



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on 2019 agenda – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. 8/21/2020
Application No. PR-2020-004030/ SD-2020-00540

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- Albuquerque/ Bernalillo Co. WUA
- Code Enforcement

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

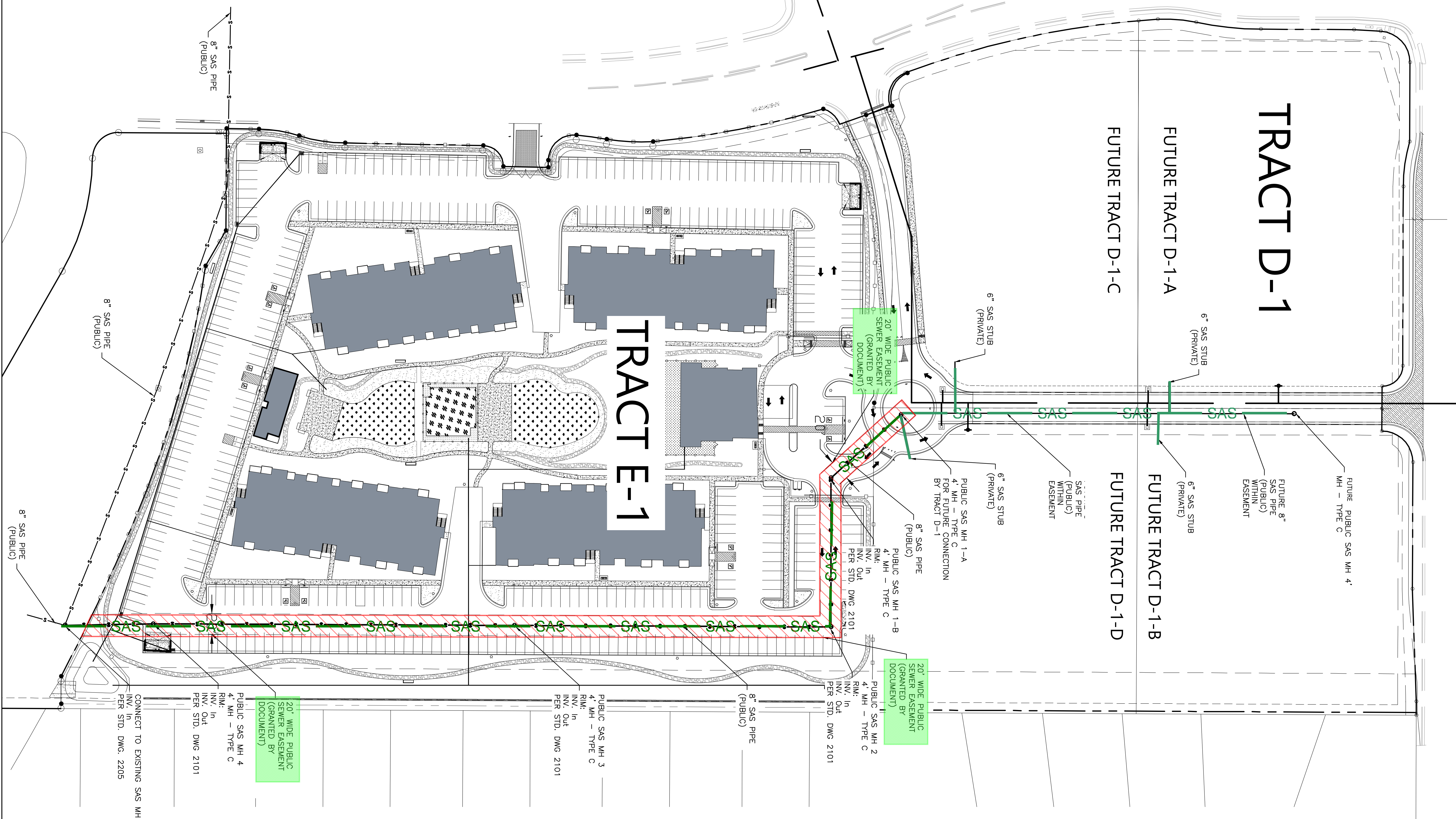
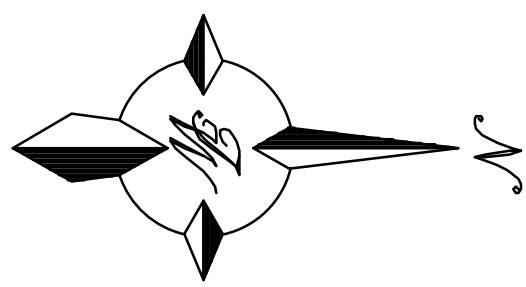
DRB SCHEDULED HEARING DATE: August 26, 2020 HEARING DATE OF DEFERRAL: July 22, 2020

SUBMITTAL DESCRIPTION: Plan Updates and response to comments

CONTACT NAME: Richard Stevenson

TELEPHONE: 505-858-3100 EMAIL: rstevenson@tierrawestllc.com

TRACT D-1 & E-1 CONCEPT
 PARADISE HEIGHTS, UNIT 1
 ALBUQUERQUE, NEW MEXICO



TRACT D-1

TRACT E-1

FUTURE TRACT D-1-A
 FUTURE TRACT D-1-C

FUTURE TRACT D-1-B
 FUTURE TRACT D-1-D

FUTURE PUBLIC SAS MH 4'
 MH - TYPE C

FUTURE 8"
 SAS PIPE
 (PUBLIC)
 WITHIN
 EASEMENT

6" SAS STUB
 (PRIVATE)

6" SAS STUB
 (PRIVATE)

SAS PIPE
 (PUBLIC)
 WITHIN
 EASEMENT

6" SAS STUB
 (PRIVATE)

6" SAS STUB
 (PRIVATE)

PUBLIC SAS MH 1-A
 4' MH - TYPE C
 FOR FUTURE CONNECTION
 BY TRACT D-1

8" SAS PIPE
 (PUBLIC)

PUBLIC SAS MH 1-B
 4' MH - TYPE C

PUBLIC SAS MH 2
 4' MH - TYPE C
 INV. In
 RIM: In
 INV. Out
 PER STD. DWG 2101

8" SAS PIPE
 (PUBLIC)

PUBLIC SAS MH 3
 4' MH - TYPE C
 INV. In
 RIM: In
 INV. Out
 PER STD. DWG 2101

20' WIDE PUBLIC
 SEWER EASEMENT
 (GRANTED BY
 DOCUMENT)

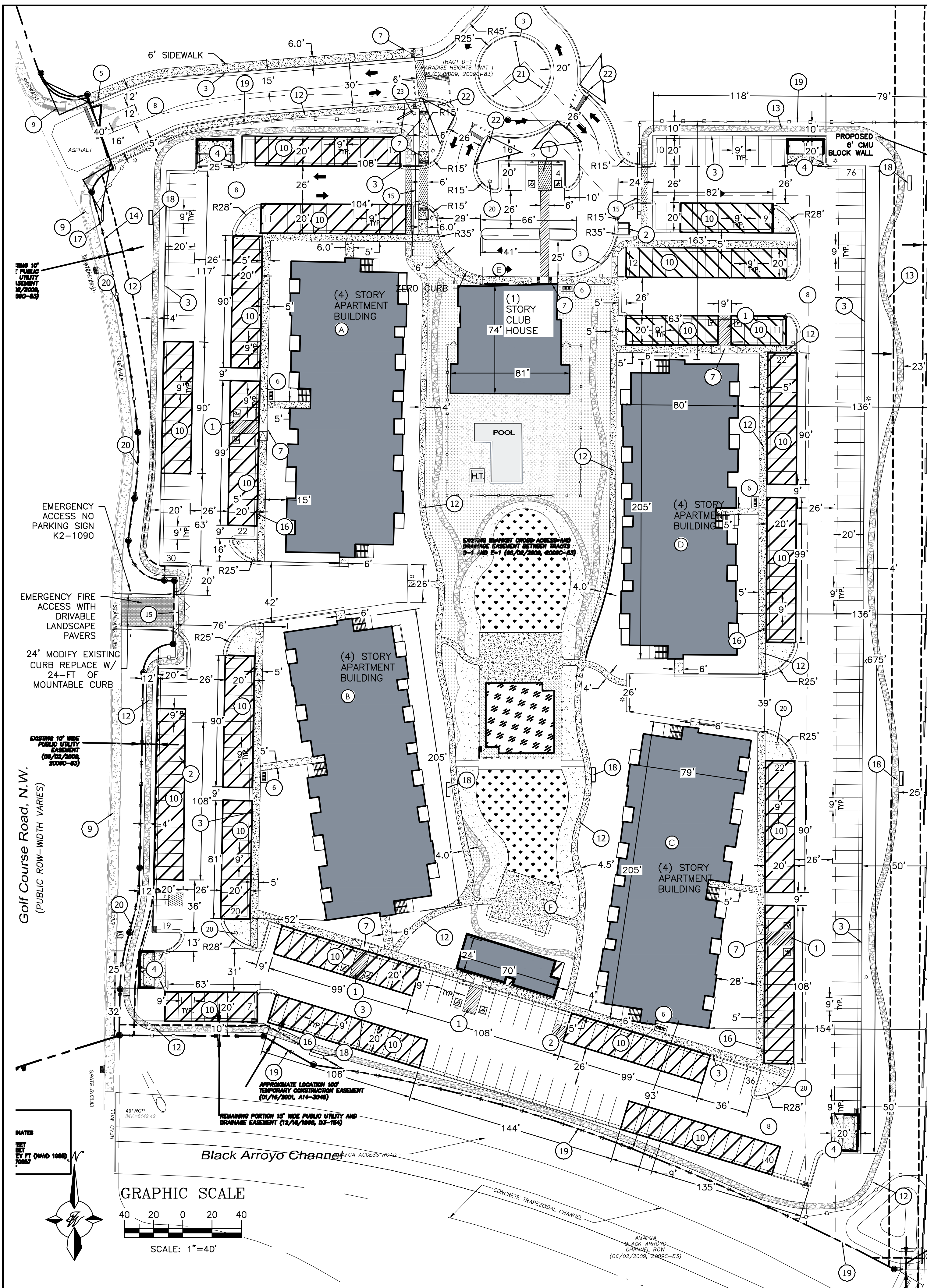
PUBLIC SAS MH 4
 4' MH - TYPE C
 INV. In
 RIM: In
 INV. Out
 PER STD. DWG 2101

CONNECT TO EXISTING SAS MH
 INV. In
 PER STD. DWG. 2205

8" SAS PIPE
 (PUBLIC)

8" SAS PIPE
 (PUBLIC)

8" SAS PIPE
 (PUBLIC)



KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- DUMPSTER (SEE DETAIL SHT. C4)
- R1-1 36" STOP SIGN
- BICYCLE RACKS (SEE DETAIL SHT. C5)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- EXISTING 6" PUBLIC SIDEWALK / ADA RAMP
- CARPORT (SEE DETAIL SHT. C7)
- CURB HC RAMP (SEE DETAIL SHT. C4)
- 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 5' CRUSHED GRAVEL TRAIL
- 6-FT CMU SCREEN WALL (SEE DETAIL SHT. C6)
- GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7)
- 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT. 7)
- MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- PARK BENCH (SEE ARCH. DETAIL SHT.)

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- CLEAR SIGHT TRIANGLE
- 3-FT WROUGHT IRON FENCE ON TOP OF 3-FT CMU BLOCK WALL (ALONG NORTH AND SOUTH PERIMETER)
- 3-FT CMU BLOCK WALL (ALONG GOLF COURSE FRONTAGE)

LEGAL DESCRIPTION

TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1

- 21 ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- 22 R1-2 YIELD SIGN
- 23 STREET LIGHT (SEE DETAIL SHT. 6.)

FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

FLOOR	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA		
1ST FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,747 S.F.	59 S.F.	N/A	81 S.F.	15,025 S.F.		
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.				71 S.F.			
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.							
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.							
TOTAL													13 APARTMENTS	13,087 S.F.
2ND FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.		
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.							
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.							
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.							
TOTAL													13 APARTMENTS	13,087 S.F.
3RD FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.		
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.							
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.							
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.							
TOTAL													13 APARTMENTS	13,087 S.F.
4TH FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.		
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.							
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.							
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.							
TOTAL													13 APARTMENTS	13,087 S.F.
TOTAL BUILDING "A" APARTMENTS UNITS: 52														
TOTAL BUILDING "A" 1ST, 2ND, 3RD AND 4TH FLOOR AREA: 59,716 S.F.														
TOTAL BUILDING "A" ROOF AREA: 15,025 S.F.														
TOTAL BUILDING "A", "B", "C" AND "D" AREA: 59,716 S.F. x 4 = 238,864 S.F.														

BUILDING AREAS

APARTMENT BUILDINGS (4 STORIES EA.)
 BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)

CLUB HOUSE BUILDING "E" (1 STORY)
 CLUB HOUSE AREA: 5,000 S.F.
 PORTE COCHERE AREA: +1,400 S.F.
 TOTAL AREA: 6,400 S.F.

BUILDING "F" (1 STORY)
 AREA: 1,680 S.F.

TOTAL BUILDING AREA: 247,044 S.F.

TOTAL CARPORT AREA: 37,417 S.F.

PARKING REQUIRED PER THE IDO

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT
 208 UNITS x 1.5 = 312 SPACES REQUIRED = 312
 ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)
 MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES
 BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:
 312 x 10% = 32 BICYCLE PARKING SPACES
 ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

OPEN SPACE CALCULATIONS

(1BR: 200 SQ. FT. / UNIT)
 (2BR: 250 SQ. FT. / UNIT)
 TOTAL = 128*200 + 80*250 = 45,600 SQ. FT.
 PROVIDED = 144,030 SQ. FT.

