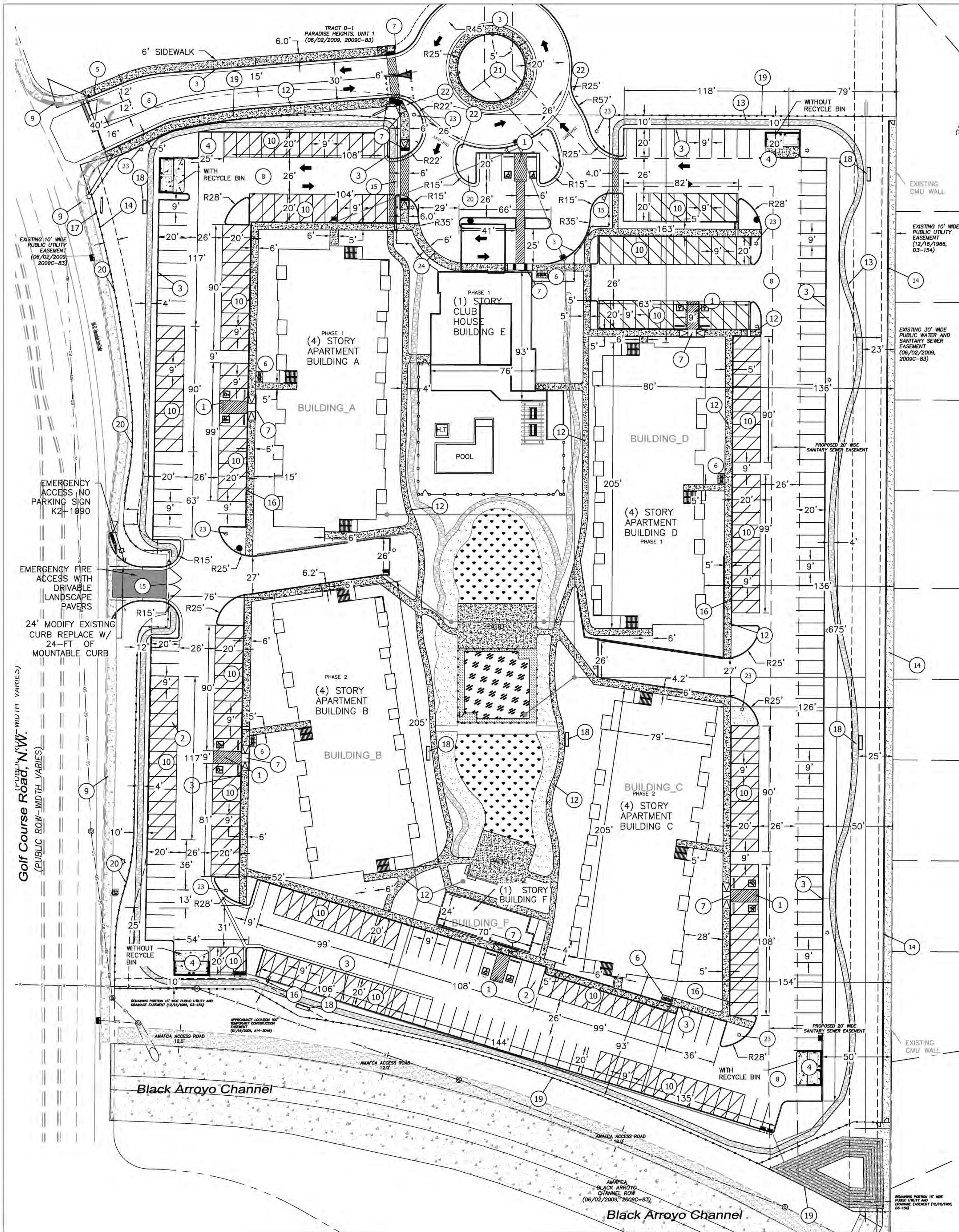


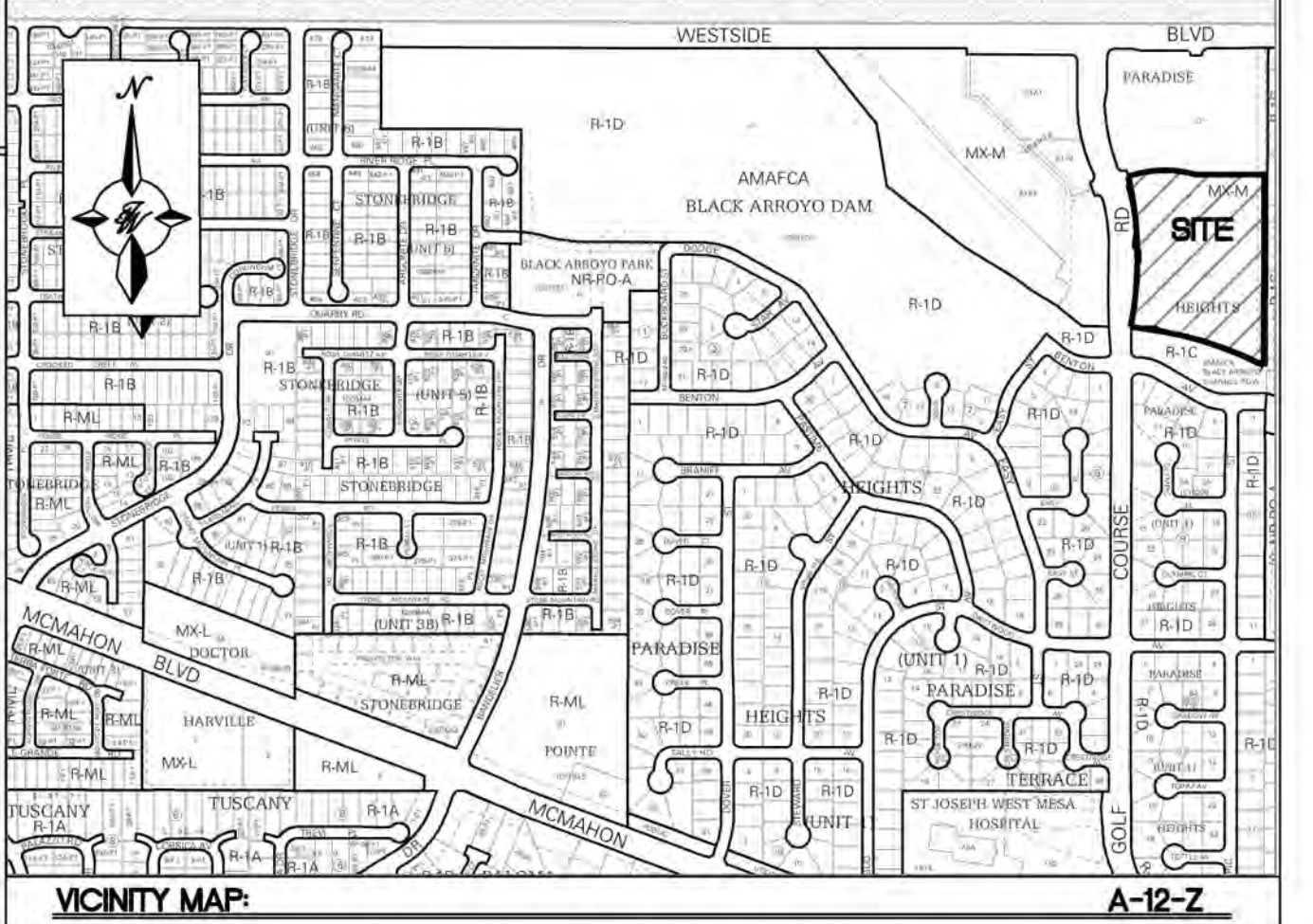


KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- DUMPSTER ENCLOSURE (SEE DETAIL SHT. C4)
(2-RECYCLE DUMPSTERS ALLOWED PER SITE (MAX))
- R1-1 36" STOP SIGN
- BICYCLE RACKS (SEE DETAIL SHT. C5)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- CARPORT (SEE DETAIL SHT. C7)
- CURB HC RAMP (SEE DETAIL SHT. C4)
- 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 5' CRUSHED GRAVEL TRAIL
- 6-FT CMU SCREEN WALL W/ LOCKED GATES AT EACH END COLORED "TAN" (SEE DETAIL SHT. C6)
- GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7)
ACCESS SHALL BE PROVIDED TO SOLID WASTE VEHICLES/DRIVERS FROM 7AM TO 8PM ELSE A CLICKER SHALL BE PROVIDED.
- 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT.)
- MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- PARK BENCH (SEE ARCH. DETAIL SHT.)

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- LANDSCAPING
- ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE



LEGAL DESCRIPTION:

TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1

- ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- R1-2 YIELD SIGN
- STREET LIGHT (SEE DETAIL SHT 6.)
- ZERO CURB (SEE DETAIL SHT 4.)

FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA
1ST FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,747 S.F.	59 S.F.	61 S.F.	71 S.F.	15,025 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 2ND FLOOR AREA
2ND FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
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TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 3RD FLOOR AREA
3RD FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 4TH FLOOR AREA
4TH FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
TOTAL BUILDING "A" APARTMENTS UNITS: 52												
TOTAL BUILDING "A" 1ST, 2ND, 3RD AND 4TH FLOOR AREA: 59,716 S.F.												
TOTAL BUILDING "A" ROOF AREA: 15,025 S.F.												
TOTAL BUILDING "B", "C" AND "D" AREA: 59,716 S.F. x 4 = 238,864 S.F.												

BUILDING AREAS

APARTMENT BUILDINGS (4 STORIES EA.)
BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)
TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)

CLUB HOUSE BUILDING "E" (1 STORY)
CLUB HOUSE AREA: 7,725 S.F.

BUILDING "F" (1 STORY)
AREA: 1,680 S.F.

TOTAL BUILDING AREA: 248,269 S.F.

TOTAL CARPORT AREA: 37,417 S.F.

PARKING REQUIRED PER THE IDO

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT
208 UNITS x 1.5 = 312
SPACES REQUIRED 312
ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES
BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:
312 x 10% = 32 BICYCLE PARKING SPACES
ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

OPEN SPACE CALCULATIONS

(1BR: 200 SQ. FT. / UNIT)
(2BR: 250 SQ. FT. / UNIT)
TOTAL = 128*200 + 80*250 = 45,600 SQ. FT.
PROVIDED = 144,030 SQ. FT.

PARKING PROVIDED:

CARPORT PARKING SPACES: 37
BUILDING "A": 52 SPACES
BUILDING "B": 52 SPACES
BUILDING "C": 52 SPACES
BUILDING "D": 52 SPACES
TOTAL CARPORT PARKING SPACES = 208
REGULAR PARKING SPACES = 156
ACCESSIBLE PARKING SPACES = 12 (2 VAN)
TOTAL PARKING SPACES PROVIDED = 376
PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)
ELECTRIC CHARGING STATIONS PROVIDED = 8

MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

PERIMETER WALL NOTE

THE COLOR OF ALL PERIMETER WALLS SHALL BE TAN.

INDEX TO DRAWINGS

- SITE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- BUILDING ELEVATIONS
- LANDSCAPING PLAN

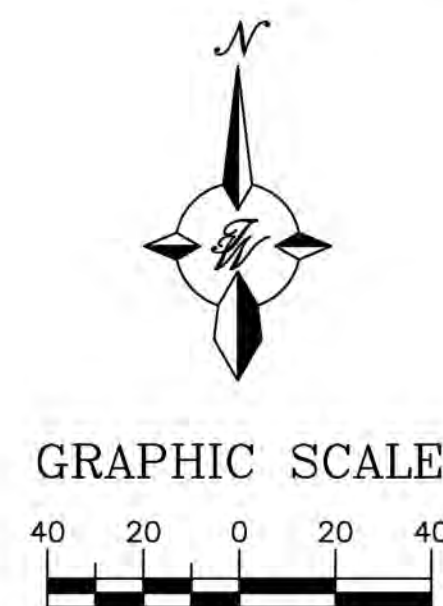
PROJECT NUMBER: PR-2020-004030
APPLICATION NUMBER: SI-2020-00540

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger Jan 3, 2022
Traffic Engineer, Transportation Division
Blaine Carter Dec 29, 2021
Chad Campbell Dec 31, 2021
Parks & Recreation Department
Renee C. Brunsell Jan 10, 2022
City Engineer/Hydrology
Robert Webb Dec 29, 2021
Code Enforcement
*Environmental Health Department (conditional)
Herman Gallegos 12-23-21
Solid Waste Management
DRB Chairperson, Planning Department
* Environmental Health, if necessary

Approved for access by the Solid Waste Department
for 8-1b Herman Gallegos 12-23-21



ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW SITE PLAN	DRAWN BY BF DATE 08/25/2021 2020013-SPB
RONALD R. BOHANNAN PROFESSIONAL ENGINEER 12/27/2021 RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C1 JOB # 2020013

Z:\2020\2020013 Apartments at Golf Course Rd.dwg Ver. B\2020013_GRB_Ver. B.dwg Jun. 30, 2020 = 8:07am



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION

KEYED NOTES

- 1 6" ONSITE CURB AND GUTTER
- 2 SWQV POND - SEE PLAN FOR NUMBER AND VOLUME THIS SHEET
- 3 ASPHALT PAVING (SEE GEOTECH REPORT)
- 4 BUILD NEW CONCRETE RUNDOWN CONNECTION TO EXISTING FLUME 10-FT WIDE, 2.5-FT HEIGHT. SEE DETAIL SHEET.
- 5 NEW BOUNDARY/SCREEN WALL 6-FT HIGH, CMU BLOCK WALL, BY OWNER.

Existing Conditions

Basin Descriptions												100-Year, 6-Hr			10-Year, 6-Hr			
Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
					%	(acres)	%	(acres)	%	(acres)	%	(acres)						
H1	D-1	334,175	7.67	0.01199	100%	7.672	0%	0.000	0%	0.000	0%	0.000	0.440	0.281	9.90	0.080	0.051	1.84
H2	E-1	382,736	8.79	0.01373	100%	8.786	0%	0.000	0%	0.000	0%	0.000	0.440	0.322	11.33	0.080	0.059	2.11
Total		716,911	16.46	0.02572		16.458		0.000		0.000		0.000		0.603	21.23		0.110	3.95

Proposed Conditions

Basin ID		Basin Descriptions								100-Year, 6-Hr			10-Year, 6-Hr		
		Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
D1	D-1		334,175	7.67	0.01199	0%	0.000	0%	0.000	15%	1.151	8.521	1.823	1.165	31.80
D2	E-1		65,162	1.50	0.00234	0%	0.000	0%	0.000	30%	0.449	1.047	1.676	0.209	5.86
D3	E-1		46,626	1.07	0.00167	0%	0.000	0%	0.000	22%	0.235	0.835	1.754	0.156	4.32
D4	E-1		23,011	0.53	0.00083	0%	0.000	0%	0.000	26%	0.137	0.391	1.715	0.076	2.10
D5	E-1		67,494	1.55	0.00242	0%	0.000	0%	0.000	75%	1.162	2.587	1.235	0.159	5.03
D6	E-1		120,421	2.76	0.00432	0%	0.000	0%	0.000	25%	0.691	2.073	1.725	0.397	11.04
D7	E-1		30,869	0.71	0.00111	0%	0.000	0%	0.000	15%	0.106	0.602	1.823	0.108	2.94
D8	E-1		29,154	0.67	0.00105	0%	0.000	0%	0.000	100%	0.669	1.970	1.970	0.292	8.24
Total			716,911	16.46	0.02572		0.000	0%	0.000	3.932	12.526	66.024	1.439	42.059	142.059

SWQV		
Basin ID	Vol Required (cf)	Provided (cf)
D1	-	0
D2	1,596	0
D3	1,273	0
D4	596	0
D5	591	0
D6	3,161	9,368
D7	918	0
D8	1,020	0
Total		9,368

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d$
Volume = Weighted E * Total Area
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (in.)			
Zone 1	100-Year	10-Year	
Ea	0.44	0.08	
Eb	0.67	0.22	
Ec	0.99	0.44	
Ed	1.97	1.24	

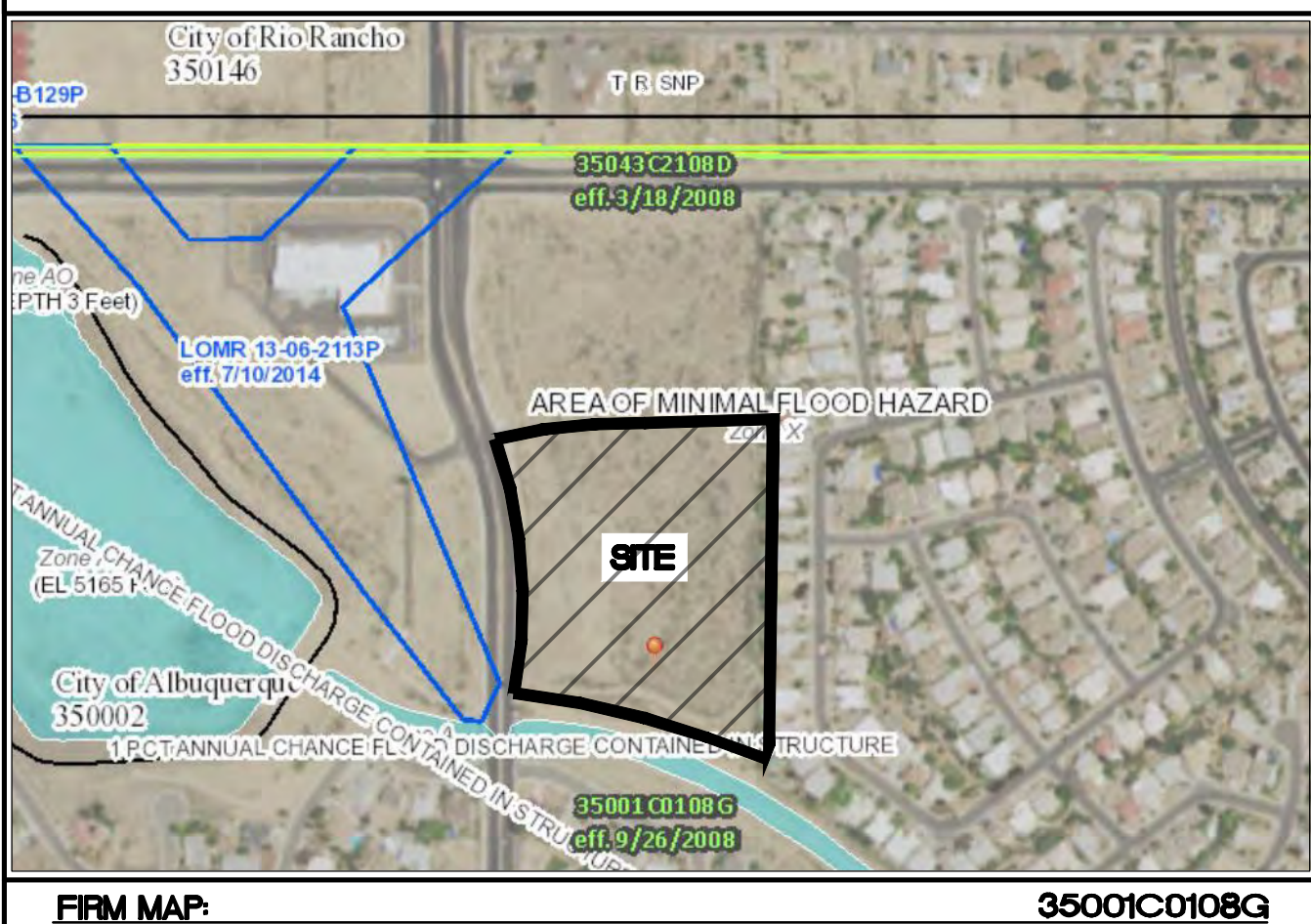
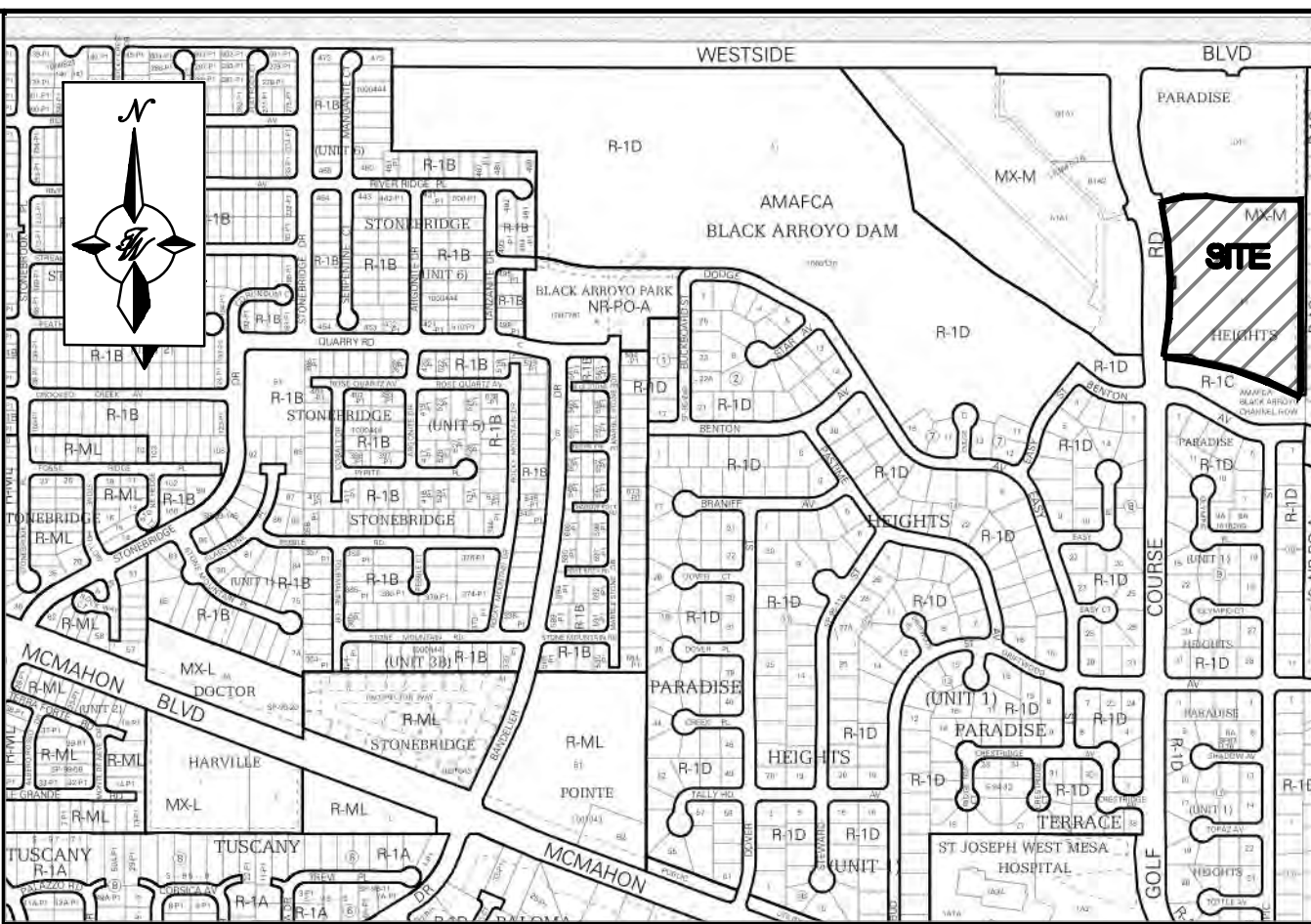
Peak Discharge (cfs/acre)			
Zone 1	100-Year	10-Year	
Qa	1.29	0.24	
Qb	2.03	0.76	
Qc	2.87	1.49	
Qd	4.37	2.89	

SWQV Pond Volume Calculation		
Area at Mid Depth	1,171	Sq. Ft.
Depth of Pond	8	Ft.
Total Volume	9,368	Cubic Ft.

