



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>SUBDIVISIONS</b>		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<b>MISCELLANEOUS APPLICATIONS</b>	
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>		<b>APPEAL</b>
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to IDO (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
<input type="checkbox"/> Waiver to DPM (Form V2)		
<b>BRIEF DESCRIPTION OF REQUEST</b>		
DRB Site Plan		

<b>APPLICATION INFORMATION</b>		
Applicant: Diamond Tail Realty LLC		Phone: 505-250-5049
Address: 20 Fall Pippin Ln Suite 203		Email: Mitch.bramlitt@autozone.com
City: Asheville	State: NC	Zip: 28803
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park PI NE		Email: jniski@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List all owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A	Block:	Unit:
Subdivision/Addition: Ventana Ranch	MRGCD Map No.:	UPC Code: 101006503902630602
Zone Atlas Page(s): B-10-Z	Existing Zoning: MX-M	Proposed Zoning MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 1.08

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: Paseo Del Norte	Between: Universe Blvd	and: Paseo Del Norte

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
1000390, PR-2020-004024, SI-2020-00533, PS-2020-00096, PR-2020-003988, SI-2020-00498, PS-2021-00045		

Signature:	Date: 8/24/2021
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:			Date:		
			Project #		

**FORM P2: SITE PLAN – DRB**

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

- SITE PLAN – DRB**
- MAJOR AMENDMENT TO SITE PLAN – DRB**
- EXTENSION OF SITE PLAN – DRB**

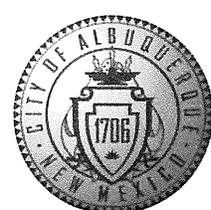
- N/A Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- N/A Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)  
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) (not required for extension)
  - Office of Neighborhood Coordination neighborhood meeting inquiry response
  - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- N/A If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6) (not required for extension)
  - Office of Neighborhood Coordination notice inquiry response
  - Copy of notification letter and proof of first-class mailing
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first-class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- N/A Copy of the original approved Site Plan or Master Development Plan (for amendments and extensions) (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Infrastructure List, if required

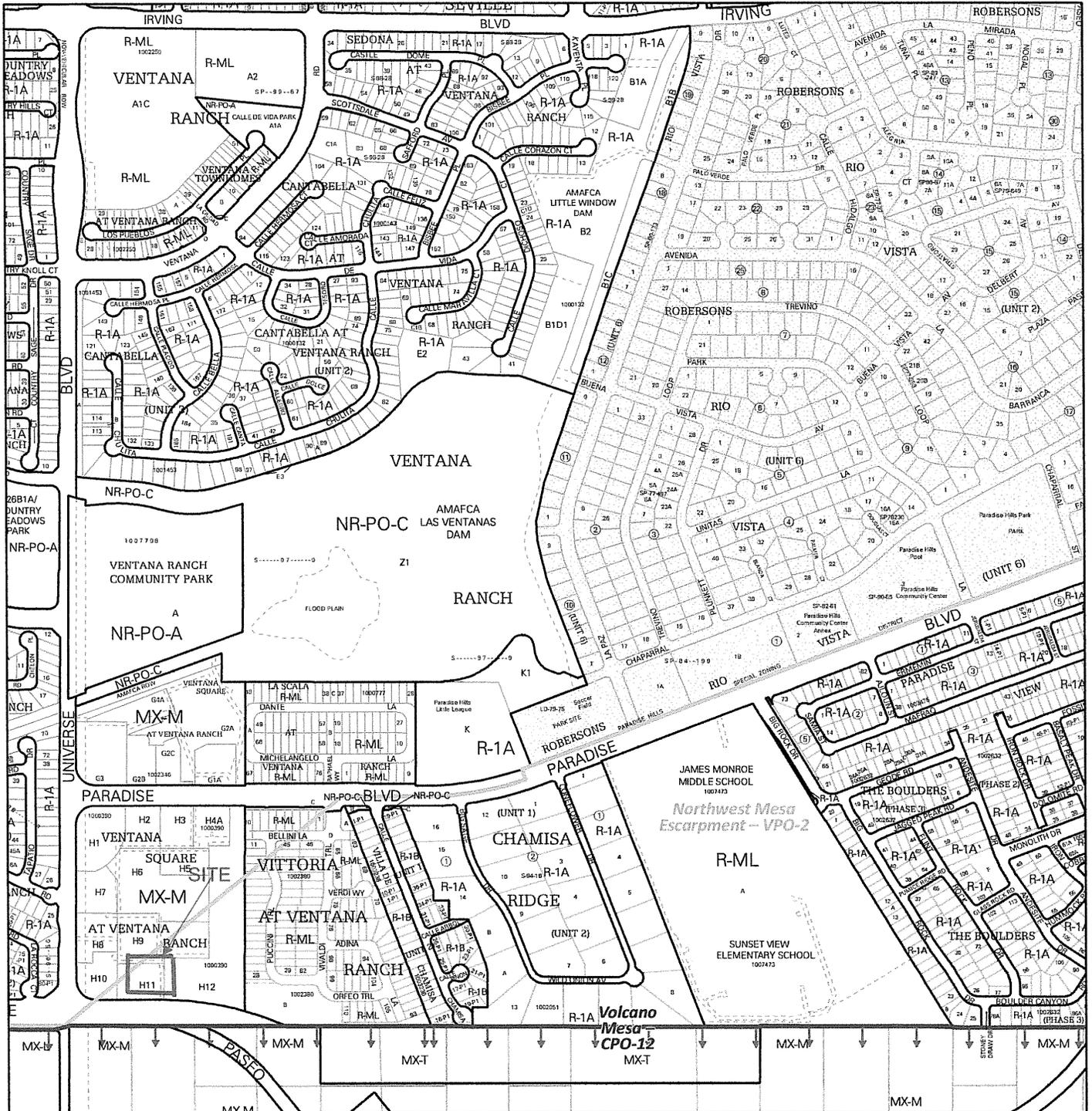
**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

- \_\_\_ Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- \_\_\_ PDF of application as described above
- \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Solid Waste Department signature on Site Plan
- \_\_\_ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ Approved Grading and Drainage Plan
- \_\_\_ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- \_\_\_ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- \_\_\_ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- \_\_\_ Infrastructure List, if required

***I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.***

<b>Signature:</b> 	<b>Date:</b> 8/24/2021
<b>Printed Name:</b> Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
<b>Staff Signature:</b>	
<b>Date:</b>	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

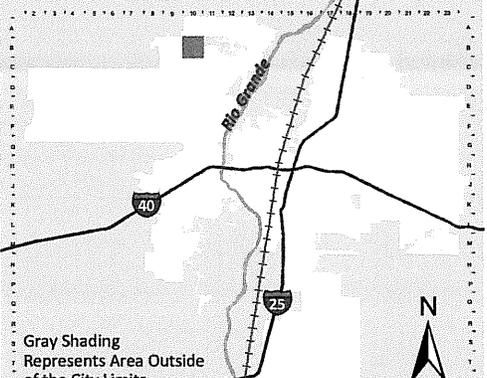
## IDO Zone Atlas May 2018



**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**B-10-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



Gray Shading Represents Area Outside of the City Limits

N

0 250 500 1,000 Feet

March 25, 2021

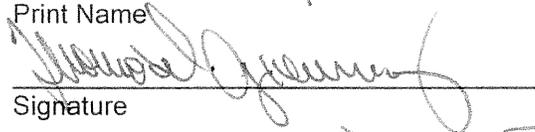
Ms. Jolene Wolfley  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **CITY SUBMITTALS**  
**AUTOZONE UNIVERSE & PASEO DEL NORTE**  
**TR H-11 PLAT OF TRACTS H-1 THRU H-11 VENTANA SQUARE**  
**AR VENTANA RANCH A REPLAT OF TRACT H-A**  
**ZONE ATLAS MAP: B-10-Z**

Dear Ms. Wolfley:

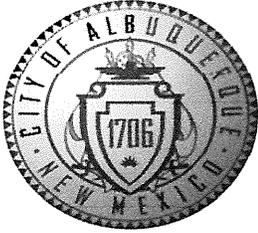
The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Diamond Tail Realty LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

THOMAS D. GROWNEY  
Print Name

  
Signature

MANAGING MEMBER, DIAMOND TAIL REALTY, LLC  
Title

3.31.21  
Date



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

Project Title: Auto Zone

Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: B-10-Z DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TR H-11 PLAT OF TRACTS H-1 THRU H-11 VENTANA SQUARE AT VENTANA RANCH A REPLAT OF TRACT H-A

Development Street Address: Universe Blvd.

Applicant: Tierra West, LLC Contact: Jon Niski

Address: 5571 Midway Park Pl

Phone#: 505-858-3100 Fax#: \_\_\_\_\_

E-mail: jniski@tierrawestllc.com

### Development Information

Build out/Implementation Year: 2022 Current/Proposed Zoning: MX-M

Project Type: New:  Change of Use:  Same Use/Unchanged:  Same Use/Increased Activity:

Proposed Use (mark all that apply): Residential:  Office:  Retail:  Mixed-Use:

Describe development and Uses:  
Auto parts store

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): 7,380

Number of Residential Units: N/A

Number of Commercial Units: 1

### Traffic Considerations

ITE Trip Generation Land Use Code \_\_\_\_\_

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* \_\_\_\_\_

Driveway(s) Located on: Universe Boulevard

ITE Land Use #843, Automobile Parts Sales, 7,380 Sq Ft AM 20 trips PM 35 trips
---

Adjacent Roadway(s) Posted Speed: Universe Blvd NW 35 mph  
Paeo Del Norte 35 mph

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Commuter  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: \_\_\_\_\_  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 12300 Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): \_\_\_\_\_ Nearest Transit Stop(s): \_\_\_\_\_

Is site within 660 feet of Premium Transit?: \_\_\_\_\_

Current/Proposed Bicycle Infrastructure: \_\_\_\_\_  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: \_\_\_\_\_

**Relevant Web-sites for Filling out Roadway Information:**

**City GIS Information:** <http://www.cabq.gov/gis/advanced-map-viewer>

**Comprehensive Plan Corridor/Designation:** <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

**Road Corridor Classification:** <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

**Traffic Volume and V/C Ratio:** <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

**Bikeways:** [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

**Traffic Impact Study (TIS) Required:** Yes [ ] No

Thresholds Met? Yes [ ] No

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes: 

This is a portion of the Ventana Ranch Commercial Development TIS HT# B10D003C3 approved January 2021. No additional traffic studies are required for this site development.
--

*M.P. P.E.*

8/19/2021

TRAFFIC ENGINEER

DATE

.....

**Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

**Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) (*check MRCOG Bikeways and Trails in the 2040 MTP map*)
4. Location of nearby multi-use trails, if applicable (*check MRCOG Bikeways and Trails in the 2040 MTP map*)
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**  
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

**PROJECT NAME:** Auto Zone

**AGIS MAP #** B-10-Z

**LEGAL DESCRIPTIONS:** TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square  
at Ventana Ranch a replat of Tract H-A

**DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on \_\_\_\_\_ (date).

  
\_\_\_\_\_  
Applicant/Agent

8/19/2021  
Date

Ernest Armijo  
\_\_\_\_\_  
Hydrology Division Representative

8/19/2021  
Date

**NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL**

**WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2<sup>nd</sup>/Ground floor, Plaza del Sol) on \_\_\_\_\_ (date).

  
\_\_\_\_\_  
Applicant/Agent

8/19/2021  
Date

Edwin Bergeron  
\_\_\_\_\_  
ABCWUA Representative

8/19/2021  
Date

Statement #210337 - Executed on 06/10/2021

**PROJECT #** \_\_\_\_\_





# TIERRA WEST, LLC

August 24, 2021

Ms. Jolene Wolfley  
Development Review Board  
600 Second NW  
Albuquerque, NM 87102

**RE: DRB SITE PLAN- AUTOZONE, PASEO DEL NORTE NW  
TR H-11 PLAT OF TRACTS H-1 THRU H-11 VENTANA  
SQUARE AT VENTANA RANCH A REPLAT OF TRACT H-A  
ZONE ATLAS PAGE B-10-Z**

Dear Ms. Wolfley:

Tierra West, LLC, on behalf of Diamond Tail Realty LLC, requests approval of a DRB Site Plan for an Auto Zone Parts store.

### Site Location

The subject property is located at Paseo Del Norte and Universe Blvd. The site is zoned mixed use- moderate (MX-M). The property is 1.09 acre and currently vacant. The development will be an auto parts store and consist of parking lot and building of 7380 sf. It is located in a designated Urban Center and is part of a larger shopping center development with mixed uses and pedestrian connectivity.

This location is within the Northwest Mesa Escarpment-VPO-2 area, however it would still be outside the Height Restrictions Sub-area. The building does conform to the color requirements in IDO 3-6(E)(4). The building doesn't have any reflective or mirrored glass as required in IDO 3-6(E)(5) and any roof mounted equipment will be screened as required in IDO 3-6(E)(6).

### Context /Request

*The justification presented below addresses the Site Plan for DRB request requirements pursuant to IDO Section 6-6(I)(3).*

- 6-6(I)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.
- 6-6(I)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its streets, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

6-6(l)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

cc: Mitch Bramlitt

JN: 2020074  
RRB/jn/kw

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-022 Date: 3/23/21 Time: N/A (sent via email to jniski@tierrawestllc.com)

Address: Universe Blvd NW

### AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dgutierrez@abcwua.org or call 505.289.3307; 505.241.9630

### PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.*

*Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** Autozone (auto parts store)

### SITE INFORMATION:

Zone: MX-M

Size: 1.0858

Use: Commercial Services

Overlay zone: (VPO) - View Protection Overlay Zone (3-6)-Northwest Mesa Escarpment – VPO-2

Comp Plan Area of: Consistency

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

\*Neighborhood Organization/s: Westside Coalition of NAs

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### PROCESS:

Type of Action: \*See Zoning Comments

Review and Approval Body: \* Is this a PRT requirement? See Table 6-1-1

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-022 Date: xxx Time: N/A (sent via email)

Address: Universe Blvd NW

**QUESTIONS OR CONCERNS** (Please be specific so that our staff can do the appropriate research)

1. Is there going to be major infrastructure required since the project abuts PDN?
2. Is the site available to go through the Administrative permit process or will we need to proceed to DRB
3. What applicable IDO sections affect the site for the building and setbacks, landscaping and parking?

### **NOTES:**

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

### **Download Forms & Applications**

<https://www.cabq.gov/planning/online-forms>

### **New Public Notice Forms**

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings. Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

### **Records requests**

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### **Requests to Inspect Public Records**

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)

### **File Submittal**

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov) and/or to Maggie Gould at [mgould@cabq.gov](mailto:mgould@cabq.gov).

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-022 Date: xxx Time: N/A (sent via email)

Address: Universe Blvd NW

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

### Zoning Comments

#### PROPERTY INFORMATION

- Address: 99999 PASEO DEL NORTE NW
- Lot: H11 Block: 0000
- Subdivision: VENTANA SQUARE AT VENTANA RANCH
  - AA Case: Y - 1000390
  - DRB Case: Y – “
  - EPC Case: Y – “
- POSSE Project Number: PR-2020-004024
- POSSE Project Number: PR-2020-003988
- Specific Case Type: Site Development Plan
- Northwest Mesa Escarpment – VPO-2
- Urban Center - 1,320 foot Buffer
- Type: Consistency
- Calculated GIS Acres: 1.0857
- Old Zoning Designation: SU-1
- Old Zoning Description: FOR RESTRICTED C-2 USES DESCRIBED IN FILE 00110-00408
- IDO Zoning: MX-M

#### ALLOWABLE USE(S) / USE SPECIFIC STANDARDS / DEFINITIONS

- General retail, small – Permissive
- 4-3(D)(36) General retail, small – Use Specific Standard
- General retail
- General Retail - An establishment providing for the retail sale of general merchandise or food to the general public for direct use and not for wholesale; including but not limited to sale of general merchandise, clothing and other apparel, flowers and household plants that are not grown on-site, dry goods, convenience and specialty foods, hardware and similar consumer goods, marijuana for medical consumption, or other retail sales not listed as a separate use in Table 4-2-1.  
General Retail, Small: An establishment with no more than 25,000 square feet of gross floor area.

#### PROCESS

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-022 Date: xxx Time: N/A (sent via email)

Address: Universe Blvd NW

- 6-4(X) EXPIRATION OF APPROVALS
- Determination needs to be made if the site plan is active or expired and you need provide us with such determination to our office as per sections below.
  - 6-4(X)(2) Period of Validity
  - 6-4(X)(3) Exceptions to Period of Validity

*As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.*

### Transportation Development Comments

#### List of Project-Specific Comments

1. Shared access agreement shall be established.
2. The parking section in the IDO and the DPM both govern design of the parking lot.
3. Development of the property is subject to placing a financial guaranty for Paseo del Norte improvements along the north side of the road including an additional westbound lane, curb and gutter, and a multi-use trail. Coordinate with DMD on the ir current Paseo del Norte project.

#### List of General Guidelines for Transportation Development

For additional information contact Jeanne Wolfenbarger (924-3991)

#### Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

#### Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

#### Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-022 Date: xxx Time: N/A (sent via email)

Address: Universe Blvd NW

- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

### Traffic Studies and Traffic Signals

4. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
5. A proposed new traffic signal needs to A) follow guidelines for traffic signal spacing, B) meet the requirements for a traffic signal warrant study to be in operation and C) be approved by both Planning and by Traffic Operations.

### Platting and Public Infrastructure Requirements for Roadways

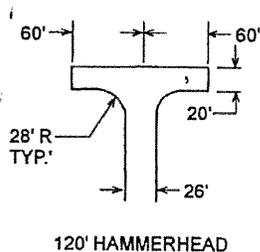
1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

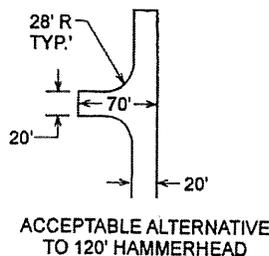
PA# 21-022 Date: xxx Time: N/A (sent via email)

Address: Universe Blvd NW

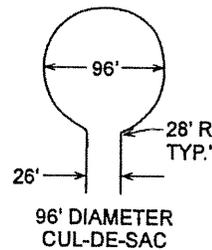
- There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
- Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
- Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
- If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE TO 120' HAMMERHEAD



96' DIAMETER CUL-DE-SAC

- For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
- Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
- Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up Zoom meeting please contact Linda Rumpf at [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. **PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

<i>Official Use only</i>		
PA#: <u>21-022</u>	Received By: <u>Diego Ewell</u>	Date: <u>3/16/2021</u>
APPOINTMENT DATE & TIME: <u>N/A</u>		

Applicant Name: Tierra West, LLC Phone#: 505-858-3100 Email: jniski@tierrawestllc.com

**PROJECT INFORMATION:**

**For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.**

Size of Site: 1.0858 Existing Zoning: MX-M Proposed Zoning: MX-M

Previous case number(s) for this site: 1000390, SI-2020-00533, PR-2020-004024, SI-2020-00498

Applicable Overlays or Mapped Areas: \_\_\_\_\_

Residential – Type and No. of Units: \_\_\_\_\_

Non-residential – Estimated building square footage: 7,380SF No. of Employees: TBD

Mixed-use – Project specifics: \_\_\_\_\_

**LOCATION OF REQUEST:**

Physical Address: Universe Blvd NW Zone Atlas Page (Please identify subject site on the map and attach) B-10-Z

**BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)**

Autozone ( auto parts store)

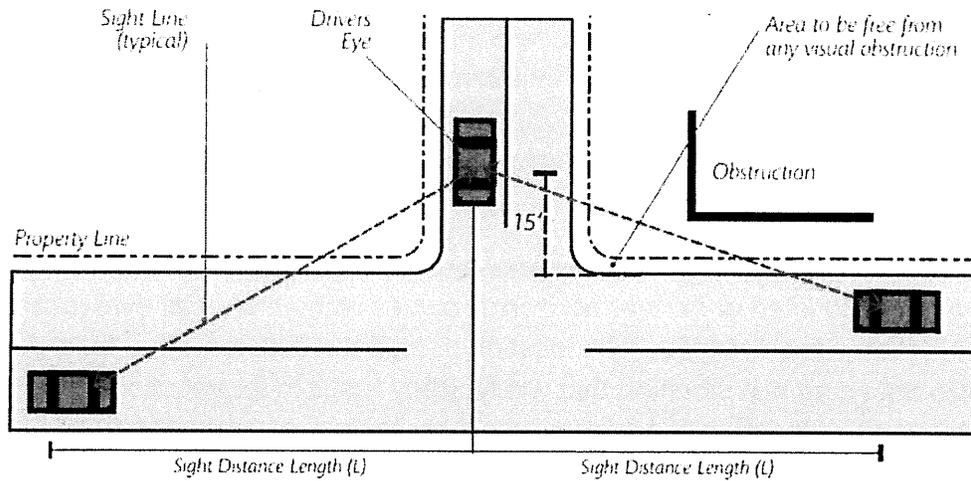
**QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)**

1. Is there going to be major infrastructure required since the project abuts PDN?
2. Is the site available to go through the Administrative permit process or will we need to proceed to DRB
3. What applicable IDO sections affect the site for the building and setbacks, landscaping and parking?





**Figure 3.9.5-2 Intersection Sight Distance**



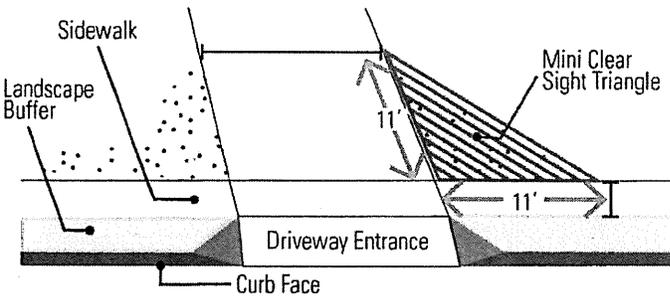
**Table 3.9.5-2 Minimum Intersection Sight Distance**

Speed Limit (mph)	Minimum Intersection Sight Distance (ft)					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12' Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230	200	240	200	250	200
25	280	240	300	240	320	240
30	340	290	360	290	380	290
35	390	340	420	340	440	340
40	450	390	480	390	500	390
45	500	430	530	430	570	430
50	560	480	590	480	630	480

#### 3.9.5.4 Mini Clear Sight Triangle

Driveways need to maintain the mini sight triangle as shown in Figure 3.9.5-3. This triangle starts at the sidewalk and measures 11 feet on a side.

**Figure 3.9.5-3 Mini Clear Sight Triangle**



#### 3.9.5.5 Visibility for Site Entrances and Driveways

Site entrances and driveways shall be designed to preserve the clear sight triangle free of visual obstruction as described in section 3.9.5.3 and 3.9.5.4 above.

