).
 - EXISTING 8" PVC WATERLINE.
 - NEW NON-PRESSURE CONNECTION, 8"X8"X6" DI TEE, 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333. RESTRAIN ALL JOINT ON FIRE HYDRANT LEG.
6" GATE VALVE
X= _____
Y= _____
 - NEW 42.17' OF 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
 - NEW FIRE HYDRANT PER ABCWUA STD DWGS 2340 AND 2342.
FIRE HYDRANT FLANGE ELEV= _____
X= _____
Y= _____
 - NEW 8" GATE VALVE WITH VALVE BOX AND 8" DI TRANSITION COUPLING PER ABCWUA STD DWG 2301, 2326, AND 2328.
 - NEW NON-PRESSURE CONNECTION, 8"X8"X6" DI TEE, 6" GATE VALVE WITH VALVE BOX PER ABCWUA STD DWGS 2301, 2326, 2328, AND 2333. RESTRAIN ALL JOINT ON FIRE SUPPRESSION LINE. VALVE COVER TO READ "FIRE".
6" GATE VALVE
X= _____
Y= _____
 - NEW 83.07' OF 6" PVC C900 DR-18 WATERLINE, MINIMUM BURY 3'.
 - NEW 6"X90" DI ELBOW.
 - CONNECTION FIRE SUPPRESSION LINE TO BUILDING. SEE FIRE SUPPRESSION PLANS FOR CONTINUATION.
 - NEW WALL MOUNTED FIRE DEPARTMENT CONNECTION.
 - FIRE RISER ROOM WITH ACCESS DOOR DIRECTLY THROUGH EXTERIOR WALL.
 - CONNECT 1" PEX WATERLINE TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - NEW 1" PEX WATERLINE, MINIMUM BURY 3'.
 - NEW 1" WATER SERVICE INCLUDING CORP STOP, SUPPLY LINE, METER BOX AND METER PER ABCWUA STD DWGS 2361, 2362 AND 2366.



OVERALL UTILITY PLAN
 SCALE: 1" = 40'-0"

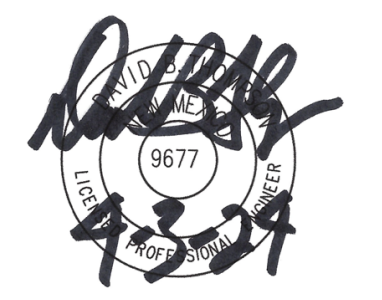
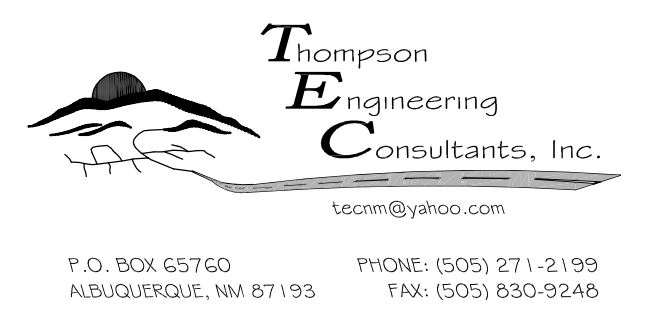
OVERALL UTILITY PLAN



VENTANA SQUARE SELF-STORAGE
 NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
 ALBUQUERQUE, NM 87114
 DATE: 4-1-2024 (PERMIT PLANS)

C-301
 RKA A# 22116.00

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GENERAL NOTES

ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.

SIGN INFORMATION

SIGN A:
 DIMENSIONS: 2'-0" H x 21'-3" L
 ILLUMINATED: YES
 SF: 42.5 SF
 PERCENTAGE OF FACADE: 42.5 / 4794
 (TOTAL) = <1%

SIGN C:
 DIMENSIONS: 6'-9" H x 14'-10" L
 ILLUMINATED: YES
 SF: 100 SF
 PERCENTAGE OF FACADE: 100 / 7363
 (TOTAL) = 1%

SIGN B:
 DIMENSIONS: 1'-6" H x 16'-0" L
 ILLUMINATED: YES
 SF: 24 SF
 PERCENTAGE OF FACADE: 24 / 7363
 (TOTAL) = <1%

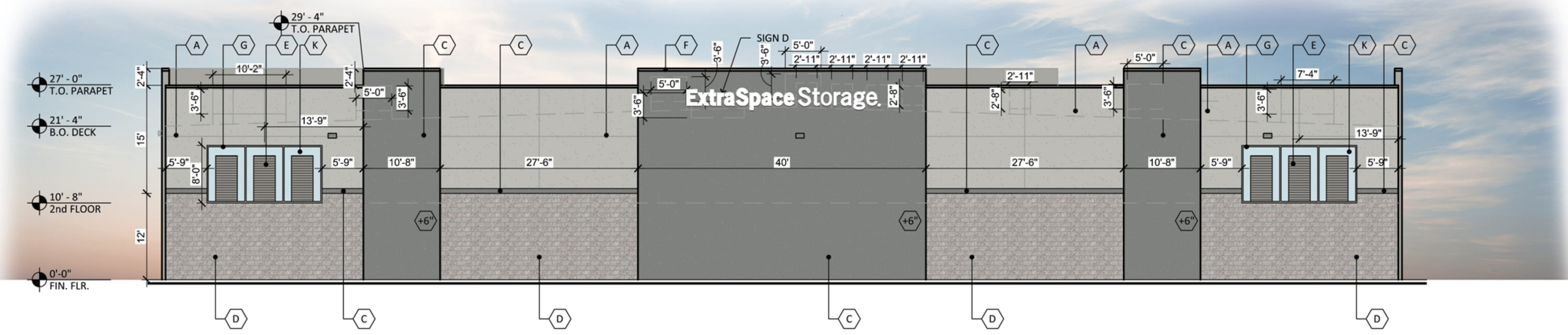
SIGN D:
 DIMENSIONS: 2'-6" H x 26'-7" L
 ILLUMINATED: YES
 SF: 66 SF
 PERCENTAGE OF FACADE: 66 / 4794
 (TOTAL) = <1%

PROJECT DIRECTORY

ARCHITECT:
 RKA A ARCHITECTS, INC.
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: NEIL FEASER
 PHONE: (602) 955-3900
 FAX: (602) 955-0496
 E-MAIL: nfeaser@rkaa.com

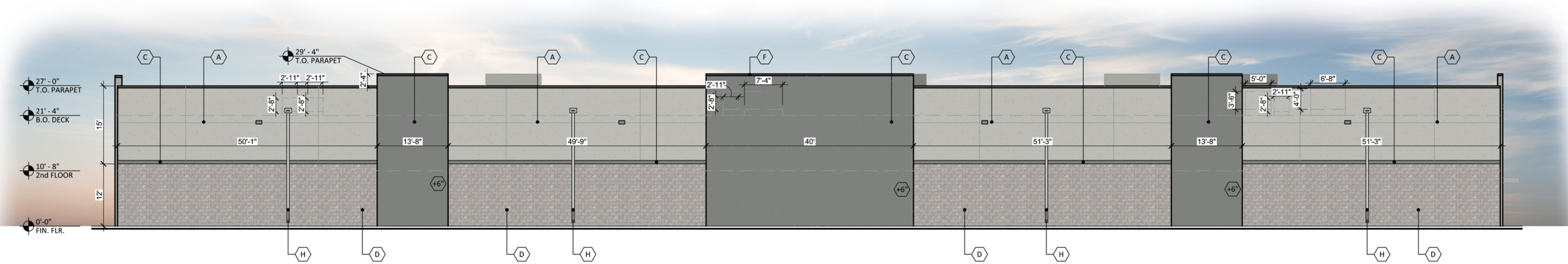
MATERIAL AND COLORS

- A PAINTED STUCCO:**
 FINISH: FINE SAND
 MFG: SHERWIN WILLIAMS
 COLOR: ARGOS # SW 7065
 LRV: 50
- B PAINTED STUCCO:**
 FINISH: FINE SAND
 MFG: SHERWIN WILLIAMS
 COLOR: GRAY MATTERS # SW 7066
 LRV: 39
- C PAINTED STUCCO:**
 FINISH: FINE SAND
 MFG: SHERWIN WILLIAMS
 COLOR: CITYSCAPE # SW 7067
 LRV: 22
- D 8X8X16 MASONRY:**
 FINISH: SPLIT FACE
 MFG: SUPERLITE
 COLOR: PEBBLE BEACH-NW GRAY
 LRV: 21
- E ROLLER DOORS:**
 MFG: JANUS
 COLOR: SILHOUETTE GRAY
 LRV: 39
- F LIGHT GAUGE METAL TRIM/CANOPY:**
 MFG: ATAS
 COLOR: DOVE GRAY
 LRV: 35
- G STOREFRONT MULLION:**
 MFG: KAWNEER
 COLOR: DOVE GRAY
 LRV: 35
- H DOWNSPOUT:**
 MFG: PLY GEM MASTIC
 COLOR: SILVER GREY 02
- J PAINTED HOLLOW METAL DOORS:**
 MFG: SHERWIN WILLIAMS
 COLOR: CITYSCAPE # SW 7067
 LRV: 22
- K GLAZING:**
 MFG: PPG OR EQUAL
 COLOR: CLEAR
 TYPE: SOLARBAN 60 INSULATED
- L ROLL UP DOOR:**
 MFG: COOKSON OR EQUAL
 COLOR: RAL-7037
 LRV: 22



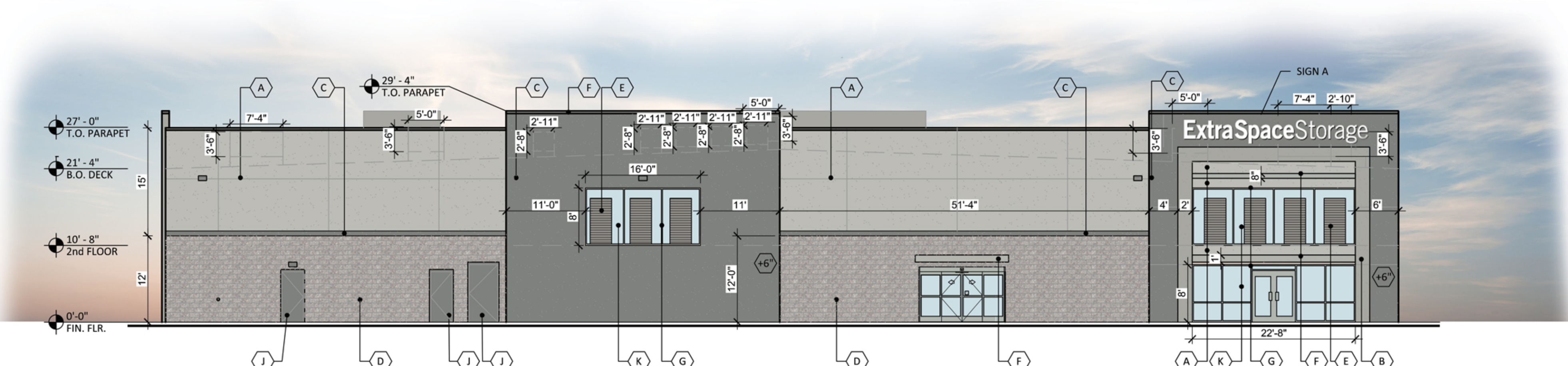
SOUTH ELEVATION

SCALE: 3/32"=1'-0"



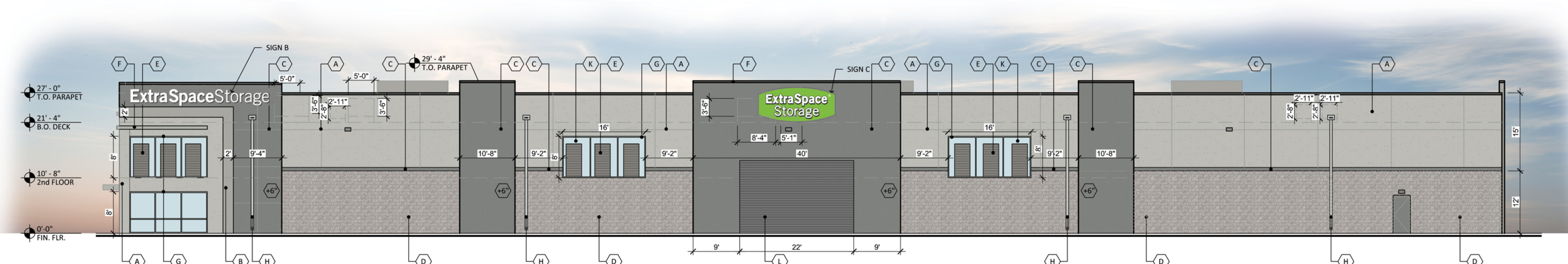
EAST ELEVATION

SCALE: 3/32"=1'-0"



NORTH ELEVATION

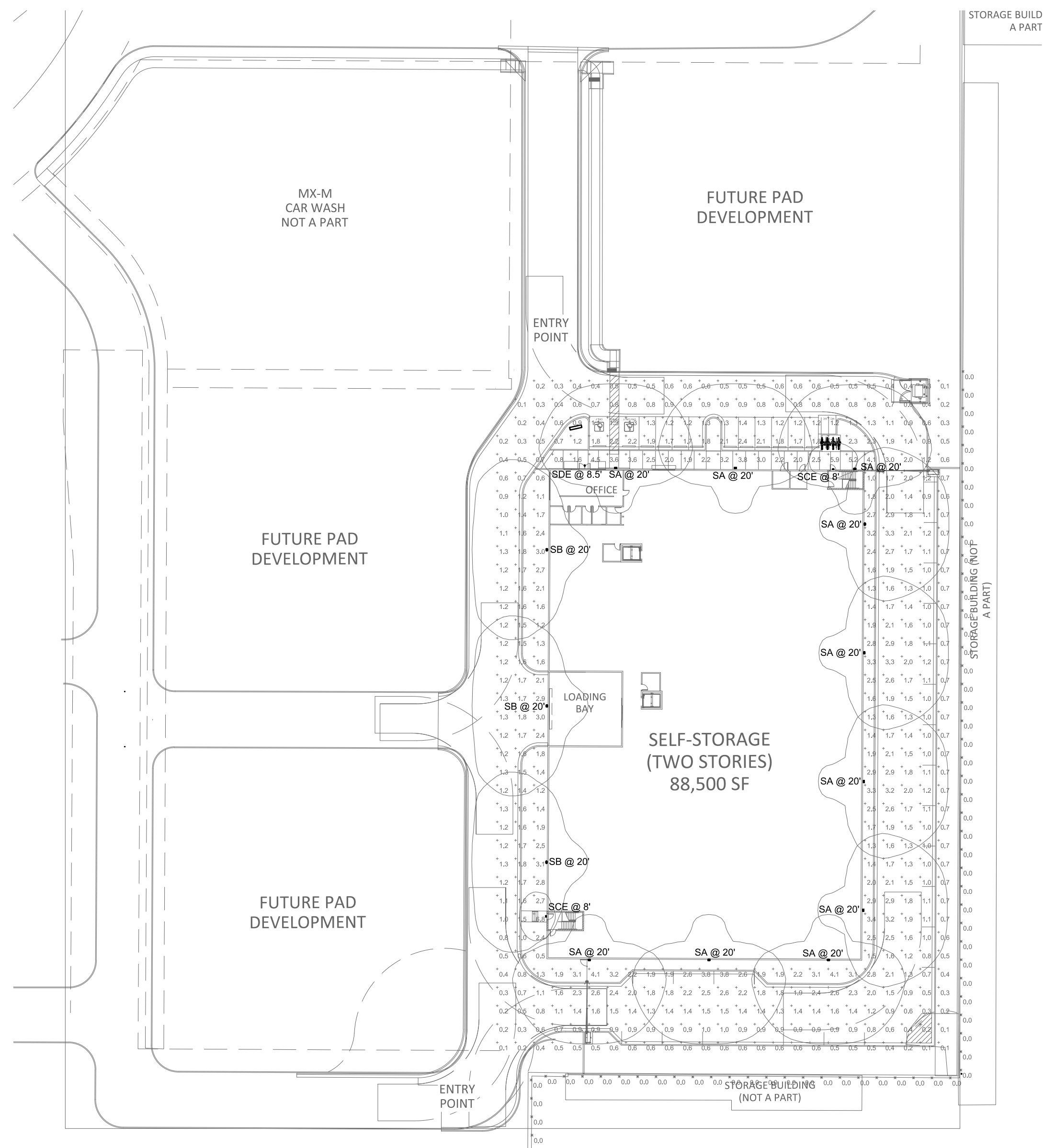
SCALE: 3/32"=1'-0"



WEST ELEVATION

SCALE: 3/32"=1'-0"

- FUTURE CHANGES TO PROPOSED SIGNAGE CAN BE AMENDED ADMINISTRATIVELY UNDER A SEPARATE PERMIT. SIGNAGE WILL COMPLY WITH 5-12(F) (2) OF THE IDO.



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE - FC @ GRADE	+	1.4 ft	8.8 ft	0.1 ft	88.0:1	14.0:1
PROPERTY LINE - FC @ GRADE	X	0.0 ft	0.0 ft	0.0 ft	N/A	N/A

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	SA	10	LITHONIA LIGHTING	WDGE3 LED P2 80CRI RFT 30K MVOLT SRM (FINISH)	WDGE3 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, FORWARD THROW OPTIC	LED - 3000K	WDGE3_LED_P2_70CR_L_RFT_30K.ies	7922	0.91	59.2761
▭	SB	3	LITHONIA LIGHTING	WDGE3 LED P2 80CRI R3 30K MVOLT SRM (FINISH)	WDGE3 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 3 OPTIC	LED - 3000K	WDGE3_LED_P2_70CR_L_R3_30K.ies	7851	0.91	59.2761
⊘	SCE	2	LITHONIA LIGHTING	WDGE1 LED P1 30K 80CRI VW MVOLT SRM E4WH (FINISH)	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC, WIEM BATTERY PACK	LED - 3000K	WDGE1_LED_P1_30K_80CRI_VW.ies	1163	0.91	10.0002
⊙	SDE	1	GOTHAM LIGHTING	EVO4SC 30/10 AR WD LSS MVOLT G210 (MOUNTING) E10WLCF WL (FINISH)	EVO 4IN ROUND CYLINDER, WET LOCATION SURFACE CEILING MOUNT, 80 CRI, 3000K, 1000LM, WIDE DIST. CLEAR SEM-SPEC, WIEM BATTERY PACK	LED - 3000K	EVO4SC_30_10_AR_W D_LSS.ies	824	0.91	8.8

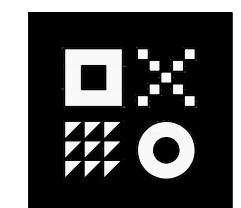
1 ELECTRICAL PHOTOMETRIC SITE PLAN
SCALE: 1"=50'-0"




VENTANA SQUARE SELF-STORAGE
 NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
 ALBUQUERQUE, NM 87114
 DATE: 02-22-2024 (PRELIMINARY)

E0.1
 ELECTRICAL
 PHOTOMETRIC
 SITE PLAN
 RKA# 22116.00

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ARDEBILI Engineering
 Project Number: 24091 | Project Manager: LA
 7328 E Stetson Dr., Scottsdale, AZ 85251
 P: 480.626.7072 | ardebiling.com



WDGE3 LED
Architectural Wall Sconce

Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)

SA/SB

Category Number	
Notes	
Type	

Introduction
The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)							
	P1	P2		P1	P2	P3	P4	P5	P6		
WDGE1 LED	4W				1,200	2,000					
WDGE2 LED	10W	18W	Standalone / nLight		1,200	2,000	3,000	4,500	6,000		
WDGE3 LED	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000			
WDGE4 LED					12,000	16,000	18,000	20,000	22,000	25,000	

Ordering Information **EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD**

Series	Package	Color Temperature	CR	Distribution	Voltage	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	MVOLT	Shipped included SRM Surface mounting bracket nLight AIR Wireless enabled, 10/24 Lensed motion/ambient sensor for 15'-30' mounting heights* Shipped separately AWS 3/8" Architectural wall spacer P8BW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.
	P2	40K 4000K	80CRI	R3 Type 3	347	
	P3	50K 5000K		R4 Type 4	480	
	P4			R7 Forward Throw		

Options


Series	Option	Description
E15WH	Emergency battery backup, Certified in CA Title 20 MAEDS (10K, 15K min)	
	E20WC	Emergency battery backup, Certified in CA Title 20 MAEDS (18W, 20°C min)
PE	PhotoCell, Button Type*	
	DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)
KCE	Bottom conduit entry for back box (P8BW), Total of 4 entry points.	
	SPD10KV	10KV Surge pack*
BAA	Buy America(s) Act Compliant	
	NETAR2 PIR	nLightAR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.
NETAR2 PIRN	nLightAR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.	
	NETAR2 PIRN24	nLight AR Wireless enabled, 10/24 Lensed motion/ambient sensor for 15-30' mounting heights*
NETAR2 PIRN24	nLight AR Wireless enabled, 10/24 Lensed motion/ambient sensor for 15-30' mounting heights*	

Accessories
*Optional additional fees apply

WDGE4WS DDBXD	WDGE3 Architectural Wall Spacer (specify finish)	
WDGE3P8BW DDBXD	WDGE3 Surface-mounted back box (specify finish)	

NOTES
 1 347V and 480V not available with E15WH and E20WC.
 2 Not qualified for DLC. Not available with emergency battery backup or sensor controls.
 3 PE not available in 480V and with sensor controls.
 4 DMG option not available with sensor controls.
 5 Not available with E20WC option.
 6 Available with MVOLT only and only rated to 500W.

