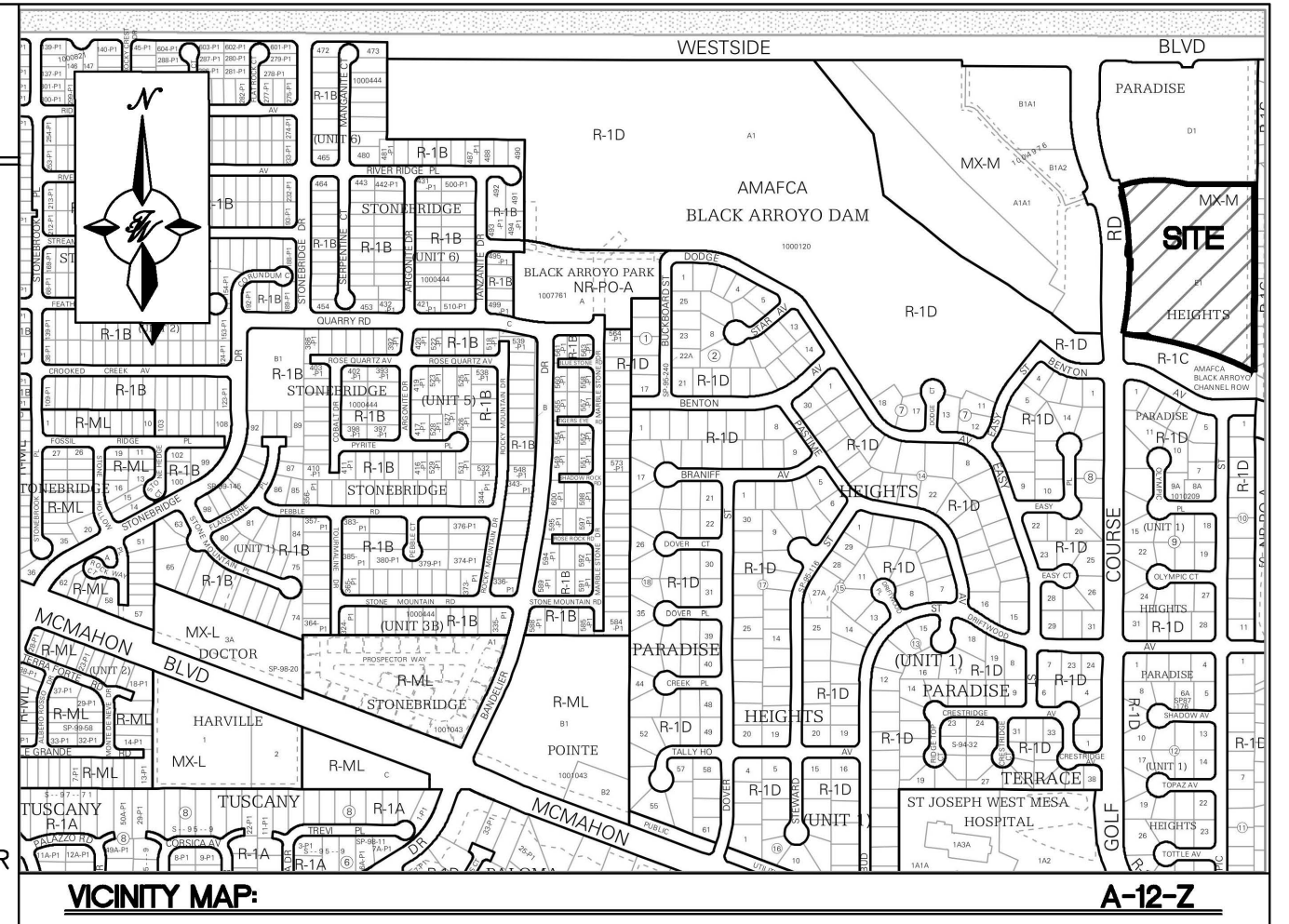


KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- 3 CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- 4 DUMPSTER ENCLOSURE (SEE DETAIL SHT. C4) (2-RECYCLE DUMPSTERS ALLOWED PER SITE (MAX))
- 5 R1-1 36" STOP SIGN
- 6 BICYCLE RACKS (SEE DETAIL SHT. C5)
- 7 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- 8 ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- 9 EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- 10 CARPORT (SEE DETAIL SHT. C7)
- 11 CURB HC RAMP (SEE DETAIL SHT. C4)
- 12 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 13 5' CRUSHED GRAVEL TRAIL
- 14 6-FT CMU SCREEN WALL W/ LOCKED GATES AT EACH END COLORED "TAN" (SEE DETAIL SHT. C6)
- 15 GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7) ACCESS SHALL BE PROVIDED TO SOLID WASTE VEHICLES/DRIVERS FROM 7AM TO 8PM ELSE A CLICKER SHALL BE PROVIDED.
- 16 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT.)
- 17 MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- 18 PARK BENCH (SEE ARCH. DETAIL SHT.)

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- LANDSCAPING
- ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE



- LEGAL DESCRIPTION:**
TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1
- 21 ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
 - 22 R1-2 YIELD SIGN
 - 23 STREET LIGHT (SEE DETAIL SHT 6.)
 - 24 ZERO CURB (SEE DETAIL SHT 4.)

FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA
1ST FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,747 S.F.	59 S.F.	81 S.F.	71 S.F.	15,025 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL					13 APARTMENTS	13,087 S.F.						

BUILDING "A" 2ND FLOOR AREA

APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 2ND FLOOR AREA
STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL					13 APARTMENTS	13,087 S.F.					

BUILDING "A" 3RD FLOOR AREA

APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 3RD FLOOR AREA
STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL					13 APARTMENTS	13,087 S.F.					

BUILDING "A" 4TH FLOOR AREA

APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 4TH FLOOR AREA
STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL					13 APARTMENTS	13,087 S.F.					

TOTAL BUILDING "A" APARTMENTS UNITS: 52
TOTAL BUILDING "A" 1ST, 2ND, 3RD AND 4TH FLOOR AREA: 59,716 S.F.
TOTAL BUILDING "A" ROOF AREA: 15,025 S.F.
TOTAL BUILDING "A", "B", "C" AND "D" AREA: 59,716 S.F. x 4 = 238,864 S.F.

BUILDING AREAS
 APARTMENT BUILDINGS (4 STORIES EA.)
 BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)

CLUB HOUSE BUILDING "E" (1 STORY)
 CLUB HOUSE AREA: 7,725 S.F.

BUILDING "F" (1 STORY)
 AREA: 1,680 S.F.

TOTAL BUILDING AREA: 248,269 S.F.

TOTAL CARPORT AREA: 37,417 S.F.

PARKING REQUIRED PER THE IDO
 DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT
 208 UNITS x 1.5 = 312 SPACES REQUIRED
 ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)
 MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES
 BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:
 312 x 10% = 32 BICYCLE PARKING SPACES
 ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

OPEN SPACE CALCULATIONS
 (1BR: 200 SQ. FT. / UNIT)
 (2BR: 250 SQ. FT. / UNIT)
 TOTAL = 128*200 + 80*250 = 45,600 SQ. FT.
 PROVIDED = 144,030 SQ. FT.

PARKING PROVIDED:
 CARPORT PARKING SPACES: 37,417
 BUILDING "A": 52 SPACES
 BUILDING "B": 52 SPACES
 BUILDING "C": 52 SPACES
 BUILDING "D": 52 SPACES
 TOTAL CARPORT PARKING SPACES = 208

REGULAR PARKING SPACES = 156
ACCESSIBLE PARKING SPACES = 12 (2 VAN)
TOTAL PARKING SPACES PROVIDED = 376

PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)
ELECTRIC CHARGING STATIONS PROVIDED = 8

PROJECT NUMBER: PR-2020-004030
APPLICATION NUMBER: SI-2020-00540

Is an Infrastructure List required? Yes No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

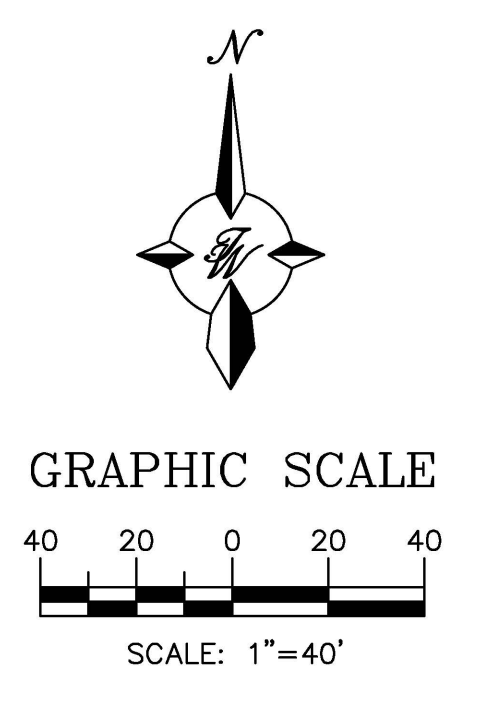
<i>Jeanne Wolfenbarger</i>	Date	Jan 3, 2022
Traffic Engineer, Transportation Division	Date	Dec 29, 2021
<i>Blaine Carter</i>	Date	Dec 31, 2021
RECEIVED	Date	Jan 10, 2022
Parks & Recreation Department	Date	Jan 10, 2022
<i>Renée C. Brunsell</i>	Date	Dec 29, 2021
City Engineer/Hydrology	Date	Dec 29, 2021
<i>Robert Webb</i>	Date	
Code Enforcement	Date	
*Environmental Health Department (conditional)	Date	
Herman Gallegos	Date	12-23-21
Solid Waste Management	Date	Jan 10, 2022
DRB Chairperson, Planning Department	Date	
* Environmental Health, if necessary	Date	

Approved for access by the Solid Waste Department for 8-1b Herman Gallegos 12-23-21

MINI CLEAR SIGHT TRIANGLE NOTE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

PERIMETER WALL NOTE
 THE COLOR OF ALL PERIMETER WALLS SHALL BE TAN.

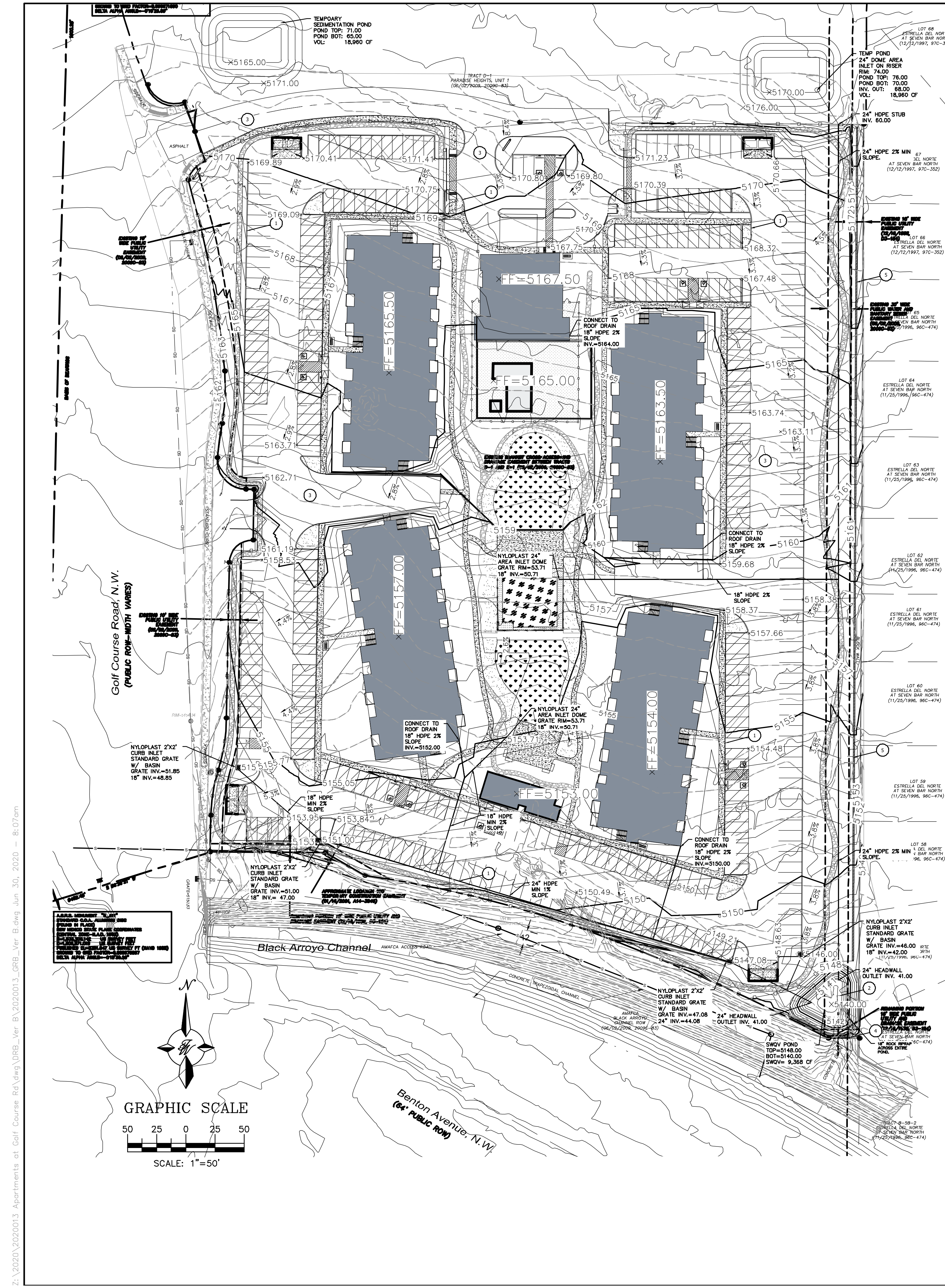
- INDEX TO DRAWINGS**
- C1. SITE PLAN
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. CONSTRUCTION DETAILS
 - C5. CONSTRUCTION DETAILS
 - C6. CONSTRUCTION DETAILS
 - C7. CONSTRUCTION DETAILS
 - B1. BUILDING ELEVATIONS
 - L1. LANDSCAPING PLAN



ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	SITE PLAN	DATE 08/25/2021
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	SHEET # C1
	12/27/2021	JOB # 2020013

T:\WASVZ_Drive\2020\2020013 Apartments at Golf Course Rd\DWG\DRB\A\2020013_SPB.dwg Dec 23, 2021 9:57am
 Golf Course Road, N.W. (W/UT VARIES)
 (PUBLIC ROW-MID TH VARIES)



NOTICE TO CONTRACTORS

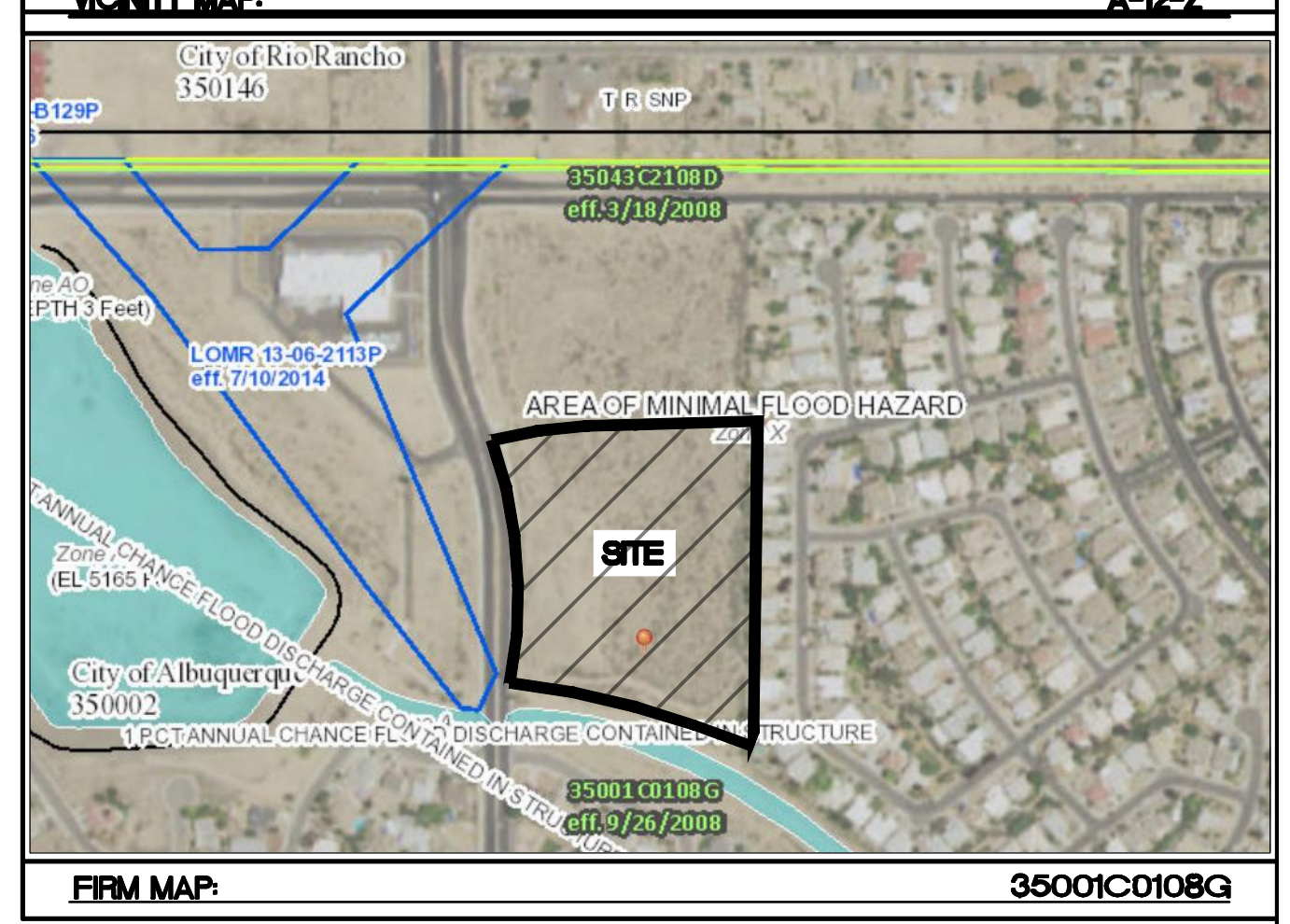
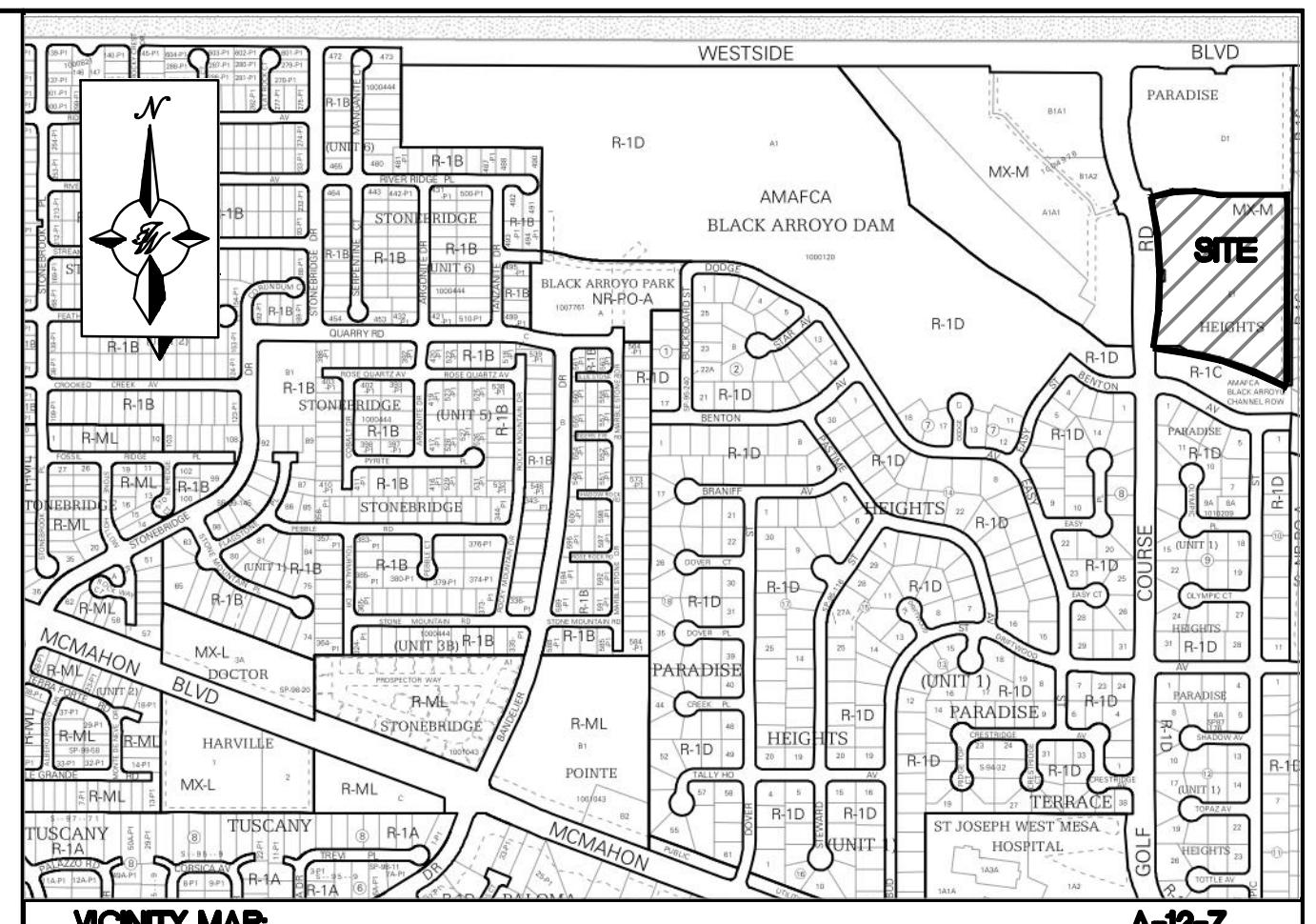
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- 5010 — EXISTING BOUNDARY LINE
- 5011 — EXISTING CONTOUR MAJOR
- 5011 — EXISTING CONTOUR MINOR
- x 5048.25 — EXISTING SPOT ELEVATION

KEYED NOTES

- 1 6" ONSITE CURB AND GUTTER
- 2 SWQV POND - SEE PLAN FOR NUMBER AND VOLUME THIS SHEET
- 3 ASPHALT PAVING (SEE GEOTECH REPORT)
- 4 BUILD NEW CONCRETE RUNDOWN CONNECTION TO EXISTING FLUME 10-FT WIDE, 2.5-FT HEIGHT. SEE DETAIL SHEET.
- 5 NEW BOUNDARY/SCREEN WALL 6-FT HIGH, CMU BLOCK WALL, BY OWNER.



Existing Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment				100-Year, 6-Hr			10-Year, 6-Hr				
					%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
H1	D-1	334,175	7.67	0.01199	100%	7.672	0%	0.000	0%	0.000	0.440	0.281	9.90	0.080	0.051	1.84
H2	E-1	382,736	8.79	0.01373	100%	8.786	0%	0.000	0%	0.000	0.440	0.322	11.33	0.080	0.059	2.11
Total		716,911	16.46	0.02572		16.458	0.000	0.000	0.000	0.000	0.603	21.23		0.110	3.95	

Proposed Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment				100-Year, 6-Hr			10-Year, 6-Hr						
					%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
D1	D-1	334,175	7.67	0.01199	0%	0.000	0%	0.000	15%	1.151	85%	6.521	1.823	1.165	31.80	1.120	0.716	20.56
D2	E-1	65,162	1.50	0.00234	0%	0.000	0%	0.000	30%	0.449	70%	1.047	1.676	0.209	5.86	1.000	0.125	3.69
D3	E-1	46,626	1.07	0.00167	0%	0.000	0%	0.000	22%	0.235	78%	0.835	1.754	0.156	4.32	1.064	0.095	2.76
D4	E-1	23,011	0.53	0.00083	0%	0.000	0%	0.000	26%	0.137	74%	0.391	1.715	0.076	2.10	1.032	0.045	1.33
D5	E-1	67,494	1.55	0.00242	0%	0.000	0%	0.000	75%	1.162	25%	0.387	1.235	0.159	5.03	0.640	0.083	2.85
D6	E-1	120,421	2.76	0.00432	0%	0.000	0%	0.000	25%	0.691	75%	2.073	1.725	0.397	11.04	1.040	0.240	7.02
D7	E-1	30,869	0.71	0.00111	0%	0.000	0%	0.000	15%	0.106	85%	0.602	1.823	0.108	2.94	1.120	0.066	1.90
D8	E-1	29,154	0.67	0.00105	0%	0.000	0%	0.000	0%	0.000	100%	0.669	1.970	0.110	2.92	1.240	0.069	1.93
Total		716,911	16.46	0.02572		0.000	0.000			3.932		12.526		2.381	66.024		1.439	42.059

Basin ID	SWQV	
	Vol Required (cf)	Provided (cf)
D1	0	0
D2	1,596	0
D3	1,273	0
D4	596	0
D5	591	0
D6	3,161	9,368
D7	918	0
D8	1,020	0
Total	9,156	9,368

Equations:
 Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed
 Volume = Weighted E * Total Area
 Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Zone	Excess Precipitation, E (in.)	
	100-Year	10-Year
Ea	0.44	0.08
Eb	0.67	0.22
Ec	0.99	0.44
Ed	1.97	1.24

Zone	Peak Discharge (cfs/acre)	
	100-Year	10-Year
Qa	1.29	0.24
Qb	2.03	0.76
Qc	2.87	1.49
Qd	4.37	2.89

SWQV Pond Volume Calculation	
Area at Mid Depth	1,171 Sq. Ft.
Depth of Pond	8 Ft.
Total Volume	9,368 Cubic Ft.