PARKING PROVIDED:

CARPORT PARKING SPACES: 52 SPACES
 BUILDING "A": 52 SPACES
 BUILDING "B": 52 SPACES
 BUILDING "C": 52 SPACES
 BUILDING "D": 52 SPACES
 TOTAL CARPORT PARKING SPACES = 208

REGULAR PARKING SPACES = 154

ACCESSIBLE PARKING SPACES = 12 (2 VAN)
 TOTAL PARKING SPACES PROVIDED = 374
 PROVIDED MOTORCYCLE SPACES = 6 SPACES
 PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)
 ELECTRIC CHARGING STATIONS PROVIDED = 8

MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved IRLC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

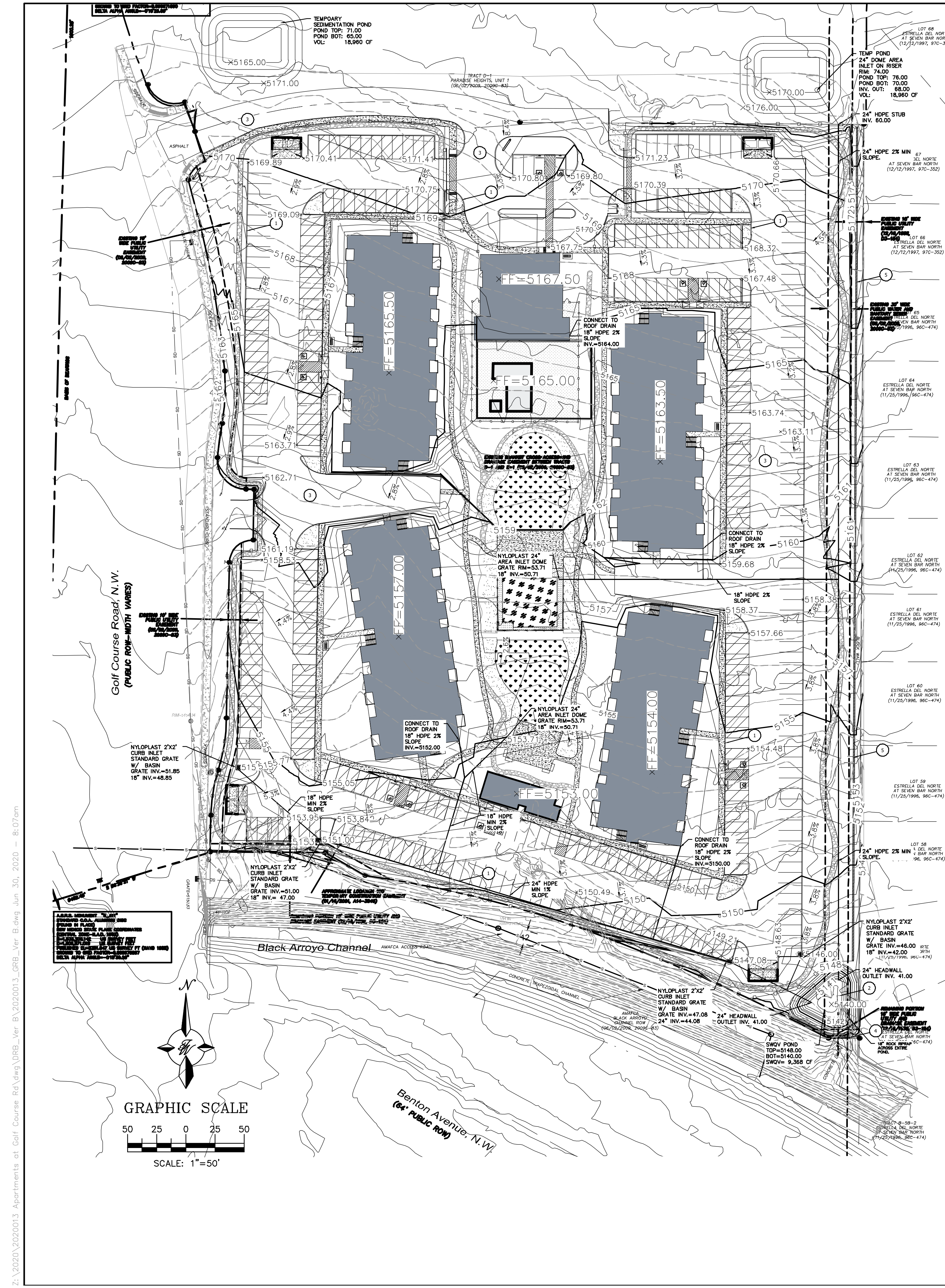
* Environmental Health, if necessary.

PRELIMINARY - NOT FOR CONSTRUCTION

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS	DRAWN BY
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868	GOLF COURSE RD NE	DATE
	SITE PLAN_VER B	2020013_SPB_VER B
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierawestllc.com	SHEET #	C1
7/31/2020	JOB #	2020013

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NOTICE TO CONTRACTORS

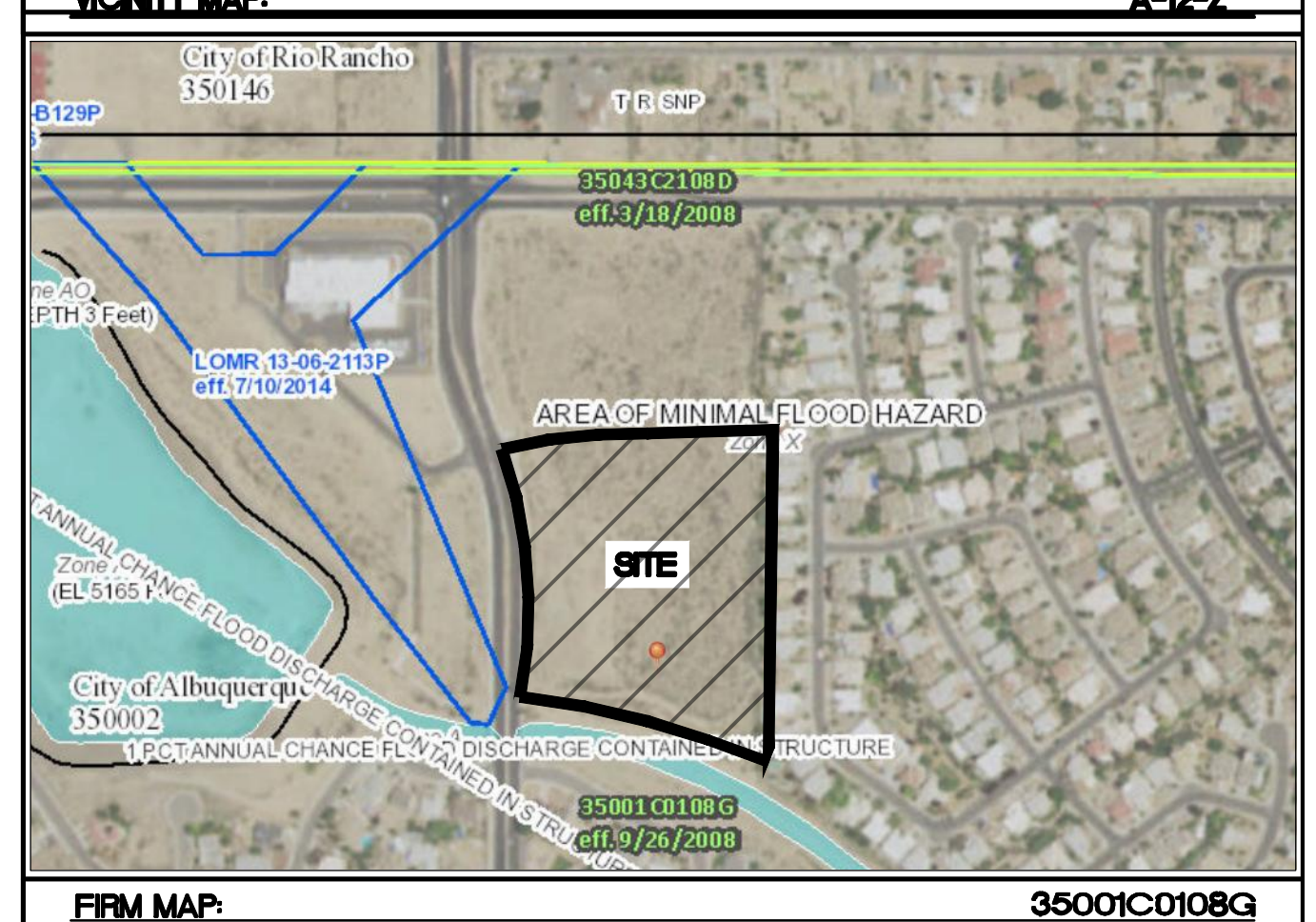
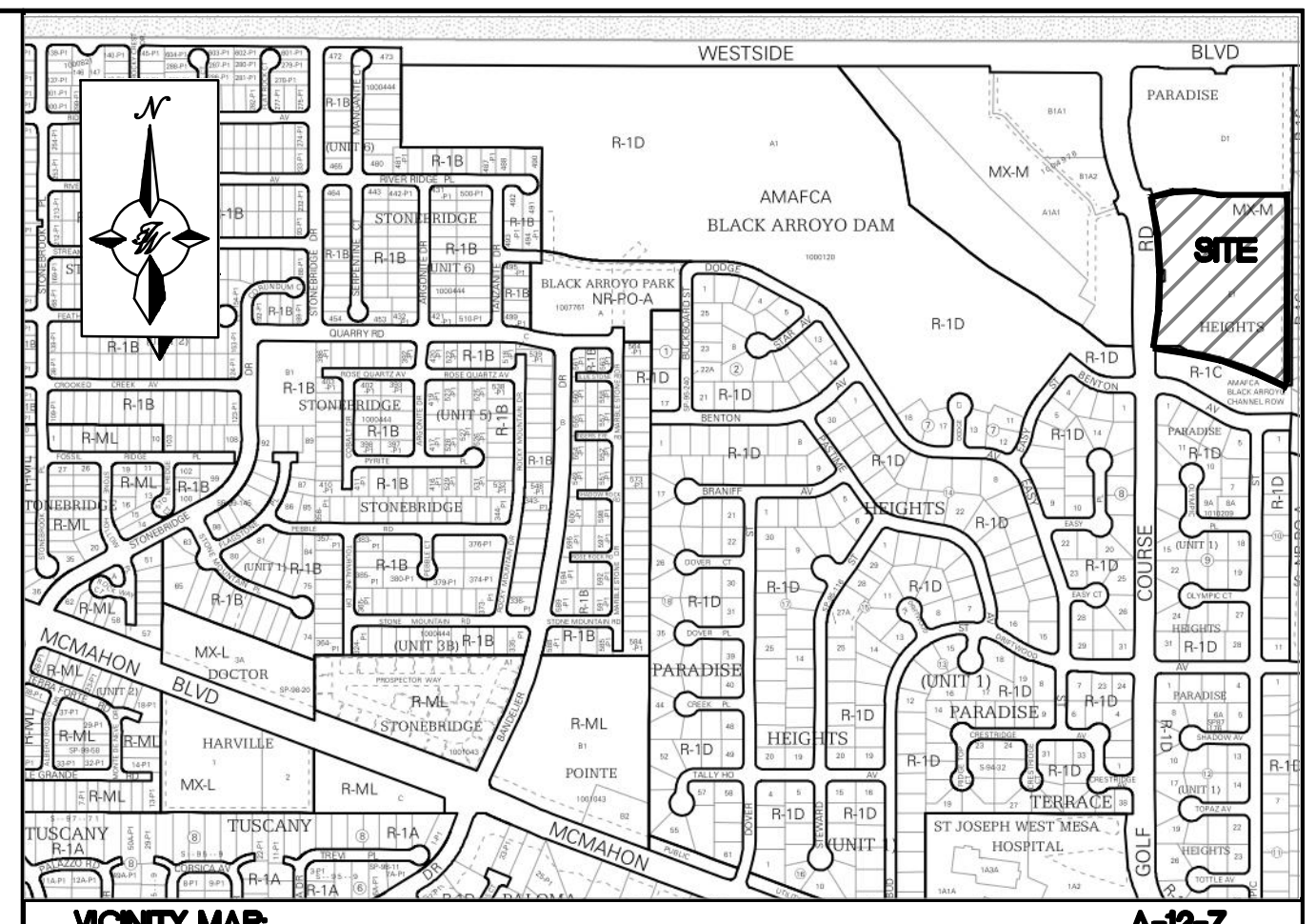
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- 5010 — EXISTING BOUNDARY LINE
- 5010 — EXISTING CONTOUR MAJOR
- 5011 — EXISTING CONTOUR MINOR
- x 5048.25 — EXISTING SPOT ELEVATION

KEYED NOTES

- 1 6" ONSITE CURB AND GUTTER
- 2 SWQV POND - SEE PLAN FOR NUMBER AND VOLUME THIS SHEET
- 3 ASPHALT PAVING (SEE GEOTECH REPORT)
- 4 BUILD NEW CONCRETE RUNDOWN CONNECTION TO EXISTING FLUME 10-FT WIDE, 2.5-FT HEIGHT. SEE DETAIL SHEET.
- 5 NEW BOUNDARY/SCREEN WALL 6-FT HIGH, CMU BLOCK WALL, BY OWNER.



Existing Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr				
					Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs		
H1	D-1	334,175	7.67	0.01199	100%	7.672	0%	0.000	0%	0.000	0.440	0.281	9.90	0.080	0.051	1.84
H2	E-1	382,736	8.79	0.01373	100%	8.786	0%	0.000	0%	0.000	0.440	0.322	11.33	0.080	0.059	2.11
Total		716,911	16.46	0.02572		16.458	0.000	0.000	0.000	0.880	0.603	21.23	0.160	0.110	3.95	

Proposed Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr						
					Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs				
D1	D-1	334,175	7.67	0.01199	0%	0.000	0%	0.000	15%	1.151	85%	6.521	1.823	1.165	31.80	1.120	0.716	20.56
D2	E-1	65,162	1.50	0.00234	0%	0.000	0%	0.000	30%	0.449	70%	1.047	1.676	0.209	5.86	1.000	0.125	3.69
D3	E-1	46,626	1.07	0.00167	0%	0.000	0%	0.000	22%	0.235	78%	0.835	1.754	0.156	4.32	1.064	0.095	2.76
D4	E-1	23,011	0.53	0.00083	0%	0.000	0%	0.000	26%	0.137	74%	0.391	1.715	0.076	2.10	1.032	0.045	1.33
D5	E-1	67,494	1.55	0.00242	0%	0.000	0%	0.000	75%	1.162	25%	0.387	1.235	0.159	5.03	0.640	0.083	2.85
D6	E-1	120,421	2.76	0.00432	0%	0.000	0%	0.000	25%	0.691	75%	2.073	1.725	0.397	11.04	1.040	0.240	7.02
D7	E-1	30,869	0.71	0.00111	0%	0.000	0%	0.000	15%	0.106	85%	0.602	1.823	0.108	2.94	1.120	0.066	1.90
D8	E-1	29,154	0.67	0.00105	0%	0.000	0%	0.000	100%	0.669	0%	0.000	1.970	0.110	2.92	1.240	0.069	1.93
Total		716,911	16.46	0.02572		0.000	0.000	0.000	3.932	12.526		2.381	66.024	1.439	42.059			

Basin ID	SWQV	
	Vol Required (cf)	Provided (cf)
D1	0	0
D2	1,596	0
D3	1,273	0
D4	596	0
D5	591	0
D6	3,161	9,368
D7	918	0
D8	1,020	0
Total	9,156	9,368

Equations:
 Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed
 Volume = Weighted E * Total Area
 Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

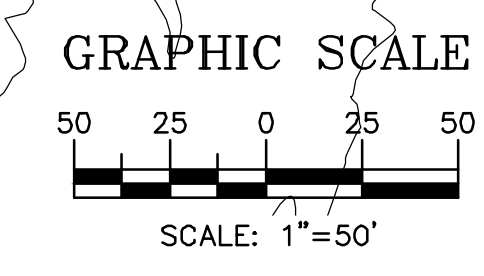
Zone	Excess Precipitation, E (in.)	
	100-Year	10-Year
Ea	0.44	0.08
Eb	0.67	0.22
Ec	0.99	0.44
Ed	1.97	1.24

Zone	Peak Discharge (cfs/acre)	
	100-Year	10-Year
Qa	1.29	0.24
Qb	2.03	0.76
Qc	2.87	1.49
Qd	4.37	2.89

SWQV Pond Volume Calculation	
Area at Mid Depth	1,171 Sq. Ft.
Depth of Pond	8 Ft.
Total Volume	9,368 Cubic Ft.