Stormwater Quality Volume

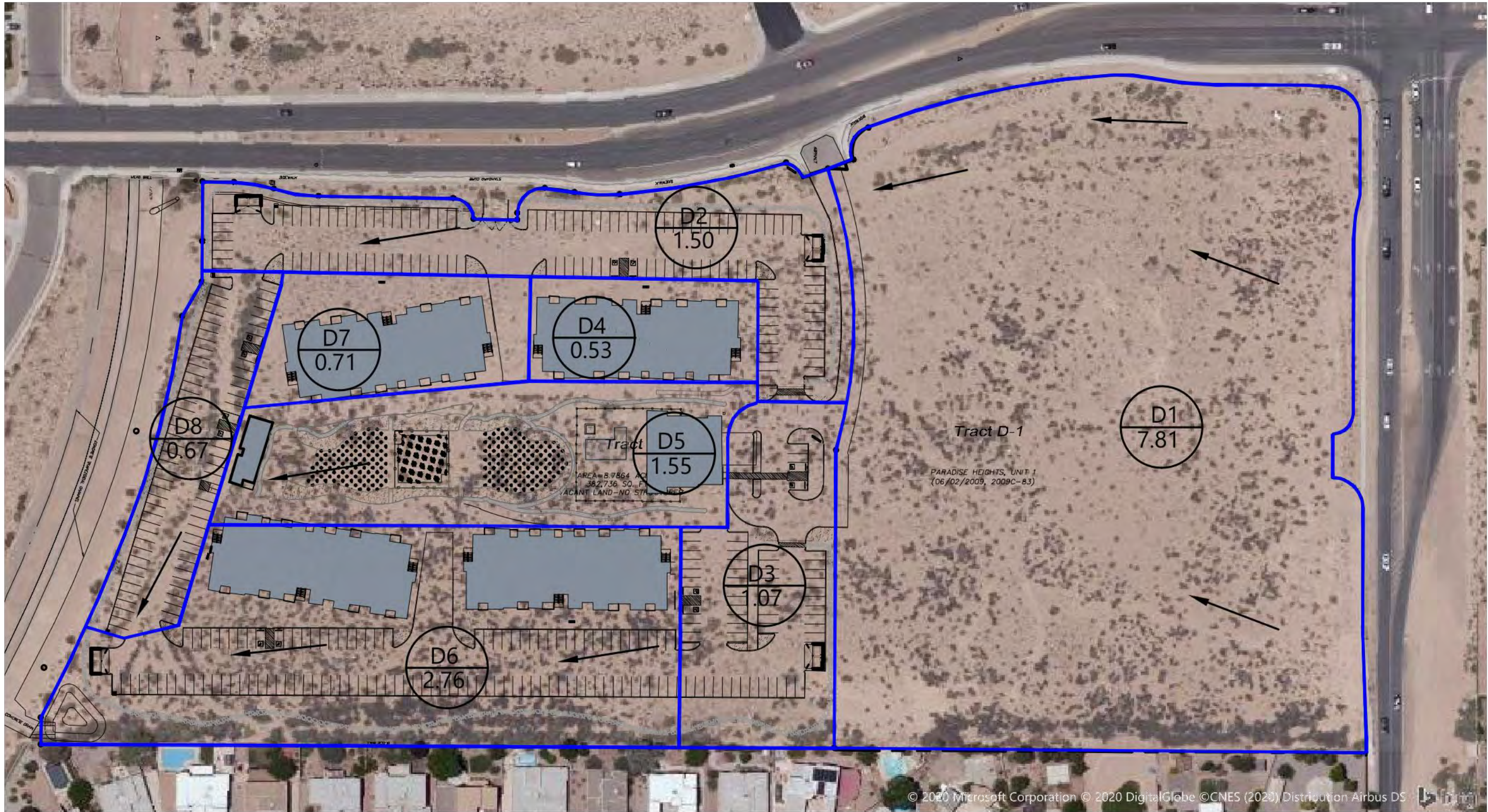
Total Impervious Area = Σ Area in "Treatment D"
Retainage depth = 0.42" Per DPM Pg. 272
Retention Volume = $= 0.035 \times \text{Area}$

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

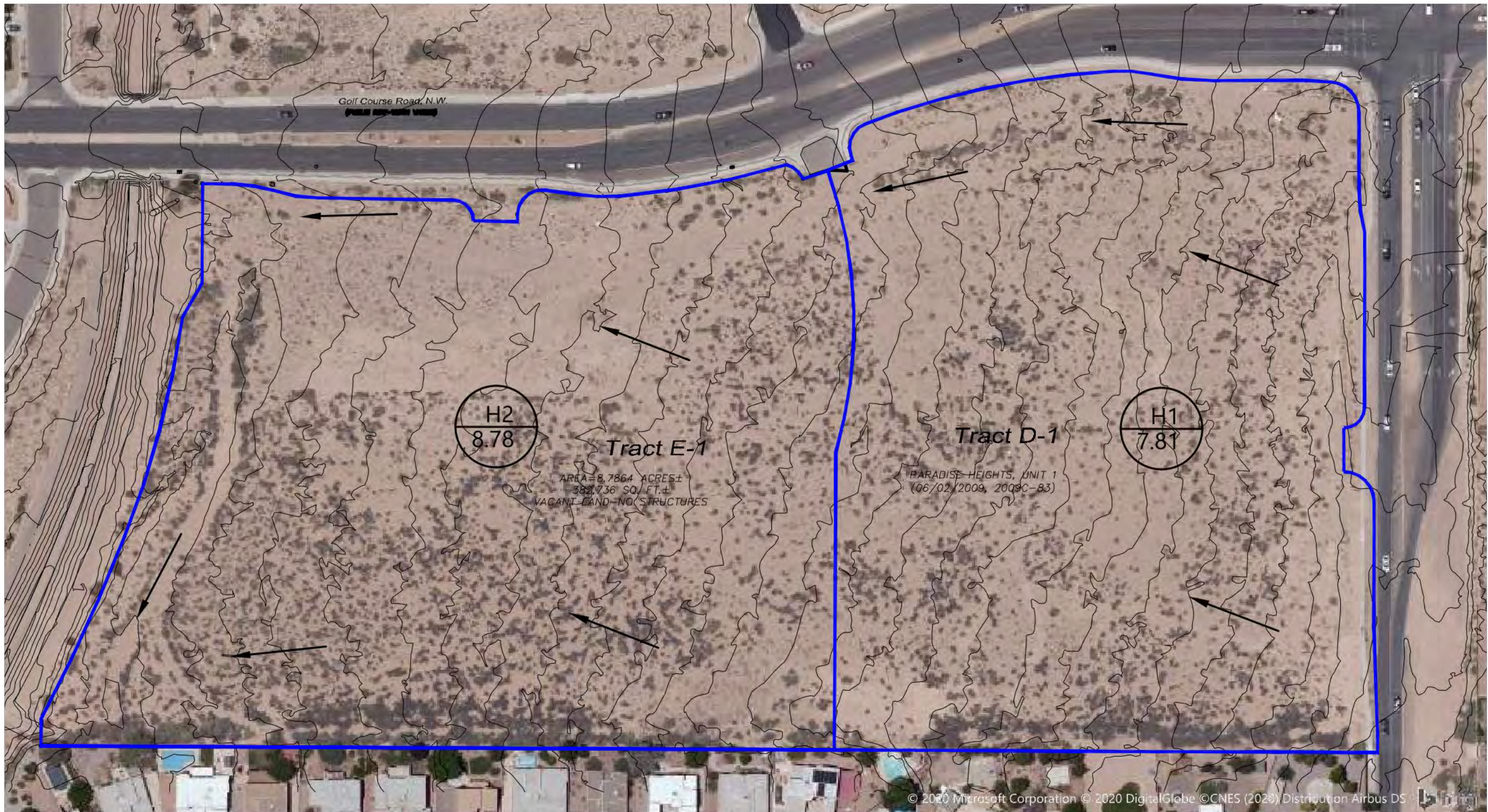
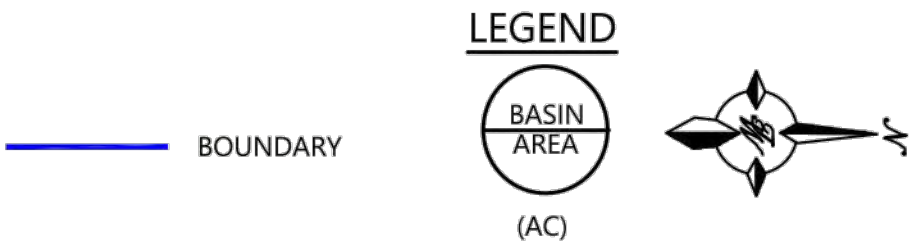


PRELIMINARY - NOT FOR CONSTRUCTION

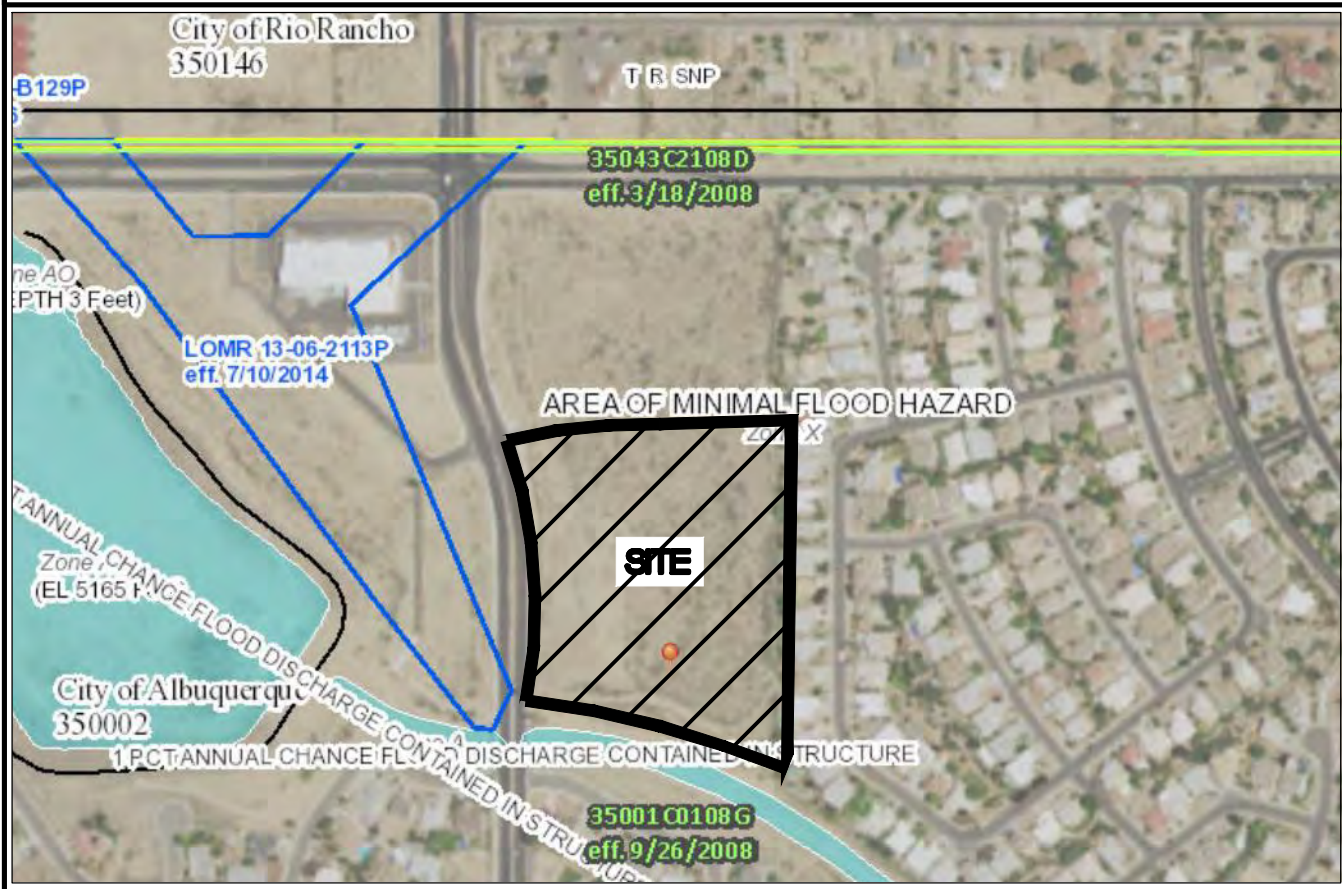
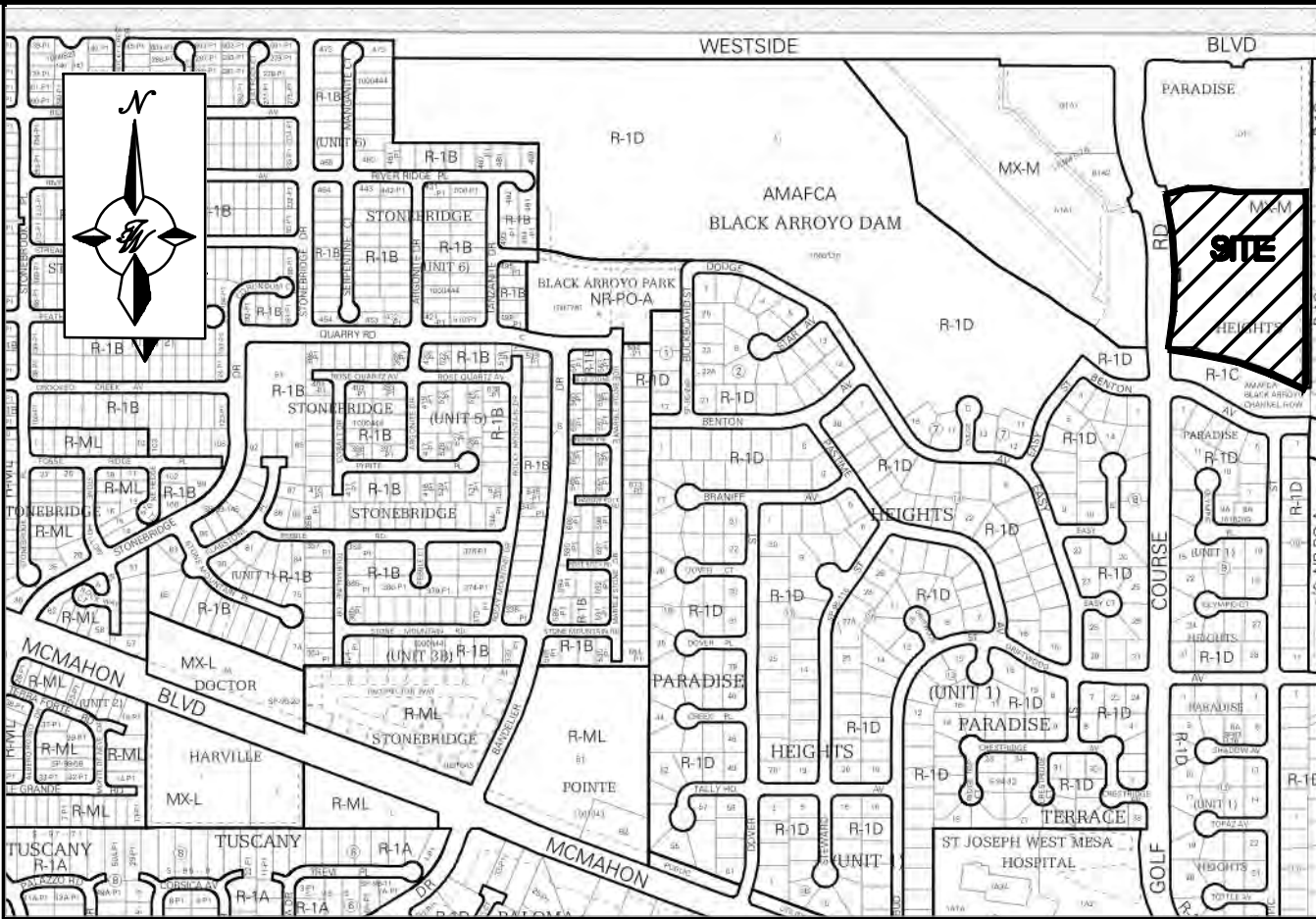
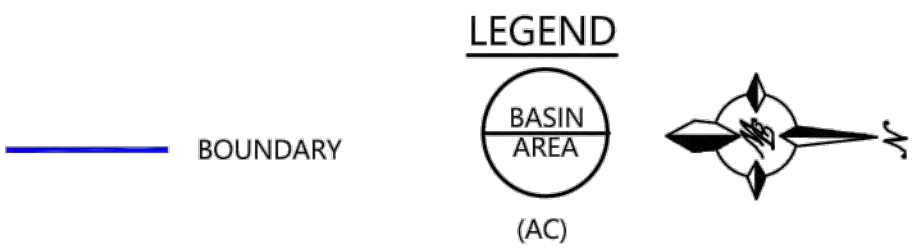
ENGINEER'S SEAL RONALD R. BOHANNAN PROFESSIONAL ENGINEER NEW MEXICO 7868 6/26/2020	WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE CONCEPTUAL GRADING & DRAINAGE PLAN	DRAWN BY BF DATE 6/26/2020 2020013_GRB_VER B
		SHEET # C2 JOB # 2020013



PROPOSED BASIN MAP
DEVELOPED CONDITION - 10800 GOLF COURSE RD. NW



HISTORIC BASIN MAP
EXISTING CONDITION - 10800 GOLF COURSE RD. NW

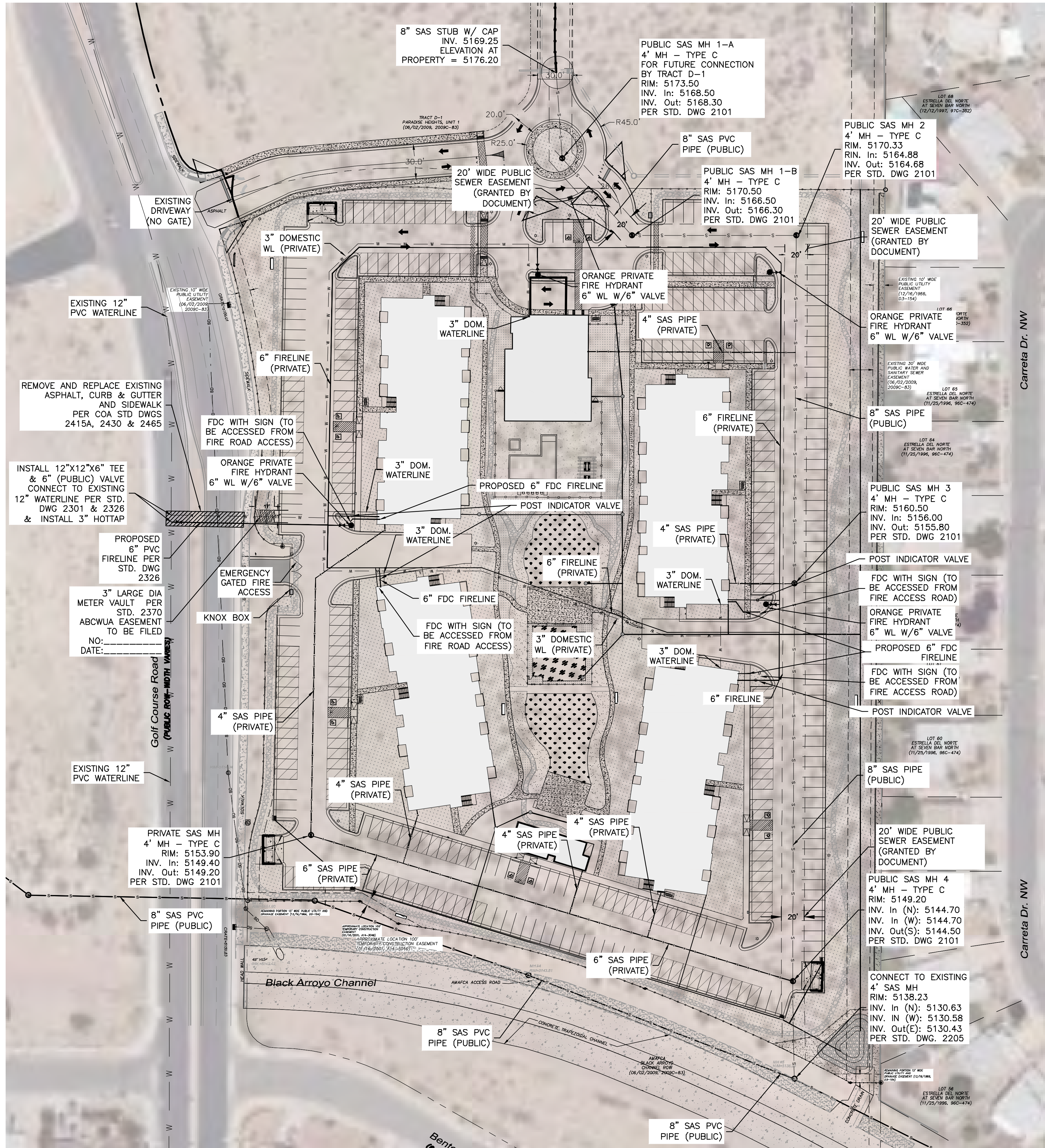


Pipe Num ber	D	Slope	Area	R	Q Provided
	(in)	(%)	(ft^2)		(cfs)
1	30	2.00	4.91	0.625	58.16
2	30	1.00	4.91	0.625	41.13
3	24	2.00	3.14	0.500	32.08
4	24	1.00	3.14	0.500	22.68
5	18	2.00	1.77	0.375	14.90
6	18	1.00	1.77	0.375	10.53

Manning's Equation:
 $Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$
A = Area
R = D/4
S = Slope
n = 0.013

PRELIMINARY - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	WINTERGREEN LUXUARY APARTMENTS GOLF COURSE RD NE CONCEPTUAL GRADING & DRAINAGE PLAN	DRAWN BY BF
		DATE 6/26/2020
		2020013_GRB_VER B
		SHEET # C2-B
		JOB # 2020013
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	

\\TWS\ASZ_Drive\2020\2020013 Apartments at Golf Course Rd.dwg\DRB\2020013_MUB.dwg Feb 16, 2021 - 8:15am

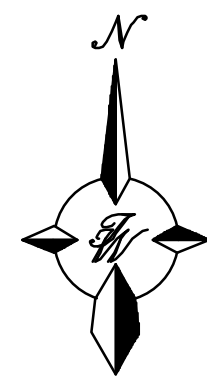


LEGEND

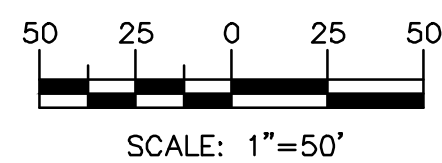
	CURB & GUTTER
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	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

ABCWUA AGREEMENTS: WATER AND SEWER SERVICEABILITY LETTER #200506

WINTERGREEN APARTMENTS DEVELOPMENT AGREEMENT #R-20-19



GRAPHIC SCALE



CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

WATER NOTES:

- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
- ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
- ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
- CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
- RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
- ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
- CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
- CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

GENERAL UTILITY NOTES:

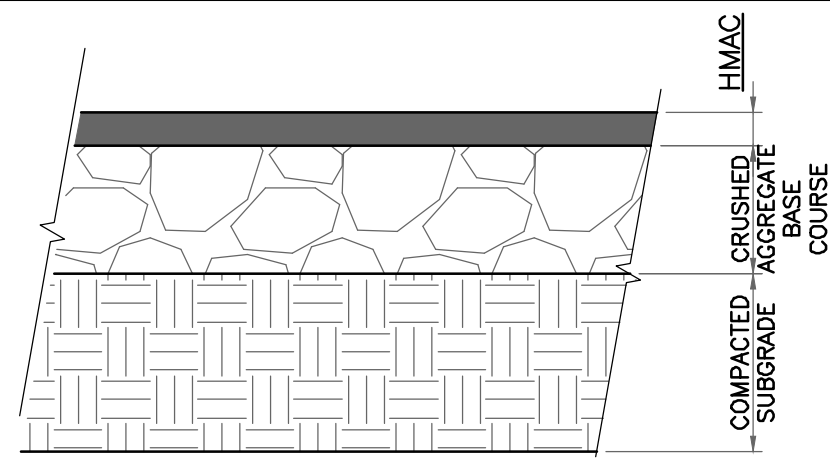
- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
- PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
- AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
- PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
- NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
- P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
- CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

ABCWUA NOTES:

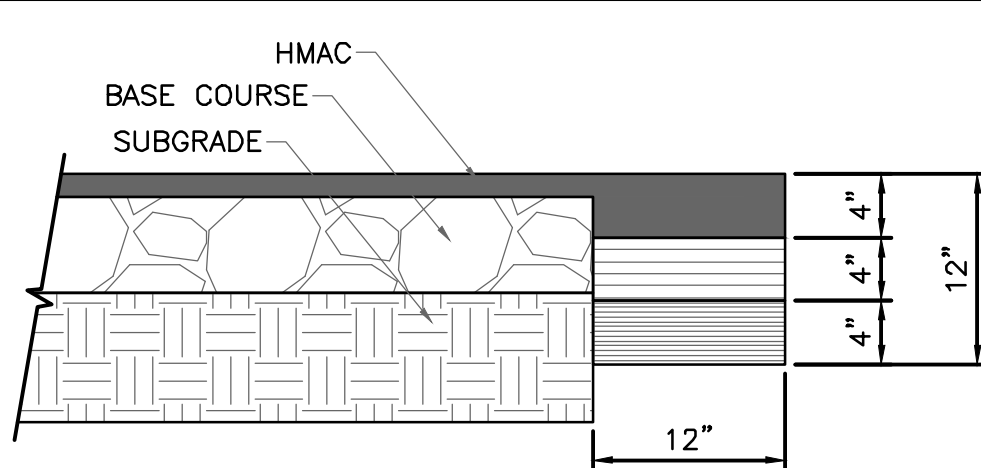
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/483/729/](http://abcwua.org/content/view/full/483/729/).