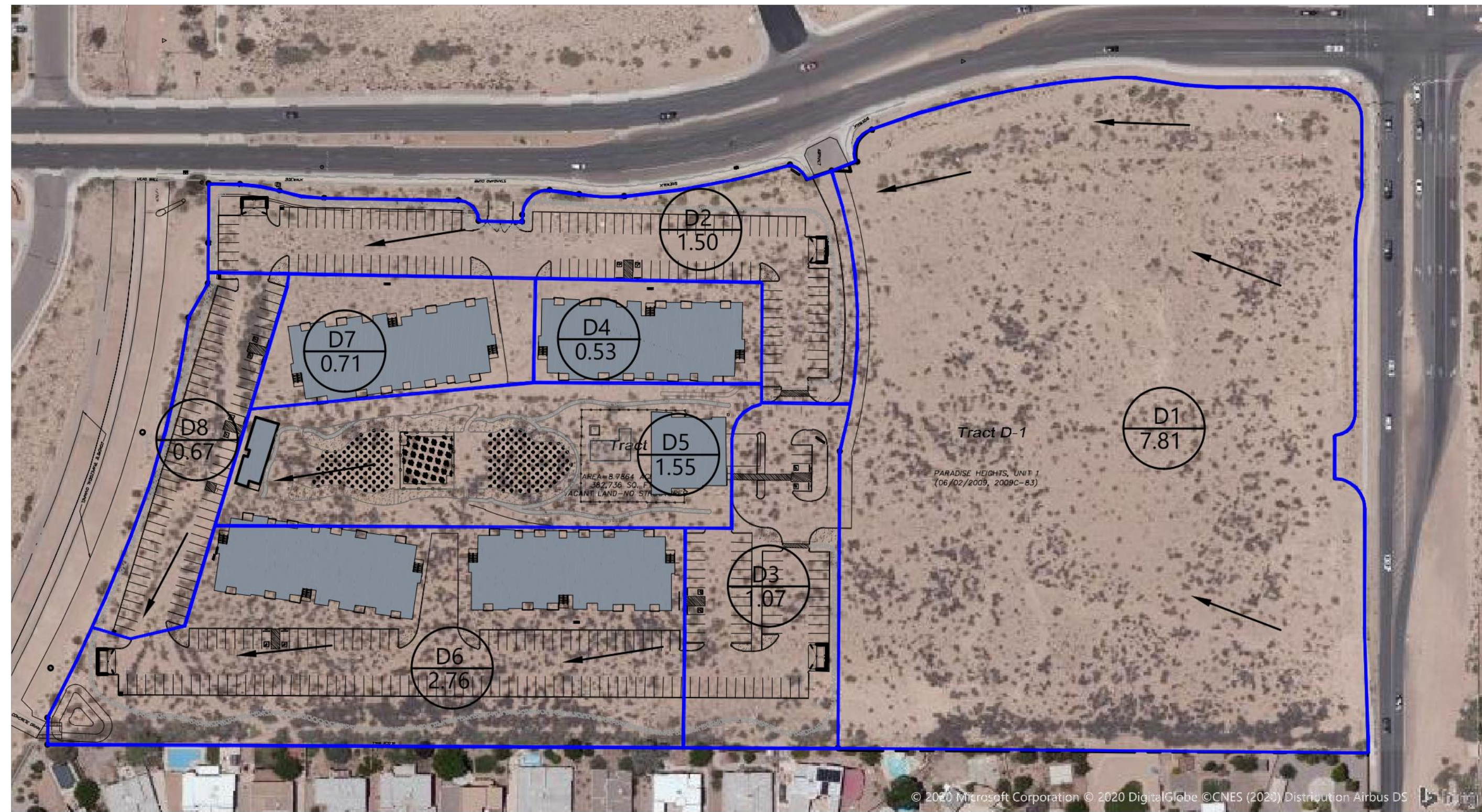
Stormwater Quality Volume
 Total Impervious Area = Σ Area in "Treatment D"
 Retainage depth = 0.42" Per DPM Pg. 272 = 0.035
 Retention Volume = 0.035 x area foot
 CF

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

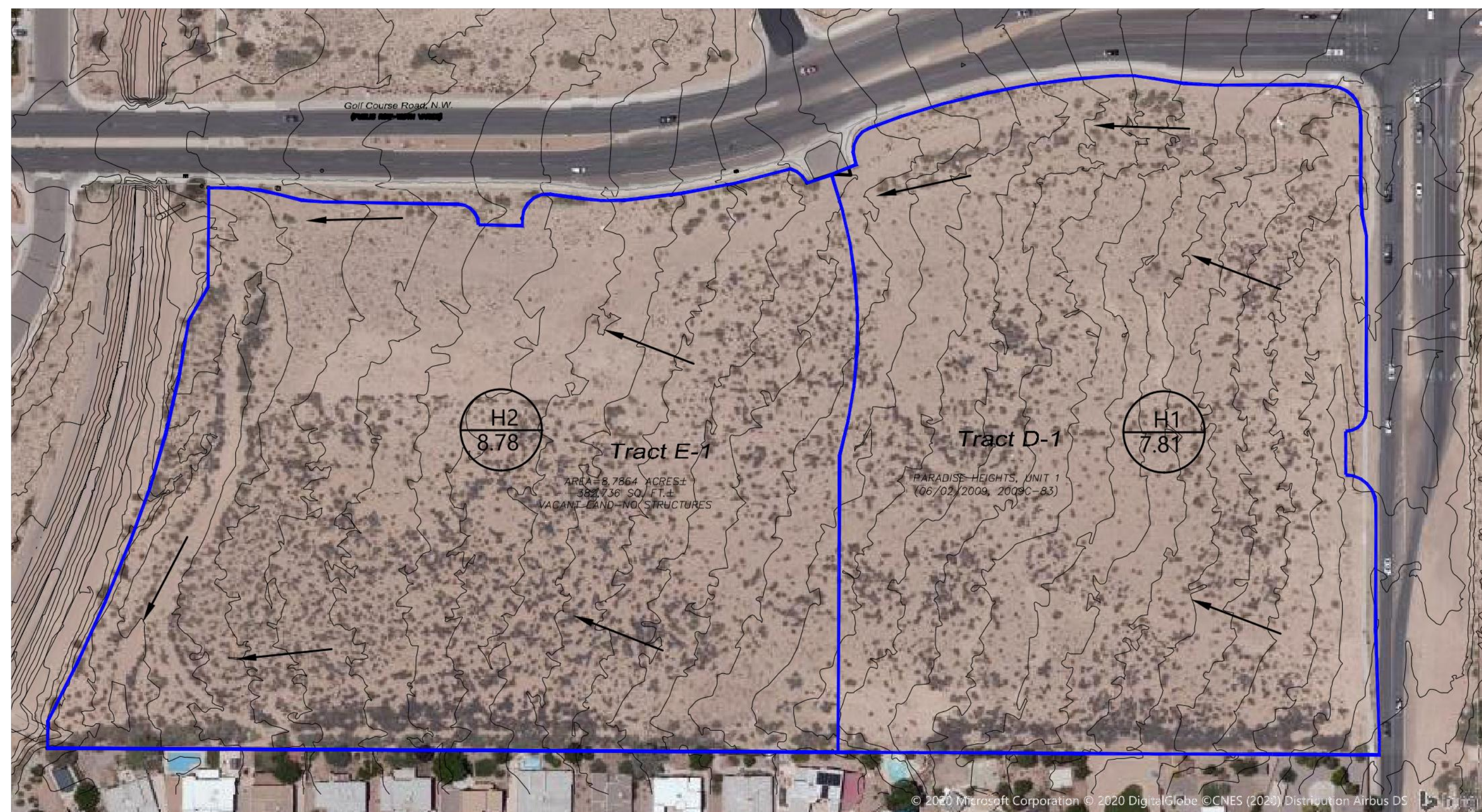
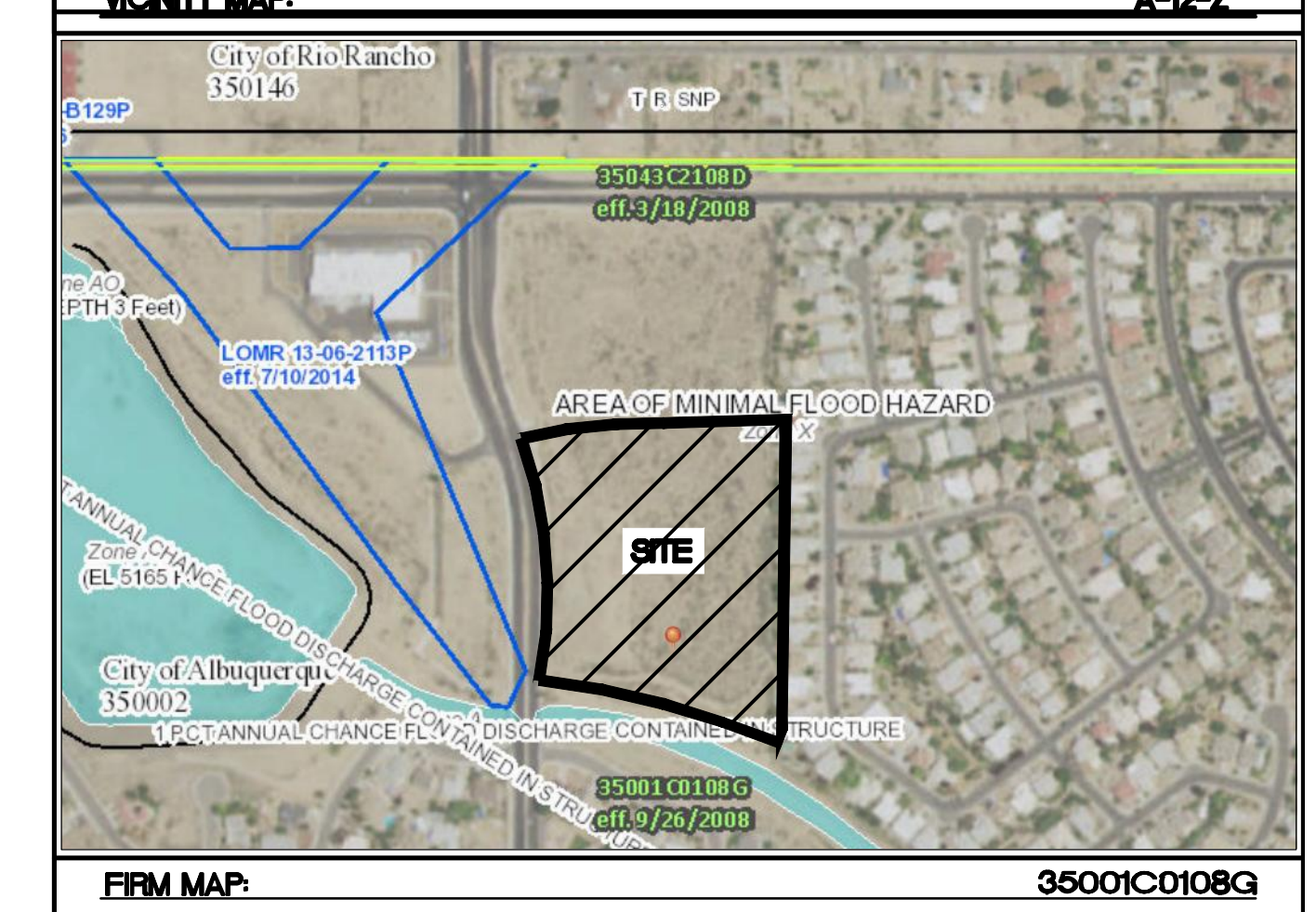
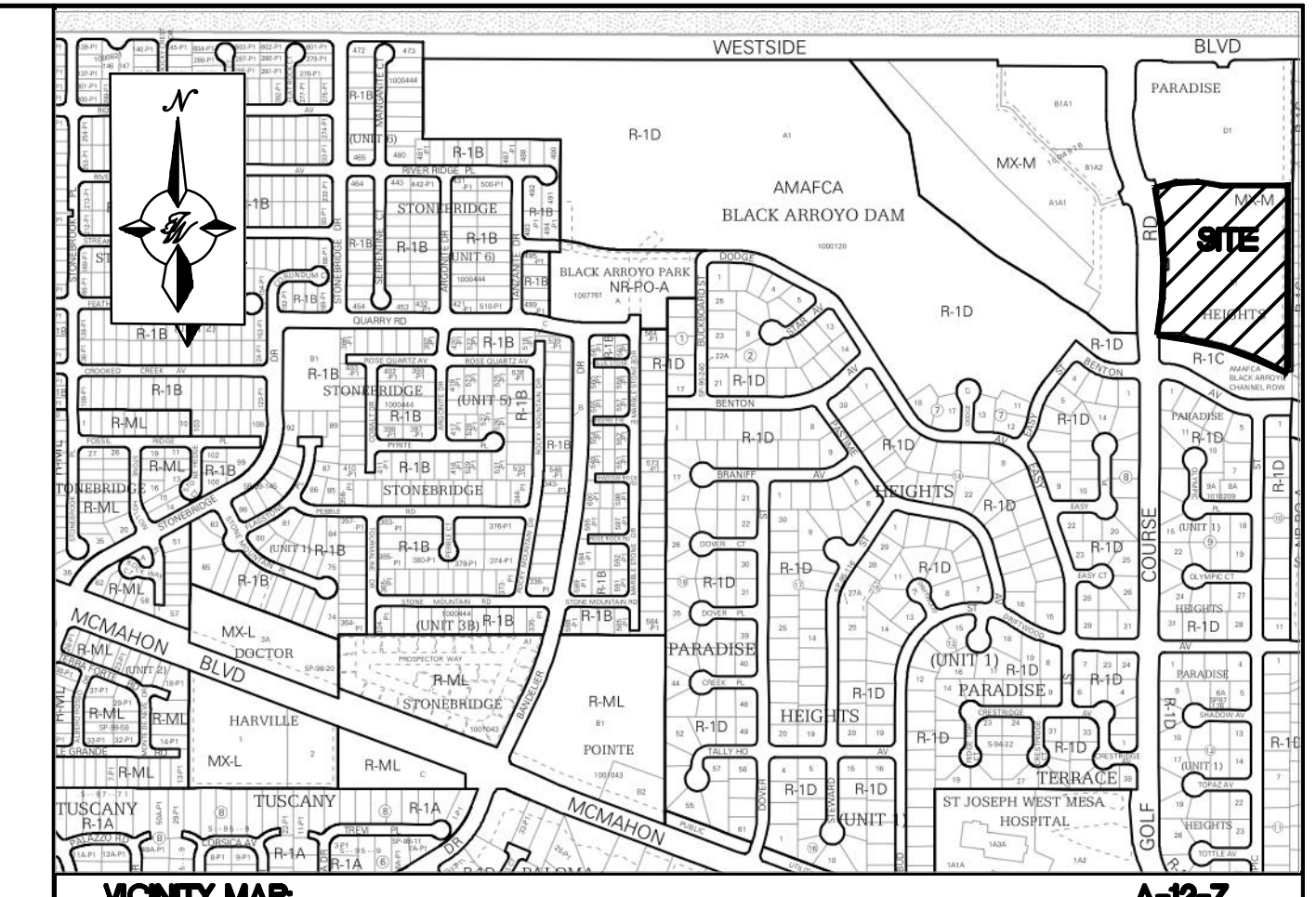
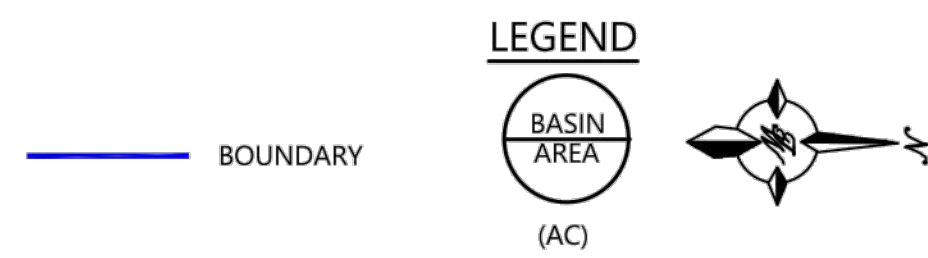
PRELIMINARY - NOT FOR CONSTRUCTION

	ENGINEER'S SEAL WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE CONCEPTUAL GRADING & DRAINAGE PLAN	DRAWN BY BF DATE 6/26/2020 PROJECT # 2020013_GRB_VER B
		SHEET # C2 JOB # 2020013

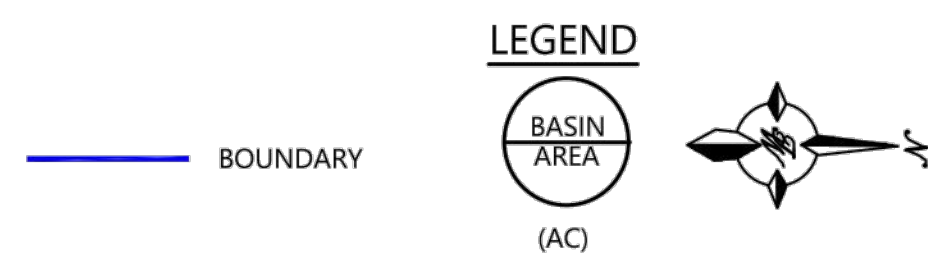
21/2020/2020013_Apartments at Golf Course Rd (Public ROW) - Ver. B (2020013_GRB_Ver. B) - 8/07/20



PROPOSED BASIN MAP
DEVELOPED CONDITION - 10800 GOLF COURSE RD. NW



HISTORIC BASIN MAP
EXISTING CONDITION - 10800 GOLF COURSE RD. NW



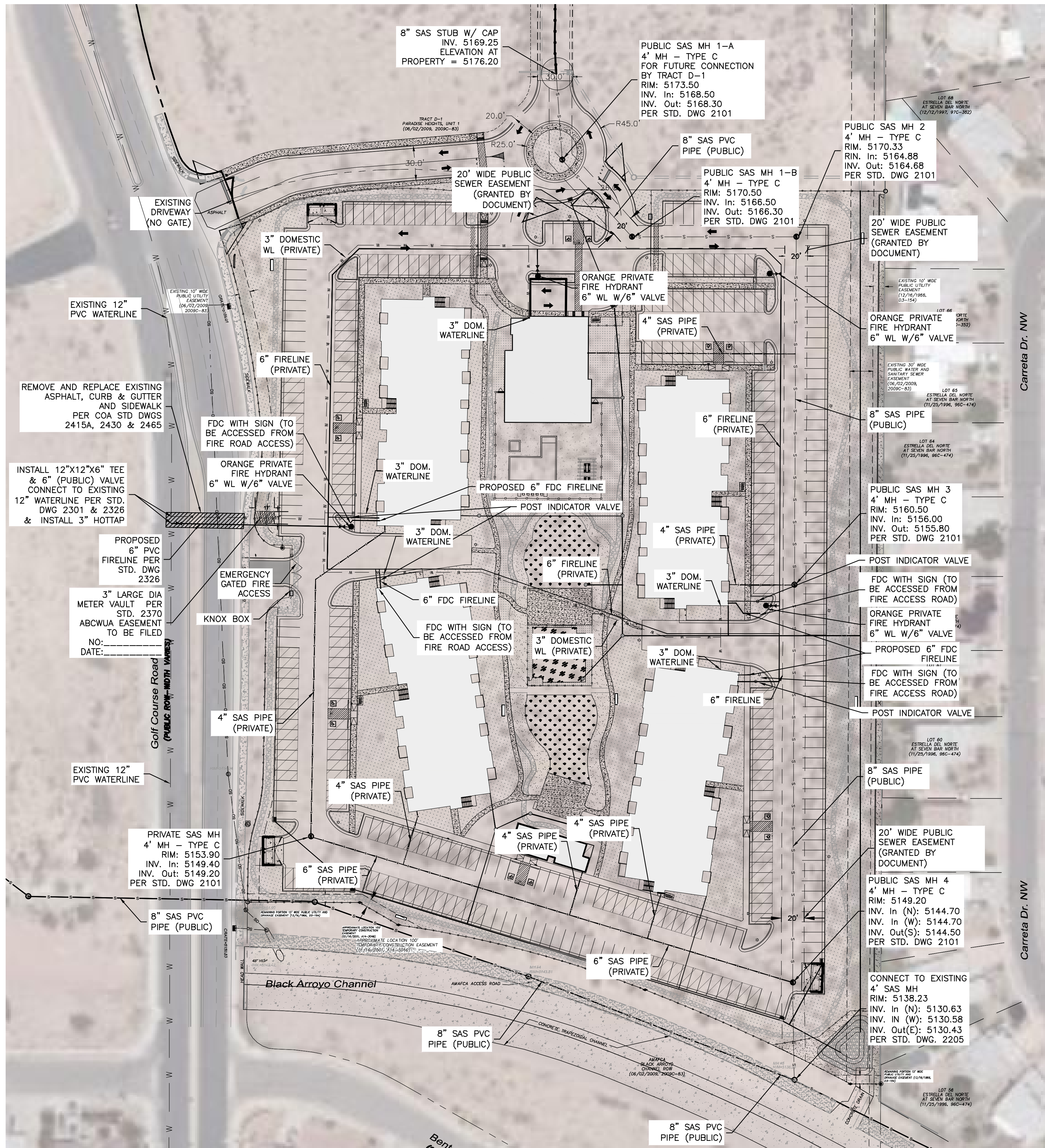
Pipe Number	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)
1	30	2.00	4.91	0.625	58.16
2	30	1.00	4.91	0.625	41.13
3	24	2.00	3.14	0.500	32.08
4	24	1.00	3.14	0.500	22.68
5	18	2.00	1.77	0.375	14.90
6	18	1.00	1.77	0.375	10.53

Manning's Equation:
 $Q = 1.49/n * A * R^{2/3} * S^{1/2}$
 A = Area
 R = D/4
 S = Slope
 n = 0.013

Z:\2020\2020013_Apartments at Golf Course_R\Drawings\DRB_Ver_B\2020013_GRB_Ver_B.dwg Jun 30, 2020 - 8:02am

PRELIMINARY - NOT FOR CONSTRUCTION

	ENGINEER'S SEAL WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE	DRAWN BY BF
	CONCEPTUAL GRADING & DRAINAGE PLAN	DATE 6/26/2020
6/26/2020 RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2-B JOB # 2020013

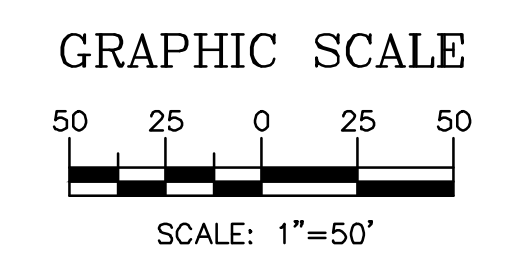
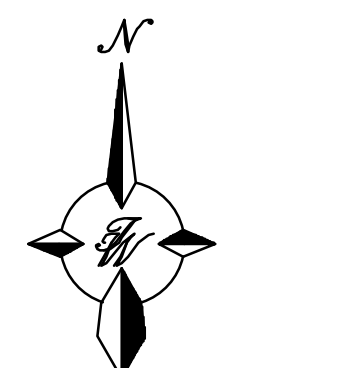


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- ▭ SCREEN WALL
- ▭ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - STORM SEWER LINE
- - - 36" SD
- - - 8" SAS
- - - 8" WL
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE
- - - EX. 2" GAS
- - - EX. 8" SAS
- - - EX. 10" WL
- - - EX. 18" RCP

ABCWUA AGREEMENTS:
WATER AND SEWER SERVICEABILITY LETTER #200506

WINTERGREEN APARTMENTS DEVELOPMENT AGREEMENT #R-20-19



- WATER NOTES:**
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
 - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
 - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
 - ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
 - ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
 - CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
 - RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
 - ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
 - CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

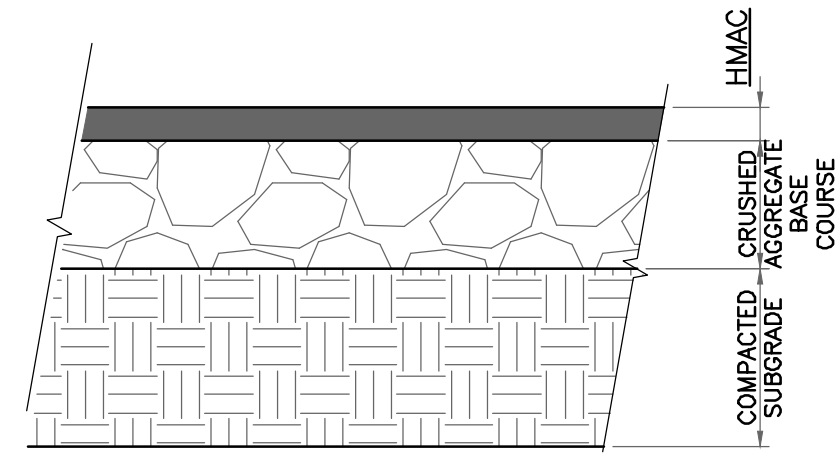
- GENERAL UTILITY NOTES:**
- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
 - PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
 - AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
 - PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
 - NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
 - CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
 - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
 - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
 - P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
 - CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

ABCWUA NOTES:
 THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/483/729/](http://abcwua.org/content/view/full/483/729/)

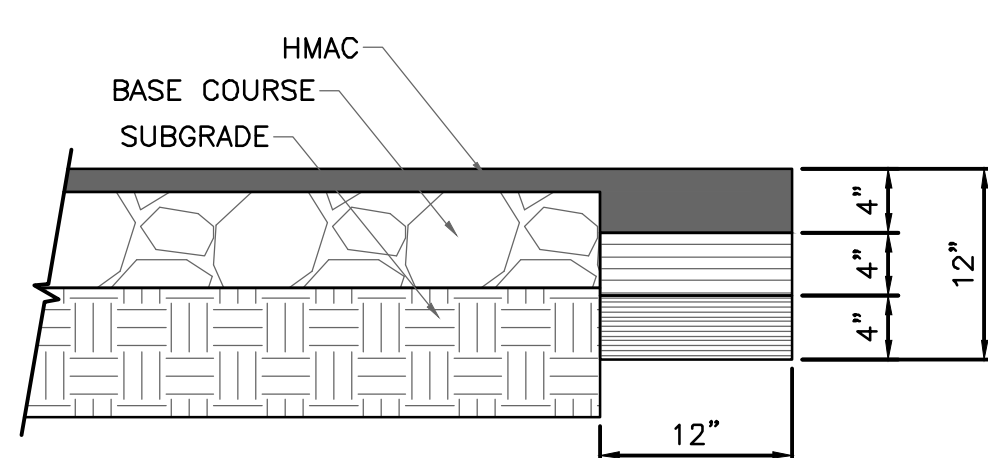
ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	CONCEPT MASTER UTILITY PLAN 	DATE 2/15/2021
		2020013_MUB
		SHEET # C3
		JOB # 2020013