Stormwater Quality Volume
 Total Impervious Area = ΣArea in "Treatment D"
 Retainage depth = 0.42" Per DPM Pg. 272 = 0.035
 Retention Volume = 0.035 x area foot
 CF

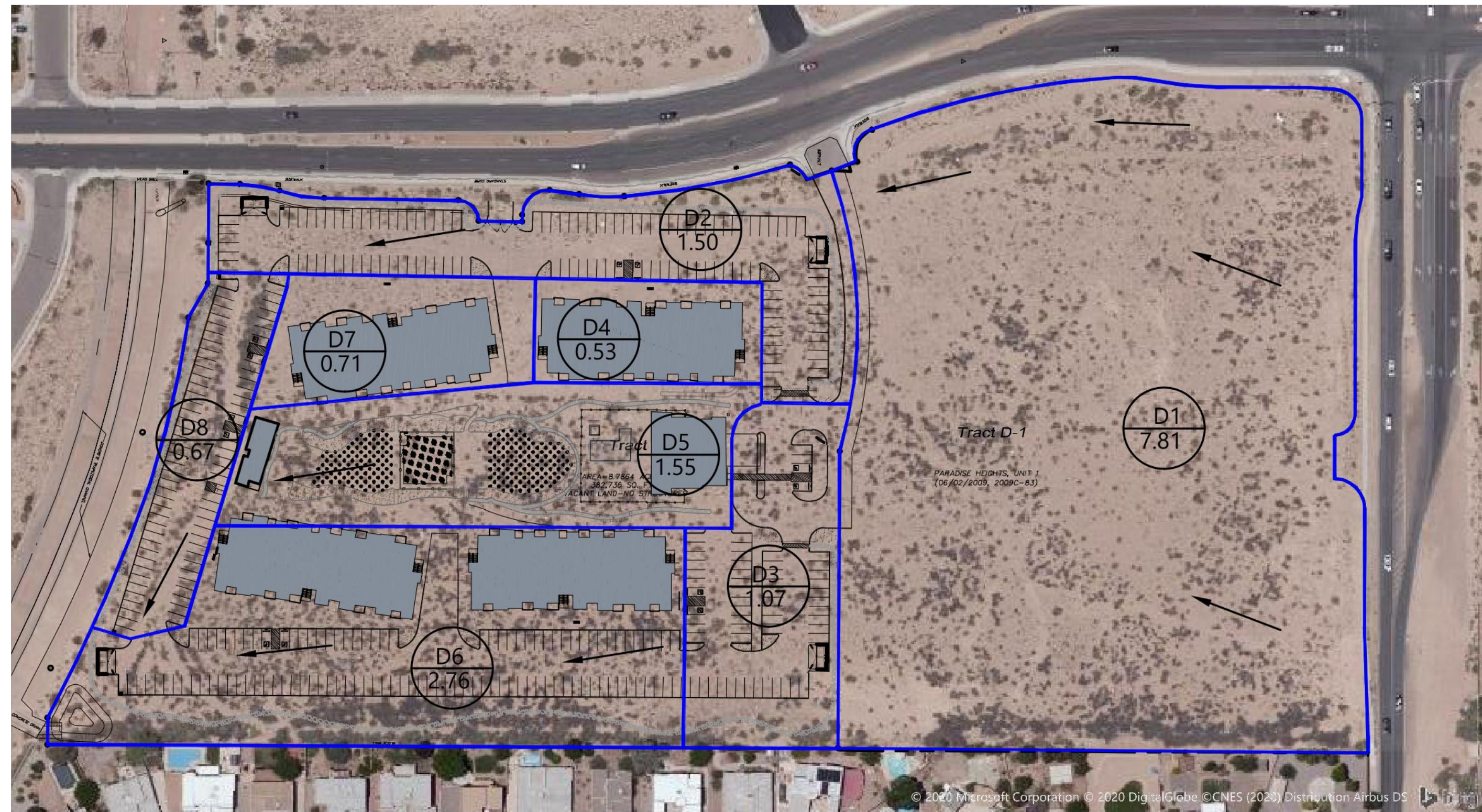
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



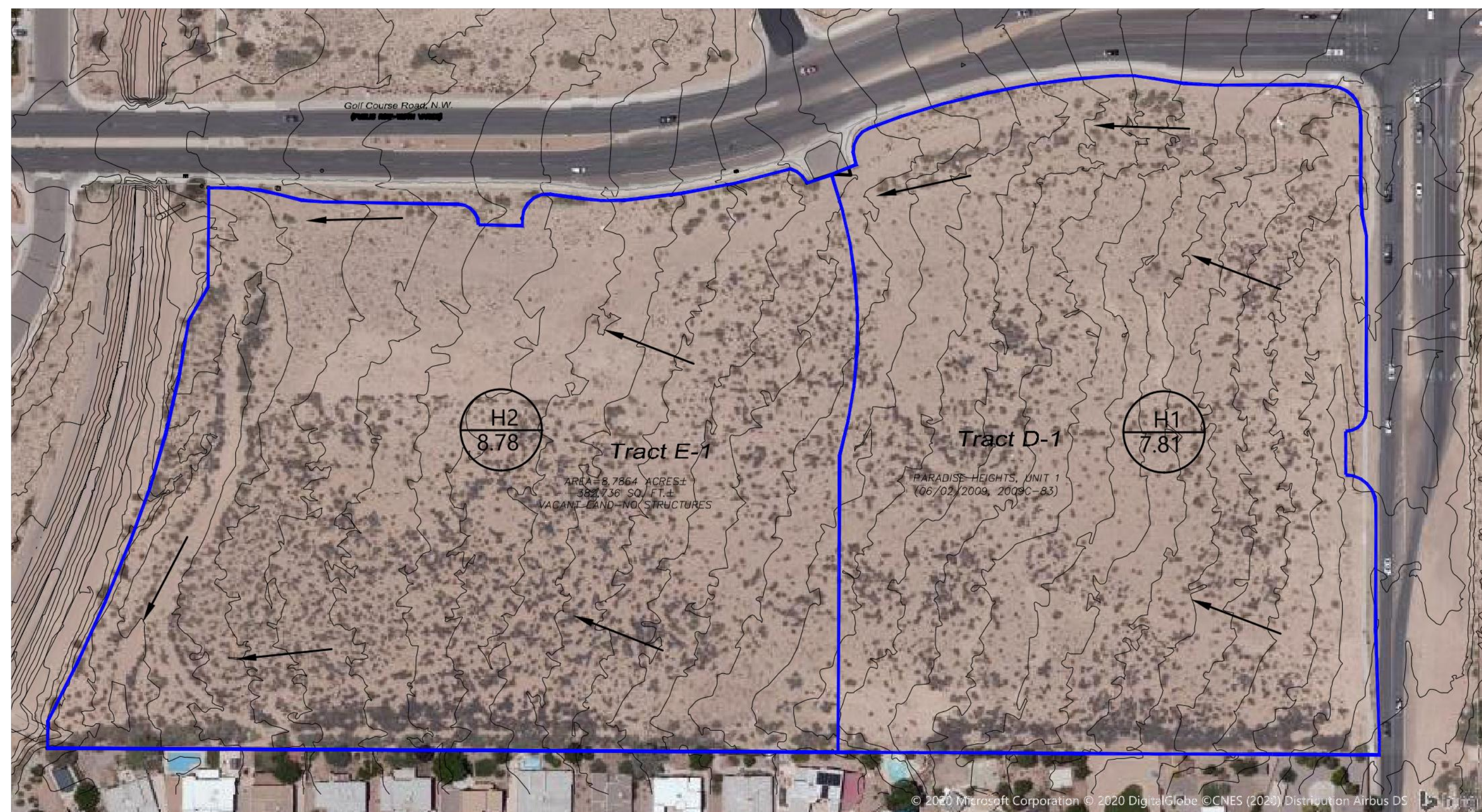
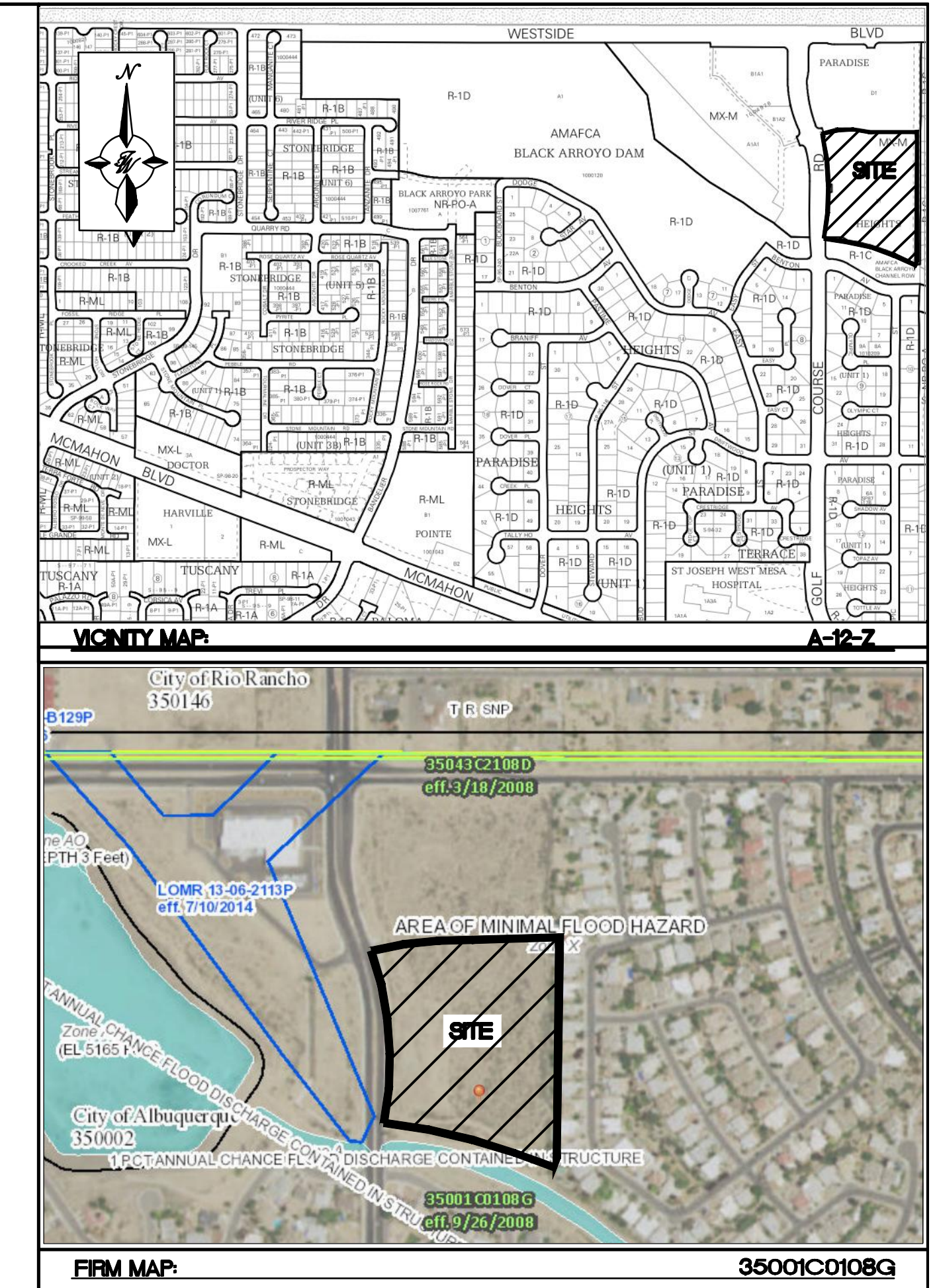
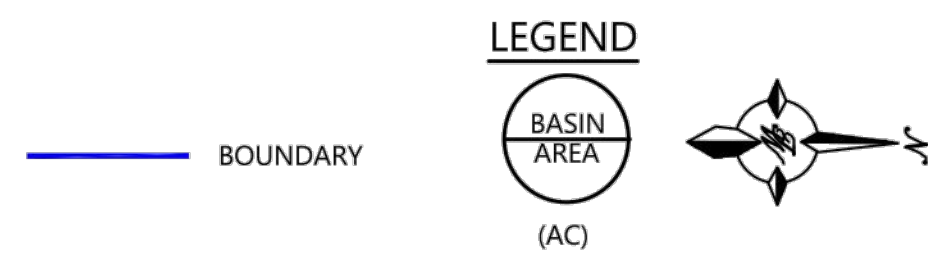
PRELIMINARY - NOT FOR CONSTRUCTION

	WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE CONCEPTUAL GRADING & DRAINAGE PLAN	DRAWN BY BF DATE 6/26/2020 PROJECT # 2020013_GRB_VER B
6/26/2020 RONALD R. BOHANNAN P.E. #7868		SHEET # C2 JOB # 2020013

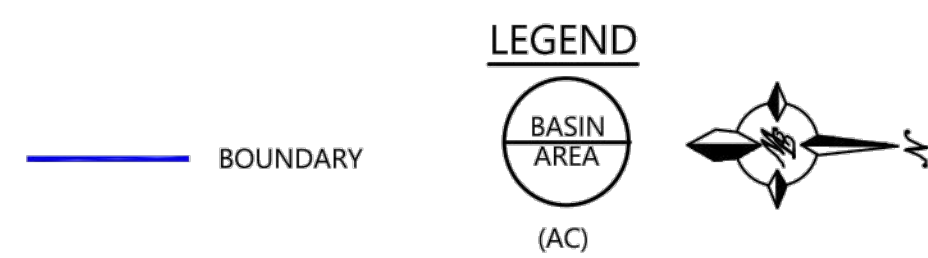
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PROPOSED BASIN MAP
DEVELOPED CONDITION - 10800 GOLF COURSE RD. NW



HISTORIC BASIN MAP
EXISTING CONDITION - 10800 GOLF COURSE RD. NW



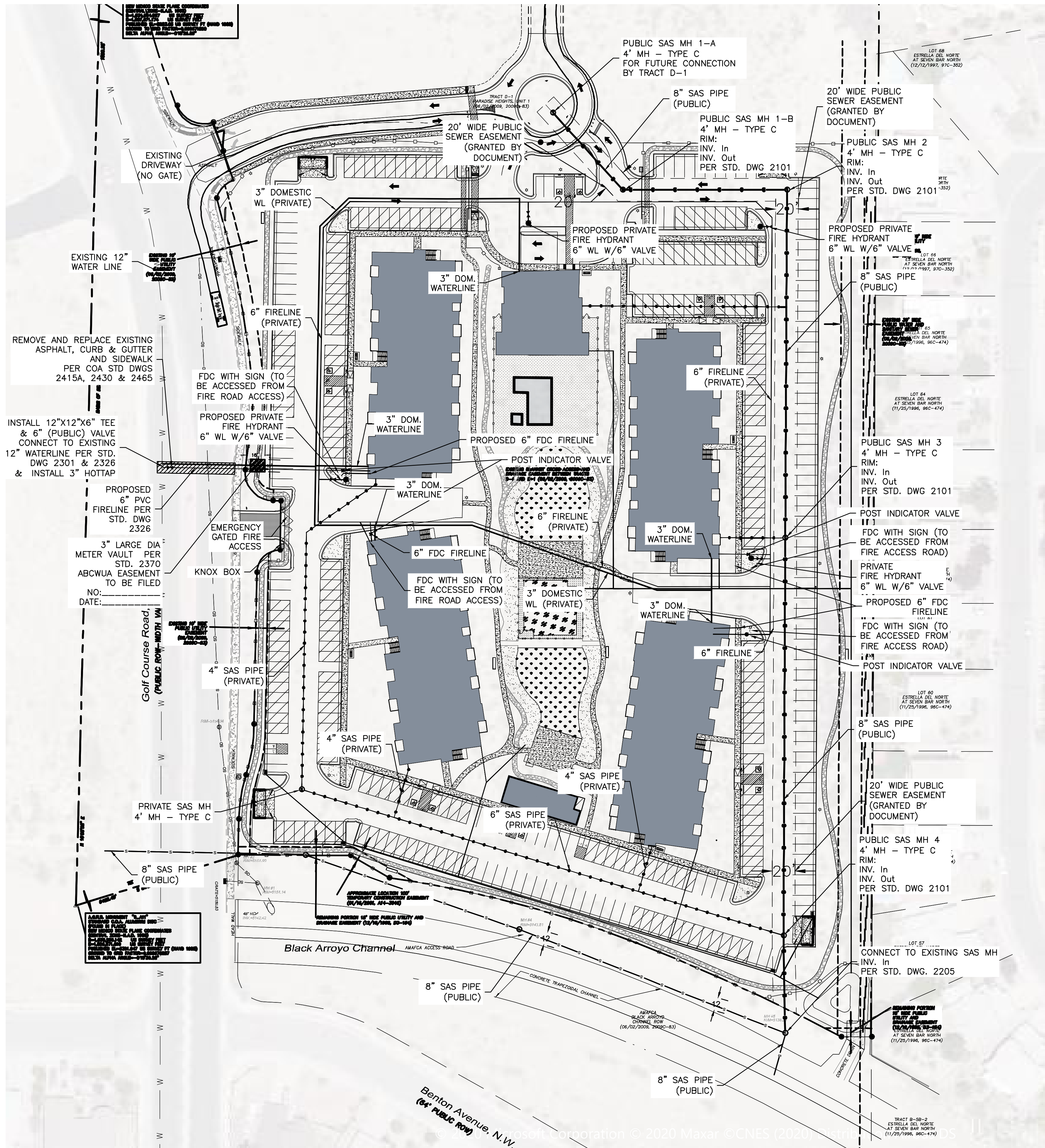
Pipe Number	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)
1	30	2.00	4.91	0.625	58.16
2	30	1.00	4.91	0.625	41.13
3	24	2.00	3.14	0.500	32.08
4	24	1.00	3.14	0.500	22.68
5	18	2.00	1.77	0.375	14.90
6	18	1.00	1.77	0.375	10.53