ISSUED FOR DRB (NOT FOR CONSTRUCTION)

	ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS	DRAWN BY BF
		10820 GOLF COURSE RD. NW	DATE 2/15/2021
		CONCEPT MASTER UTILITY PLAN	2020013_MUB
			SHEET # C3
		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2020013



PAVEMENT SECTION DETAIL
SCALE: 1"=1'



PAVEMENT TERMINUS
SCALE: 1"=1'

PAVEMENT NOTES

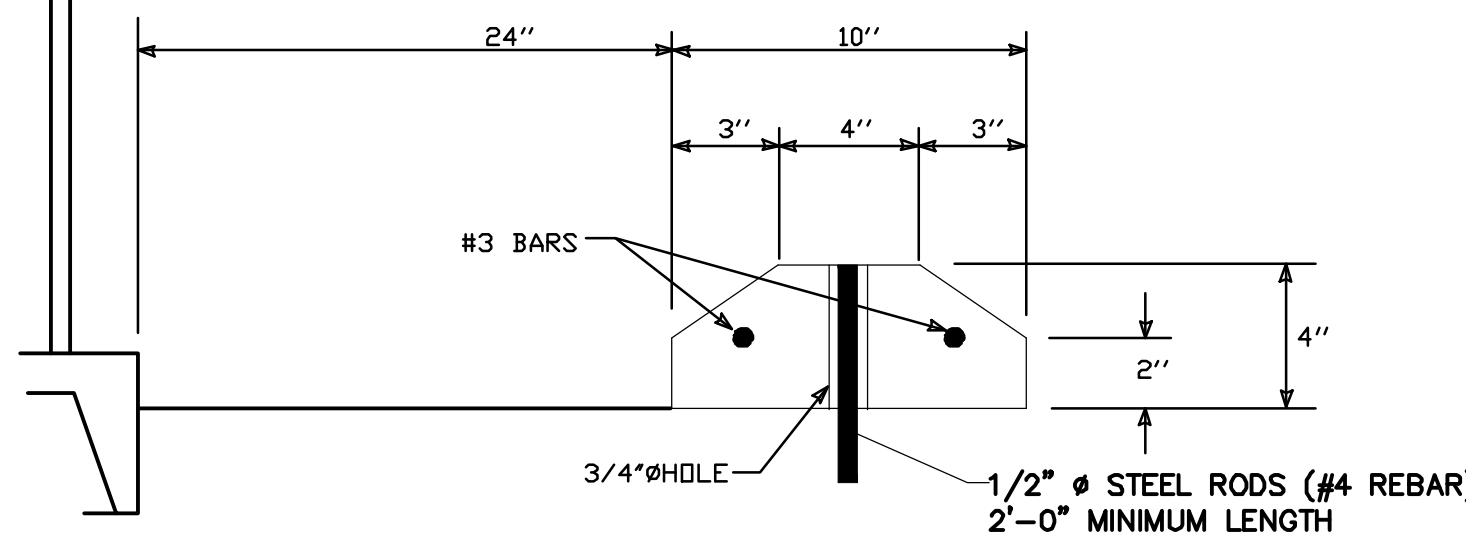
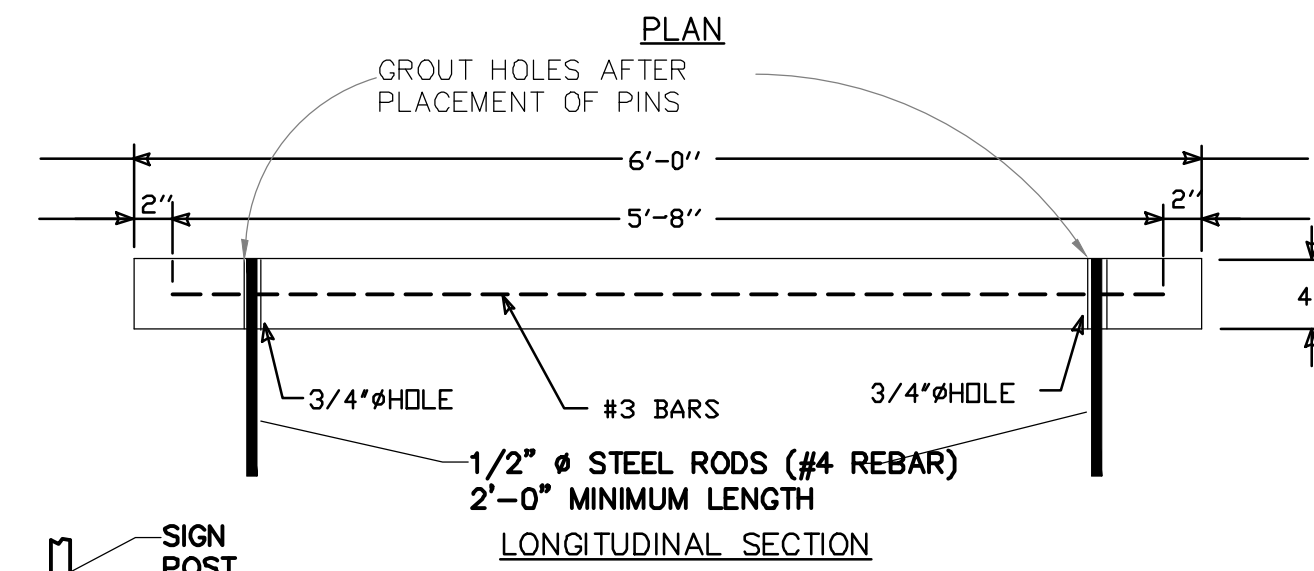
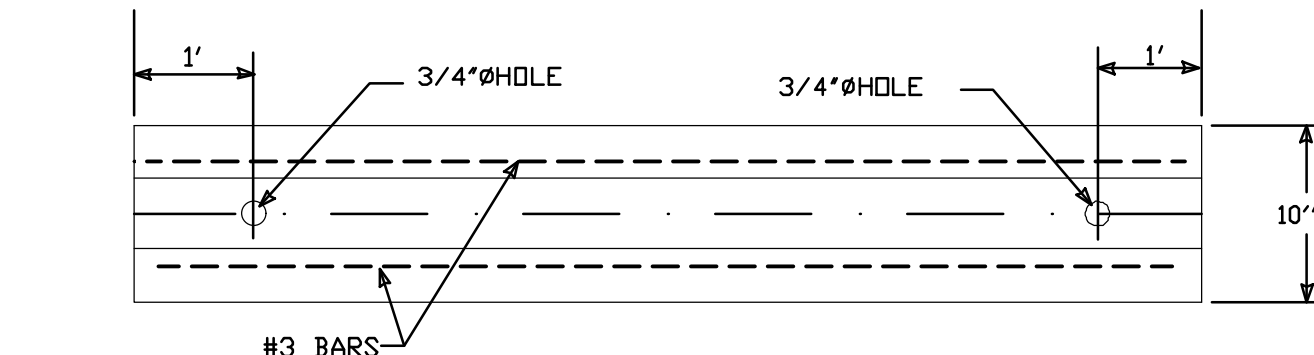
- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

TRENCHING

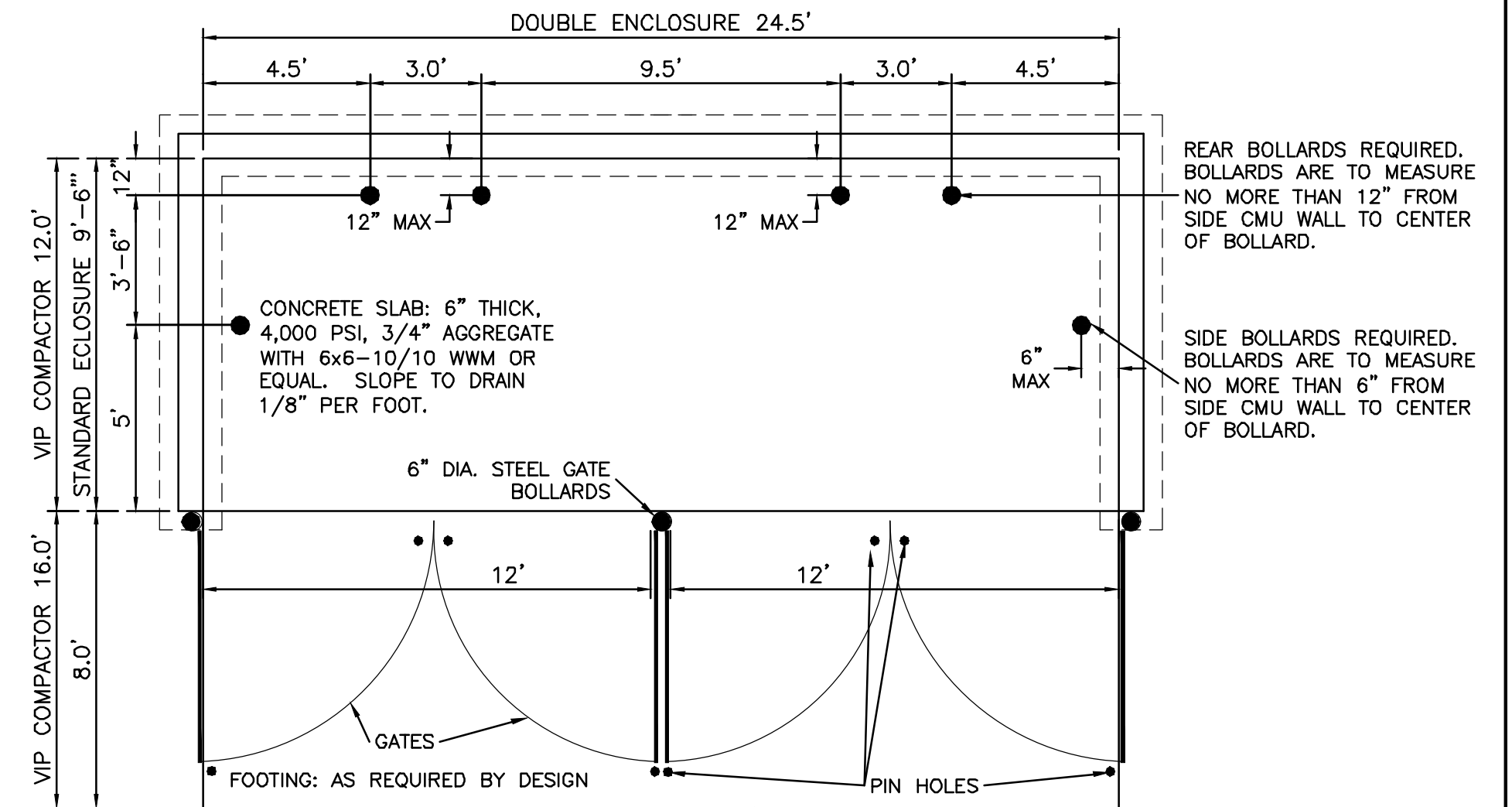
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

NOTE:

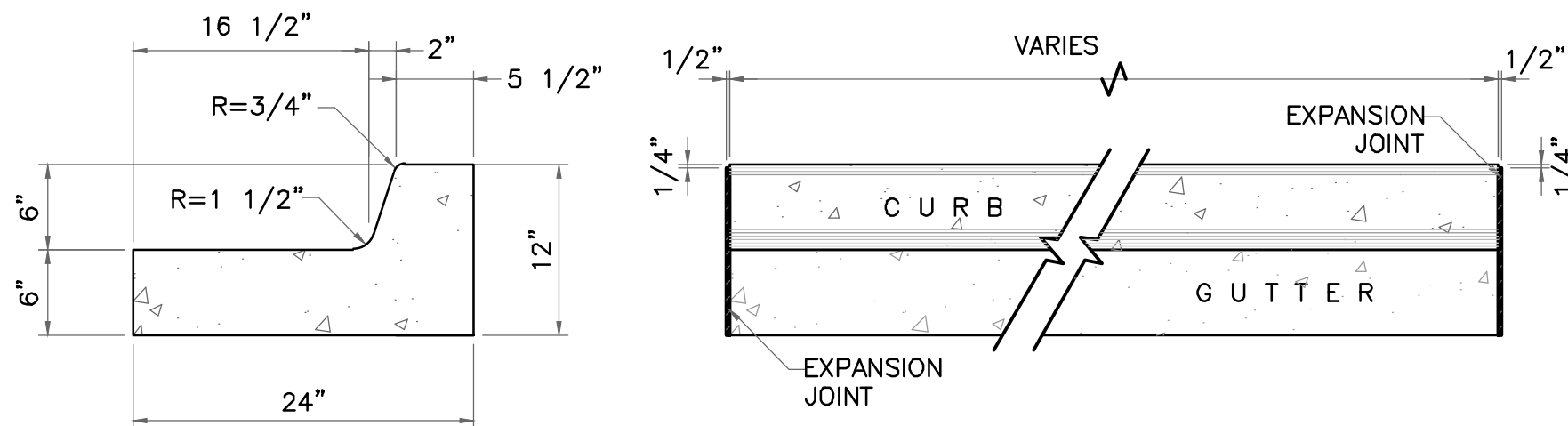
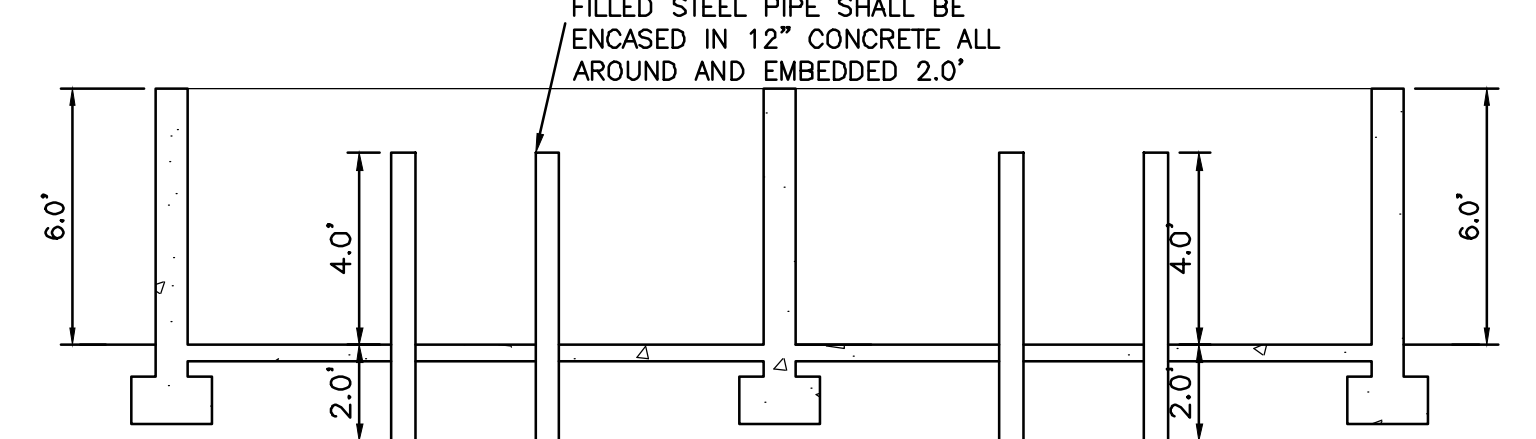
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE, FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



WHEEL STOP



CONCRETE SLAB: 6" THICK, 4,000 PSI, 3/4" AGGREGATE WITH 6x6-10/10 WWM OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.



END SECTION

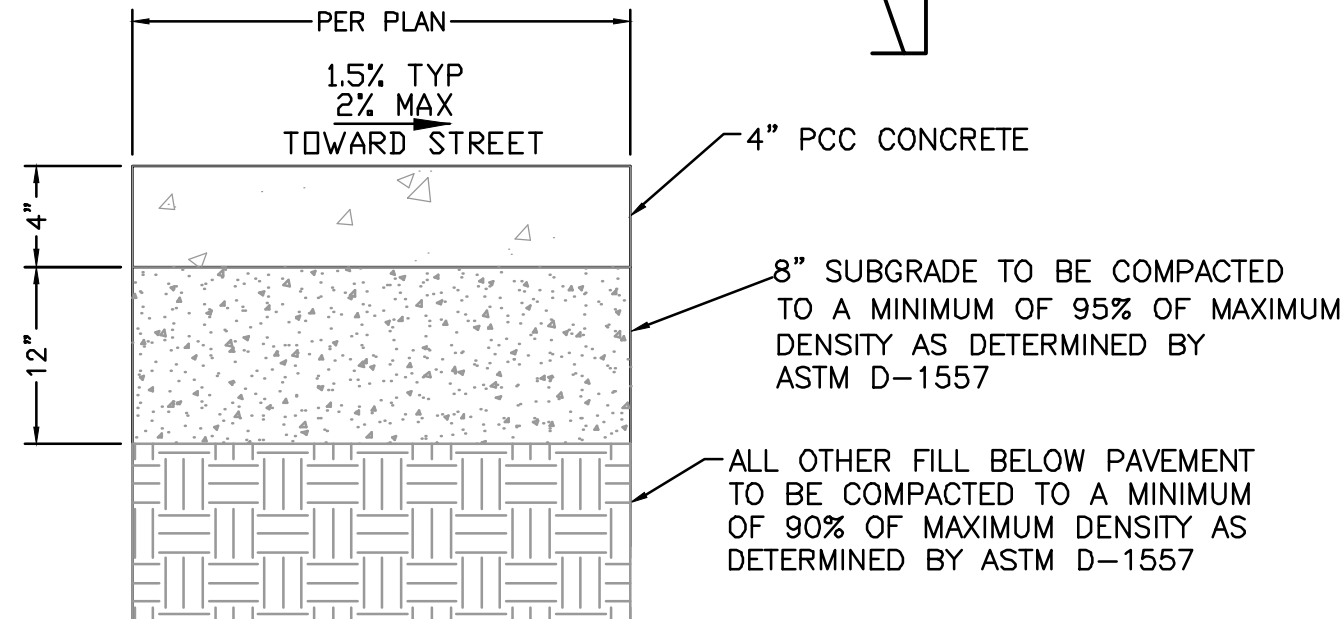
PLAN VIEW

NOTES:

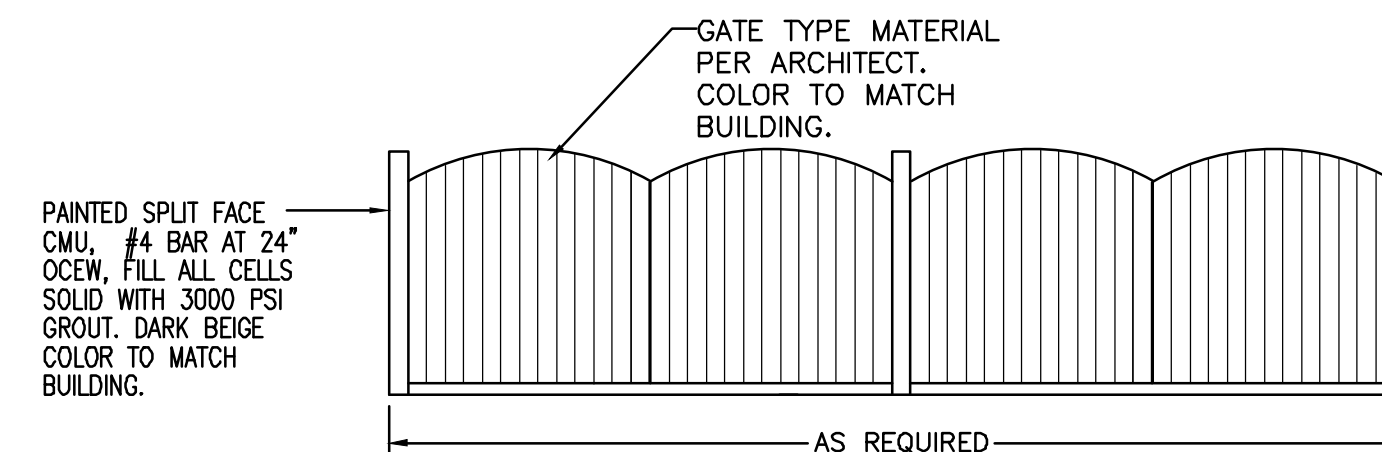
- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
- CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
- ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
- CONCRETE: CLASS "A" 3000 PSI.
- EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
- THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

STANDARD 6" CURB & GUTTER DETAIL

SCALE: 1"=1'

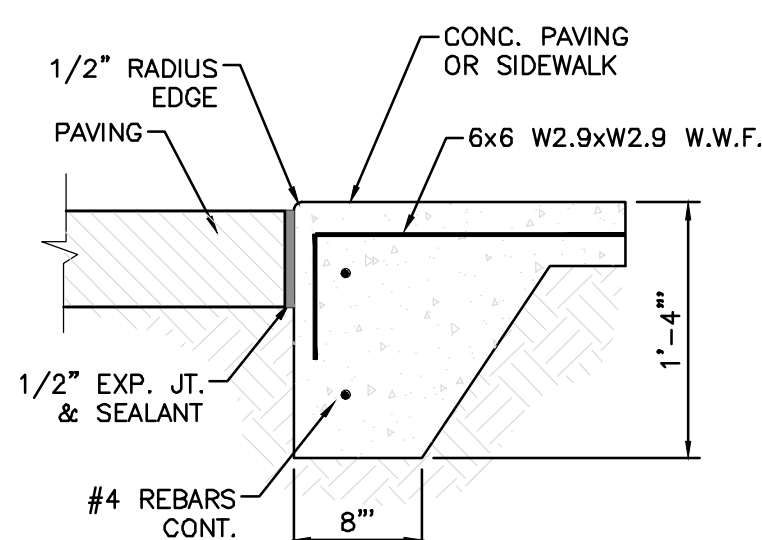


CONCRETE SIDEWALK SECTION



DOUBLE DUMPSTER ENCLOSURE DETAIL

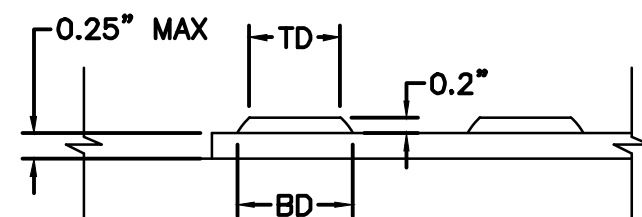
NTS



ZERO CURB
NTS

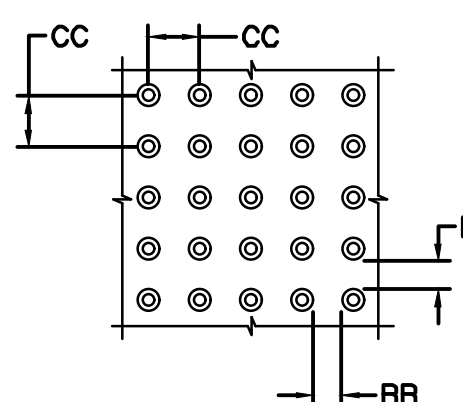
NOTES:

- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.