COMMENTS



WDGE1 LED
Architectural Wall Sconce

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs (without options)

SCE

Category Number	
Notes	
Type	

Introduction
The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)							
	P1	P2		P1	P2	P3	P4	P5	P6		
WDGE1 LED	4W				1,200	2,000					
WDGE2 LED	10W	18W	Standalone / nLight		1,200	2,000	3,000	4,500	6,000		
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000				
WDGE4 LED					12,000	16,000	18,000	20,000	22,000	25,000	


Ordering Information **EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD**

Series	Package	Color Temperature	CR	Distribution	Voltage	Mounting
WDGE1 LED	P0	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT	Shipped included SRM Surface mounting bracket nLight AIR Wireless enabled, 10/24 Lensed motion/ambient sensor for 15'-30' mounting heights* Shipped separately AWS 3/8" Architectural wall spacer P8BW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.
	P1	30K 3000K	90CRI	VW Visual comfort wide	347	
	P2	30K 3000K				
	P3	40K 4000K				

Options

Series	Option	Description
E4WH	Emergency battery backup, Certified in CA Title 20 MAEDS (40W, 0°C min)	
	PE*	PhotoCell, Button Type
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	
	DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)
SCE	Bottom conduit entry for back box (P8BW), Total of 4 entry points.	
	BAA	Buy America(s) Act Compliant
DSLE	Dual Switching (1 Driver, 2 Light Engines)	

COMMENTS




gotham | EVO
Multiple Layers of Light

SDE

Luminaire Type: SDE
Catalog Number:

BAA 66 RATED



4"

General Illumination Surface Ceiling Cylinder

Feature Set

- Bathing distribution with feathered edges provides even illumination on horizontal and vertical surfaces
- Bounding Ray™ optical design
- 45° Cutoff to source and source image
- Fully serviceable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM, 85 CRI typical, 90+ CRI optional
- Features are damp location standard; wet location optional (WL) - covered ceiling required; IP68 optional - covered ceiling required
- Multiple recessed or surface (box mounting) configurations available
- 20+ standard colors in textured and gloss finish; custom or RAL colors also available
- Field configurable surface junction box conduit covers available
- Completely integral emergency battery option available
- ENERGY STAR® Certified product
- UGR of zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117:1996 Discomfort Glare in Interior Lighting, UGR: F64



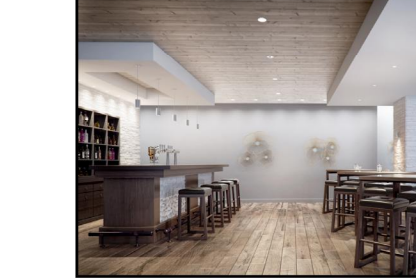
Distribution

Beam Spread	1.8 m	3.0 m	4.5 m
medium (1.8 M)			
medium wide (3.0 M)			
wide (4.5 M)			

Superior Performance

Nominal Lumens	250	500	750	1000	1500	2000	2500	3000	3500	4000	4500	5000
Delivered Lumens	271	573	808	1001	1527	1994	2580	3110	3612	4120	4584	5045
Wattage	3.1	7.2	7.9	8.8	13.7	19.5	25.7	31.2	38.4	40.1	44.7	44.7
Lumens per Watt	87.4	79.6	102.3	113.8	111.5	102.3	100.4	99.7	94.1	116	114	113

Coordinated Apertures | Multiple Layers of Light

Core

Downlight

Adjustable

Open Refresh

Lensed Walkway

Cylinder

Pinhole

Bevel

Aspheric

Healthcare

MRI

Surgical Suite

Patient Room

Special Applications

Dynamic

Foot Service

Vandal/Tamper

Clean Room

Shower

Steam Room

COMPLEMENTARY PRODUCTS

EVOASC page 1 of 12

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COMcheck Software Version COMcheckWeb
Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
 Project Title: 24091_VENTANA SQUARE SELF-STORAGE
 Project Type: New Construction
 Exterior Lighting Zone: 3 (Other (LZ3))

Construction Site: NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD ALBUQUERQUE, New Mexico 87114
 Owner/Agent:
 Designer/Contractor: ARDEBILI ENGINEERING LLC 7328 E. STETSON DR. SCOTTSDALE, Arizona 85251 480-626-7072

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Fixture	D Tradable Wattage	E Allowed Watts (B X C)
Wall lighting for a storage facility (Illuminated area of facade wall or surface)	97966 ft²	0.11	No	11070
Total Tradable Watts (a) =		0		
Total Allowed Watts =		11070		
Total Allowed Supplemental Watts (b) =		500		

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
 (b) A supplemental allowance equal to 500 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

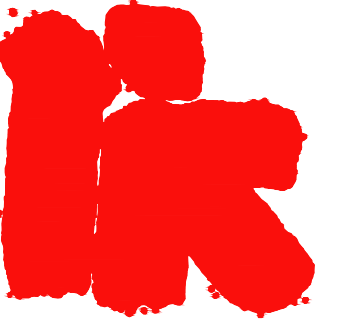
Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Watt.	E (C X D)
Wall lighting for a storage facility (Illuminated area of facade wall or surface, 97966 ft²): Non-tradable Wattage	1	10	69	692
LED: SA: LED WALL SCENCE: Other:	1	3	59	178
LED: SB: LED WALL SCENCE: Other:	1	2	10	20
LED: SCE: LED WALL SCENCE WITH EMERGENCY : Other:	1	1	9	9
LED: SDE: LED DOWNLIGHT WALL LIGHTING WIT: Other:				0
Total Tradable Proposed Watts =		0		

Exterior Lighting PASSES: Design 0.0% better than code

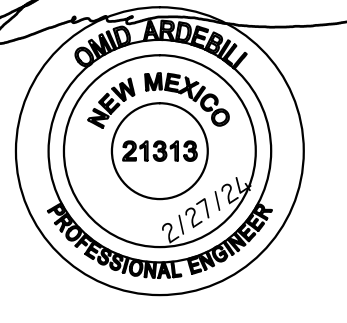
Exterior Lighting Compliance Statement
 Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

LEEN ABBOD, PM. *Leen Abboud* 02/26/24
 Name - Title Signature Date



RKA

ARCHITECTS, INC



VENTANA SQUARE SELF-STORAGE
 NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
 ALBUQUERQUE, NM 87114
 DATE: 02-22-2024 (PRELIMINARY)

E0.2

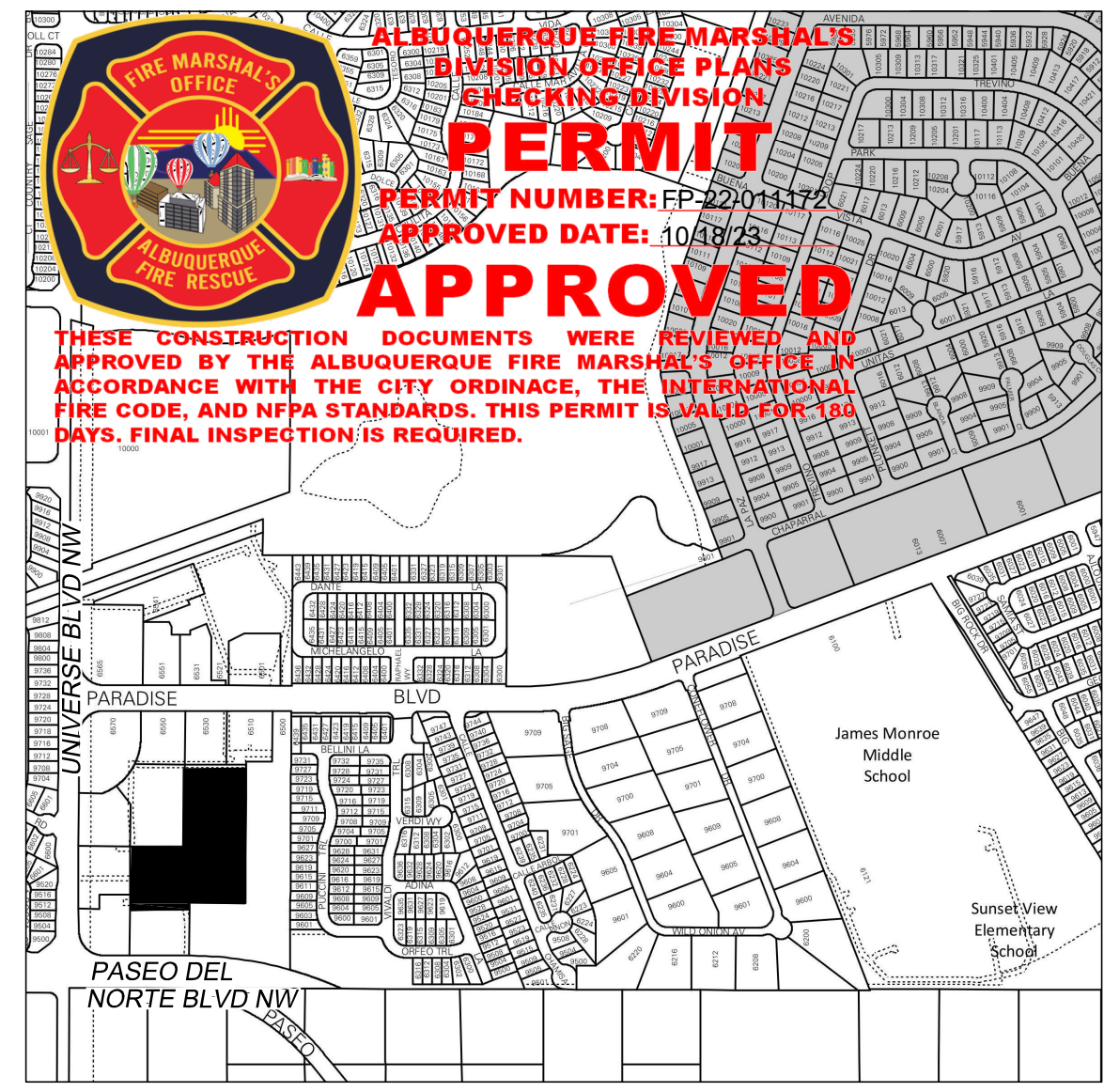
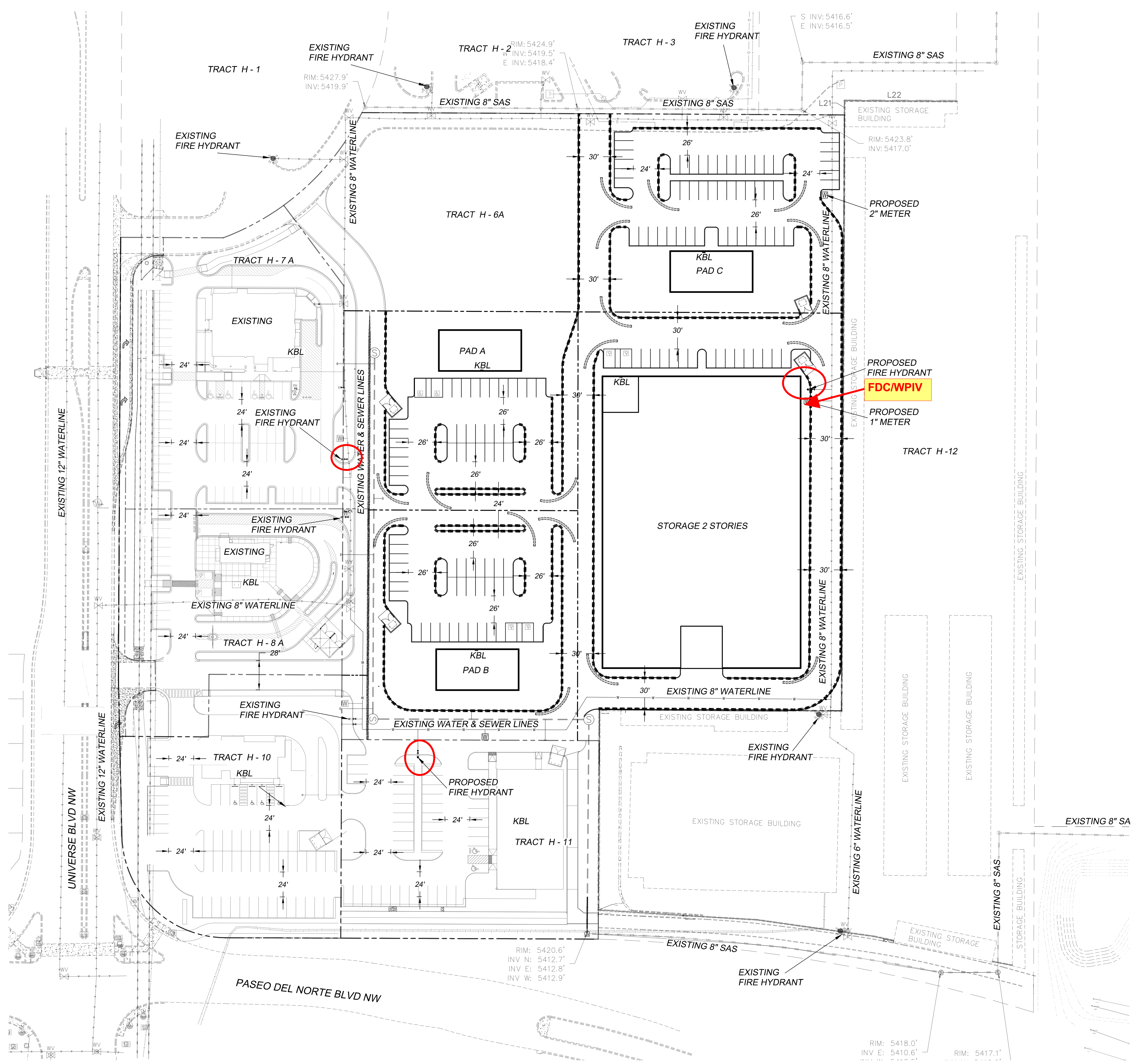
Electrical
 EXTERIOR
 LIGHTING CUT
 SHEETS & IECC
 RKA# 22116.00

ARDEBILI

Engineering

Project Number: 24091 | Project Manager: LA
 7328 E Stetson Dr., Scottsdale, AZ 85251
 P: 480.626.7072 | ardebilieng.com

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tec@yahoo.com
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ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9246

NO.	REVISION	DATE

PROJECT:	DRAWN BY: BLN
DATE:	CHECKED BY:
HORIZ. SCALE:	APPROVED BY:
VERT. SCALE:	FILE:

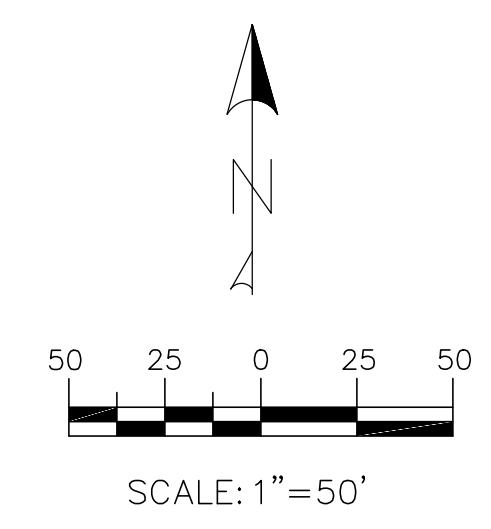
LEGEND

	EXISTING CURB & GUTTER
	PROPERTY BOUNDARY
	PROPOSED CURB AND GUTTER
	PROPOSED FIRE LANE
	PROPOSED 28' RADIUS TURN
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED KNOX BOX LOCATION (NEAR FRONT DOOR, TYPICAL)

NOTES:

- SEE SHEET 2 FOR FIRE FLOW CALCULATIONS
- ACCESS AND LOADING: APPROVED FIRE APPARATUS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- GRADE: FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT GRADE.
- PREMIS ID: BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR THE ROAD FRONTING THE PROPERTY. PREMIS ID SHALL BE ON THE SAME SIDE AS STREET ADDRESS (ADDRESS IS NOT ASSIGNED YET).

**Fire Flow 3125GPM
3 Fire Hydrants**



VENTANA SQUARE

FIRE 1 PLAN

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC	FOR CITY/COUNTY USE ONLY	

SITE LEGAL DESCRIPTION - PAD A

PORTION OF TRACT H-6B VENTANA SQUARE AT VENTANA RANCH RESTAURANT

SITE DATA

CURRENT ZONING	MX-M
ZONE ATLAS PAGE	B-10-Z
TOTAL LOT AREA	0.88 AC.
NEW BUILDING AREA	3,200 S.F.
BUILDING HEIGHT	24 FEET
NUMBER OF EXISTING HYDRANTS	1
BUILDING	NOT SPRINKLED

FIRE FLOW REQUIREMENTS

BUILDING CONSTRUCTION TYPE	VB
MINIMUM REQUIRED FIRE FLOW	1,500 GPM
MINIMUM NUMBER OF HYDRANTS	1

SITE LEGAL DESCRIPTION - PAD B

PORTION OF TRACT H-9A VENTANA SQUARE AT VENTANA RANCH COFFEE SHOP

SITE DATA

CURRENT ZONING	MX-M
ZONE ATLAS PAGE	B-10-Z
TOTAL LOT AREA	1.06 AC.
NEW BUILDING AREA	3,200 S.F.
BUILDING HEIGHT	24 FEET
NUMBER OF EXISTING HYDRANTS	1
BUILDING	NOT SPRINKLED

FIRE FLOW REQUIREMENTS

BUILDING CONSTRUCTION TYPE	VB
MINIMUM REQUIRED FIRE FLOW	1,500 GPM
MINIMUM NUMBER OF HYDRANTS	1

SITE LEGAL DESCRIPTION - PAD C

PORTION OF TRACT H-5A & H-6B VENTANA SQUARE AT VENTANA RANCH RESTAURANT

SITE DATA

CURRENT ZONING	MX-M
ZONE ATLAS PAGE	B-10-Z
TOTAL LOT AREA	1.12 AC.
NEW BUILDING AREA	3,200 S.F.
BUILDING HEIGHT	24 FEET
NUMBER OF EXISTING HYDRANTS	1
BUILDING	NOT SPRINKLED