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

W:\TWS\AZ_Drive\2020\2020013_Apartments.ctb Golf Course Rd.dwg (DRB) 2020013_MUB.dwg Feb. 16, 2021 - 8:15am



PAVEMENT SECTION DETAIL
SCALE: 1"=1'



PAVEMENT TERMINUS
SCALE: 1"=1'

PAVEMENT NOTES

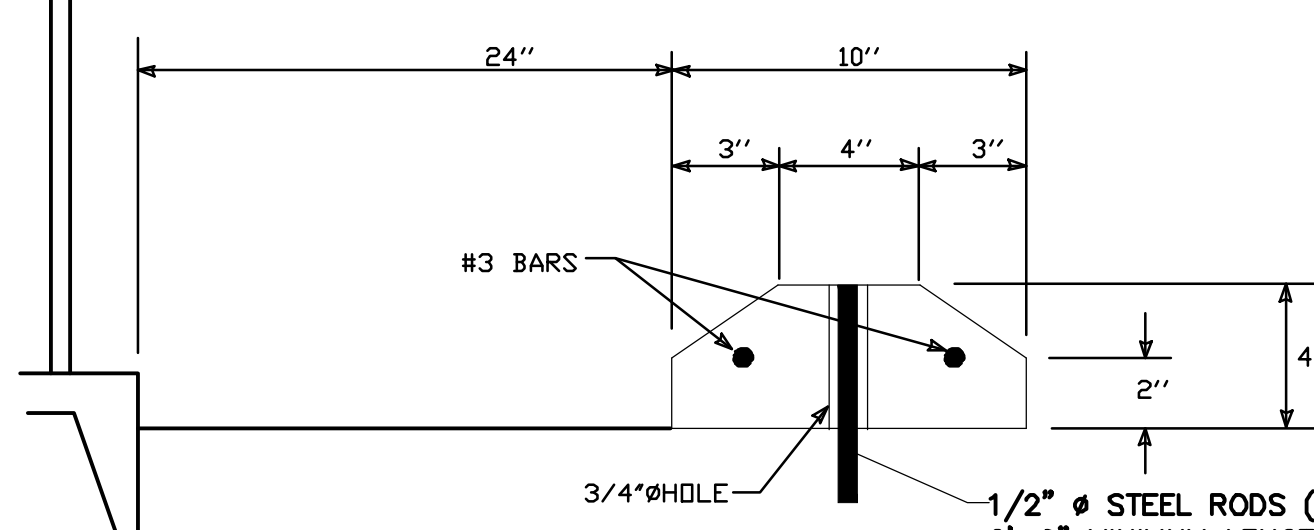
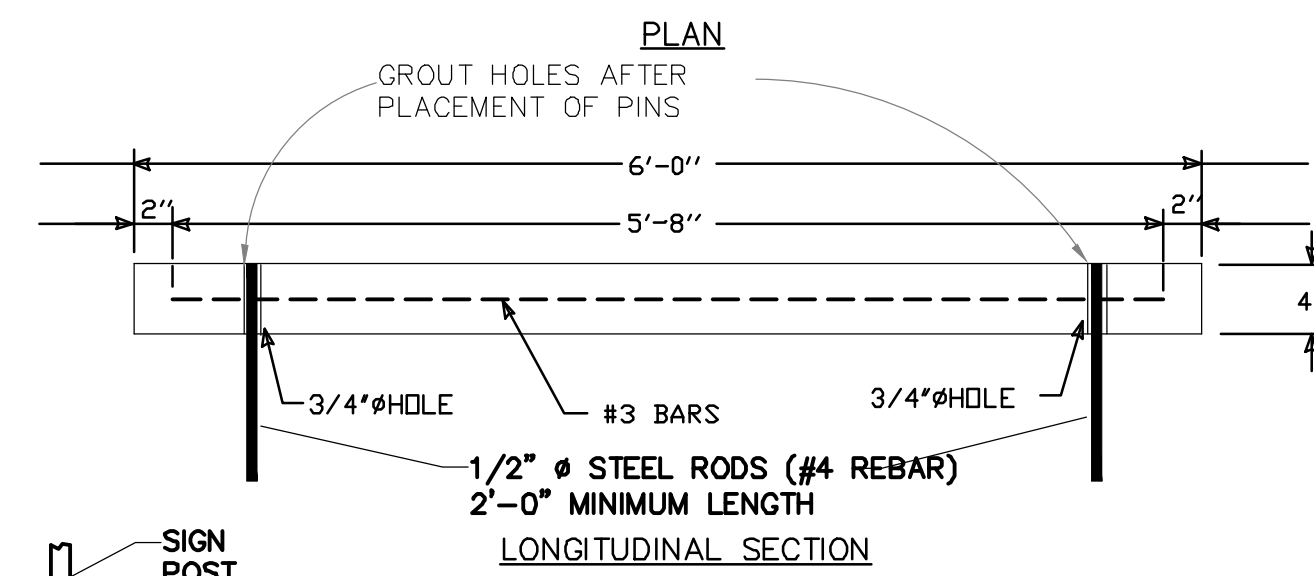
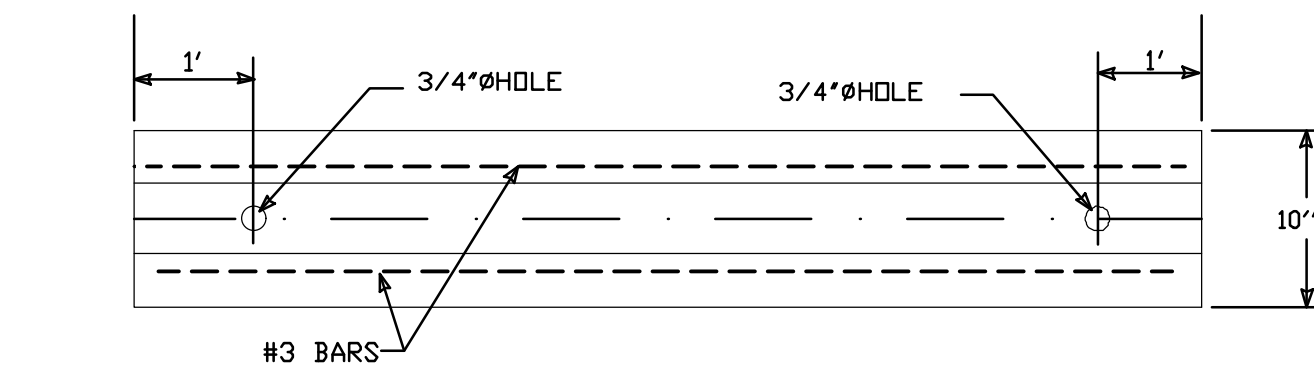
- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

TRENCHING

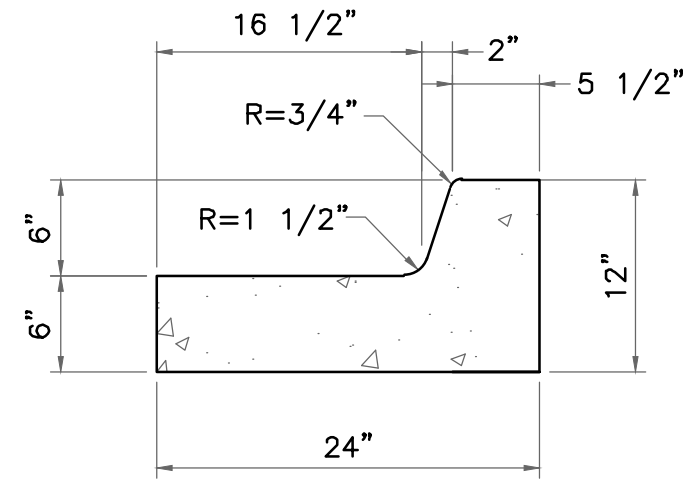
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

NOTE:

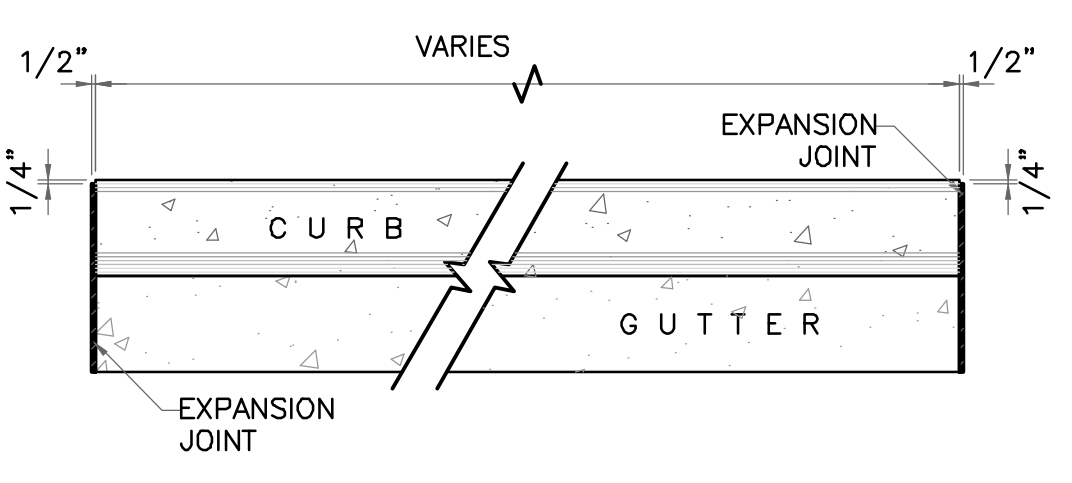
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



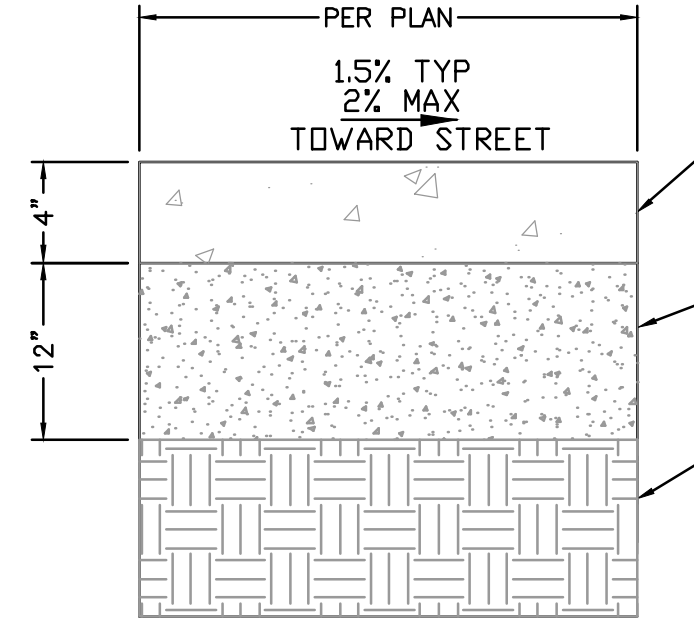
WHEEL STOP



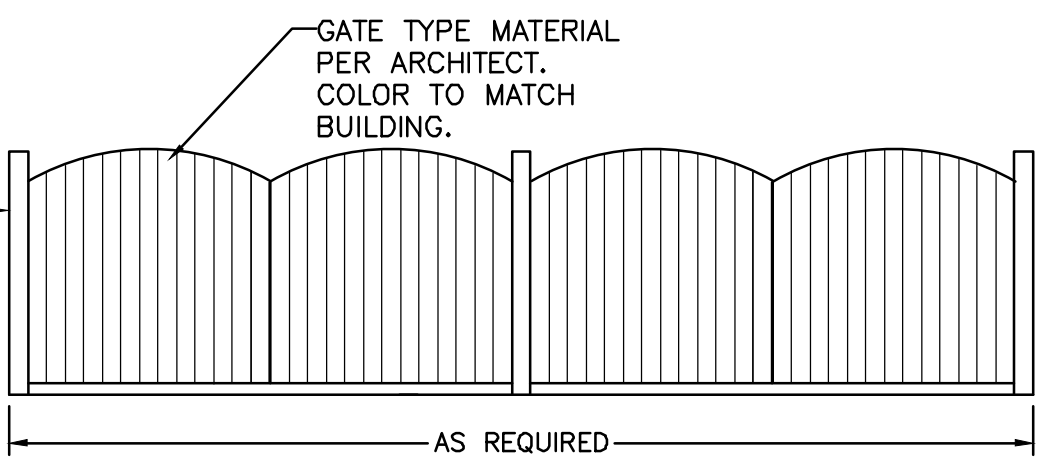
END SECTION



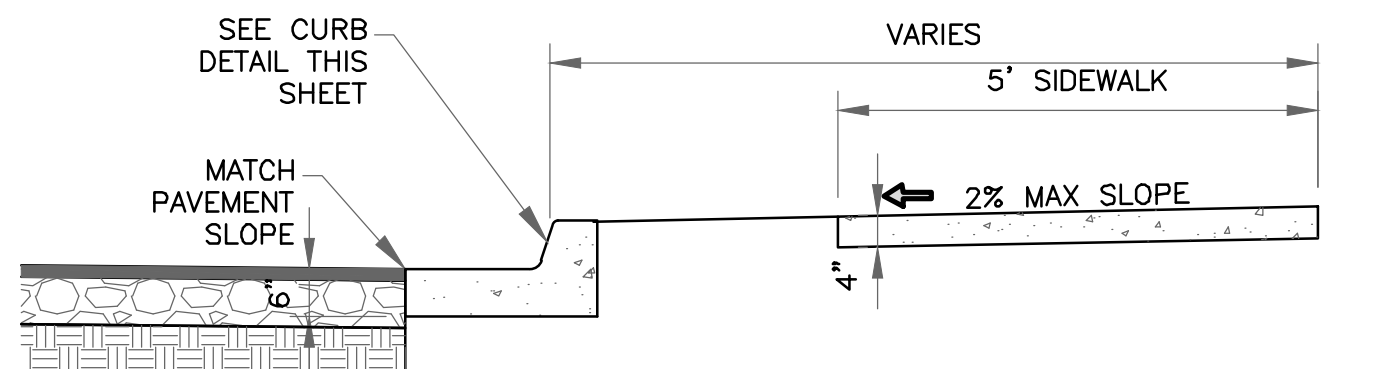
PLAN VIEW



CONCRETE SIDEWALK SECTION

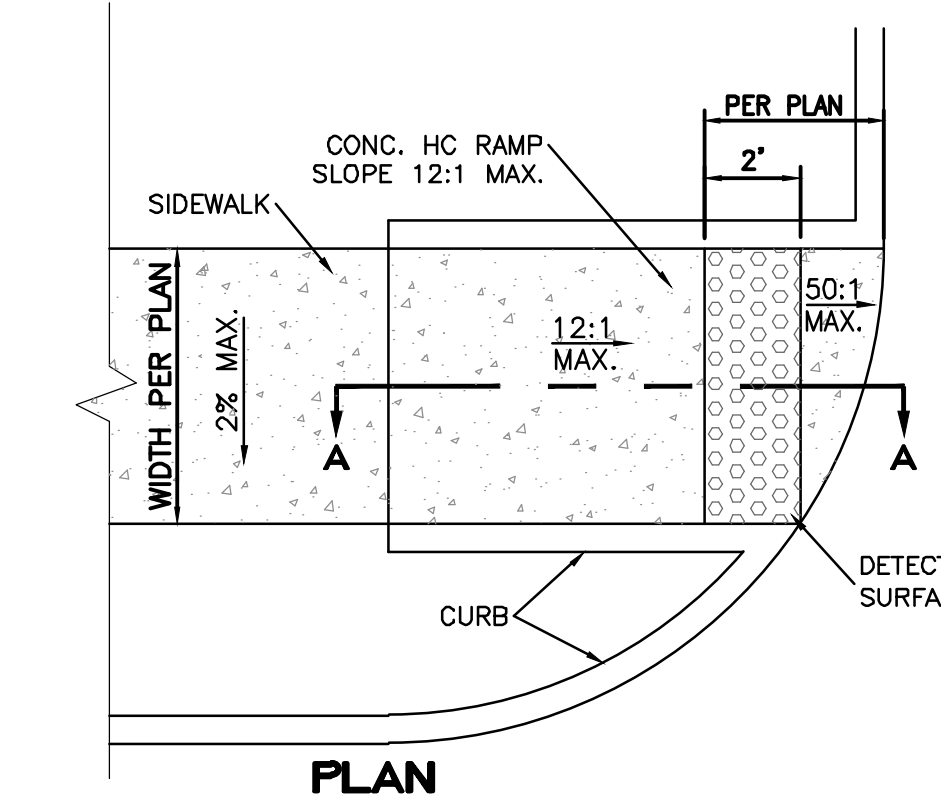


DOUBLE DUMPSTER ENCLOSURE DETAIL



NOTES:

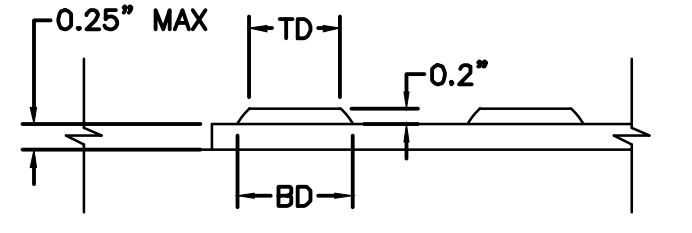
- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.



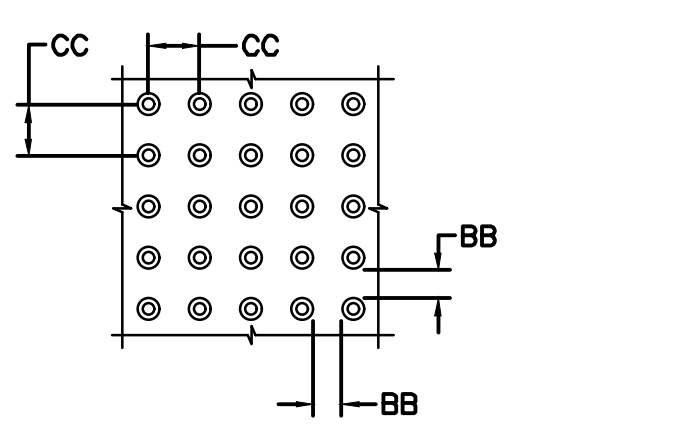
PLAN

NOTES:

- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.

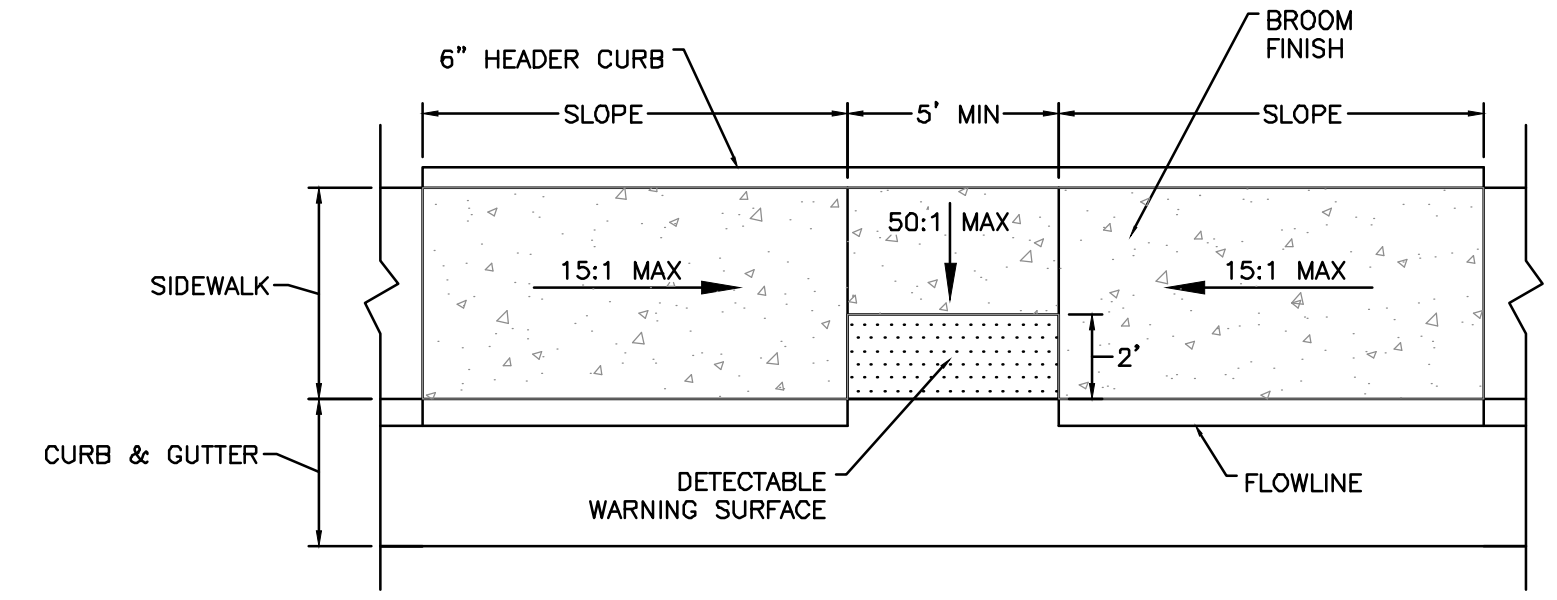


DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

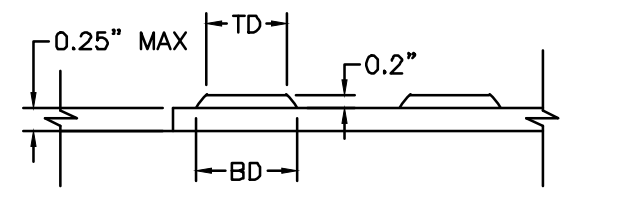
ZERO CURB



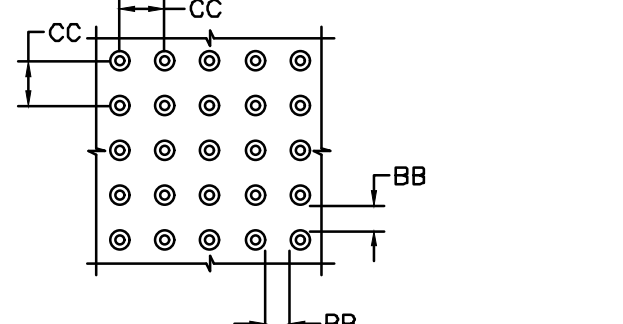
PARALLEL CURB HC RAMP
NOT TO SCALE

NOTES:

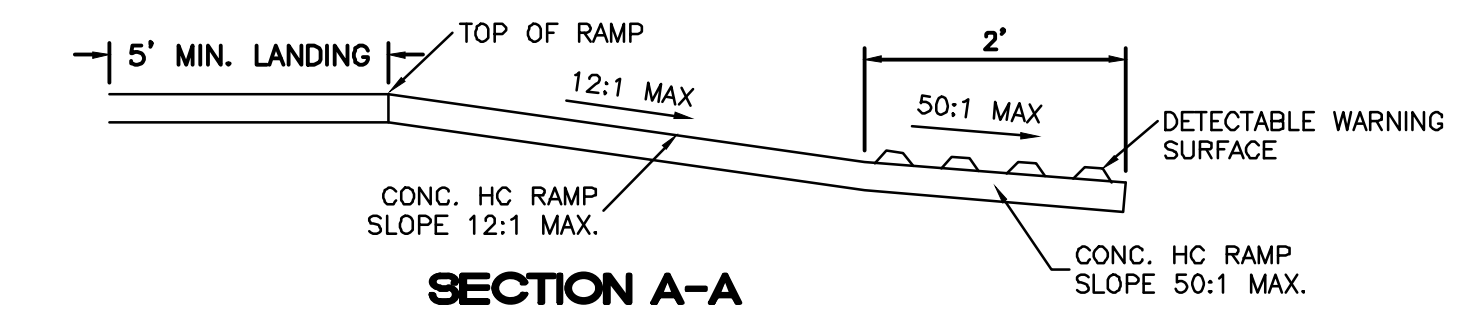
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.



DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



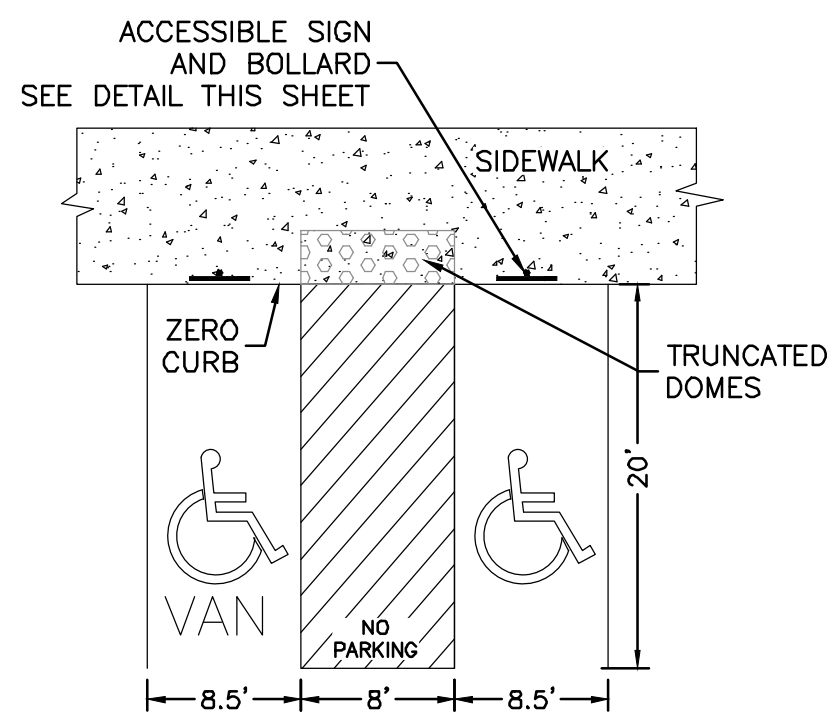
SECTION A-A

UNIDIRECTIONAL HC RAMP
NOT TO SCALE

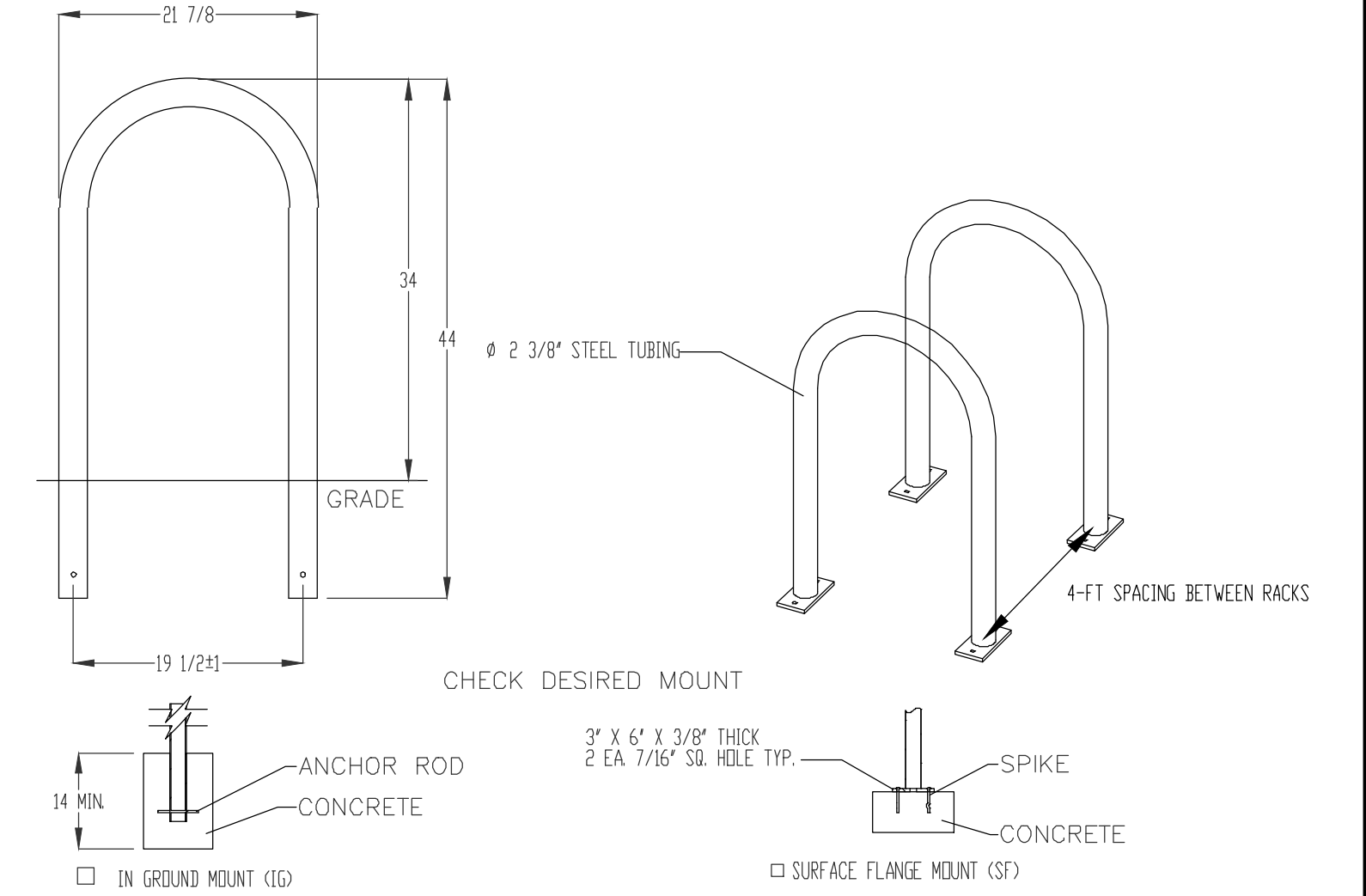
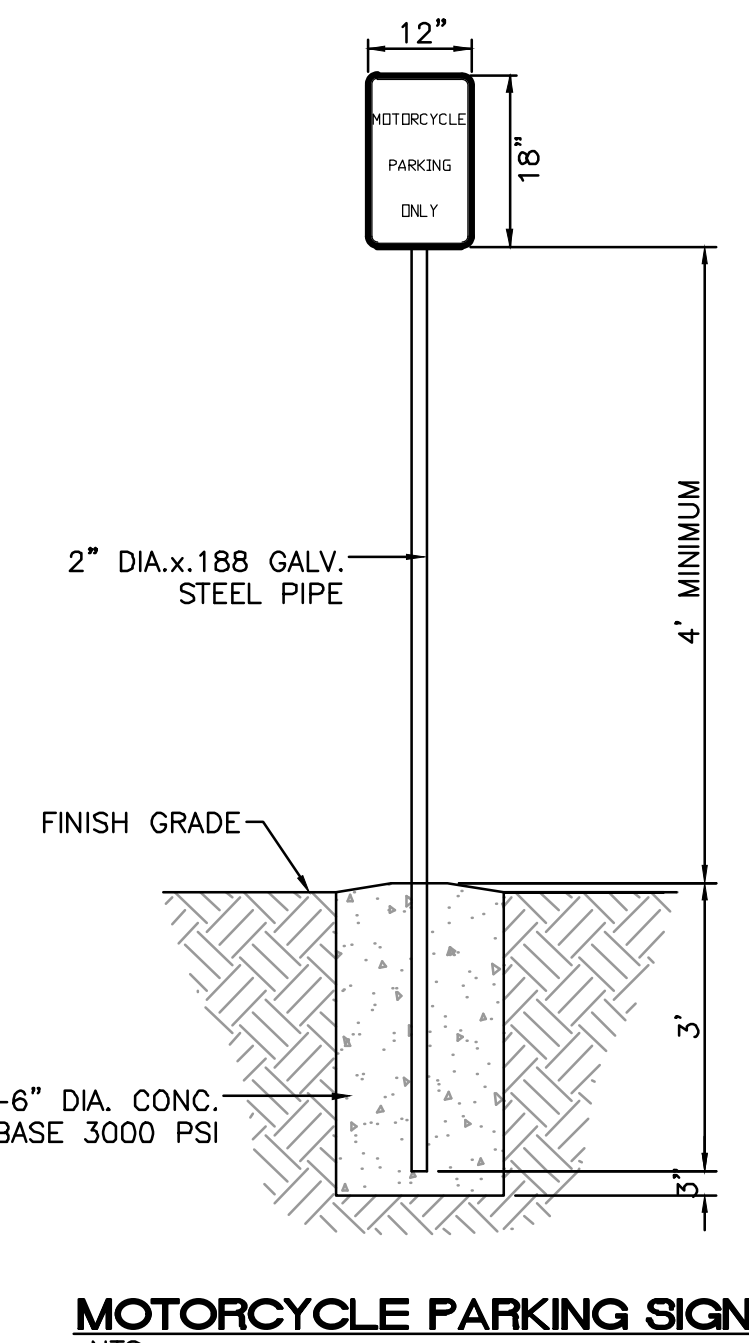
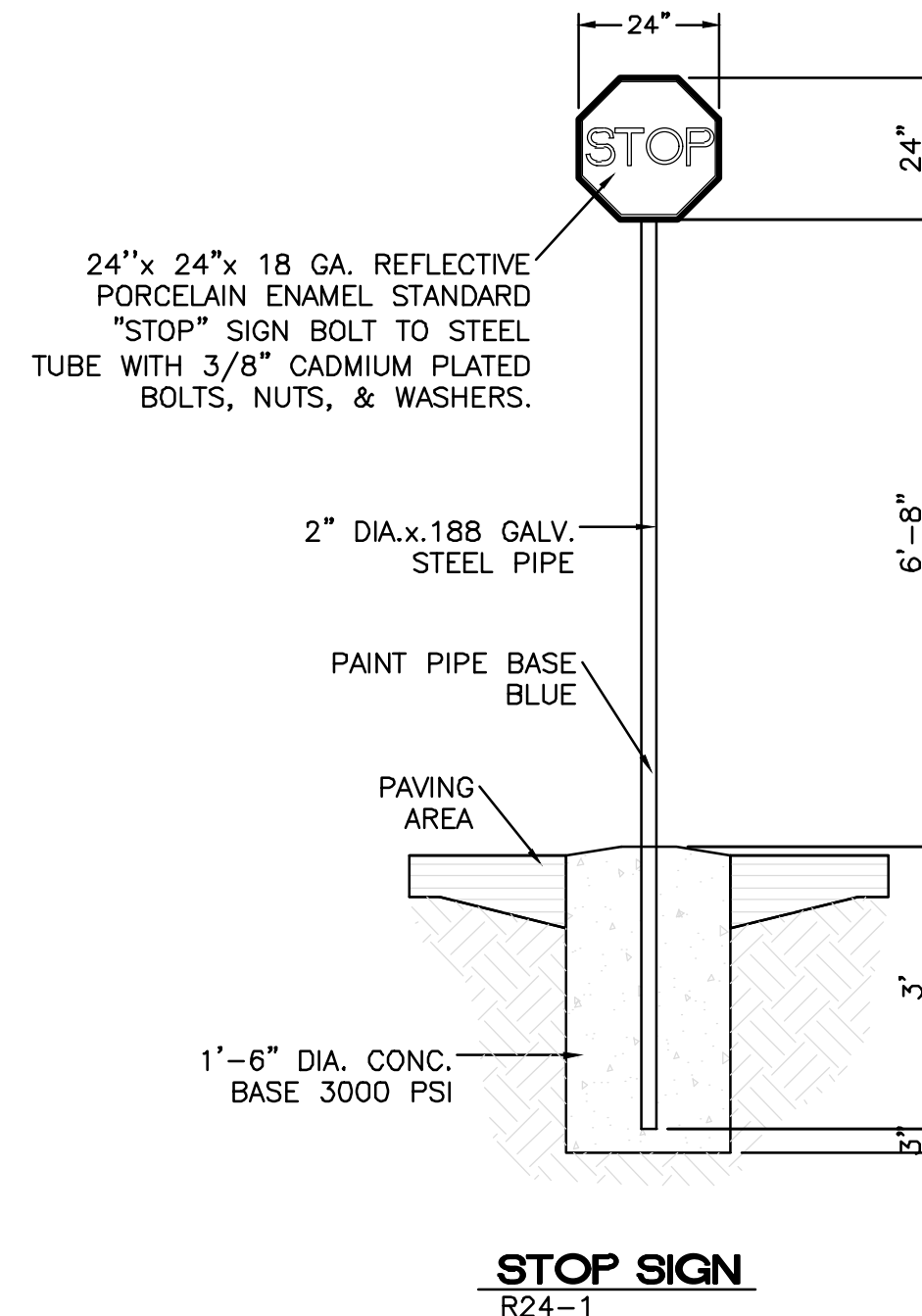
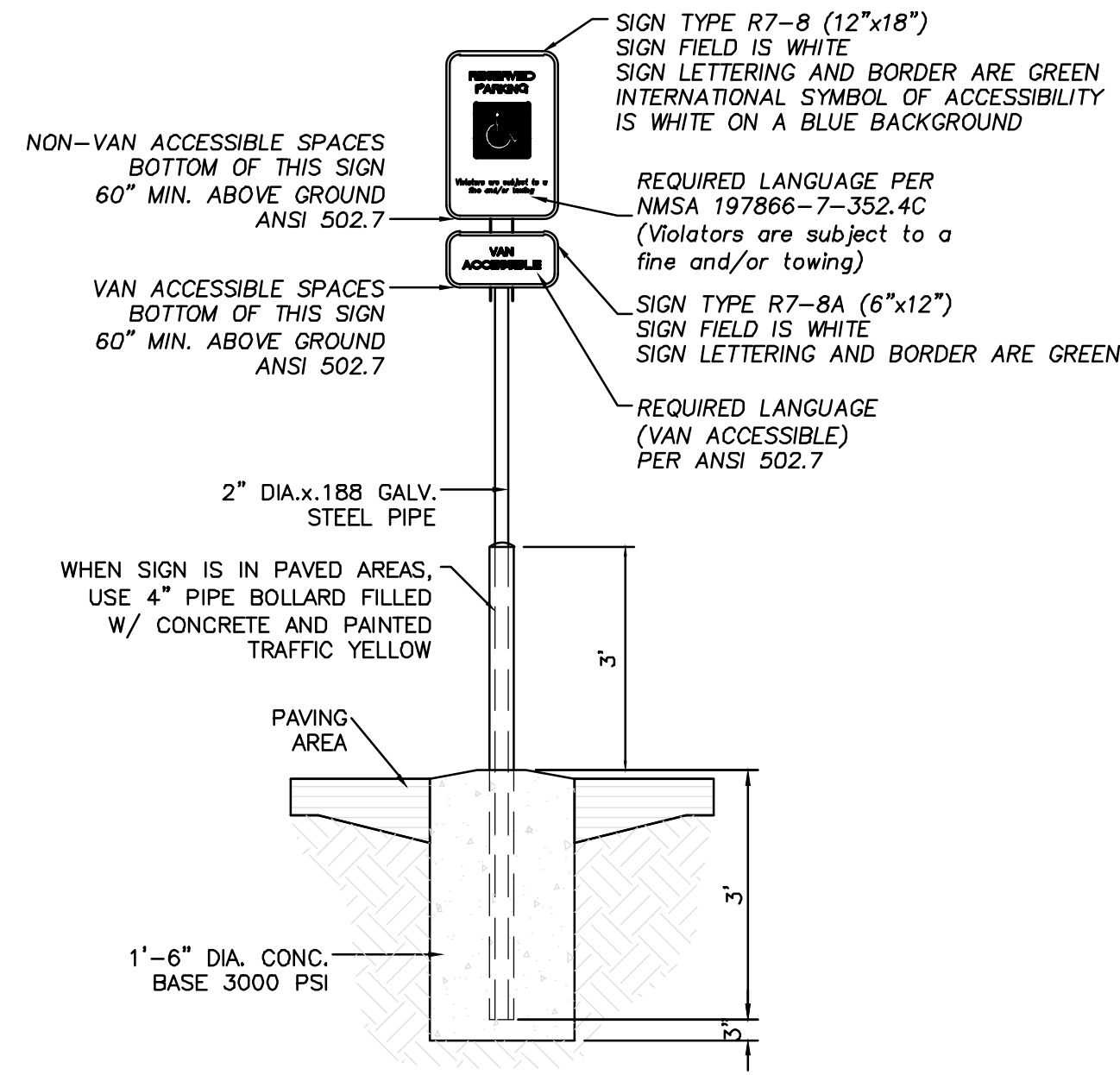
ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 2/15/2021	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW CONSTRUCTION DETAILS TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY BF DATE 2/15/2021 2020013_DTB SHEET # C4 JOB # 2020013

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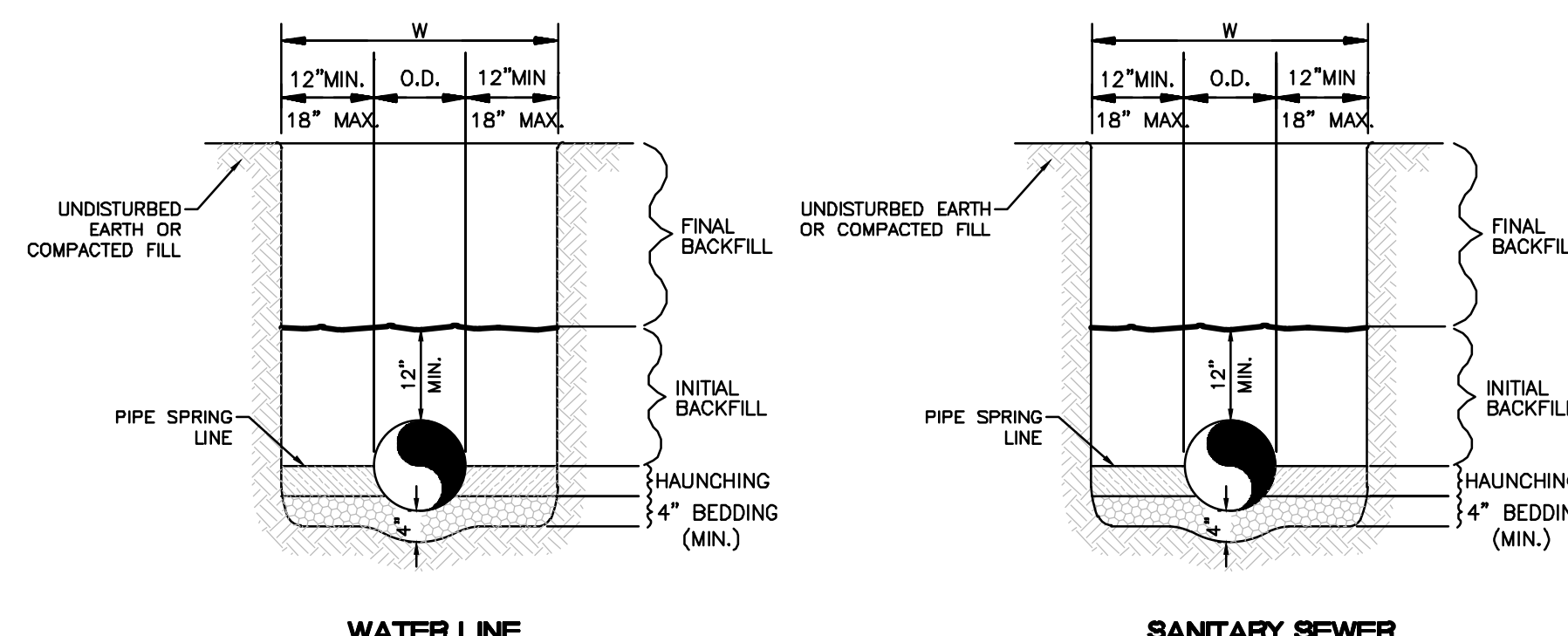
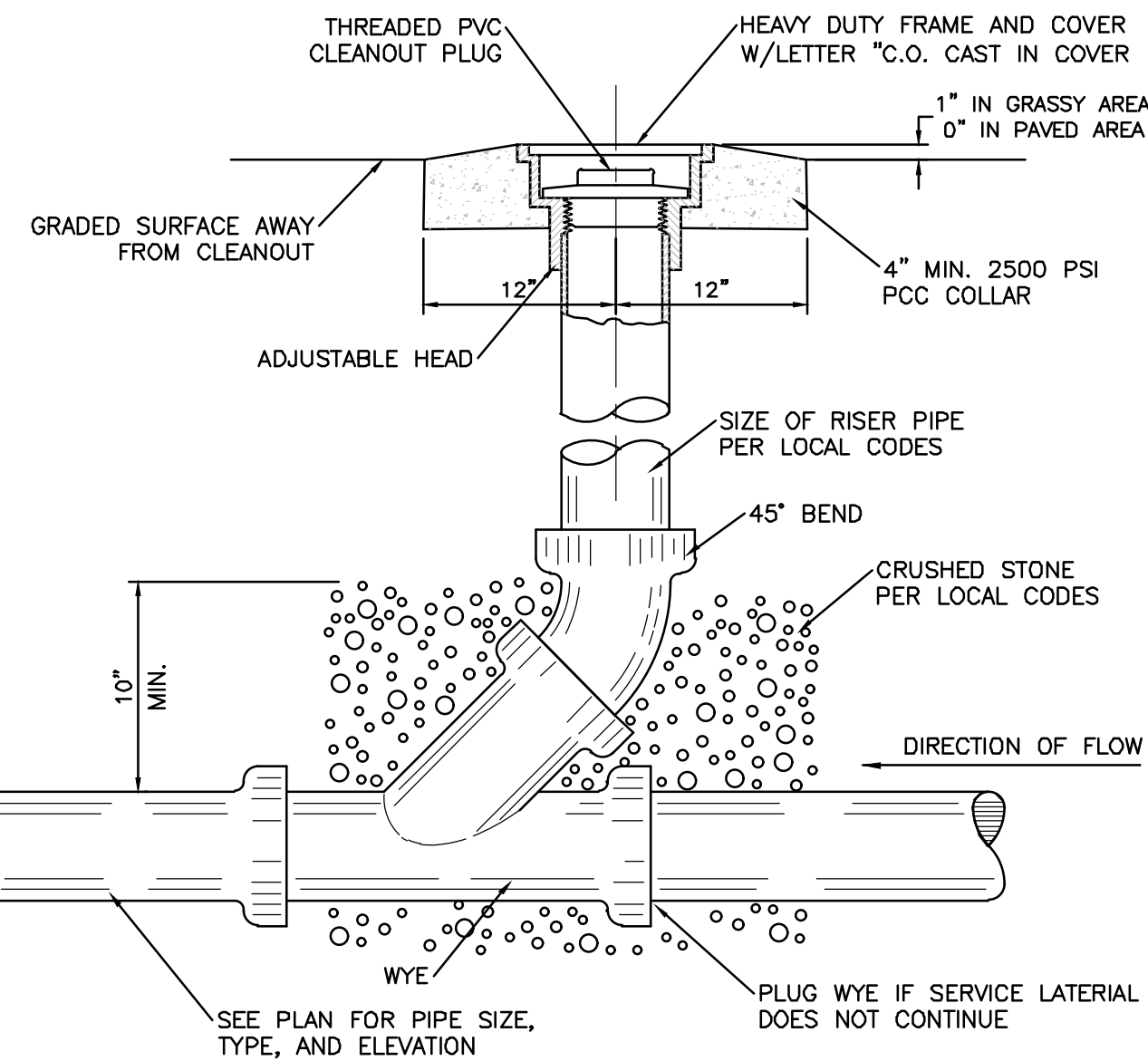
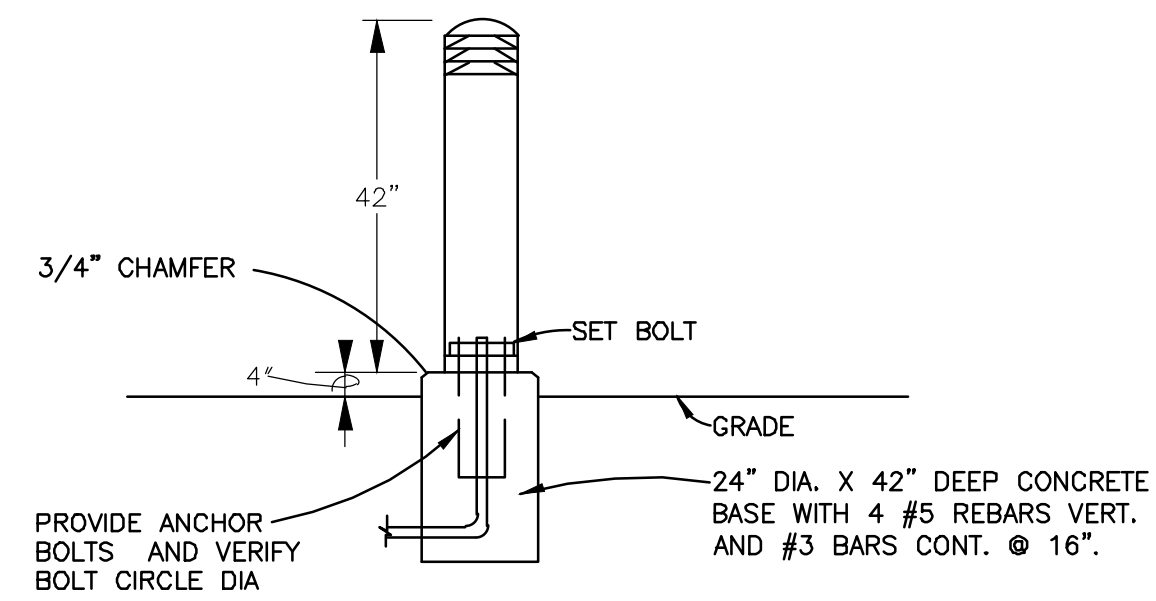


- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
 - 4) ADA parking areas - not to exceed a slope greater than 2% in any direction