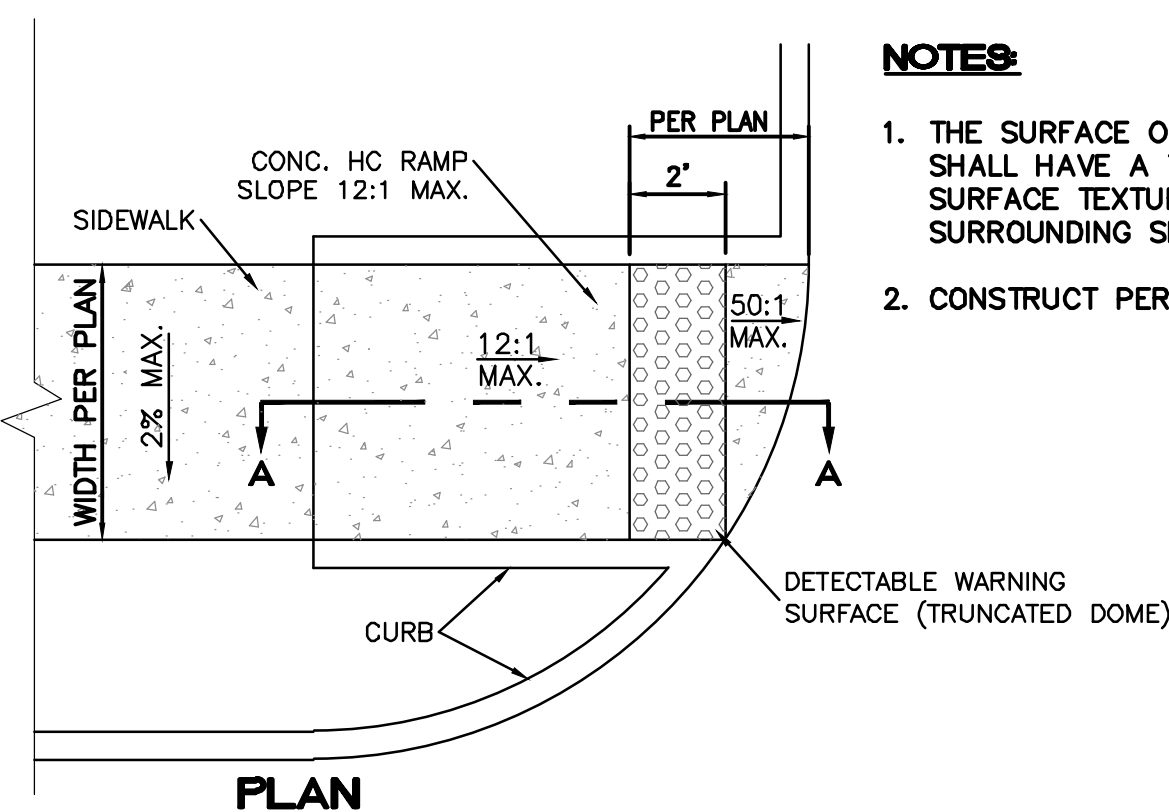
DOME SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

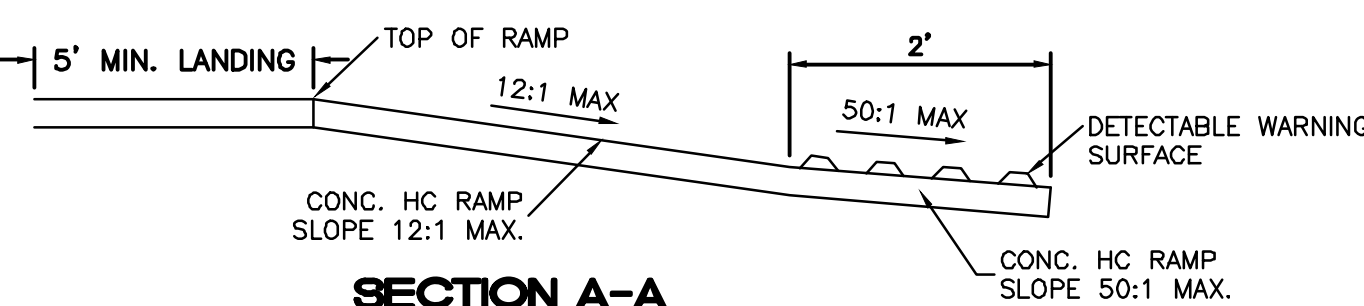


DOME SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



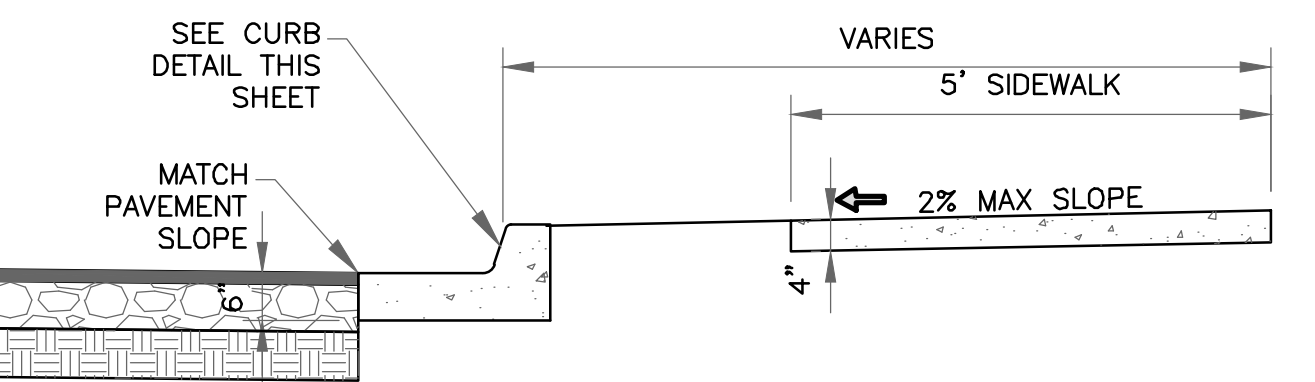
PLAN



SECTION A-A

UNIDIRECTIONAL HC RAMP

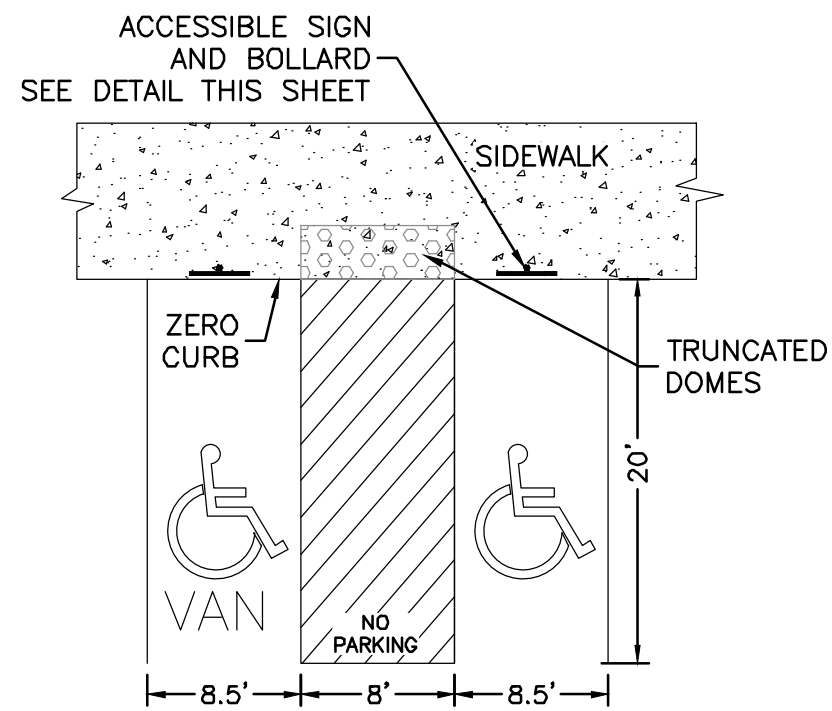
NOT TO SCALE



NOTES:

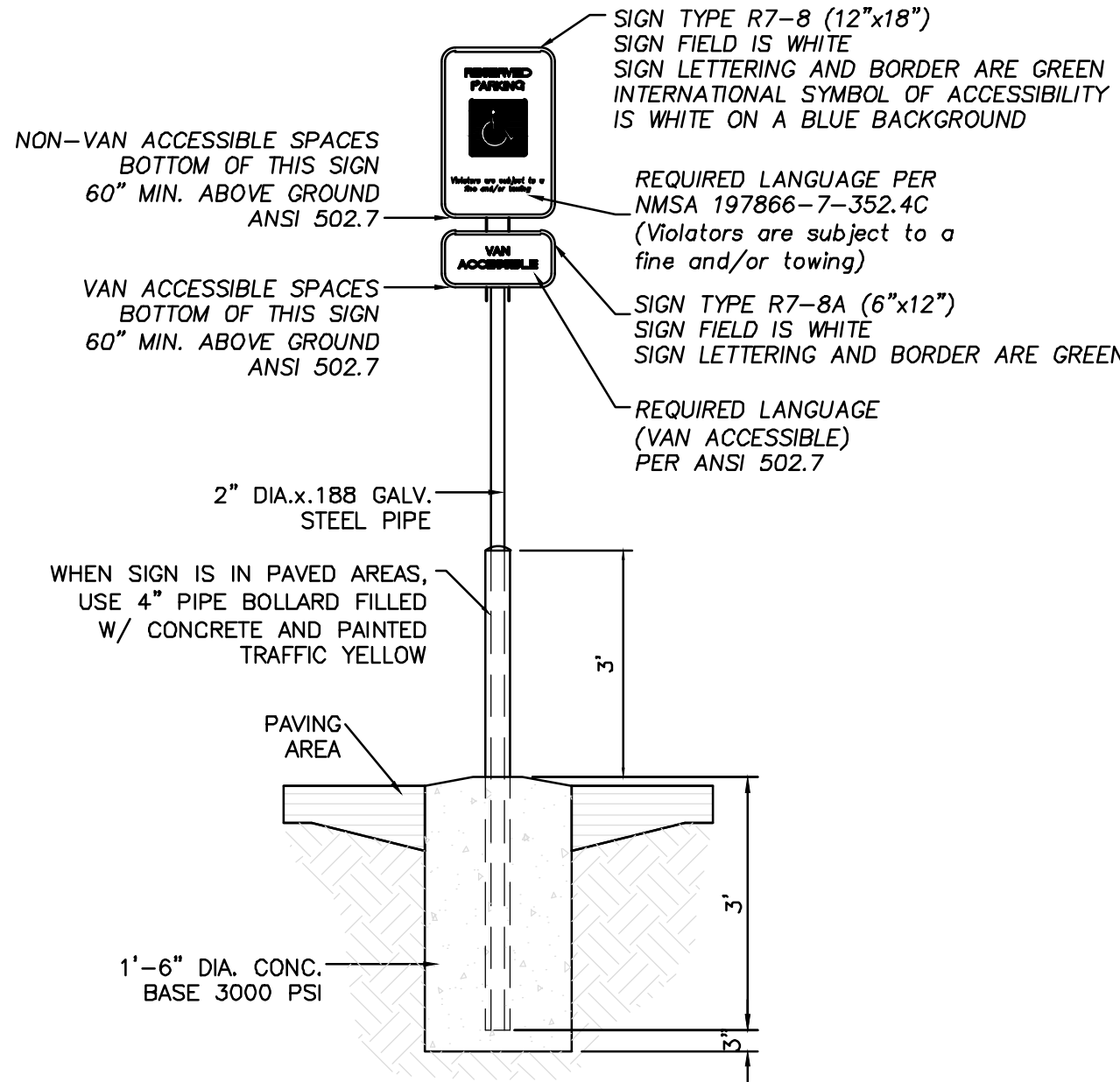
- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	CONSTRUCTION DETAILS	DATE 2/15/2021
 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	SHEET # C4	JOB # 2020013

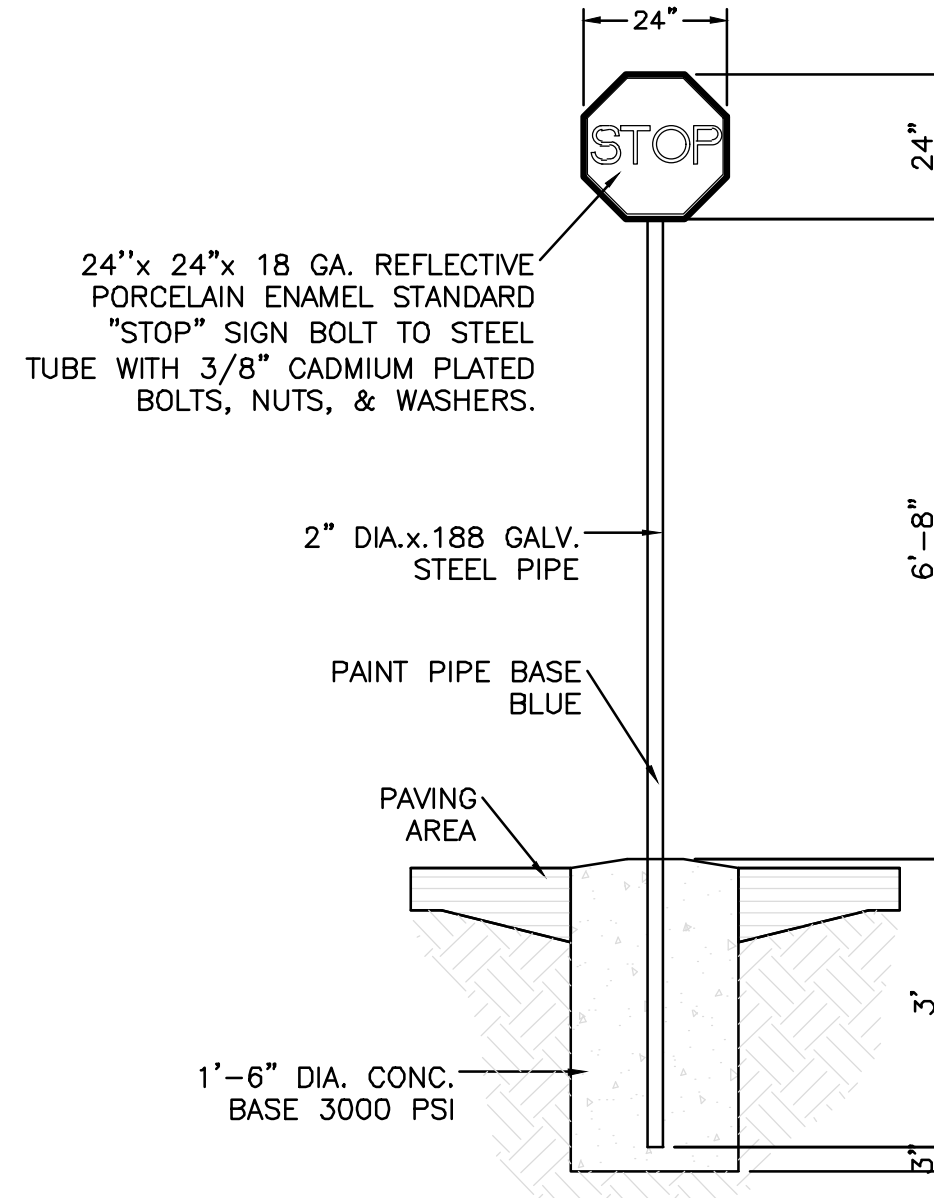


NOTES:
1)International Symbol of Accessibility shall be painted on the pavement at rear of space, while symbol on blue background.
2)Parking space lines and diagonal striping to be painted blue.
3)Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
4)ADA parking areas - not to exceed a slope greater than 2% in any direction

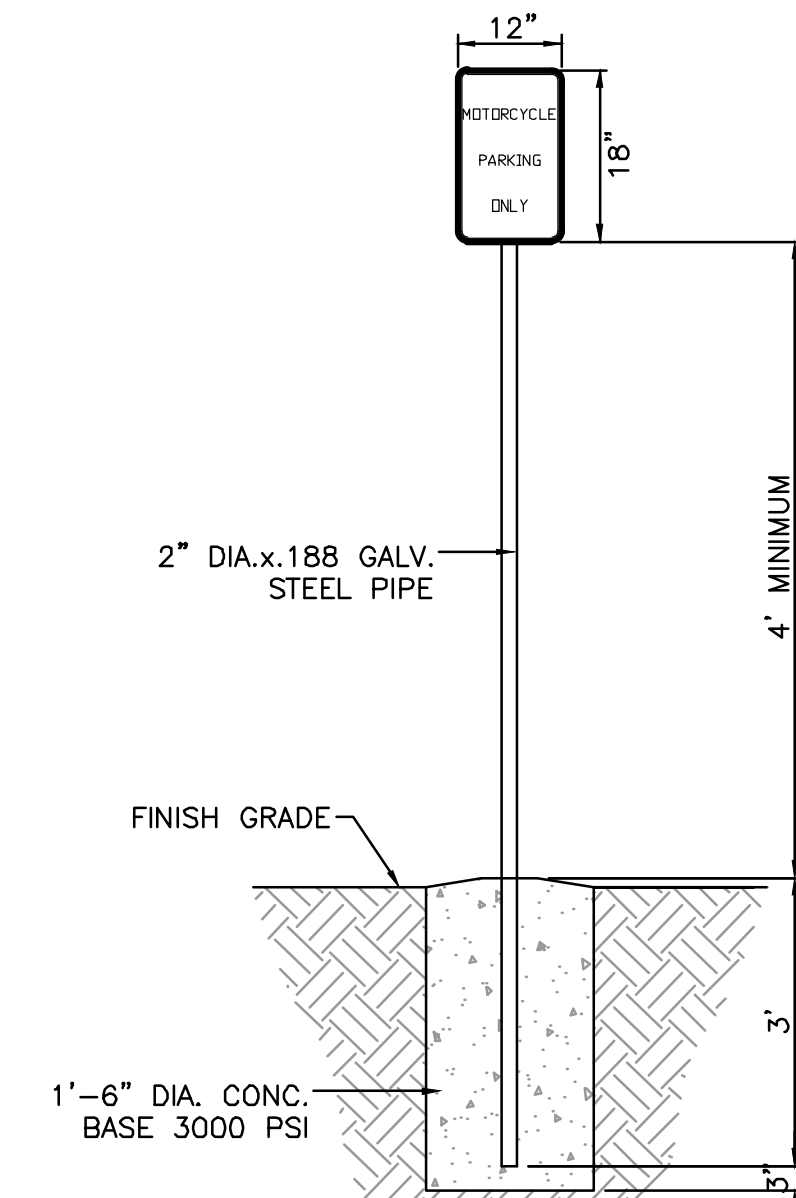
HC PARKING DETAIL
NTS



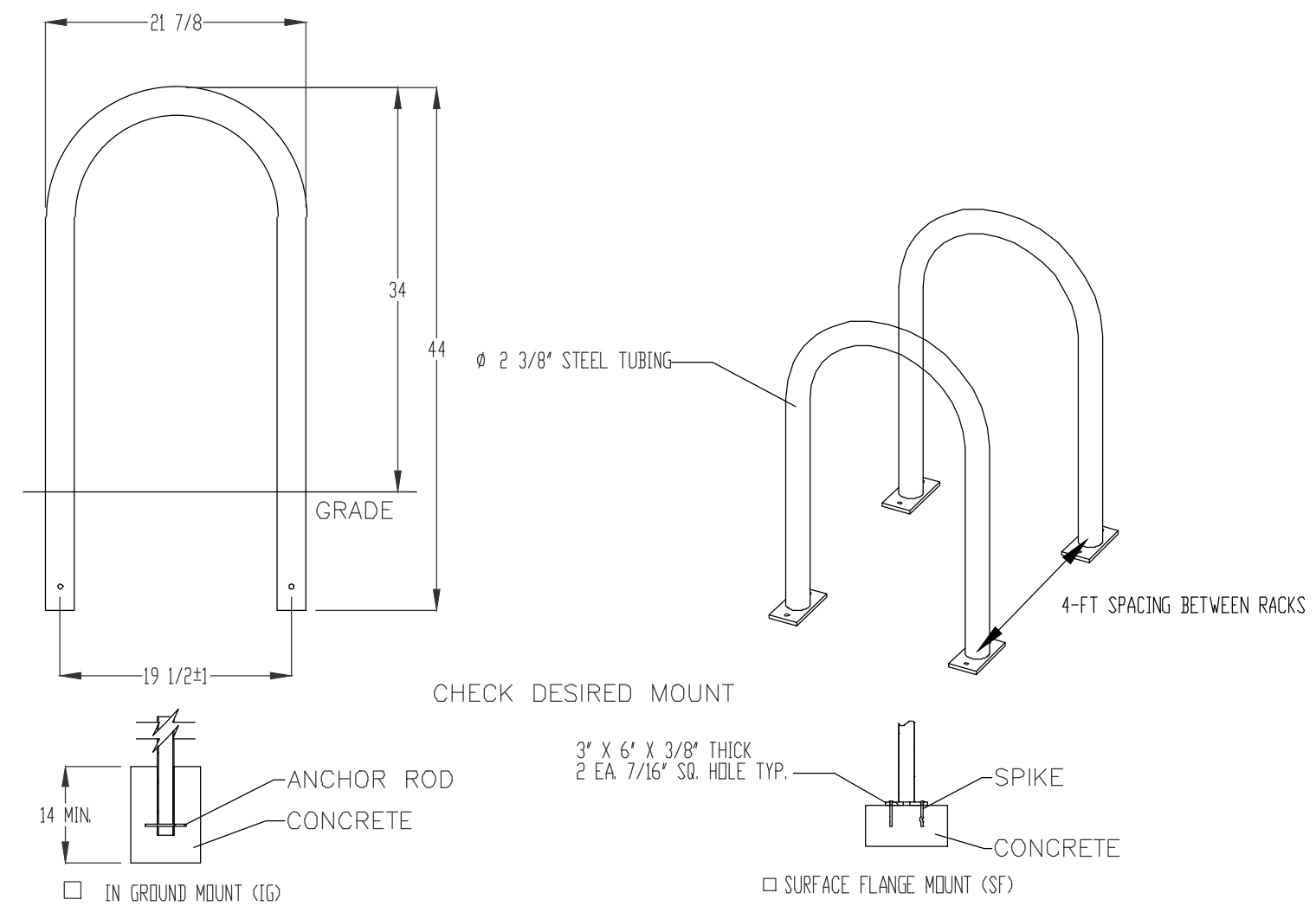
ACCESSIBLE PARKING SIGN
NTS



STOP SIGN
R24-1



MOTORCYCLE PARKING SIGN
NTS



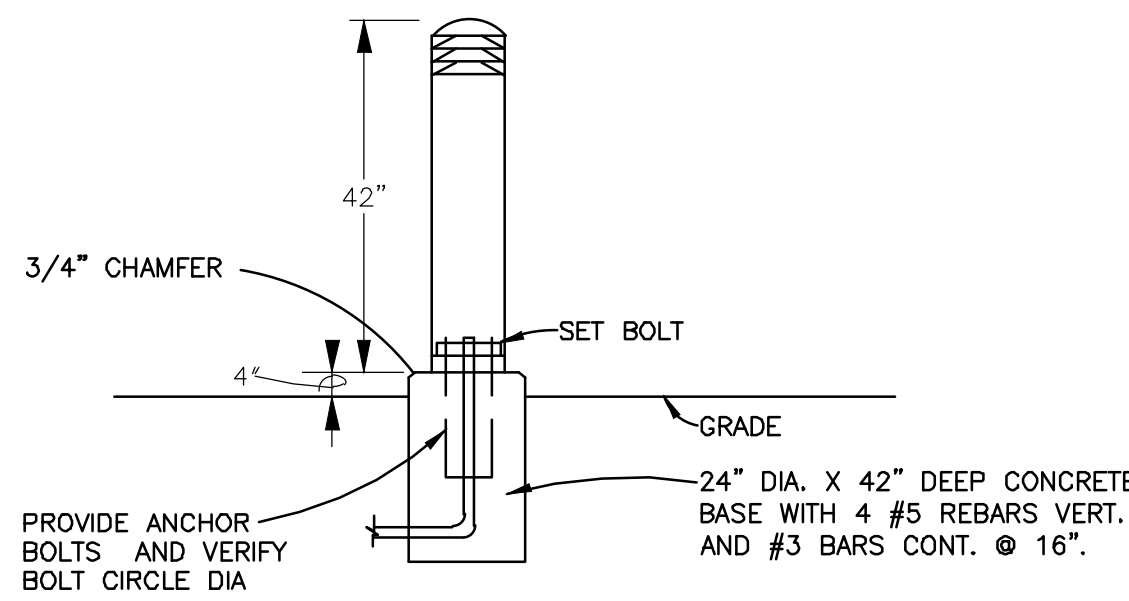
PRODUCT: 10238-1005
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SNC
CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (IF NEEDED), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