FIRE FLOW REQUIREMENTS

BUILDING CONSTRUCTION TYPE	VB
MINIMUM REQUIRED FIRE FLOW	1,500 GPM
MINIMUM NUMBER OF HYDRANTS	1

SITE LEGAL DESCRIPTION

PORTION OF TRACT H-6B & H-9A VENTANA SQUARE AT VENTANA RANCH STORAGE BUILDING

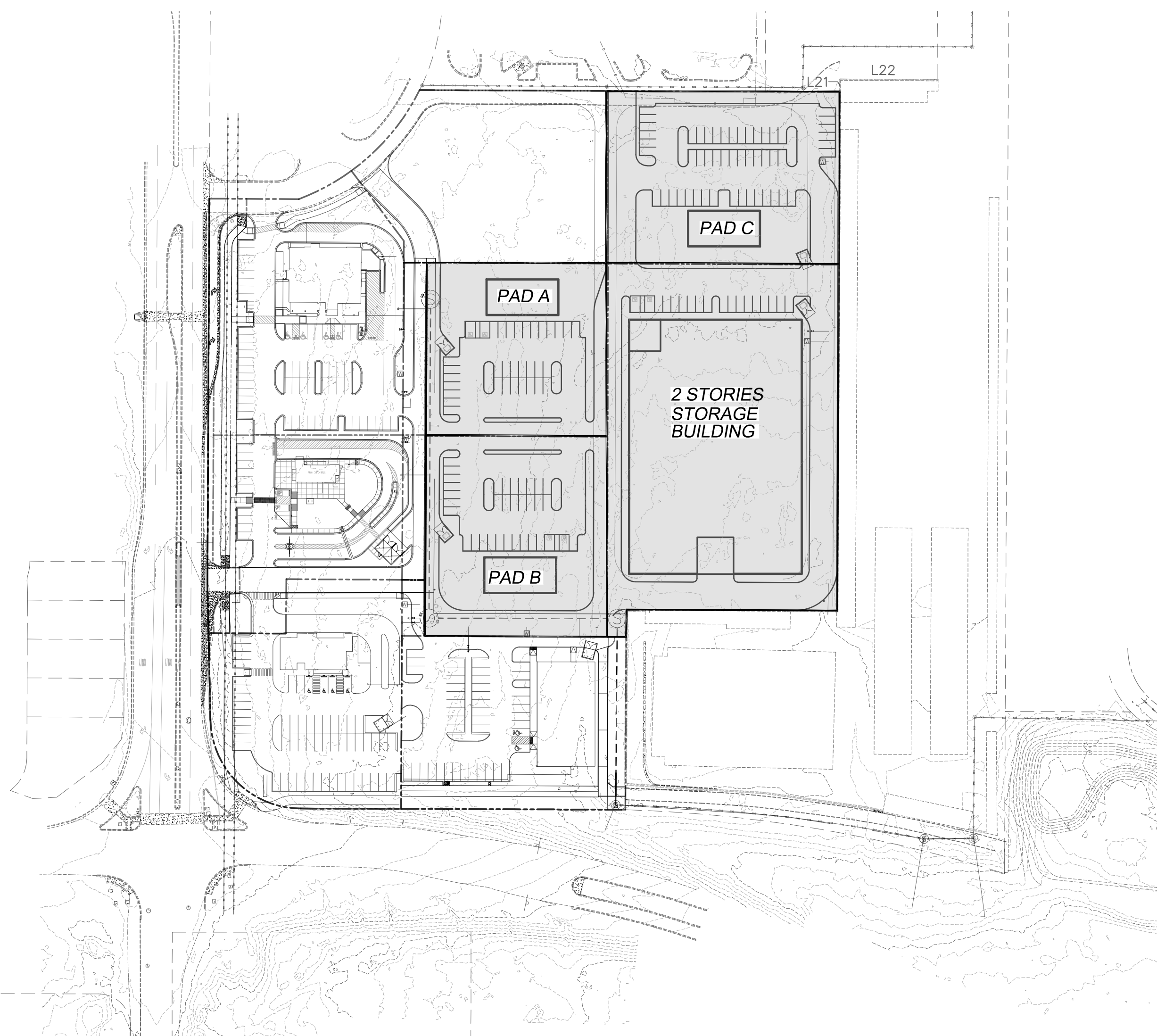
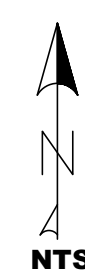
SITE DATA

CURRENT ZONING	MX-M
ZONE ATLAS PAGE	B-10-Z
TOTAL LOT AREA	2.25 AC.
NEW BUILDING AREA	106,400 S.F. 88,500 sf
BUILDING HEIGHT	29 FEET (2 STORIES)
NUMBER OF EXISTING HYDRANTS	3
BUILDING	SPRINKLED

FIRE FLOW REQUIREMENTS

BUILDING CONSTRUCTION TYPE	2B
MINIMUM REQUIRED FIRE FLOW	3,375 GPM 6,250 / 2 = 3,125 gpm
MINIMUM NUMBER OF HYDRANTS	4 3 per Table C102.1

Average Hydrant Spacing $400' * 1.5$ (footnote f) = 600'
 Maximum Distance from Hydrant = $225' * 1.5$ (footnote f) = 337.5'

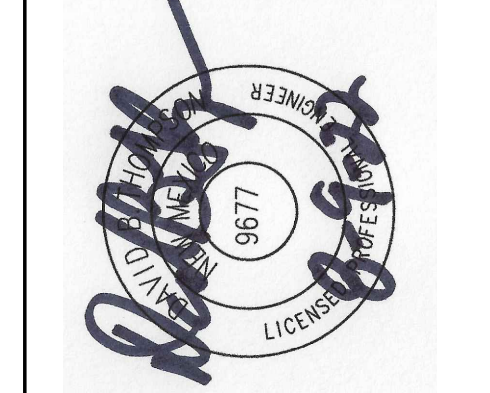


ALBUQUERQUE FIRE MARSHAL'S DIVISION/OFFICE PLANS CHECKING REVISION
PERMIT
 PERMIT NUMBER: FP-227013172
 APPROVED DATE: 10/27/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

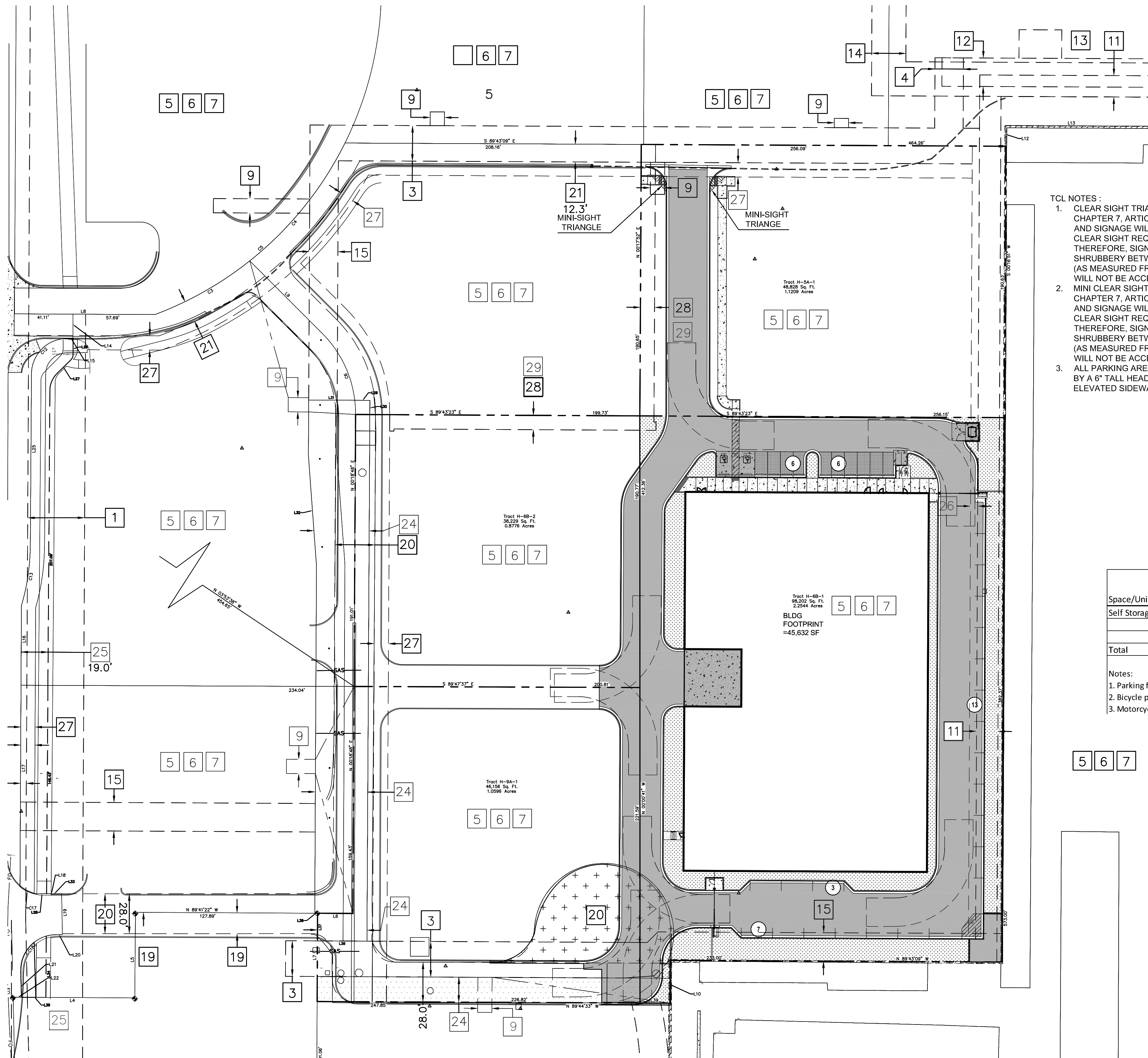
VICINITY MAP B-10-Z

<p>Thompson Engineering Consultants, Inc. tecinc@yahoo.com P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-1299 FAX: (505) 830-9246</p>			
NO.	REVISION	DATE	BY
PROJECT: DRAWN BY: BLN DATE: CHECKED BY: HORIZ. SCALE: APPROVED BY: VERT. SCALE: FILE:			

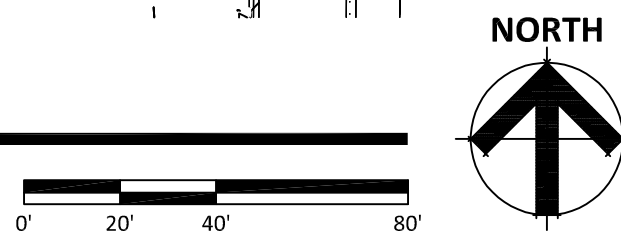


VENTANA SQUARE
 FIRE 1 PLAN
 FIRE FLOW CALCULATIONS

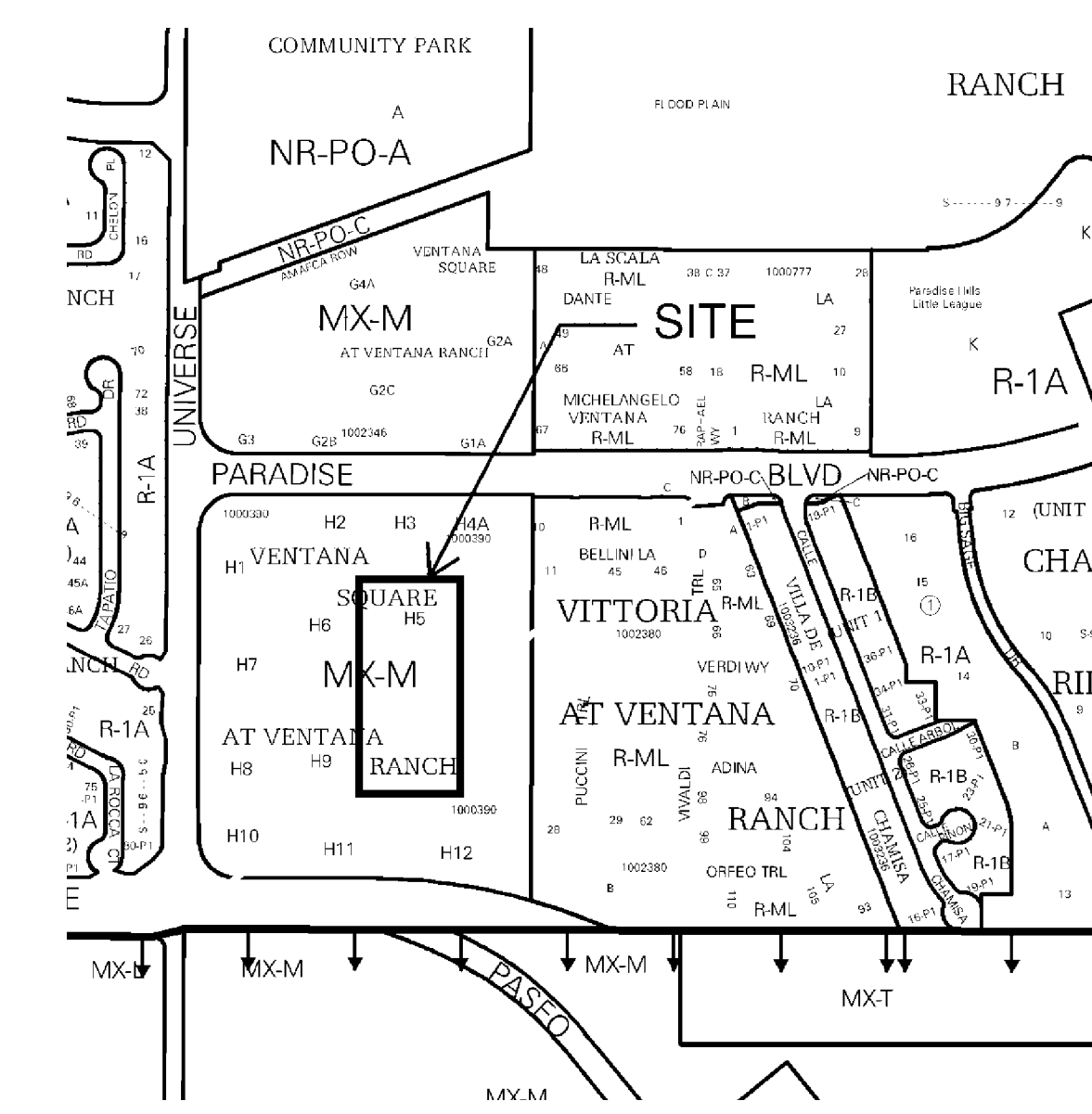
CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FOR CITY/COUNTY USE ONLY		



TRAFFIC CIRCULATION LAYOUT - OVERALL
SCALE: 1" = 40'-0"



- TCL NOTES:**
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 3. ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.



ZONE ATLAS PAGE B-10-Z
NOT TO SCALE

PROJECT TABULATED PARKING COUNTS

Space/Unit Type	Area	Use	Spaces/GFA	Req'd Parking	On-Site Parking Provided	HC Req'd	HC Provided	MC Req'd	MC Provided	Bicycle Req'd	Bicycle Provided
Self Storage	87,100	Self Storage	1/3000	29		2	2	2	2	3	4
	1,400	Office	3.5/1000	5							
Total				34	35	2	2	2	2	3	4

- Notes:**
1. Parking for Self Storage requires 1 space per 3,000GFA
 2. Bicycle parking requires, 3 spaces or 10% whichever is greater
 3. Motorcycle parking requires 1 space per 25 off street parking.
- PER TABLE 5-5-4 MINIMUM MOTORCYCLE PARKING REQUIREMENTS WITH LESS THAN 25 OFF-STREET PARKING REQUIRED WE NEED 1 MC SPACE. (2 PROVIDED)
- PER TABLE 5-5-5 MINIMUM BICYCLE PARKING FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES WHICHEVER IS GREATER. 3 SPACES REQUIRED.

5 6 7

MATERIAL LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1/C-501
- PARKING LOT ASPHALT PER DETAIL D1/C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL A4/C-501
- LANDSCAPING AREA SEE LANDSCAPING PLANS

CONCEPTUAL TRAFFIC CIRCULATION LAYOUT



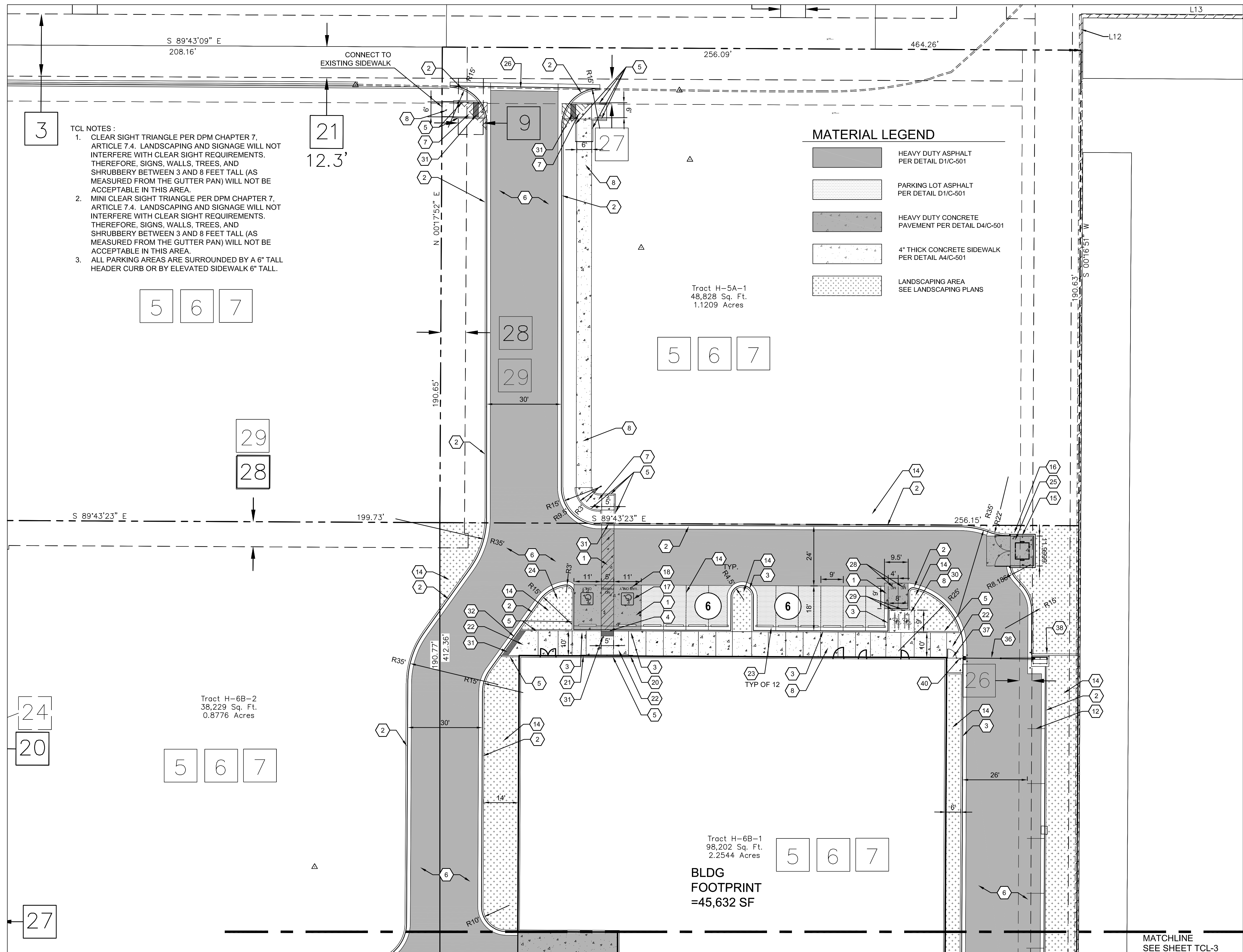
VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 01-10-2024 (PRELIMINARY)

TCL-1

RKAA# 22116.00

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FAX: (505) 850-9248

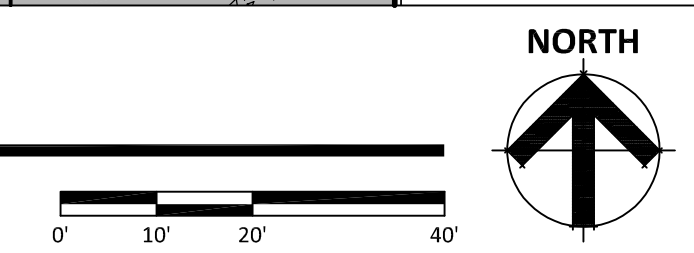


- ### GENERAL NOTES
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 - B. FIELD VERIFY ALL DIMENSIONS.
 - C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
 - D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
 - E. TRAFFIC CIRCULATION LAYOUT KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
 - F. REFER TO PLAT FOR EASEMENT DEFINITIONS.
 - G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
 - H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- ### KEYED NOTES
1. CONCRETE PAVEMENT PER DETAIL D4/C-501.
 2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
 3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
 4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
 5. 6" HEADER CURB PER DETAIL A5/C-501.
 6. ASPHALT PAVEMENT PER DETAIL E1/C-501.
 7. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
 8. CONCRETE SIDEWALK PER DETAIL A4/C-501.
 9. TURNDOWN EDGE ON SIDEWALK PER DETAIL A3/C-501.
 10. CONCRETE STOOP PER DETAIL D1/C-501.
 11. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
 12. 4" WIDE WHITE TRAFFIC PARKING.
 13. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
 14. SEE LANDSCAPING PLANS FOR DETAILS.
 15. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER.
 16. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
 17. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
 18. 12" TALL WHITE LETTERS.
 19. UNLOADING ZONE PER DETAIL A3/C-502.
 20. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
 21. RESERVED PARKING SIGN PER DETAIL E6/C-502.
 22. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
 23. PARKING BLOCK PER DETAIL F2/C-501.
 24. ASPHALT RUNDOWN TO EXISTING OPENING IN SCREEN WALL TO THE SOUTH.
 25. REFUSE ENCLOSURE.
 26. CONCRETE VALLEY GUTTER PER E5/C-501 AND COA STD DWG 2420.
 27. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
 28. 12" TALL LETTERS FOR MOTORCYCLES "MC".
 29. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
 30. BIKE RACK PER DETAIL E2/C-501, 4' SPACING BETWEEN HOOPS.
 31. DETECTABLE WARNING SURFACE PER DETAIL A5/C-502.
 32. RUNDOWN GUTTER PER DETAIL A5/C-501.
 33. METAL HANDRAIL PER DETAIL C2/C-501.
 34. CONCRETE STAIR PER DETAIL B3/C-501.
 35. STRIPED NO PARKING ZONE.
 36. SECURITY GATE WITH PROTECTIVE BOLLARDS.
 37. 36" WIDE PEDESTRIAN GATE. SEE ARCHITECTURAL PLANS.
 38. MASONRY SCREEN WALL. SEE ARCHITECTURAL PLANS.
 39. 14" WIDE CURB OPENING FOR DRAINAGE.
 40. SECURITY FENCING. SEE ARCHITECTURAL PLANS.