#### 3.9.5.6 Sight Distance Note

The following note is required in all site plans: Landscaping, signage, walls, fences, trees, and shrubbery between three (3') and eight feet (8') tall (as measured from the gutter pan) are not allowed within the clear sight triangle.

#### 3.9.5.7 Objects Permitted in the Clear Sight Triangle

Objects, that may be located in the sight triangle, include, but are not limited to, hydrants, utility poles, utility junction boxes, and traffic control devices provided these objects are located to minimize visual obstruction. Objects under eight inches (8") wide may be allowed.

**Kristl Walker**

**From:** Carmona, Dalaina L. <dlcarmona@cabq.gov>  
**Sent:** Tuesday, February 16, 2021 4:32 PM  
**To:** Kristl Walker  
**Subject:** UNIVERSE & PASEO DEL NORTE Public Notice Inquiry  
**Attachments:** IDOZoneAtlasPage\_B-10-Z.PDF

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	505407438
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. PLEASE NOTE: The ONC does not have any

jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334  
[dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)  
**Sent:** Tuesday, February 16, 2021 3:40 PM  
**To:** Office of Neighborhood Coordination <[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Kristl Walker

Telephone Number

15058583100

Email Address

[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)

Company Name

Tierra West LLC

Company Address

5571 Midway Park Pl

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR H-11 PLAT OF TRACTS H-1 THRU H-11 VENTANA SQUARE AT VENTAN RANCH A REPLAT OF TRACT H-A

Physical address of subject site:

UNIVERSE

Subject site cross streets:

UNIVERSE & PASEO DEL NORTE

Other subject site identifiers:

This site is located on the following zone atlas page:

B-10

=====  
This message has been analyzed by Deep Discovery Email Inspector.



**Kristl Walker**

---

**From:** Kristl Walker  
**Sent:** Wednesday, August 4, 2021 3:07 PM  
**To:** 'ekhaley@comcast.net'; 'aboard111@gmail.com'  
**Cc:** Ron Bohannan ; Jon Niski; Jaimie Garcia  
**Subject:** 2020074 Auto Zone Neighborhood Association Notice  
**Attachments:** IDOZoneAtlasPage\_B-10-Z.PDF; Horvath 8-4 Neighborhood 15 day.pdf; Haley 8-4 Neighborhood 15 day.pdf; 2020074 AutoZone Site plan 030821.pdf

Good afternoon Westside Coalition of NA per IDO section 14-16-6-4(k)

Tierra West LLC is emailing per the IDO requirements a copy of the zone atlas page and exhibit prior to the submittal of a Site Plan DRB.

*Kristl Walker*  
*Administrative Assistant*  
Tierra West,LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109  
505-858-3100 Office  
505-858-1118 Fax  
[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)

**Kristl Walker**

---

**From:** Mail Delivery System <MAILER-DAEMON@exrmf-va-1-1.serverdata.net>  
**To:** aboard111@gmail.com; ekhaley@comcast.net  
**Sent:** Wednesday, August 4, 2021 3:07 PM  
**Subject:** Relayed: 2020074 Auto Zone Neighborhood Association Notice

**Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:**

[aboard111@gmail.com](mailto:aboard111@gmail.com)

[ekhaley@comcast.net](mailto:ekhaley@comcast.net)

Subject: 2020074 Auto Zone Neighborhood Association Notice

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: August 4, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ekhaley@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: jniski@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

TBD

### Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The purpose of the notice is to notify you of a submittal for a Site Plan to Development Review Board(DRB) for an Auto Parts store.

5. This type of application will be decided by\*:  City Staff  
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Attached in the email

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)<sup>5</sup> B-10-Z
  2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
  3. The following exceptions to IDO standards will be requested for this project\*: N/A
- Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1\*:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*
- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:

- a. Area of Property [typically in acres] 1.08
- b. IDO Zone District MX-M
- c. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
- d. Center or Corridor Area [if applicable] \_\_\_\_\_

2. Current Land Use(s) [vacant, if none] Vacant

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]

Rene Horveth - Westside Coalition of NA

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: August 4, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Rene Horvath

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: aboard111@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: jniski@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

TBD

### Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The purpose of the notice is to notify you of a submittal for a Site Plan to Development Review Board(DRB) for an Auto Parts store.

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OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Attached in the email

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)<sup>5</sup> B-10-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*: N/A  
 Deviation(s)       Variance(s)       Waiver(s)

Explanation:

---

---

---

4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1\*:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 1.08
  - b. IDO Zone District MX-M
  - c. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

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**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]

Rene Horveth - Westside Coalition of NA

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

8/24/2021  
\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>	
Use <u>Table 6-1-1</u> in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Site Plan	
Decision-making Body: DRB	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>	
Address of property listed in application: Paseo Del Norte	
Name of property owner: Diamond Tail Realty LLC	
Name of applicant: Tierra West LLC	
Date, time, and place of public meeting or hearing, if applicable:	
Meeting was not requested	
Address, phone number, or website for additional information:	
<a href="https://wetransfer.com/">https://wetransfer.com/</a>	
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input checked="" type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) 8/24/2021 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY</b>
Provide a site plan that shows, at a minimum, the following:
<input checked="" type="checkbox"/> a. Location of proposed buildings and landscape areas.
<input checked="" type="checkbox"/> b. Access and circulation for vehicles and pedestrians.
<input checked="" type="checkbox"/> c. Maximum height of any proposed structures, with building elevations.
<input type="checkbox"/> d. For residential development: Maximum number of proposed dwelling units.
<input checked="" type="checkbox"/> e. For non-residential development: <ul style="list-style-type: none"><li><input checked="" type="checkbox"/> Total gross floor area of proposed project.</li><li><input checked="" type="checkbox"/> Gross floor area for each proposed use.</li></ul>

**Kristl Walker**

**From:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Sent:** Friday, August 20, 2021 10:10 AM  
**To:** Kristl Walker  
**Subject:** TR H-11 PLAT OF TRACTS H-1 THRU H-11 VENTANA SQUARE AT VENTAN RANCH A REPLAT OF TRACT H-ARE: Public Notice Inquiry Sheet Submission

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thank you.



**Vanessa Baca**  
Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

Office Phone: (505) 768-3331

E-mail: [vanessabaca@cabq.gov](mailto:vanessabaca@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:[webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org)] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

**Sent:** Friday, August 20, 2021 7:18 AM

**To:** Office of Neighborhood Coordination <[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Kristl Walker

Telephone Number

15058583100

Email Address

[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)

Company Name

Tierra West LLC

Company Address

5571 Midway Park Pl NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR H-11 PLAT OF TRACTS H-1 THRU H-11 VENTANA SQUARE AT VENTAN RANCH A REPLAT OF TRACT H-A

Physical address of subject site:

Universe

Subject site cross streets:

UNIVERSE & PASEO DEL NORTE

Other subject site identifiers:

This site is located on the following zone atlas page:

B-10-Z

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 6005 Chaparral Circle NW Alb, NM 87114

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>:

Tierra West LLC is submitting DRB site plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.





[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 1.08 acres
  - 2. IDO Zone District MX-M
  - 3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]  
Rene Horveth - Westside Coalition of NA

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Rene Horvath

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 5515 Palomino Drive NW Alb, NM 87120

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*: \_\_\_\_\_

Tierra West LLC is submitting DRB site plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] 1.08 acres
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]

Rene Horveth - Westside Coalition of NA

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

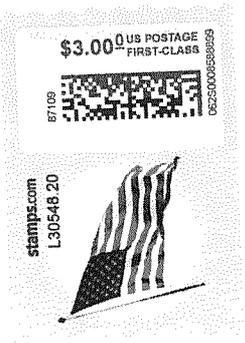
TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



87109  
\$3.00<sup>0</sup> US POSTAGE  
FIRST-CLASS  
0623700658999

Rene Horvath  
Westside Coalition of NA  
5515 Palomino Drive NW  
Albuquerque, NM 87120

**TERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



Elizabeth Haley  
Westside Coalition of NA  
6005 Chaparral Circle NW  
Albuquerque, NM 87114

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Rene Horvath

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: aboard111@gmail.com

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>:

Tierra West LLC is submitting DRB site plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.





[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] 1.08 acres
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]  
Rene Horveth - Westside Coalition of NA

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ekhaley@comcast.net

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>:

Tierra West LLC is submitting DRB site plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 1.08 acres
  - 2. IDO Zone District MX-M
  - 3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]  
Rene Horveth - Westside Coalition of NA

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Kristl Walker

---

**From:** WeTransfer <noreply@wetransfer.com>  
**Sent:** Tuesday, August 24, 2021 11:30 AM  
**To:** Kristl Walker  
**Subject:** Jaimie sent you 2020074 Neighborhood AutoZone DRB Site Plan via WeTransfer



[jgarcia@tierrawestllc.com](mailto:jgarcia@tierrawestllc.com)  
sent you 2020074 Neighborhood  
AutoZone DRB Site Plan

1 item, 21.8 MB in total • Expires on 24 August, 2022

**2020074 Neighborhood AutoZone DRB Site Plan** Good Morning-

Westside Coalition of Neighborhood Association - Per IDO section 14-16-6-4(k) Public Notice:

Tierra West, LLC is emailing per the IDO requirement a copy of the DRB Site Plan submittal which was submitted August 24, 2021.

Attached is the full submittal

Get your files

---

## Download link

<https://wetransfer.com/downloads/88b834db6cb76255a0f97358e74ef16e20210824172913/118551f1d41a62b05c8b08006af1ed5a20210824172913/f60401>

## 1 item

2020074 8-24 AutoZone Site Plan Submittal.pdf  
21.8 MB

To make sure our emails arrive, please add [noreply@wetransfer.com](mailto:noreply@wetransfer.com) to your contacts.

[About WeTransfer](#) · [Help](#) · [Legal](#) · [Report this transfer as spam](#)

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet\*: Diamond Tail Realty LLC

Mailing Address\*: 20 Fall Pippin Ln Suite 203, Ashville NC 28803-8802

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>∗:

Tierra West, LLC is submitting DRB Site Plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: September 1, 2021 @ 9:00am

Location\*<sup>2</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Jon Niski 505-858-3100

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> B-10-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:
 

<input type="checkbox"/> Deviation(s)	<input type="checkbox"/> Variance(s)	<input type="checkbox"/> Waiver(s)	N/A
---------------------------------------	--------------------------------------	------------------------------------	-----

Explanation\*:  
N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1:  Yes  No  
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A meeting by the neighborhood Representatives was not requested with the 15 day time period.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link  
<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant  
<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.08 acres
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

---

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet\*: Ventana Ranch Self Storage LLC c/o Urban Self Storage

Mailing Address\*: 918 S Horton St Suite 1000, Seattle, WA 98134

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*: \_\_\_\_\_

Tierra West, LLC is submitting DRB Site Plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: September 1, 2021 @ 9:00am

Location\*<sup>2</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Jon Niski 505-858-3100

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> B-10-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)     
  Variance(s)     
  Waiver(s)     
 N/A

Explanation\*:

N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1:  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A meeting by the neighborhood Representatives was not requested with the 15 day time period.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.08 acres
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: DOUGHTY DANIEL H & ELIZABETH CHRISTINE CO TRUSTEES DOUGHTY TRUST

Mailing Address\*: 139 BIG HORN RIDGE RD NE, ALBUQUERQUE NM 87122-1903

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Tierra West, LLC is submitting DRB Site Plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

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  - Zoning Hearing Examiner (ZHE)
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<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

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- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
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  Variance(s)     
  Waiver(s)     
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Explanation\*:

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From the IDO Zoning Map<sup>5</sup>:

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- Current Land Use(s) [vacant, if none] Vacant
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<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>







Prepared By: D. Mitchell	Checked By: DMS	Date: 08/15/2021
Reviewed By: DMS	Approved By: [Signature]	Date: 08/15/2021
Project Name: Autozone	Project Address: 2500 NW 13th St	City: Albuquerque, NM
Project No: 2021-08-001	Project Date: 08/15/2021	Project Status: Final

# Autozone Pasado del Norte and Universe Albuquerque, NM Landscape Plan

505.639.9583  
www.mitchellassociates.com

Mitchell Associates, LLC  
Landscape Architecture

Landscape Architect  
Darryl Mitchell  
August 15, 2021  
Drawing No: 02



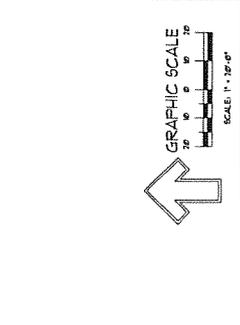
**LANDSCAPE NOTES:**  
 The contractor shall be responsible for the installation of all plants and materials. The contractor shall ensure that all plants are installed in a timely manner and that all materials are installed in accordance with the specifications. The contractor shall be responsible for the maintenance of the landscape for a period of one year after the completion of the project. The contractor shall be responsible for the removal of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the replacement of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the maintenance of the landscape for a period of one year after the completion of the project. The contractor shall be responsible for the removal of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the replacement of all plants and materials that do not survive or that are damaged during the maintenance period.

**Notes:**  
 1. All plants shall be installed in accordance with the specifications. The contractor shall be responsible for the maintenance of the landscape for a period of one year after the completion of the project. The contractor shall be responsible for the removal of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the replacement of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the maintenance of the landscape for a period of one year after the completion of the project. The contractor shall be responsible for the removal of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the replacement of all plants and materials that do not survive or that are damaged during the maintenance period.

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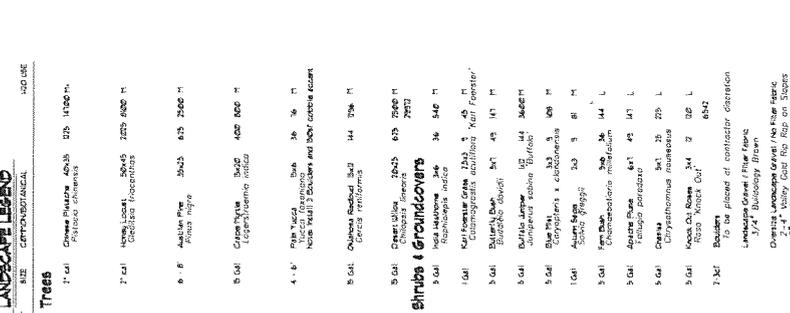
**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (A1)	41344
TOTAL BUILDING AREA (A2)	13000
TOTAL PAVED AREA (A3)	10000
TOTAL LANDSCAPE REQUIRED (A4)	18344
TOTAL ON-SITE LANDSCAPE PROVIDED (A5)	18344
TOTAL LIVE GROUNDCOVER REQUIRED (A6)	18344
TOTAL LIVE GROUNDCOVER PROVIDED (A7)	18344

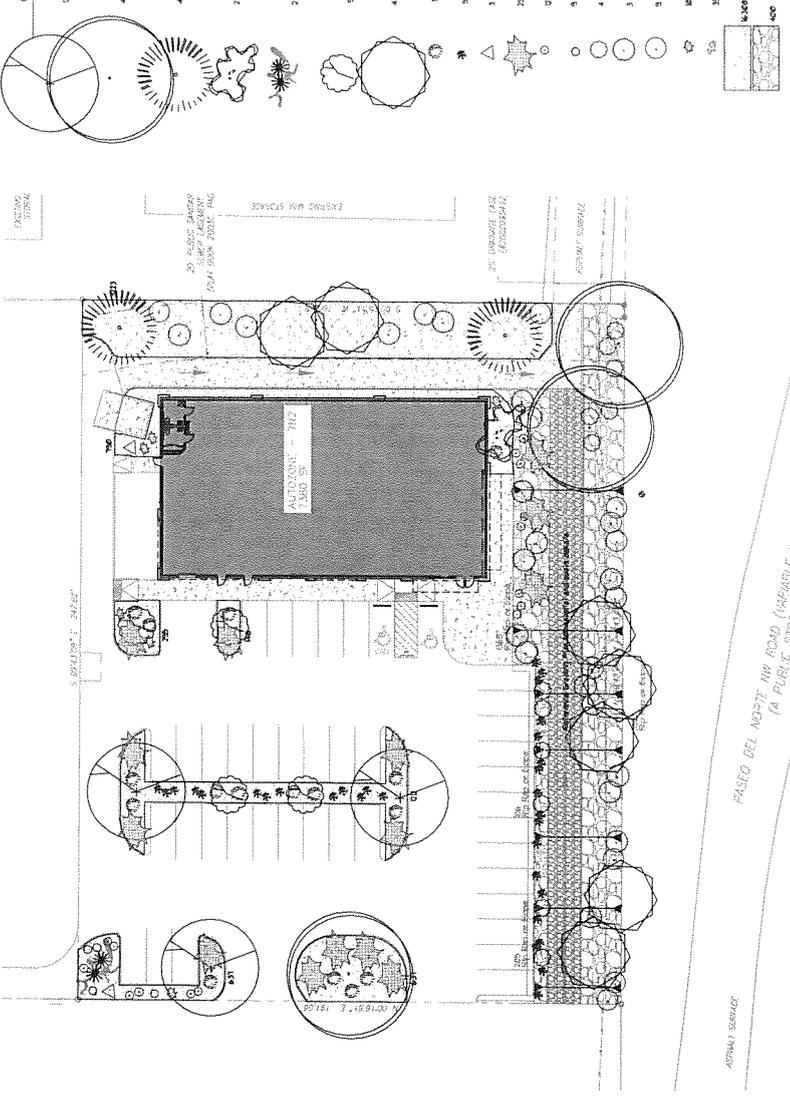
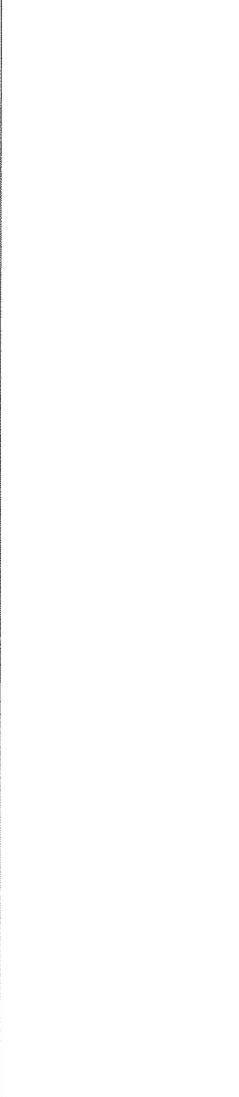


**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/ABBREVIATED	NO. USE
2	7' cal	Phoenix Palm Potted Palms	14100 sq ft
4	7' cal	Agave, Local Cordia Allamanda	2020 sq ft
4	6' - 8'	Agave, Potted Agave	610 sq ft
2	8' cal	Crab Apple Lophocarpus	400 sq ft
2	4' - 6'	Red Yucca Hosta	36 sq ft
8	8' cal	Orange Blossom Cercis	144 sq ft
4	8' cal	Dragon Ball Cercis	672 sq ft
5	5' cal	Red Yucca Hosta	540 sq ft
5	1' cal	Red Yucca Hosta	45 sq ft
3	5' cal	Blueberry Bush Buddleia	45 sq ft
25	5' cal	Blueberry Bush Buddleia	44 sq ft
2	5' cal	Blueberry Bush Buddleia	44 sq ft
3	1' cal	Blueberry Bush Buddleia	33 sq ft
4	5' cal	Blueberry Bush Buddleia	36 sq ft
3	5' cal	Blueberry Bush Buddleia	45 sq ft
3	5' cal	Blueberry Bush Buddleia	45 sq ft
3	5' cal	Blueberry Bush Buddleia	45 sq ft
16	5' cal	Blueberry Bush Buddleia	144 sq ft
1	1' cal	Blueberry Bush Buddleia	9 sq ft
16,000		Grass	
400		Grass	



**Notes:**  
 1. All plants shall be installed in accordance with the specifications. The contractor shall be responsible for the maintenance of the landscape for a period of one year after the completion of the project. The contractor shall be responsible for the removal of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the replacement of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the maintenance of the landscape for a period of one year after the completion of the project. The contractor shall be responsible for the removal of all plants and materials that do not survive or that are damaged during the maintenance period. The contractor shall be responsible for the replacement of all plants and materials that do not survive or that are damaged during the maintenance period.

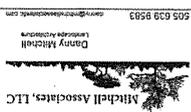


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DESIGNED BY	D. McLeod
CHECKED BY	JA
DATE	08/15/11
APPROVED BY	JA
DATE	08/15/11
REVISIONS	
DATE	
BY	
REASON	

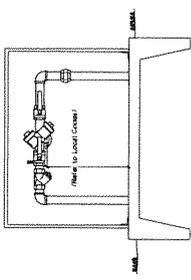
NEW MEXICO ONE CALL  
 800-4-A-SHED  
 800-427-4763  
 STATEWIDE - 811 OR  
 800-427-4763  
 CALL BEFORE YOU DIG  
 www.mnccall.com

Autozone  
 Paseo del Norte and Universe  
 Albuquerque, NM  
 Details



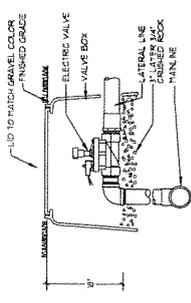
505.939.9593  
 Denver Mitchell  
 Landscape Architects  
 www.mitchellassociates.com  
 LICENSED PROFESSIONAL LANDSCAPE ARCHITECT  
 STATE OF NEW MEXICO  
 LICENSE NO. 10000  
 August 5, 2011

DRAWING NO: 03



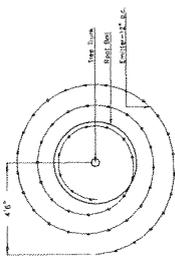
RFA HOTBOX TYP.

N.T.S.



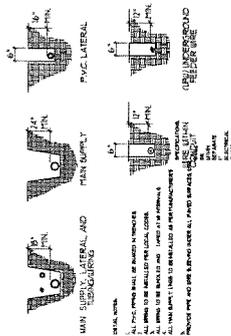
ELECTRIC VALVE ASSEMBLY

N.T.S.



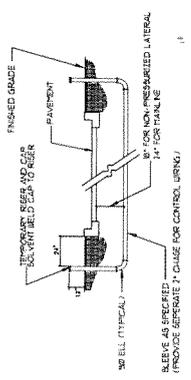
Netatim Spiral Detail

N.T.S.



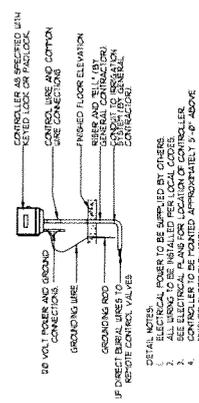
TRENCHING DETAIL

N.T.S.



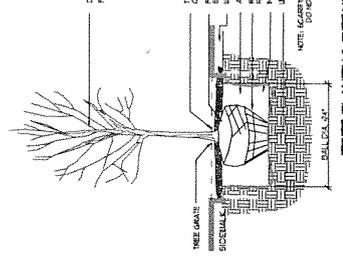
SLEEVE INSTALLATION DETAIL

N.T.S.