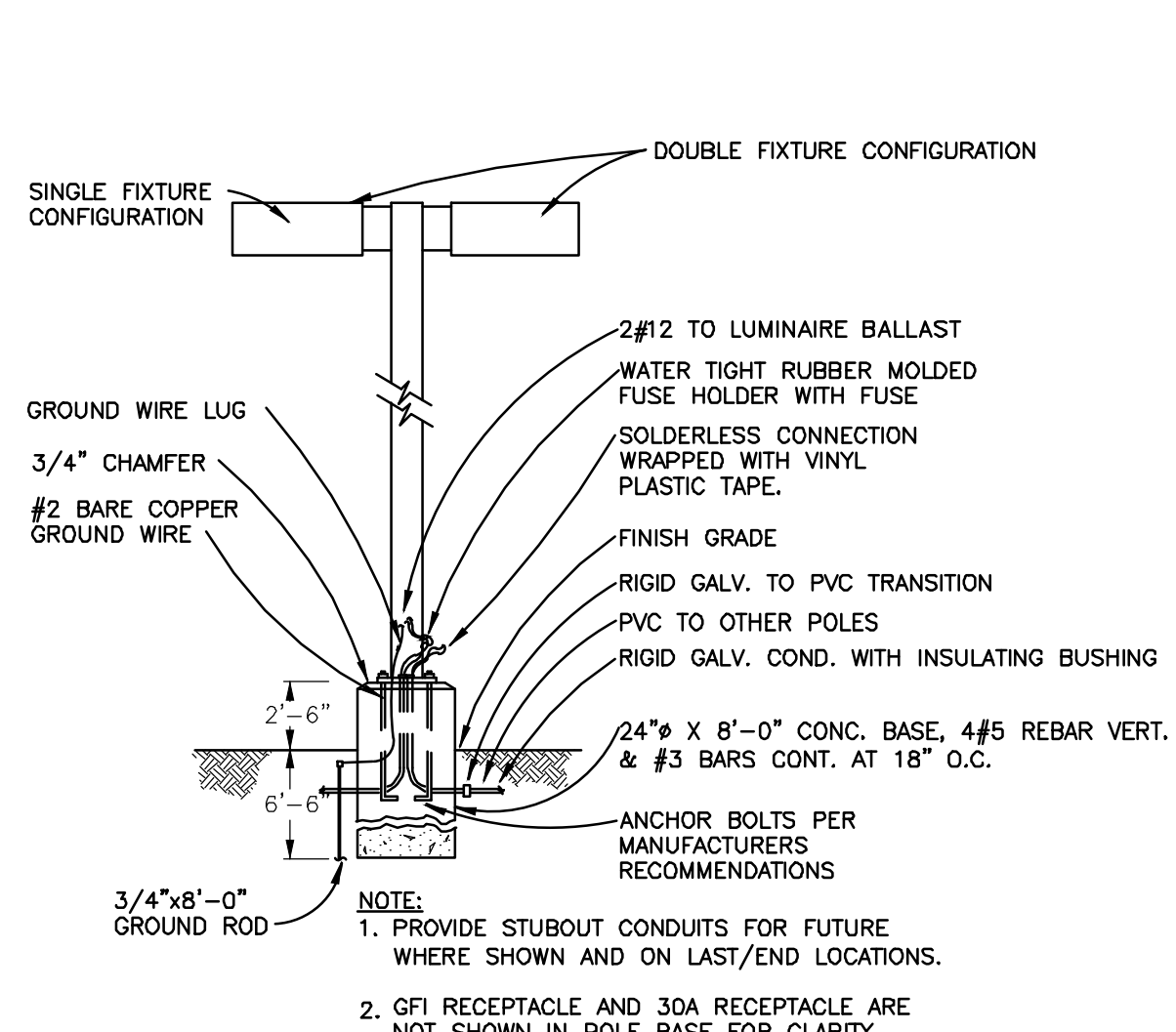


- PRODUCT: 1238-1239**
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SMC
- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
- CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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- GENERAL NOTES:**
1. 1-FT CLEAR ZONE AROUND BICYCLE RACK SHALL BE PROVIDED
 2. SPACE RACKS 4-FT APART
 3. NUMBER OF RACKS LISTED ON PLAN
 4. RACKS SHALL BE A MINIMUM OF 30 INCHES TALL AND 18 INCHES WIDE
 5. BICYCLE RACKS SHALL BE ANCHORED TO THE CONCRETE PAD
 6. BICYCLE PARKING SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE

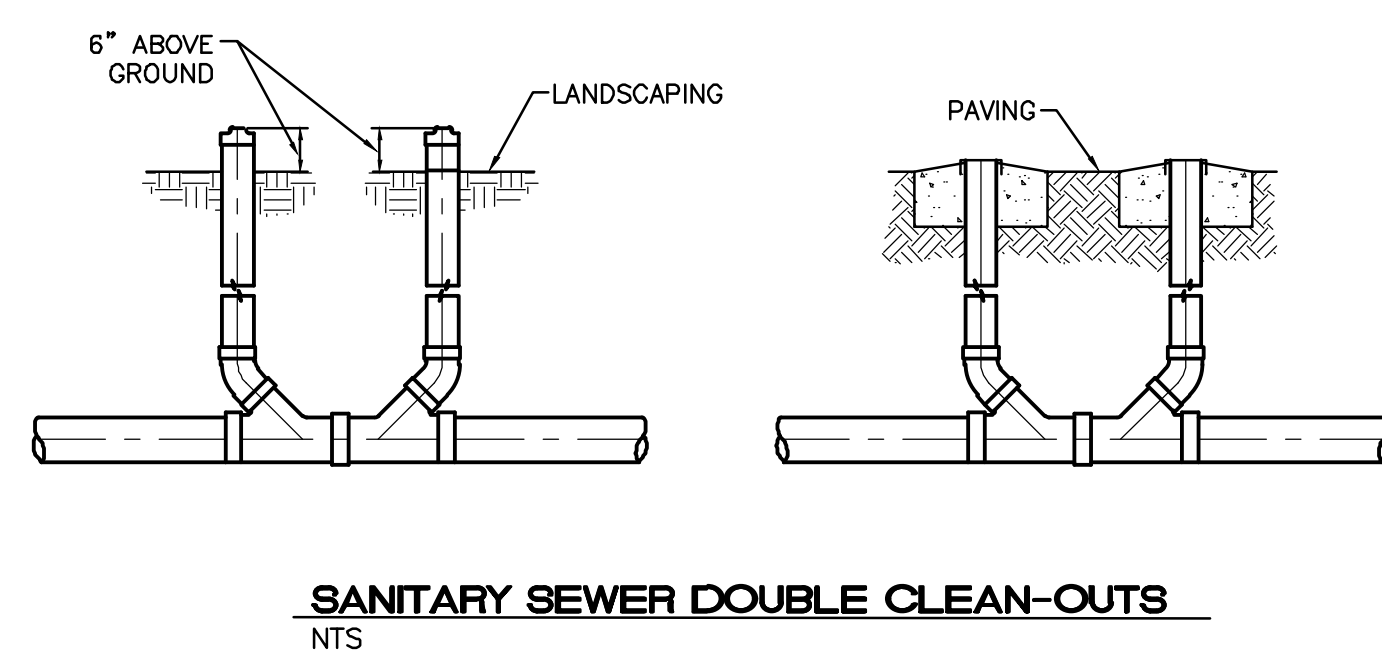


- GENERAL NOTES**
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
 2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
 3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
 4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 95% STANDARD PROCTOR.
 5. FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
 6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
 8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
 9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)



LIGHT POLE DETAIL
NTS

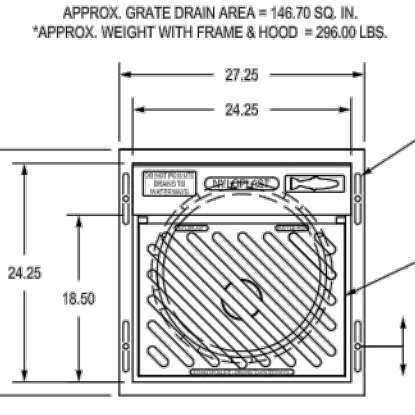
- NOTE:**
1. LIGHTING SHALL COMPLY WITH ZONING CODE §14-16-3-9.
 2. HEIGHT LIMITED TO 16'.



ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS	DRAWN BY BF
	10820 GOLF COURSE RD. NW	DATE 2/15/2021
	CONSTRUCTION DETAILS	2020013_DTB
	TERRA WEST, LLC	SHEET # C5
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2020013

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3099CGSQDF & 3099CGSFH



APPROX. GRADE DRAIN AREA = 140 TO 300 SQ. IN.
APPROX. WEIGHT WITH FRAME & HOOD = 260.00 LBS.

ADJUSTMENT SLOTS

2 X 2 CURB INLET
CONCRETE, GRADE
3099CGSQDF

8.73 HIGHEST HOOD SETTING

4.73 LOWEST HOOD SETTING

TOP OF BASE PLATE TO TOP OF DRAIN BASIN

WEIGHT DOES NOT INCLUDE
DUCTILE IRON BASE PLATE

15BASIS: APPROX. 180.00 LBS
16BASIS: APPROX. 180.00 LBS
17BASIS: APPROX. 180.00 LBS
18BASIS: APPROX. 180.00 LBS
19BASIS: APPROX. 180.00 LBS
20BASIS: APPROX. 180.00 LBS
21BASIS: APPROX. 180.00 LBS
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28BASIS: APPROX. 180.00 LBS
29BASIS: APPROX. 180.00 LBS
30BASIS: APPROX. 180.00 LBS

2 X 2 CURB INLET
FRAME & HOOD
3099CGSFH

TOP OF BASE PLATE TO TOP OF DRAIN BASIN

15BASIS: 2.63
16BASIS: 2.62
17BASIS: 2.61
18BASIS: 2.60
19BASIS: 2.59
20BASIS: 2.58
21BASIS: 2.57
22BASIS: 2.56
23BASIS: 2.55
24BASIS: 2.54
25BASIS: 2.53
26BASIS: 2.52
27BASIS: 2.51
28BASIS: 2.50
29BASIS: 2.49
30BASIS: 2.48

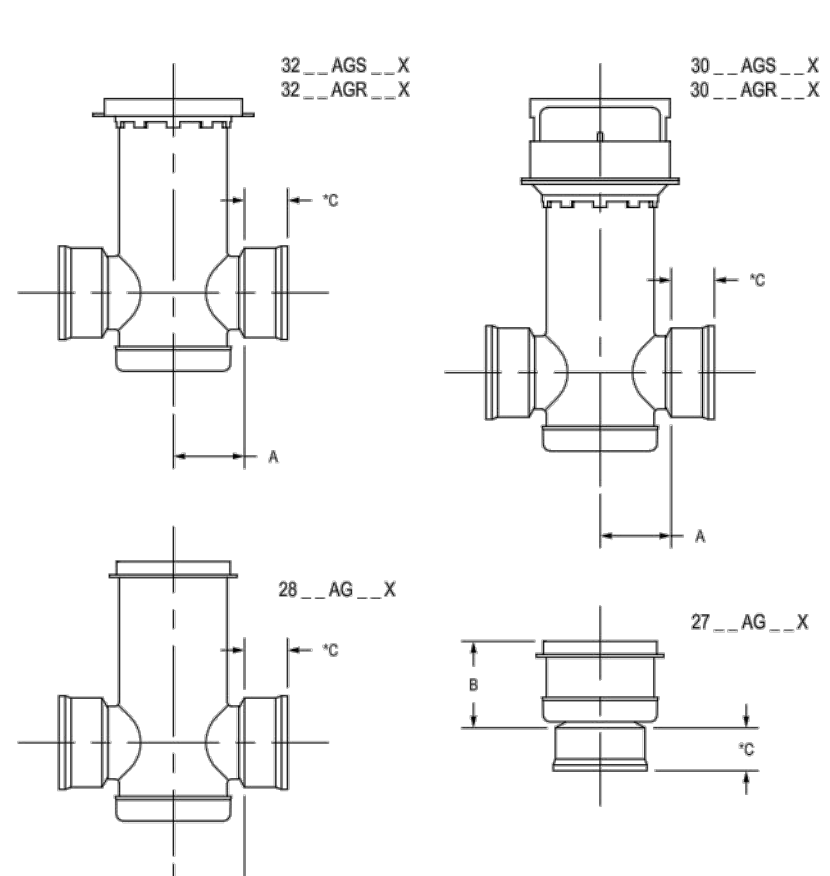
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26BASIS: APPROX. 180.00 LBS
27BASIS: APPROX. 180.00 LBS
28BASIS: APPROX. 180.00 LBS
29BASIS: APPROX. 180.00 LBS
30BASIS: APPROX. 180.00 LBS

BODY SIZE	ADAPTER SIZE	A	B	C
6"	4"	6.20	7.50	3.82
6"	6"	6.20	6.20	4.71
6"	8"	6.20	7.25	5.24
8"	6"	7.25	8.75	4.21
8"	8"	7.25	8.75	5.24
8"	10"	7.25	11.50	4.21
10"	6"	8.25	10.50	5.24
10"	8"	8.25	11.50	5.24
10"	10"	8.25	11.50	6.27
10"	12"	8.25	14.00	5.24
12"	6"	9.25	12.50	6.27
12"	8"	9.25	13.50	6.27
12"	10"	9.25	14.50	6.27
12"	12"	9.25	14.50	7.30
12"	14"	9.25	17.00	6.27
14"	6"	10.25	14.00	7.30
14"	8"	10.25	15.00	7.30
14"	10"	10.25	16.00	7.30
14"	12"	10.25	16.00	8.33
14"	14"	10.25	18.50	7.30
16"	6"	11.25	14.00	8.33
16"	8"	11.25	15.00	8.33
16"	10"	11.25	16.00	8.33
16"	12"	11.25	16.00	9.36
16"	14"	11.25	18.50	8.33
18"	6"	12.25	14.00	9.36
18"	8"	12.25	15.00	9.36
18"	10"	12.25	16.00	9.36
18"	12"	12.25	16.00	10.39
18"	14"	12.25	18.50	9.36
20"	6"	13.25	14.00	10.39
20"	8"	13.25	15.00	10.39
20"	10"	13.25	16.00	10.39
20"	12"	13.25	16.00	11.42
20"	14"	13.25	18.50	10.39
22"	6"	14.25	14.00	11.42
22"	8"	14.25	15.00	11.42
22"	10"	14.25	16.00	11.42
22"	12"	14.25	16.00	12.45
22"	14"	14.25	18.50	11.42
24"	6"	15.25	14.00	12.45
24"	8"	15.25	15.00	12.45
24"	10"	15.25	16.00	12.45
24"	12"	15.25	16.00	13.48
24"	14"	15.25	18.50	12.45
26"	6"	16.25	14.00	13.48
26"	8"	16.25	15.00	13.48
26"	10"	16.25	16.00	13.48
26"	12"	16.25	16.00	14.51
26"	14"	16.25	18.50	13.48
28"	6"	17.25	14.00	14.51
28"	8"	17.25	15.00	14.51
28"	10"	17.25	16.00	14.51
28"	12"	17.25	16.00	15.54
28"	14"	17.25	18.50	14.51
30"	6"	18.25	14.00	15.54
30"	8"	18.25	15.00	15.54
30"	10"	18.25	16.00	15.54
30"	12"	18.25	16.00	16.57
30"	14"	18.25	18.50	15.54
32"	6"	19.25	14.00	16.57
32"	8"	19.25	15.00	16.57
32"	10"	19.25	16.00	16.57
32"	12"	19.25	16.00	17.60
32"	14"	19.25	18.50	16.57



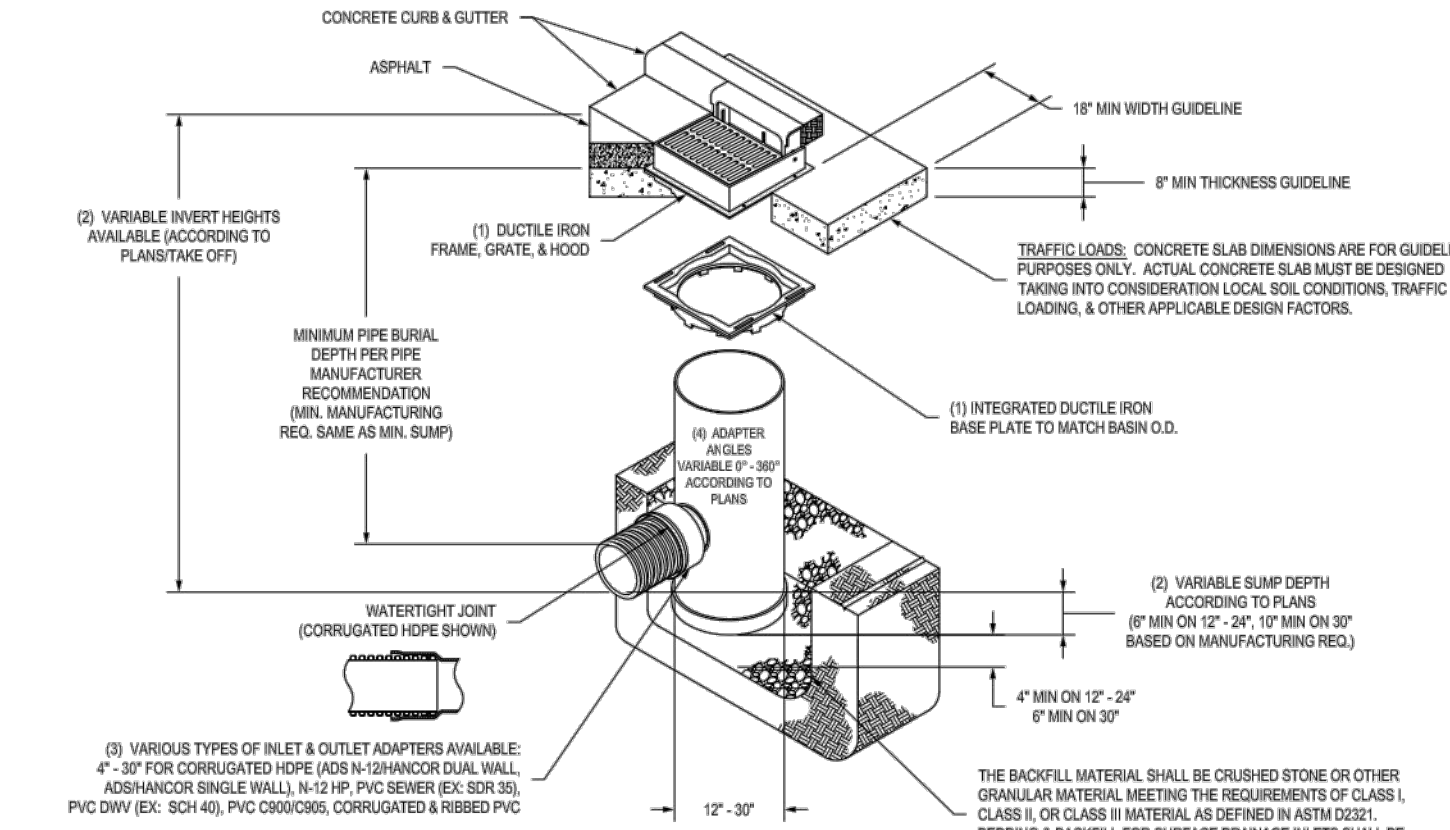
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NYLOPLAST 2 FT X 2 FT CURB INLET STRUCTURE: 30..._AGS..._X



1. 12" - 24" FRAMES, GRATE, HOOD, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536.

2. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.

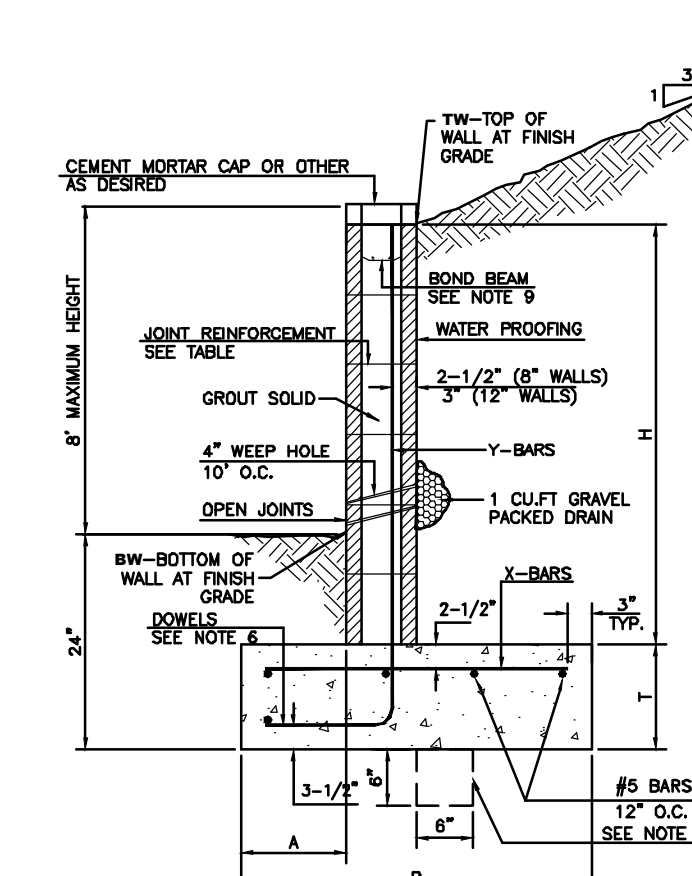
3. DRAINAGE CONNECTION FROM JOINT TO JOINT SHALL CONFORM TO ADR 1000 FOR CORRUGATED HOPE AND 10" HORIZONTAL DUAL WALL. TRANSFER OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION FROM NYLOPLAST.

4. ADAPTERS CAN BE ORDERED AT ANY ANGLE UP TO 30° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS BE ORDERING NO. 1000 SERIES.

5. ALL CURB INLET GRATE OPTIONS (EXCEPT A DIRECTIONAL) SHALL MEET THE FOLLOWING:

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE A LICENSE TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NYLOPLAST.

DATE: 03-24-14
REVISION: 001
PROJECT NO: 1000-001
SCALE: 1/8" = 1'-0"



8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
2'-0"	8"	2'-0"	8"	4	032	O.C.																				
3'-0"	8"	3'-0"	8"	4	032	O.C.																				
4'-0"	8"	4'-0"	8"	4	032	O.C.																				
5'-0"	8"	5'-0"	8"	4	032	O.C.																				
6'-0"	8"	6'-0"	8"	4	032	O.C.																				
7'-0"	8"	7'-0"	8"	4	032	O.C.																				
8'-0"	8"	8'-0"	8"	4	032	O.C.																				
9'-0"	8"	9'-0"	8"	4	032	O.C.																				
10'-0"	8"	10'-0"	8"	4	032	O.C.																				
11'-0"	8"	11'-0"	8"	4	032	O.C.																				
12'-0"	8"	12'-0"	8"	4	032	O.C.																				

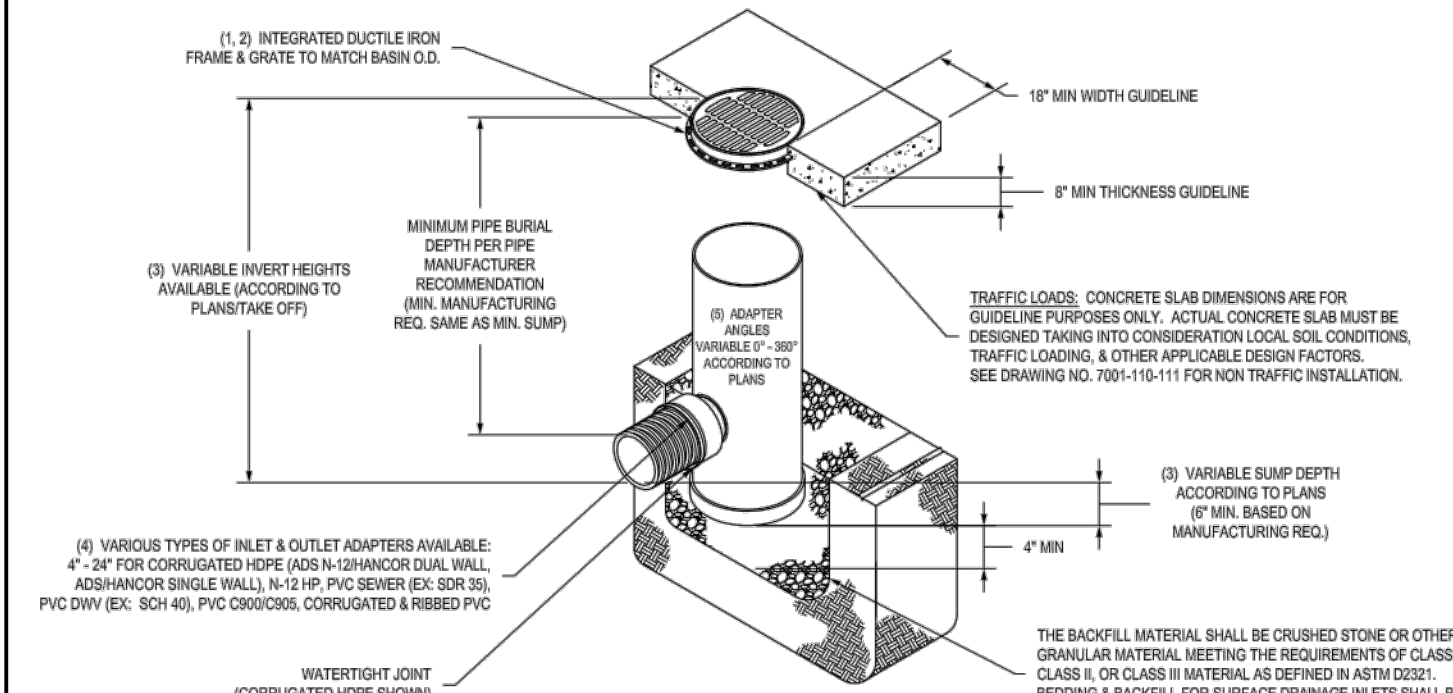
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
5'-4"	14"	3'-8"	10"	6	018	O.C.																				
6'-0"	14"	4'-4"	9"	6	018	O.C.																				
6'-8"	14"	4'-8"	12"	6	018	O.C.																				
7'-0"	14"	4'-10"	12"	6	018	O.C.																				
8'-0"	14"	5'-4"	12"	6	018	O.C.																				
8'-8"	14"	5'-8"	12"	6	018	O.C.																				

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE IT EXCEEDS 6'-0" IN HEIGHT.
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- ROD BEAM 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

NYLOPLAST 24" DRAIN BASIN: 2824AG..._X



1. GRATESOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 (GRADE 60).

2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 (GRADE 60).

3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.

4. DRAINAGE CONNECTION FROM JOINT TO JOINT SHALL CONFORM TO ADR 1000 FOR CORRUGATED HOPE AND 10" HORIZONTAL DUAL WALL. TRANSFER OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION FROM NYLOPLAST.