- ### MATERIAL LEGEND
- HEAVY DUTY ASPHALT PER DETAIL D1/C-501
 - PARKING LOT ASPHALT PER DETAIL D1/C-501
 - HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
 - 4" THICK CONCRETE SIDEWALK PER DETAIL A4/C-501
 - LANDSCAPING AREA SEE LANDSCAPING PLANS

TRAFFIC CIRCULATION LAYOUT
SCALE: 1" = 20'-0"



CONCEPTUAL TRAFFIC CIRCULATION LAYOUT



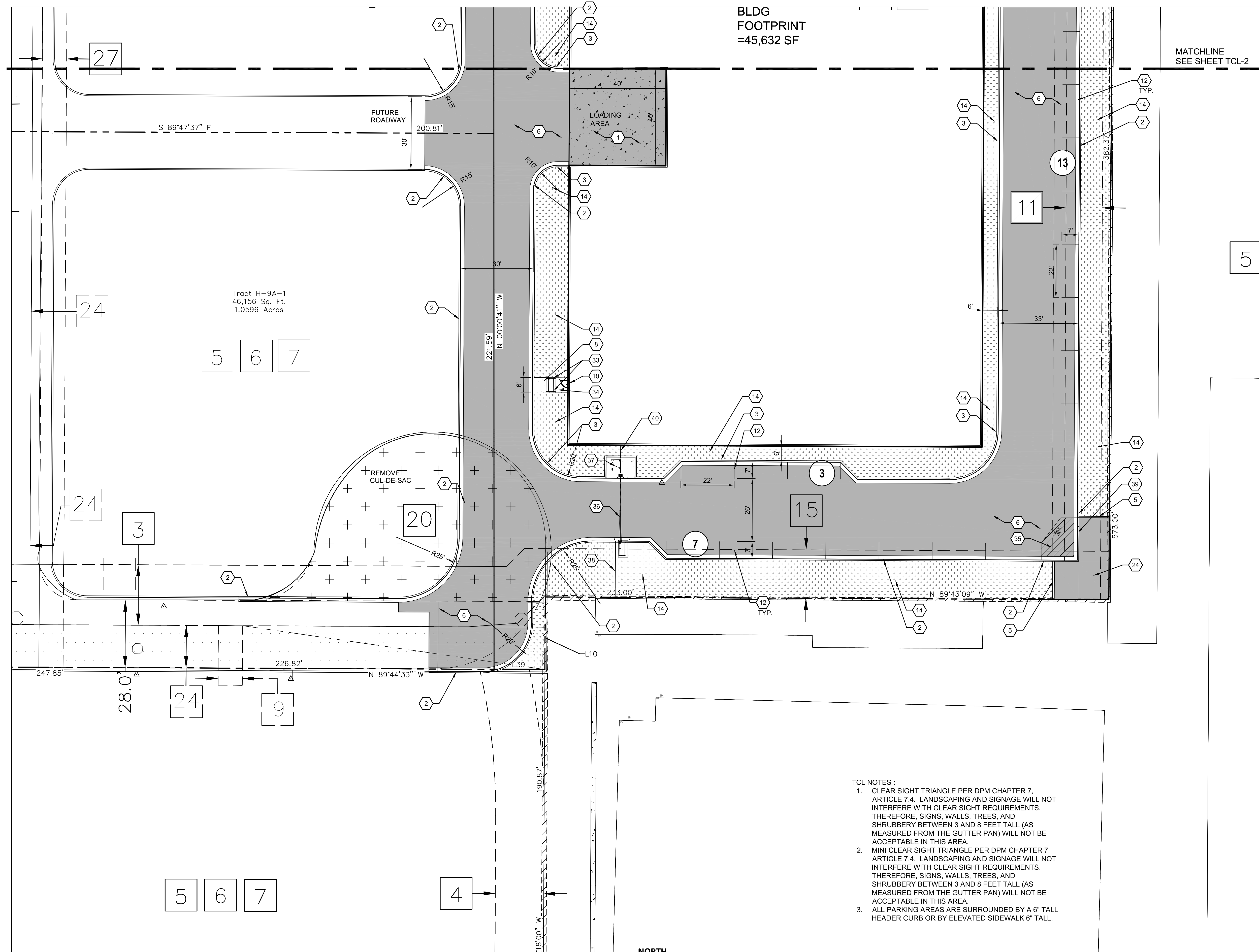
VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 01-10-2024 (PRELIMINARY)

TCL-2

RKAA# 22116.00

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Engineering
Consultants, Inc.
tecmm@rkaa.com
P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 850-9248



GENERAL NOTES

A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 B. FIELD VERIFY ALL DIMENSIONS.
 C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER, BEFORE PROCEEDING.
 D. SEE SHEET C-2001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE/TYPE LEGEND THAT APPLY TO ALL SHEETS.
 E. TRAFFIC CIRCULATION LAYOUT KEYED NOTES ARE COMMON TO ALL SHEETS, NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
 F. REFER TO PLAN FOR EASEMENT DEFINITIONS.
 G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
 H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES**
1. CONCRETE PAVEMENT PER DETAIL D4/C-501.
 2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
 3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
 4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
 5. 6" HEADER CURB PER DETAIL A5/C-501.
 6. ASPHALT PAVEMENT PER DETAIL E1/C-501.
 7. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
 8. CONCRETE SIDEWALK PER DETAIL A4/C-501.
 9. TURNDOWN EDGE ON SIDEWALK PER DETAIL A3/C-501.
 10. CONCRETE STOOP PER DETAIL D1/C-501.
 11. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
 12. 4" WIDE WHITE TRAFFIC PARKING.
 13. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE". SEE LANDSCAPING PLANS FOR DETAILS.
 14. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER.
 15. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
 16. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
 17. 12" TALL WHITE LETTERS.
 18. UNLOADING ZONE PER DETAIL A3/C-502.
 19. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
 20. RESERVED PARKING SIGN PER DETAIL E6/C-502.
 21. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
 22. PARKING BLOCK PER DETAIL F2/C-501.
 23. ASPHALT RUNDOWN TO EXISTING OPENING IN SCREEN WALL TO THE SOUTH.
 24. REFUSE ENCLOSURE.
 25. CONCRETE VALLEY GUTTER PER E5/C-501 AND COA STD DWG 2420.
 26. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
 27. 12" TALL LETTERS FOR MOTORCYCLES "MC".
 28. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
 29. BIKE RACK PER DETAIL E2/C-501, 4" SPACING BETWEEN HOOPS.
 30. DETECTABLE WARNING SURFACE PER DETAIL A5/C-502.
 31. RUNDOWN GUTTER PER DETAIL A5/C-501.
 32. METAL HANDRAIL PER DETAIL C2/C-501.
 33. CONCRETE STAIR PER DETAIL B3/C-501.
 34. STRIPED NO PARKING ZONE.
 35. SECURITY GATE WITH PROTECTIVE BOLLARDS.
 36. 36" WIDE PEDESTRIAN GATE. SEE ARCHITECTURAL PLANS.
 37. MASONRY SCREEN WALL. SEE ARCHITECTURAL PLANS.
 38. 14" WIDE CURB OPENING FOR DRAINAGE.
 39. SECURITY FENCING. SEE ARCHITECTURAL PLANS.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL A4/C-501
	LANDSCAPING AREA SEE LANDSCAPING PLANS

- TCL NOTES:**
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 7, ARTICLE 7.4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 3. ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.

TRAFFIC CIRCULATION LAYOUT
 SCALE: 1" = 20'-0"

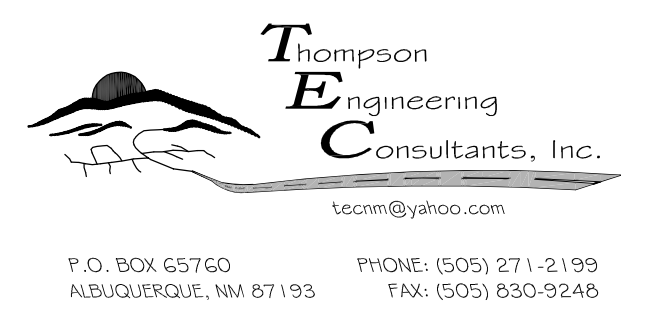
CONCEPTUAL TRAFFIC CIRCULATION LAYOUT



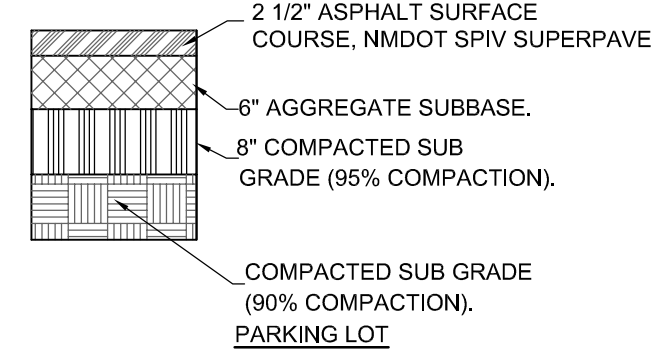
VENTANA SQUARE SELF-STORAGE
 NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
 ALBUQUERQUE, NM 87114
 DATE: 01-10-2024 (PRELIMINARY)

TCL-3
 RKA A# 22116.00

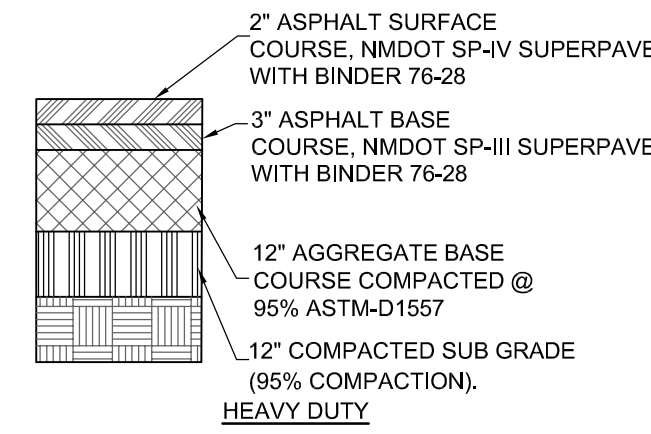
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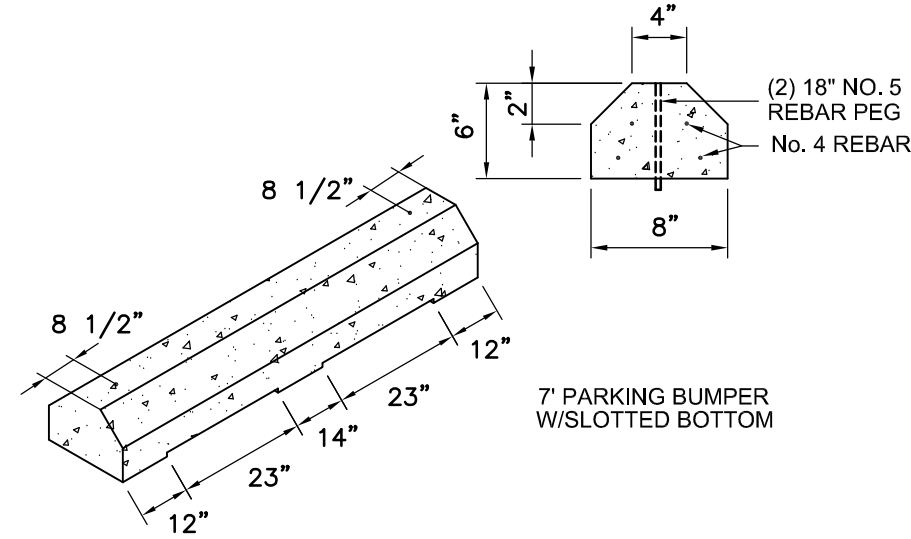
P.O. BOX 65760
 ALBUQUERQUE, NM 87113
 PHONE: (505) 271-2199
 FAX: (505) 850-9248



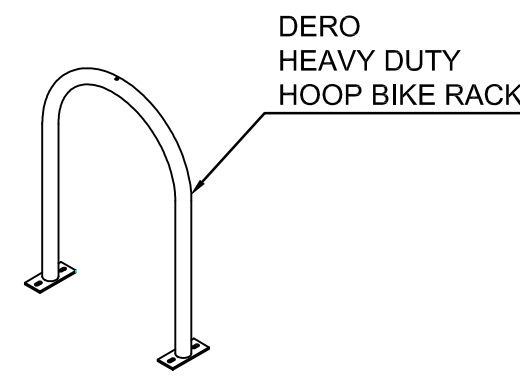
E1 ASPHALT PAVEMENT
NOT TO SCALE



E1 ASPHALT PAVEMENT
NOT TO SCALE

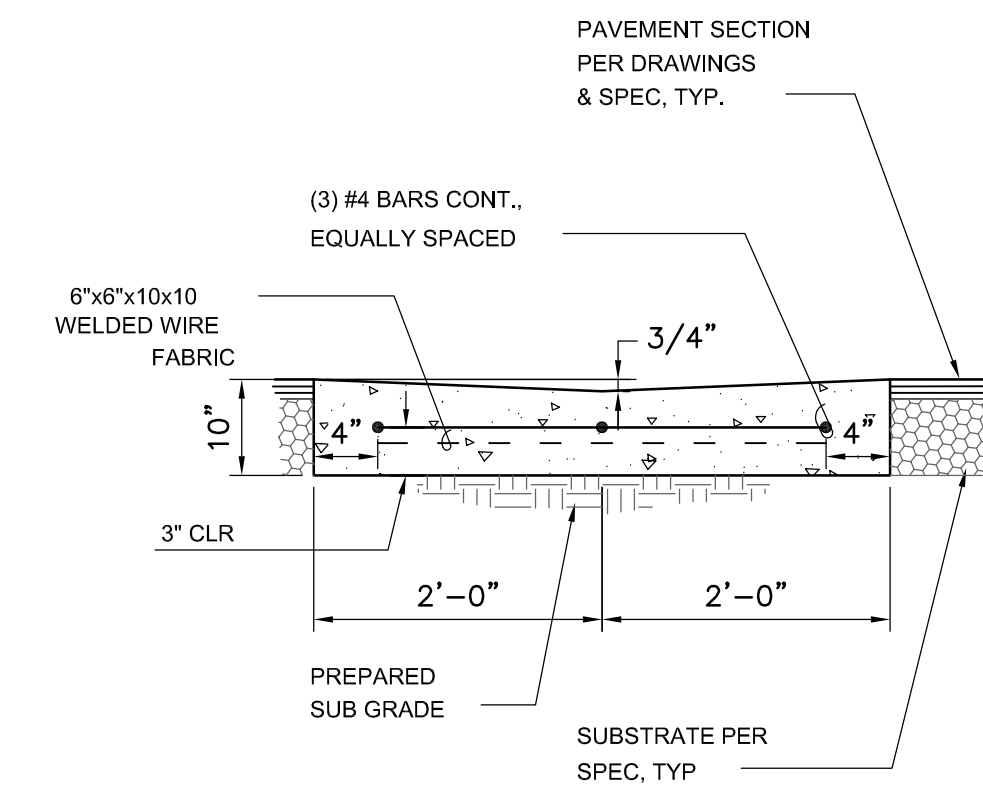


F2 PARKING BLOCK
NOT TO SCALE

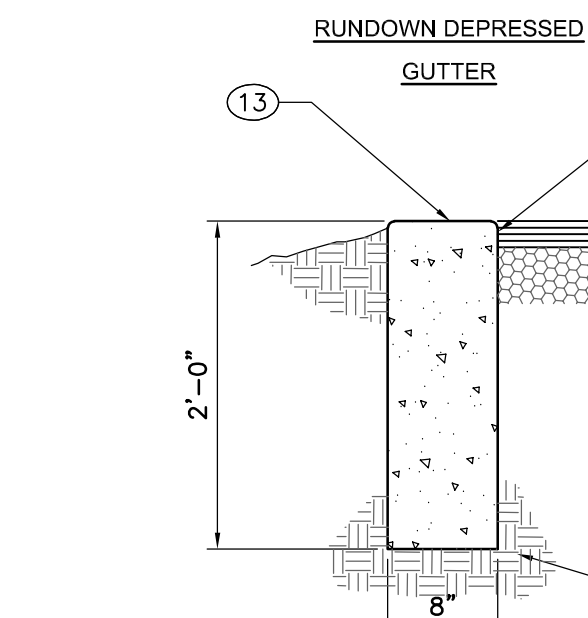
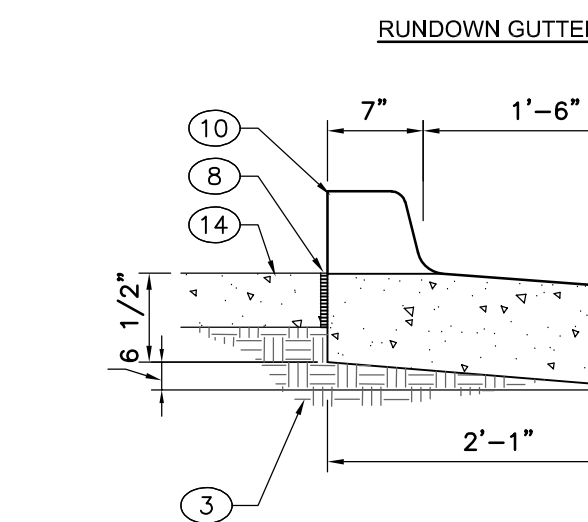
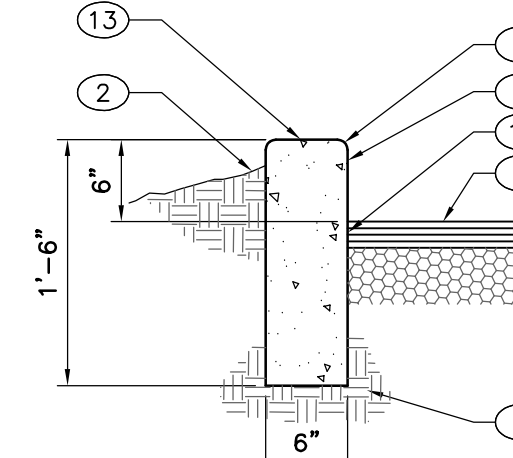