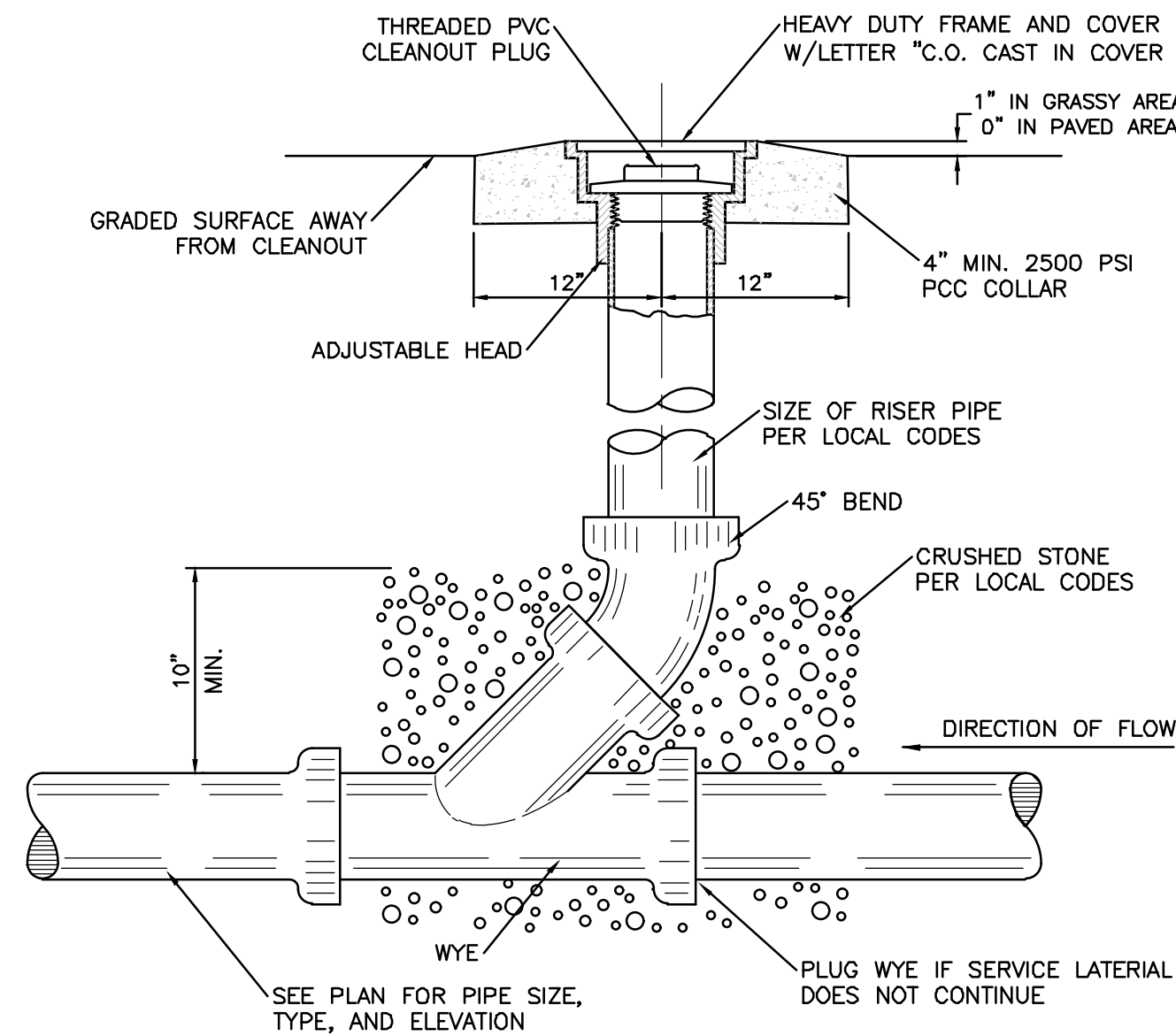
BIKE RACK DETAIL
SCALE: NONE

GENERAL NOTES:

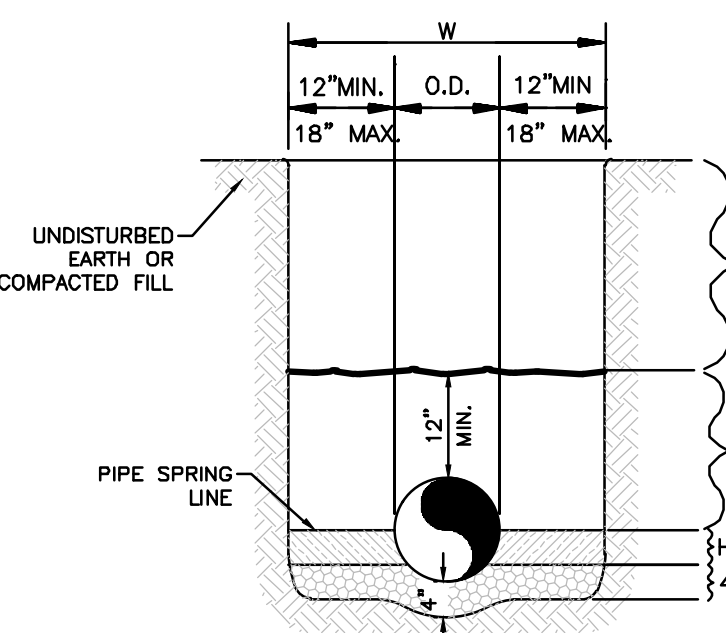
- 1-FT CLEAR ZONE AROUND BICYCLE RACK SHALL BE PROVIDED
- SPACE RACKS 4-FT APART
- NUMBER OF RACKS LISTED ON PLAN
- RACKS SHALL BE A MINIMUM OF 30 INCHES TALL AND 18 INCHES WIDE
- BICYCLE RACKS SHALL BE ANCHORED TO THE CONCRETE PAD
- BICYCLE PARKING SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE



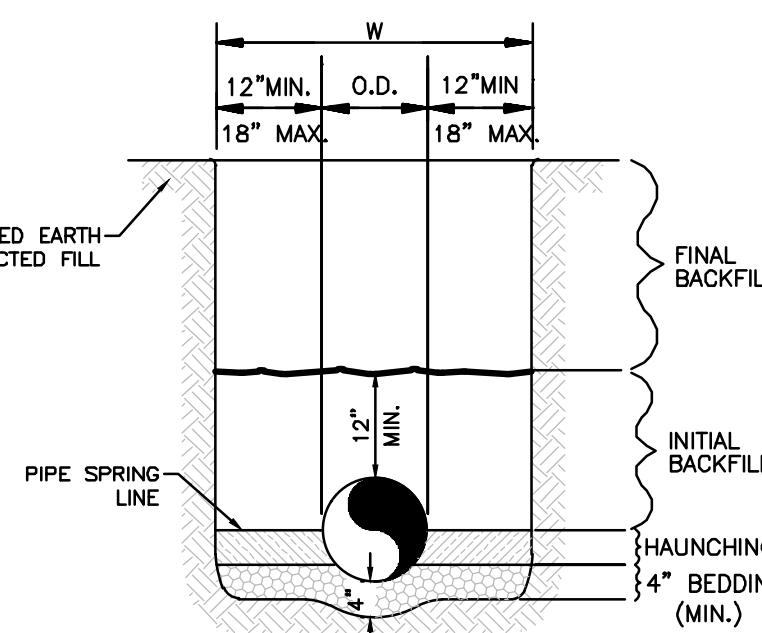
BOLLARD LIGHT FIXTURE DIAGRAM
NTS



SANITARY SEWER CLEAN-OUT
NTS



WATER LINE

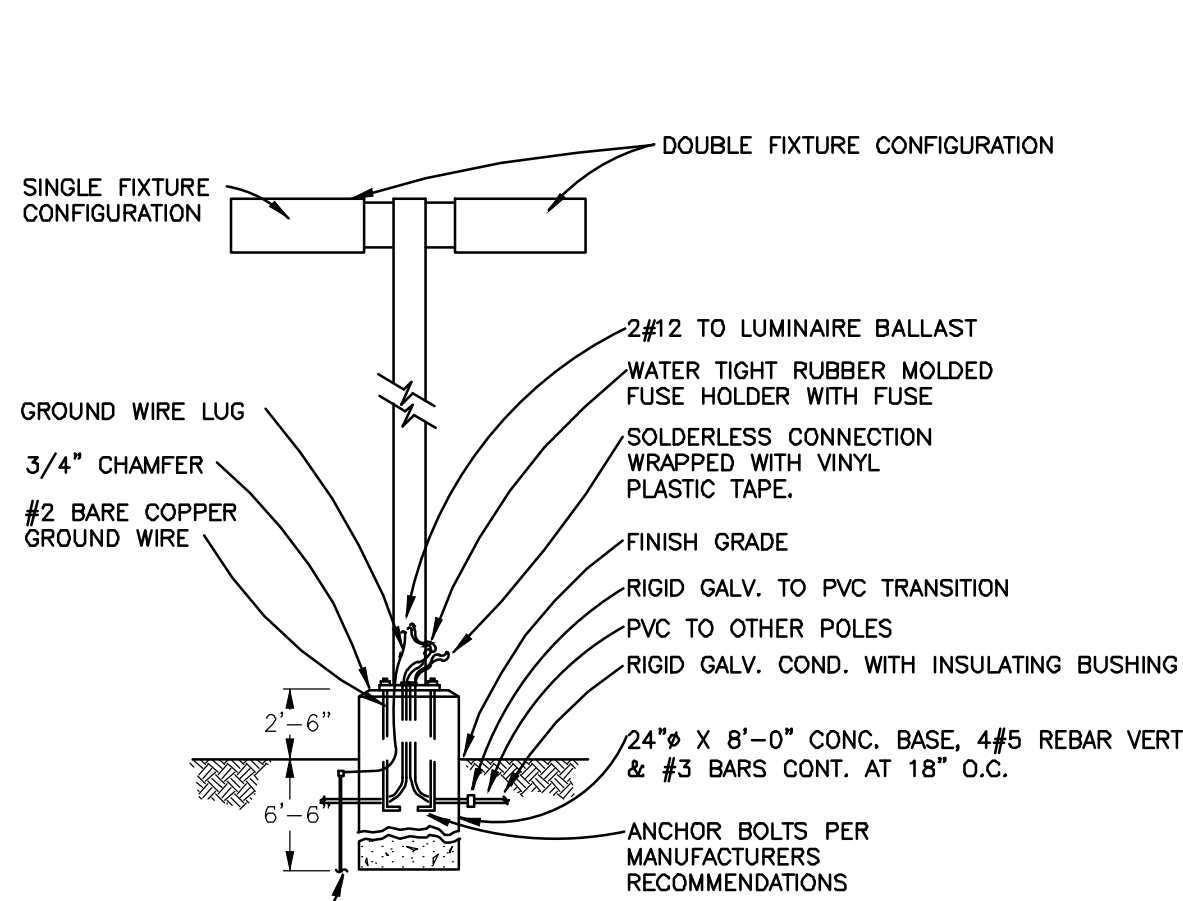


SANITARY SEWER

GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 95% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

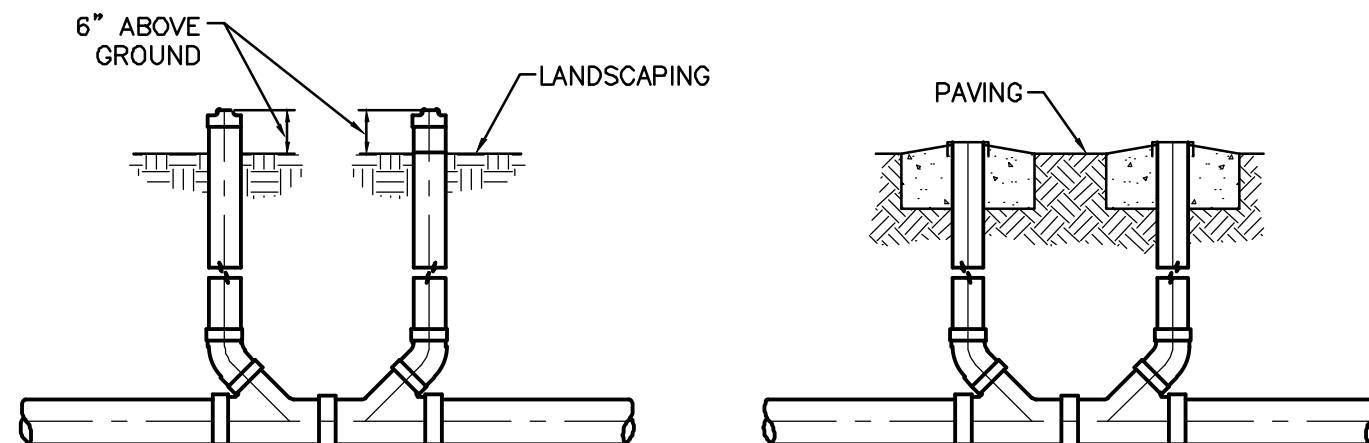
UTILITY TRENCH AND BEDDING DETAIL
NTS



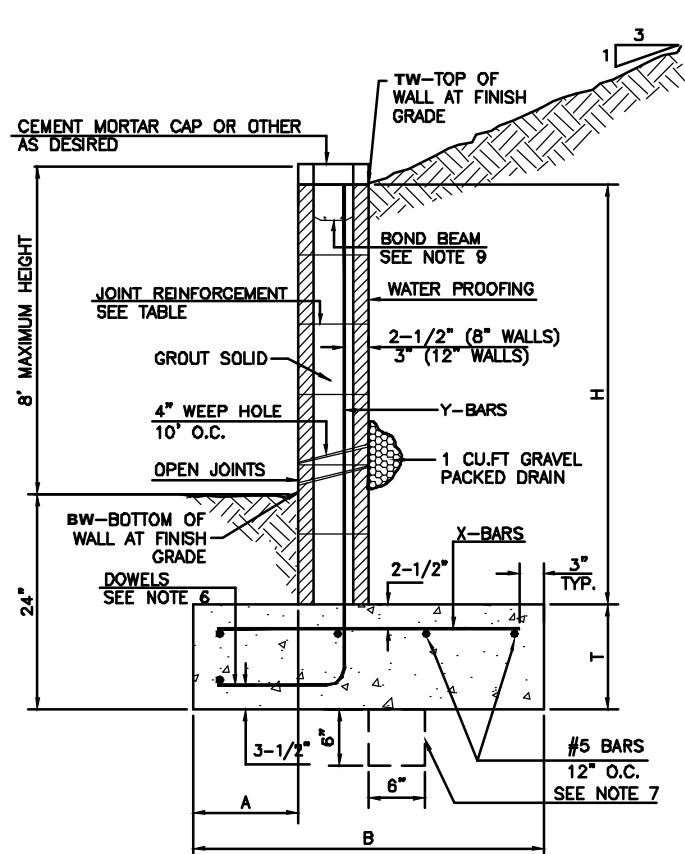
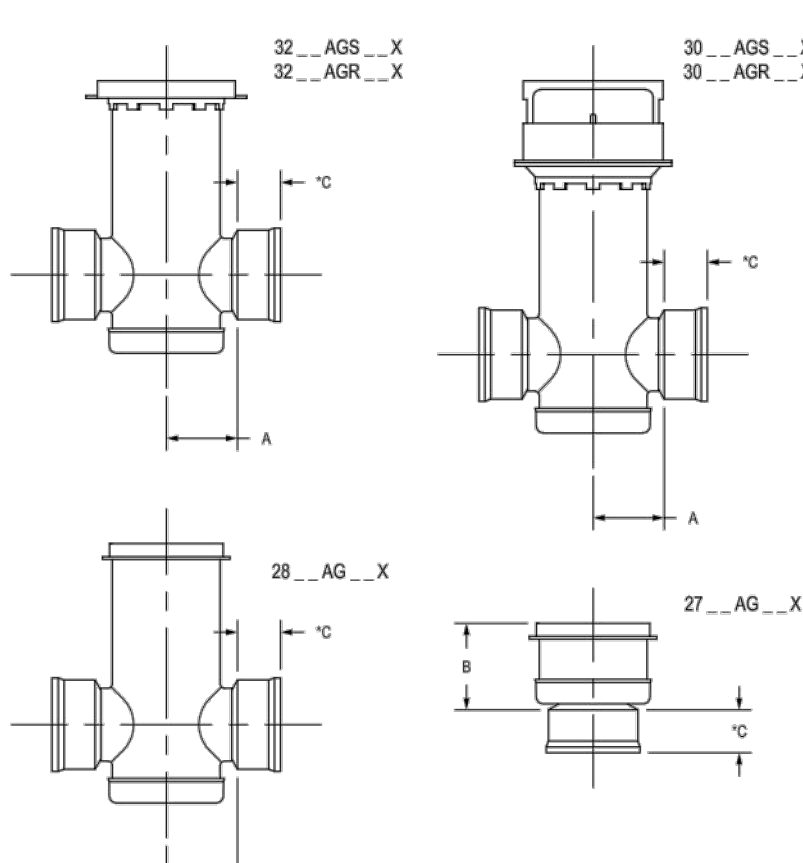
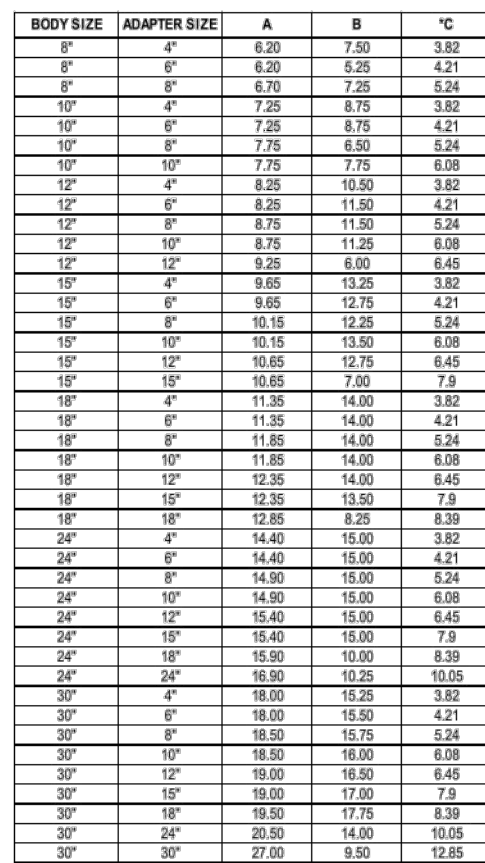
PARKING LOT LIGHTING FIXTURE
NO SCALE

LIGHT POLE DETAIL
NTS

- NOTE:
1. LIGHTING SHALL COMPLY WITH ZONING CODE §14-16-3-9.
2. HEIGHT LIMITED TO 16'.



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



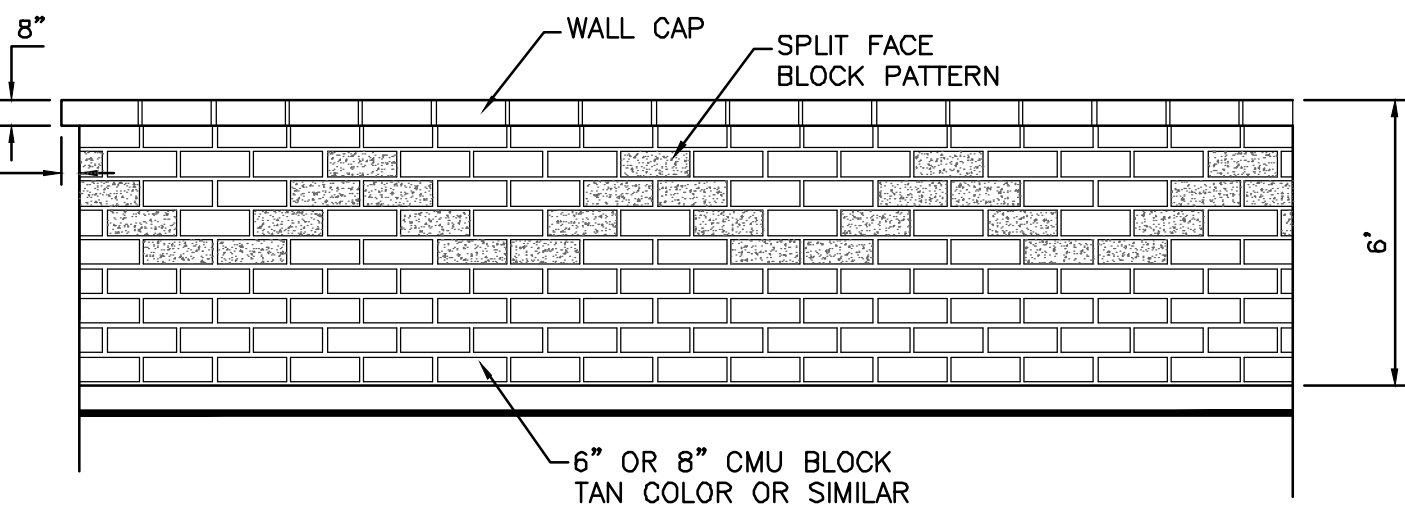
8 INCH REINFORCED		CONCRETE		MASONRY WALL	
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 032" O.C.	
2'-8"	8"	2'-0"	9"	#4 032" O.C.	#4 024" O.C.
3'-4"	8"	2'-0"	9"	#4 032" O.C.	#4 024" O.C.
4'-0"	10"	2'-8"	9"	#4 032" O.C.	#4 024" O.C.
4'-8"	12"	3'-4"	10"	#5 032" O.C.	#4 018" O.C.
5'-4"	14"	3'-10"	10"	#6 016" O.C.	#4 018" O.C.
6'-0"	14"	4'-8"	12"	#6 8" O.C.	#4 012" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 ①18" O.C.	#4 ②24" O.C.
6'-0"	15"	4'-2"	12"	#4 ①18" O.C.	#4 ①18" O.C.
6'-8"	16"	4'-6"	12"	#6 ②24" O.C.	#5 ①18" O.C.
7'-4"	18"	4'-10"	12"	#6 ①18" O.C.	#5 ①18" O.C.
8'-0"	20"	5'-4"	12"	#7 ①18" O.C.	#6 ①12" O.C.
8'-8"	20"	5'-8"	12"	#7 ①16" O.C.	#6 ①12" O.C.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D1557 FOR A DEPTH OF 12" MOISTURE CONTENT TO BE $\pm 2.0\%$.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL SYSTEMS OTHER COURSE.
6. DOWELS SHALL BE THE LEAST EQUIV. SIZE AND SPACING TO MATCH THE PRECAST CONCRETE BAR DIA INTO THE FILLED BLOCK COURSE, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. 12" WALLS UNDER 2'0" CENTERS H EXCEEDS 6'0" USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILESTE EVERY 16'.
8. DETAILING: 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

RETAINING WALL DETAIL

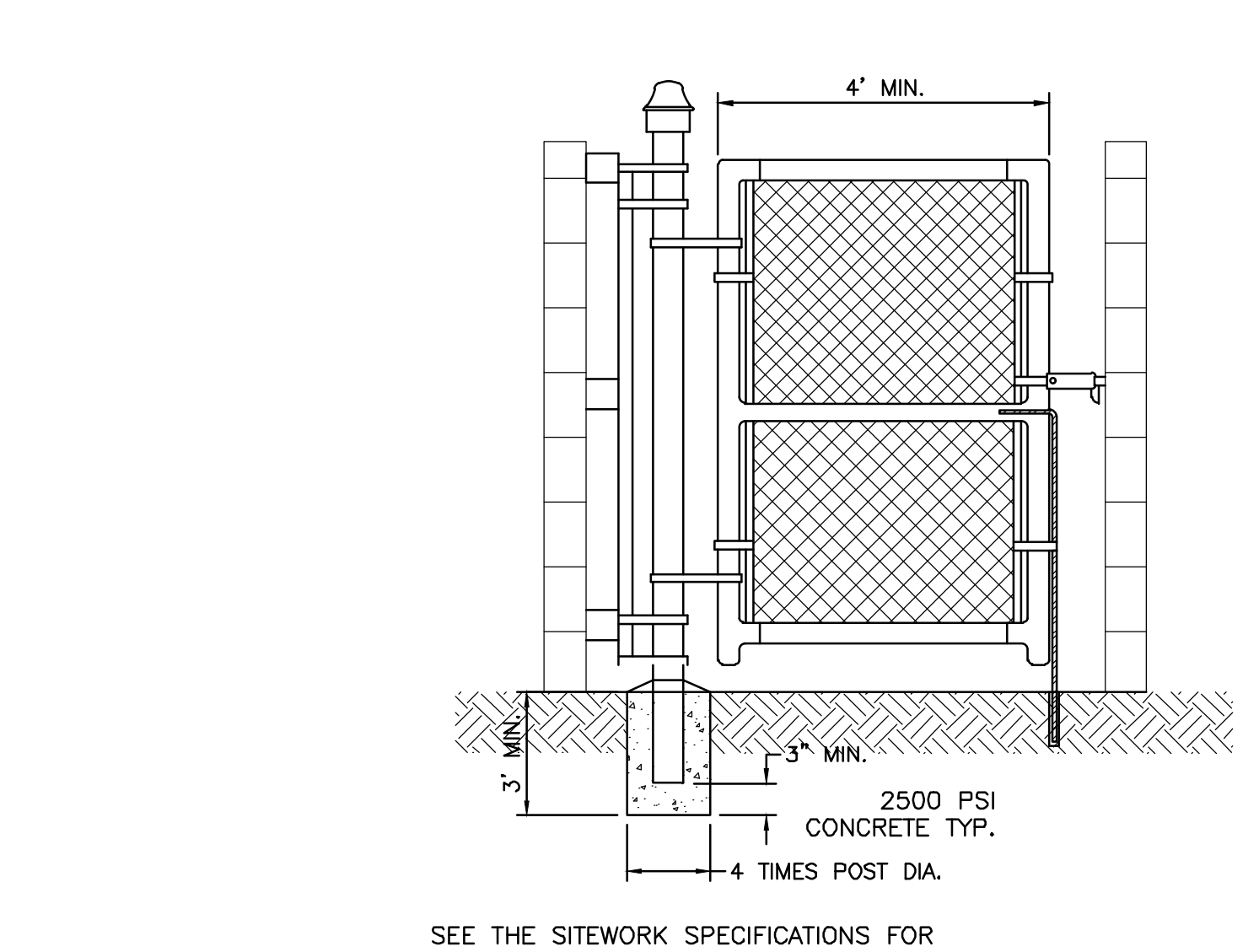
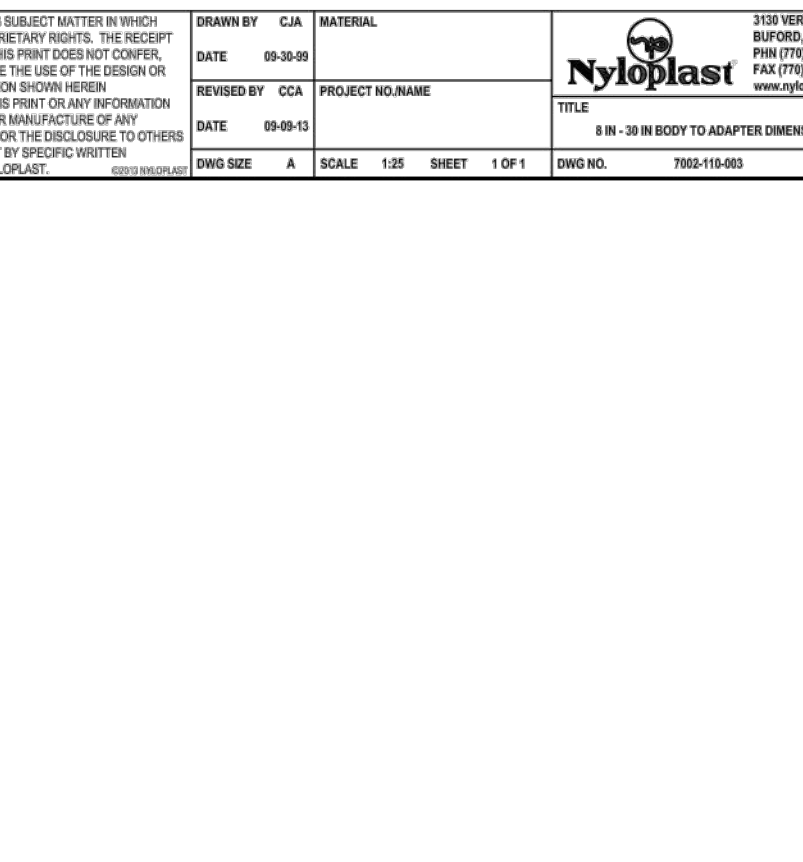