Manning's Equation:
 $Q = 1.49/n * A * R^{2/3} * S^{1/2}$
 A = Area
 R = D/4
 S = Slope
 n = 0.013

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PRELIMINARY - NOT FOR CONSTRUCTION

	WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE	DRAWN BY BF
	CONCEPTUAL GRADING & DRAINAGE PLAN	DATE 6/26/2020
6/26/2020 RONALD R. BOHANNON P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2-B
		JOB # 2020013



LEGEND

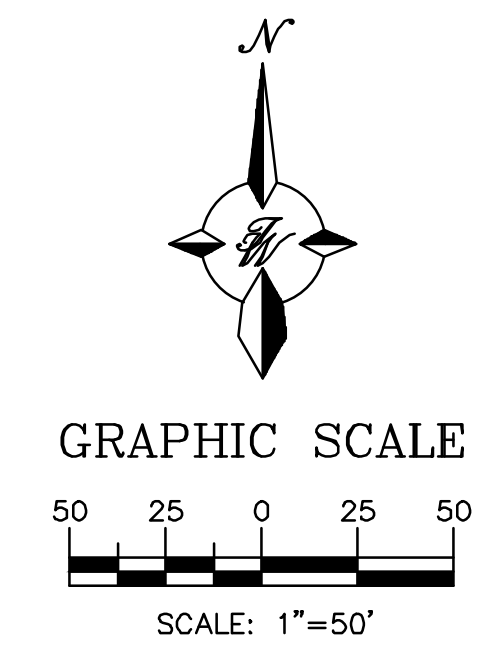
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

- WATER NOTES:**
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
 - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
 - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
 - ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
 - ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
 - CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
 - RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
 - ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
 - CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

- GENERAL UTILITY NOTES:**
- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
 - PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
 - AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
 - PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
 - NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
 - CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
 - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
 - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
 - P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
 - CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

ABCWUA NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/483/729/](http://abcwua.org/content/view/full/483/729/)

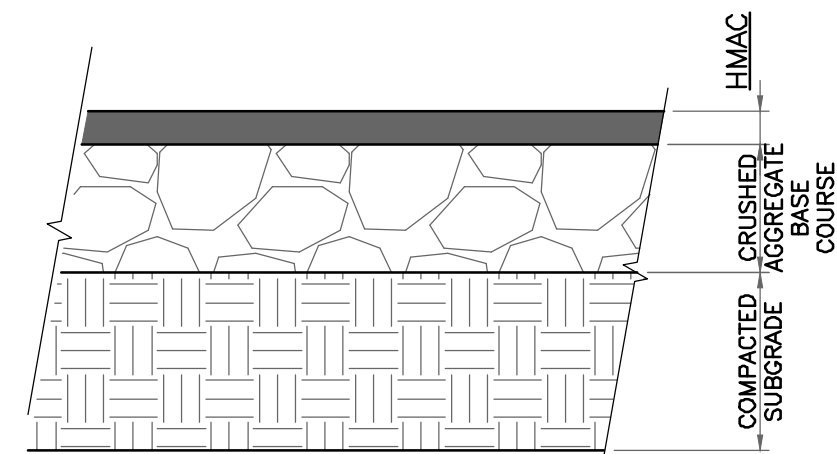


CAUTION:

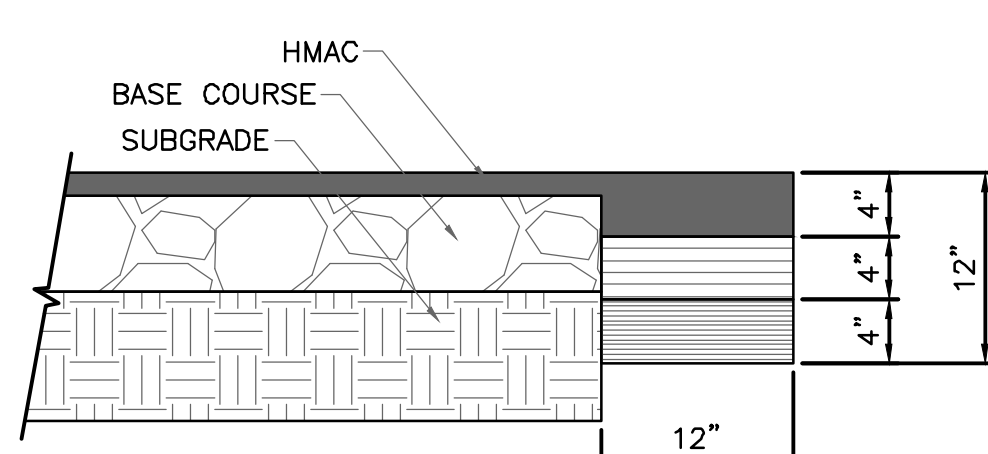
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PRELIMINARY - NOT FOR CONSTRUCTION		
	WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE CONCEPT MASTER UTILITY PLAN	DRAWN BY BF DATE 7/31/2020 2020013_MUB_VER B SHEET # C3 JOB # 2020013
		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com

Z:\2020\2020013 Apartments at Golf Course RA\dwg\DRB_Ver_B\2020013_MUB_Ver_B.dwg, Aug 20, 2020 - 4:48pm



PAVEMENT SECTION DETAIL
SCALE: 1"=1'



PAVEMENT TERMINUS
SCALE: 1"=1'

PAVEMENT NOTES

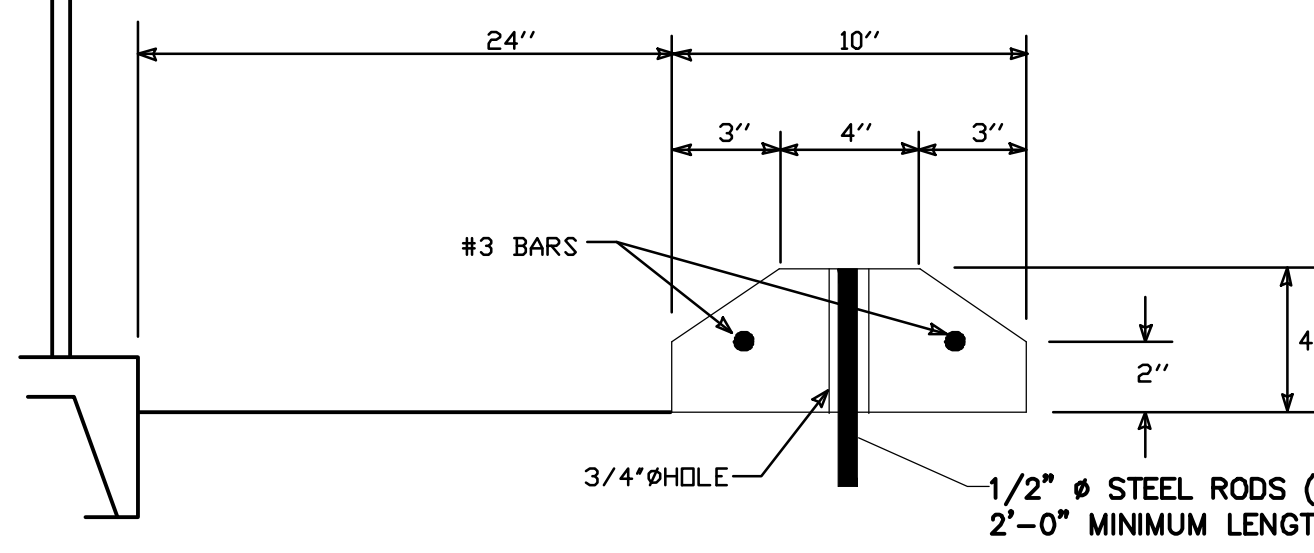
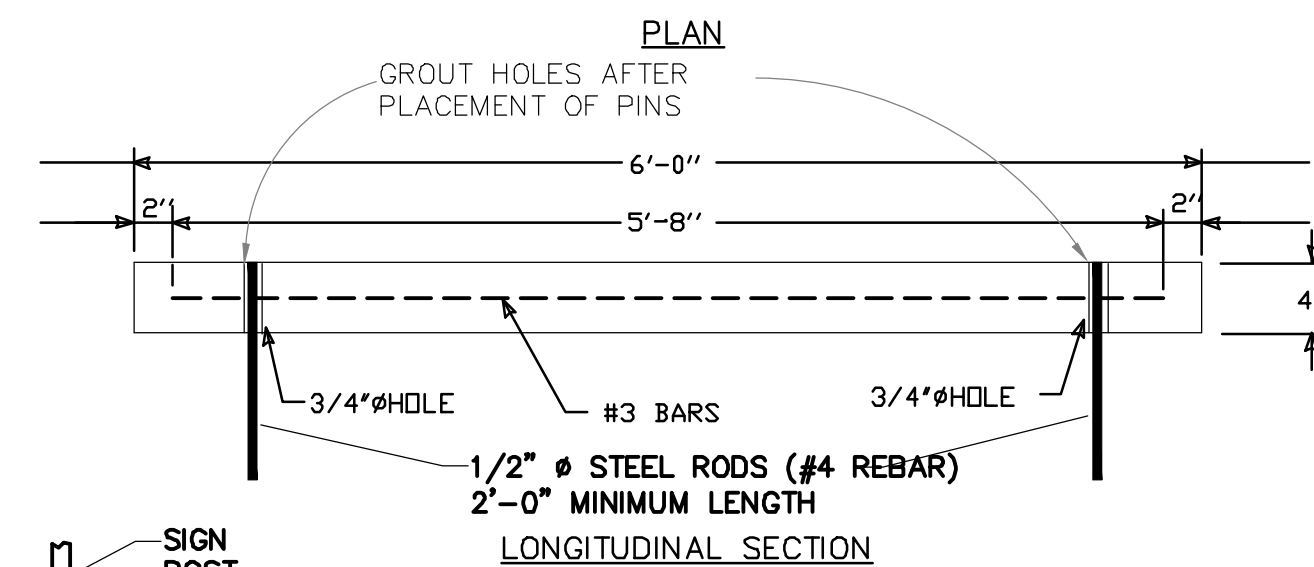
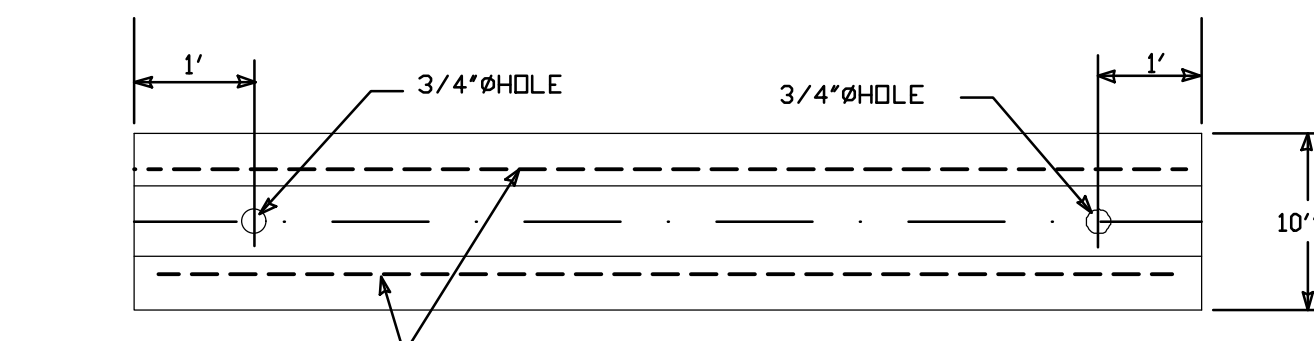
- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

TRENCHING

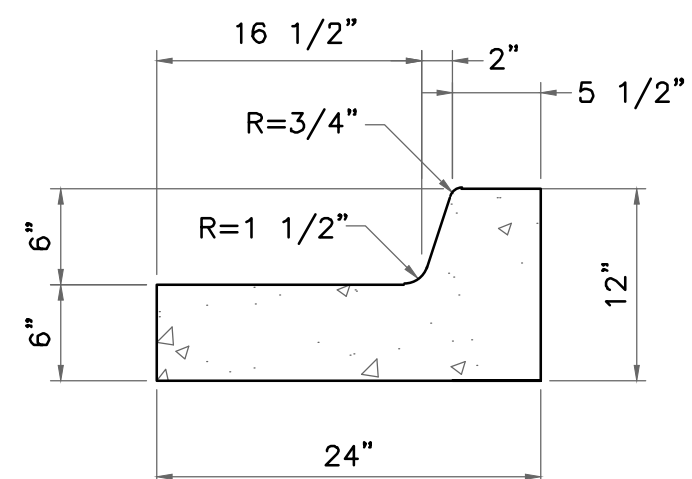
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

NOTE:

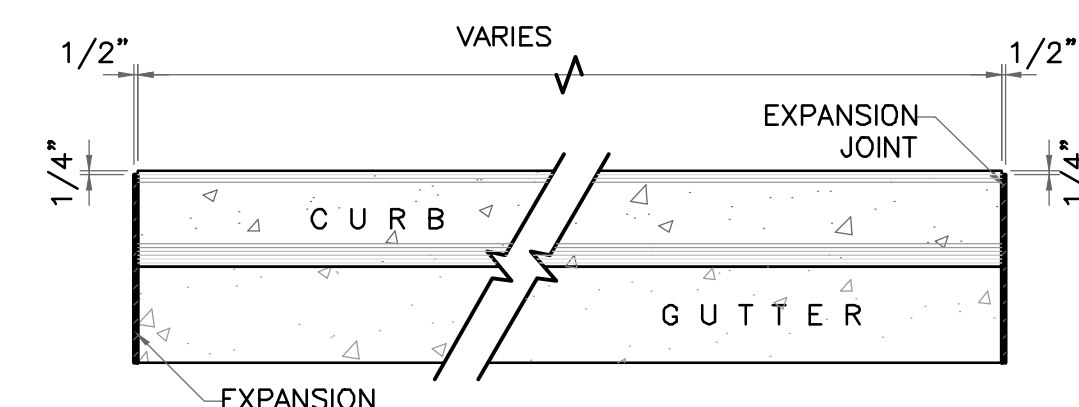
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