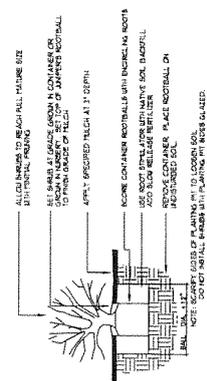
CONTROLLER DETAIL

N.T.S.



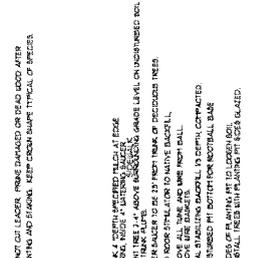
TREE PLANTING DETAIL

N.T.S.



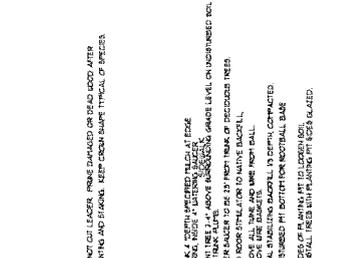
SHRUB PLANTING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.

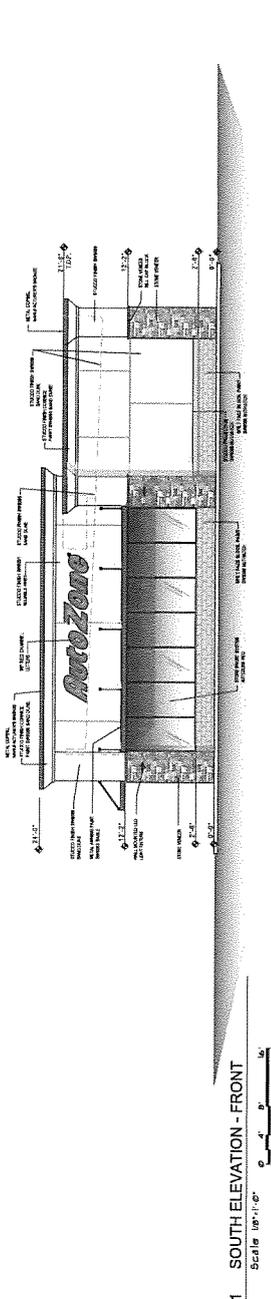




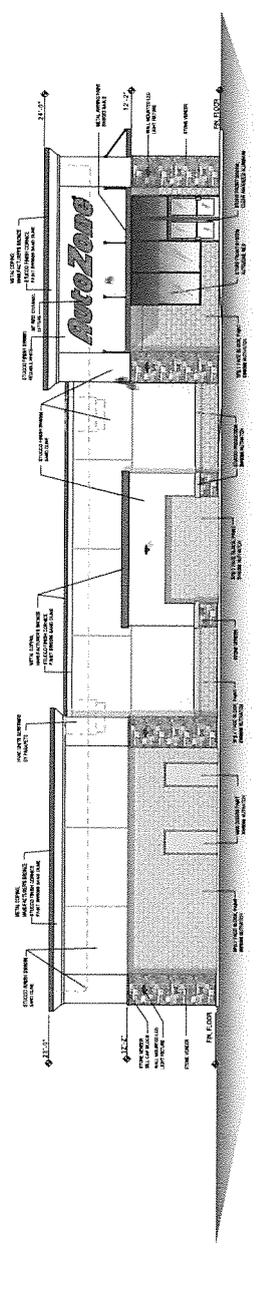


Architect: Lew Ellis		123 South Front Street Memphis, Tennessee 38103		TEL: 901-495-8714 FAX: (901) 495-8969	
Autozone Store No. 1935		PASO DEL NORTE & UNIVERSITY BLVD.		ALBUQUERQUE NM 87114	
EXTERIOR ELEVATIONS					
REVISIONS	1	2	3	4	6

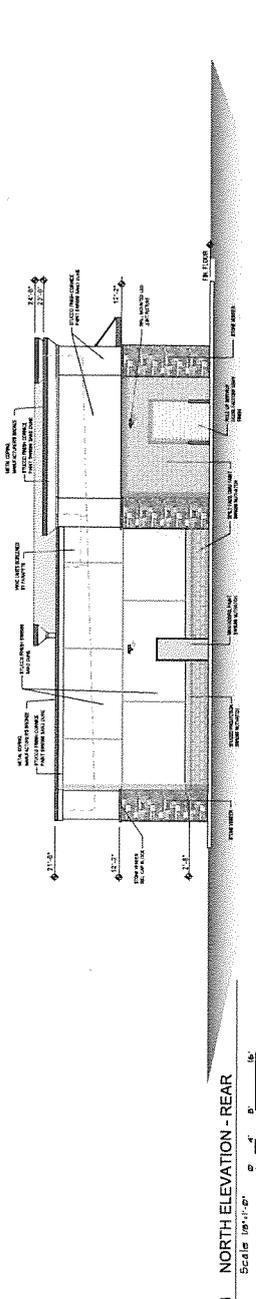
12/16/2020  
7N2-R  
07



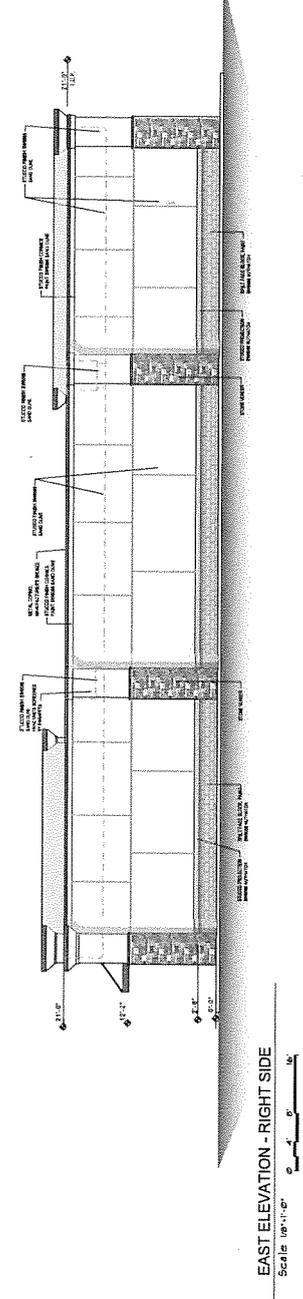
1 SOUTH ELEVATION - FRONT  
Scale 1/8"=1'-0"



2 WEST ELEVATION - LEFT SIDE  
Scale 1/8"=1'-0"



3 NORTH ELEVATION - REAR  
Scale 1/8"=1'-0"



4 EAST ELEVATION - RIGHT SIDE  
Scale 1/8"=1'-0"

**38NS FACE LIT CHANNEL LETTERS w/O STRIPES (Qty 1)**  
 AZ1CL38-230-5LINT  
 AZ1CL38-230-5LEXT

SQUARE FOOTAGE: 663



- INSTALLATION**
1. SURFACE TO BE MOUNTED ON MUST BE CLEAN, DRY, AND FREE OF OIL, GREASE, AND OTHER CONTAMINANTS.
  2. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  3. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  4. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
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  19. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  20. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.

<p><b>JONES SIGN</b>                  10000-000                  WWW.JONESIGN.COM</p>		<p>Sub #                  CITY STATE ZIP                  07030 NJ 07030</p>	<p>Scale: 1.0</p>
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**38LS FACE LIT CHANNEL LETTERS w/ STRIPES (Qty 1)**  
 AZ1CL38-40S-5LINT  
 AZ1CL38-40S-5LEXT

SQUARE FOOTAGE: 67

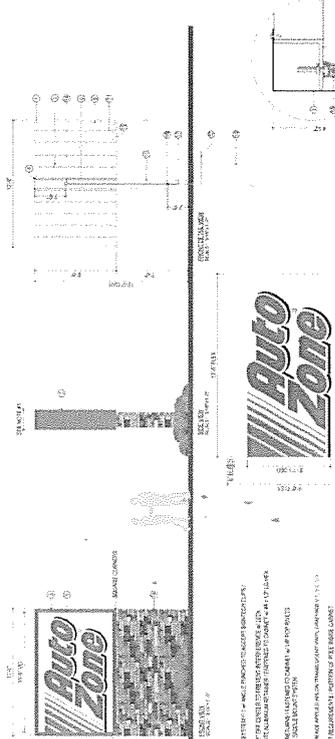


- INSTALLATION**
1. SURFACE TO BE MOUNTED ON MUST BE CLEAN, DRY, AND FREE OF OIL, GREASE, AND OTHER CONTAMINANTS.
  2. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  3. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
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  5. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  6. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  7. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  8. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  9. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  10. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
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  14. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  15. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
  16. CHANNEL LETTERS SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE LETTERS.
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<p><b>JONES SIGN</b>                  10000-000                  WWW.JONESIGN.COM</p>		<p>Sub #                  CITY STATE ZIP                  07030 NJ 07030</p>	<p>Scale: 1.0</p>
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**812 D/F INTERNALLY ILLUMINATED MONUMENT (Qty 1)**  
 AZZF596-150-24L

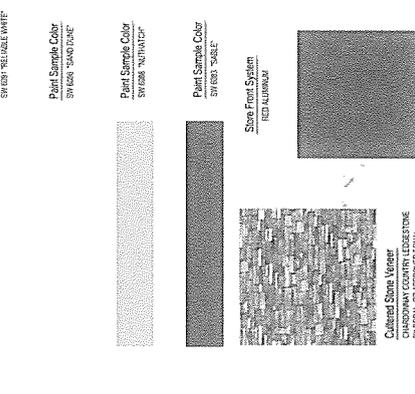
SQUARE FOOTAGE: 190



- INSTALLATION**
1. SURFACE TO BE MOUNTED ON MUST BE CLEAN, DRY, AND FREE OF OIL, GREASE, AND OTHER CONTAMINANTS.
  2. MONUMENT SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE MONUMENT.
  3. MONUMENT SHOULD BE MOUNTED TO A SURFACE WITH A MINIMUM OF 1/2" CLEARANCE FROM THE SURFACE TO THE MONUMENT.
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<p><b>JONES SIGN</b>                  10000-000                  WWW.JONESIGN.COM</p>		<p>Sub # 1935                  CITY STATE ZIP                  07030 NJ 07030</p>	<p>Scale: 1.0</p>
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**Color / Material Samples For:**  
**AUTOZONE**  
**Building & Sign Info**  
**PASEO DEL NORTE & UNIVERSITY BLVD**  
**ALBUQUERQUE, NM**



<p><b>JONES SIGN</b>                  10000-000                  WWW.JONESIGN.COM</p>		<p>Sub #                  CITY STATE ZIP                  07030 NJ 07030</p>	<p>Scale: 1.0</p>
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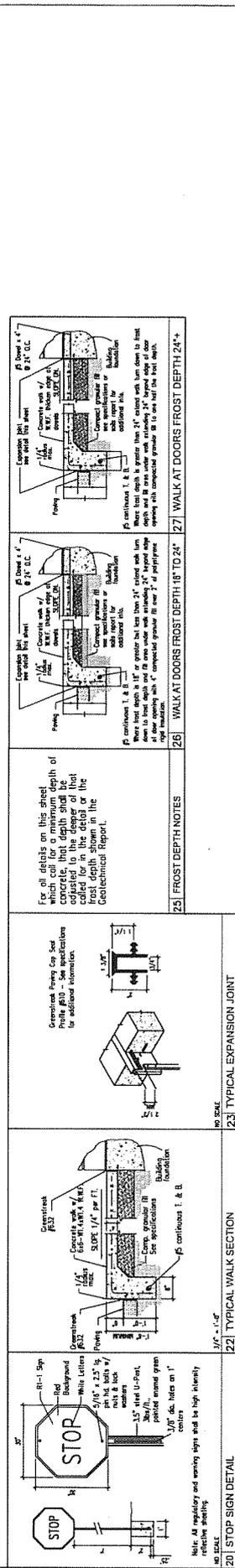
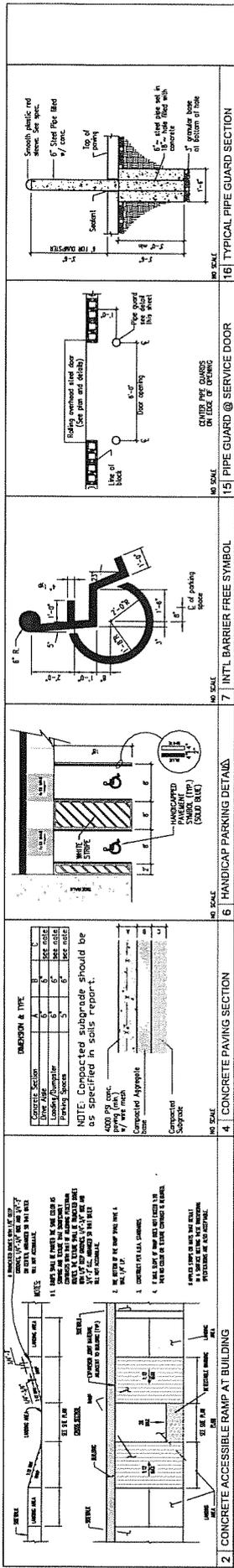
**CHECKER'S SIGN**

**AUTOZONE**  
 PASEO DEL NORTE & UNIVERSITY BLVD  
 BUILDING & SIGN INFO

**THIERRA WEST, LLC**  
 5575 UNIVERSITY BLVD NE  
 ALBUQUERQUE, NM 87109  
 (505) 888-3100  
 www.thierrawest.com

**RONALD S. GRANHAM**  
 P.C. FINE

**DATE:** 04/01/21  
**202074-BUILDING & SIGN INFO**  
**SHEET #** 1  
**C8**  
**JOB #** 2020074



ENGINEER'S SEAL	AUTOZOONE	DRAWN BY	DF
	PASEO DEL NORTE & UNIVERSE BLVD	DATE	04/01/21
	<b>CONSTRUCTION DETAILS</b>	PROJECT	2020074_01C
		SHEET /	C9
		DATE	4/1/2021
		PROJECT	TRIPURA INVEST, LLC
		ADDRESS	55 ALBUQUERQUE, NM 87109
		PHONE	505.271.1111
		WWW	www.autozone.com
		PROJECT NO.	2020074

For all details on this sheet which call for depth of concrete, that depth shall be adjusted to the depth of the frost depth shown on the Geotechnical Report.

Note: All regulatory and zoning signs shall be high intensity reflective sheeting.

Note: 1. Concrete to be 4,000 PSI minimum on 28 day test. 2. Expansion joints 1/2" wide shall be included in the curb 30" apart and shall be filled with performed bituminous joint filler. 3. Underlapping materials, grass, soil, mulch, etc. shall be flush to 1" below top of curb/joinery/drainage openings.

Note: 1. Concrete to be 4,000 PSI minimum on 28 day test. 2. Expansion joints 1/2" wide shall be included in the curb 30" apart and shall be filled with performed bituminous joint filler. 3. Underlapping materials, grass, soil, mulch, etc. shall be flush to 1" below top of curb/joinery/drainage openings.

Note: 1. Concrete to be 4,000 PSI minimum on 28 day test. 2. Expansion joints 1/2" wide shall be included in the curb 30" apart and shall be filled with performed bituminous joint filler. 3. Underlapping materials, grass, soil, mulch, etc. shall be flush to 1" below top of curb/joinery/drainage openings.





DOUGHTY DANIEL H & ELIZABETH  
CHRISTINE CO TRUSTEES DOUGHTY  
TRUST  
139 BIG HORN RIDGE RD NE  
ALBUQUERQUE NM 87122-1903

VENTANA RANCH SELF STORAGE LLC  
C/O URBAN SELF STORAGE  
918 S HORTON ST SUITE 1000  
SEATTLE WA 98134-1955

DIAMOND TAIL REALTY LLC  
20 FALL PIPPIN LN SUITE 203  
ASHEVILLE NC 28803-8802

DIAMOND TAIL REALTY LLC  
20 FALL PIPPIN LN SUITE 203  
ASHEVILLE NC 28803-8802

DIAMOND TAIL REALTY LLC  
20 FALL PIPPIN LN SUITE 203  
ASHEVILLE NC 28803-8802

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TRUST  
139 BIG HORN RIDGE RD NE  
ALBUQUERQUE NM 87122-1903

DIAMOND TAIL REALTY LLC  
20 FALL PIPPIN LN SUITE 203  
ASHEVILLE NC 28803-8802

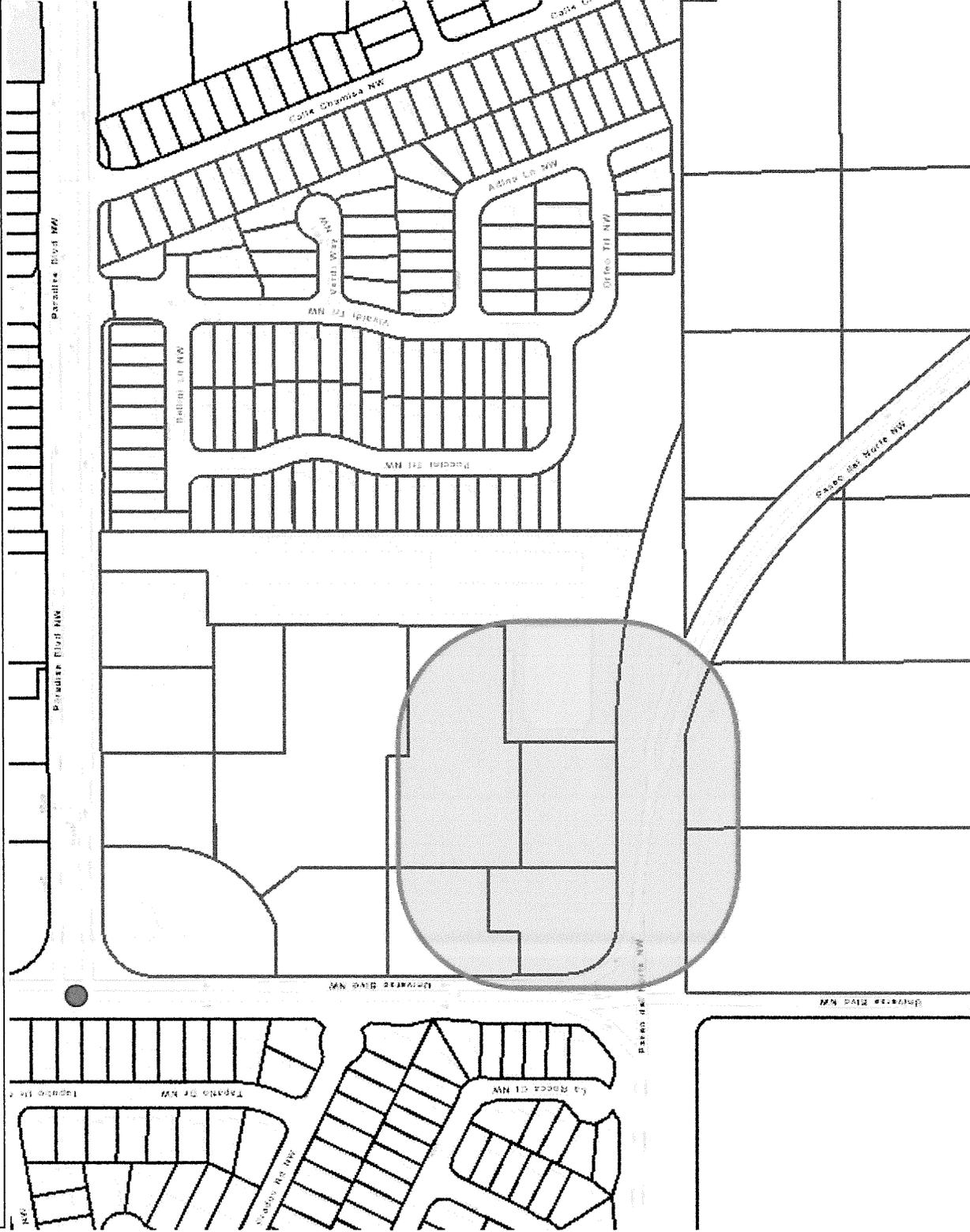


# Passero Del Norte NW & Universe Blvd NW



## Legend

- Bernalillo County Parcels



## Notes

Buffer: 240 Ft.  
ROW Passero Del Norte: 140 Ft.

583



Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
8/23/2021 © City of Albuquerque

1: 3,496

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: Ventana Ranch Self Storage LLC c/o Urban Self Storage

Mailing Address\*: 918 S Horton St Suite 1000, Seattle, WA 98134

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*: \_\_\_\_\_

Tierra West, LLC is submitting DRB Site Plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: September 1, 2021 @ 9:00am

Location\*<sup>2</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Jon Niski 505-858-3100

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> B-10-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)           
  Variance(s)           
  Waiver(s)           
 N/A

Explanation\*:

N/A

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1:  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A meeting by the neighborhood Representatives was not requested with the 15 day time period.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.08 acres
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

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for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: Diamond Tail Realty LLC

Mailing Address\*: 20 Fall Pippin Ln Suite 203, Ashville NC 28803-8802

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* *[if applicable]* Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*: \_\_\_\_\_

Tierra West, LLC is submitting DRB Site Plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

5. This application will be decided at a public meeting or hearing by\*:
 

<input type="checkbox"/> Zoning Hearing Examiner (ZHE)	<input checked="" type="checkbox"/> Development Review Board (DRB)
<input type="checkbox"/> Landmarks Commission (LC)	<input type="checkbox"/> Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: September 1, 2021 @ 9:00am

Location\*<sup>2</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Jon Niski 505-858-3100

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> B-10-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)      **N/A**

Explanation\*:

N/A

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1:  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A meeting by the neighborhood Representatives was not requested with the 15 day time period.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.08 acres
  2. IDO Zone District MX-M
  3. Overlay Zone(s) [if applicable] VPO View Protection Overlay Zone
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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<https://ido.abc-zone.com/>

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[Note: Items with an asterisk (\*) are required.]

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for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: August 24, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: DOUGHTY DANIEL H & ELIZABETH CHRISTINE CO TRUSTEES DOUGHTY TRUST

Mailing Address\*: 139 BIG HORN RIDGE RD NE, ALBUQUERQUE NM 87122-1903

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* Paseo Del Norte  
Location Description TR H-11 plat of Tracts H-1 Thru H-11 Ventana Square at Ventana Ranch a replat of Tract H-A
2. Property Owner\* Diamond Tail Realty LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Tierra West, LLC is submitting DRB Site Plan on behalf of Diamond Tail Realty LLC. This will be an Auto Parts store located at Paseo Del Norte and Universe Blvd.