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DATE: 03-24-14
REVISION: 001
PROJECT NO: 1000-001
SCALE: 1/8" = 1'-0"

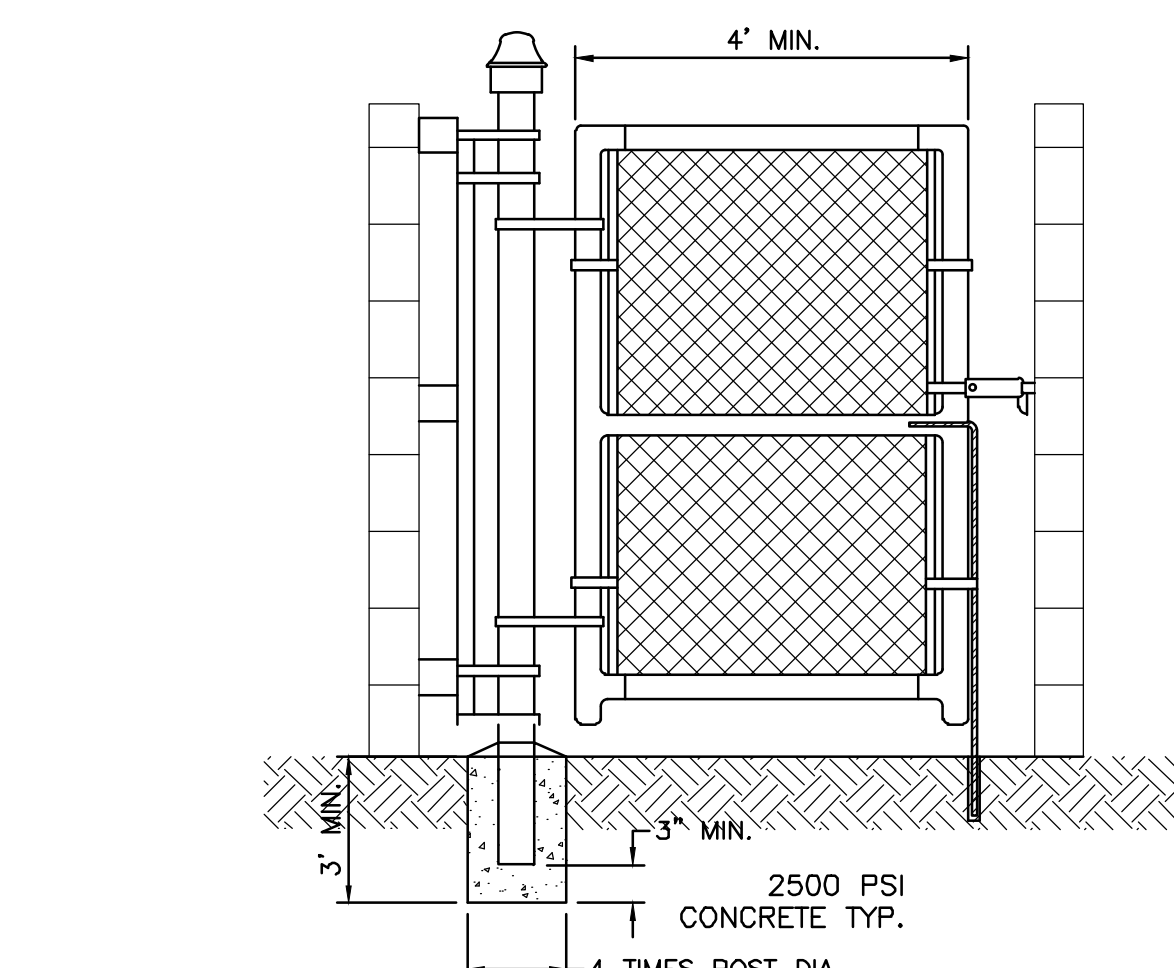


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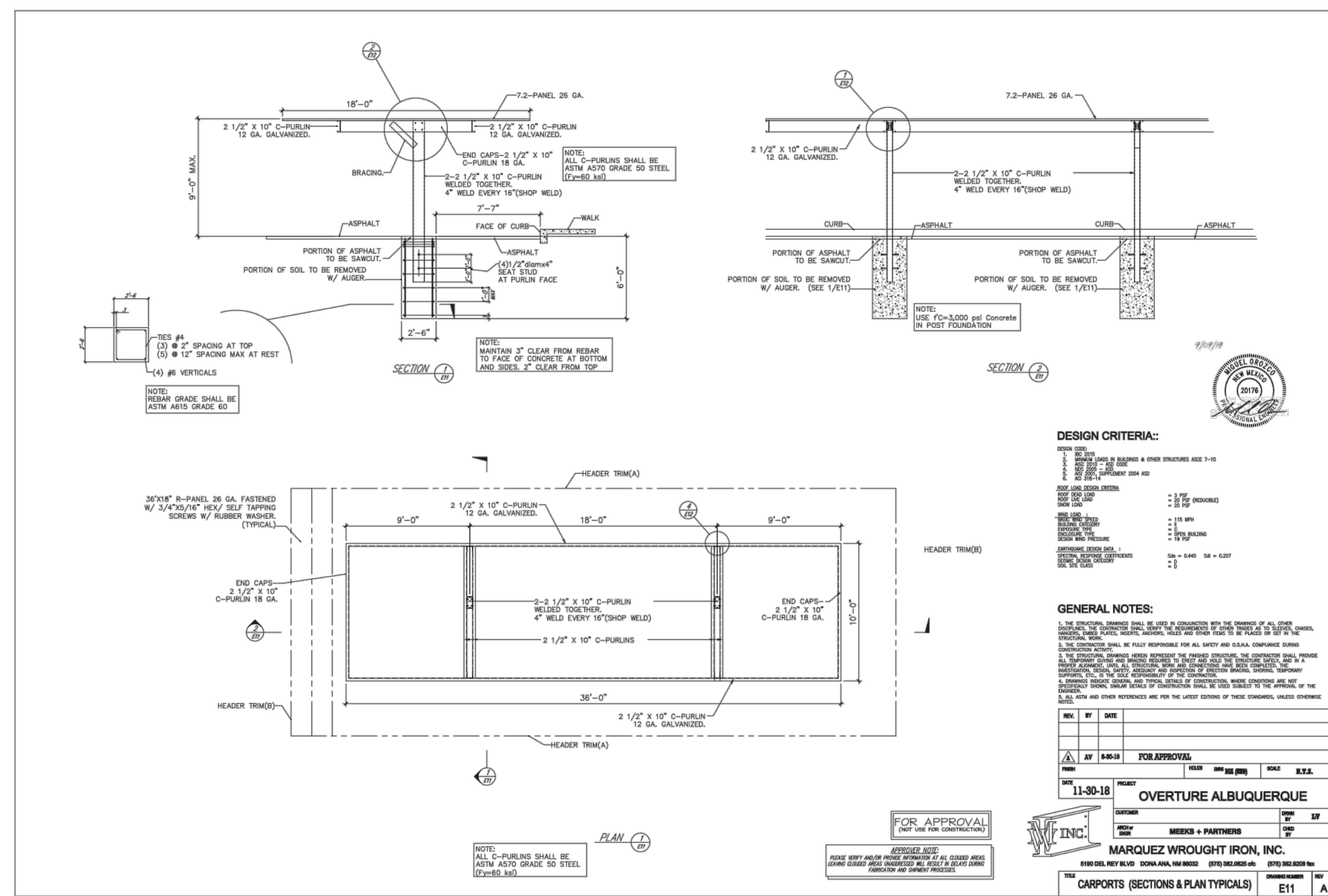


SEE THE SITEWORK SPECIFICATIONS FOR THE SIZE, TYPE, AND GAUGE OF MATERIALS THAT WILL BE USED FOR CONSTRUCTION OF A CHAIN LINK FENCE.

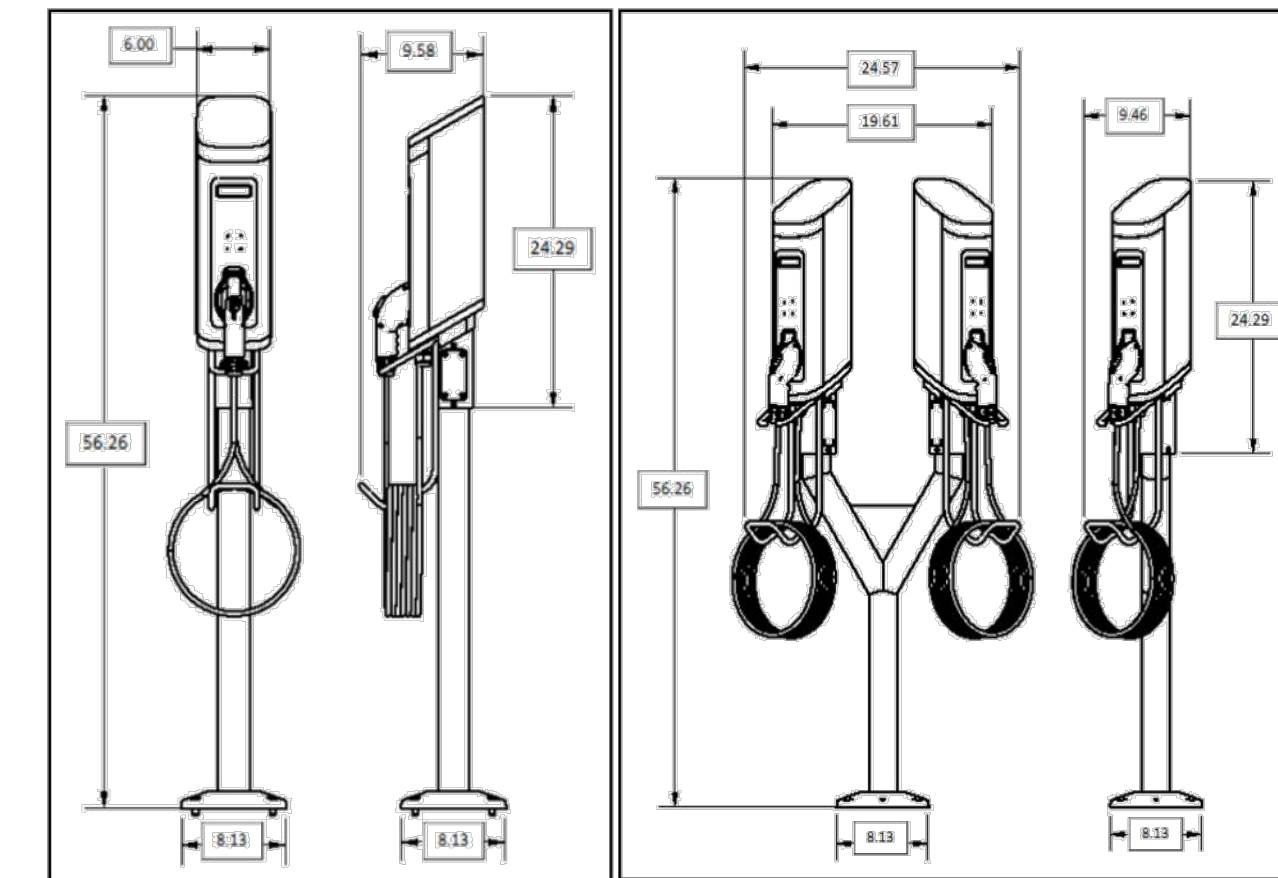
CHAIN LINK LOCK GATES

NTS

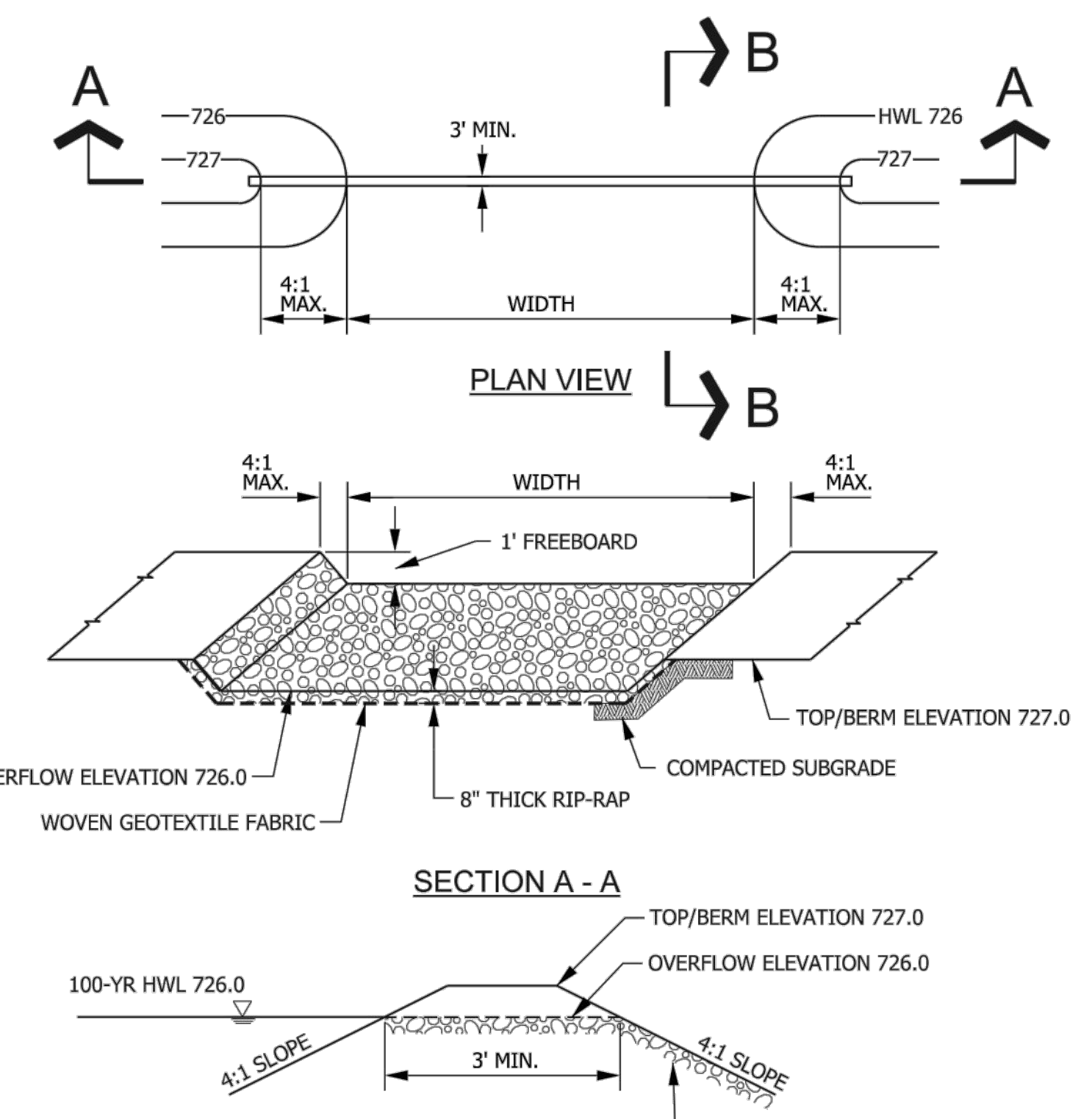
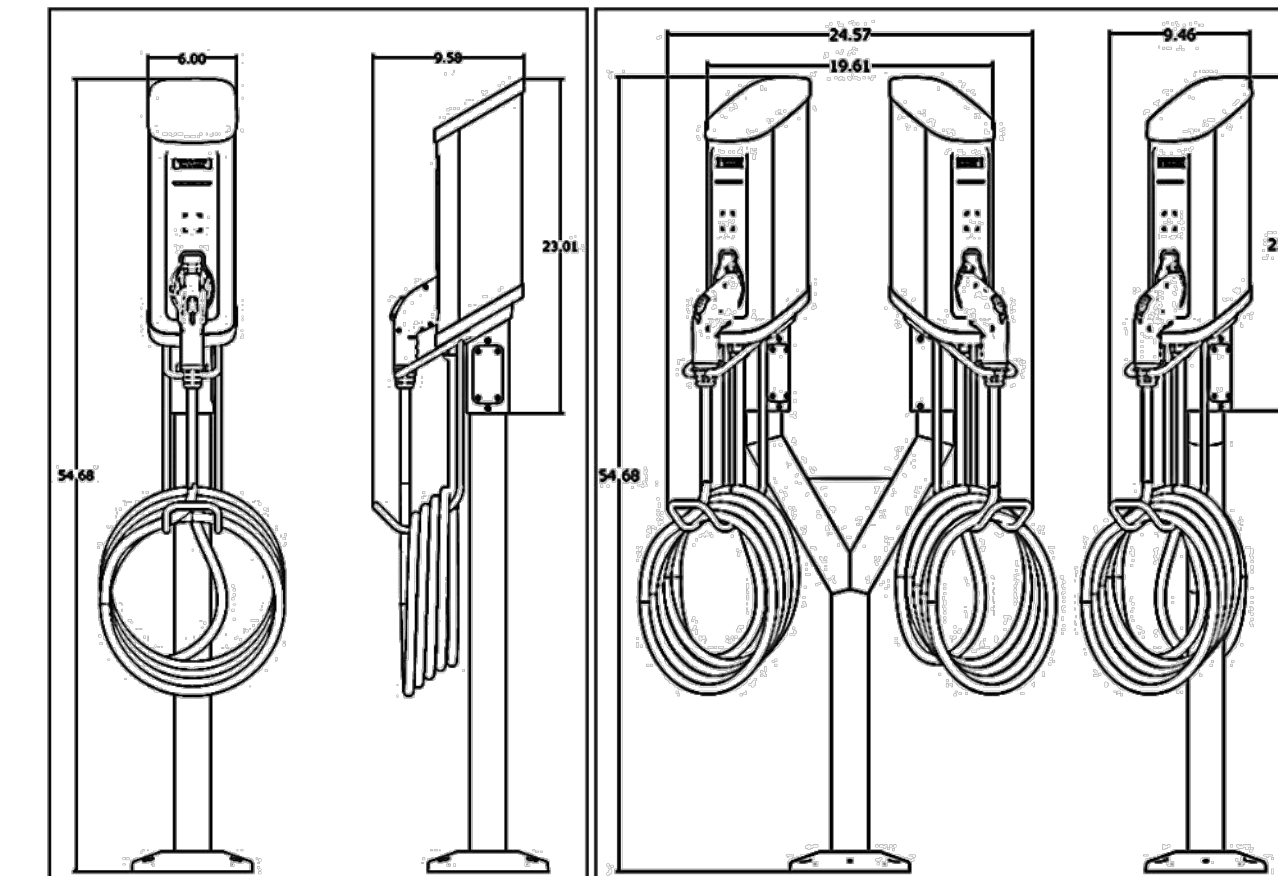
COMPACTED 6" SUBGRADE TO



SemaConnect 620 Single and Dual Pedestal mount Installation Key Dimensions



SemaConnect 520 Single and Dual Pedestal mount Installation Key Dimensions



- NOTES:**
- FINISHED FLOOR ELEVATIONS OF ADJACENT STRUCTURE SHALL BE ELEVATED AT LEAST ONE FOOT ABOVE PEAK 100-YEAR WATER SURFACE ELEVATION THROUGH OVERFLOW WEIR.
 - WOVEN GEOTEXTILE FABRIC SHALL MEET OR EXCEED STANDARDS OF IUM MATERIAL SPECIFICATION 592, TABLE 1, CLASS I, II, OR III.

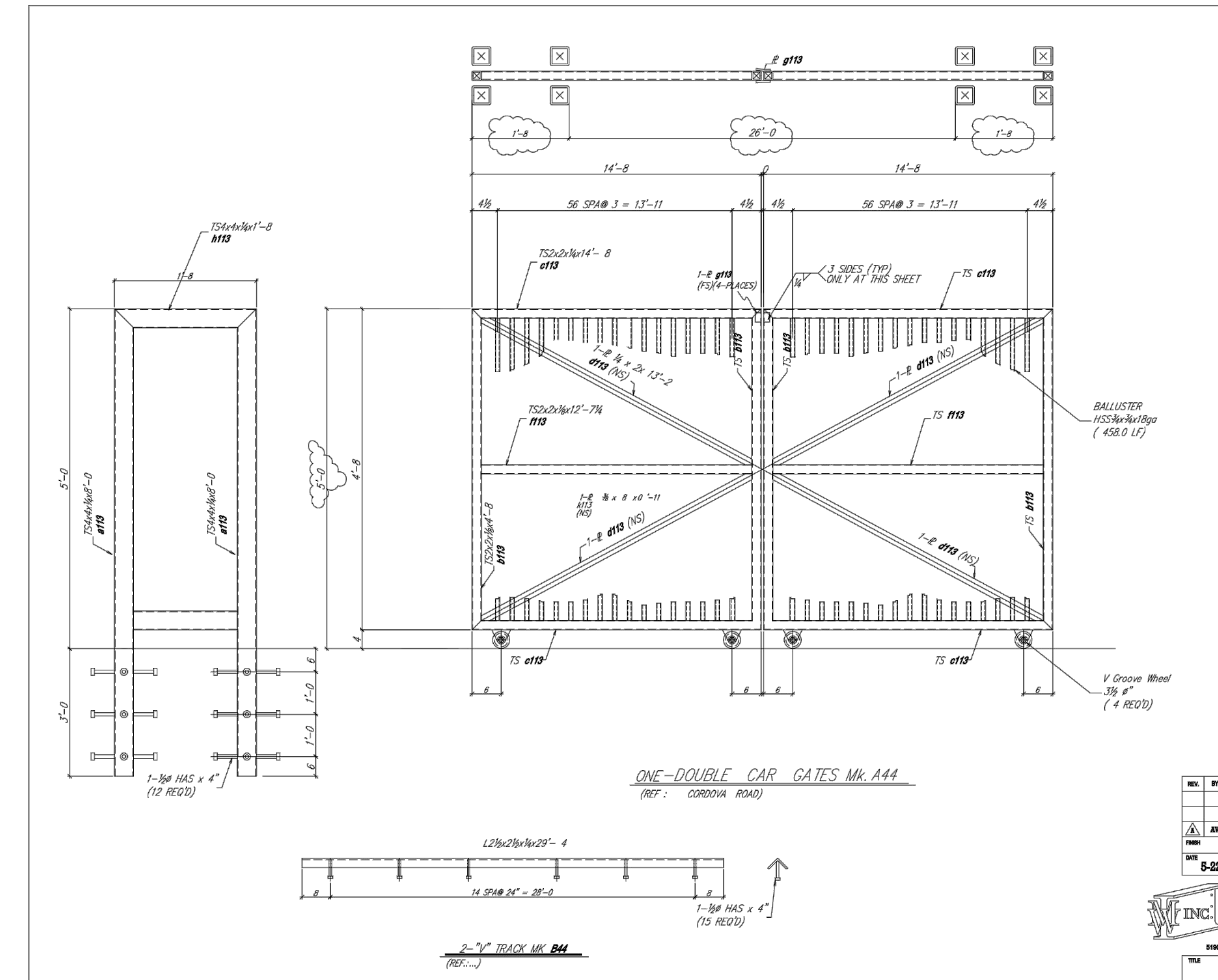
EMERGENCY OVERFLOW WIER NOT TO SCALE

CAR CHARGING STATION DETAIL NTS

BILL OF MATERIAL

#	QTY	NO.	DESCRIPTION	UNITS	AMOUNT	REMARKS
1	1	10112	10 4x4x8	2	2	
2	1	10112	10 2x4x8	4	4	
3	1	10112	10 2x4x8	16	16	
4	1	10112	10 2x4x8	12	12	
5	1	10112	10 2x4x8	12	12	
6	1	10112	10 2x4x8	1	1	
7	1	10112	10 2x4x8	1	1	
8	1	10112	10 2x4x8	1	1	
9	1	10112	10 2x4x8	1	1	
10	1	10112	10 2x4x8	48	48	
11	1	10112	10 2x4x8	1	1	
12	1	10112	10 2x4x8	2	2	
13	1	10112	10 2x4x8	2	2	

MATERIAL LIST FOR ONE GATE (TOTAL REQ'D = 2)



MATERIAL LIST FOR ONE GATE (TOTAL REQ'D = 2)

FOR APPROVAL
(NOT FOR CONSTRUCTION)

APPROVED:
PLEASE COPY AND USE THESE DIMENSIONS AT ALL CORNER AREAS. DIMENSIONS SHOWN UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

REV. BY DATE

FOR APPROVAL

PROJECT: OVERTURE ALBUQUERQUE

DATE: 5-22-19

CUSTOMER: MEEKS + PARTNERS

DESIGNER: MARQUEZ WROUGHT IRON, INC.