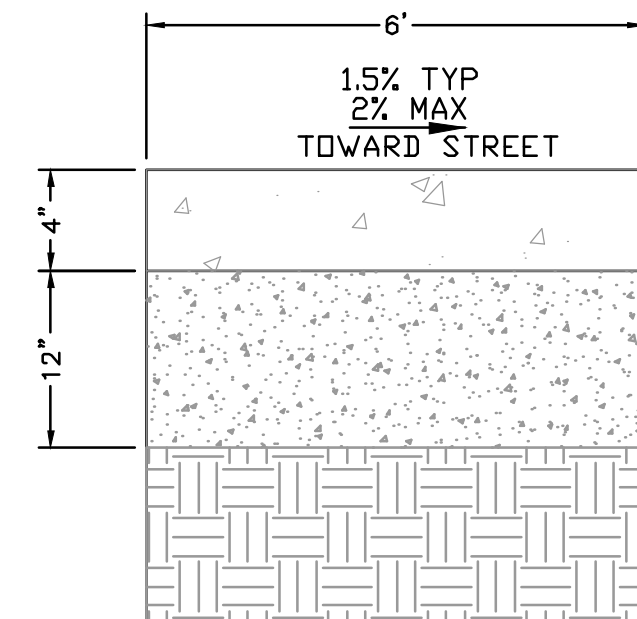
WHEEL STOP



END SECTION

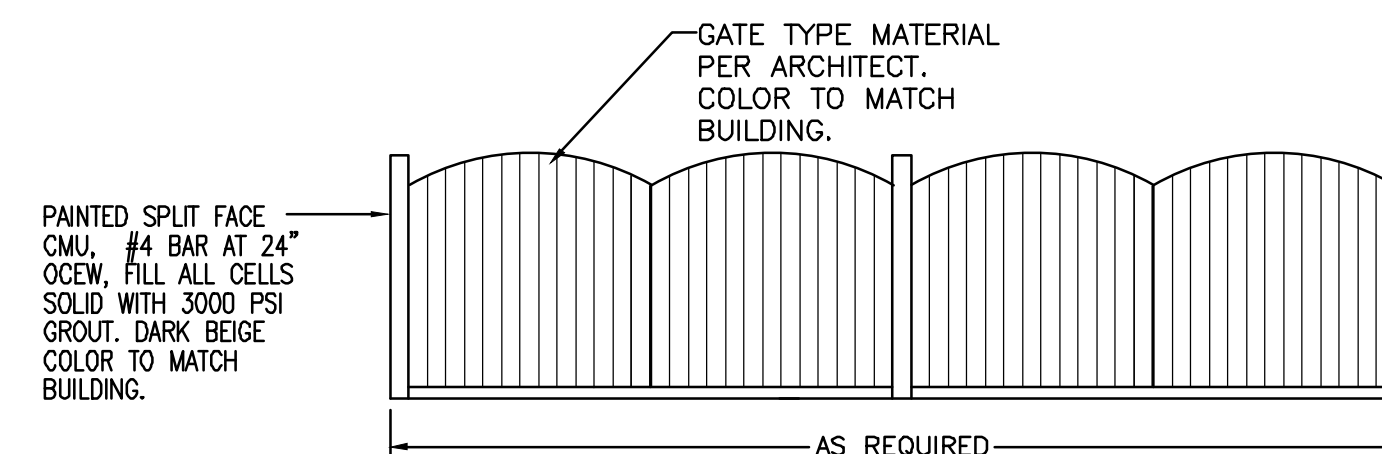


PLAN VIEW

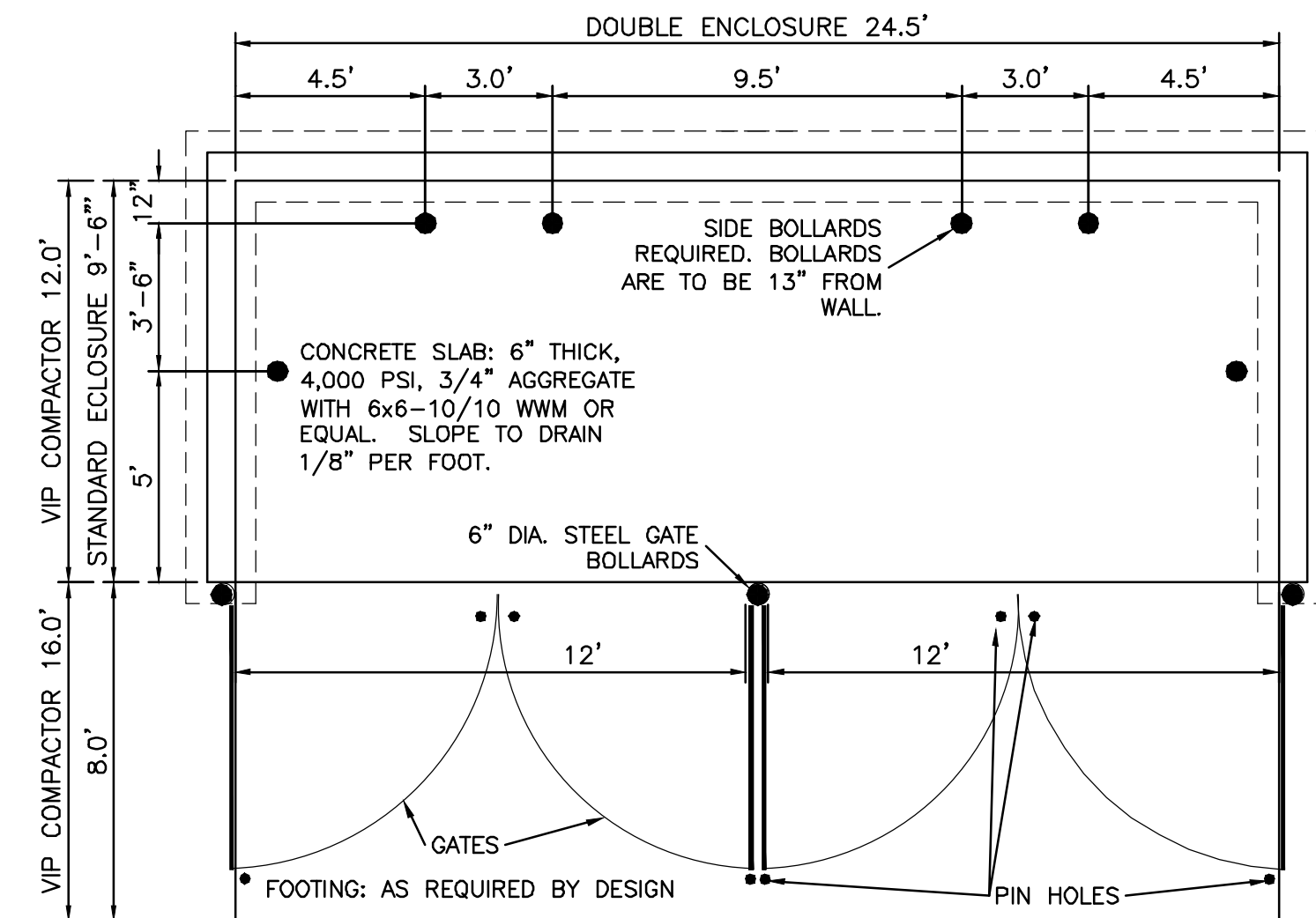


CONCRETE SIDEWALK SECTION

4" PCC CONCRETE
8" SUBGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557
ALL OTHER FILL BELOW PAVEMENT TO BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557



DOUBLE DUMPSTER ENCLOSURE DETAIL



DOUBLE DUMPSTER ENCLOSURE DETAIL

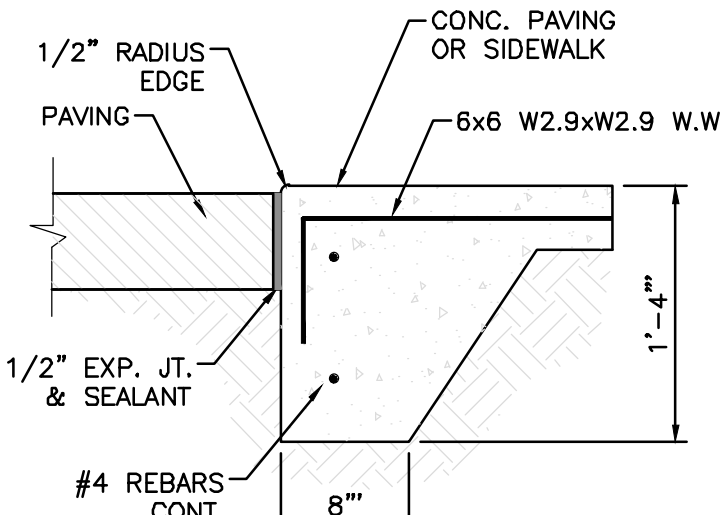
NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

NOTES:

- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
- CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
- ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
- CONCRETE: CLASS "A" 3000 PSI.
- EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
- THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

STANDARD 6" CURB & GUTTER DETAIL

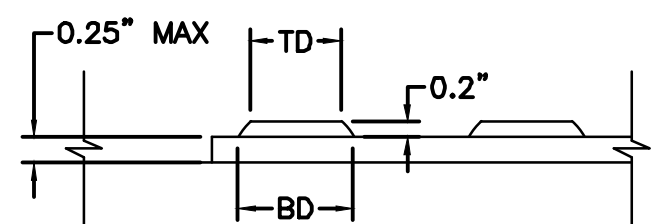
SCALE: 1"=1'



ZERO CURB

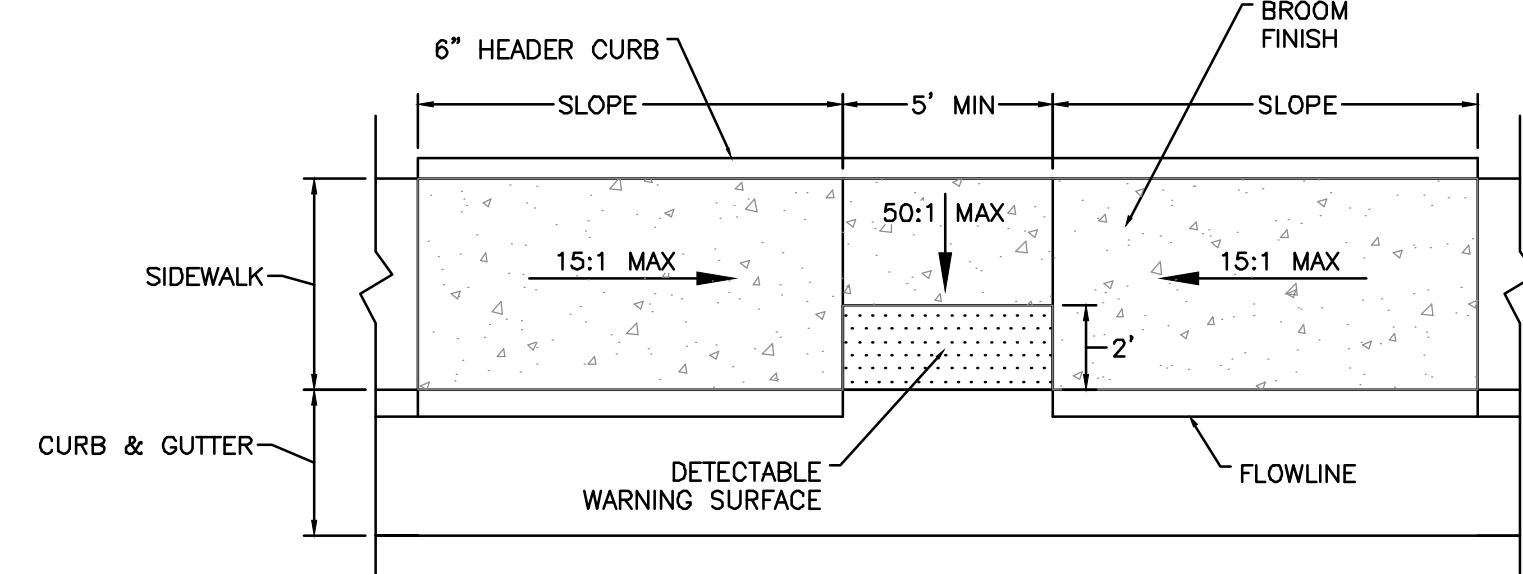
NOTES:

- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.