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<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: September 1, 2021 @ 9:00am

Location\*<sup>2</sup>: Zoom Meeting

Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Jon Niski 505-858-3100

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

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Deviation(s)                     
 Variance(s)                     
 Waiver(s)                     
N/A

Explanation\*:  
N/A  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1:  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
A meeting by the neighborhood Representatives was not requested with the 15 day time period.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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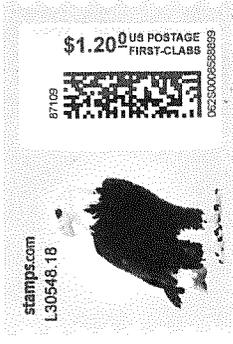
**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

**T**IERRA *W*EST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



VENTANA RANCH SELF STORAGE LLC  
C/O URBAN SELF STORAGE  
918 S HORTON ST SUITE 1000  
SEATTLE WA 98134-1955

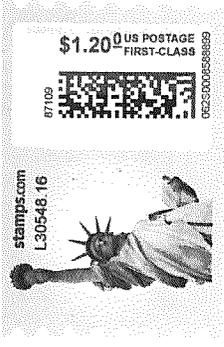
**T**IERRA *West*, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



DOUGHTY DANIEL H & ELIZABETH  
CHRISTINE CO TRUSTEES DOUGHTY  
TRUST  
139 BIG HORN RIDGE RD NE  
ALBUQUERQUE NM 87122-1903

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

DIAMOND TAIL REALTY LLC  
20 FALL PIPPIN LN SUITE 203  
ASHEVILLE NC 28803-8802



# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

  
\_\_\_\_\_  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'



# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

### N/A E. Off-Street Loading

- N/A 1. Location and dimensions of all off-street loading areas

### N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- N/A 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- N/A 3. Striping and Sign details for one-way drive through facilities

## 3. Streets and Circulation

### A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- N/A 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- N/A 6. Location of street lights
- N/A 7. Show and dimension clear sight triangle at each site access point
- N/A 8. Show location of all existing driveways fronting and near the subject site.

### N/A B. Identify Alternate transportation facilities within site or adjacent to site

- N/A 1. Bikeways and bike-related facilities
- N/A 2. Pedestrian trails and linkages
- N/A 3. Transit facilities, including routes, bus bays and shelters existing or required

## 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - N/A C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

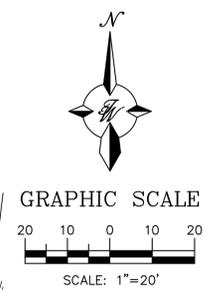
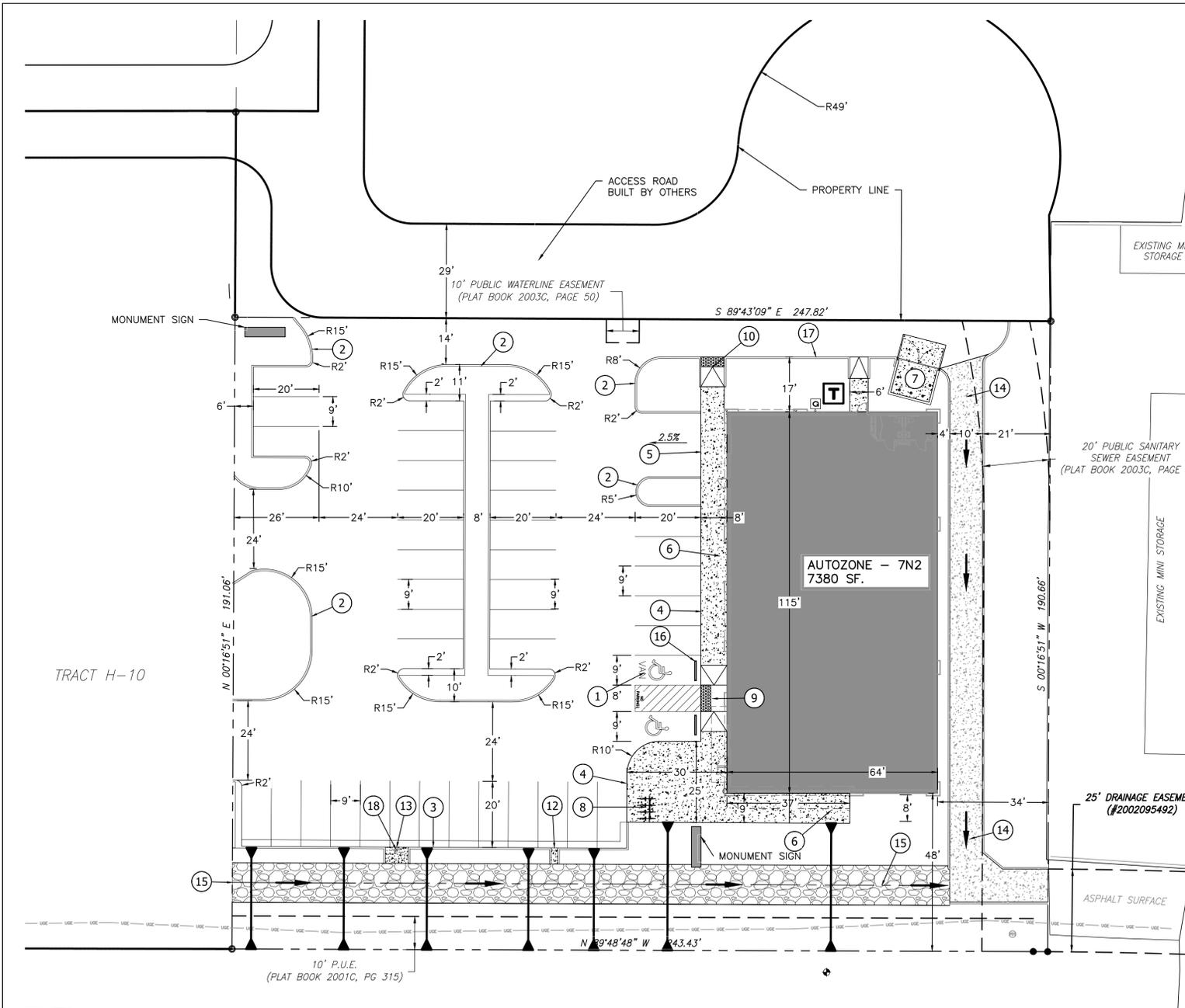
## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	STREET LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING

**KEYED NOTES**

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C7)
- 2 6" HEADER CURB (SEE DETAIL SHT. C6)
- 3 8" CURB & GUTTER (SEE DETAIL SHT. C6)
- 4 6" TURNDOWN CURB (SEE DETAIL SHT. C6)
- 5 ZERO CURB (SEE DETAIL SHT. C6)
- 6 CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. C6)
- 7 DUMPSTER (SEE DETAIL SHT. C7)
- 8 BICYCLE RACKS (SEE DETAIL SHT. C7)
- 9 CURB HC RAMP (SEE DETAIL SHT C6)
- 10 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT C7)
- 11 TRANSFORMER
- 12 CONCRETE RUNDOWN 2' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- 13 CONCRETE RUNDOWN 7' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- 14 CONCRETE CHANNEL 10' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- 15 COBBLE SWALE 12' WIDE X (PER PLAN) DEEP
- 16 WHEEL STOP (SEE DETAIL SHT C7)
- 17 8" HEADER CURB (SEE DETAIL SHT. C6)
- 18 REMOVABLE BOLLARD (SEE DETAIL SHT. C7)

**SITE DATA**

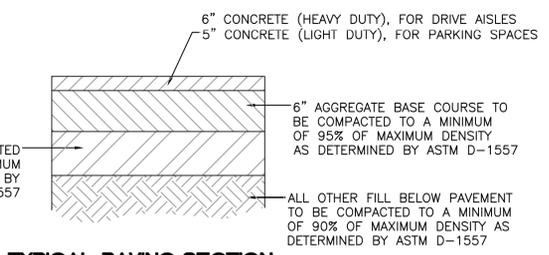
PROPOSED USAGE:	AUTOZONE
LOT AREA:	47297 SF (1.09 ACRE)
ZONNING:	MX-M
BUILDING AREA:	7380 SF
PARKING REQUIRED:	30 SPACES (7380 SF/1 SPACE PER 250 SF)
PARKING PROVIDED:	41 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	3 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE AREA REQUIRED:	6015 SF
LANDSCAPE AREA PROVIDED:	12083 SF

**GENERAL NOTES**

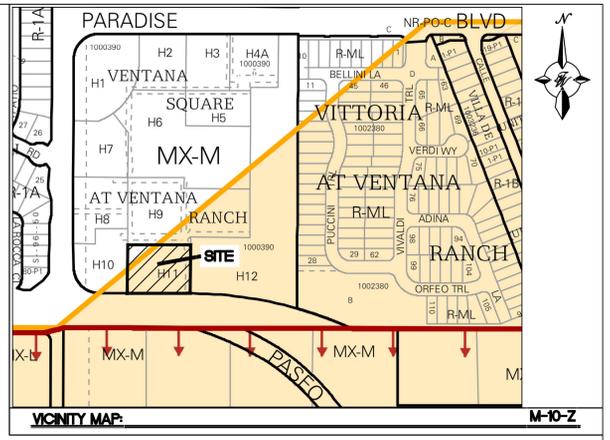
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2"-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY C.C., TYP.
8. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
9. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
10. MOTORCYCLE PARKING SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE-STANDING OR WALL MOUNTED PER THE ZONING CODE.
11. ALL ASPHALT IS LIGHT DUTY UNLESS OTHERWISE NOTED.

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



**TYPICAL PAVING SECTION MATERIAL DESIGNATION FOR CONCRETE AND AGGREGATE BASE**  
NTS



**LEGAL DESCRIPTION:**  
TRACT H-11, VENTANA SQUARE AT VENTANA RANCH

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

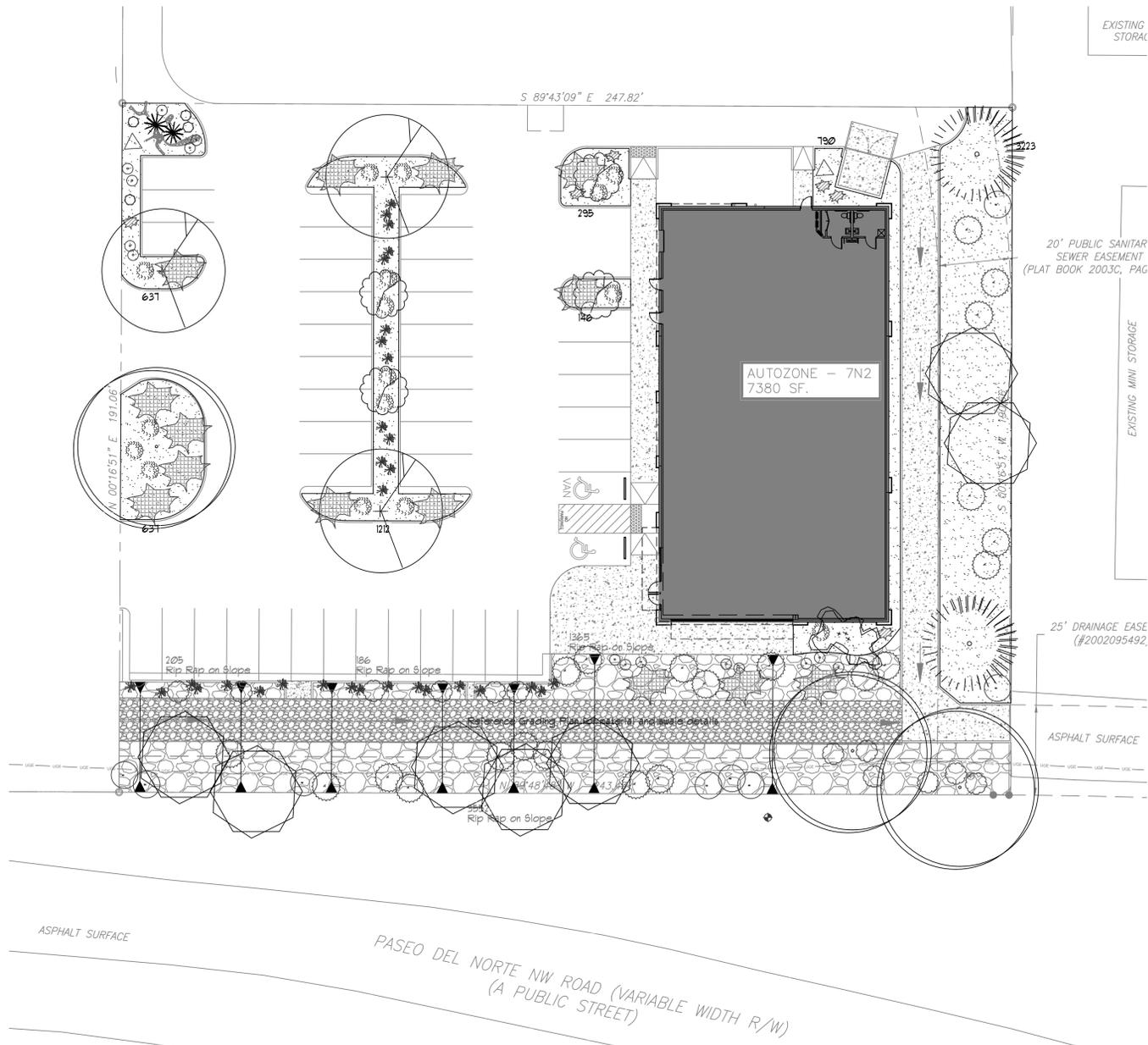
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**INDEX TO DRAWINGS**

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. LANDSCAPING PLAN
- C3. LANDSCAPING PLAN - DETAILS
- C4. GRADING AND DRAINAGE PLAN
- C5. DEVELOPED DRAINAGE PLAN
- C6. MASTER UTILITY PLAN
- C7. BUILDING ELEVATIONS
- C8. BUILDING & SIGN INFORMATION
- C9. DETAIL SHEET
- C10. DETAIL SHEET

	ENGINEER'S SEAL	<b>AUTOZONE</b> PASEO DEL NORTE & UNIVERSE BLVD <b>SITE PLAN FOR BUILDING PERMIT</b>	DRAWN BY BF DATE 04/01/21 2020074_SP
		RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>			
12	2" cal	Chinese Pistache <i>Q. chinensis</i> Pistacia chinensis	1225 14700 M+
4	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	2025 8100 M
4	6 - 8"	Austrian Pine <i>Pinus nigra</i>	625 2500 M
2	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	400 800 M
2	4 - 6"	Palm Yucca <i>Yucca faxoniana</i> Note: Install 3 Boulders and 150sf cobble accent	36 76 M
9	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	144 1296 M
4	15 Gal	Desert Willow <i>Chilopsis linearis</i>	625 2500 M 29372
<b>Shrubs &amp; Groundcovers</b>			
15	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	36 540 M
5	1 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora 'Karl Foerster'</i>	25x3 9 45 M
3	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x1 49 141 M
25	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 3600 M
12	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 108 M
9	1 Gal	Autumn Sage <i>Salvia greggii</i>	2x3 9 81 M
4	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6 36 144 L
3	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1 49 141 L
9	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x1 25 225 L
10	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4 12 120 L 6542
35	2-3cf	Boulders To be placed at contractor discretion	
16308		Landscape Gravel / Filter Fabric 3/4" Buildology Brown	
400		Oversize Landscape Gravel / No Filter Fabric 2-4" Valley Gold Rip Rap on Slopes 6" depth	

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Brown Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas unless otherwise designated.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netam spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netam shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	47346
TOTAL BUILDING AREA (sf)	-7380
TOTAL LOT AREA (sf)	39966
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	5995
TOTAL ON-SITE LANDSCAPE PROVIDED	13845
TOTAL LIVE GROUND COVER REQUIRED	10384
TOTAL LIVE GROUND COVER PROVIDED	107196

DESIGNED BY:	D. Mitchell	REVISIONS
DRAWN BY: <td>d/m</td> <td>Date:</td>	d/m	Date:
APPROVED BY: <td></td> <td>Comment</td>		Comment
DATE:		

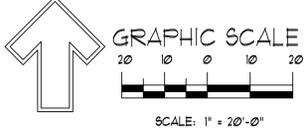
NEW MEXICO ONE CALL  
STATEWIDE - 811 OR  
1-800-321-ALERT (2337)  
www.nmonecall.org  
Call two working days  
before you dig.

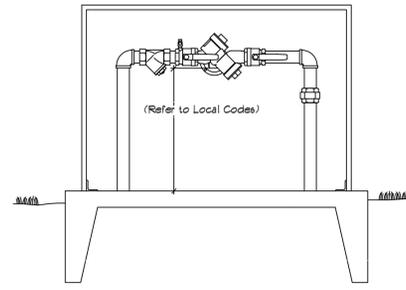
**Autozone  
Paseo del Norte and Universe  
Albuquerque, NM**

Mitchell Associates, LLC  
  
 Danny Mitchell  
 Landscape Architect  
 danny@mitchellassociatesllc.com  
 505.639.9583

Seal:  
 Landscape Architect  
  
 August 5, 2021

DRAWING NO:  
C2

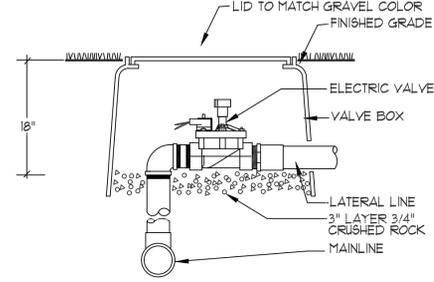




Reduced Pressure Assembly  
Outdoor Freeze Protection Installation

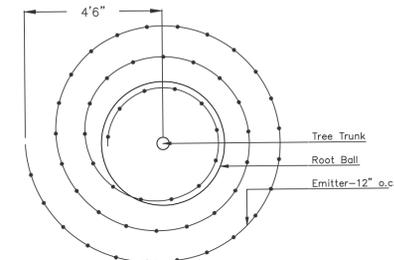
**RPA, HOTBOX TYP.**

N.T.S.



**ELECTRIC VALVE ASSEMBLY**

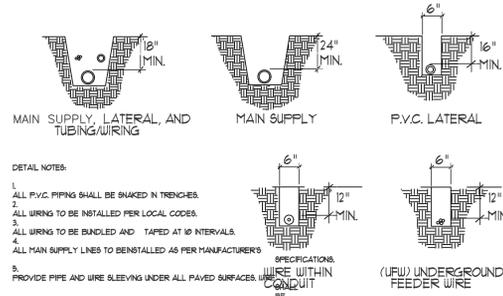
N.T.S.



Netafim Spiral Detail

**NETAFIM DETAIL**

N.T.S.

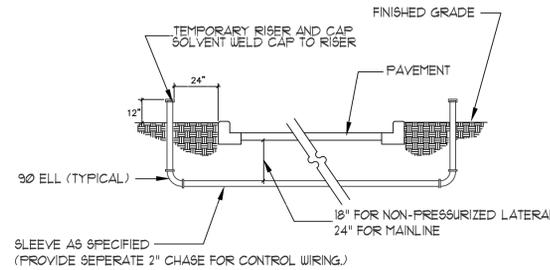


DETAIL NOTES:

1. ALL P.V.C. PIPING SHALL BE SUNK IN TRENCHES.
2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
3. ALL WIRING TO BE BUNDLED AND TAPED AT 10 INTERVALS.
4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.

**TRENCHING DETAIL**

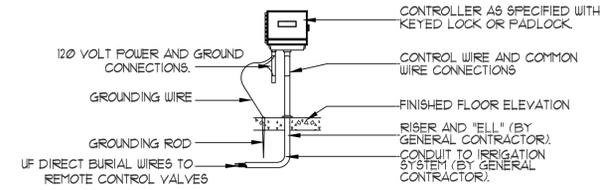
N.T.S.



SLEEVE AS SPECIFIED  
(PROVIDE SEPERATE 2" CHASE FOR CONTROL WIRING.)

**SLEEVE INSTALLATION DETAIL**

N.T.S.

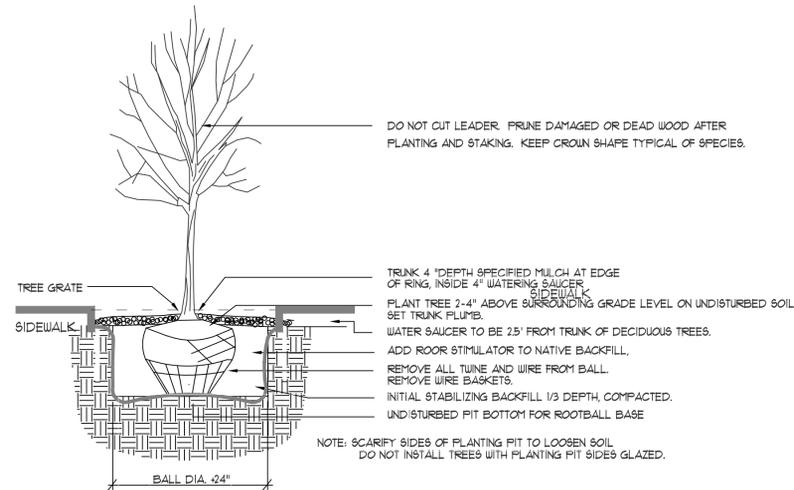


DETAIL NOTES:

1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

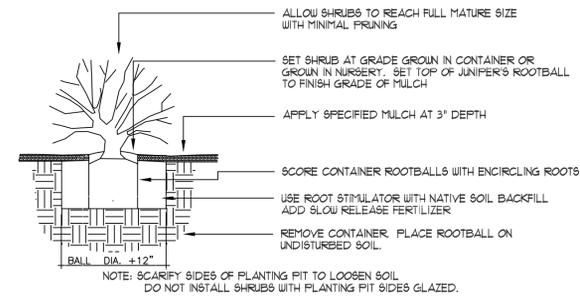
**CONTROLLER DETAIL**

N.T.S.



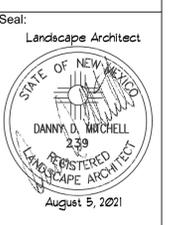
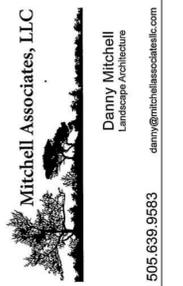
**TREE PLANTING DETAIL**

N.T.S.



**SHRUB PLANTING DETAIL**

N.T.S.