SCREEN WALL ELEVATION

NTS

- GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE EXISTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



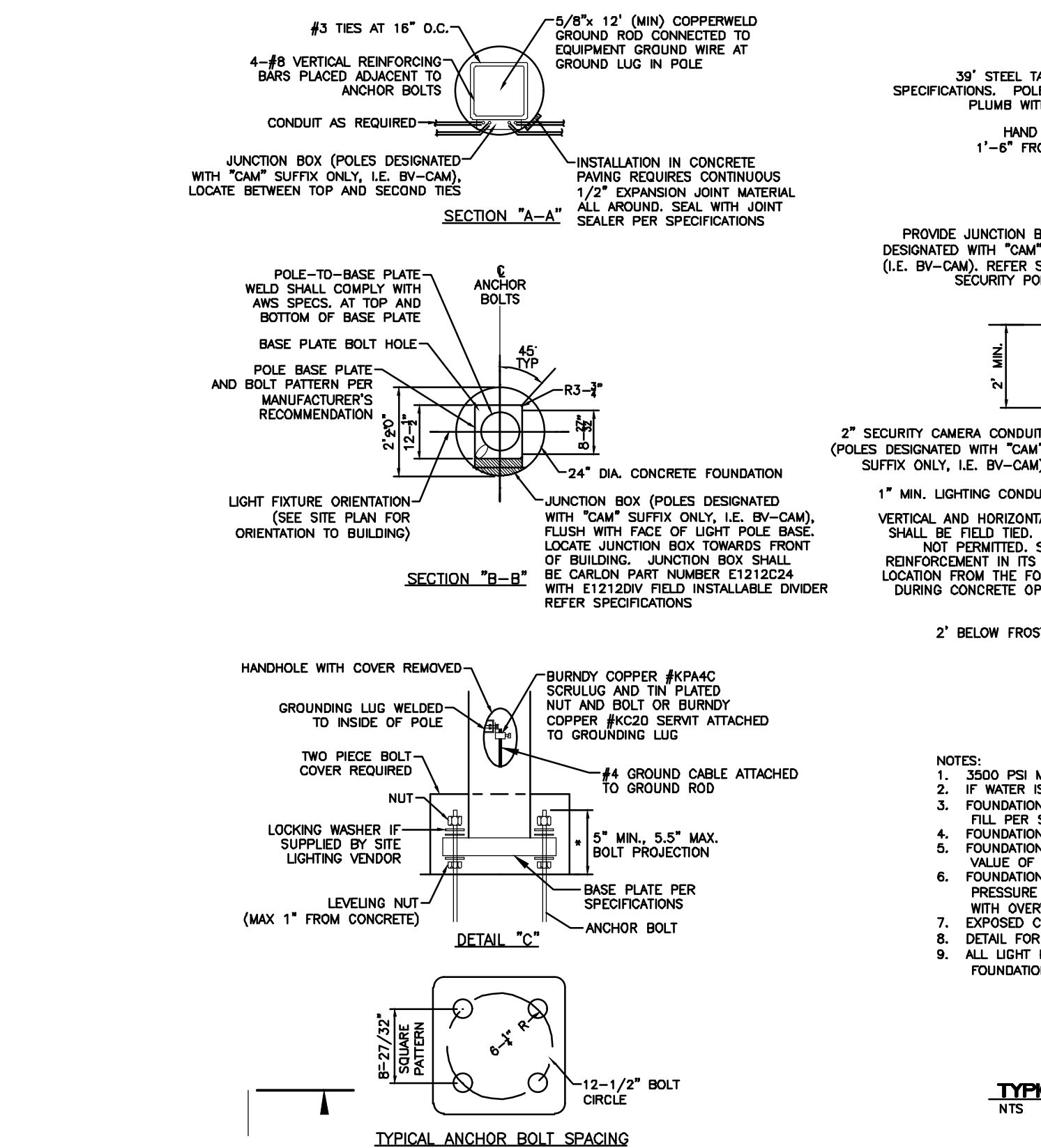
CHAIN LINK LOCK GATES

NTS

COMPACTED 6" SUBGRADE —
TO 95% ASTM D-1557

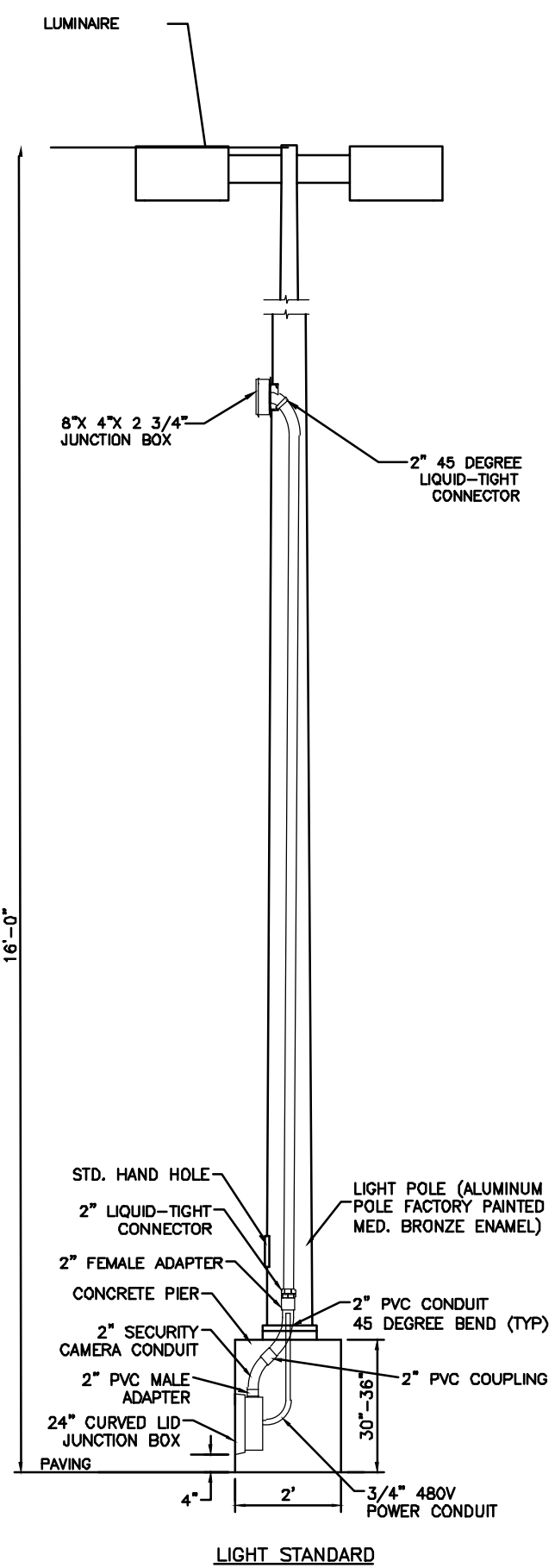
SCREEN WALL SECTION

NTS



TYPICAL LIGHTING POLE BASE DETAIL

NTS



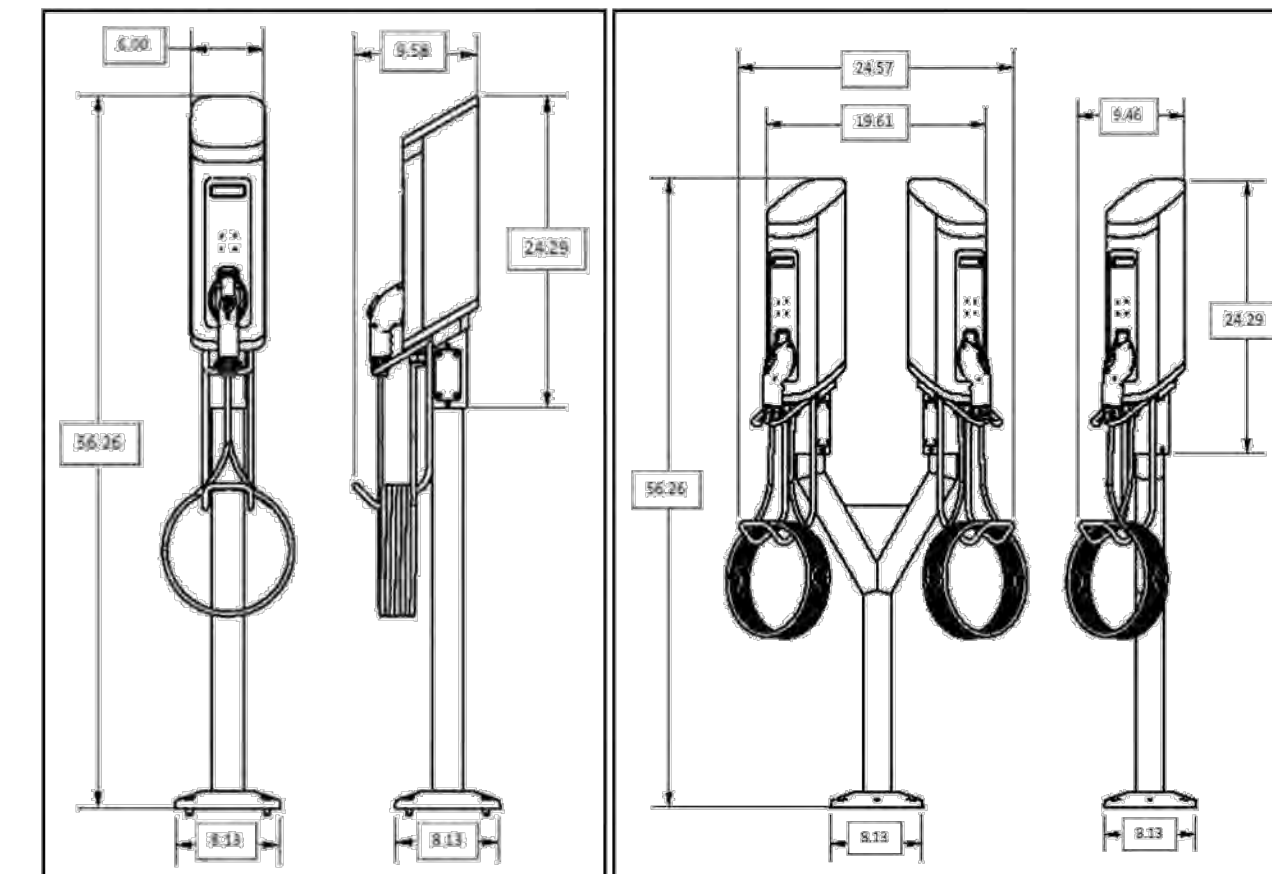
Geometric Properties

Property	Value
Nominal Area (LxWxH)	24" x 24" x 1.5"
Gross Area of each mat	4 s.f.
Concrete Strength	5000 psi
Weight of each mat	45 lbs
Flexibility (min. radius of curvature)	12 in
Plantable Area	61% (100% for Sod)
Concrete Surface Area	39%
Concrete Bearing Area	90%
Mats per pallet	60
Area covered per pallet	240 s.f.
Color	Buff/Tan, Grey

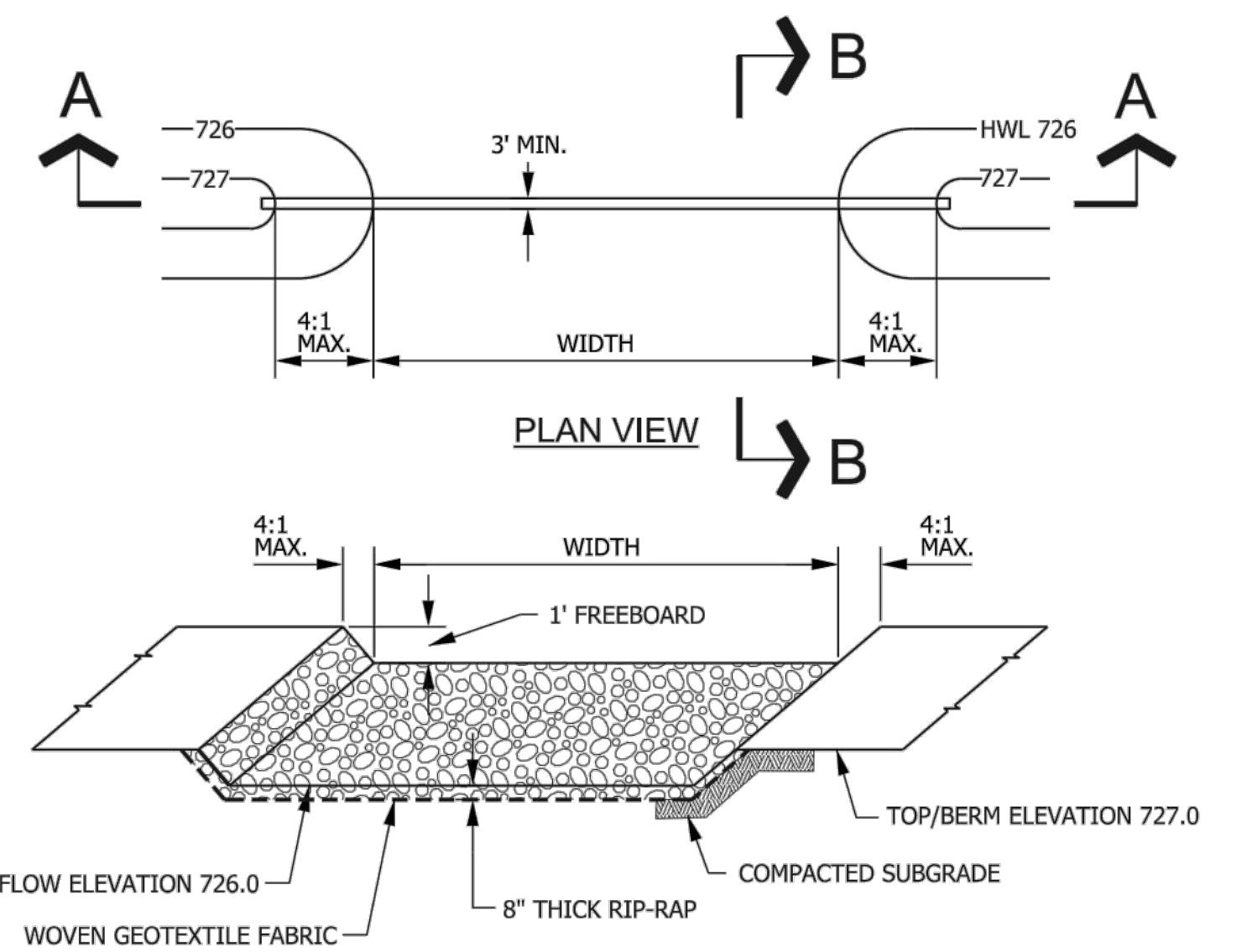
** other colors available for special order*

DRIVEABLE GRASS SPECIFICATION FOR FIRE ACCESS

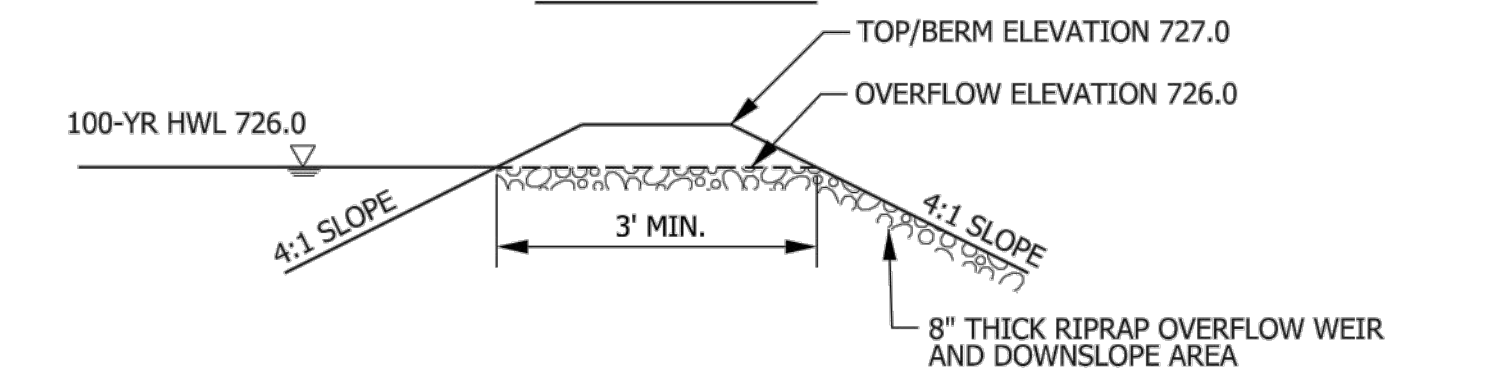
ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF DATE 3/15/2021
  3/15/2021	CONSTRUCTION DETAILS	2020013_DTB
	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C6
RONALD R. BOHANNAN P.E. #7868		JOB # 2020013



CAR CHARGING STATION DETAIL



SECTION A - A



SECTION B - B

- NOTES:
1. FINISHED FLOOR ELEVATIONS OF ADJACENT STRUCTURE SHALL BE ELEVATED AT LEAST ONE FOOT ABOVE PEAK 100-YEAR WATER SURFACE ELEVATION THROUGH OVERFLOW WEIR.
 2. WOVEN GEOTEXTILE FABRIC SHALL MEET OR EXCEED STANDARDS OF JUM MATERIAL SPECIFICATION 592, TABLE 1, CLASS I, II, OR III.

EMERGENCY OVERFLOW WIER

NOT TO SCALE



BILL OF MATERIAL										
JAN	FEB	APR	MAY	JUN	JULY	AUGUST	SEPT	OCT	NOV	DEC
#	ITEM	DESCRIPTION	QUANTITY	UNIT	REMARKS	DATE	BY	CHK	APP	APP
100	ONE	DOUBLE CAR SIDES								
2	10112	12 4x4x4	3	0						
4	10112	12 2x4x4	4	0						
4	10112	12 2x4x4	16	0						
4	10112	16x4	12	0						
2	10112	12 2x4x4	12	76						
4	10112	4 8x4	0	76						
2	10112	4 8x4	0	76						
8	10112	12 4x4x4	1	0						
8	10112	4 2x4x4	0	76						
4	10112	4 8x4	0	76						
10112	10000-Burlington	4000 0 L.F.								
10112	10000-Burlington	4000 0 L.F.								
12	10112	200 8x4	0	76						
0404 2		1 2x4x20	206	4						
30		200 8x4	0	4						

MATERIAL LIST FOR ONE GATE
(TOTAL REQ'D = 2)

FOR APPROVAL (NOT USE FOR CONSTRUCTION)	
<u>APPROVER NOTE:</u> PLEASE VERIFY AND/OR PROVIDE INFORMATION AT ALL CLOUDED AREAS. LEAVING CLOUDED AREAS UNADDRESSED WILL RESULT IN DELAYS DURING FABRICATION AND SHIPMENT PROCESSES.	

REV.	BY	DATE				
			AV	3-3-80	FOR APPROVAL	
FURN:			HOLS	WKS	PER (HRS)	SCALE
DATE			R.T.S.			
5-22-19			PROJECT			
			OVERTURE ALBUQUERQUE			
CUSTOMER			DRAWN BY			AV
ARCHIT FIRM			CHECK BY			
MEEKS + PARTNERS						
						
MARQUEZ WROUGHT IRON, INC.						
5190 DEL REY BLVD DOWNTOWN, NM 80032 (375) 362-0028 dls (375) 362-0028 fax						
TITLE			DRAWING DATE			
DOUBLE CAR GATES			4/1/80			

ISSUED FOR DRB (NOT FOR CONSTRUCTION)			
ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS	DRAWN BY BW	
	10820 GOLF COURSE RD. NW	DATE 2/15/2021	
	CONSTRUCTION DETAILS		2020013_DTB
	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C7	JOB # 2020013
RONALD R. BOHANNAN P.E. #7866			

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	SIZE (MATURE HxW)	WATER USE	COVER (EAU)	TOTAL	USDA NATIVE
Trees								
15	15	2" Cal	Hackberry <i>Celtis occidentalis</i>	40' x 40'	L+	16000	240000	San Miguel City
9	9	2" Cal	Redbud <i>Cercis canadensis</i>	20' x 20'	M	400	3600	Yes
42	42	2+ Trunks w/ 2" Combined Cal.	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	26250	Yes
20	20	2+ Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forestiera nomenclana</i>	15' x 15'	M	225	4500	Yes
11	11	2" Cal	Green Ash <i>Fraxinus pennsylvanica</i>	40' x 30'	M	900	15300	Yes
13	13	2" Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	26325	Yes
24	24	6" Height	Pinon Pine <i>Pinus edulis</i>	30' x 20'	M+	400	9600	Yes
41	41	6" Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	25625	
12	12	2" Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	19200	TX
20	20	2+ Trunks w/ 2" Combined Cal.	Christa Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	8000	

Total Tree Coverage: 162400

Shrubs & Groundcovers								
12	12	5 Gal	Serviceberry <i>Amelanchier alnifolia</i>	10' x 10'	M	100	1200	Yes
14	14	3 Gal	Blonde Ambition Blue Grama <i>Bouteloua gracilis 'Blonde Ambition'</i>	3' x 3'	M	9	666	Yes
26	26	5 Gal	Blue Mist Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	L+	9	234	
55	55	5 Gal	Alder-Leaf Mountain Manzanita <i>Cercocarpus montana</i>	15' x 15'	L+	225	12375	Yes
12	12	5 Gal	Grey-Leaf Coneflower <i>Coreopsis verticillata</i>	8' x 10'	M	100	1200	
47	47	5 Gal	Sociol <i>Dasylirion wheeleri</i>	5' x 5'	RU	25	1175	Yes
165	165	5 Gal	Ornamental <i>Ericameria nauseosa</i>	5' x 5'	RU	25	425	Yes
22	22	5 Gal	Manhattan Euonymus <i>Euonymus alatus</i>	6' x 6'	M+	36	792	
36	36	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6' x 7'	L+	49	1764	Yes
54	54	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	L+	9	486	TX
29	29	5 Gal	Dogwood <i>Cornus sericea 'Bailley'</i>	3' x 3'	M+	9	261	Yes
60	60	5 Gal	Spartan Juniper (female only) <i>Juniperus chinensis 'Spartan'</i>	15' x 6'	L+	36	2160	
54	54	5 Gal	Buffalo Juniper (female only) <i>Juniperus sibirica 'Buffalo'</i>	1' x 8'	L+	64	3456	
81	81	5 Gal	Deer Grass <i>Muhlenbergia rigens</i>	4' x 4'	L+	16	1296	Los Alamos
78	78	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RU	36	2808	Yes
15	15	5 Gal	Switchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	1200	Yes
80	80	5 Gal	Potentilla <i>Potentilla fruticosa (Daphne 1)</i>	3' x 3'	M	9	720	Yes
39	39	5 Gal	Three-Leaf Sunac <i>Rhus trilobata</i>	6' x 6'	L+	36	1404	Yes
41	41	5 Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	656	
39	39	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	L+	9	351	TX

Total Shrub Coverage: 36463

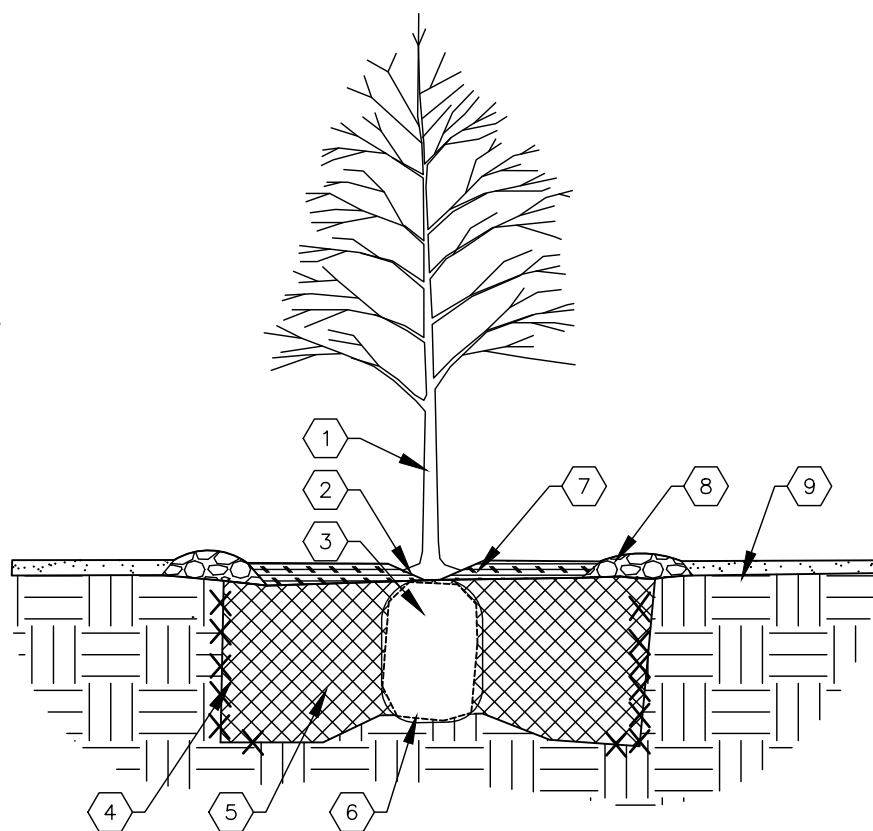
PLANTING NOTES

SEE DETAILS FOR PLANTING INSTRUCTIONS.