1910 DEL. REV. BLVD. DUNN, NM 88002 (505) 362-2805 ext. (505) 362-2828 fax

TITLE: DOUBLE CAR GATES 44 A

ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	CONSTRUCTION DETAILS TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	DATE 2/15/2021
		SHEET # C7
RONALD R. BOHANNAN P.E. #7868		JOB # 2020013

LANDSCAPE LEGEND

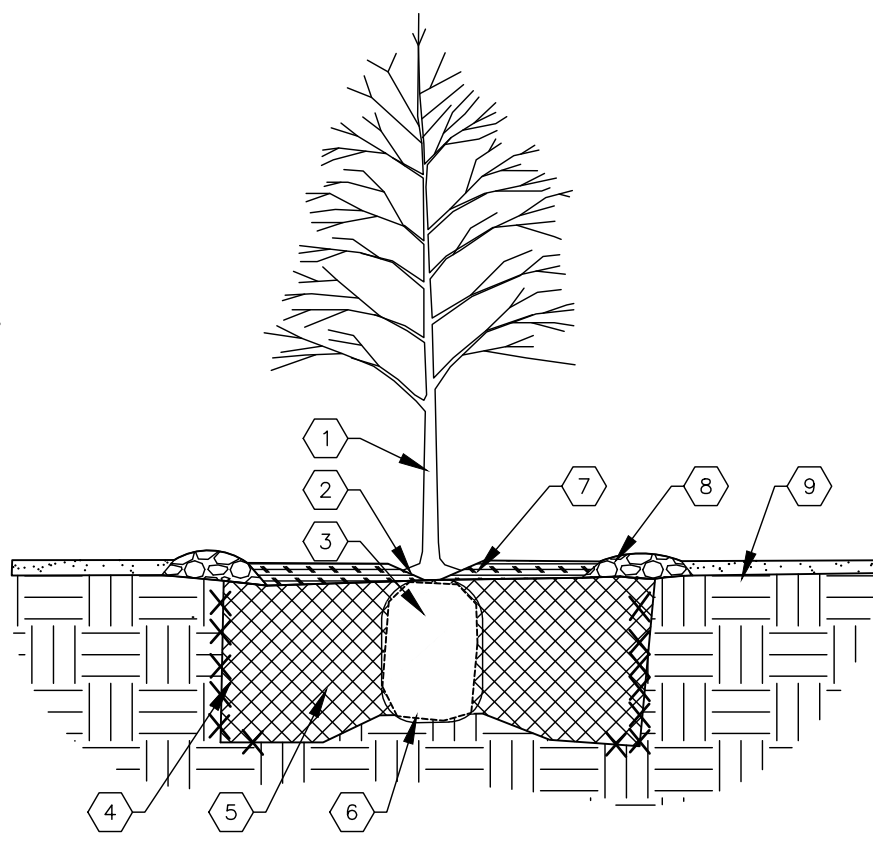
SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	SIZE (MATURE HxW)	WATER USE	COVER (EAU)	TOTAL	USDA NATIVE
Trees								
15	2"	Cal	Hackberry <i>Celtis occidentalis</i>	40' x 40'	L	1600	24000	San Miguel City
9	2"	Cal	Redbud <i>Cercis canadensis</i>	20' x 20'	M	400	3600	Yes
42	2"	Trunks w/ 2" Combined Cal.	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	675	26750	Yes
20	2"	Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forsythia noveboracensis</i>	15' x 15'	M	225	4500	Yes
11	2"	Cal	Green Ash <i>Fraxinus pennsylvanica</i>	40' x 30'	M	900	15300	Yes
13	2"	Cal	Honey Locust <i>Gleditsia tricanthos inermis</i>	50' x 45'	M	1075	26325	Yes
24	6"	Height	Pinon Pine <i>Pinus edulis</i>	30' x 20'	M	400	9600	Yes
41	6"	Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M	675	25625	
12	2"	Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	19200	TX
20	2"	Trunks w/ 2" Combined Cal.	Creosote Tree <i>Vitor gnus-cactus</i>	20' x 20'	M	400	8000	
							Total Tree Coverage:	167400
Shrubs & Groundcovers								
12	9	Gal	Servicelberry <i>Amelanchier alnifolia</i>	10' x 10'	M	100	1200	Yes
14	3	Gal	Blonde Ambition Blue Grass <i>Bouteloua gracilis 'Blonde Ambition'</i>	3' x 3'	M	9	666	Yes
26	9	Gal	Blue Mist Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	L	9	234	
55	9	Gal	Alder-Leaf Mountain Manzanita <i>Cercocarpus montanus</i>	15' x 15'	L	225	12375	Yes
12	9	Gal	Grey-Leaf Colonnaster <i>Coleonaster burifolius/glaucophyllus</i>	8' x 10'	M	100	1200	
41	9	Gal	Socii <i>Dasylirion wheeleri</i>	5' x 5'	RW	25	175	Yes
105	9	Gal	Ornamental Nandina <i>Nandina domestica</i>	5' x 5'	RW	25	425	Yes
22	9	Gal	Manhattan Eucalyptus <i>Eucalyptus klatschoviana</i>	6' x 6'	M	36	792	
36	9	Gal	Apache Plume <i>Follicle paradisa</i>	6' x 7'	L	49	1764	Yes
54	9	Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	L	9	486	TX
29	9	Gal	Dogwood <i>Cornus sericea 'Bailley'</i>	3' x 3'	M	9	261	Yes
60	9	Gal	Spartan Juniper (female only) <i>Juniperus chinensis 'Spartan'</i>	15' x 6'	L	36	2160	
54	9	Gal	Buffalo Juniper (female only) <i>Juniperus sibirica 'Buffalo'</i>	7' x 8'	L	64	3456	
81	9	Gal	Deer Grass <i>Muhlenbergia rigens</i>	4' x 4'	M	16	1296	Los Alamos
78	9	Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RW	36	2808	Yes
75	9	Gal	Switchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	1200	Yes
80	9	Gal	Potentilla <i>Potentilla fruticosa (Delphina I)</i>	3' x 3'	M	9	720	Yes
39	9	Gal	Three-Leaf Sunac <i>Rhus trilobata</i>	6' x 6'	L	36	1404	Yes
41	9	Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	656	
39	9	Gal	Autum Cherry Sage <i>Salvia greggii</i>	2' x 3'	L	9	361	TX
							Total Shrub Coverage:	36463

PLANTING NOTES
SEE DETAILS FOR PLANTING INSTRUCTIONS.

PURSUANT TO IDO 5-6(C)(3)(B) ORGANIC MULCH, SUCH AS WOOD CHIPS OR PECAN SHELLS, IS REQUIRED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATION ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIFLINE, IN EACH REQUIRED LANDSCAPE AREA.

Other Materials

SYMB.	QTY	TYPE
12	EA	Boulders (2-3cf) To be placed at contractor's discretion
9678	5F	Crusher Fines Over Aggregate Basecourse
32361	5F	Landscape Gravel A with Filter Fabric 1/2" Brown Gravel
39220	5F	Landscape Gravel B with Filter Fabric 1" Anarotto Gravel
4121	5F	Landscape Gravel C with Filter Fabric 1/8" Crushed Gray Gravel
8160	5F	Oversize Landscape Gravel / No Filter Fabric 2-4" Blue Sals Fractured Cobble/RipRap
1033	5F	Parkland Sod Pop-Up Irrigation
72606	5F	Native Seed Area Wetland Mix with Rotor Irrigation
2160	5F	Dog Park Surfacing Synthetic Turf over Aggregate Base
Concrete See site plan		
Asphalt Parking Areas and Driveways See site plan		
Landscape Curb		
Stormwater Management Depression		
Site Furnishings Benches, Tables, Trash Receptacles		
13365	5F	Total Landscape



TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SURGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TUNE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARP AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 6" WIDE COBBLE BERRY AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

01 TREE PLANTING
NTS

TREE PLANTING DETAIL

SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SURGRADE (BOTTOM OF MULCH).
- USE 5000 CHIP MULCH OVER ROOTBALL. REINFORCED TO A 3" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS.
- 7" HIGH X 6" WIDE BERRY.
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCARP AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN. 3" DEPTH UNLESS OTHERWISE NOTED.

02 SHRUB PLANTING
NTS

SHRUB PLANTING DETAIL

STREET TREES
Linear Footage: 600'
Trees Provided: 24

GOLF COURSE ROAD NW

EXISTING 10" WIDE PUBLIC UTILITY EASEMENT (06/02/2009, 2009C-83)

EXISTING 10" WIDE PUBLIC UTILITY EASEMENT (12/16/1988, 03-154)

EXISTING 30" WIDE PUBLIC WATER AND SANITARY SEWER EASEMENT (06/02/2009, 2009C-83)



PARKING LOT LANDSCAPE SET BACK - 14-5-6 (C) 5, 1(a)
ALL LANDSCAPED AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY CURBS OR WHEEL STOPS LOCATED 2 FEET OUTSIDE THE LANDSCAPED AREA (TYP.)

SCREEN OF PARKING LOT LANDSCAPE BERRY - 14-5-6 (F) 3
LANDSCAPING WITH EVERGREEN SHRUBS OR VINES TO FORM A SCREEN AT LEAST 75 PERCENT OPAQUE.

3' x 180' RESIDENTIAL LANDSCAPE BUFFER (02-13-87(1))
1 TREE AND 3 SHRUBS PER 25' OF LOT LINE
13 TREES AND 36 SHRUBS REQUIRED
40 TREES AND 17 SHRUBS PROVIDED

GENERAL NOTES

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE USING A PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED AS ANOTHER HATCHED GROUND COVER AREA SUCH AS THOSE INDICATED TO RECEIVE NATIVE SEED. ALL GRAVEL SHALL BE PLACED 5'-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS, INSTALLED IN A SINGLE PHASE. THE IRRIGATION SYSTEM SHALL PROTECT POTABLE WATER SYSTEMS THROUGH THE USE OF AN APPROVED PRESSURE VACUUM BREAKER (PVB) BACKFLOW PREVENTION DEVICE. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 45" FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (2) 1/2 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

ZONING	MX-M: MIXED-USE WITH MODERATE INTENSITY
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (ACRES)	8.79
TOTAL LOT AREA (SF)	382892
BUILDING AREA (SF)	61950
NET LOT AREA (SF)	320942

REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	48141
LANDSCAPE PROVIDED (SF)	141280

VEGETATIVE COVER (% - REQ)	75.0
VEGETATIVE COVER (SF - REQ)	105960
VEGETATIVE COVER (SF - PROV)	235208

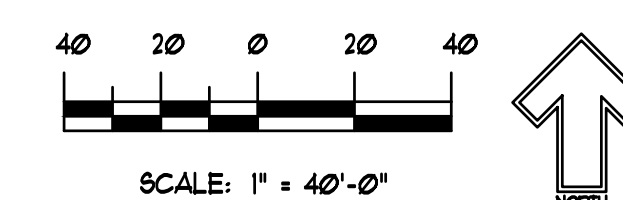
GROUND COVER (% - REQ)	18.75
GROUND COVER (SF - REQ)	60111
GROUND COVER (SF - PROV)	69383

IRRIGATED TURF (SF)	11260
IRRIGATED TURF (% OF LANDSCAPE)	8.0%

REQ. TREES - 1ST AND 2ND STORY UNITS	104
PROVIDED UNIT TREES	118

PARKING LOT INTERIOR LANDSCAPE CALCULATIONS - 14-5-6 (F) 2

PARKING LOT AREA (SF)	138572
REQ. PARKING LANDSCAPE 10% (SF)	13857
PROV. PARKING LANDSCAPE (SF)	35644
REQ. PARKING TREES (1/10 SPOTS)	36
PROV. PARKING TREES	113



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1505 Easton NE
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Fax: (505) 258-9590
Fax: (505) 258-1133
thehilltoplandscaping.com

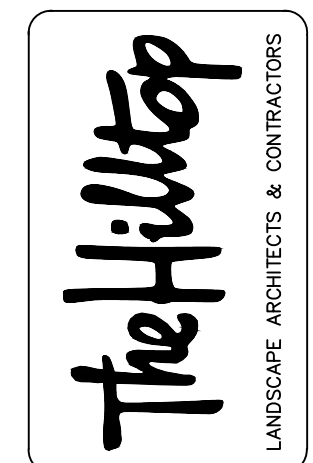


December 23, 2021

Wintergreen Luxury Apartments
Golf Course Road
Albuquerque, NM

Conceptual Irrigation Plan

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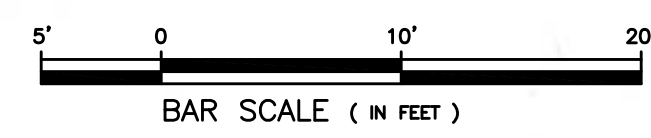


DRAWN BY: JTI
REVISION: D - Sept. 2021
DATE: 12/23/2021

SHEET #
LP-101



4 TYPICAL FRONT ELEVATION
1/8" = 1'-0"



WHITE STUCCO AND ELEVATOR SHAFT WALLS
PAREX USA SNOW BALL 10499L (75)
PAREX USA LARIAT 821L (57)
PAREX USA CLAY 1571L (24)
WHITE VINYL CLAD WINDOW AND DOORS

PAREX USA SNOW BALL 10499L (75)

WHITE VINYL CLAD WINDOW AND DOORS

BRONZE COLOR STEEL WROUGHT IRON GUARDRAILS

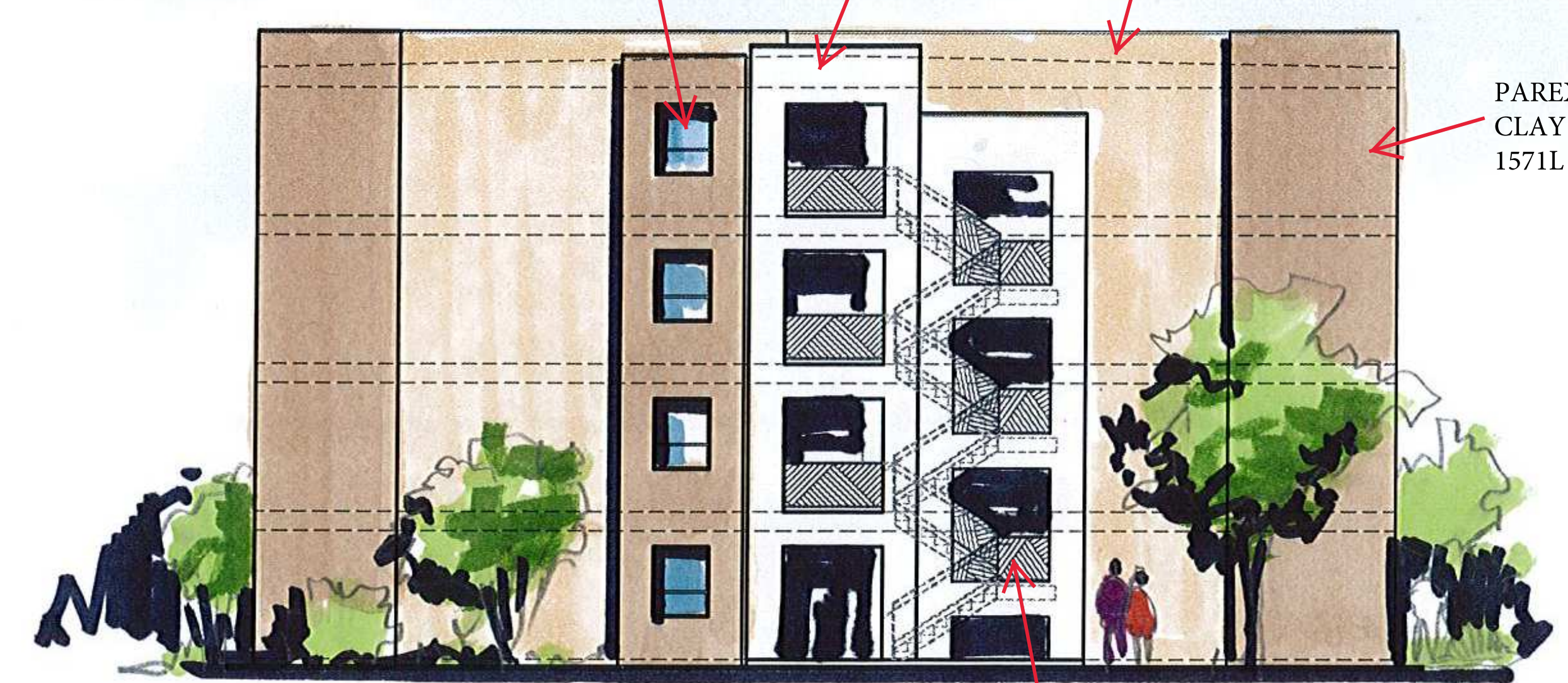
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WHITE VINYL CLAD WINDOW AND DOOR

PAREX USA SNOW BALL 10499L (75)

PAREX USA LARIAT 821L (57)

PAREX USA CLAY 1571L (24)



3 TYPICAL RIGHT ELEVATION
1/8" = 1'-0"



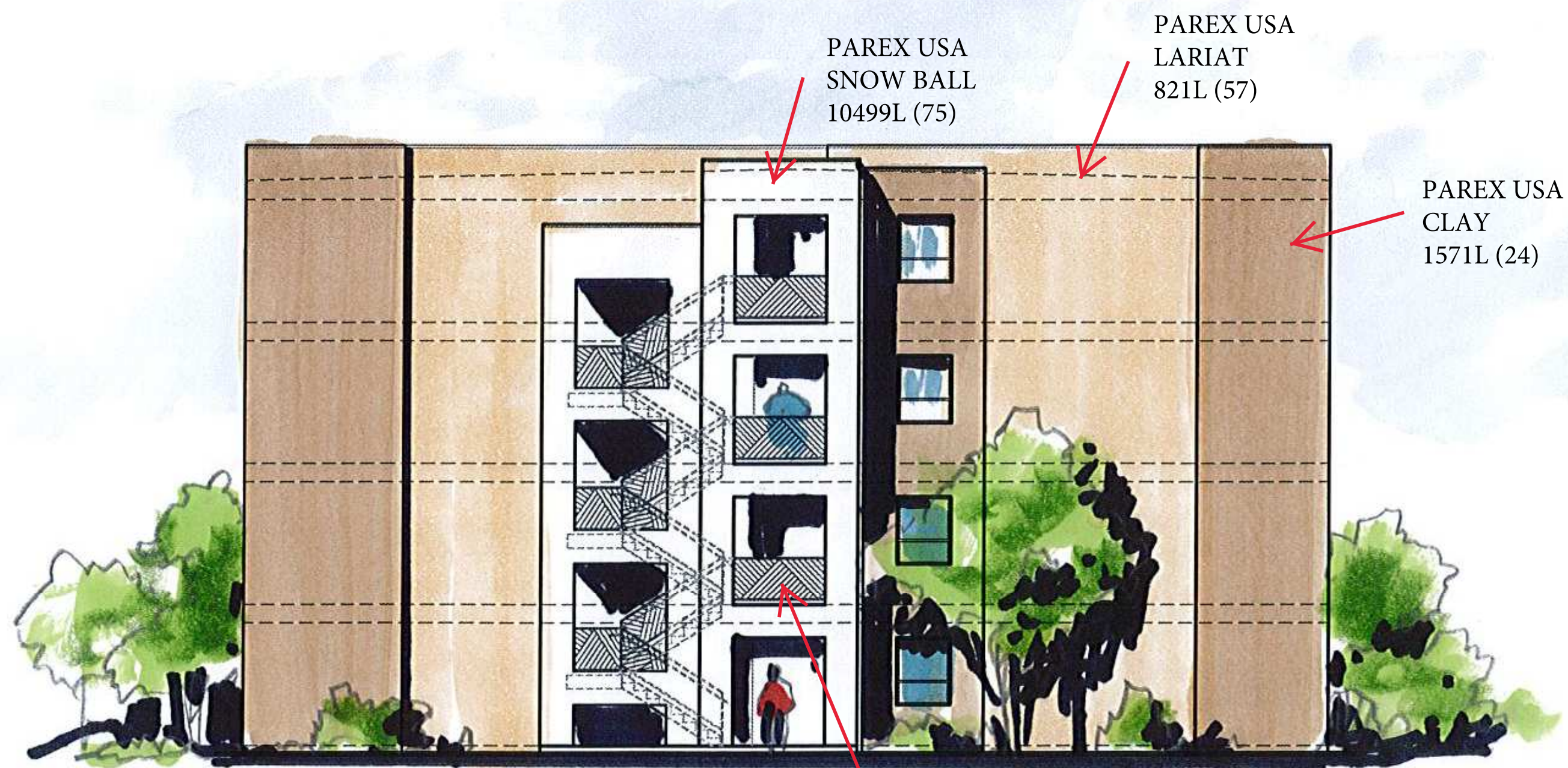
BRONZE COLOR STEEL WROUGHT IRON GUARDRAILS

WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

REVISION DATE
DATE 05-19-2020
SHEET NUMBER A-5.0




4 TYPICAL REAR ELEVATION
 1/8" = 1'-0"
 5' 0 10' 20'
 BAR SCALE (IN FEET)



3 TYPICAL LEFT ELEVATION
 1/8" = 1'-0"
 5' 0 10' 20'
 BAR SCALE (IN FEET)

WINTERGREEN LUXURY APARTMENTS
 BUILDING ELEVATIONS
 ALBUQUERQUE, NM
 PROJECT #2020-05

REVISION DATE

DATE 05-19-2020
SHEET NUMBER A-5.1



PAREX USA
LARIAT
821L (57)

BRONZE COLOR
STEEL WROUGHT
IRON GUARDRAILS

PAREX USA
CLAY
1571L (24)

PAREX USA
LARIAT
821L (57)

WHITE VINYL CLAD
WINDOW AND DOORS

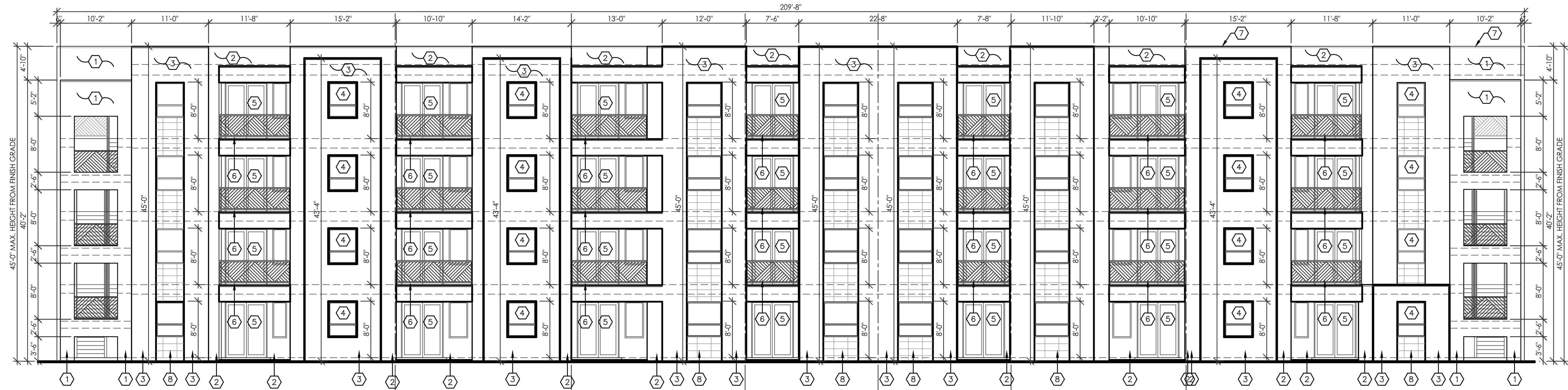
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SNOW BALL
10499L (75)



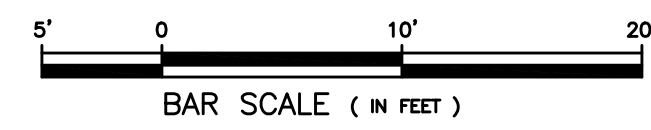
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SNOW BALL
10499L (75)

PAREX USA
LARIAT
821L (57)

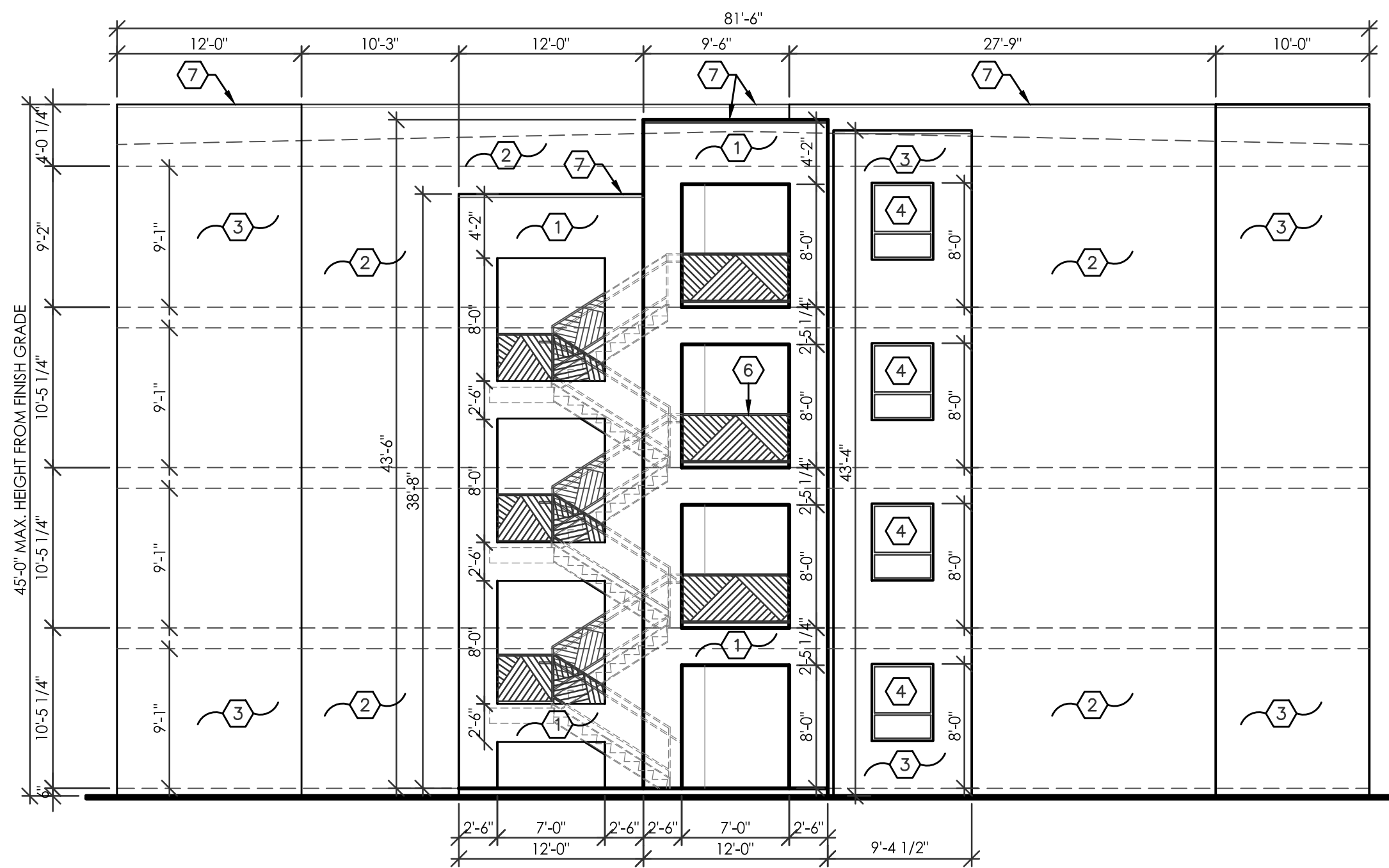
PAREX USA
CLAY
1571L (24)



4 TYPICAL REAR ELEVATION
1/8" = 1'-0"



- KEYED NOTES**
1. STUCCO COLOR: PAREX USA SNOW BALL, 199499L (75)
 2. STUCCO COLOR: PAREX USA LARIAT, 821L (57)
 3. STUCCO COLOR: PAREX USA CLAY, 1ST1L (24)
 4. WINDOW TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
 5. PATIO SLIDING DOOR TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
 6. GUARDRAILS: BRONZE WROUGHT IRON, TYP.
 7. METAL COPING CAP, PAINT TO MATCH STUCCO COLOR, TYP.
 8. 12" x 24" TAN COLOR CERAMIC TILE, TYP.
 9. ELEVATOR SHAFT WALL BEYOND, REF: ARCH FLOOR PLANS.