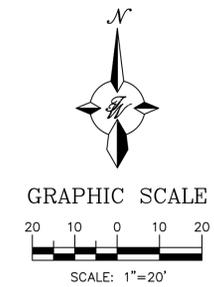
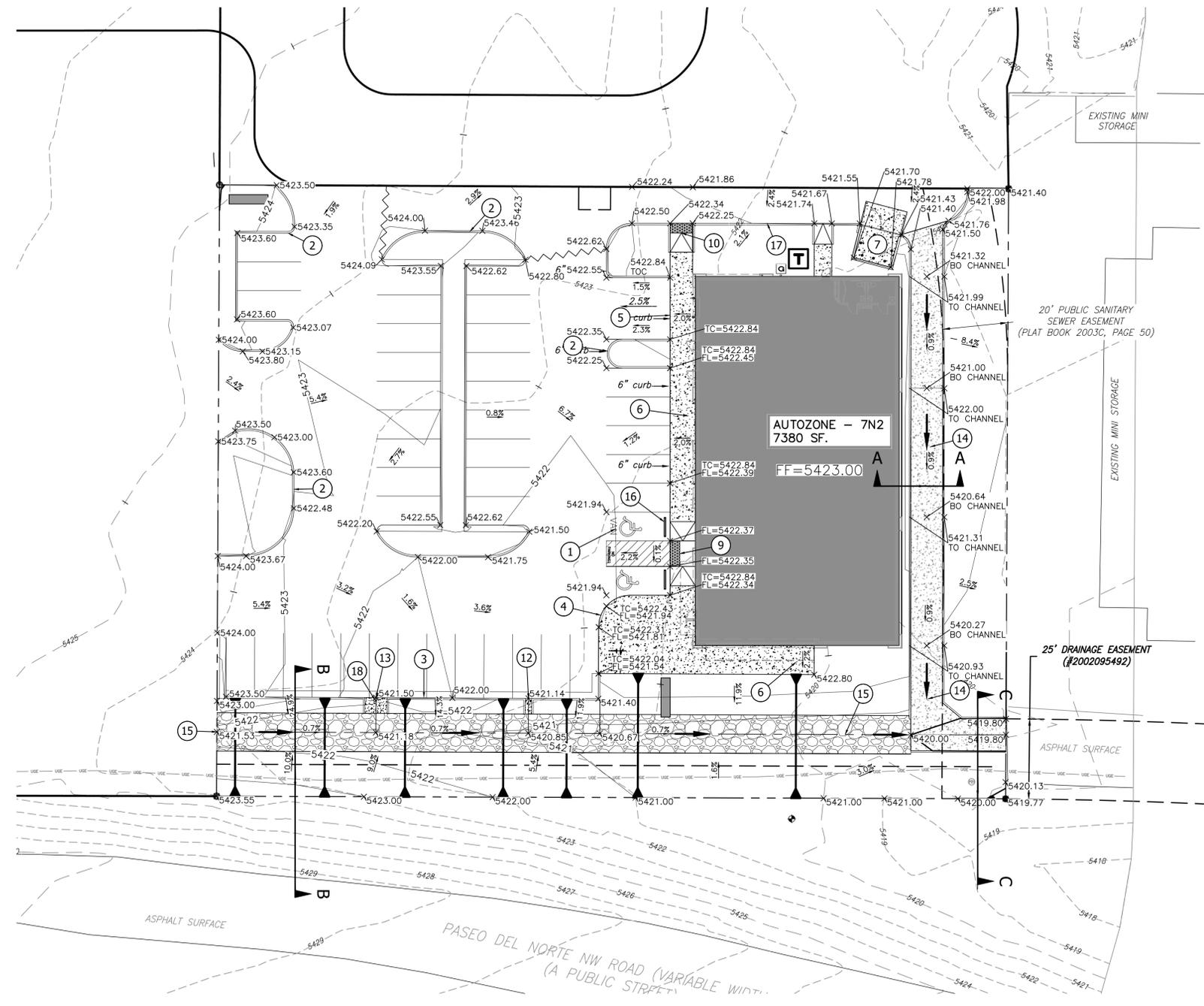
DRAWING NO:  
C3

**Autozone**  
**Paseo del Norte and Universe**  
**Albuquerque, NM**

REVISIONS	Date:	Comment

Designed By: D. Mitchell  
 Drawn By: dm  
 Approved By:  
 Date:  
 NEW MEXICO ONE CALL  
 1-800-321-ALERT (2537)  
 www.nmonecall.org  
 Call two working days  
 before you dig.  
 File ID:

Z:\2020\2020074\_Autozone - Universe & Paseo\dwg\EPIC\2020074\_CRE.dwg Aug 18, 2021 - 9:45am



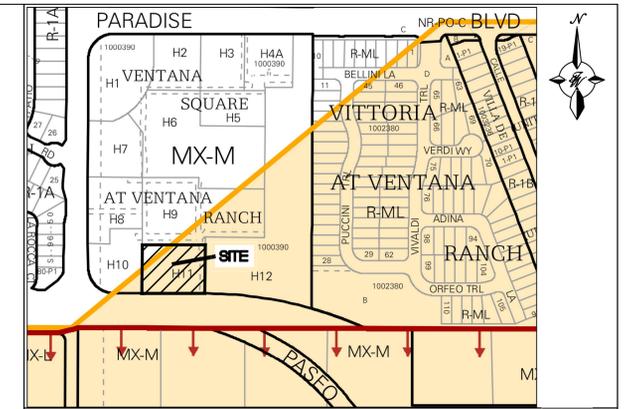
**KEYED NOTES**

- ① ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C7)
- ② 6" HEADER CURB (SEE DETAIL SHT. C6)
- ③ 8" CURB & GUTTER (SEE DETAIL SHT. C6)
- ④ 6" TURNDOWN CURB (SEE DETAIL SHT. C6)
- ⑤ ZERO CURB (SEE DETAIL SHT. C6)
- ⑥ CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. C6)
- ⑦ DUMPSTER (SEE DETAIL SHT. C7)
- ⑧ BICYCLE RACKS (SEE DETAIL SHT. C7)
- ⑨ CURB HC RAMP (SEE DETAIL SHT C6)
- ⑩ UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT C7)
- ⑪ TRANSFORMER
- ⑫ CONCRETE RUNDOWN 2' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- ⑬ CONCRETE RUNDOWN 7' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- ⑭ CONCRETE CHANNEL 10' WIDE X 8" DEEP (SEE DETAIL SHT C7)
- ⑮ COBBLE SWALE 12' WIDE X (PER PLAN) DEEP
- ⑯ WHEEL STOP (SEE DETAIL SHT C7)
- ⑰ 8" HEADER CURB (SEE DETAIL SHT. C6)
- ⑱ REMOVABLE BOLLARD (SEE DETAIL SHT. C7)

**NOTICE TO CONTRACTORS**

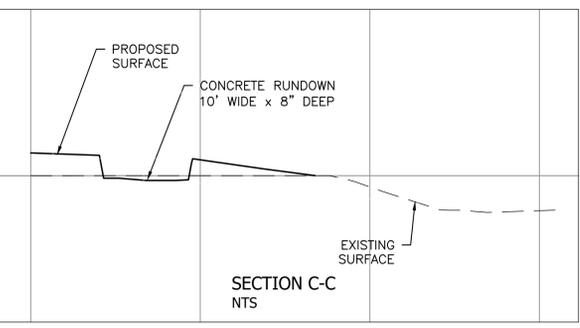
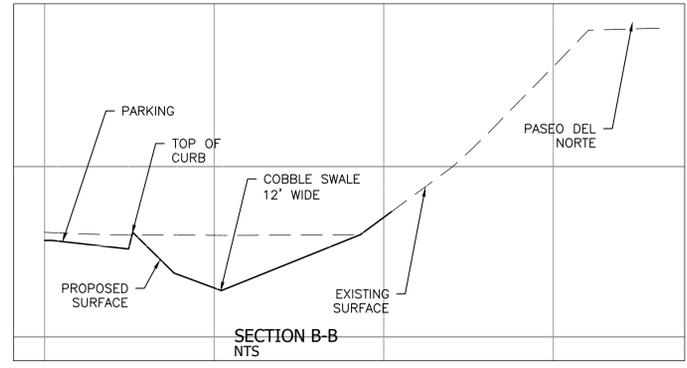
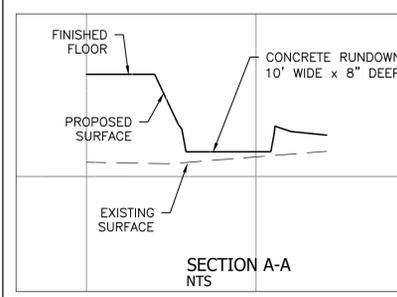
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



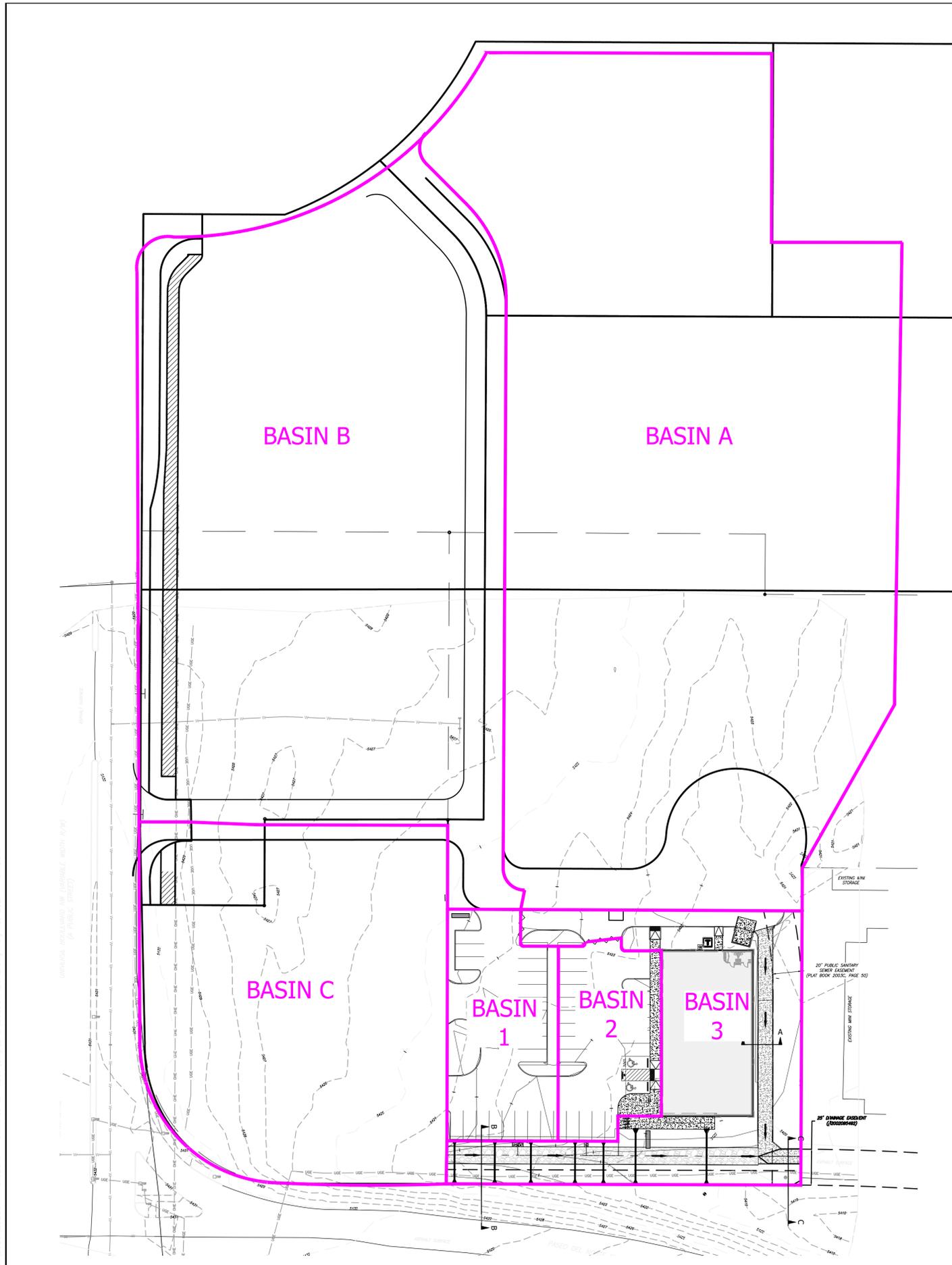
**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▨ SCREEN WALL
- ▨ RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 5010 - - - EXISTING CONTOUR MAJOR
- - - 5011 - - - EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION



	ENGINEER'S SEAL	<b>AUTOZONE</b>	DRAWN BY BF
		PASEO DEL NORTE & UNIVERSE BLVD	DATE 04/01/21
		<b>GRADING PLAN</b>	2020074_GRE
			SHEET # <b>C4</b>
		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2020074





**Weighted E Method**

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year		10-Year	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs				
A	150,847	3.46	0%	0	8%	0.26	8%	0.26	85%	2.94	2.030	0.586	13.43	1.267	0.366	8.15						
B	112,080	2.57	0%	0	8%	0.19	8%	0.19	85%	2.19	2.030	0.435	9.98	1.267	0.272	6.06						
C	51,665	1.19	0%	0	8%	0.09	8%	0.09	85%	1.01	2.030	0.201	4.60	1.267	0.125	2.79						
1	11,823	0.27	0%	0	15%	0.04	0%	0.00	85%	0.23	2.014	0.046	1.04	1.255	0.028	0.63						
2	9,262	0.21	0%	0	5%	0.01	0%	0.00	95%	0.20	2.165	0.038	0.86	1.372	0.024	0.53						
3	26,174	0.60	0%	0	13%	0.08	25%	0.15	62%	0.37	1.721	0.086	2.13	1.028	0.051	1.24						
<b>32.04</b>																						

**Equations:**

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)		
Zone 1	100-Year	10-Year
E <sub>a</sub>	0.55	0.11
E <sub>b</sub>	0.73	0.26
E <sub>c</sub>	0.95	0.43
E <sub>d</sub>	2.24	1.43

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10-Year
Q <sub>a</sub>	1.54	0.3
Q <sub>b</sub>	2.16	0.81
Q <sub>c</sub>	2.87	1.46
Q <sub>d</sub>	4.12	2.57

**PAST**

	Top Width (ft)	Bottom Width (ft)	Depth (ft)	Area (ft <sup>2</sup> )	WP (ft)	R	Slope (%)	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
Channel	12	0	1.5	9.00	12.37	0.7276	0.7	25.93	16.48	1.83

**Manning's Equation:**

$Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

A = Area

R = D/4

S = Slope

n = 0.035

**Channel Capacity**

**Weir Equation:**

$Q = CLH^{3/2}$

Q = Flow

C = 2.95

L = Length of weir

H = Height of Weir

**AutoZone Basin 1 Curb Opening**

$Q = 2.95 \cdot 7 \cdot 0.67^{3/2}$

$Q = 11.32 \text{ cfs} < Q = 11.02 \text{ cfs}$

**AutoZone Basin 2 Curb Opening**

$Q = 2.95 \cdot 2 \cdot 0.67^{3/2}$

$Q = 3.24 \text{ cfs} < Q = 0.86 \text{ cfs}$

**AutoZone Basin 3 Concrete Channel**

$Q = 2.95 \cdot 10 \cdot 0.67^{3/2}$

$Q = 16.18 \text{ cfs} < Q = 15.56 \text{ cfs}$

**EXISTING DRAINAGE:**

THIS SITE IS CURRENTLY VACANT AND LOCATED NEAR THE NORTHEAST CORNER OF PASEO DEL NORTE AND UNIVERSE BOULEVARD. THE PARCEL IS TRACT 11 OF THE VENTANA SQUARE AT VENTANA RANCH SUBDIVISION. THE SITE IS BOUNDED BY VACANT LOTS ON THE NORTH AND WEST SIDE AND A SELF-STORAGE DEVELOPMENT ON THE EAST AND PASEO DEL NORTE ON THE SOUTH AND CONTAINS APPROXIMATELY 1.09 ACRES. THE SITE DRAINS FROM NORTH TO SOUTH ENTERING A SWALE ALONG PASEO DEL NORTE AND EVENTUALLY INTO AN EXISTING RETENTION POND.

THIS PARCEL IS INCLUDED IN THE OVERALL DRAINAGE REPORT FOR VENTANA SQUARE TRACTS H-5-A THRU H-11 PREPARED BY THOMPSON ENGINEERING CONSULTANTS, INC. (B10D003C3) APPROVED ON 01/21/21. THIS PARCEL IS INCLUDED WITHIN DRAINAGE BASIN 400 WHICH DISCHARGES 32.55 CFS THRU THE AUTOZONE PARCEL AND TO THE EXISTING RETENTION POND.

THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE.

**PROPOSED DRAINAGE:**

SINCE ALL OF THE DRAINAGE FROM BASIN 400 DRAINS THROUGH THE AUTOZONE PARCEL THAT LARGE BASIN WAS BROKEN UP INTO 6 BASINS TO SPLIT THE FLOWS AROUND THE AUTOZONE BUILDING. BASIN "A" WILL DISCHARGE 13.43 CFS TO A CONCRETE CHANNEL LOCATED BEHIND THE AUTOZONE BUILDING. BASIN "B" WILL DISCHARGE 9.98 CFS THROUGH THE PARKING LOT OF THE AUTOZONE AND BE COLLECTED IN A PROPOSED COBBLE SWALE ALONG THE SOUTH PROPERTY LINE. BASIN "C" WILL DRAIN DIRECTLY TO THE PROPOSED COBBLE SWALE.

THE AUTOZONE SITE IS DIVIDED INTO 3 BASINS. BASIN 1 WILL ACCEPT THE 9.98 CFS FROM OFF-SITE AND DRAIN THROUGH A CURB OPENING SIZED FOR THE FLOWS TO THE COBBLE SWALE. BASIN 2 WILL DRAIN THROUGH A CURB OPENING TO THE COBBLE SWALE. BASIN 3 CONSISTS OF THE CONCRETE CHANNEL AND COBBLE SWALE.

THE COBBLE SWALE AND CONCRETE CHANNEL WILL CONNECT TO THE CONCRETE CHANNEL THAT WAS PROPOSED IN THE THOMPSON DRAINAGE REPORT TO BE BUILT BY OTHERS. THE TOTAL DISCHARGE TO THAT CHANNEL IS 32.04 CFS WHICH IS SLIGHTLY LESS THAN WHAT THE THOMPSON REPORT HAD CALCULATED.

THE WATER QUALITY VOLUME WILL BE CONTAINED IN THE EXISTING RETENTION POND WHICH IS SIZED FOR THE 100-YR, 10-DAY STORM AS STATED IN THE THOMPSON REPORT.



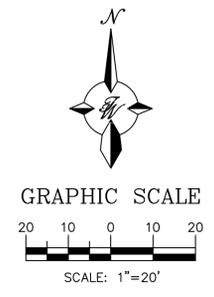
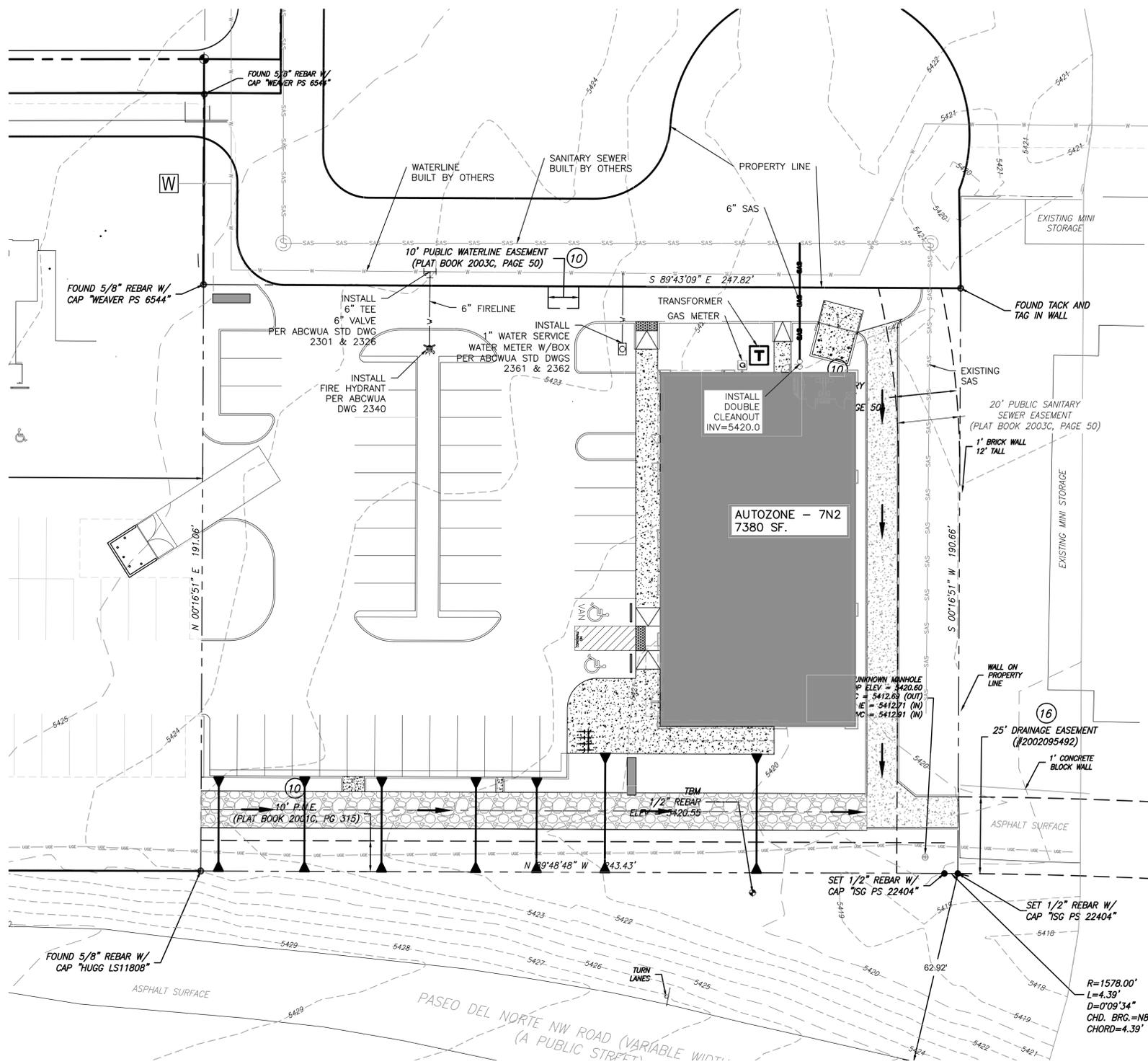
**GRAPHIC SCALE**



SCALE: 1" = 20'

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	ENGINEER'S SEAL	AUTOZONE	DRAWN BY BF
		PASEO DEL NORTE & UNIVERSE BLVD	DATE 04/01/21
		DEVELOPED DRAINAGE PLAN	2020074_GRE
			SHEET # <b>C5</b>
RONALD R. BOHANNAN P.E. #7868		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2020074



**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

- WATER NOTES:**
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
  - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
  - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
  - ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
  - ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
  - CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
  - RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
  - ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
  - CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
  - CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
  - CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

- GENERAL UTILITY NOTES:**
- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
  - PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
  - AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
  - PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
  - NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
  - CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
  - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
  - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
  - P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
  - CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

**ABCWUA NOTES:**

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/483/728/](http://abcwua.org/content/view/full/483/728/)