E2 BICYCLE RACK
NOT TO SCALE

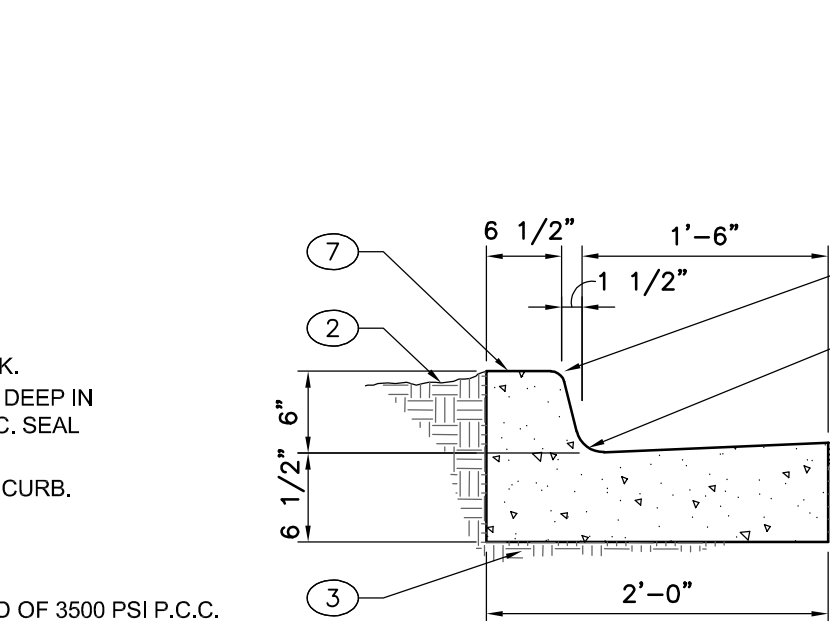
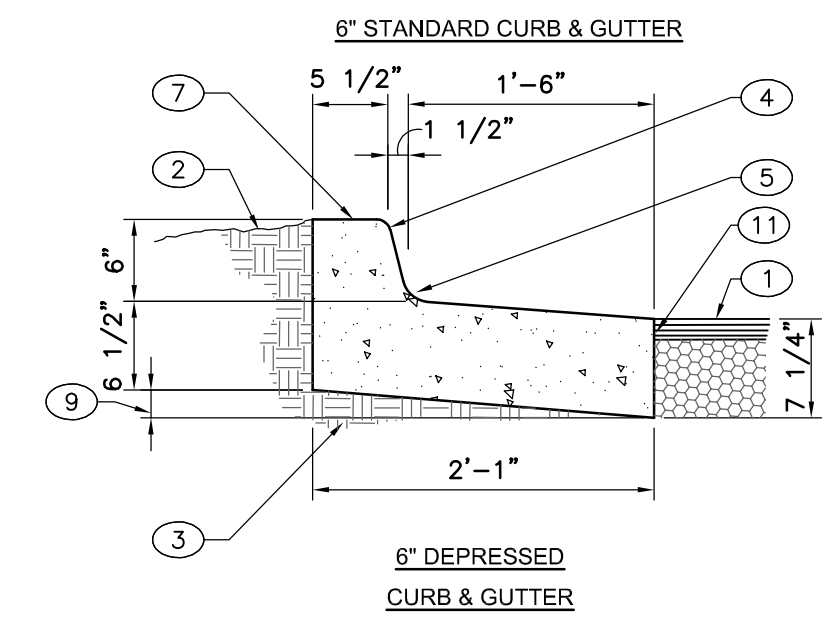
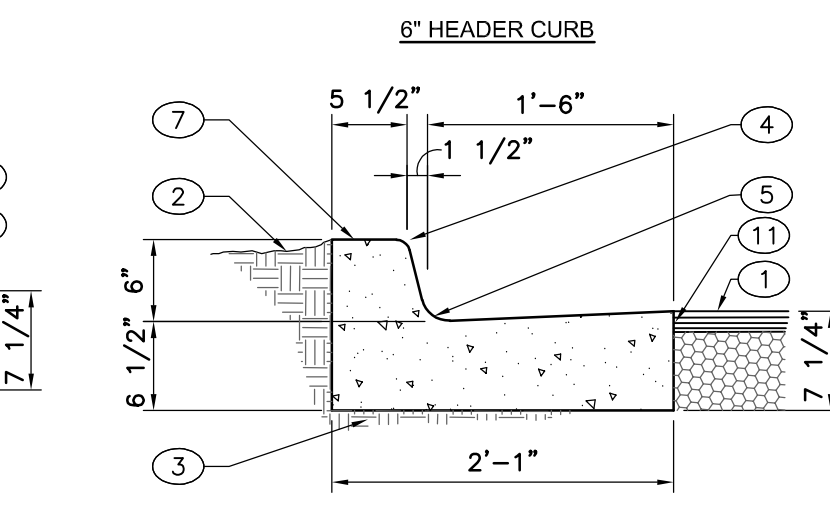
NOTE: BIKE CAN ATTACH ON BOTH SIDES OF RACK (2 BIKES PER RACK)
SPACING BETWEEN HOOPS TO BE 4' MINIMUM



E5 CONCRETE VALLEY GUTTER
NOT TO SCALE



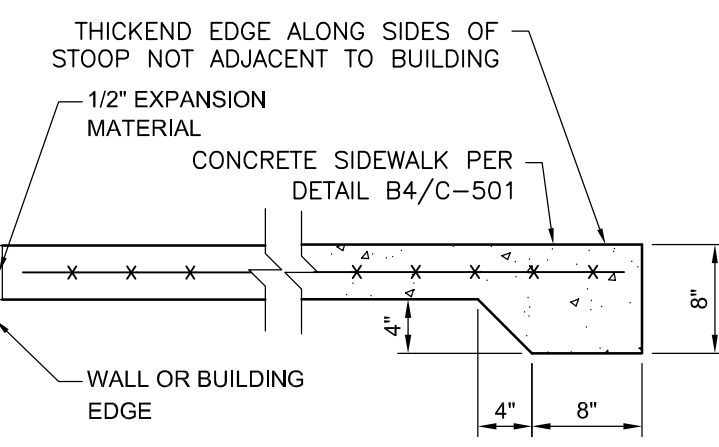
CUT OFF WALL



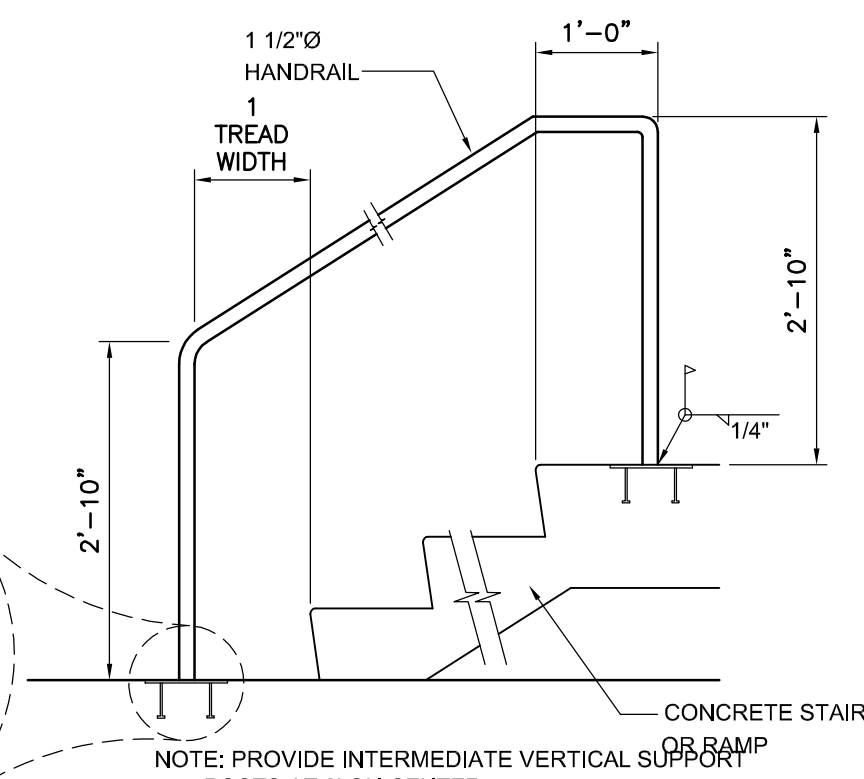
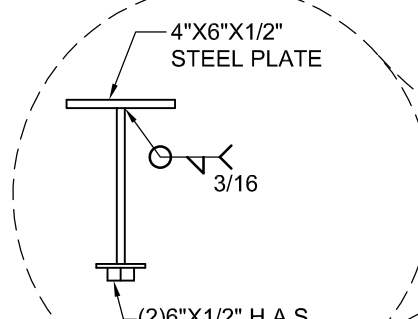
EX STREET CURB

- KEYED NOTES:**
1. PAVEMENT SECTION PER DRAWINGS AND SPECS.
 2. FINISHED GRADE.
 3. PREPARED SUBGRADE.
 4. 3/4" RADIUS.
 5. 1 1/2" RADIUS.
 6. 2" RADIUS (BOTH SIDES).
 7. CONCRETE.
 8. EXPANSION JOINT.
 9. VARIES, DEPRESS AS NEEDED.
 10. OMIT 6" CURB.
 11. TACK COAT.
 12. NEW OR EXISTING PAVING.
 13. SMOOTH RUBBED FINISH.
 14. CONCRETE SIDEWALK.
 15. DRIVE NO.4 BARS 18" DEEP IN HOLES DRILLED 2' O.C. SEAL WITH EPOXY.
 16. EXTRUDED ASPHALT CURB.

- CURB & GUTTER CONSTRUCTION NOTES:**
- A. CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSI P.C.C. UNLESS OTHERWISE NOTED.
 - B. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
 - C. REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
 - D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
 - E. FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 6' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX. AT CURB RETURNS, & AT EACH SIDE OF DRIVEWAYS.
 - F. FOR ALL OTHER CURBING PROVIDE CONTROL JOINTS @ 10' O.C. PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.

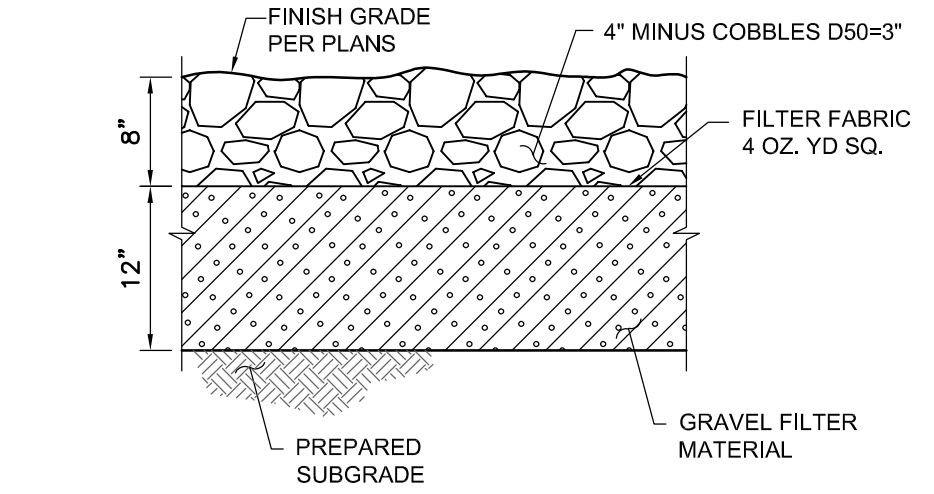


D1 CONCRETE STOOP
NOT TO SCALE



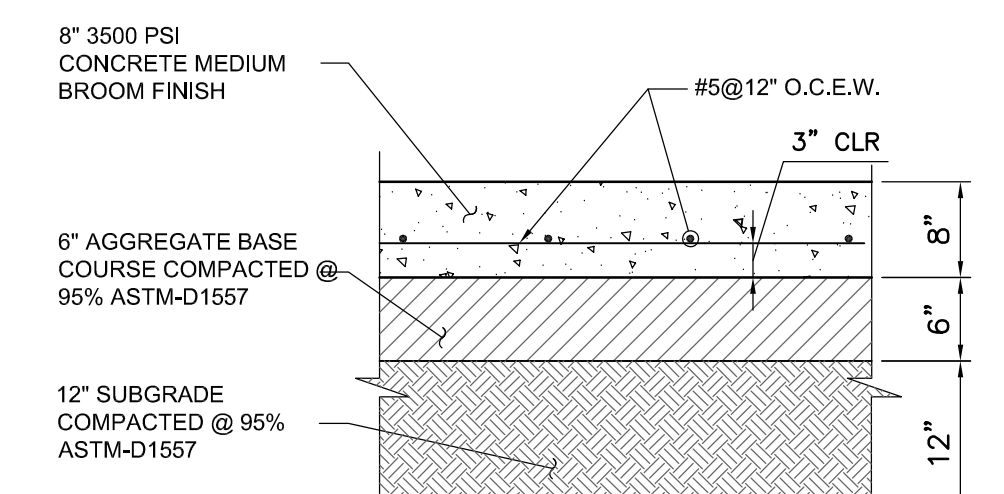
C2 STAIR/RAMP RAILING
NOT TO SCALE

NOTE: PROVIDE INTERMEDIATE VERTICAL SUPPORT POSTS AT 8' ON CENTER

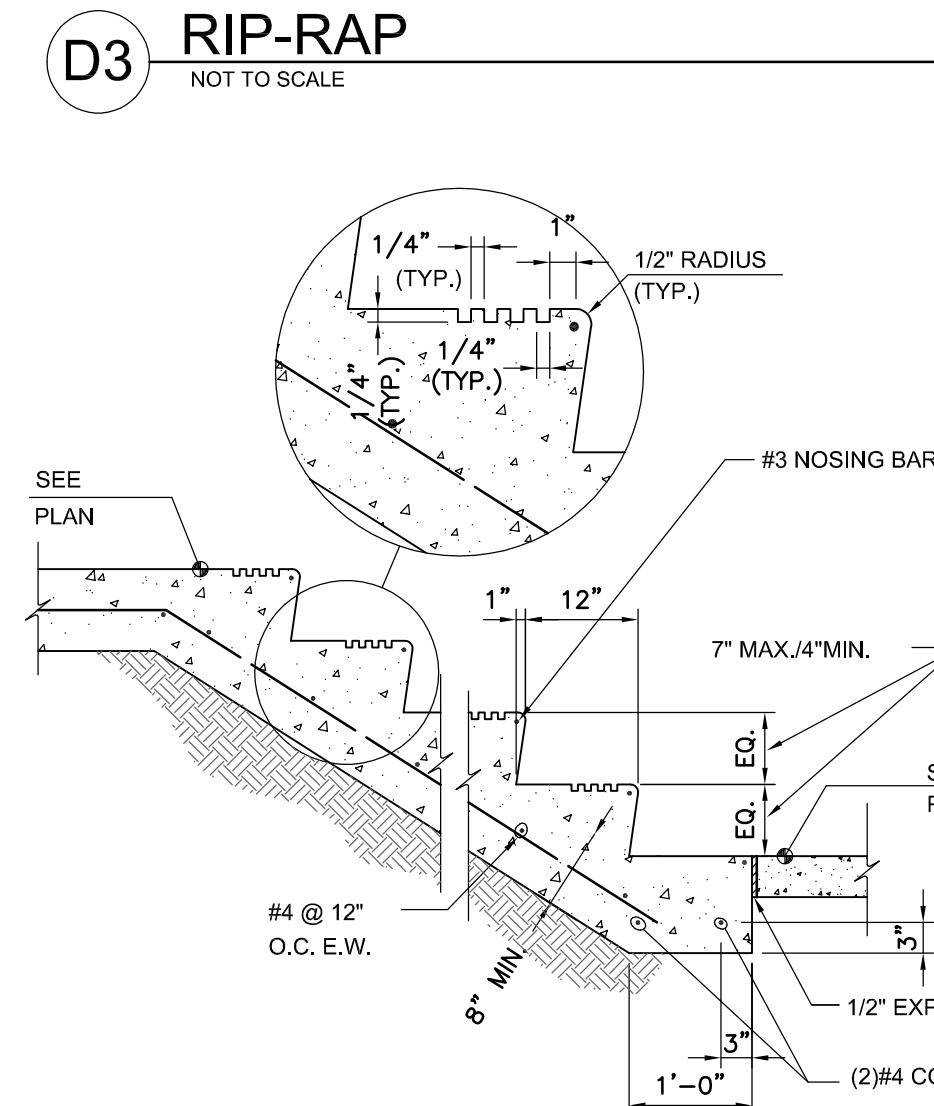


D3 RIP-RAP
NOT TO SCALE

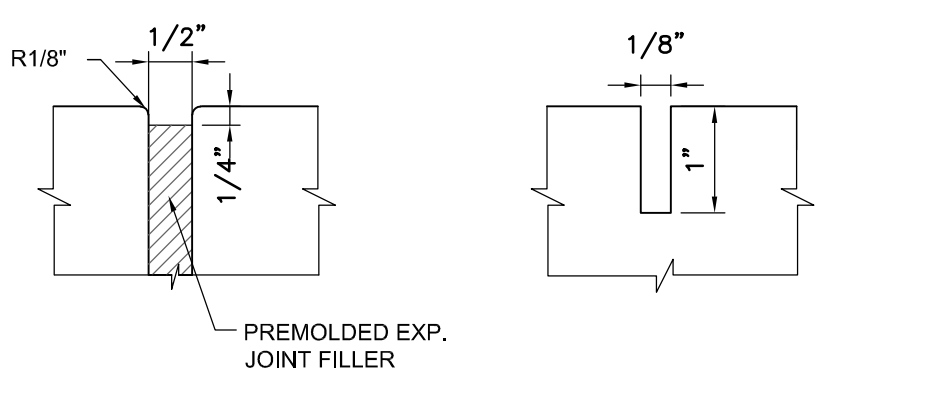
NOTE: Install gravel filter material or filter fabric. Color of riprap to be coordinated to match landscaping gravel mulch.