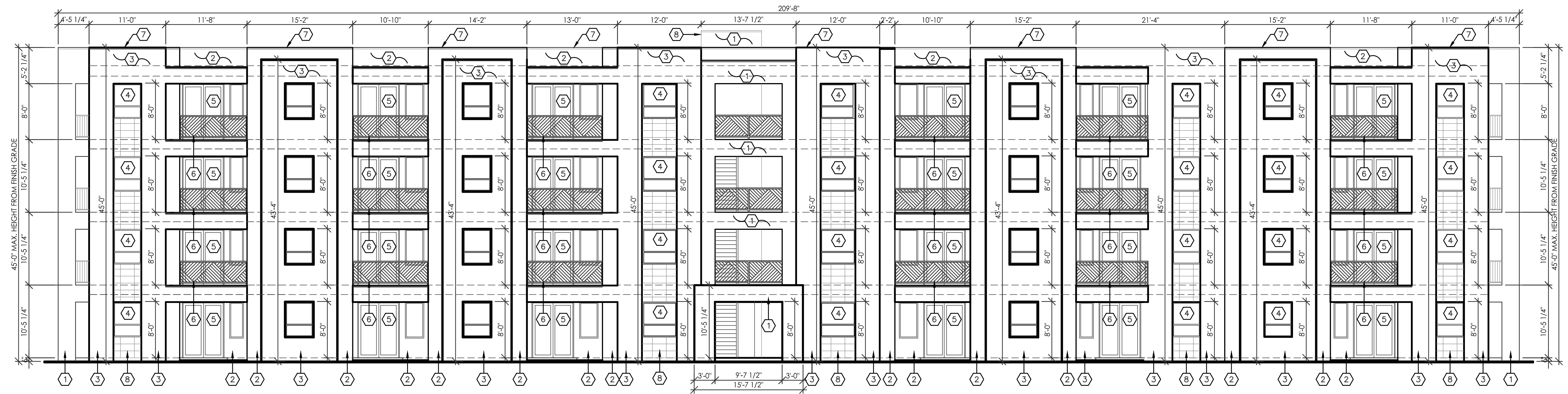


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1/8" = 1'-0"

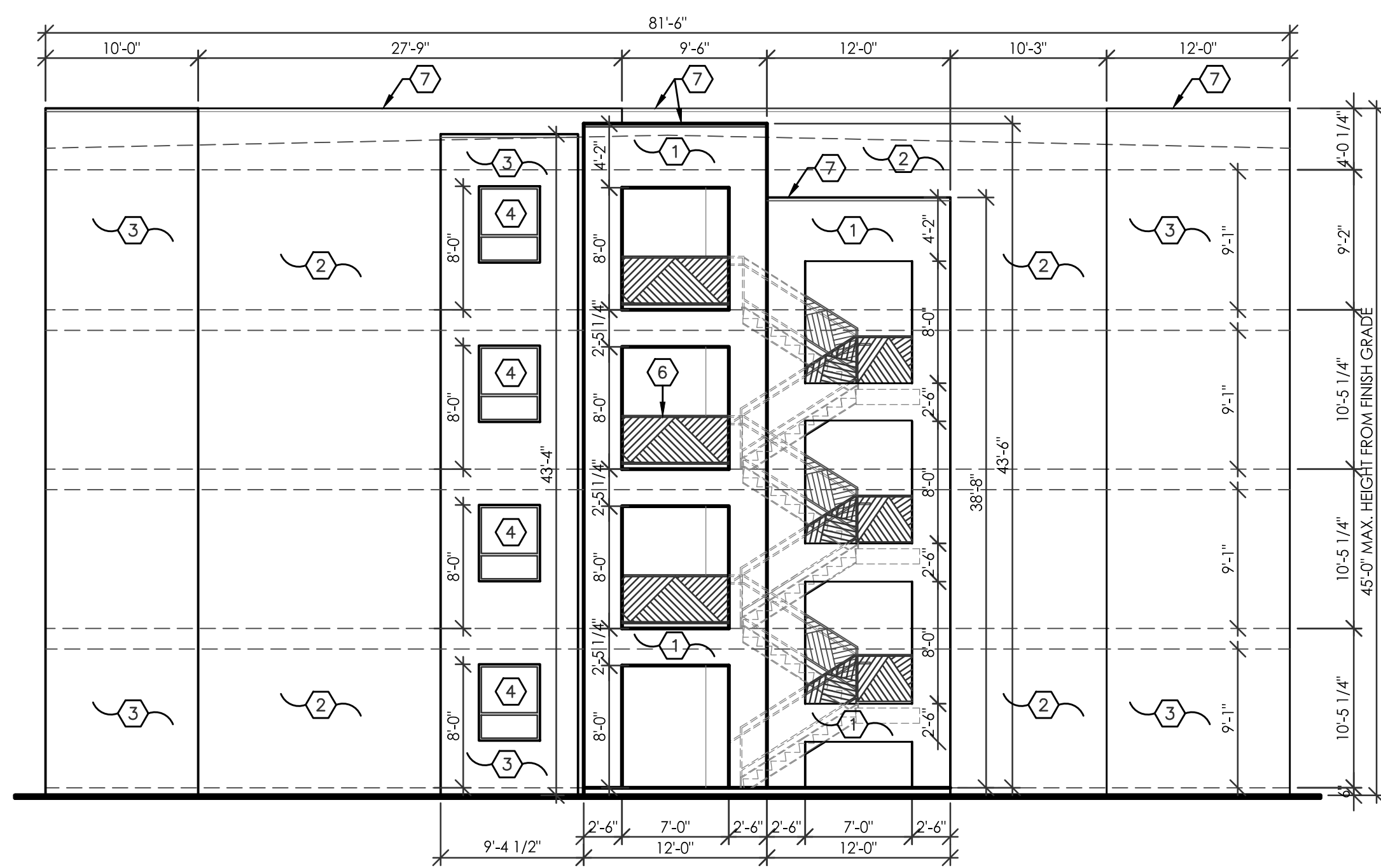
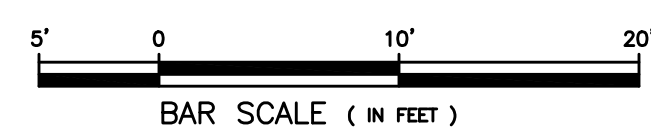


WINTERGREEN LUXURY APARTMENTS
BUILDING A, B, C AND D ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

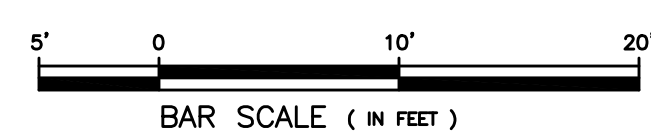
REVISION DATE
DATE
06-26-2020
SHEET NUMBER
A-5.1



4 TYPICAL FRONT ELEVATION
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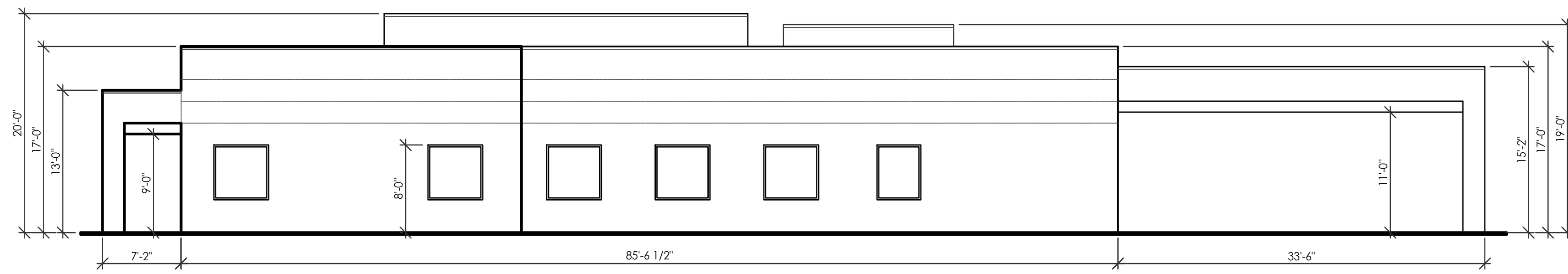
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1/8" = 1'-0"



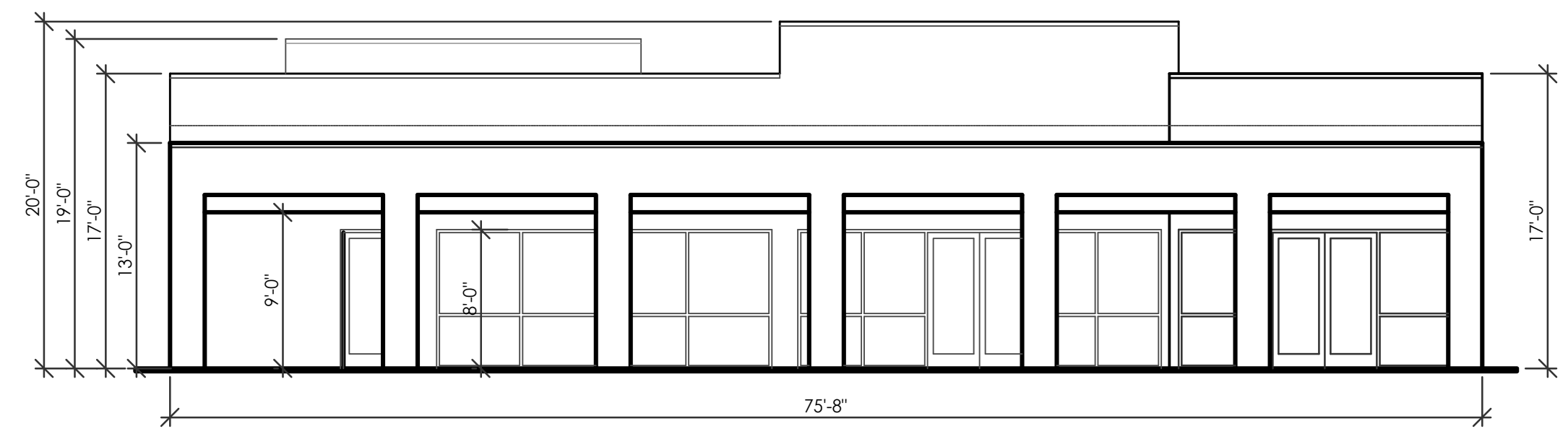
- KEYED NOTES**
1. STUCCO COLOR: PAREX USA SNOW BALL, 199499L (75)
 2. STUCCO COLOR: PAREX USA LARIAT, 821L (57)
 3. STUCCO COLOR: PAREX USA CLAY, 131L (24)
 4. WINDOW TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
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 8. 12" x 24" TAN COLOR CERAMIC TILE, TYP.
 9. ELEVATOR SHAFT WALL BEYOND, REF: ARCH FLOOR PLANS.

WINTERGREEN LUXURY APARTMENTS
BUILDING A, B, C AND D ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

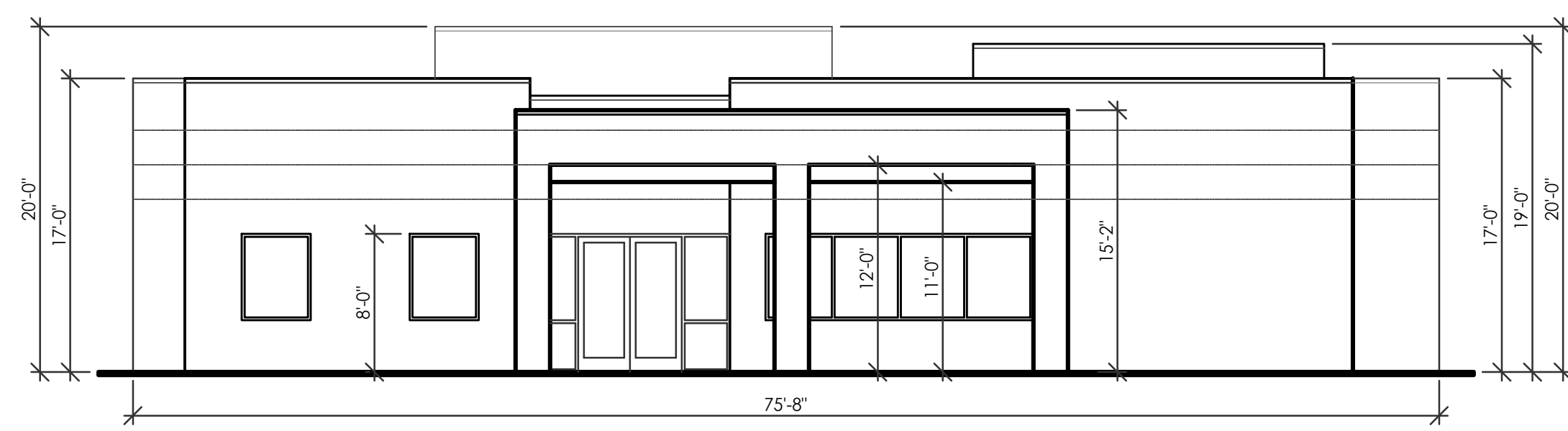
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06-26-2020
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A-5.0



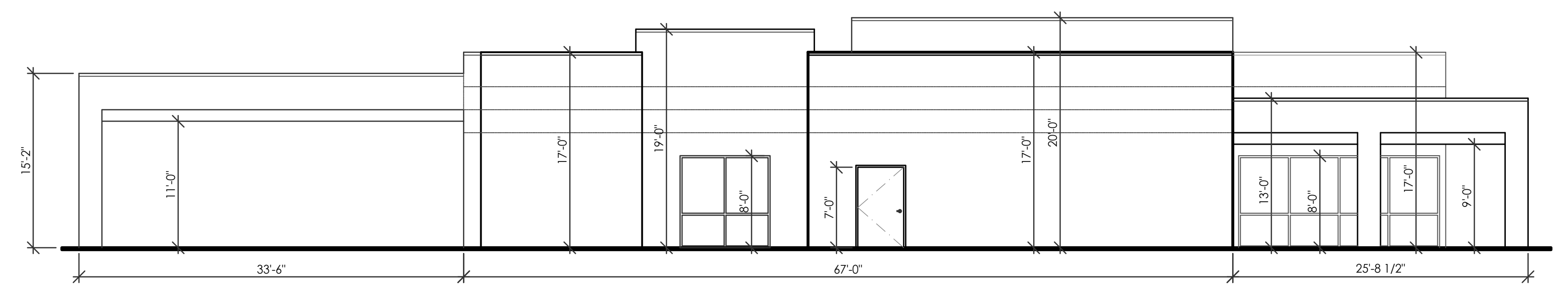
3 EAST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

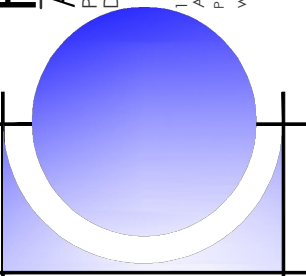


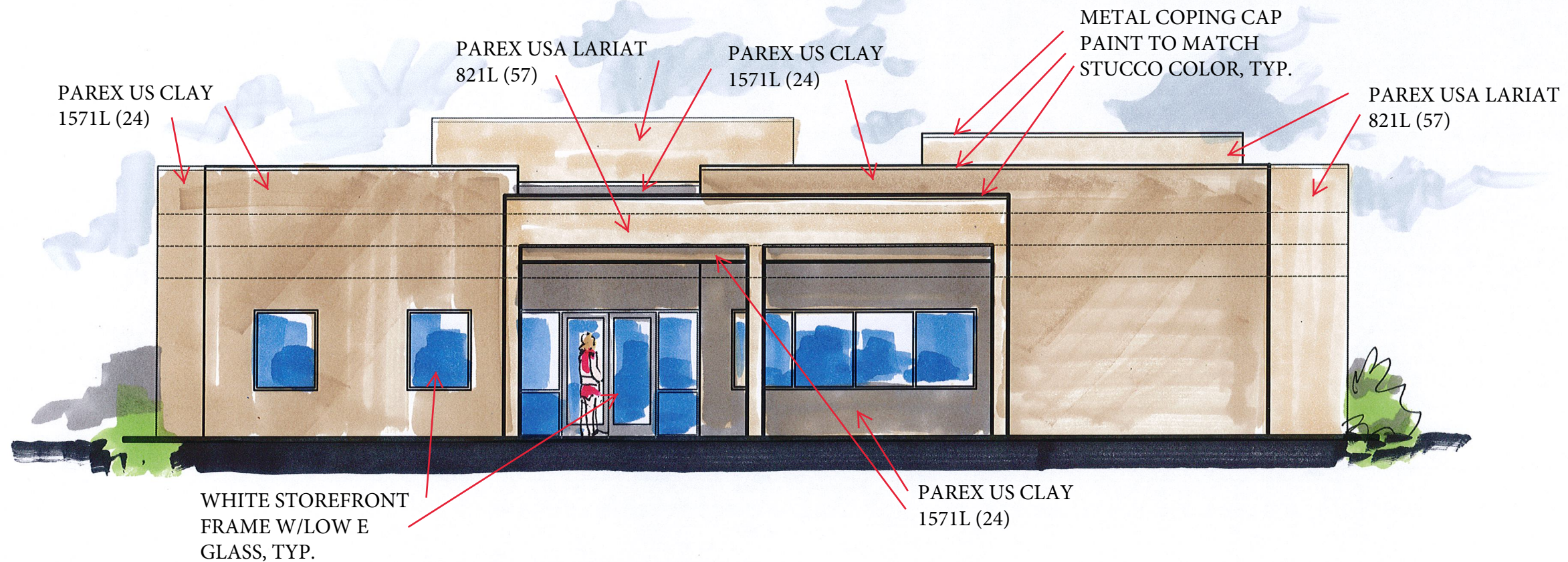
1 NORTH ELEVATION
1/8" = 1'-0"



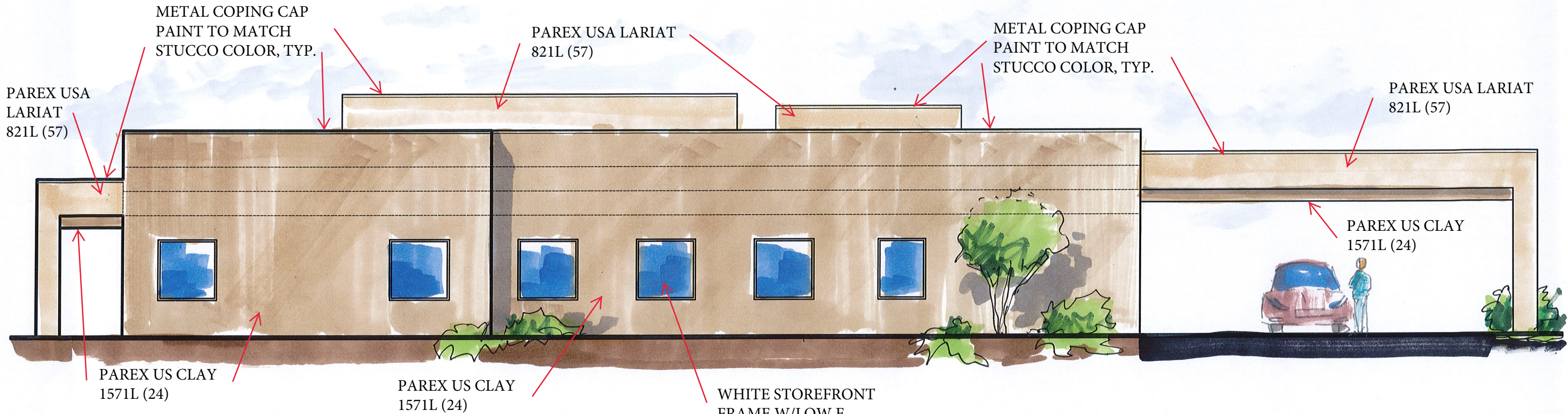
2 WEST ELEVATION
1/8" = 1'-0"

WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

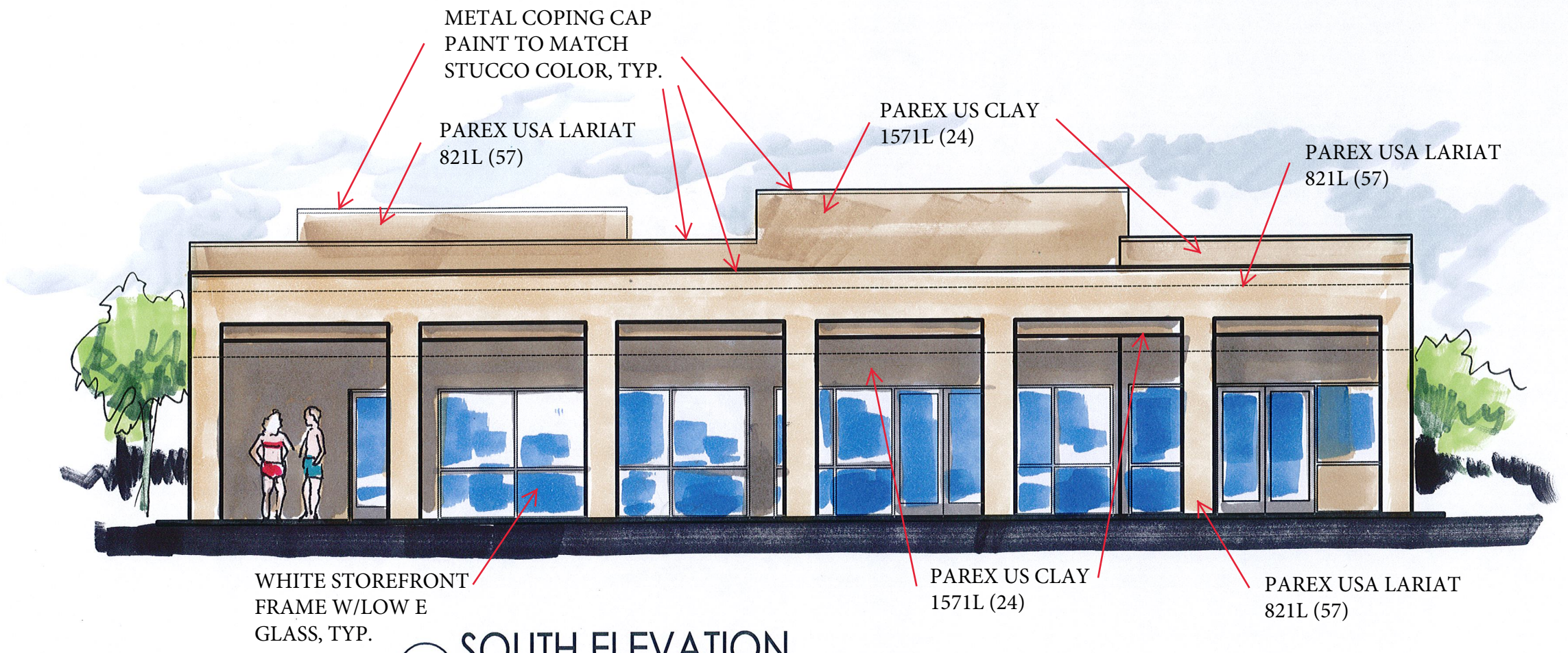
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<p>RBA ARCHITECTURE, PC PLANNING DESIGN</p> <p>10000 1st Ave. SW Albuquerque, NM 87102 www.rba.com</p> 
DATE 09-24-2020
SHEET NUMBER A-7.0



1 NORTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
 1/8" = 1'-0"



METAL COPING CAP
PAINT TO MATCH
STUCCO COLOR, TYP.

PAREX USA LARIAT
821L (57)

PAREX US CLAY
1571L (24)

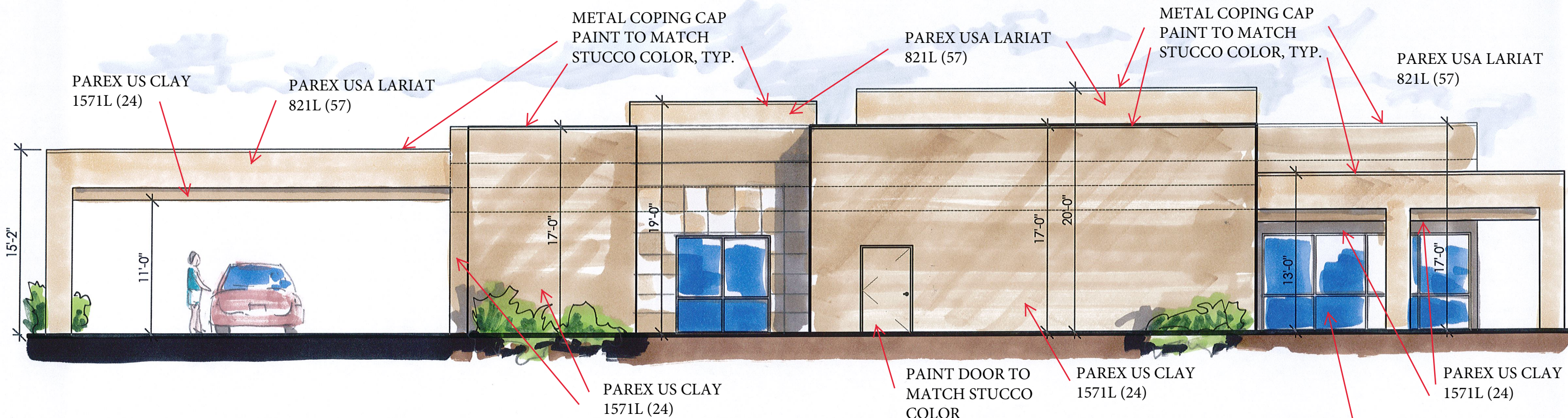
PAREX USA LARIAT
821L (57)

WHITE STOREFRONT
FRAME W/LOW E
GLASS, TYP.

PAREX US CLAY
1571L (24)

PAREX USA LARIAT
821L (57)

4 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"











PR-2020-004030_SI-2020-00540_Site_Plan_Aproved_3-10-21_Sheet_1

Final Audit Report

2022-01-10

Created:	2021-12-29
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAAY0nuZcpT0UwAuBhnArc4HaWVeQD8cZCB

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-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Document emailed to Renee Brissette (rbrissette@cabq.gov) for signature
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-  Document emailed to Robert Webb (rwebb@cabq.gov) for signature
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 Agreement completed.

2022-01-10 - 5:09:43 PM GMT