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	AUTOZONE	DRAWN BY BF
		PASEO DEL NORTE & UNIVERSE BLVD	DATE 04/01/21
	<b>MASTER UTILITY PLAN</b>		2020074_MUE
			SHEET # <b>C6</b>
			JOB # 2020074
RONALD R. BOHANNAN P.E. #7868 4/1/2021		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	



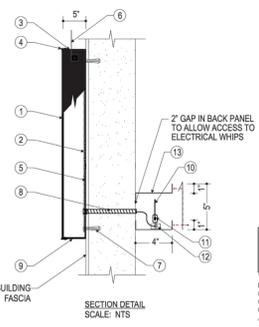
**38NS FACE LIT CHANNEL LETTERS w/o STRIPES (Qty 1)** AZ1CL38-230-5LINT  
AZ1CL38-230-5LEXT  
SQUARE FOOTAGE: 60.5



- SPECIFICATIONS**
- 3/16" THK PIGMENTED PLEXIGLAS RED 2662 AUTOZONE LETTERS
  - AUTOZONE LETTERS INTERNALLY ILLUMINATED w/ GE TETRA MAX RED LED
  - 5" PRE-FINISHED 140 BLACK/WHITE ALUMINUM RETURNS LETTERS LOCKED/STAPLED TO BACK AND CAULKED / INSIDE OF LETTERS TO BE WHITE
  - 1" GLOSS BLACK JEWELITE TRIM FASTENED TO LETTERS w/ MINIMUM #8 SHEET METAL SCREWS PAINTED P-7 / SPACING SHALL NOT EXCEED 18" / NO FEWER THAN FOUR (4) SCREWS PER FACE
  - PRE-FINISHED 103 BLACK/WHITE ALUMINUM BACKS LETTER LOCKED/STAPLED TO RETURN AND CAULKED / INSIDE OF LETTERS TO BE WHITE
  - WHITE ALUMINUM TAB w/ 6 VINYL APPLIED FIRST SURFACE V-3
  - AUTOZONE REQUIRED MOUNTING HARDWARE: TOGGLE BOLTS-EIFS WALLS OR MASONRY LAGS-CUMMASONRY WALLS / JONES SIGN WILL SUPPLY THIS HARDWARE (REFER TO WALL SYSTEMS w/ APPROVED FASTENERS CHART)
  - 1/2" FLEXIBLE CONDUIT / GREEN FIELD
  - 1/4" DIA WEEP HOLES
  - 120V - 20 AMP PRIMARY ELECTRICAL CONNECTIONS / TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS
  - UL APPROVED ELECTRICAL SHUT OFF SWITCH
  - TETRA POWER SUPPLY MOUNTED TO BOTTOM OF TRANSFORMER BOX
  - INTERIOR RACKWAY AS NEEDED: 4" x 5 1/4" x .003 WHITE/WHITE ALUMINUM BREAKFORMED INTERIOR TRANSFORMER BOX w/ REMOVABLE FACE / PAINTED P-7

**COLORS/FINISHES**

P-7	SW 6091 RELIABLE WHITE
P-8	GLOSS BLACK
V-3	3M 3630-143 POPPY RED TRANSLUCENT VINYL



**MATERIAL LIST**

LED Module	GENPRO-1	204 Mod	102 Ft	A	34.0	
Power Supply	GEPS12-600-NA	2 Ea		T	17.0	1
Supply Wire	9409	165 Ft		Z	37.0	
Choose one wire connector	192160005	50 Ea		O	22.0	1
End Caps	191600041	50 Ea		N	24.0	
	191600041	34 Ea		E	24.0	



**WALL SYSTEMS**

WALL SYSTEMS	APPROVED FASTENER
WOOD, CONCRETE BLOCK OR EIFS	3/8" THREADED ROD THRU-BOLT w/ NUT & WASHER
METAL OR EIFS	3/8" THREADED ROD THRU-BOLT w/ TOGGLE ANCHOR
CONCRETE, MASONRY AND BRICK - EMBED A MINIMUM OF 3"	3/8" DIA. LAG w/ 3/8" SHIELD & WASHER
TILT-UP CMU - EMBED A MINIMUM OF 3"	3/8" DIA. RED HEAD LARGE DIAMETER TAPCON FASTENER



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JOB #: 000000-R0 DATE: 00.00.0000 DESIGNER: Janee Skoka SALES REP: XXX PROJ MGR: Jamie De Vos

CLIENT APPROVAL: [Signature] DATE: [ ] [ ] [ ]

LANDLORD APPROVAL: [Signature] DATE: [ ] [ ] [ ]

OC: [Signature]

Site # [ ] CITY, STATE ZIP [ ] DESIGN PHASE: CONCEPTUAL

SHEET NUMBER: 1.0

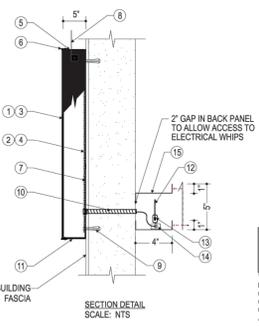
**38LS FACE LIT CHANNEL LETTERS w/ STRIPES (Qty 1)** AZ1CL38-406-5LINT  
AZ1CL38-406-5LEXT  
SQUARE FOOTAGE: 107



- SPECIFICATIONS**
- 3/16" THK PIGMENTED PLEXIGLAS RED 2662 AUTOZONE LETTERS
  - AUTOZONE LETTERS INTERNALLY ILLUMINATED w/ GE TETRA MAX RED LED
  - 3/16" THK PIGMENTED PLEXIGLAS ORANGE 2119 AUTOZONE STRIPES
  - AUTOZONE STRIPES INTERNALLY ILLUMINATED w/ GE TETRA MAX ORANGE LED
  - 5" PRE-FINISHED 140 BLACK/WHITE ALUMINUM RETURNS LETTERS LOCKED/STAPLED TO BACK AND CAULKED / INSIDE OF LETTERS AND STRIPES TO BE WHITE
  - 1" GLOSS BLACK JEWELITE TRIM FASTENED TO LETTERS & STRIPES w/ MINIMUM #8 SHEET METAL SCREWS PAINTED P-7 / SPACING SHALL NOT EXCEED 18" / NO FEWER THAN FOUR (4) SCREWS PER FACE
  - PRE-FINISHED 103 BLACK/WHITE ALUMINUM BACKS LETTER LOCKED/STAPLED TO RETURN AND CAULKED / INSIDE OF LETTERS AND STRIPES TO BE WHITE
  - WHITE ALUMINUM TAB w/ 6 VINYL APPLIED FIRST SURFACE V-3
  - AUTOZONE REQUIRED MOUNTING HARDWARE: TOGGLE BOLTS-EIFS WALLS OR MASONRY LAGS-CUMMASONRY WALLS / JONES SIGN WILL SUPPLY THIS HARDWARE (REFER TO WALL SYSTEMS w/ APPROVED FASTENERS CHART)
  - 1/2" FLEXIBLE CONDUIT / GREEN FIELD
  - 1/4" DIA WEEP HOLES
  - 120V - 20 AMP PRIMARY ELECTRICAL CONNECTIONS / TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS
  - UL APPROVED ELECTRICAL SHUT OFF SWITCH
  - TETRA POWER SUPPLY MOUNTED TO BOTTOM OF TRANSFORMER BOX
  - INTERIOR RACKWAY AS NEEDED: 4" x 5 1/4" x .003 WHITE/WHITE ALUMINUM BREAKFORMED INTERIOR TRANSFORMER BOX w/ REMOVABLE FACE / PAINTED P-7

**COLORS/FINISHES**

P-7	SW 6091 RELIABLE WHITE
P-8	GLOSS BLACK
V-3	3M 3630-143 POPPY RED TRANSLUCENT VINYL



**MATERIAL BREAKDOWN**

GENPRO-1	Modules	P/S
S1	8.0	
S2	8.0	
S3	8.0	
S4	9.0	1
S5	18.0	
S6	25.0	
S7	27.0	1
S8	103.0	

**MATERIAL LIST**

LED Module	GENPRO-1	206 Mod	103 Ft	A	34.0	
Power Supply	GEPS12-600-NA	4 Ea		T	17.0	1
Supply Wire	9409	165 Ft		Z	37.0	
Choose one wire connector	192160005	50 Ea		O	22.0	1
End Caps	191600041	50 Ea		N	24.0	
	191600041	34 Ea		E	24.0	



**WALL SYSTEMS**

WALL SYSTEMS	APPROVED FASTENER
WOOD, CONCRETE BLOCK OR EIFS	3/8" THREADED ROD THRU-BOLT w/ NUT & WASHER
METAL OR EIFS	3/8" THREADED ROD THRU-BOLT w/ TOGGLE ANCHOR
CONCRETE, MASONRY AND BRICK - EMBED A MINIMUM OF 3"	3/8" DIA. LAG w/ 3/8" SHIELD & WASHER
TILT-UP CMU - EMBED A MINIMUM OF 3"	3/8" DIA. RED HEAD LARGE DIAMETER TAPCON FASTENER



**JONES SIGN** Your Vision. Accomplished. WWW.JONESIGN.COM

JOB #: 000000-R0 DATE: 00.00.0000 DESIGNER: Janee Skoka SALES REP: XXX PROJ MGR: Jamie De Vos

CLIENT APPROVAL: [Signature] DATE: [ ] [ ] [ ]

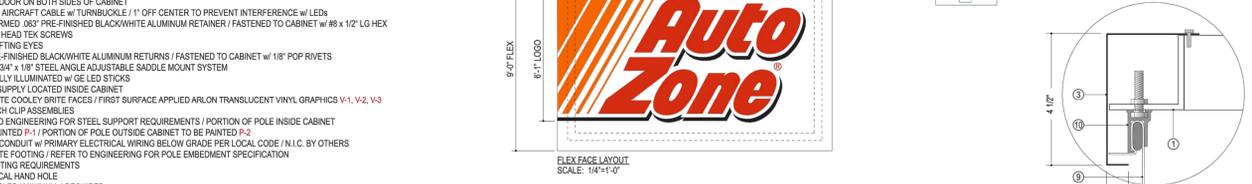
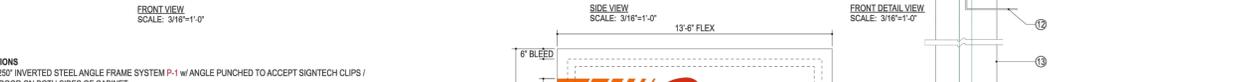
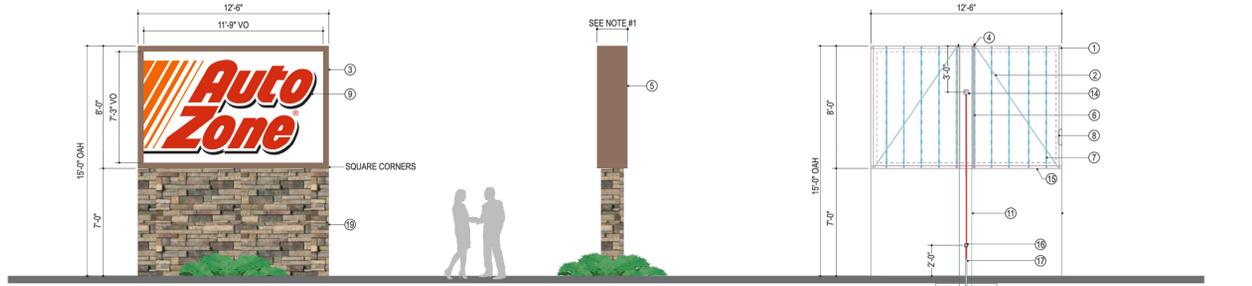
LANDLORD APPROVAL: [Signature] DATE: [ ] [ ] [ ]

OC: [Signature]

Site # [ ] CITY, STATE ZIP [ ] DESIGN PHASE: CONCEPTUAL

SHEET NUMBER: 1.0

**812 D/F INTERNALLY ILLUMINATED MONUMENT (Qty 1)** -AZ2FS96-150-24L  
SQUARE FOOTAGE: 100



- SPECIFICATIONS**
- 2" x 2" x .250" INVERTED STEEL ANGLE FRAME SYSTEM P-1 w/ ANGLE FLANGES TO ACCEPT SIGNETTE CLIPS / ACCESS DOOR ON BOTH SIDES OF CABINET
  - 5/32" DIA. AIRCRAFT CABLE w/ TURNBUCKLE 1" OFF CENTER TO PREVENT INTERFERENCE w/ LEDS
  - 4 1/2" FORMED .063" PRE-FINISHED BLACK/WHITE ALUMINUM RETAINER / FASTENED TO CABINET w/ #8 x 1/2" LG HEX WASHER HEAD TEK SCREWS
  - (2) 1/2" LIFTING EYES
  - .063" PRE-FINISHED BLACK/WHITE ALUMINUM RETURNS / FASTENED TO CABINET w/ 1/8" POP RIVETS
  - 1 3/4" x 1 3/4" x 1/8" STEEL ANGLE ADJUSTABLE SADDLE MOUNT SYSTEM
  - INTERNALLY ILLUMINATED w/ GE LED STICKS
  - POWER SUPPLY LOCATED INSIDE CABINET
  - 0006 WHITE COOLLY BRITE FACES / FIRST SURFACE APPLIED ARLON TRANSLUCENT VINYL GRAPHICS V-1, V-2, V-3
  - SIGN TECH CLIP ASSEMBLIES
  - REFER TO ENGINEERING FOR STEEL SUPPORT REQUIREMENTS / PORTION OF POLE INSIDE CABINET TO BE PAINTED P-1
  - 3/4" PVC CONDUIT w/ PRIMARY ELECTRICAL WIRING BELOW GRADE PER LOCAL CODE / N.I.C. BY OTHERS
  - CONCRETE FOOTING / REFER TO ENGINEERING FOR POLE EMBEDMENT SPECIFICATION AND FOOTING REQUIREMENTS
  - ELECTRICAL HAND HOLE
  - DRAIN HOLES / MINIMUM 4 REQUIRED
  - MULTI-TAP FIXTURES TO ACCOMMODATE ELECTRICAL EXISTING ON SITE
  - CONDUIT EXPOSED / NO HOLE REQUIRED BELOW GRADE
  - 18 NA
  - SPLIT FACE CMU BASE - CHARDONNAY COUNTRY LEDGESTONE BY BORAL OR APPROVED EQUAL P-4

**COLORS/FINISHES**

P-1	PLUSTILEUM 20-9109 WHITE PRIMER
P-2	SW 6088 NATHATCH
V-1	ARLON 44 ORANGE HI PERF. TRANSLUCENT VINYL
V-2	ARLON 22 BLACK HI PERF. TRANSLUCENT VINYL
V-3	ARLON 143 POPPY RED HI PERF. TRANSLUCENT VINYL
P-4	CHARDONNAY COUNTRY LEDGESTONE BY BORAL OR APPROVED EQUAL P-4

**VARIABLES**

SIZE	FINISHED SIZE	V.O.	CORNERS	AMPS	CIRCUITS	ILLUMINATION	POWER SUPPLIES
812	8'-0" x 12'-6"	7'-3" x 11'-9"	SQUARE	2.70	(1) 20 AMP CIRCUIT	(10) GE LED TETRA STICKS	(1) GE 24V-300W POWER SUPPLY

**JONES SIGN** Your Vision. Accomplished. WWW.JONESIGN.COM

JOB #: 253063-R0 DATE: 07.19.2021 DESIGNER: DSG SALES REP: Mike Bjorklund PROJ MGR: Sarah Taker

CLIENT APPROVAL: [Signature] DATE: [ ] [ ] [ ]

LANDLORD APPROVAL: [Signature] DATE: [ ] [ ] [ ]

OC: [Signature]

Site # 1935 PASO DEL NORTE & UNIVERSITY BLVD ALBUQUERQUE, NM

DESIGN PHASE: CONCEPTUAL

SHEET NUMBER: 1.0

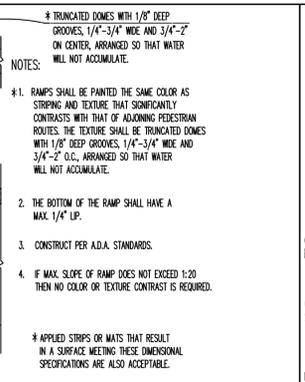
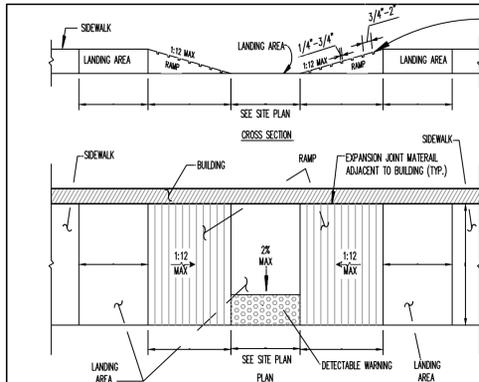
This is an original, unpublished drawing by Jones Sign Co., Inc. It is for your personal use in conjunction with a project being planned for you by JONES SIGN. It is not to be shown to anyone outside of your organization, nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of JONES SIGN, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. JONES SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

- Paint Sample Color**  
SW 6091 "RELIABLE WHITE"
- Paint Sample Color**  
SW 6086 "SAND DUNE"
- Paint Sample Color**  
SW 6088 "NATHATCH"
- Paint Sample Color**  
SW 6083 "SABLE"

- Store Front System**  
RED ALUMINUM
- Cultured Stone Veneer**  
CHARDONNAY COUNTRY LEDGESTONE BY BORAL, OR APPROVED EQUAL

Color / Material Samples For:  
**AutoZone Store # 1935**  
PASO DEL NORTE & UNIVERSITY BLVD  
ALBUQUERQUE, NM

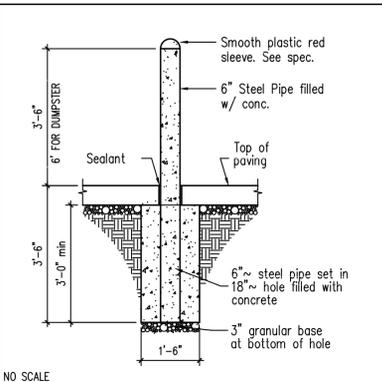
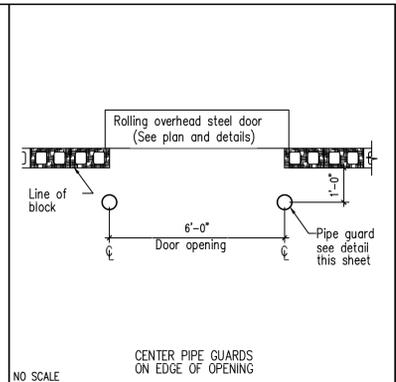
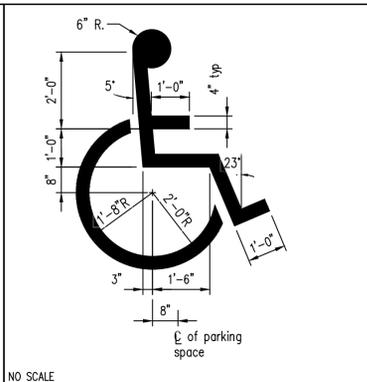
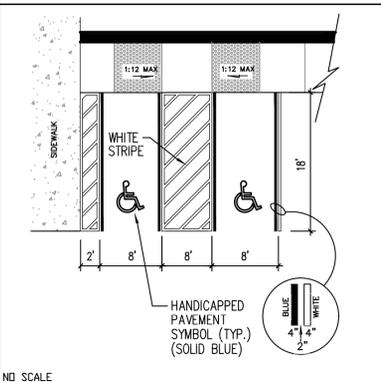
<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p><b>AUTOZONE</b> PASO DEL NORTE &amp; UNIVERSE BLVD</p> <p><b>BUILDING &amp; SIGN INFO</b></p> <p>2020074 - BUILDING &amp; SIGN INFO</p> <p>SHEET # <b>C8</b></p> <p>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWN BY BF</p> <p>DATE 04/01/21</p> <p>SHEET # <b>C8</b></p> <p>JOB # 2020074</p>
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**DIMENSION & TYPE**

Concrete Section	A	B	C
Drive Aisle	6"	6"	see note
Loading/Dumpster	6"	6"	see note
Parking Spaces	5"	6"	see note

NOTE: Compacted subgrade should be as specified in soils report.



2 CONCRETE ACCESSIBLE RAMP AT BUILDING

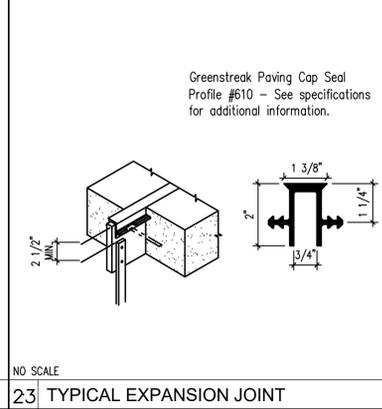
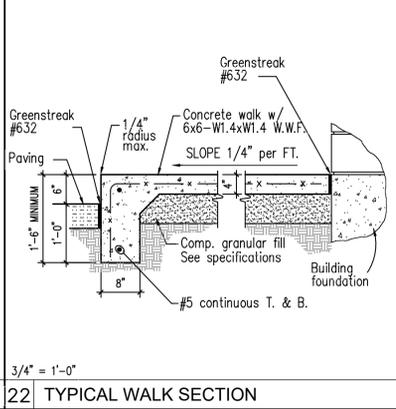
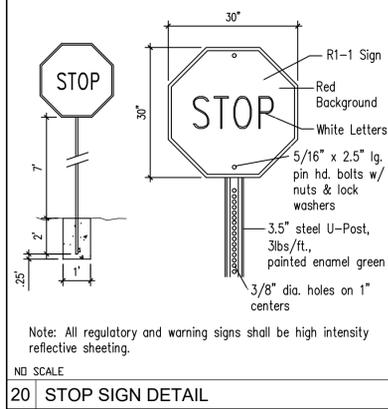
4 CONCRETE PAVING SECTION

6 HANDICAP PARKING DETAIL

7 INT'L BARRIER FREE SYMBOL

15 PIPE GUARD @ SERVICE DOOR

16 TYPICAL PIPE GUARD SECTION

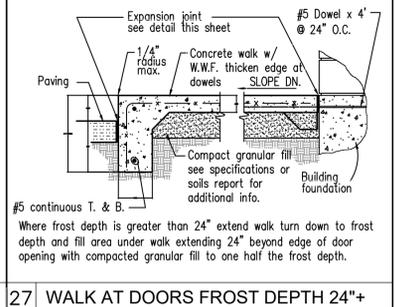
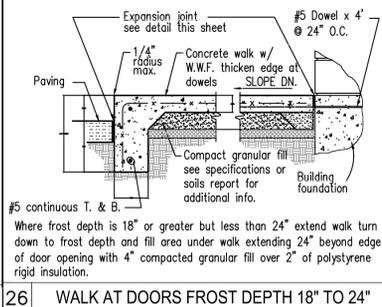


20 STOP SIGN DETAIL

22 TYPICAL WALK SECTION

23 TYPICAL EXPANSION JOINT

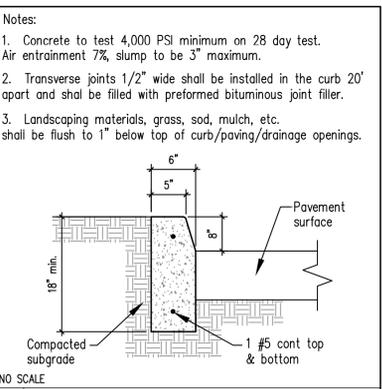
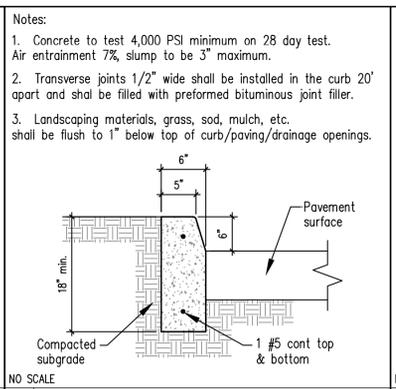
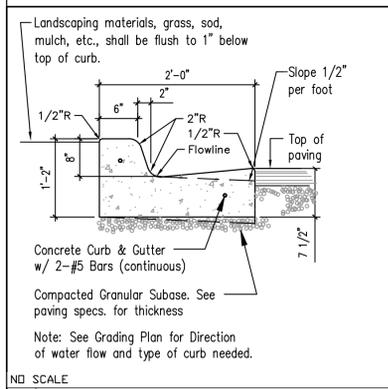
For all details on this sheet which call for a minimum depth of concrete, that depth shall be adjusted to the deeper of that called for in the detail or the frost depth shown in the Geotechnical Report.