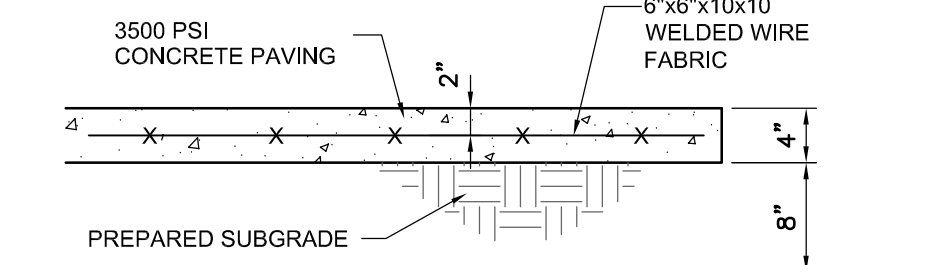
D4 CONCRETE PAVEMENT
NOT TO SCALE



B3 CONCRETE STAIR
NOT TO SCALE



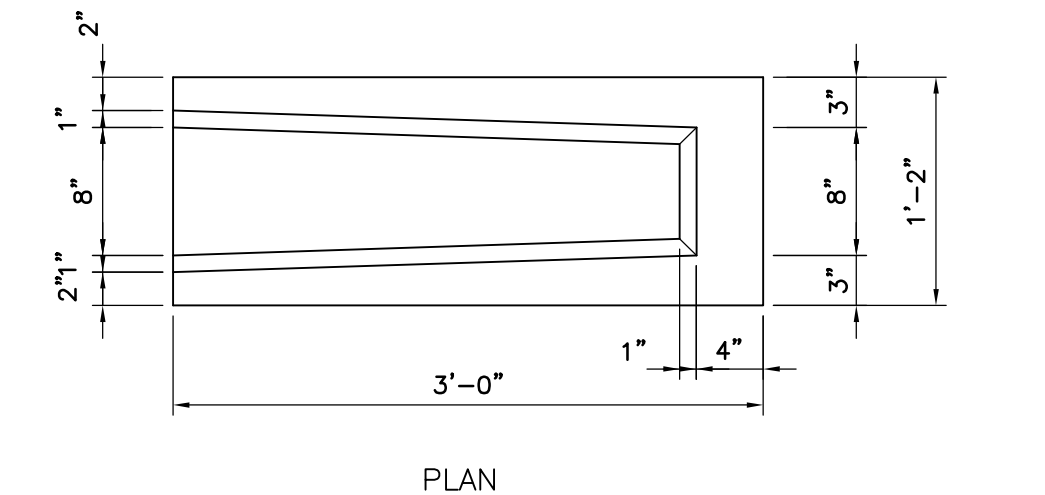
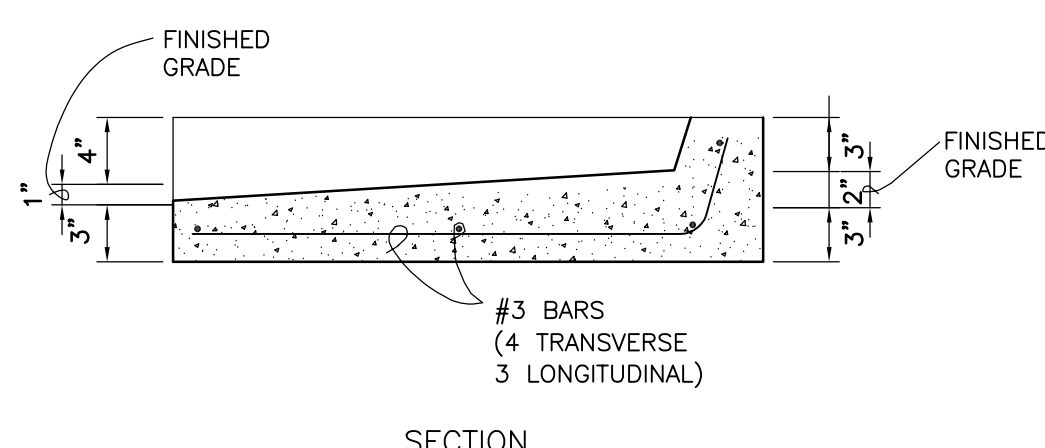
EXPANSION JOINT **CONTRACTION JOINT**



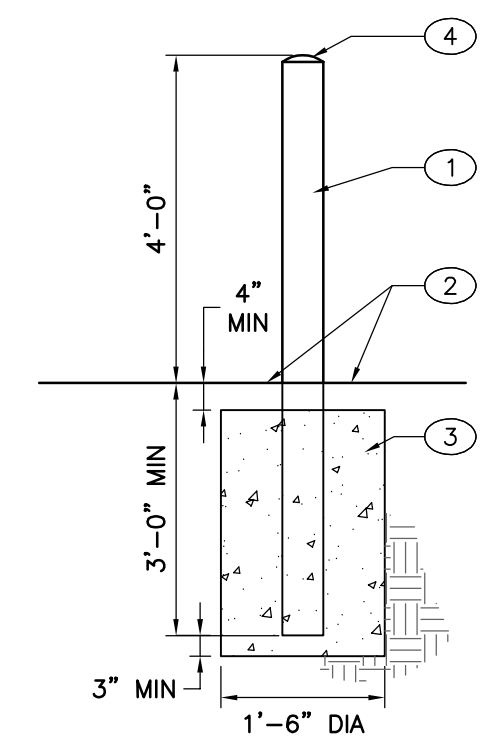
NOTE: PROVIDE TRANSVERSE CONTRACTION JOINTS AT INTERVALS NOT EXCEEDING 6'-0" ON CENTER, PROVIDE CENTERLINE CONTRACTION JOINTS IN SIDEWALKS WIDER THAN 8'-0". SPACING OF CENTERLINE CONTRACTION JOINTS SHALL NOT EXCEED 6'-0".

PROVIDE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING 30'-0" ON CENTER.

A4 CONCRETE SIDEWALK
NOT TO SCALE



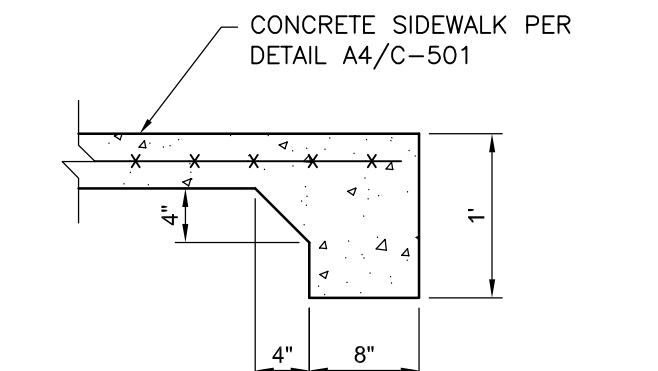
A1 CONCRETE SPLASH BLOCK
NOT TO SCALE



A2 BOLLARD, 6" Ø
NOT TO SCALE

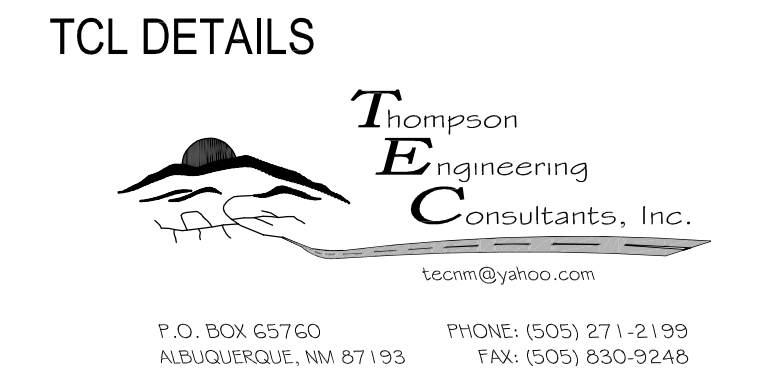
- KEYED NOTES:**
1. 6" DIA. STEEL PIPE W/ REFLECTORIZED YELLOW PAINT (CONC. FILLED W/ SMOOTH EDGES).
 2. FINISHED GRADE OR PAVING AS PER DRAWINGS & SPECS - SEE PLANS.
 3. CONCRETE FOOTING.
 4. ROUNDED CONCRETE.

A3 TURNDOWN EDGE
NOT TO SCALE

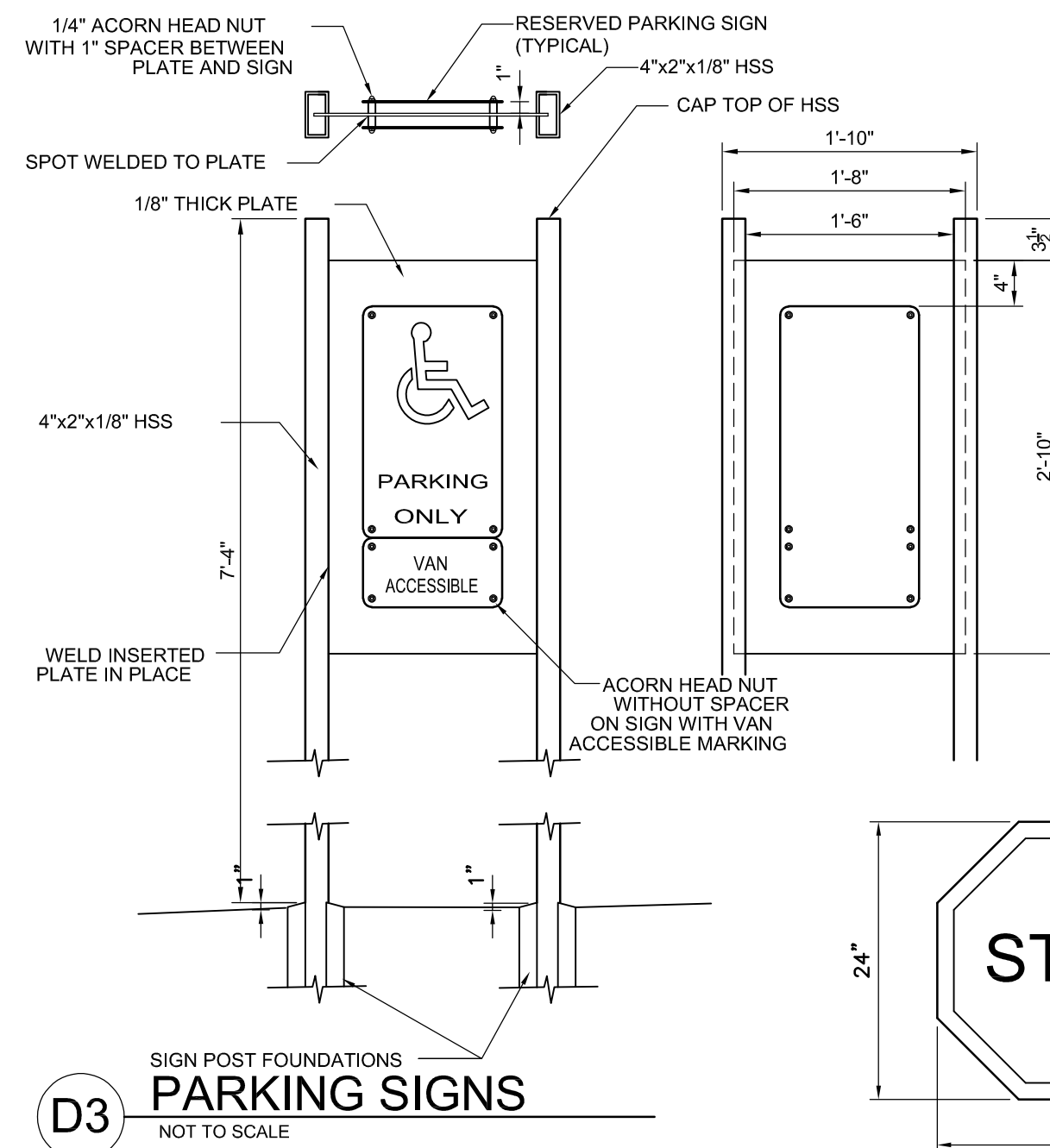


VENTANA SQUARE SELF-STORAGE
NEC OF PASEO DEL NORTE BLVD AND UNIVERSE BLVD
ALBUQUERQUE, NM 87114
DATE: 01-10-2024 (PRELIMINARY)

C-501
RKA# 22116.00

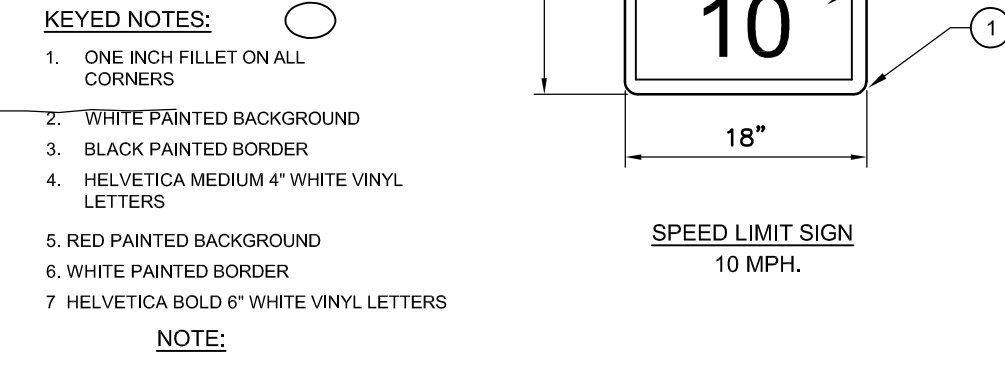


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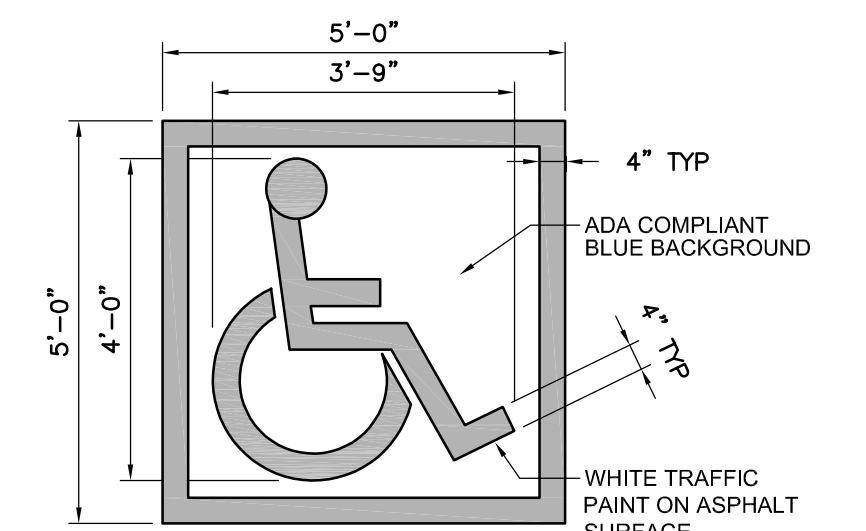


E6 RESERVED PARKING SIGNS
NOT TO SCALE
PROVIDE SIGN POSTS AND MOUNTING PER D4/C-502.

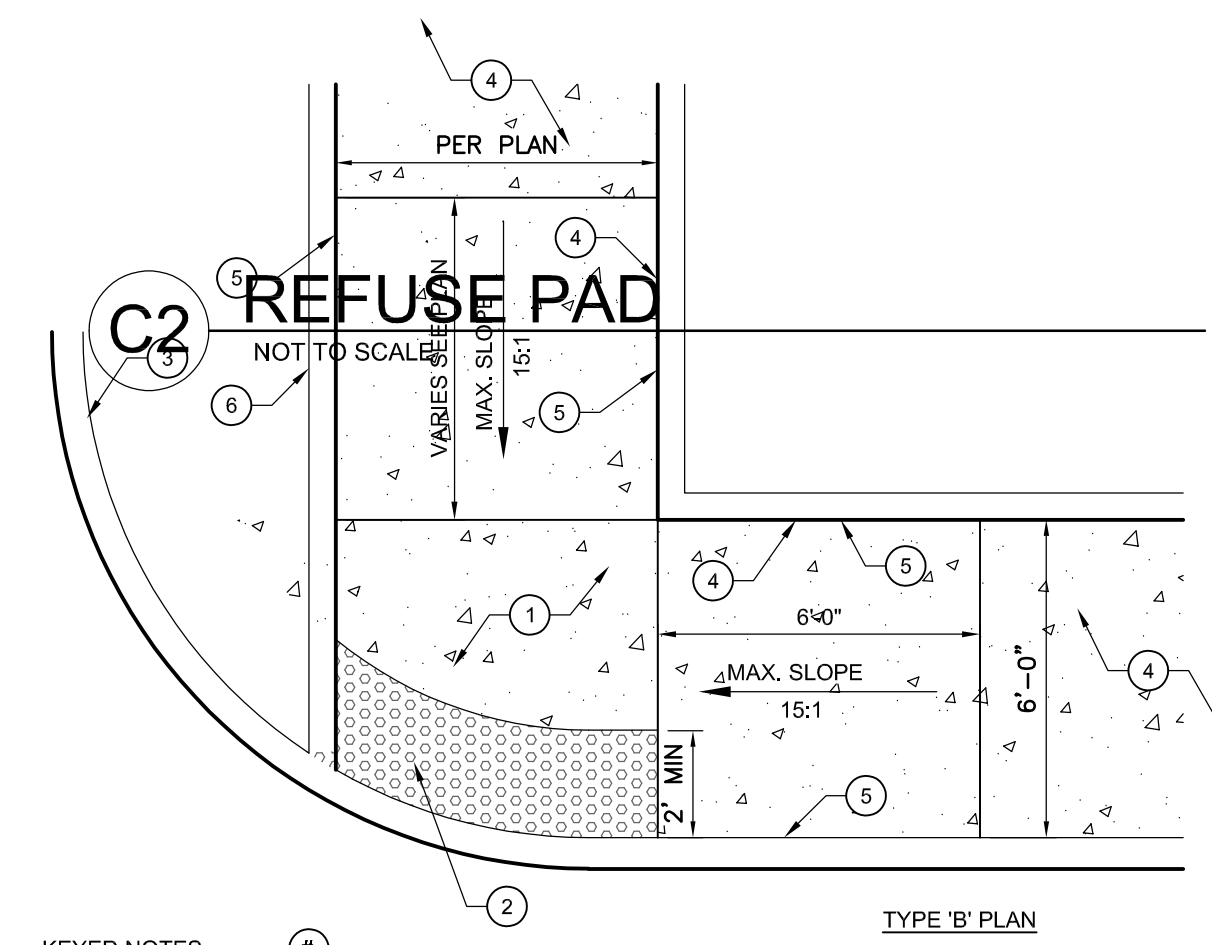
D3 SIGN POST FOUNDATIONS FOR PARKING SIGNS
NOT TO SCALE