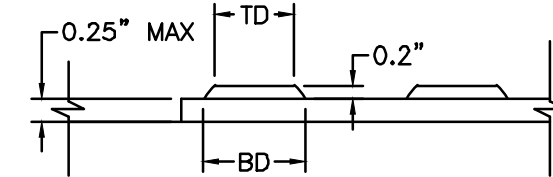


DOME SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

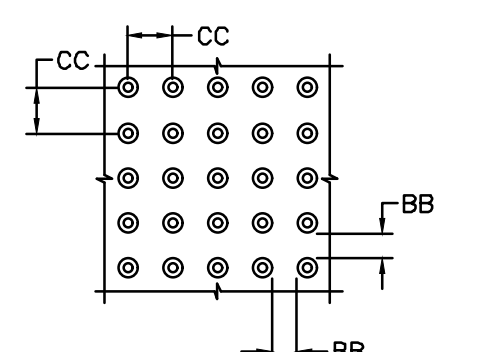


PARALLEL CURB HC RAMP
NOT TO SCALE



DOME SECTION

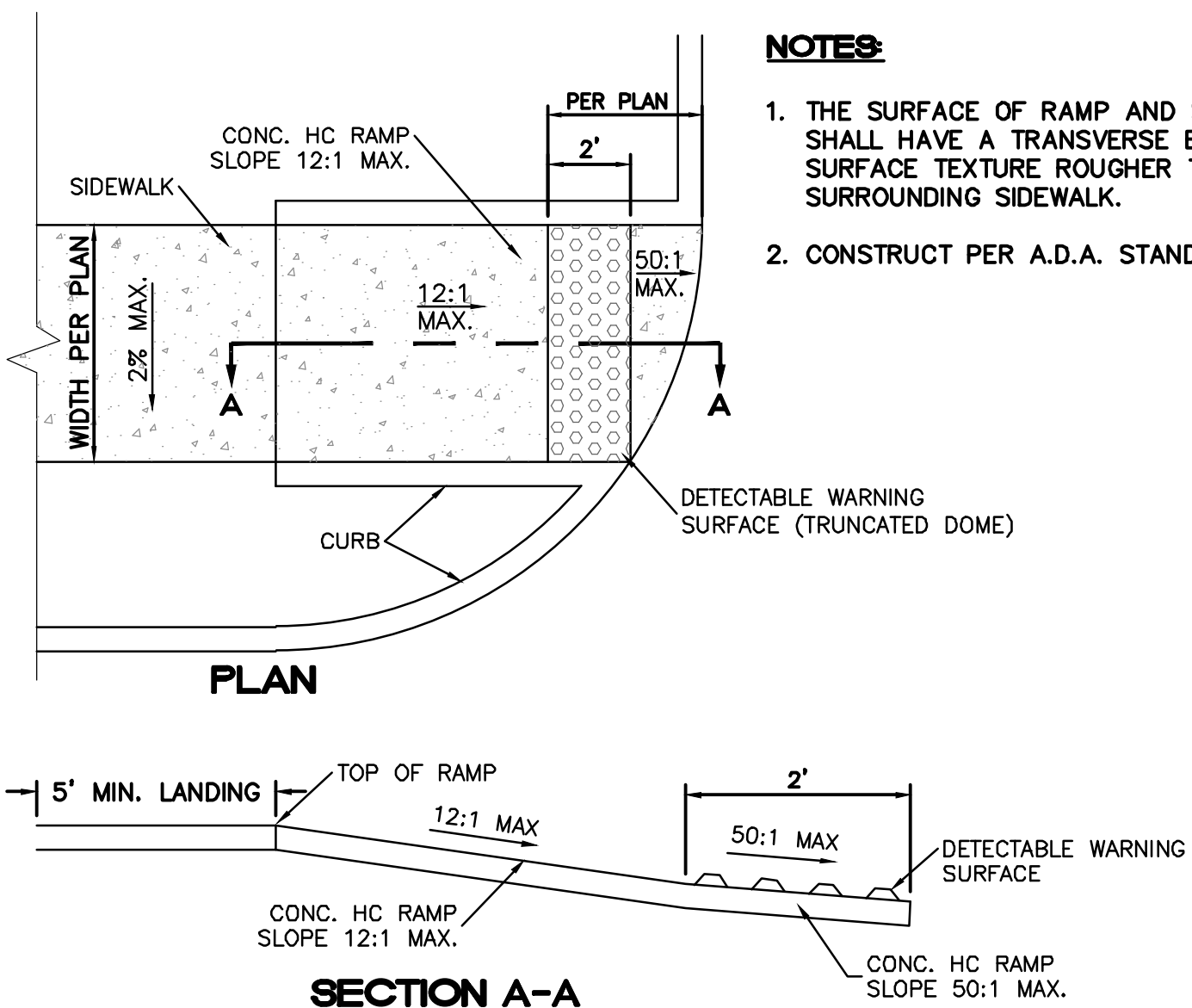
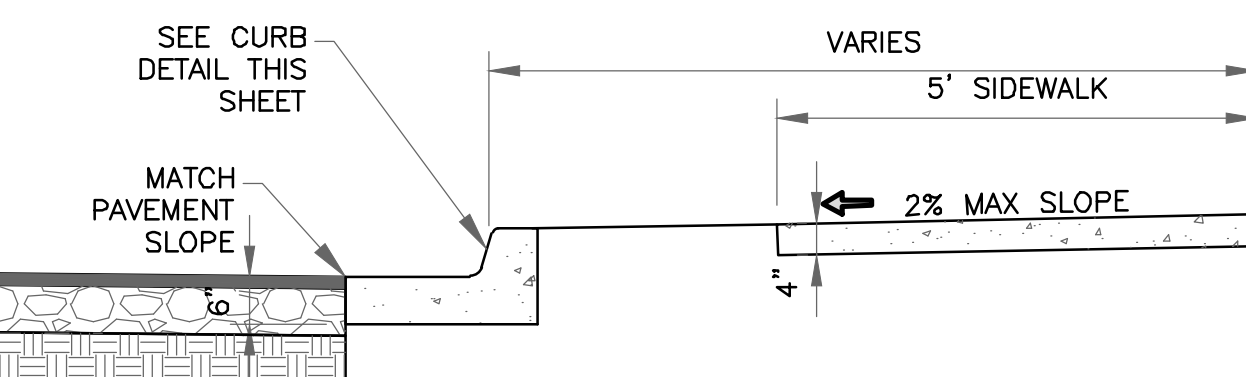
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

NOTES:

- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.



UNIDIRECTIONAL HC RAMP

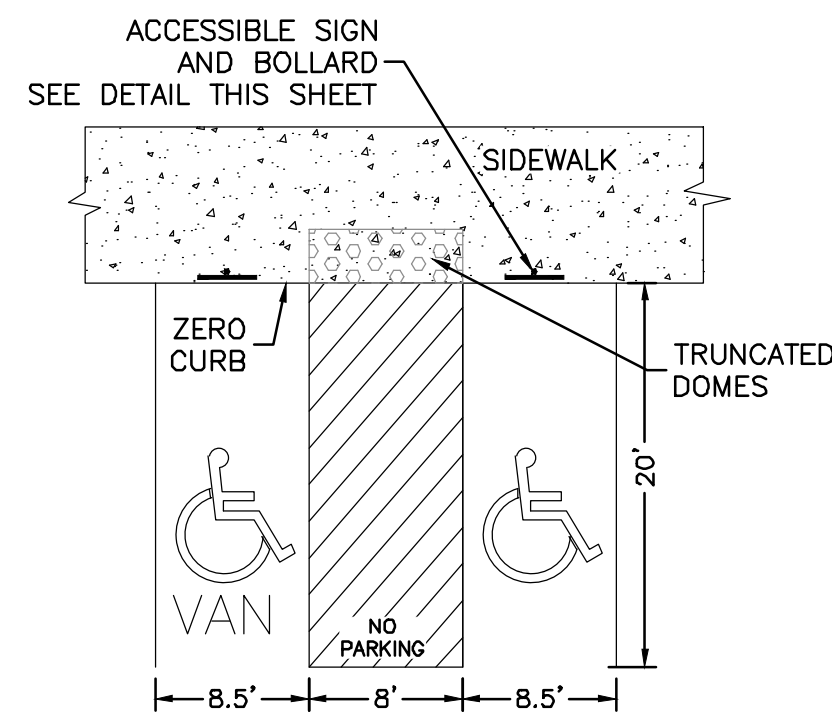
NOT TO SCALE

DOME SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

PRELIMINARY - NOT FOR CONSTRUCTION

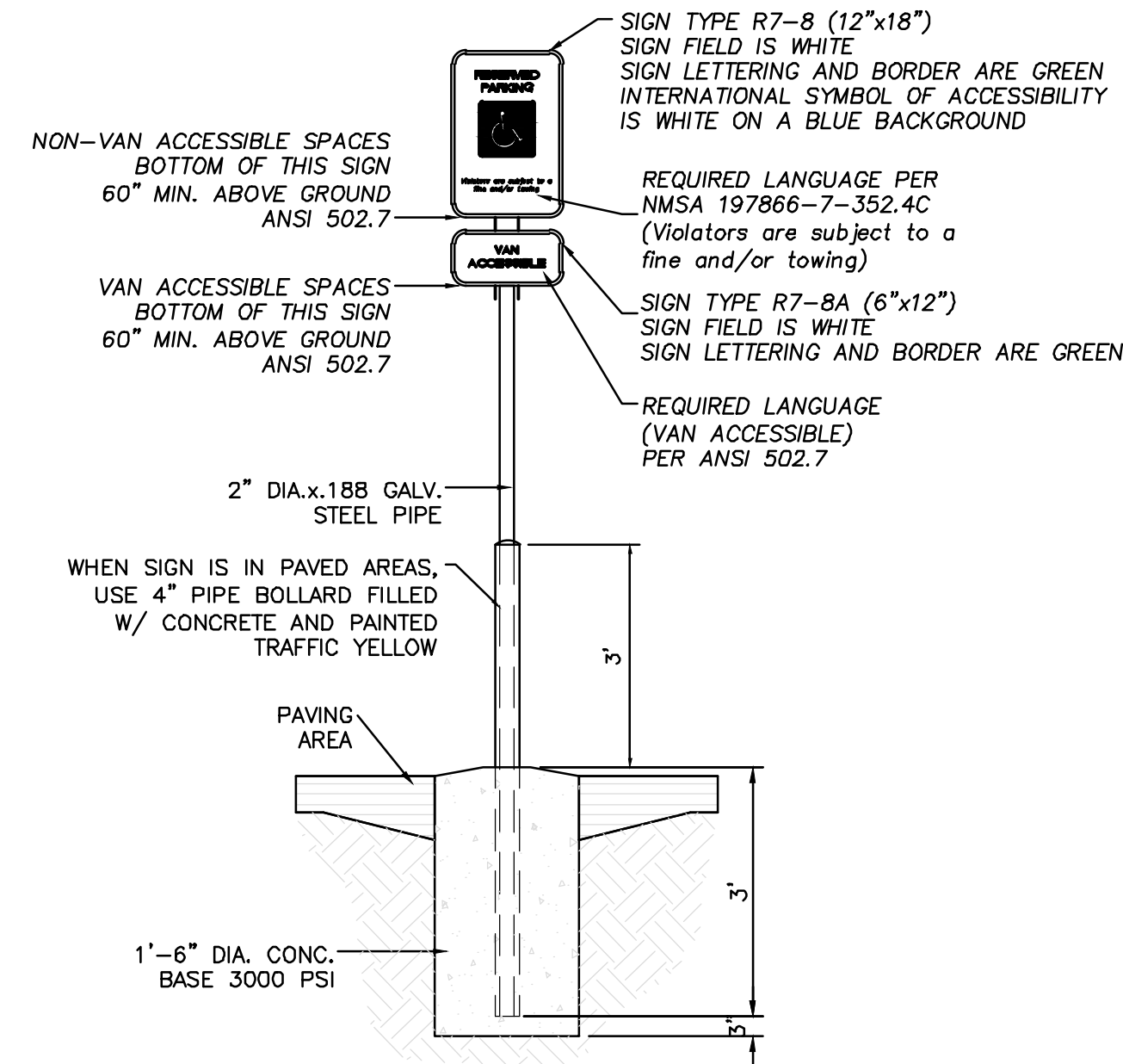
	ENGINEER'S SEAL WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY BF DATE 7/31/2020 2020013_DTB_VER B
	CONSTRUCTION DETAILS	SHEET # C4 JOB # 2020013



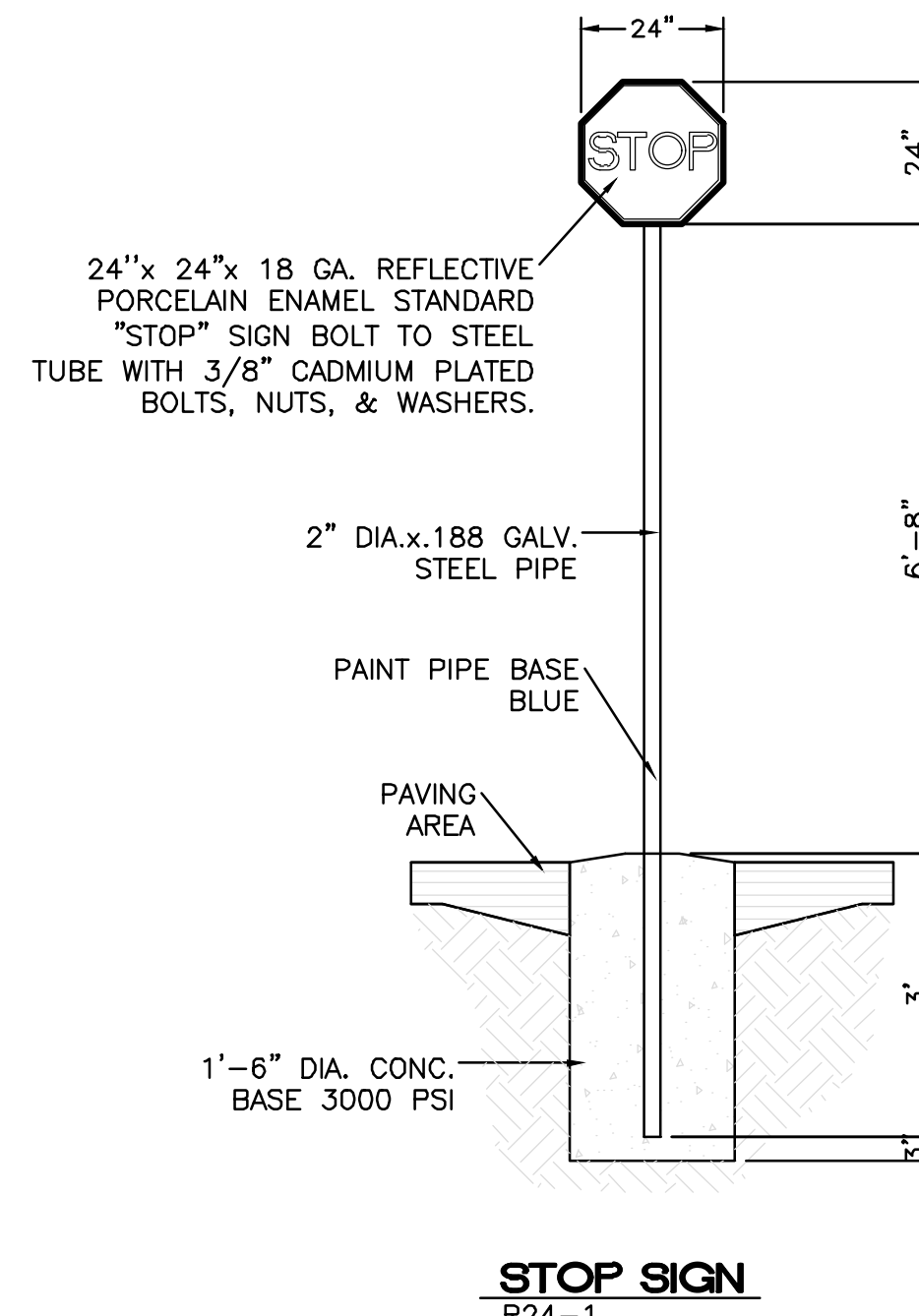
NOTES:

- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
- 2) Parking space lines and diagonal striping to be painted blue.
- 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
- 4) ADA parking areas - not to exceed a slope greater than 2% in any direction