25 FROST DEPTH NOTES

26 WALK AT DOORS FROST DEPTH 18" TO 24"

27 WALK AT DOORS FROST DEPTH 24"+



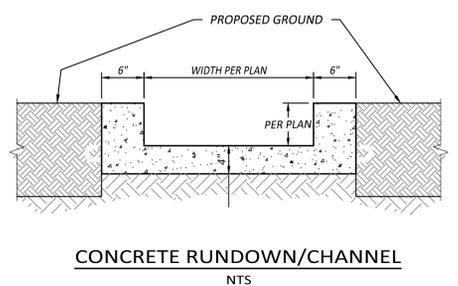
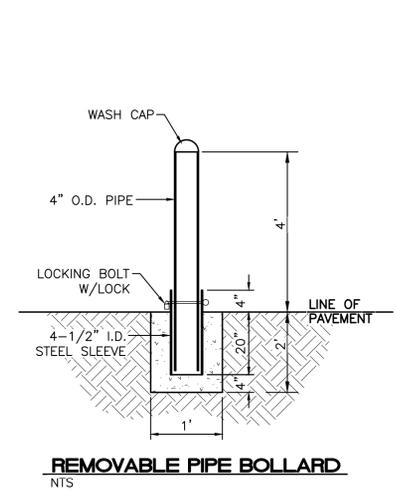
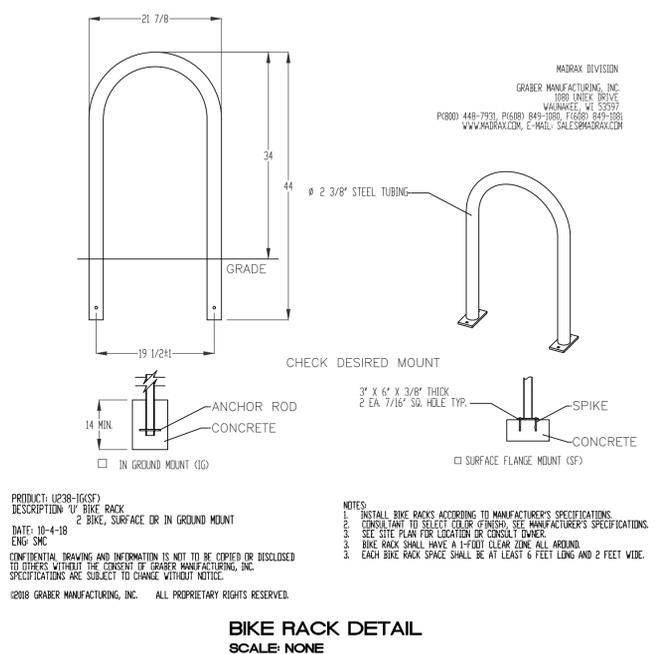
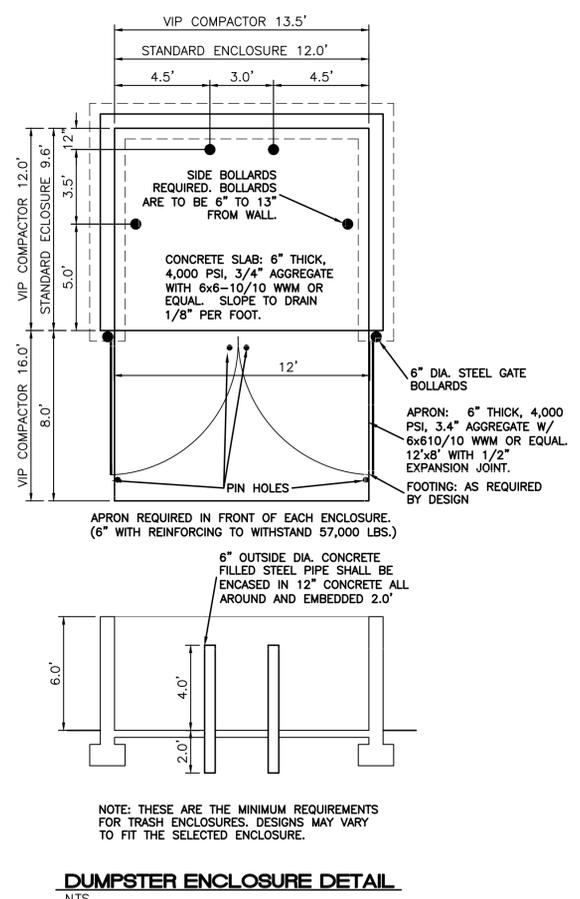
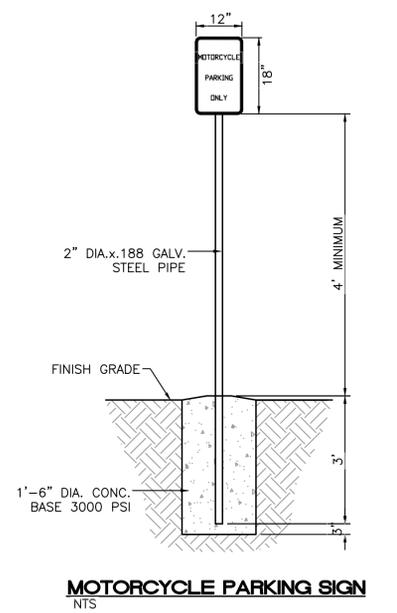
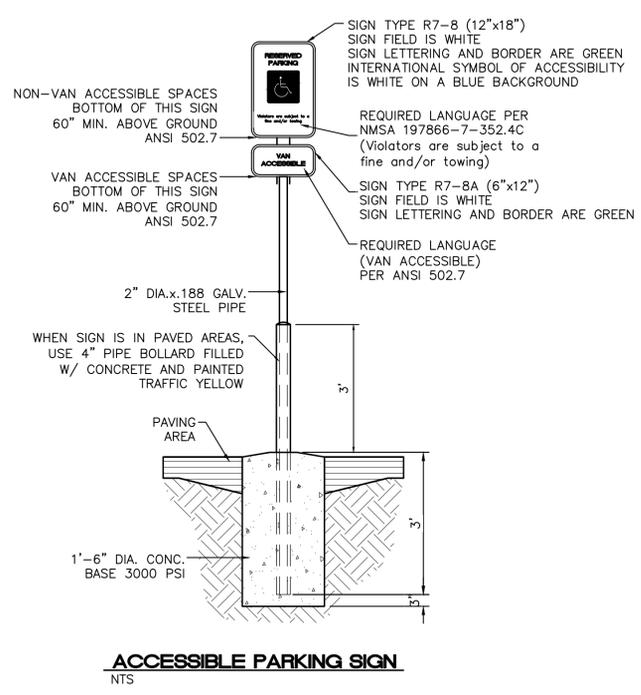
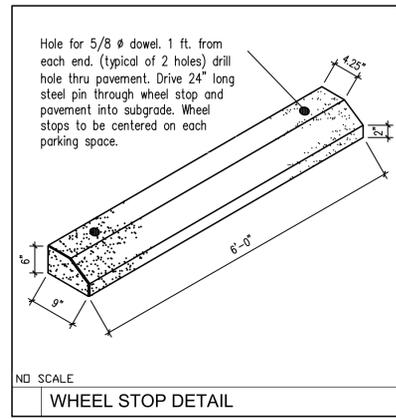
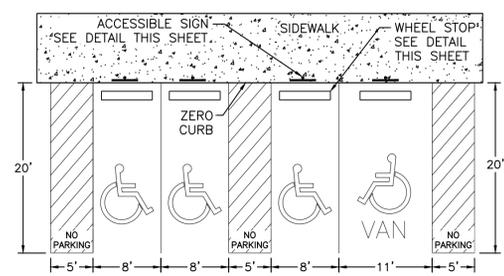
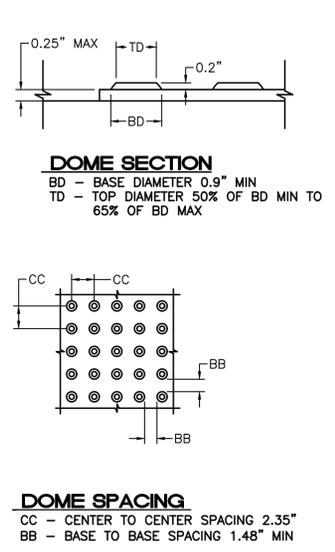
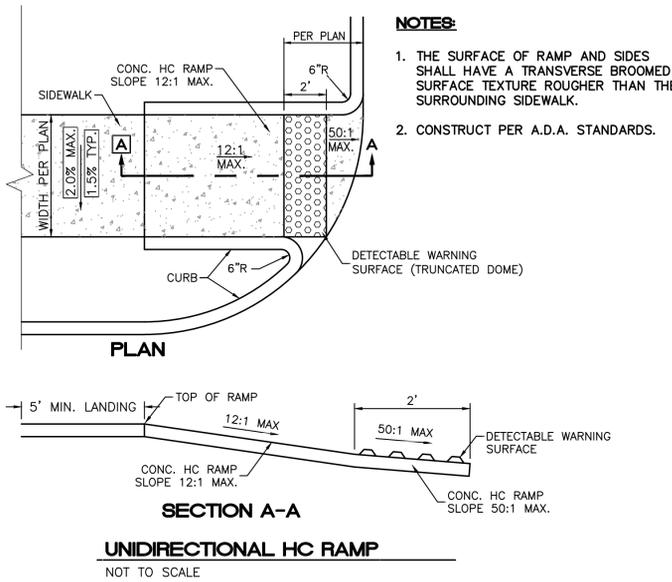
8" CONC. CURB & GUTTER (at Asphalt paving only)

6" CONCRETE HEADER CURB

8" CONCRETE HEADER CURB

Z:\2020\2020074 - Universe & Poseo\dwg\EPC\2020074\_DTE.dwg Aug 18, 2021 - 9:45am

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	AUTOZONE PASEO DEL NORTE & UNIVERSE BLVD	DRAWN BY BF DATE 04/01/21
	<b>CONSTRUCTION DETAILS</b>	2020074_DTE
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C9</b>	JOB # 2020074



**CONSTRUCTION NOTES:**

1. CONCRETE TO BE 4000 PSI
2. COMPACT SUBGRADE TO 95% PER ASTM 1557

ENGINEER'S SEAL	AUTOZONE PASEO DEL NORTE & UNIVERSE BLVD	DRAWN BY BF
	<b>CONSTRUCTION DETAILS</b>	DATE 04/01/21
		2020074_DTE
		SHEET # <b>C10</b>
		JOB # 2020074



# TIERRA WEST, LLC

August 24, 2021

Ms. Jolene Wolfley  
City of Albuquerque – DRB Chair  
600 2nd Street NW  
Albuquerque NM 87102

**RE: AutoZone  
SENSITIVE LANDS ANALYSIS  
PR-2020-004024**

Dear Ms. Wolfley:

Tierra West, LLC has performed a Sensitive Lands Analysis, documenting the following below:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard	None	See attached Firmette showing no flood plain in this area
Steep Slopes	Steep banks along Paseo Del Norte	See attached grading and drainage plan with topographic survey. The site grading will not disturb the slopes along Paseo Del Norte
Unstable Soils	None	Per Geotechnical Report prepared by Delta Oaks Group Dated 9/22/20 existing on site soils are suitable for engineer fill. Copy of report available upon request.
Wetlands (Constant supply of water)	None	See attached Firmette. No areas of standing water present on site. Groundwater not encountered in Geotechnical investigation as noted in Geotechnical Report Prepared by Terracon Dated 4/16/21. Copy of report available upon request.
Arroyo	None	There is no existing arroyo on this site
Irrigation Facilities	None	See attached topographic survey. No irrigation facilities identified.
Escarpment	None	See attached grading and drainage plan with topographic survey. No areas of escarpment identified.
Large stands of mature trees	None	No mature trees noted on site.
Archeological sites	None	No archaeological issues have been uncovered.

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118  
tierrawestllc.com 1-800-245-3102



LOOKING NORTH ACROSS THE SITE



LOOKING SOUTH ACROSS THE SITE



LOOKING EAST ACROSS THE SITE



LOOKING WEST ACROSS THE SITE

In conclusion, none of the above features were found to be present on this site. Various attached documents support our findings of no remaining sensitive land issues.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Bohannon".

Ronald R. Bohannon, P.E

JN: 2020074  
RRB/jn/ye



# National Flood Hazard Layer FIRMette



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

0.2% Annual Chance Flood Hazard. Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

Future Conditions 1% Annual Chance Flood Hazard Zone X

Area with Reduced Flood Risk due to Levee. See Notes, Zone X

Area with Flood Risk due to Levee Zone D

**OTHER AREAS OF FLOOD HAZARD**

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRS
- Area of Undetermined Flood Hazard Zone D

**OTHER AREAS GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

20.2 Cross Sections with 1% Annual Chance

- 17.5 Water Surface Elevation
- 8 Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Coastal Transect Boundary
- Jurisdiction Boundary
- Profile Baseline
- Hydrographic Feature

**OTHER FEATURES**

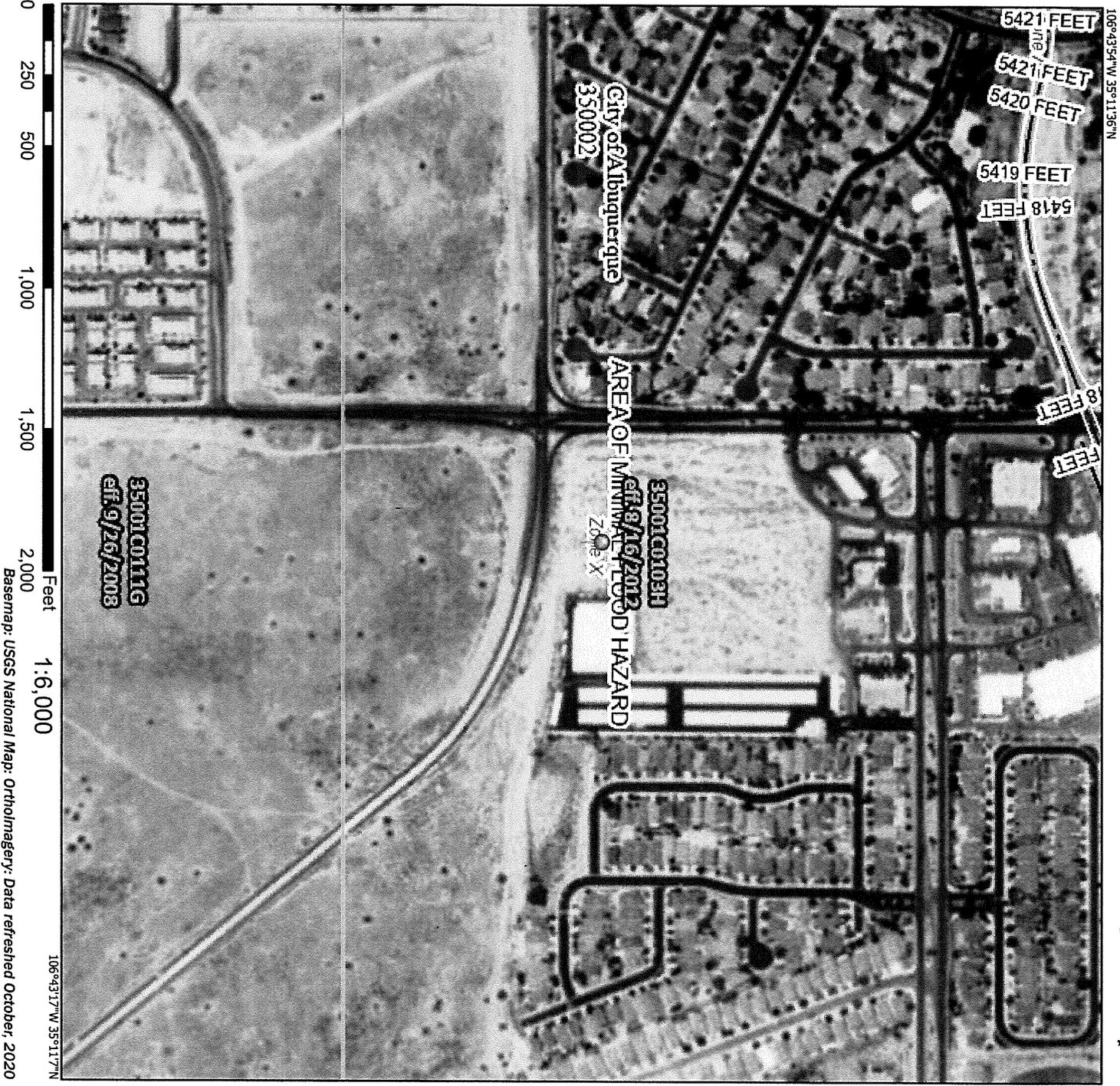
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- Unmapped

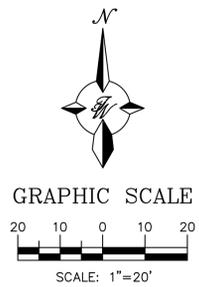
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps. If it is not void as described below, the basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/24/2021 at 11:12 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

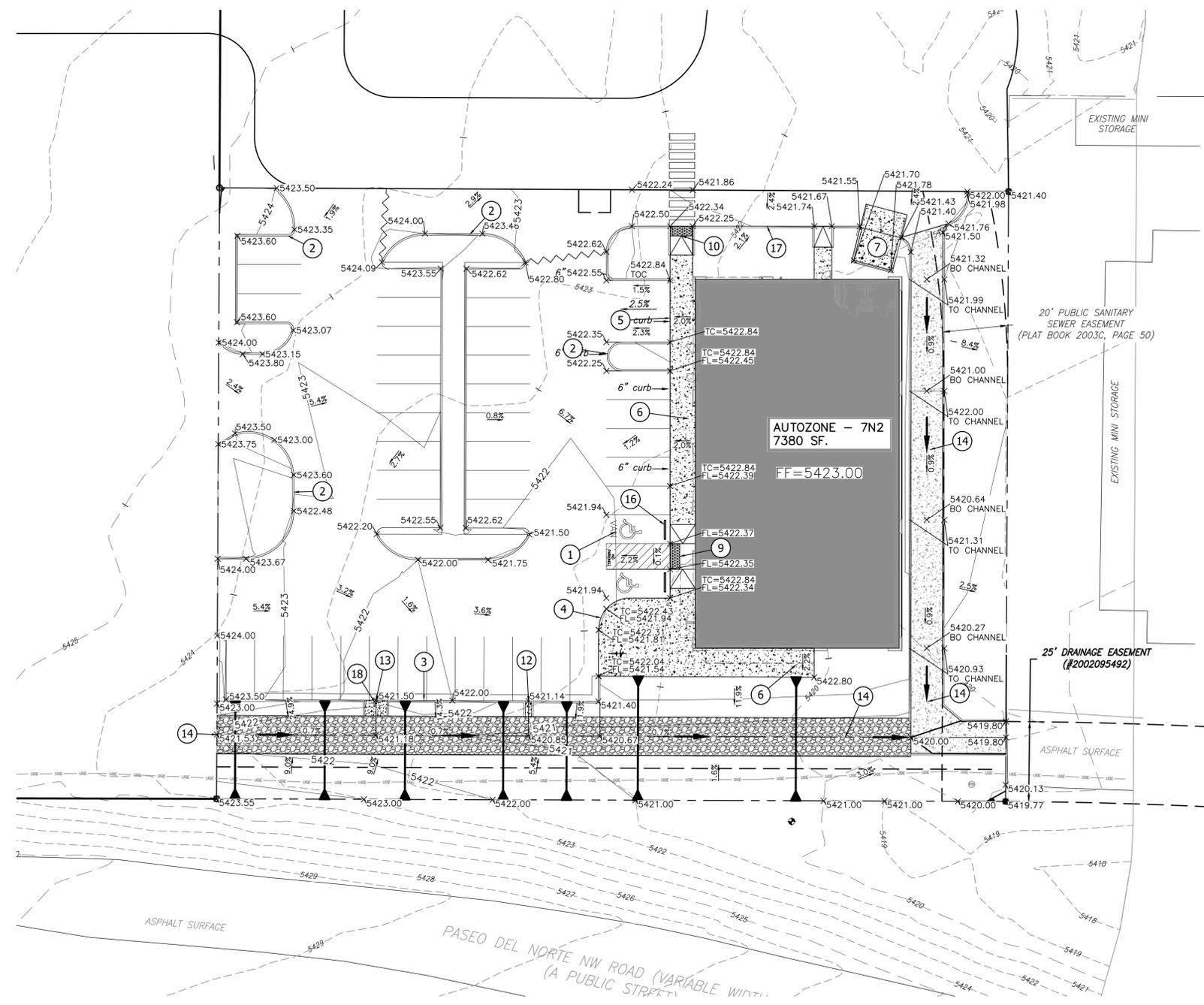
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.