D5 TRAFFIC SIGNS
NOT TO SCALE

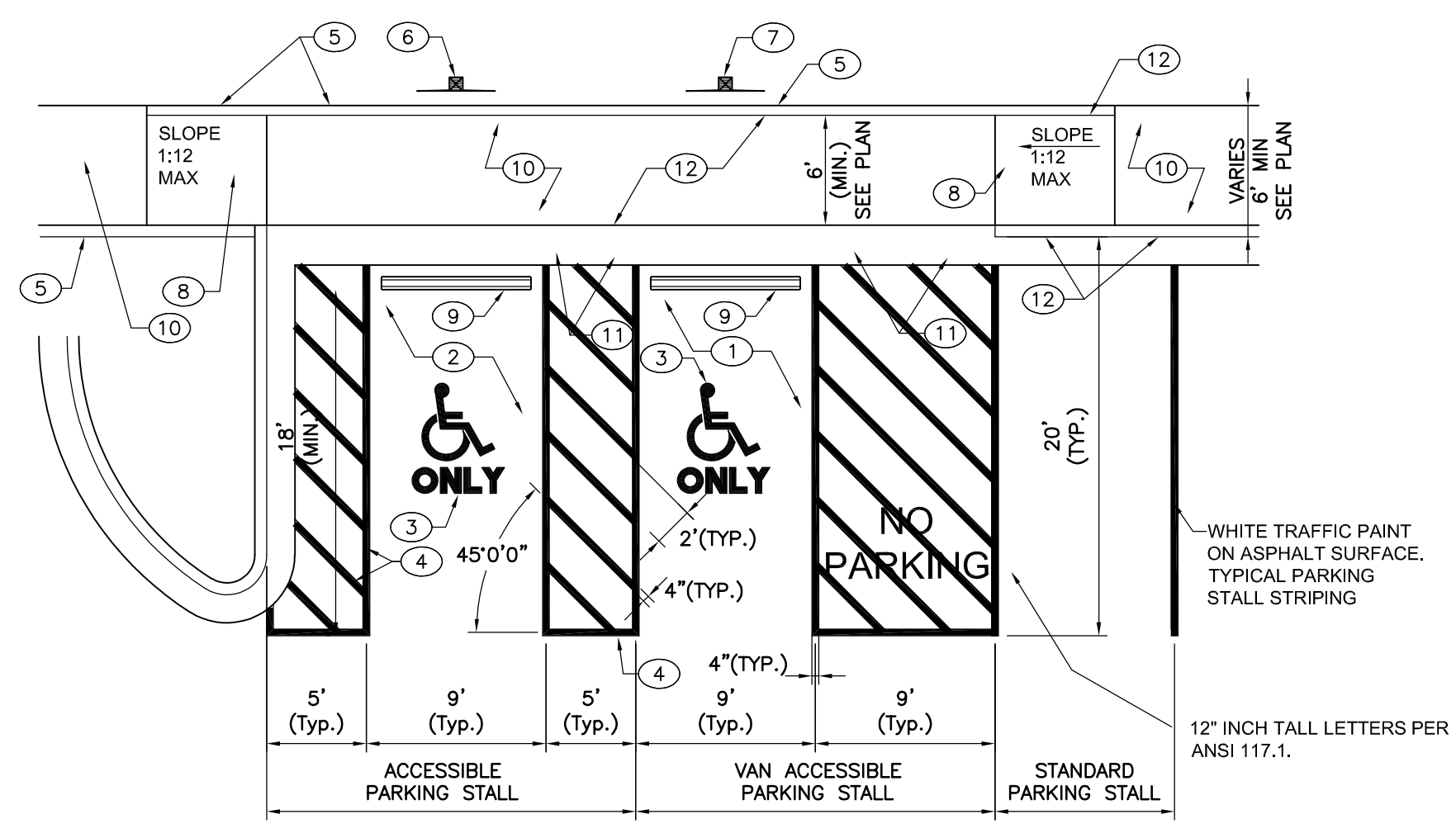


C6 RESERVED SYMBOL
NOT TO SCALE



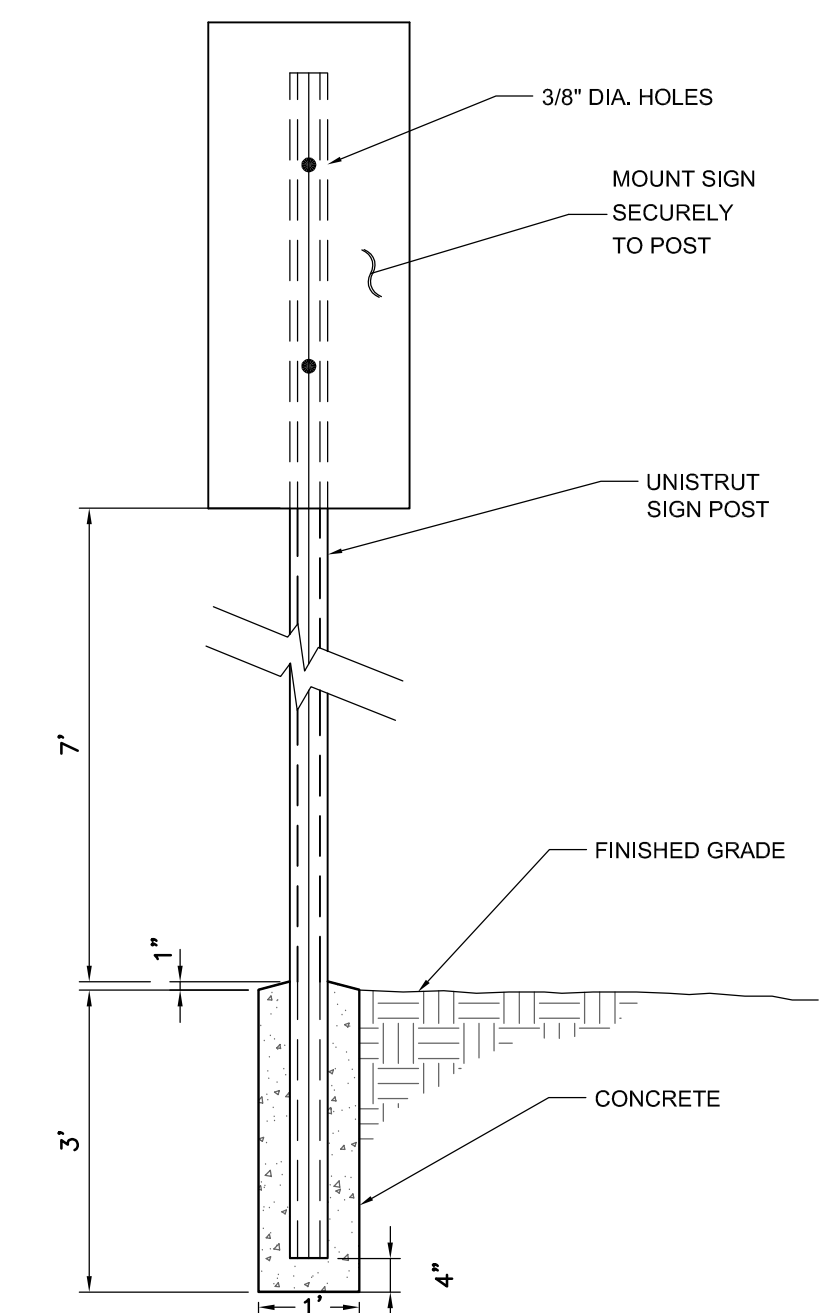
- KEYED NOTES:**
- 2% CROSS SLOPE MADE IN ANY DIRECTION.
 - DETECTABLE WARNING SURFACE PER A1A/C-501.
 - CONC. CURB. SEE PLANS.
 - CONCRETE SIDEWALK PER PLANS.
 - 1/2\"/>

A1 CURB ACCESS RAMPS
NOT TO SCALE



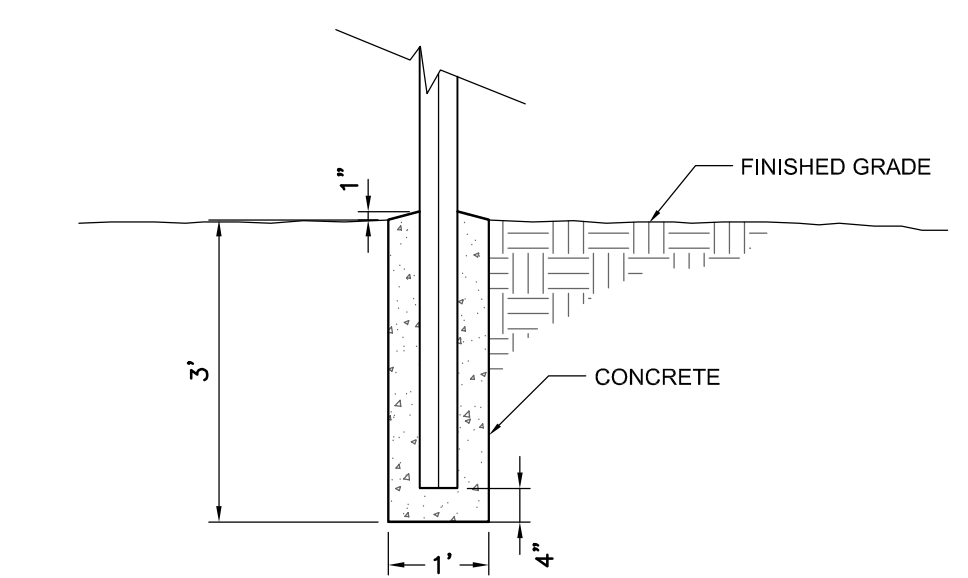
- KEYED NOTES:**
- TYPICAL VAN ACCESSIBLE SPACE.
 - TYPICAL STANDARD ACCESSIBLE SPACE.
 - RESERVED PARKING SYMBOL.
 - 4\"/>

A3 ADA RESERVED PARKING STALL
NOT TO SCALE



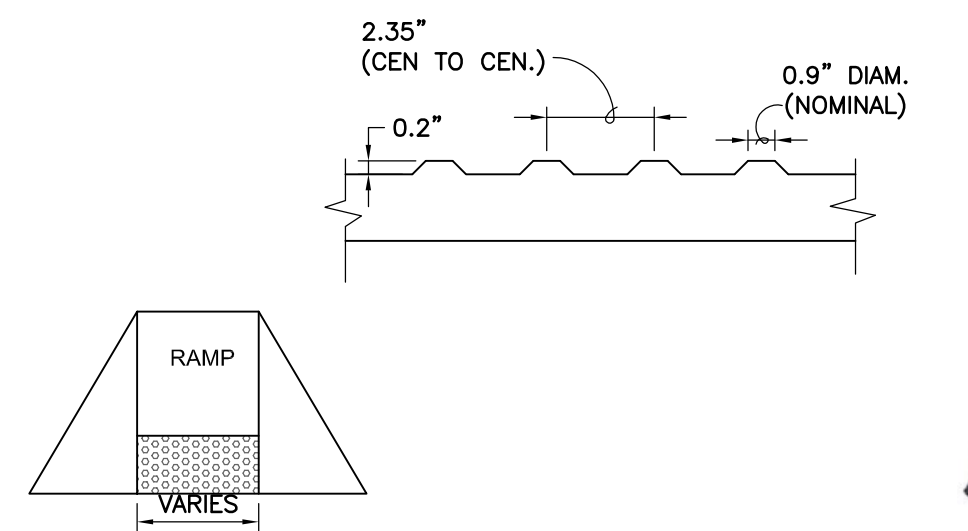
- GENERAL NOTES:**
- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0\"/>

A4 RESERVED PARKING SIGNS
NOT TO SCALE



- GENERAL NOTES:**
- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0\"/>

B6 SIGN POST
NOT TO SCALE



A5 DETECTABLE WARNING SURFACE
NOT TO SCALE



VENTANA SQUARE SELF-STORAGE
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ALBUQUERQUE, NM 87114
DATE: 01-10-2024 (PRELIMINARY)

C-502
RCAA# 22116.00

TCL DETAILS
Thompson Engineering Consultants, Inc.
P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9248



1. Site Plan
2. Landscape Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Elevations
6. Photometric Plan
7. Fire 1 Plan
8. Traffic Circulation Layout

CSI-Cartesian Surveys Inc.
PO Box 44414, Rio Rancho, NM 87174
896-3050 Fax 891-0244

April 4, 2024

Development Hearing Officers and DFT Members
City of Albuquerque

**Re: Preliminary/Final Plat Review for Proposed Lot 150-B, Town of Atrisco Grant, Unit 6
(Sensitive Site analysis)**

Cartesian Surveys is acting as an agent for the owner, GDC VS, LLC to request a preliminary / final plat review to subdivide the three (3) existing tracts to create four (4) new tracts, grant a 10-foot public utility easement [29], and vacate the turn-around bulb / portion of the private access easement [20] as the future site design will have 30-foot interior drive aisles, covered by CCRs and Blanket Private Access Easement [6]. The property is currently zoned MX-M (Mixed Use – Moderate Intensity). Previous subdivision actions for this property were heard under PR-2020-004024 / SD-2021-00155, and the PR-2020-004024 number was reused when we were previously heard for a sketch plat review of a 3-tract configuration (didn't have Tract H-5A or PUE involved).

The sensitive site analysis for the site is summarized below:

Floodplains and flood hazard areas: N/A, within Zone X, area with minimal flood risk per FEMA classification FIRMette 35001C0103H effective 08/16/2012

Steep Slopes: N/A, site is relatively level having been graded

Unstable Soils: N/A

Wetlands: N/A

Arroyos: N/A

Irrigation Facilities: N/A

Escarpment / Rock Outcroppings: N/A

Large Stands of mature trees: N/A

Archeological sites: N/A, site is 5.3125 acres in size and has areas graded for development in an area of established residential and commercial development. Archeological Certificate was granted September 23, 2020 for Tracts H5 thru H11.

Thank you for your time and consideration.
Ryan J. Mulhall



Aerial view from Google Maps of our subject site with approximate limits shown in blue. Street view photo approximate locations shown as orange dots



View to the South from private access drive near Bank of ABQ

View to the north from Paseo del Norte Blvd near Universe Blvd NW




SUPPORTIVE DOCUMENTATION

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 May 6, 2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



September 14th, 2023

City of Albuquerque
Planning Department
600 2nd St NW
Albuquerque, NM 87102

Re: Property Owner Letter of Authorization

To Whom It May Concern:

GDC VS, LLC hereby authorizes Consensus Planning, Cartesian Surveys Inc and Thompson Engineering to obtain information, submit and process applications, represent the project at meetings and public hearings, and act as our agent for any work related to the subdivision plat, site plan, or civil engineering for the property consisting of approximately 5.31 acres located at 99999 Paseo del Norte Boulevard, NW. The property is legally described as *Tracts H-5A, H-6B and H-9A of the Plat for Tracts H-5A, H-6A, H-7A, H-8A and H-9A of Ventana Square at Ventana Ranch, as the same are shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 2021 in Plat Book 2021C, Page 96 as Document No. 2021098753.*

Sincerely,

GDC VS, LLC, a New Mexico limited liability company

By: GDC-SBL INVESTMENTS, LLC, an Arizona limited liability company, its Member

By: GARRETT DEVELOPMENT CORPORATION, an Arizona corporation, its Member

By: 

Jeffrey Garrett, President



May 6, 2024

Jolene Wolfley, Chair
Development Facilitation Team (DFT)
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Site Plan Administration – Ventana Square Self-Storage

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Ms. Wolfley,

The purpose of this letter is to request approval of a Site Plan Administration for Self-Storage at 9610 and 9630 Universe Boulevard, NW, zoned MX-M. The two lots comprising the subject site were included in a replat in August 2021.

- *H-6B consists of 1.99 acres*
- *H-9A consists of 2.20 acres*

The legal description of the Tracts are *Tracts H-6B and H-9A, Ventana Square at Ventana Ranch, containing 4.1916 acres.*



Subject Property highlighted in orange and self-storage location in yellow.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

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PROJECT DESCRIPTION

The Applicant proposes to develop the site with self-storage. The self-storage facility is proposed to be a 29.4-foot, two-story facility totaling 88,500 square feet. It will be a fully enclosed, climate-controlled facility with interior access. Access to the facility will be from Universe Boulevard. The self-storage office will be located at the northwest corner of the building. The loading entrance will be located on the west side of the building adjacent to vacant property that will be developed in the future.

A preliminary plat is being considered concurrently with this Site Plan application. The proposed re-plat will subdivide Tracts H-5A, H-6B, and H-9A into four tracts (please see preliminary plat application PR-2020-004024). The self-storage will be located on the proposed Tract H-6B-1.

BACKGROUND

The subject property was part of a Site Plan for Subdivision approved in 2000 and was previously zoned SU-1 For Restricted C-2 Uses (PR-100390). The Environmental Planning Commission (EPC) approved a Major Amendment to the approved prior Site Plan on June 25, 2020 (PR-2020-004025, SI-2020-00533). The Major Amendment removed the Site Development Plan for Subdivision to replace the design standards, guidelines, conditions, and restricted/prohibited uses with the IDO. Approval of the Major Amendment ensured that future development would be subject to IDO review and decision criteria.

On August 11, 2021, the Development Review Board (DRB) approved a Final Plat for the Ventana Square at Ventana Ranch that created six tracts from five tracts (PR-2020-004024, SD-2021-00155). The Final Plat included Tracts H-6 and H-9, which were reconfigured as H6-A and H6-B and H9-A and H9-B. As noted in the introduction, Tracts H-6B and H-9A comprise the subject site until the re-plat is completed.

In 2021, a conditional use for self-storage was approved the the Zoning Hearing Examiner (PR-2020-004024; VA-2022-00127, VA-20220-00128). An extension of the conditional use was granted on July 17, 2023.

EXISTING CONDITIONS

The subject property is located on the northeast corner of Paseo del Norte and Universe Boulevard and is currently vacant. It is within an Area of Consistency and the Northwest Mesa Community Planning Area designated within the ABC Comprehensive Plan.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



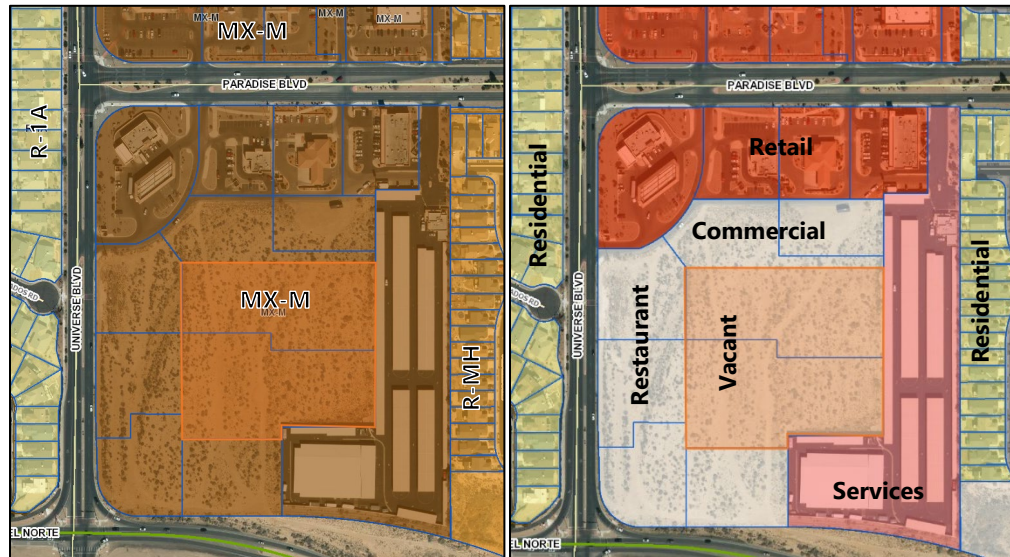
Subject site facing south from an adjacent property.

A portion of the subject site is within the Northwest Mesa Escarpment View Protection Overlay (VPO-2) outside the Height Restrictions Sub-area. Therefore development on the subject site must meet and will comply with the requirements within *IDO Section 3-6(E)(4-6)*, which address colors, reflectivity, and mechanical equipment screening.

Zoning and Land Use

The following table and maps show the existing land uses and zoning from AGIS. Adjacent zoning is MX-M and Residential-1A. Land uses include commercial retail, commercial services, vacant, and single-family detached residential. To the north of the subject site is a gas station, a drive-through restaurant, and a bank. Properties to the west are vacant with the construction of a restaurant on one of the lots (see photo above). Adjacent to the east and south is a self-storage business.

Direction	Zoning	Land Use
North	MX-M	Commercial Retail
South	MX-M	Vacant, Commercial Services
East	MX-M	Commercial Services
West	MX-M, R-1A	Commercial Services, Vacant, Single-family residential



Surrounding Zoning

Surrounding Land Use

REVIEW AND DECISION CRITERIA

The following is an explanation of how the request meets the requirements for a Site Plan-Administrative approval:

6-5(G)(3) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: The Site Plan complies with all applicable standards related to the subject property. The MX-M Zone District Dimensional Standards, for parking and loading (14-16-5-5), landscaping and buffering (14-16-5-5), walls and fences (14-16-5-6), outdoor and site lighting (14-16-5-8), building design (14-16-5-11), and signs (14-16-5-12). Self-storage is subject to the Use-Specific Standards in IDO Section 4-3(D)(29) *Self-Storage* as follows:

4-3(D)(29)(a) All storage shall be within fully enclosed portions of a building.

Applicant Response: The proposed self-storage facility will be a climate-controlled, fully enclosed building, and all storage units will only be accessible through interior corridors.

4-3(D)(29)(b) Public access to any storage units within 100 feet in any direction of any Residential zone district or lot containing a residential use in any Mixed-use zone district is prohibited between 10:00 P.M and 7:00 A.M.

Applicant Response: The proposed self-storage building is not within 100 feet in any direction of any Residential Zone District or residential use. The nearest Residential Zone District is approximately 200-feet to the east, and on the other side of and adjacent to the existing self-storage business with outdoor units. The proposed self-storage business will have operating hours Monday through Friday from 9:30 A.M. to 6:00 P.M., Saturdays from 9:00 A.M.

to 5:30 P.M., and closed on Sunday. Keypad access to the facility will be from 6:00 A.M. to 10:00 P.M. daily. Every customer will have a unique access code to enter the facility.

4-3(D)(29)(c) An opaque wall or fence at least 6 feet and no more than 8 feet high or a landscape buffer at least 50 feet wide shall be provided along any lot line that abuts any residential zone district or lot containing a residential use in any Mixed-use zone district.

Applicant Response: The proposed self-storage does not abut any Residential zone district or lot containing a residential use.

4-3(D)(29)(d) Security fencing shall not include razor wire or barbed wire.

Applicant Response: The proposed self-storage facility will meet IDO standards for security fencing and not include razor wire.

4-3(D)(29)(e) Within 200 feet in any direction of a Residential zone district, internal lighting that is visible from the property line shall be dimmed by 50 percent of the maximum foot lamberts allowed pursuant to Subsection 14-16-5-8(D)(6) between 10:00 P.M. and 7:00 A.M.

Applicant Response: The proposed self-storage is located approximately 200-feet from a Residential zone district to the east. The applicant agrees that internal lighting visible from the property line shall be dimmed according to the IDO requirements between 10:00 PM and 7:00 AM.

4-3(D)(29)(f) In the MX-L, MX-M, MX-H, and MX-FB zone districts, and on lots in the NR-C zone district within a UC-AC-MS-PT area, access to individual storage units shall be through interior corridors; direct access to individual units from outdoor areas is not allowed.

Applicant Response: The proposed self-storage units will only have direct access through interior corridors. The loading dock is on the west side of the building. There will be no direct access to individual units from outdoor areas.

4-3(D)(21)(f) In the NR-C zone district outside of UC-AC-MS-PT areas, exterior doors to individual storage units shall not face any abutting street frontage, or, if the site is located on a corner lot, shall not face the primary street frontage.

Applicant Response: This Criterion is not applicable. The subject site is within the MX-M zone, not in the NR-C zone district.

Northwest Mesa Escarpment View Protection Overlay Zone

In addition to the Use-Specific Standards for Self-Storage, development on the site is also subject to the requirements contained in the Northwest Mesa Escarpment View Protection Overlay Zone (VPO-2). The site is not within the Height Restrictions Sub-area and therefore is not subject to the standards within IDO 3-6(E)(5-7).



3-6(E)(5) Colors:

The exterior surfaces of structures, including but not limited to mechanical devices, roof vents, and screening materials, shall be colors with light reflective value (LRV) ranging from 20 percent to 50 percent. This middle range of reflectance is intended to avoid very light and very dark colors.