PURSUANT TO IDO 5-6(C)(3)(B) ORGANIC MULCH, SUCH AS WOOD CHIPS OR PECAN SHELLS, IS REQUIRED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATION ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIFLINE, IN EACH REQUIRED LANDSCAPE AREA.

Other Materials

SYMB.	QTY	TYPE
112	EA	Boulders (2-3cf) To be placed at contractor's discretion
9678	5F	Crusher Fines Over Aggregate Basecourse
32961	5F	Landscape Gravel A with Filter Fabric 1/2" Brown Gravel
39220	5F	Landscape Gravel B with Filter Fabric 1" Anasanto Gravel
4121	5F	Landscape Gravel C with Filter Fabric 1/8" Crushed Gray Gravel
8160	5F	Oversize Landscape Gravel / No Filter Fabric 2-4" Blue Salt Fractured Cobble/RipRap
10233	5F	Parkblend Sod Pop-up Irrigation
79606	5F	Native Seed Area Irrigation 1/4" with Rotor Irrigation
2160	5F	Dog Park Surfacing Synthetic Turf over Aggregate Base
		Concrete See site plan
		Asphalt Parking Areas and Driveways See site plan
		Landscape Curb
		Stormwater Management Depression
		Site Furnishings Benches, Tables, Trash Receptacles
19385	5F	Total Landscape



TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TUNE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
4. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE.
8. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
9. 4" HIGH X 1/4" WIDE COBBLE BERRY AT DRIP LINE.
10. MULCH - SEE PLANTING PLAN.

01 TREE PLANTING

NTS

TREE PLANTING DETAIL

SHRUB PLANTING KEYED NOTES

1. SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. USE WOOD CHIP MULCH OVER ROOTBALL. FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS.
4. 2" HIGH X 8" WIDE BERRY.
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL.
7. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
8. MULCH - SEE PLANTING PLAN. 3" DEPTH UNLESS OTHERWISE NOTED.

02 SHRUB PLANTING

NTS

SHRUB PLANTING DETAIL

STREET TREES
Linear Frontage: 600'
Trees Provided: 24

GOLF COURSE ROAD NW

EXISTING 10" WIDE
PUBLIC UTILITY
EASEMENT
(06/02/2009,
2009C-83)

EXISTING 10" WIDE
PUBLIC UTILITY
EASEMENT
(12/16/1966,
03-154)

EXISTING 30" WIDE
PUBLIC WATER AND
SANITARY SEWER
EASEMENT
(06/02/2009,
2009C-83)

EXISTING 10" WIDE
PUBLIC UTILITY
EASEMENT
(06/02/2009,
2009C-83)

GENERAL NOTES

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE USING A PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED AS ANOTHER HATCHED GROUND COVER AREA SUCH AS THOSE INDICATED TO RECEIVE NATIVE SEED. ALL GRAVEL SHALL BE PLACED 5'-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS, INSTALLED IN A SINGLE PHASE. THE IRRIGATION SYSTEM SHALL PROTECT POTABLE WATER SYSTEMS THROUGH THE USE OF AN APPROVED PRESSURE VACUUM BREAKER (PVB) BACKFLOW PREVENTION DEVICE. TREES SHALL RECEIVE ONE (1) NET IRRIGATION SPIRAL, 50' LENGTH WITH 3 LOOPS AT A FINAL RADIUS OF 45' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (2) 1/2 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

ZONING	MX-M: MIXED-USE WITH MODERATE INTENSITY
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (ACRES)	8.79
TOTAL LOT AREA (SF)	382892
BUILDING AREA (SF)	61950
NET LOT AREA (SF)	320942

REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	48141
LANDSCAPE PROVIDED (SF)	141280

VEGETATIVE COVER (%) - REQ.	15.0
VEGETATIVE COVER (SF) - REQ.	105960
VEGETATIVE COVER (SF) - PROV.	235208

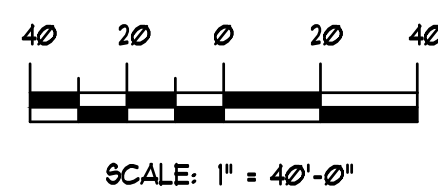
GROUND COVER (%) - REQ.	10.75
GROUND COVER (SF) - REQ.	60111
GROUND COVER (SF) - PROV.	69383

IRRIGATED TURF (SF)	11260
IRRIGATED TURF (% OF LANDSCAPE)	8.0%

REQ. TREES - 1ST AND 2ND STORY UNITS	104
PROVIDED UNIT TREES	118

PARKING LOT INTERIOR LANDSCAPE CALCULATIONS - 14-5-6 (F) 2

PARKING LOT AREA (SF)	138572
REQ. PARKING LANDSCAPE 10% (SF)	13857
PROV. PARKING LANDSCAPE (SF)	35644
REQ. PARKING TREES (1/10 SPOTS)	36
PROV. PARKING TREES	113



Wintergreen Luxury Apartments
Golf Course Road
Albuquerque, NM

Conceptual Irrigation Plan

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: JTI
REVISION: D - Sept. 2021
DATE: 12/23/2021

SHEET #

LP-101

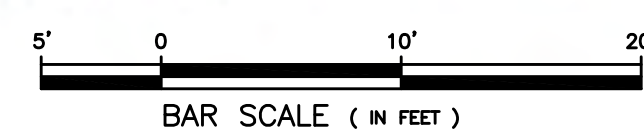
The Hilltop
1305 Edin NE
Albuquerque, NM 87113
Contact: 505.836.8990
Fax: (505) 836-1131
ted@hilltoparchitects.com



December 23, 2021



4 TYPICAL FRONT ELEVATION
1/8" = 1'-0"

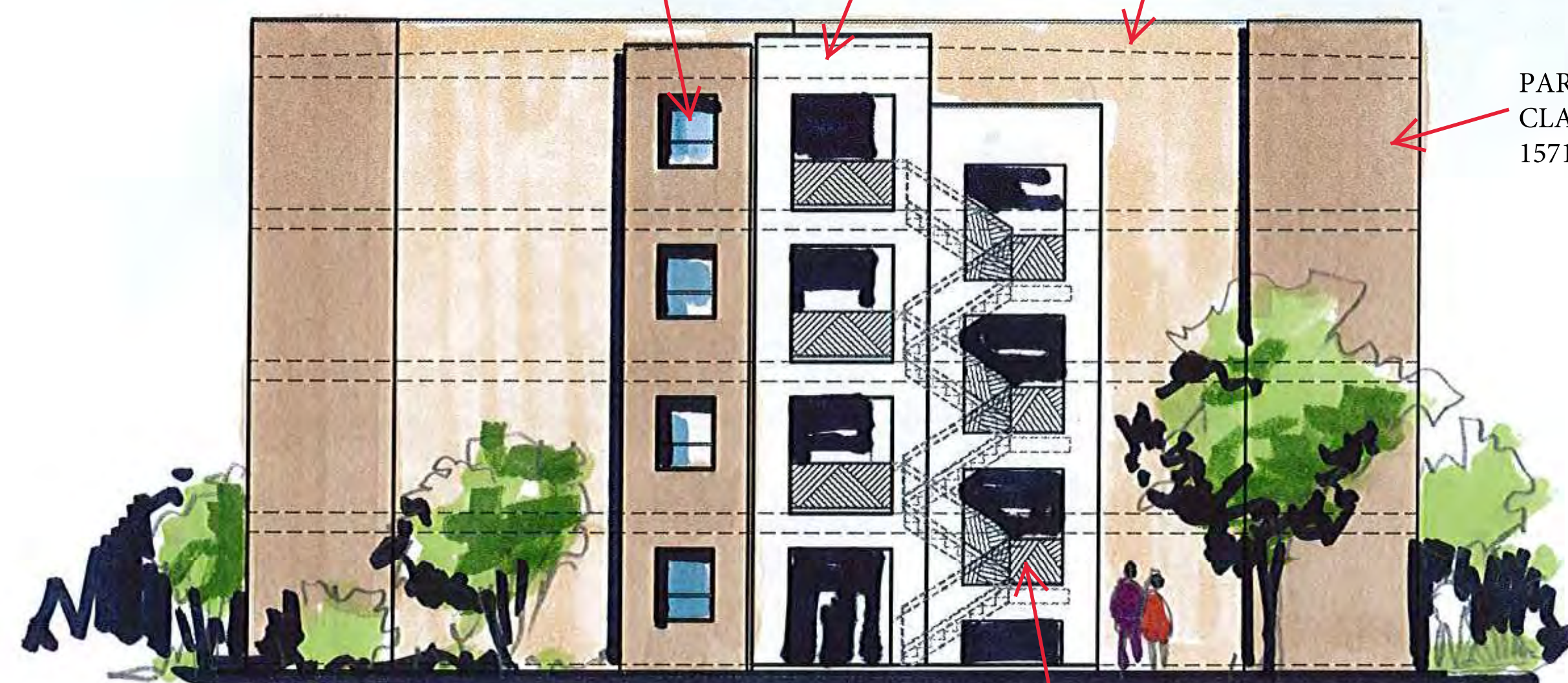


WHITE VINYL CLAD
WINDOW AND DOOR

PAREX USA
SNOW BALL
10499L (75)

PAREX USA
LARIAT
821L (57)

PAREX USA
CLAY
1571L (24)



3 TYPICAL RIGHT ELEVATION
1/8" = 1'-0"



BRONZE COLOR
STEEL WROUGHT
IRON GUARDRAILS

WHITE STUCCO
AND ELEVATOR
SHAFT WALLS

PAREX USA
SNOW BALL
10499L (75)

PAREX USA
LARIAT
821L (57)

PAREX USA
CLAY
1571L (24)

WHITE VINYL CLAD
WINDOW AND DOORS

PAREX USA
SNOW BALL
10499L (75)

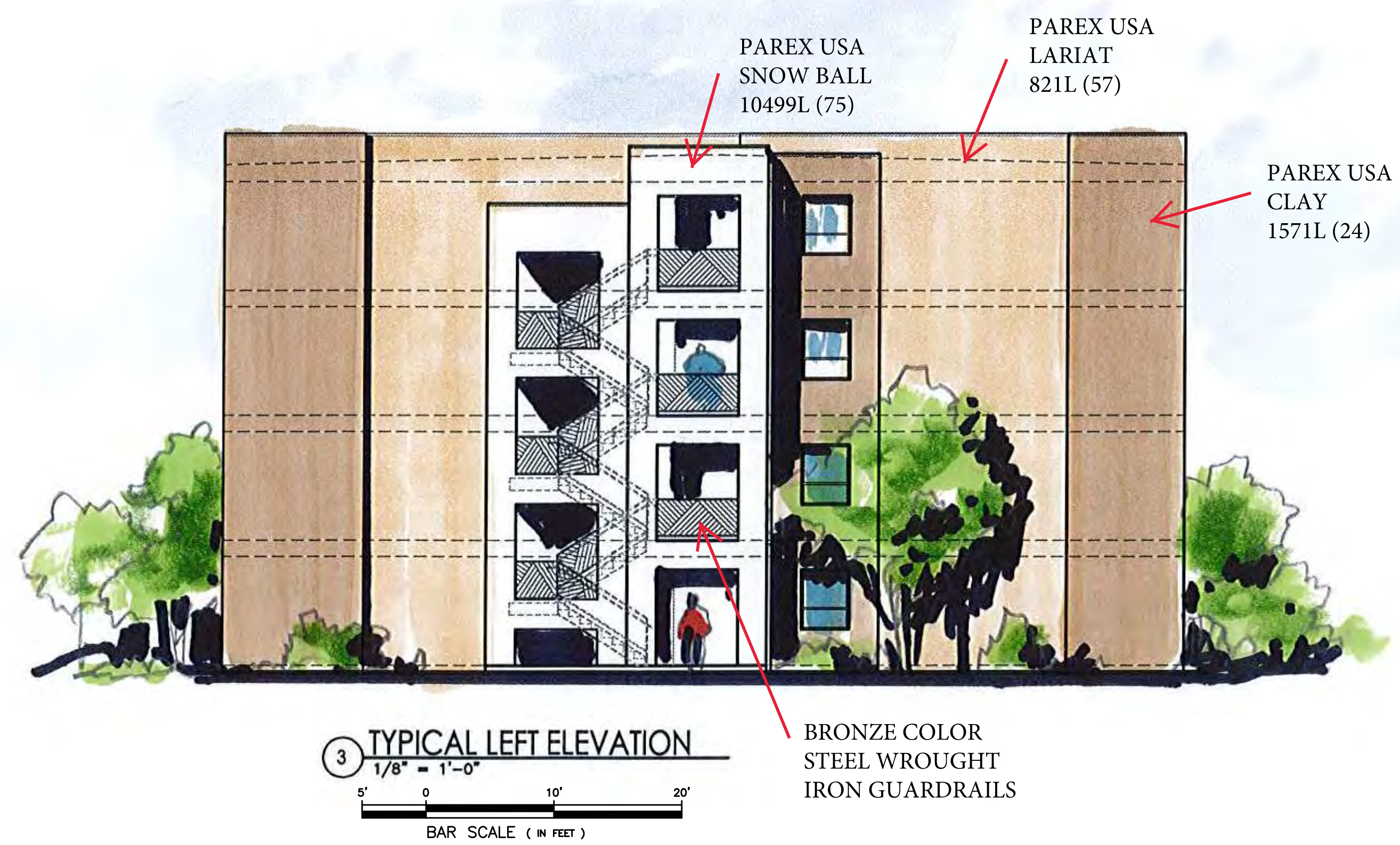
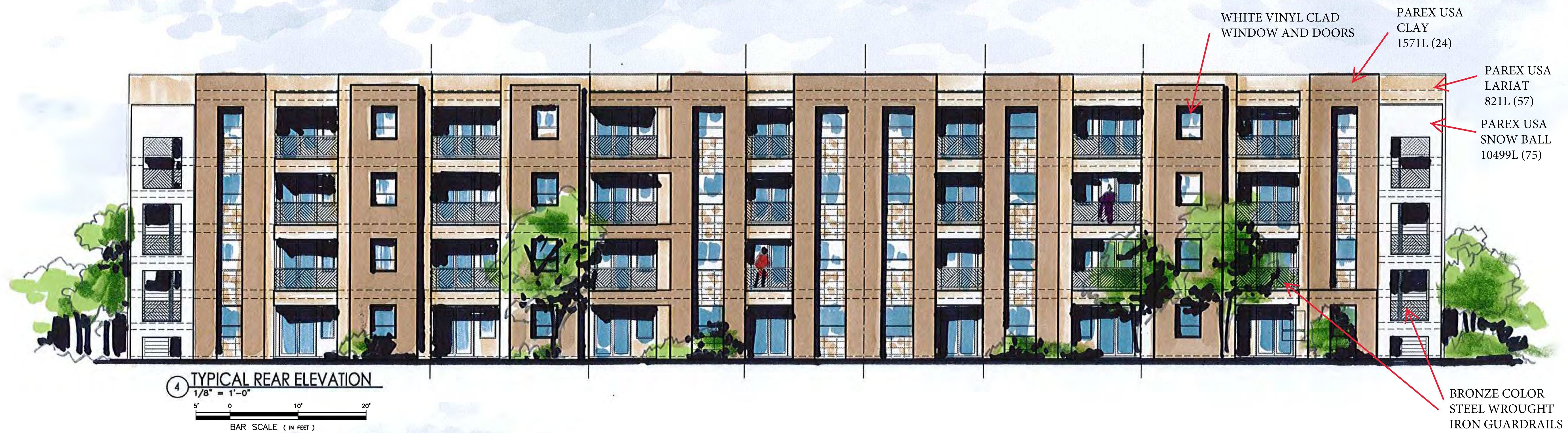
PAREX USA
SNOW BALL
10499L (75)

WHITE VINYL CLAD
WINDOW AND DOORS

BRONZE COLOR
STEEL WROUGHT
IRON GUARDRAILS

WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

REVISION DATE
RBA ARCHITECTURE PC 1000 10TH AVENUE SW SUITE 1000 ALBUQUERQUE, NM 87102 (505) 263-1000 WWW.RBA-PC.COM
DATE 05-19-2020
SHEET NUMBER A-5.0

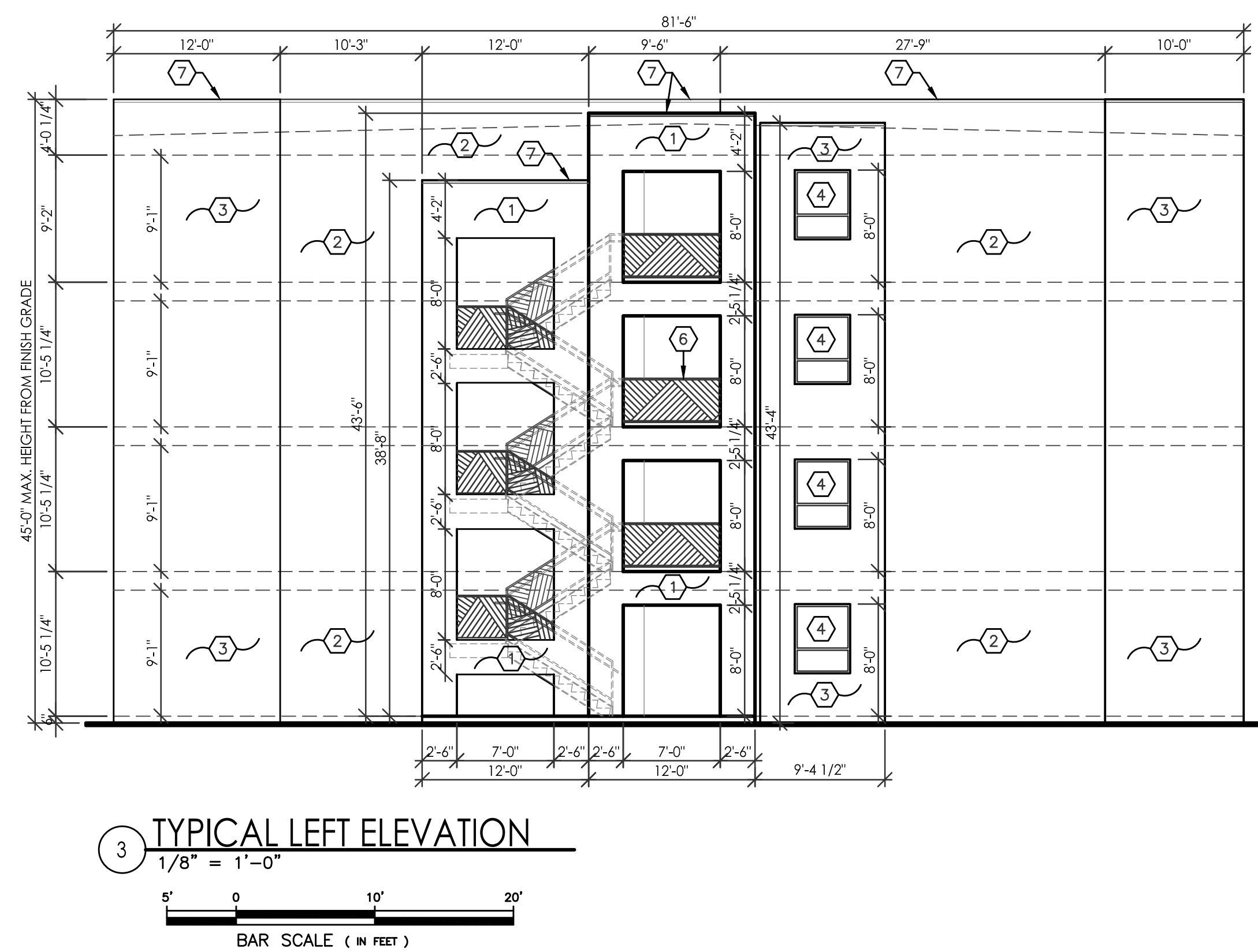
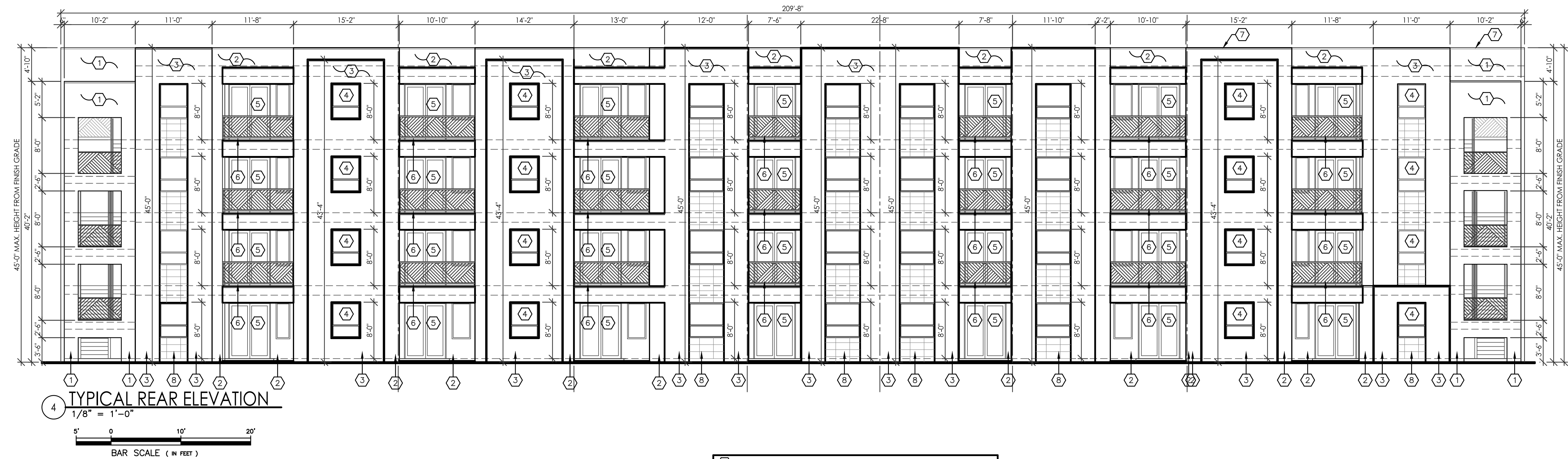


WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

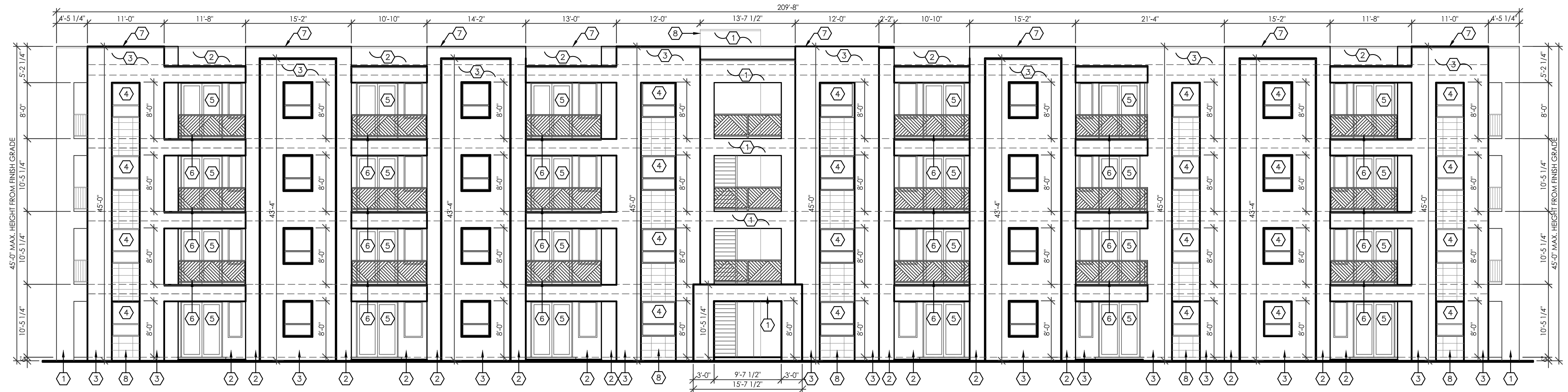
REVISION DATE
RBA ARCHITECTURE PC 10000 1 st Avenue, Suite 100 Albuquerque, NM 87112 505.263.1111 www.rbaarch.com
DATE 05-19-2020
SHEET NUMBER A-5.1



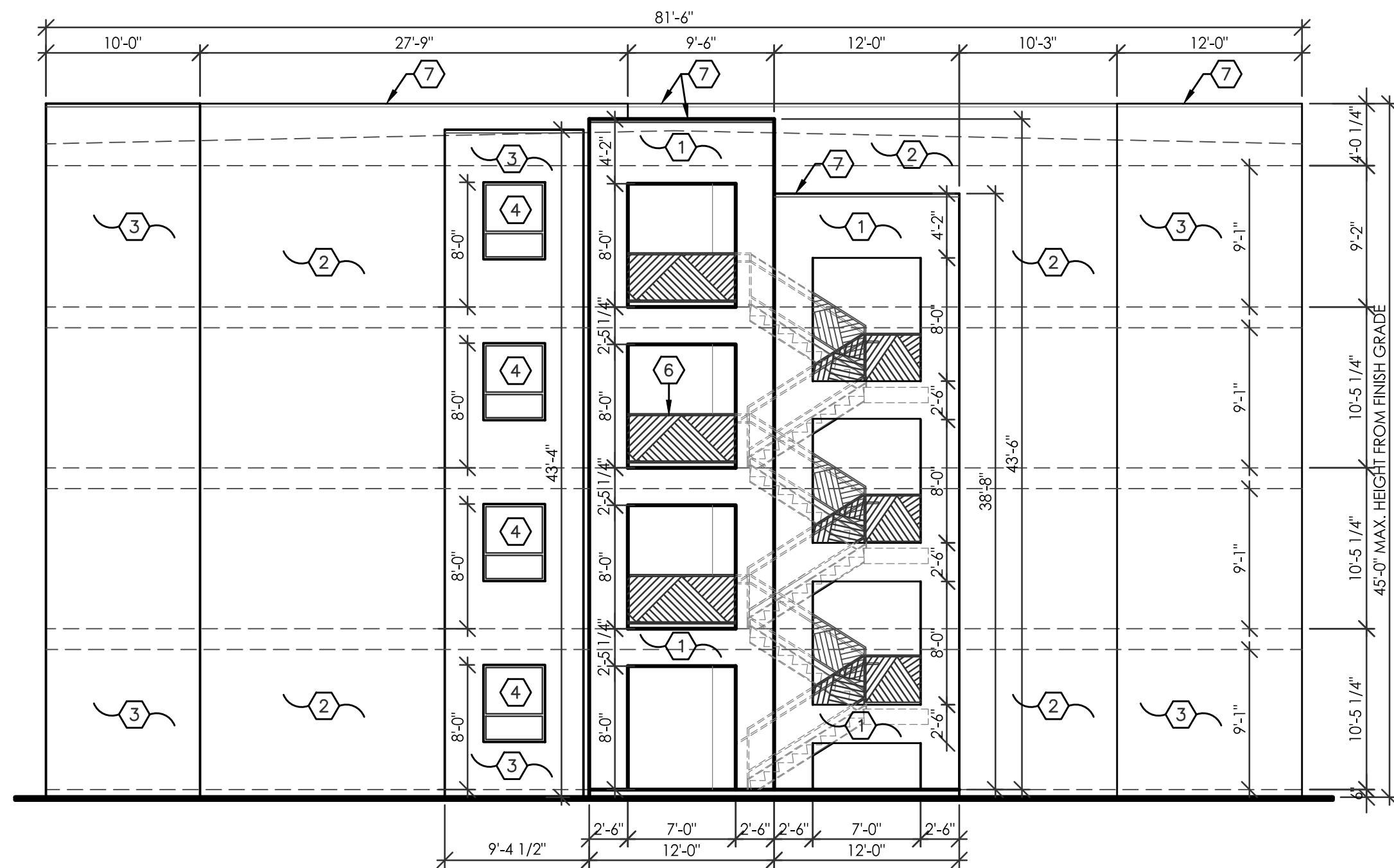
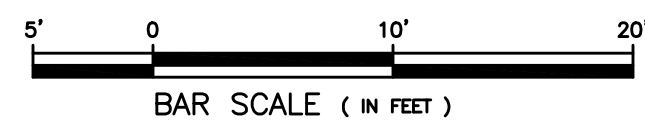




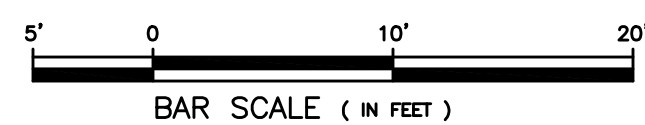
- | KEYED NOTES | |
|-------------|--|
| 1. | STUCCO COLOR: PAREX USA SNOW BALL, 199499L (75) |
| 2. | STUCCO COLOR: PAREX USA LARIAT, 821L (57) |
| 3. | STUCCO COLOR: PAREX USA CLAY, 151L (24) |
| 4. | WINDOW TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP. |
| 5. | PATIO SLIDING DOOR TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP. |
| 6. | GUARDRAILS: BRONZE WROUGHT IRON, TYP. |
| 7. | METAL COPING CAP: PAINT TO MATCH STUCCO COLOR, TYP. |
| 8. | 12" X 24" TAN COLOR CERAMIC TILE, TYP. |
| 9. | ELEVATOR SHAFT WALL BEYOND, REF: ARCH FLOOR PLANS, |



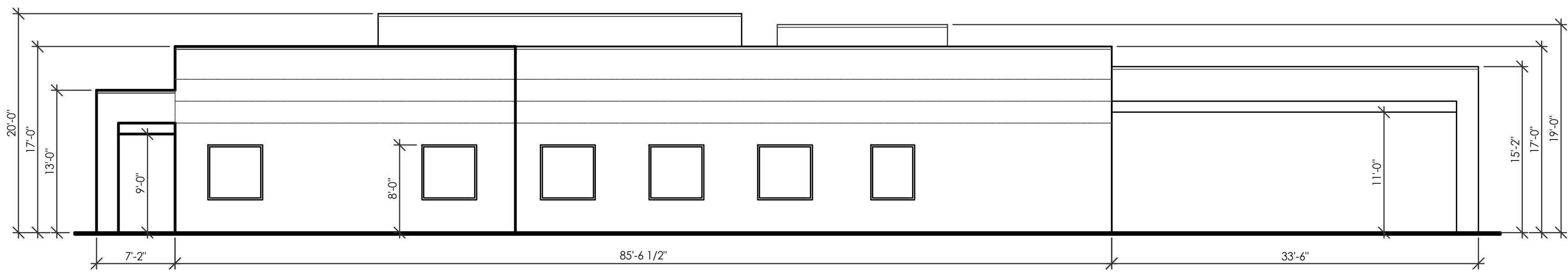
4 TYPICAL FRONT ELEVATION
1/8" = 1'-0"



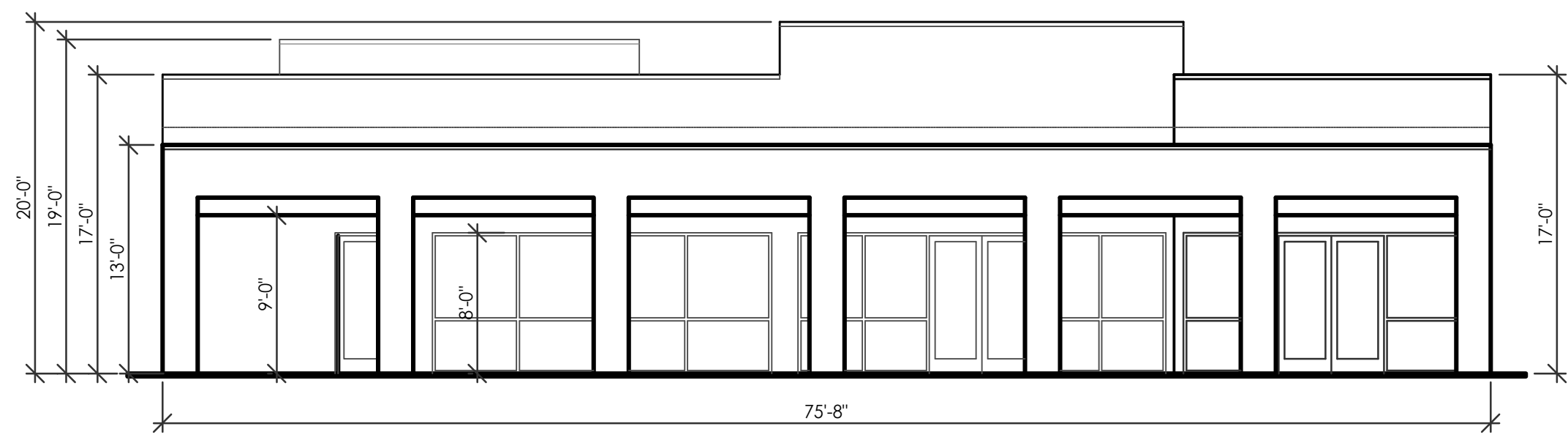
3 TYPICAL RIGHT ELEVATION
1/8" = 1'-0"



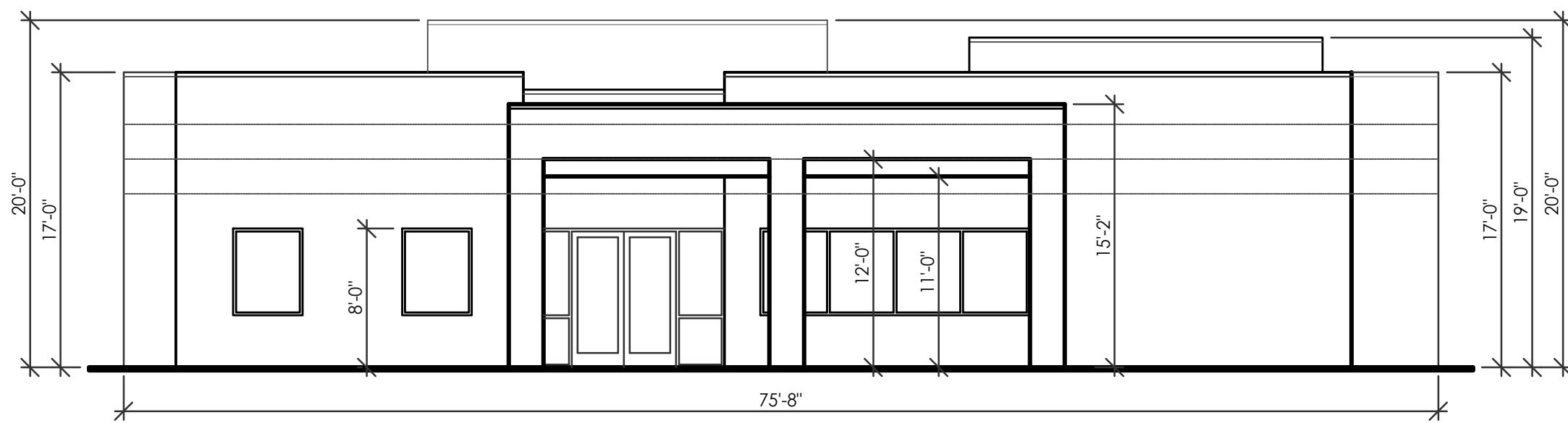
KEYED NOTES
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2. STUCCO COLOR: PAREX USA LARIAT, 821L (57)
3. STUCCO COLOR: PAREX USA CLAY, 1ST1L (24)
4. WINDOW TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
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9. ELEVATOR SHAFT WALL BEYOND, REF: ARCH FLOOR PLANS.



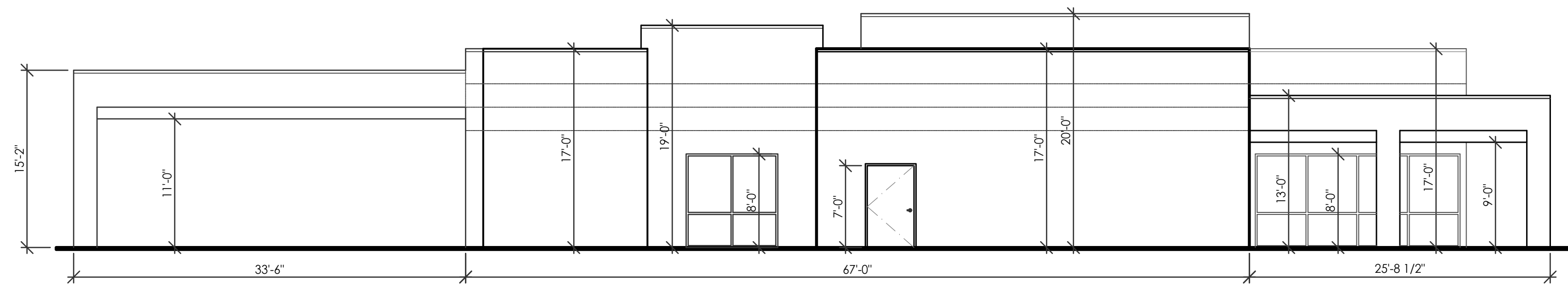
3 EAST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



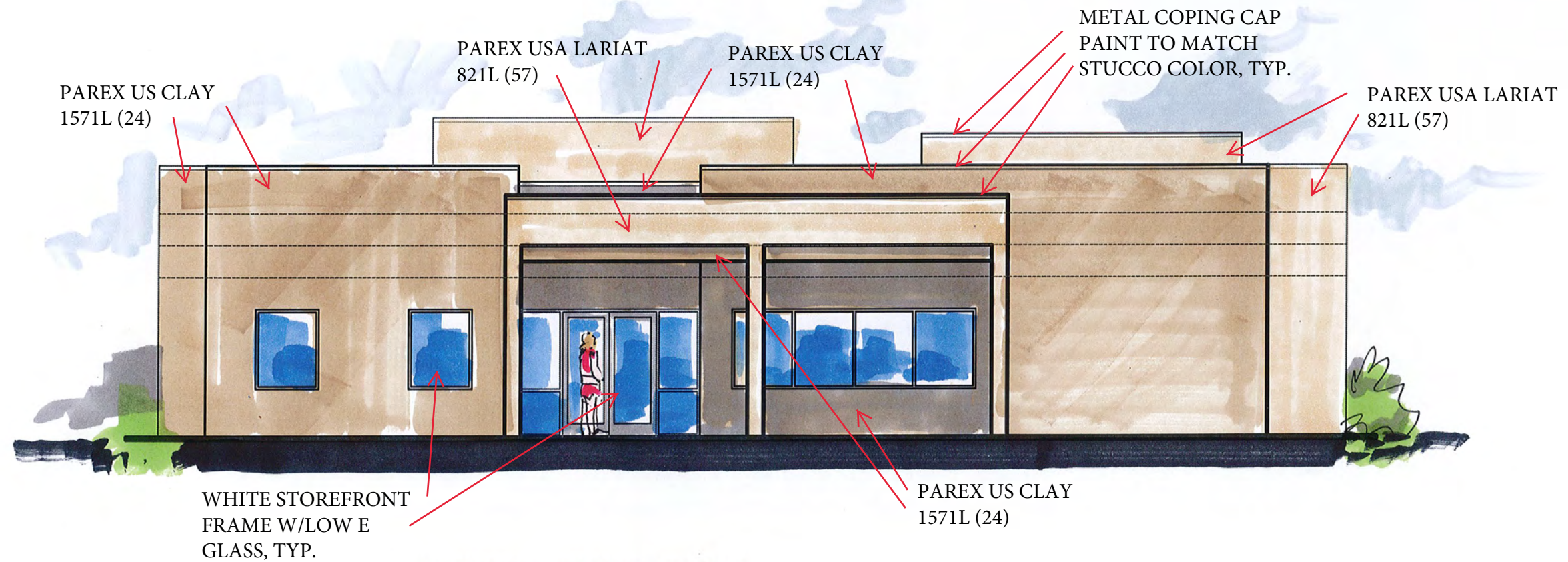
1 NORTH ELEVATION
1/8" = 1'-0"



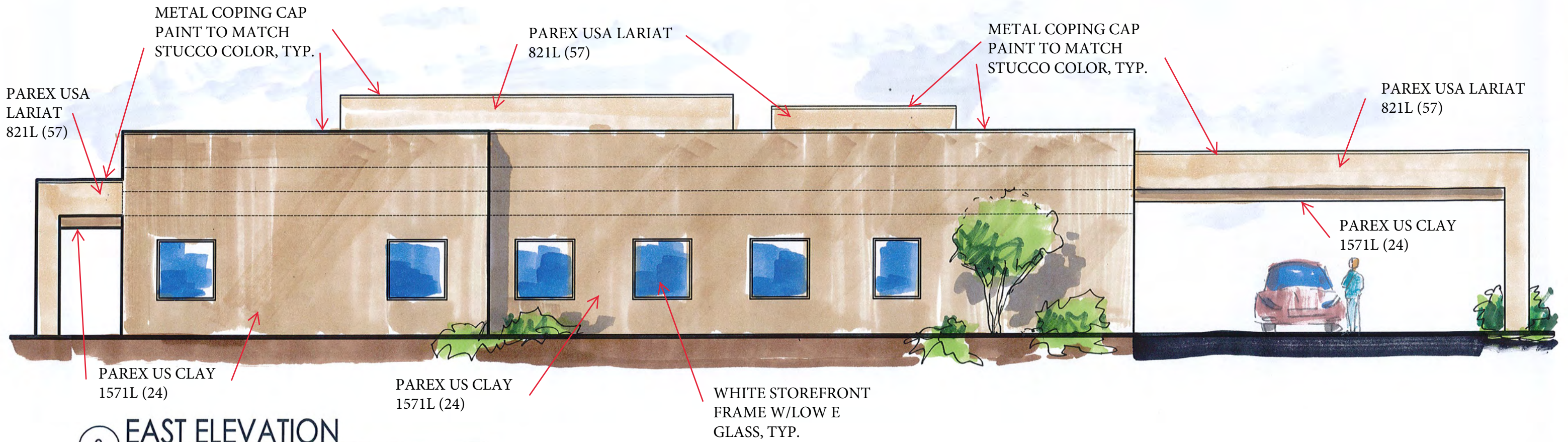
2 WEST ELEVATION
1/8" = 1'-0"

WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

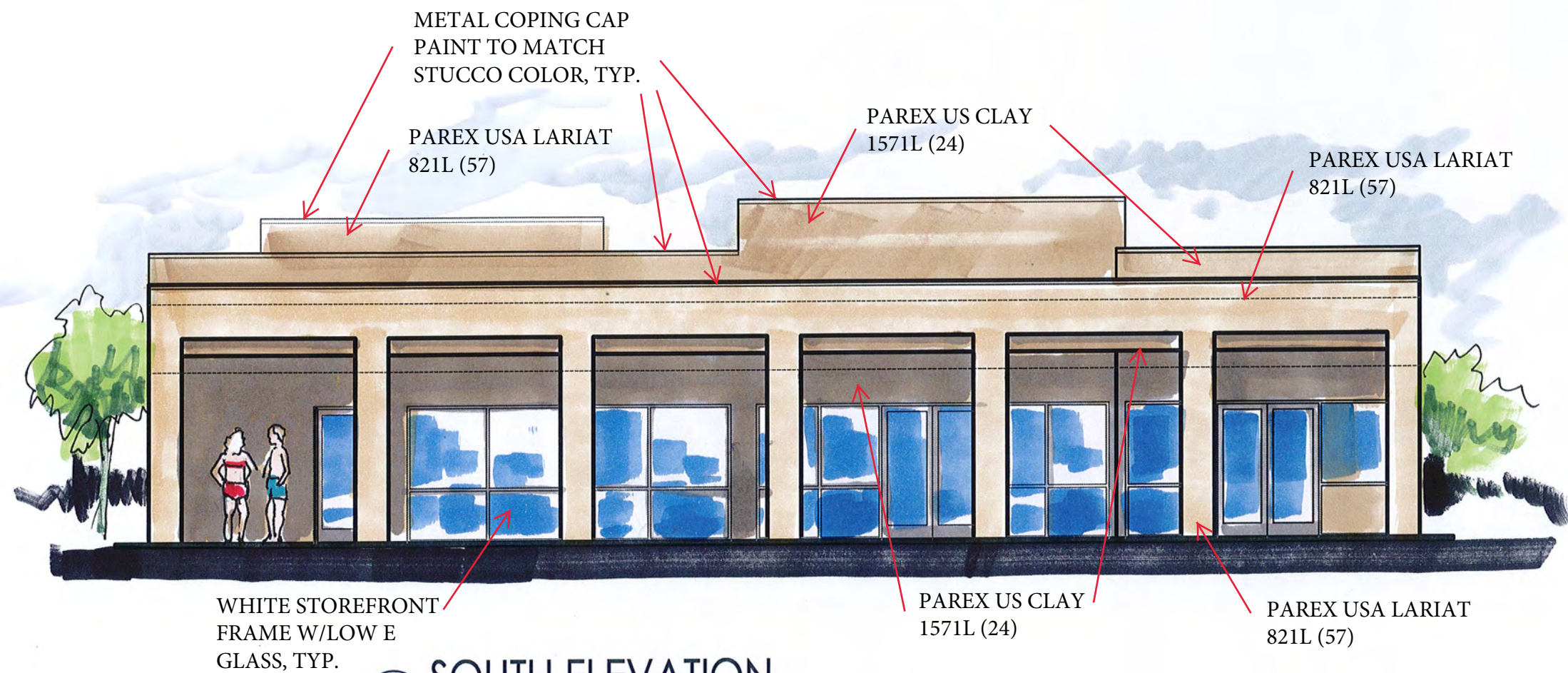
REVISION DATE	
RBA ARCHITECTURE, PC PLANNING DESIGN 1000 W. 10th Ave., Ste. 200 Albuquerque, NM 87102 Phone: (505) 243-4600 www.rba3.com	
DATE	
09-24-2020	
SHEET NUMBER	
A-7.0	



1 NORTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



WHITE STOREFRONT
FRAME W/LOW E
GLASS, TYP.

PAREX US CLAY
1571L (24)

PAREX USA LARIAT
821L (57)

4 SOUTH ELEVATION
1/8" = 1'-0"