**LEGEND**

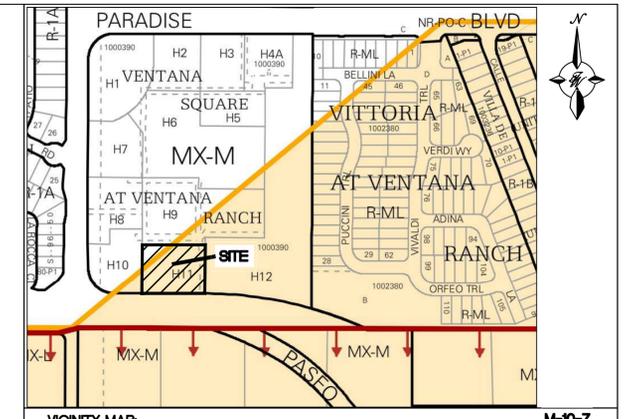
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	5010 CONTOUR MAJOR
	5011 CONTOUR MINOR
	x 5048.25 SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	5010 EXISTING CONTOUR MAJOR
	5011 EXISTING CONTOUR MINOR
	x 5048.25 EXISTING SPOT ELEVATION



- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C7)
  - 2 6" HEADER CURB (SEE DETAIL SHT. C6)
  - 3 8" CURB & GUTTER (SEE DETAIL SHT. C6)
  - 4 6" TURNDOWN CURB (SEE DETAIL SHT. C6)
  - 5 ZERO CURB (SEE DETAIL SHT. C6)
  - 6 CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. C6)
  - 7 DUMPSTER (SEE DETAIL SHT. C7)
  - 8 BICYCLE RACKS (SEE DETAIL SHT. C7)
  - 9 CURB HC RAMP (SEE DETAIL SHT C6)
  - 10 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT C7)
  - 11 TRANSFORMER
  - 12 CONCRETE RUNDOWN 2' WIDE X 8" DEEP (SEE DETAIL SHT C7)
  - 13 CONCRETE RUNDOWN 7' WIDE X 8" DEEP (SEE DETAIL SHT C7)
  - 14 CONCRETE CHANNEL 10' WIDE X 8" DEEP (SEE DETAIL SHT C7)
  - 15 COBBLE SWALE 12' WIDE X (PER PLAN) DEEP
  - 16 WHEEL STOP (SEE DETAIL SHT C7)
  - 17 8" HEADER CURB (SEE DETAIL SHT. C6)
  - 18 REMOVABLE BOLLARD (SEE DETAIL SHT. C7)

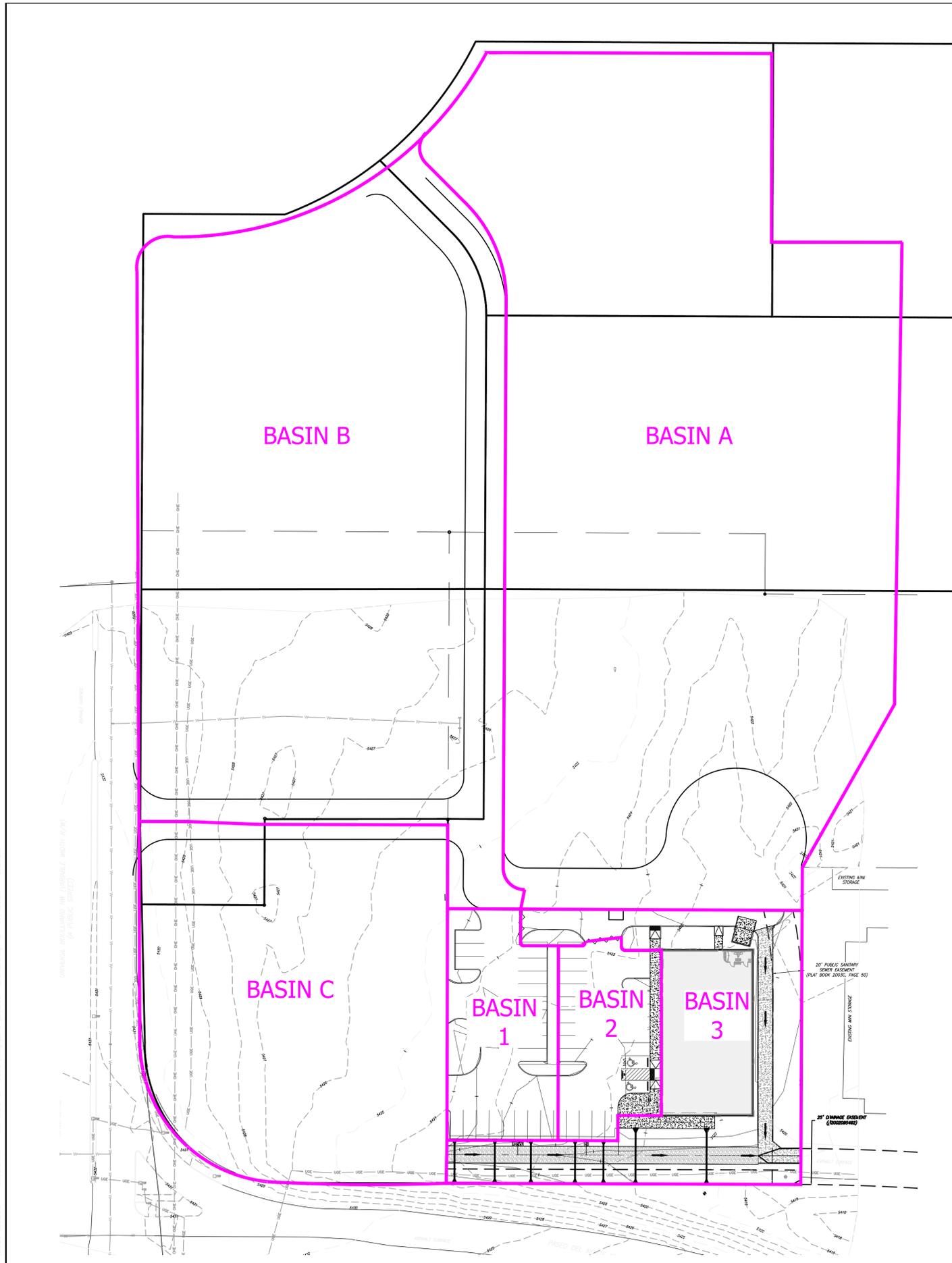
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL	<b>AUTOZONE</b>	DRAWN BY
	PASEO DEL NORTE & UNIVERSE BLVD	BF
	<b>GRADING &amp; DRAINAGE PLAN</b>	DATE
		04/01/21
		2020074_GRE
		SHEET #
		<b>C2</b>
		JOB #
		2020074

**TERRA WEST, LLC**  
 5571 MIDWAY PARK PLACE NE  
 ALBUQUERQUE, NM 87109  
 (505) 858-3100  
 www.terrawestllc.com



**Weighted E Method**

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year		10-Year	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs				
A	150,847	3.46	0%	0	8%	0.26	8%	0.26	85%	2.94	2.030	0.586	13.43	1.267	0.366	8.15						
B	112,080	2.57	0%	0	8%	0.19	8%	0.19	85%	2.19	2.030	0.435	9.98	1.267	0.272	6.06						
C	51,665	1.19	0%	0	8%	0.09	8%	0.09	85%	1.01	2.030	0.201	4.60	1.267	0.125	2.79						
1	11,823	0.27	0%	0	15%	0.04	0%	0.00	85%	0.23	2.014	0.046	1.04	1.255	0.028	0.63						
2	9,262	0.21	0%	0	5%	0.01	0%	0.00	95%	0.20	2.165	0.038	0.86	1.372	0.024	0.53						
3	26,174	0.60	0%	0	13%	0.08	25%	0.15	62%	0.37	1.721	0.086	2.13	1.028	0.051	1.24						
<b>32.04</b>																						

**Equations:**

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)		
Zone 1	100-Year	10-Year
$E_a$	0.55	0.11
$E_b$	0.73	0.26
$E_c$	0.95	0.43
$E_d$	2.24	1.43

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10-Year
$Q_a$	1.54	0.3
$Q_b$	2.16	0.81
$Q_c$	2.87	1.46
$Q_d$	4.12	2.57

**PAST**

	Top Width (ft)	Bottom Width (ft)	Depth (ft)	Area (ft <sup>2</sup> )	WP (ft)	R	Slope (%)	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
Channel	12	0	1.5	9.00	12.37	0.7276	0.7	25.93	16.48	1.83

**Manning's Equation:**

$Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

- A = Area
- R = D/4
- S = Slope
- n = 0.035

**Channel Capacity**

**Weir Equation:**

$Q = CLH^{3/2}$

- Q = Flow
- C = 2.95
- L = Length of weir
- H = Height of Weir

**AutoZone Basin 1 Curb Opening**

$Q = 2.95 \cdot 7 \cdot 0.67^{3/2}$

$Q = 11.32 \text{ cfs} < Q = 11.02 \text{ cfs}$

**AutoZone Basin 2 Curb Opening**

$Q = 2.95 \cdot 2 \cdot 0.67^{3/2}$

$Q = 3.24 \text{ cfs} < Q = 0.86 \text{ cfs}$

**AutoZone Basin 3 Concrete Channel**

$Q = 2.95 \cdot 10 \cdot 0.67^{3/2}$

$Q = 16.18 \text{ cfs} < Q = 15.56 \text{ cfs}$

**EXISTING DRAINAGE:**

THIS SITE IS CURRENTLY VACANT AND LOCATED NEAR THE NORTHEAST CORNER OF PASEO DEL NORTE AND UNIVERSE BOULEVARD. THE PARCEL IS TRACT 11 OF THE VENTANA SQUARE AT VENTANA RANCH SUBDIVISION. THE SITE IS BOUNDED BY VACANT LOTS ON THE NORTH AND WEST SIDE AND A SELF-STORAGE DEVELOPMENT ON THE EAST AND PASEO DEL NORTE ON THE SOUTH AND CONTAINS APPROXIMATELY 1.09 ACRES. THE SITE DRAINS FROM NORTH TO SOUTH ENTERING A SWALE ALONG PASEO DEL NORTE AND EVENTUALLY INTO AN EXISTING RETENTION POND.

THIS PARCEL IS INCLUDED IN THE OVERALL DRAINAGE REPORT FOR VENTANA SQUARE TRACTS H-5-A THRU H-11 PREPARED BY THOMPSON ENGINEERING CONSULTANTS, INC. (B10D003C3) APPROVED ON 01/21/21. THIS PARCEL IS INCLUDED WITHIN DRAINAGE BASIN 400 WHICH DISCHARGES 32.55 CFS THRU THE AUTOZONE PARCEL AND TO THE EXISTING RETENTION POND.

THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE.

**PROPOSED DRAINAGE:**

SINCE ALL OF THE DRAINAGE FROM BASIN 400 DRAINS THROUGH THE AUTOZONE PARCEL THAT LARGE BASIN WAS BROKEN UP INTO 6 BASINS TO SPLIT THE FLOWS AROUND THE AUTOZONE BUILDING. BASIN "A" WILL DISCHARGE 13.43 CFS TO A CONCRETE CHANNEL LOCATED BEHIND THE AUTOZONE BUILDING. BASIN "B" WILL DISCHARGE 9.98 CFS THROUGH THE PARKING LOT OF THE AUTOZONE AND BE COLLECTED IN A PROPOSED COBBLE SWALE ALONG THE SOUTH PROPERTY LINE. BASIN "C" WILL DRAIN DIRECTLY TO THE PROPOSED COBBLE SWALE.

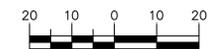
THE AUTOZONE SITE IS DIVIDED INTO 3 BASINS. BASIN 1 WILL ACCEPT THE 9.98 CFS FROM OFF-SITE AND DRAIN THROUGH A CURB OPENING SIZED FOR THE FLOWS TO THE COBBLE SWALE. BASIN 2 WILL DRAIN THROUGH A CURB OPENING TO THE COBBLE SWALE. BASIN 3 CONSISTS OF THE CONCRETE CHANNEL AND COBBLE SWALE.

THE COBBLE SWALE AND CONCRETE CHANNEL WILL CONNECT TO THE CONCRETE CHANNEL THAT WAS PROPOSED IN THE THOMPSON DRAINAGE REPORT TO BE BUILT BY OTHERS. THE TOTAL DISCHARGE TO THAT CHANNEL IS 32.04 CFS WHICH IS SLIGHTLY LESS THAN WHAT THE THOMPSON REPORT HAD CALCULATED.

THE WATER QUALITY VOLUME WILL BE CONTAINED IN THE EXISTING RETENTION POND WHICH IS SIZED FOR THE 100-YR, 10-DAY STORM AS STATED IN THE THOMPSON REPORT.



**GRAPHIC SCALE**



SCALE: 1" = 20'

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	<b>ENGINEER'S SEAL</b> RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 4/1/2021 RONALD R. BOHANNAN P.E. #7868	<b>AUTOZONE</b> PASEO DEL NORTE & UNIVERSE BLVD <b>DEVELOPED DRAINAGE PLAN</b>	DRAWN BY BF DATE 04/01/21 2020074_GRE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C3</b>	JOB # 2020074

# Albuquerque Site & Building Design Considerations

**This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form.***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

## **Design Considerations for Compliance with IDO Section 5-2 (D)**

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.*

### **Section A.**

#### **General Site Arrangement and Building Orientation:**

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.  
Achieved                       Achieved in Part                       Evaluated Only
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.  
Achieved                       Achieved in Part                       Evaluated Only
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.  
Achieved                       Achieved in Part                       Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved  Achieved in Part  Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved  Achieved in Part  Evaluated Only

**Building Entries and Windows:**

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved  Achieved in Part  Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved  Achieved in Part  Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved  Achieved in Part  Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved  Achieved in Part  Evaluated Only

**Outdoor Elements (Integration):**

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved  Achieved in Part  Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved  Achieved in Part  Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved  Achieved in Part  Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved  Achieved in Part  Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved  Achieved in Part  Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved  Achieved in Part  Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved  Achieved in Part  Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved  Achieved in Part  Evaluated Only

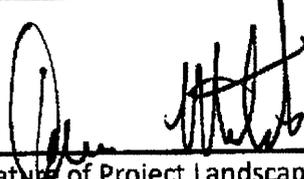
Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved  Achieved in Part  Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project Auto Zone and Application No \_\_\_\_\_.

\_\_\_\_\_  
Signature of Project Architect/License No.

 8/12/2021  
\_\_\_\_\_  
Signature of Project Landscape Architect/License No.

## **Section B.**

### **Sun and Shade Analysis requirements in compliance with 5-2(D)(1):**

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that *summer sun* be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of *winter sun* should reach transparent windows and doors at noon on each facade.

**The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations.** Screen shots from a program like SketchUp are acceptable.

#### **Summer Sun Analysis**

1. Show the effects of summer sun on windows on the following date and times:
  - a. May 21<sup>st</sup> analysis:
    - 9:00 AM
    - Noon
    - 4:00 PM
  - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
  - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
  - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
  - e. If no sun is influencing a façade at any of the above times, the graphic should simply state "no solar effect."

#### **Winter Sun Analysis**

2. Show the effects of winter sun on windows on the following date and time:
  - a. November 21<sup>st</sup> analysis:
    - Noon
  - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

INFRASTRUCTURE LIST

(Rev. 2-16-18)  
EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Tract H-11, Ventana Square at Ventana Ranch  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN  
Tract H-11, Ventana Square at Ventana Ranch  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SJA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
								Inspector	City Cnst Engineer
			21' Wide	Median Curb & Gutter and associated striping	Paseo Del Norte	West Property Line	East Property Line	/	/
			12' Lane	Asphalt Pavement and associated striping	Paseo Del Norte	West Property Line	East Property Line	/	/
			12' Bike Lane & Buffer	Asphalt Pavement, Curb & Gutter and associated striping	Paseo Del Norte	West Property Line	East Property Line	/	/
			10' Wide	Asphalt Multi-Purpose Trail	Paseo Del Norte	West Property Line	East Property Line	/	/
								/	/
								/	/
								/	/
								/	/
								/	/





The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	<input type="text"/>					/	/
<input type="text"/>	<input type="text"/>	<input type="text"/>					/	/

Approval of Creditable Items:	Approval of Creditable Items:
Impact Fee Administrator Signature	City User Dept. Signature
Date	Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

1 Native Grass Seed with Aggregate Mulch or equal (Must satisfy the "Final Stabilization Criteria" CGP 2.2.14.b)

2 The property owner/developer must continue self-inspections and BM maintenance until the EPA's Final Stabilization Criteria is satisfied and approved by the City Stormwater Quality Section (Code 14-5-2-1(C)(1))

3

**AGENT / OWNER** **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Ronald R. Bohannon  
NAME (print)

Tierra West, LLC  
FIRM

 8/24/2021

DRB CHAIR - date \_\_\_\_\_ PARKS & RECREATION - date \_\_\_\_\_

TRANSPORTATION DEVELOPMENT - date \_\_\_\_\_ AMAFCA - date \_\_\_\_\_

UTILITY DEVELOPMENT - date \_\_\_\_\_ CODE ENFORCEMENT - date \_\_\_\_\_

CITY ENGINEER - date \_\_\_\_\_ - date \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



**Development Review Board (DRB)  
 Review Comments  
 Utility Development Section  
 Reviewer: Blaine Carter, P.E.  
 Phone: 505.415.9188**

<b>DRB Project No:</b>  PR-2020-004024	<b>Date:</b>  4/07/21	<b>Item No:</b>  #13
<b>Zone Atlas Page:</b>  B-10	<b>Legal Description: Lot(s) TRACTS H-11, PLAT OF TRACT H-A THROUGH H-11, VENTANA SQUARE AT VENTANO RANCH</b>	
	<b>Location: PASEO DEL NORTE between UNIVERSE BLVD and PASEO DEL NORTE</b>	
<b>Request For:</b> PS-2021-00045 – SKETCH PLAT		

**ABCWUA Comment:**

**Please provide written description of how the following comments were addressed with the next submittal.**

1. This property is included in the previously issued Serviceability Letter #201204. It is dated 1/19/21. Please note this is a Serviceability Letter, not an Availability Statement as listed in the comments response. Service cannot be committed until a development agreement is approved by the ABCWUA Board.
2. A development agreement is required as this project is located outside of the Adopted Water Service Area. The development agreement was received on March 23, 2021 and is being prepared for the next ABCWUA Board meeting on April 21, 2021.
3. Infrastructure List:
  - a. The water and sewer infrastructure in the overall plat infrastructure list includes the water and sewer mains to the east and north of this project. Please coordinate with the master developer on the timing and responsibility for these improvements. The ABCWUA received an updated utility plan on March 30, 2021 with the overall platting action.

- b. For site plan approval, the sewer main on the east side of this property will be required.
  - c. For site plan approval, the water main on the north side of this property will be required. This line provides a looped connection and satisfies fire flow demand. The full extent of the loop may be required, dependent upon the fire flow conditions for this project.
4. Please review the serviceability letter. If there are differences in the fire flow demands for this project from those assumed in the letter, please contact the Utility Development section.

**DEVELOPMENT REVIEW BOARD**  
**Code Enforcement Comments**

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

*Carl Garcia, Code Supervisor  
Planning Department  
505-924-3838 [cagarcia@cabq.gov](mailto:cagarcia@cabq.gov)*

**DATE:** 4/7/2021

**AGENDA ITEM NO:** 13

**DRB PROJECT NUMBER:**

**PR-2020-004024**

**PS-2021-00045 - SKETCH PLAT**

**PROJECT NAME:**

TIERRA WEST, LLCagentfor DIAMOND TAIL REALTY LLCrequests the aforementioned action(s) for all or a portion ofTRACT H-11 PLAT OF TRACT H-A THRU H-11, VENTANA SQUARE AT VENTAND RANCH, zoned MX-M, located at PASEO DEL NORTE between UNIVERSE BLVD and PASEO DEL NORTE, containing approximately 1.08 acre(s). ( B-10

**REQUEST:**

SKETCH PLAT REVIEW AND COMMENT

**COMMENTS:**

1. This is in an Urban Center
2. Northwest Mesa Escarpment – VPO-2

DEVELOPMENT REVIEW BOARD  
TRANSPORTATION DEVELOPMENT

DRB Project Number: 2021-004024  
Auto-zone at Universe and Paseo del Norte

AGENDA ITEM NO: 13

SUBJECT: Sketch Plat

ENGINEERING COMMENTS:

1. Approval of this action shall follow the platting approval for the overall subdivision.
2. Label the roadway easement.
3. Incorporate sidewalk improvements such as 6-foot sidewalk to the right-of-way and to the main building from the ADA spaces.
4. This site will be required to pay for Paseo del Norte Roadway Improvements along the site frontage. Exact lane widths and requirements shall need to be determined through DMD, but generally, it is expected to incorporate an additional westbound lane on Paseo del Norte, northside curb, bike lane, and an asphalt trail. This shall be placed onto an infrastructure list as part of a Procedure C Agreement.
5. Ensure that all parking requirements have been met per the IDO and DPM. Incorporate details as necessary.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Jeanne Wolfenbarger, P.E.  
Transportation Development  
505-924-3991 or [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov)

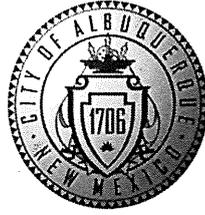
DATE: April 7, 2021

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ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



## DEVELOPMENT REVIEW BOARD

### Parks and Recreation Department

PR-2020-004024

PS-2021-00045 - SKETCH PLAT

TIERRA WEST, LLC agent for DIAMOND TAIL REALTY LLC requests the aforementioned action(s) for all or a portion of TRACT H-11 PLAT OF TRACT H-A THRU H-11, VENTANA SQUARE AT VENTAND RANCH, zoned MX-M, located at PASEO DEL NORTE between UNIVERSE BLVD and PASEO DEL NORTE, containing approximately 1.08 acre(s). (B-10)

PROPERTY OWNERS: DIAMOND TAIL REALTY LLC

REQUEST: SKETCH PLAT REVIEW AND COMMENT

04-06-2021

Per the MTP 2040, Paseo del Norte shows a Proposed Paved Trail. Will this be provided?

**DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION**  
 Renée Brissette, PE, Senior Engineer | 505-924-3995 [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

DRB Project Number: 2020-004024 Hearing Date: 04-07-2021

Project: Tract H-11, Ventana Square Agenda Item No: 13

<input checked="" type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> SIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

**ENGINEERING COMMENTS:**

- Hydrology will need an approved Conceptual Grading and Drainage Plan prior to approval of Site Plan for Building Permit.

**RESOLUTION/COMMENTS:**

Code Enforcement:

Water:

Transportation:

Planning:

APPROVED  
 DENIED

DELEGATED TO:  TRANS  HYD  WUA  PRKS  PLNG

Delegated For: \_\_\_\_\_

SIGNED:  I.L.  SPSD  SPBP  FINAL PLAT

DEFERRED TO \_\_\_\_\_