Applicant Response: The proposed self-storage building façade meets the LRV required in VPO-2.

3-6(E)(5)(a) Colors include the yellow ochers, browns, dull reds, and grey-greens existing on the Northwest Mesa and escarpment, exclusive of the basalt.

Applicant Response: The colors on the building façade include those within the above stated colors, primarily grey-greens.

3-6(E)(5)(b) Trim materials on façades constituting less than 20 percent of the façade's opaque surface may be any color.

Applicant Response: The trim and facades are corresponding to the VPO-2 color standards. The wall mounted sign is a wasabi color and is less than 20 percent of the surface.

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

Applicant Response: The City's existing infrastructure and public improvements have adequate capacity to serve the proposed development as evidenced by the following pre-approvals.

- Grading and Drainage Plan: Approved by Hydrology on March 13, 2024.
- Water and Sanitary Sewer Serviceability Letter: Issued on November 27, 2023. A Service Connection Agreement (SCA) is pending. Approval of the SCA is required prior to approval by DFT.
- Traffic Circulation Layout (TCL): Approved on February 20, 2024.

The applicant agrees to install required infrastructure. The site plan will not require an IIA for public improvements.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

Applicant Response: The subject property is not within an approved Master Development Plan.



6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

Applicant Response: The subject property is not within an approved Framework Plan.

Conclusion

On behalf of Garrett Real Estate Development, LLC., we respectfully request that you review and provide comments that will expedite approval of this Site Plan for Self-storage. Thank you for your consideration.

Sincerely,

James K. Strozier, FAICP
Principal

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 13, 2024

David Thompson, PE
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

**RE: Ventana Square Self Storage
Grading and Drainage Plans
Engineer's Stamp Date: 02/20/24
Hydrology File: B10D003C3C**

Dear Mr. Thompson:

Based upon the information provided in your submittal received 02/21/2024, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, action by the Development Facilitation Team (DFT) on Site Plan for Building Permit and action by Development Hearing Officer (DHO) on Preliminary Plat. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

November 27, 2023

Chair

Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Barbara Baca
County of Bernalillo
Commissioner, District 1

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

David B. Thompson
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM

RE: Water and Sanitary Sewer Serviceability Letter #230911
Project Name: Ventana Square Tract H-6B-1 – Self Storage
Project Address: N/A
Legal Description: Tracts H-5A, H-6B, and H-9A, Ventana Square at Ventana Ranch
UPC: 101006505206730604, 101006505004830603, 101006506108530605
Zone Atlas Map: B-10

Dear Mr. Thompson:

Project Description: The subject site is located within the commercial development at the southeastern corner of the intersection of Universe Boulevard and Paradise Boulevard, within the City of Albuquerque. The proposed development consists of approximately 2.25 acres and the property is currently zoned MX-M for mixed-use, moderate intensity. The property lies within the Pressure Zone 4W in the Corrales Trunk.

The Request for Availability indicates plans to subdivide and replat three lots, H-5A, H-6B, and H-9A, into four lots H-5A-1, H-6B-1, H-6B-2, and H-9A-1. The lot that is currently seeking service is proposed Lot H-6B-1 and will develop into a commercial self-storage building. Since development on the remaining lots is not known at this time, this Serviceability Letter is specific to proposed lot H-6B-1 and subsequent Requests for Availability will be required for each remaining lot within the proposed platted area

Service Connection Agreement Required: This property is outside of the Water Authority's Established Service Area. Pursuant to the System Expansion Ordinance, service to this property shall be subject to a Service Connection Agreement which will establish the conditions for service. A Service Connection Agreement is required in lieu of a Development Agreement because there is no expansion or improvement of public infrastructure required to serve the development. Contact Utility Development regarding the Service Connection Agreement process.

Existing Conditions:

Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution main (project #NMUI-052-03) along the site's north and west property line and through Lot H8A, Ventana Square at Ventana Ranch, between Universe Boulevard and the eastern side of the site.
- Eight-inch PVC distribution main (NO RECORD) along the site's east property line.
- Eight-inch PVC distribution main (project # 26-6709.82-22) along the site's south property line.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC sanitary sewer collector line (project #NMUI-052-03) along the site's north property line.
- Eight-inch PVC sanitary sewer collector line (project # 26-6709.82-22) along the site's west and south property lines.

Water Service: New metered water service to proposed tract H-6B-1 can be provided via routine connection to the existing eight-inch distribution main as mentioned in the "Existing Conditions" section above. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service to proposed tract H-6B-1 can be provided via routine connection to the existing eight-inch collector along the north, west, and south of the site's boundaries. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the proposed self-storage on proposed Lot H-6B-1 is 3,125 GPM gallons per minute. Three fire hydrants are required. There are two existing hydrants available and one new hydrant is proposed with this project. As modeled using InfoWater™ computer software, the fire flow **CAN** be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at hydrant 271, hydrant 273, and the proposed hydrant.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention:

Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60 61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection, unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Pretreatment – Fats, Oils, and Greases: The development is for commercial use and has the potential to discharge Fats, Oils, Grease, and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the Sewer Use and Wastewater Control Ordinance (SUO):

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
 - a. Interceptors and/or Separators are required for dumpster pads, outdoor pools, and outdoor washdown areas that have the potential to discharge grease, sand, solids, and flammable liquids to the sanitary sewer. The pad shall be installed at an elevation higher than the surrounding grade. It is not required for dumpster pads to have a sewer connection.
 - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS sources within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long-term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard-sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

Required public water and/or sanitary sewer easements shall be for the construction, installation, maintenance, repair, modification, replacement, or operation of public water

and sanitary service lines, equipment, and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with the use of the easement.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UEC's.

Water Resource Charge (WRC): Newly developed properties outside of the Water Authority's Established Service Area that are seeking water service will be assessed a Water Resource Charge(s) (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights, and supplies necessary to serve the development. Properties that receive only sewer service will not be charged a WRC. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRC's.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This serviceability letter does not provide a commitment from the Water Authority to provide services to the development. It only provides details of the infrastructure that is available and potential precursors for the proposed development.

For service to be provided, an approved service connection agreement must be supplemented by this serviceability letter. The serviceability letter will remain in effect for a period of one (1) year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

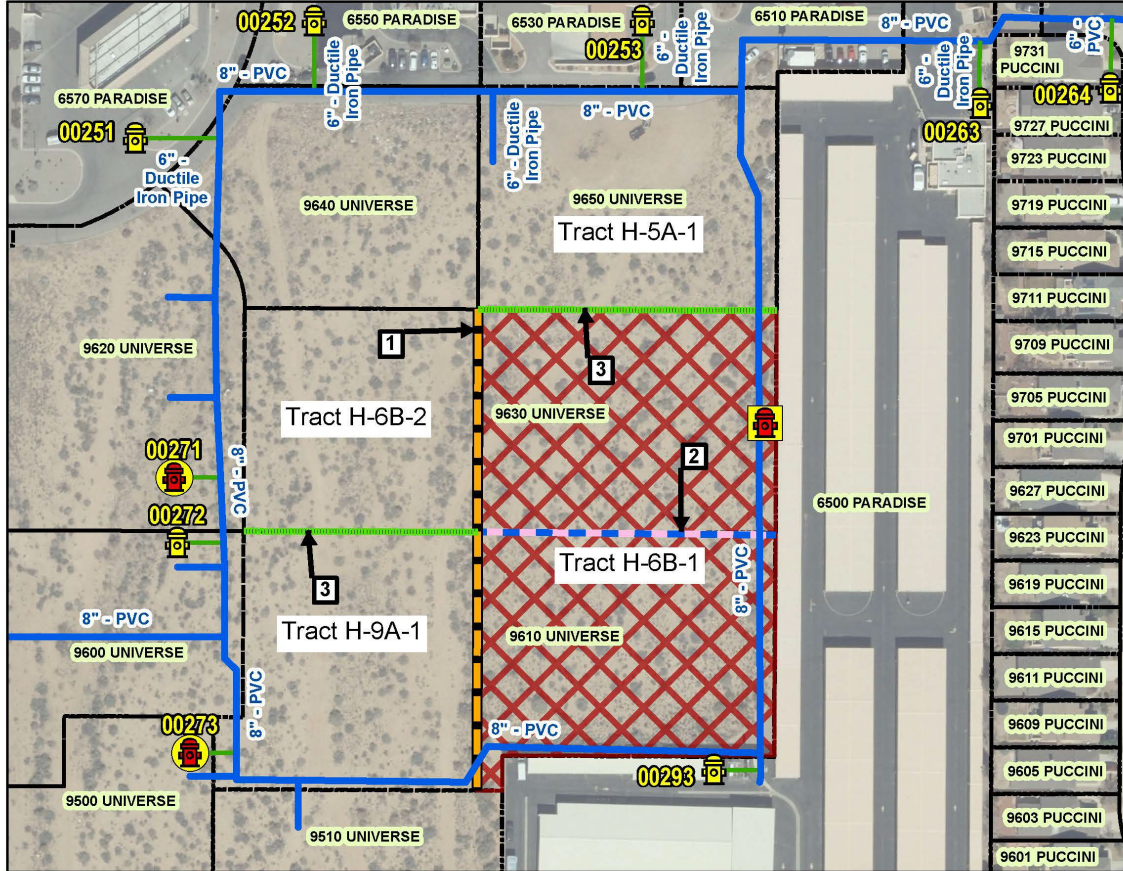
A handwritten signature in black ink, appearing to be 'MS', written in a cursive style.

Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Serviceability Letter #230911**

230911 - Water



Legend

Hydrant

Project Location

Water Pipe

Subtype

Distribution Line

Hydrant Leg

Fire Flow Analysis Points

Analysis Point - Existing Hydrant (2)

Analysis Point - Proposed Hydrant (1)

--- General Map Keyed Notes

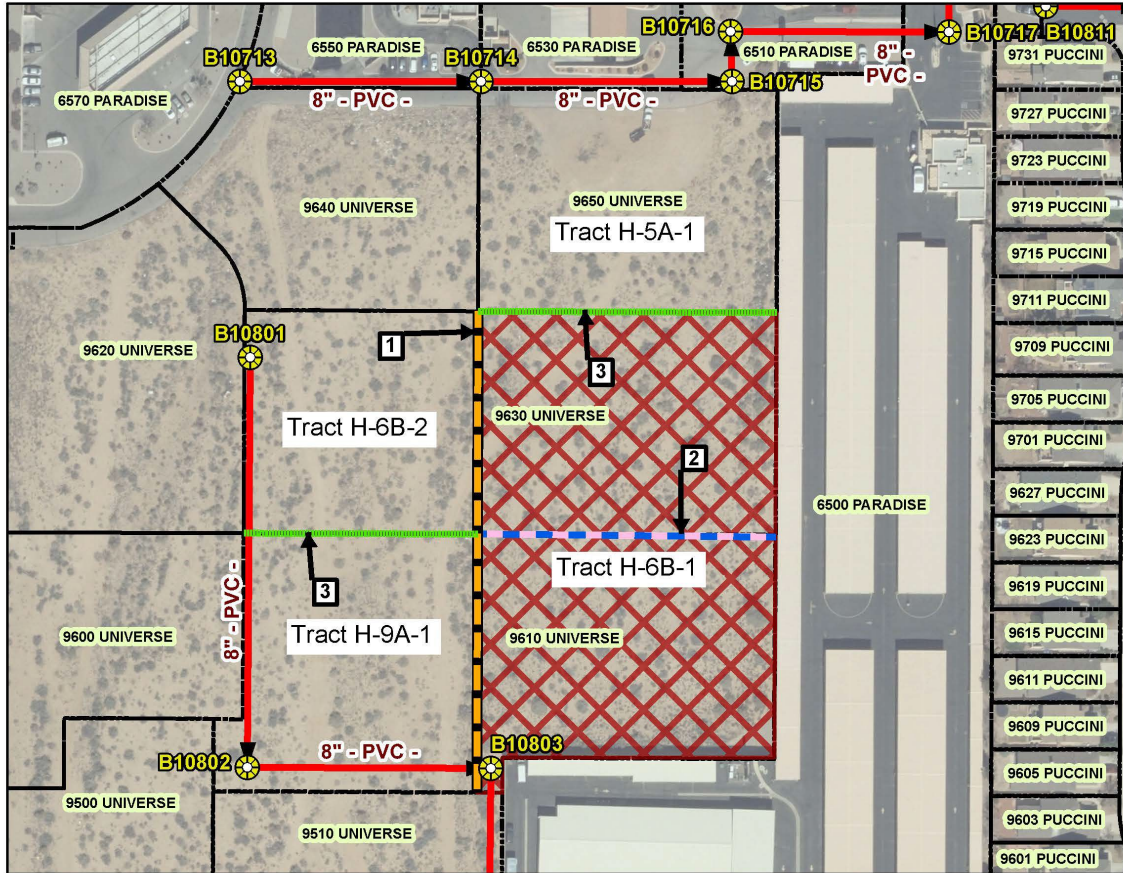
1 - Lot line to be created

2 - Lot line to be eliminated

3 - Lot lines to remain



230911 - Sanitary Sewer



Legend

Sewer Manhole

Project Location

Sewer Pipe

--- General Map Keyed Notes

Subtype

COLLECTOR

1 - Lot line to be created

2 - Lot line to be eliminated

3 - Lot lines to remain





LETTER OF CONDITIONAL PROJECT ACCEPTANCE

June 20, 2022

David E. Bishop, P.E.
Construction Engineer
City of Albuquerque
Albuquerque, NM 87102

Re: Ventana Square, CPN 670982

Mr. Bishop,

The Water Authority has received a Certification of Substantial Compliance from David B. Thompson, P.E. of the firm Thompson Engineering Consultants, Inc., for the above referenced project. The Water Authority has reviewed the closeout package documents for the water and/or sanitary sewer infrastructure and found that the facilities meet the requirements of the Water Authority and the developer has met its obligations with the Water Authority concerning said project. Therefore, the Water Authority hereby accepts and assumes ownership and maintenance responsibilities for these facilities and is able to provide service to the subject development associated with the above referenced project number.

The Water Authority's acceptance of the facilities herein is expressly conditioned upon final acceptance of the project by the City of Albuquerque. The Water Authority's conditional acceptance does not relieve the developer of any obligation or cost that may be required by the City Engineer as a final condition of project approval including, but not limited to, any additional obligation or cost related to sanitary sewer and/or water infrastructure. The contractor's one (1) year warranty period will begin from the date of the City Engineer's final acceptance of the project.

Sincerely,

A rectangular box containing a handwritten signature in black ink that reads "Robert W. Strong".

Robert W. Strong, P.E.
Principal Engineer
Utility Development
ABCWUA

cc: file CPN 670982
David B. Thompson, P.E., Thompson Engineering Consultants



CITY OF ALBUQUERQUE

September 13, 2022

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Thomas D. Growney, Managing Member
Diamond Tail Realty, LLC
220 Fall Pippin Lane, Suite 203
Asheville, NC 28803

RE: **Ventana Square**
City Project Number: **670982**

Dear Thomas D. Growney:

This is to certify that the City of Albuquerque accepts the construction of the infrastructure provided in the Work Order Construction Plans, City Project No. **670982**. The work was completed pursuant to the required infrastructure listed in the Infrastructure Improvements Agreement (IIA) Procedure B, between **Diamond Tail Realty, LLC**, and the City of Albuquerque executed on **July 21, 2021**.

Please note that the title "Subdivision Improvements Agreement" and the word "Subdivider" which may have been used in the original agreements are respectively replaced with the title "Infrastructure Improvements Agreement" and the word "Developer". These changes have no substantive effect on this Certificate of Completion and Acceptance.

Having satisfied the requirements referenced above, the IIA and any associated Financial Guaranty, held by the City, can now be released. Any performance/ warranty bond and the indemnity and hold harmless provisions of the IIA in favor of the City shall remain in effect. The contractor's warranty period will begin **September 13, 2022** and is effective for a period of one (1) year.

Should you have any questions or issues regarding this project, please contact me at (505) 924-3997.

Sincerely,

DocuSigned by:
Shahab Biazar
C7E1CB5481E9486...

Shahab Biazar, P.E., City Engineer
Development Review Services
Planning Department
City of Albuquerque

DS DS
CBMR

cc **Diamond Tail Realty, LLC** (e-mail)

Vincent Paul, DMD Maps & Records (e-mail)

Doug Rizor, DMD Street Maintenance (e-mail)

Stephen Woodall, DMD Street Maintenance (e-mail)

Tim Brown, DMD Traffic Operations (e-mail)

David G. Gutierrez, ABCWUA Utility Development (e-mail)

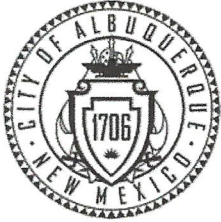
David Jaramillo, Maps & Records (e-mail)

Robert Nunez, DMD IT (e-mail)

Monica T. Gonzales ABCWUA GIS Coordinator (e-mail)

Maps@abcwua.org

City Project Number: **670982**



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: June 18, 2020

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2020-003988
Agent: Modulus Architects, Inc.
Applicant: Diamond Tail Realty LLC.
Legal Description: H1, H2, H3, H4A, H5, H6, H7, H8, H9, H10, H11, H12 Ventana Square at Ventana Ranch
Zoning: MX-M
Acreage: 25.58
Zone Atlas Page(s): B-10-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

historic Google earth Images

SITE VISIT: N/A

RECOMMENDATIONS:

Aerial photographs indicate area was completely bladed prior to March, 2002
CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

 6-18-20

Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

PUBLIC NOTICE
DOCUMENTATION

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

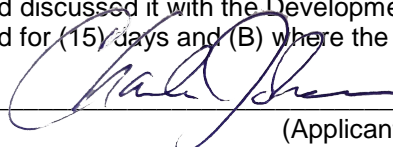
4. TIME

Signs must be posted from May 9, 2024 To May 24, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

April 22, 2024

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

RE: 9630, 9610, 9650 Universe Blvd NW_ Neighborhood Meeting Inquiry Sheet Submission

Office of Neighborhood Coordination <onc@cabq.gov>

Fri 5/3/2024 8:39 AM

To:Charlene Johnson <Johnson@consensusplanning.com>;Office of Neighborhood Coordination <onc@cabq.gov>

Good morning, Charlene.

As of today, Friday, May 3, 2024, there are no neighborhood associations to notify. Thank you.



Vanessa Baca

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: Charlene Johnson <Johnson@consensusplanning.com>

Sent: Thursday, May 2, 2024 4:38 PM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Re: 9630, 9610, 9650 Universe Blvd NW_ Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon, Suzie,

Can you verify that the information below is still correct?

Thank you,

Charlene Johnson, AICP

Senior Planner

Consensus Planning, Inc.

302 Eighth Street, NW

Albuquerque, NM 87102

Phone: 505 764-9801

From: Office of Neighborhood Coordination <onc@cabq.gov>

Sent: Wednesday, April 10, 2024 11:30 AM

To: Charlene Johnson <Johnson@consensusplanning.com>

Subject: 9630, 9610, 9650 Universe Blvd NW_ Neighborhood Meeting Inquiry Sheet Submission

Dear Applicant:

As of April 10, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Tuesday, April 9, 2024 5:06 PM

To: Office of Neighborhood Coordination <johnson@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Development Facilitation Team

Contact Name

Charlene Johnson

Telephone Number

5057649801

Email Address

johnson@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th St. NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR H-5A PLAT FOR TRACTS H-5A, H-6A, H-6B, H-7A, H-8A ANDH-9A VENTANA SQUARE AT VENTANA RANCH (BEING COMPRISED OFTRACTS H-5 THRU H-9 VENTANA SQUARE AT VENTANA RANCH)

TR H-6B PLAT FOR TRACTS H-5A, H-6A, H-6B, H-7A, H-8A ANDH-9A VENTANA SQUARE AT VENTANA RANCH (BEING COMPRISED OFTRACT H-5 THRU H-9 VENTANA SQUARE AT VENTANA RANCH)

TR H-9A PLAT FOR TRACTS H-5A, H-6A, H-6B, H-7A, H-8A ANDH-9A VENTANA SQUARE AT VENTANA RANCH (BEING COMPRISED OFTRACTS H-5 THRU H-9 VENTANA SQUARE AT VENTANA RANCH)

Physical address of subject site:

9630, 9610, 9650 Universe Blvd NW

Subject site cross streets:

Universe Blvd and Paseo del Norte

Other subject site identifiers:

This site is located on the following zone atlas page:

B-10-Z

Captcha

x