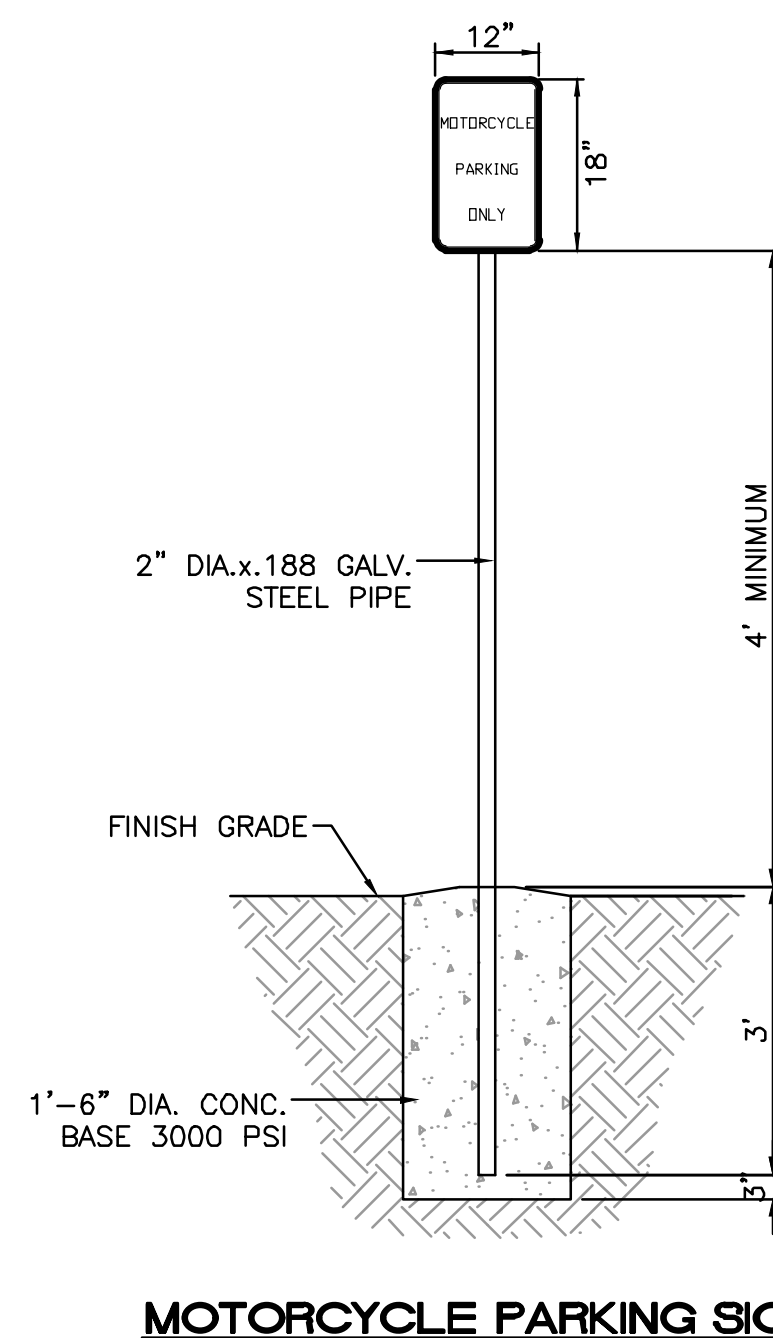
HC PARKING DETAIL
NTS



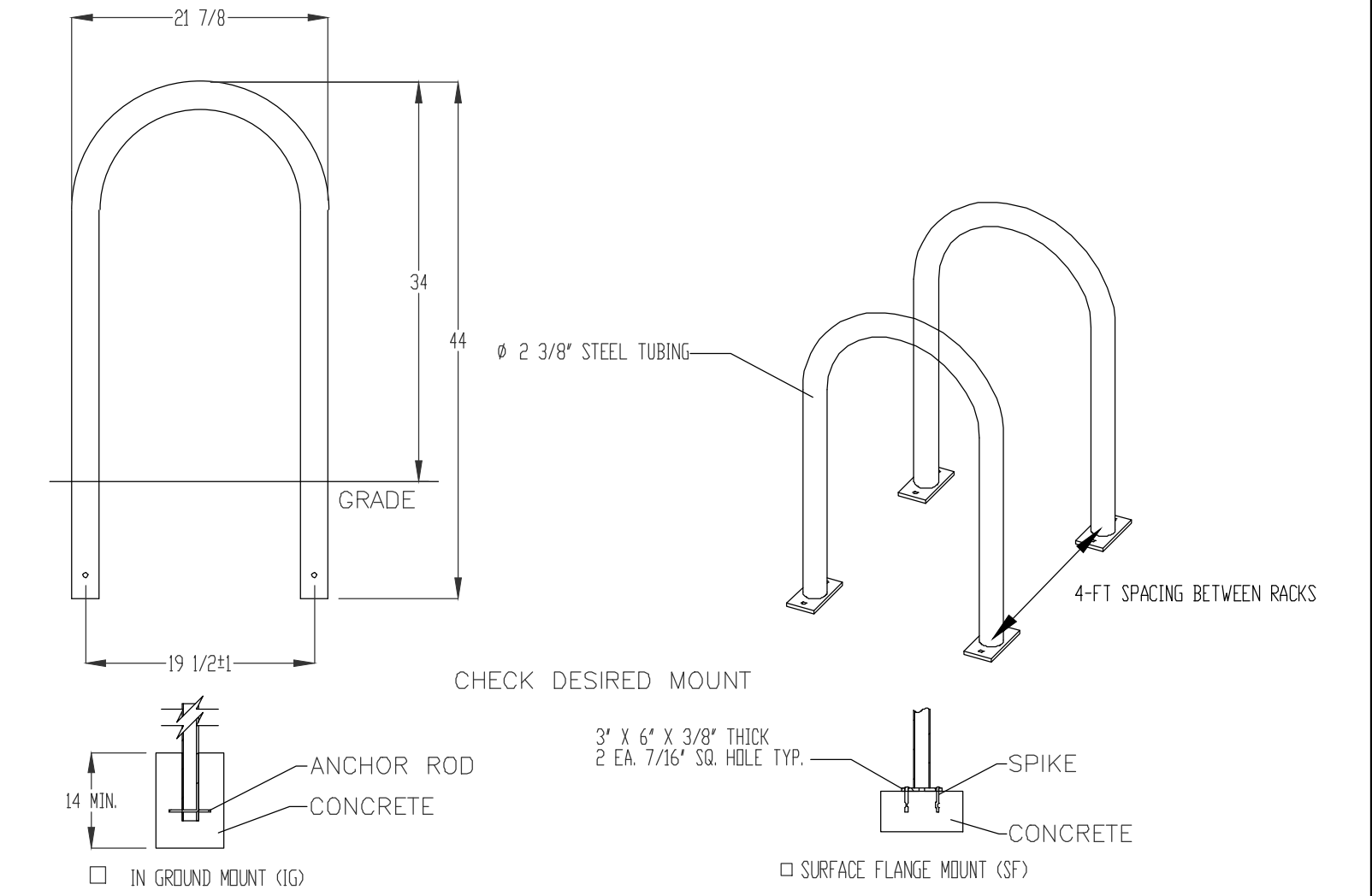
ACCESSIBLE PARKING SIGN
NTS



STOP SIGN
R24-1



MOTORCYCLE PARKING SIGN
NTS



PRODUCT: U238-1G(SF)

DESCRIPTION: 1) BIKE RACK
2) BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18
ENG: SMC

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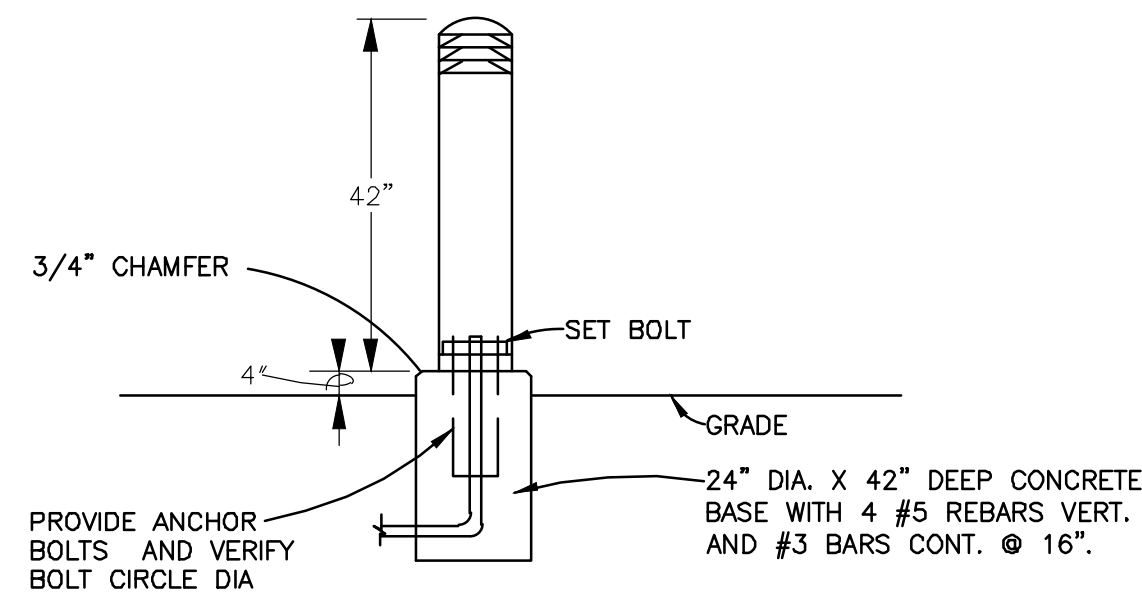
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- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

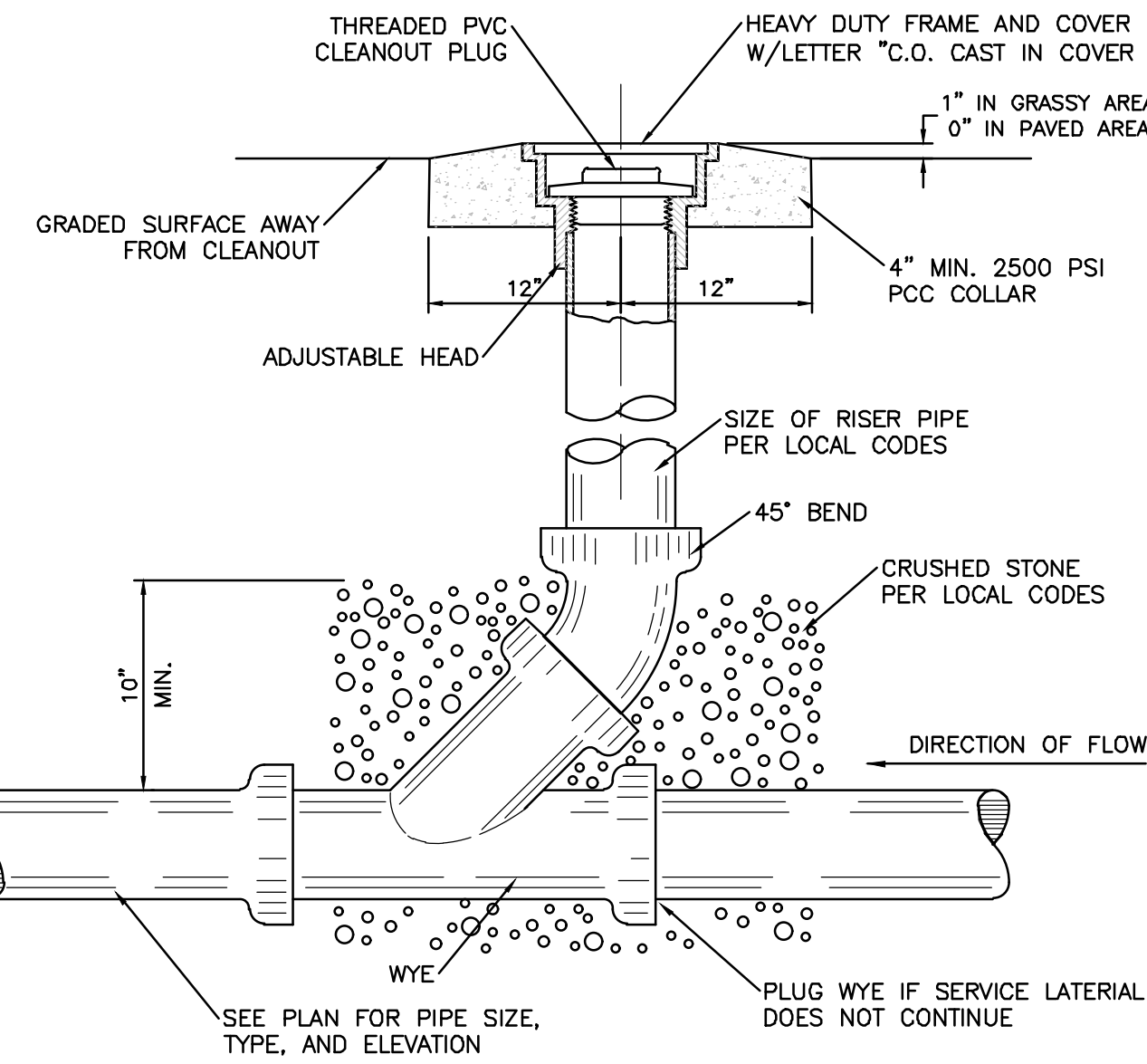
BIKE RACK DETAIL
SCALE: NONE

GENERAL NOTES:

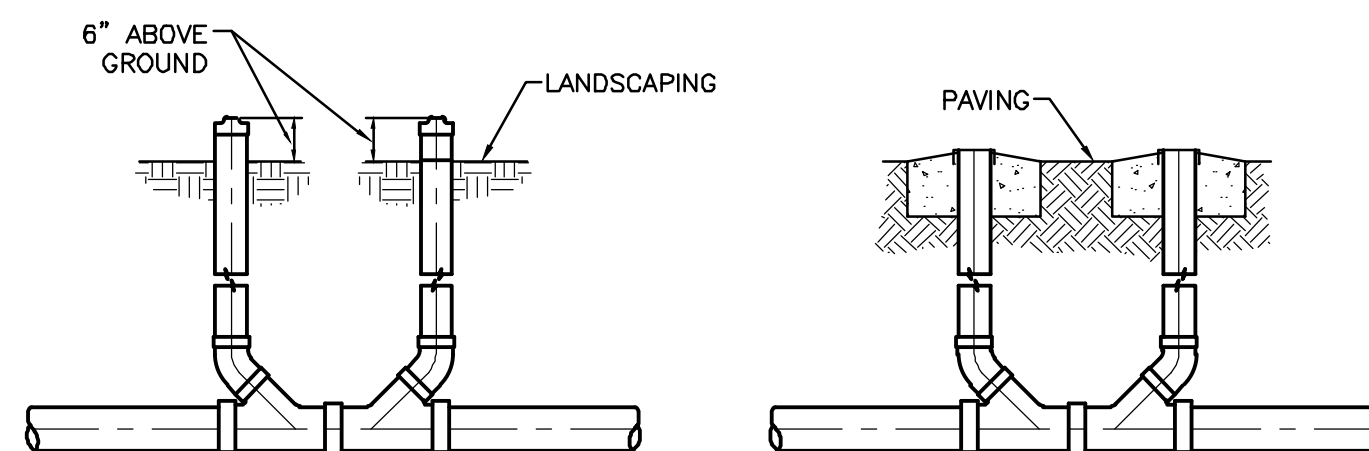
1. 1-FT CLEAR ZONE AROUND BICYCLE RACK SHALL BE PROVIDED
2. SPACE RACKS 4-FT APART
3. NUMBER OF RACKS LISTED ON PLAN
4. RACKS SHALL BE A MINIMUM OF 30 INCHES TALL AND 18 INCHES WIDE
5. BICYCLE RACKS SHALL BE ANCHORED TO THE CONCRETE PAD
6. BICYCLE PARKING SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE



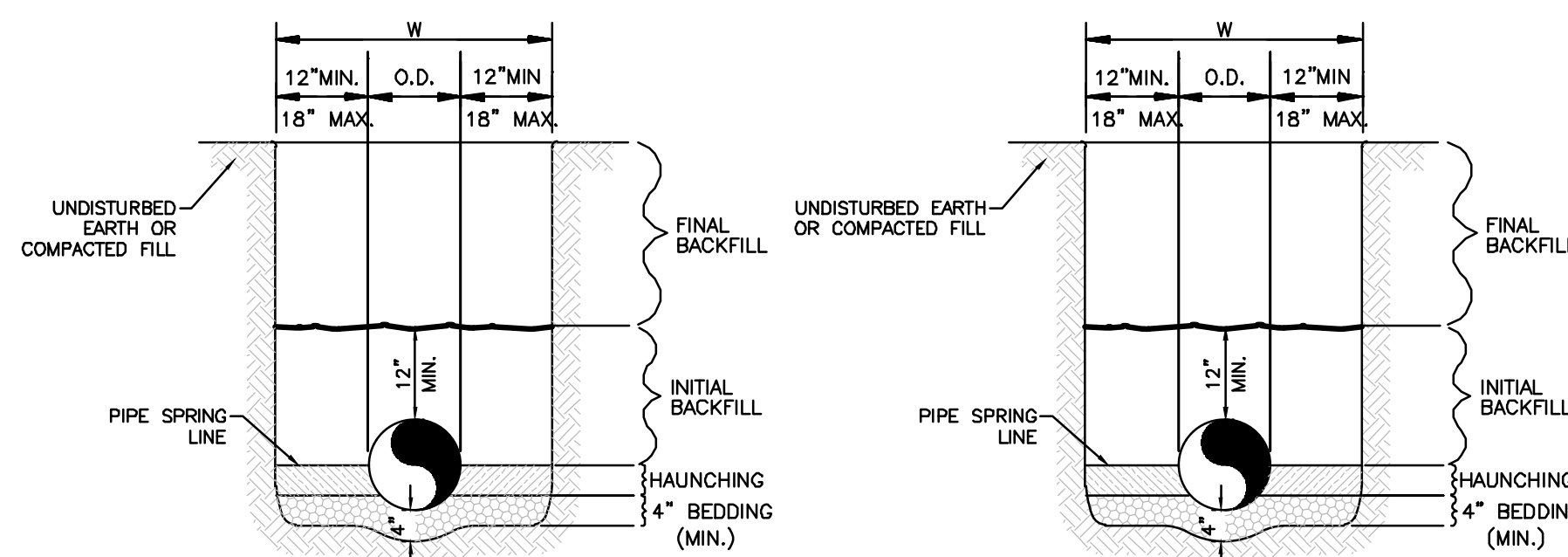
BOLLARD LIGHT FIXTURE DIAGRAM
NTS



SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



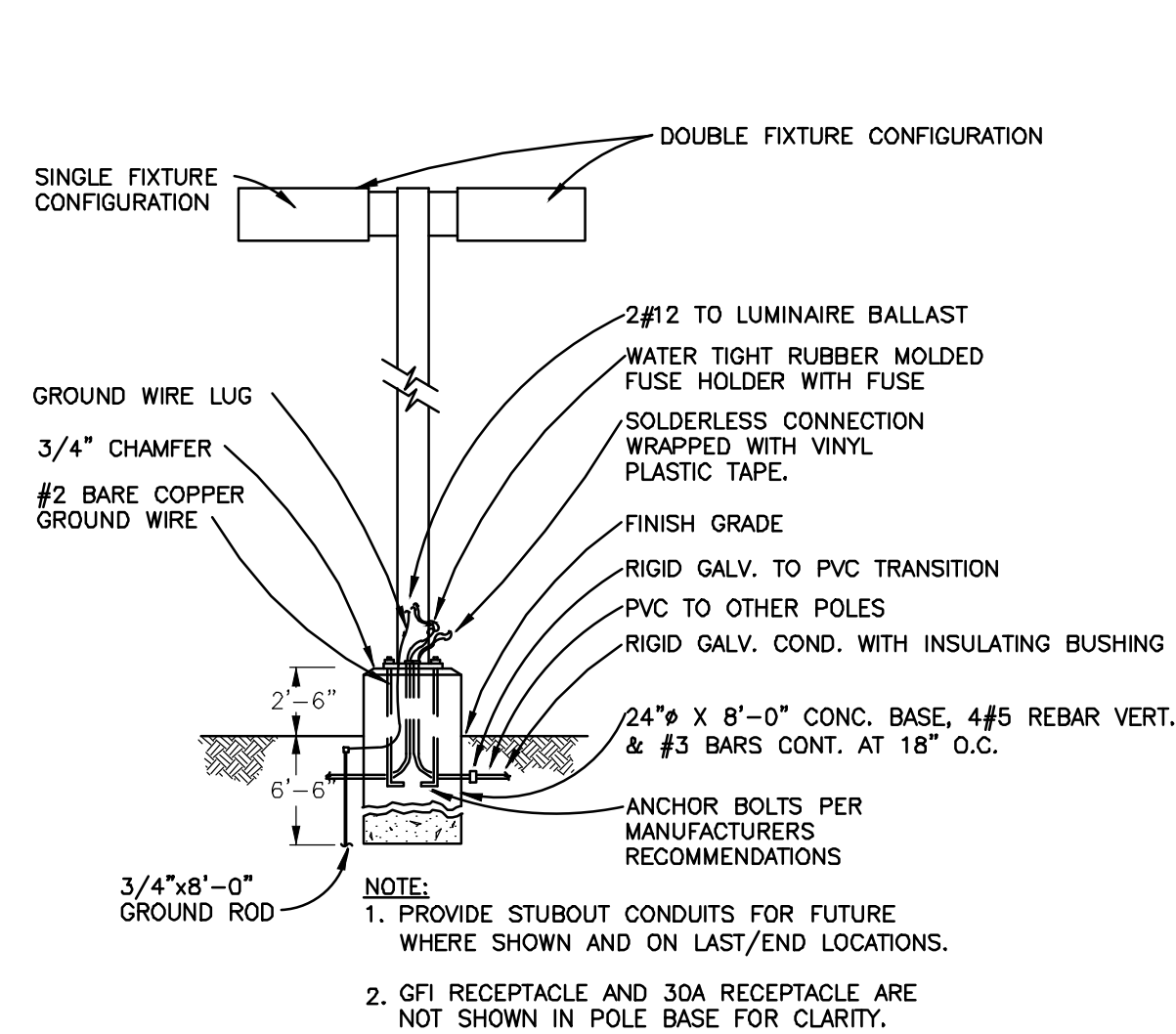
WATER LINE

SANITARY SEWER

GENERAL NOTES:

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 95% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

UTILITY TRENCH AND BEDDING DETAIL
NTS



PARKING LOT LIGHTING FIXTURE
NO SCALE

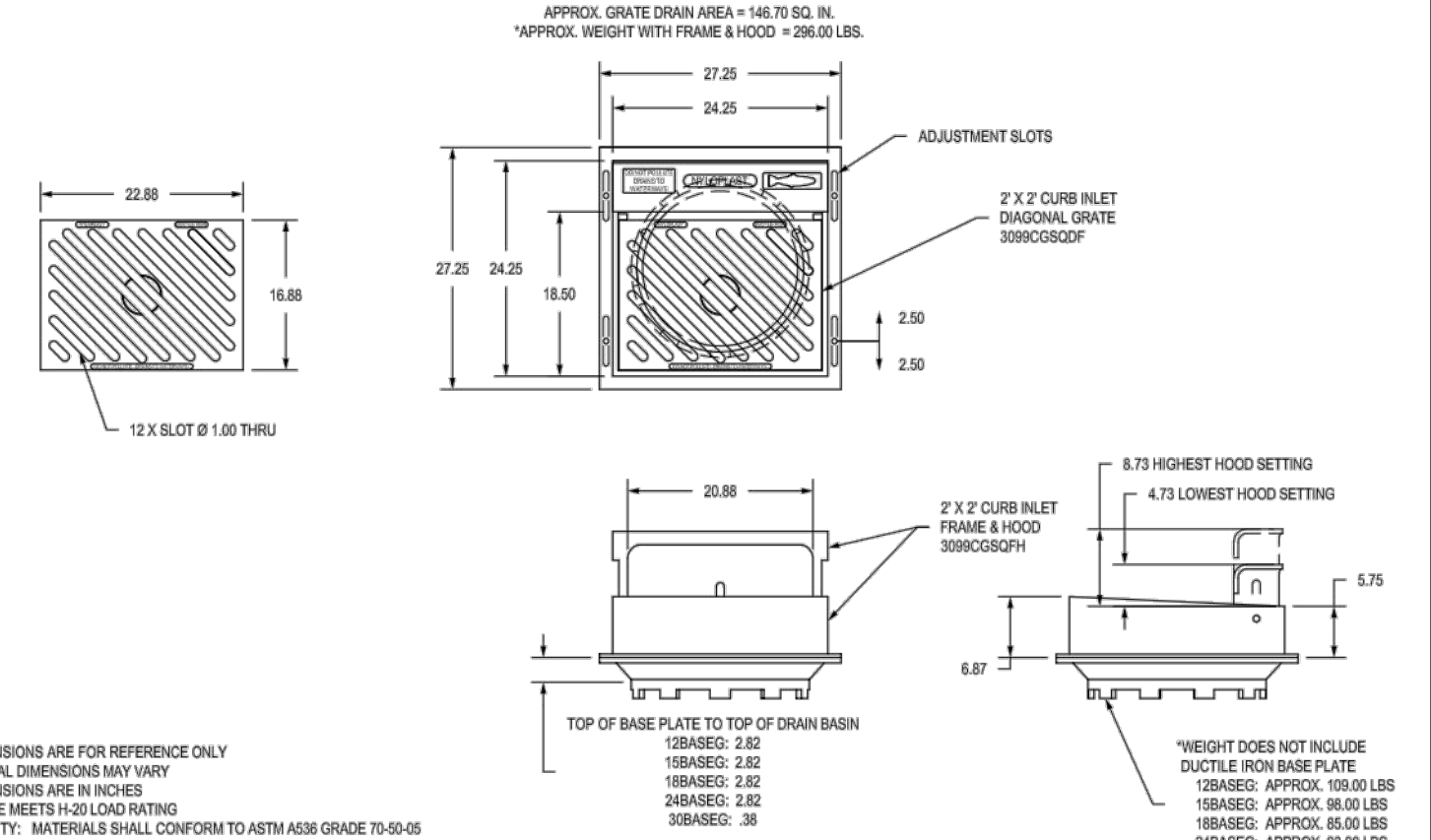
LIGHT POLE DETAIL
NTS

- NOTE:**
1. LIGHTING SHALL COMPLY WITH ZONING CODE §14-16-3-9.
 2. HEIGHT LIMITED TO 16'.

PRELIMINARY - NOT FOR CONSTRUCTION

	ENGINEER'S SEAL WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE	DRAWN BY BF
	CONSTRUCTION DETAILS	DATE 7/31/2020
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5
RONALD R. BOHANNAN P.E. #7868	7/31/2020	JOB # 2020013

3099CGSQDF & 3099CGSFH



APPROX. GRADE DRAIN AREA = 148.30 SQ. IN.
 APPROX. WEIGHT WITH FRAME & HOOD = 266.00 LBS.

ADJUSTMENT BOLTS

2 X 2 CURB INLET
 DRAINAGE HOOD
 3099CGSQDF

2 X 2 CURB INLET
 FRAME & HOOD
 3099CGSFH

8.73 HIGHEST HOOD SETTING

4.73 LOWEST HOOD SETTING

TOP OF BASE PLATE TO TOP OF DRAIN BASIN

WEIGHT DOES NOT INCLUDE
 DUCTILE IRON BASE PLATE

DUCTILE IRON BASE PLATE
 18#ASST: APPROX. 100.00 LBS
 20#ASST: APPROX. 80.00 LBS
 24#ASST: APPROX. 60.00 LBS
 28#ASST: APPROX. 40.00 LBS
 30#ASST: APPROX. 30.00 LBS

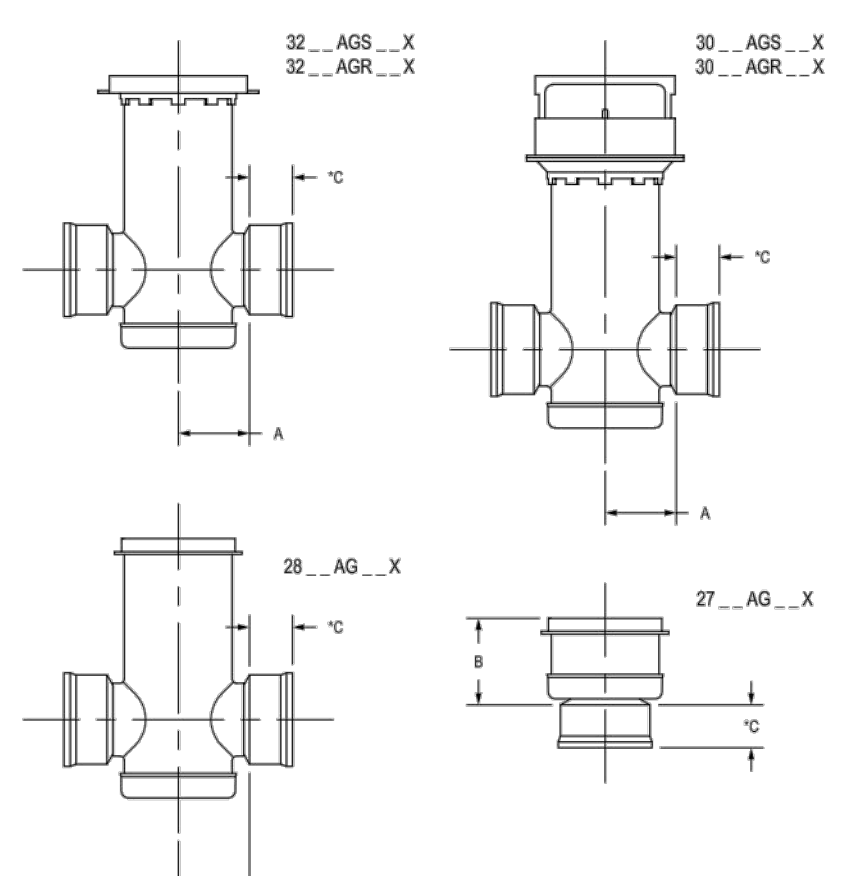
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DESIGNED BY: ESC MATERIAL: DUCTILE IRON
 DATE: 03-04-16
 DRAWN BY: GCA PROJECT NO: NAME: NYLOPLAST
 DATE: 03-04-16
 TITLE: 2 FT X 2 FT CURB INLET DRAINAGE HOOD ASSEMBLY
 DWG SIZE: A SCALE: 1/8" = 1'-0" SHEET: 1 OF 1 DWG NO.: 789-110-502 REV: 0

BODY SIZE	ADAPTER SIZE	A	B	C
6"	4"	8.20	7.50	3.82
6"	6"	8.20	9.25	4.21
6"	8"	8.20	11.00	4.60
6"	10"	8.20	12.75	4.99
6"	12"	8.20	14.50	5.38
6"	14"	8.20	16.25	5.77
6"	16"	8.20	18.00	6.16
6"	18"	8.20	19.75	6.55
6"	20"	8.20	21.50	6.94
6"	22"	8.20	23.25	7.33
6"	24"	8.20	25.00	7.72
6"	26"	8.20	26.75	8.11
6"	28"	8.20	28.50	8.50
6"	30"	8.20	30.25	8.89
6"	32"	8.20	32.00	9.28
6"	34"	8.20	33.75	9.67
6"	36"	8.20	35.50	10.06
6"	38"	8.20	37.25	10.45
6"	40"	8.20	39.00	10.84
6"	42"	8.20	40.75	11.23
6"	44"	8.20	42.50	11.62
6"	46"	8.20	44.25	12.01
6"	48"	8.20	46.00	12.40
6"	50"	8.20	47.75	12.79
6"	52"	8.20	49.50	13.18
6"	54"	8.20	51.25	13.57
6"	56"	8.20	53.00	13.96
6"	58"	8.20	54.75	14.35
6"	60"	8.20	56.50	14.74
6"	62"	8.20	58.25	15.13
6"	64"	8.20	60.00	15.52
6"	66"	8.20	61.75	15.91
6"	68"	8.20	63.50	16.30
6"	70"	8.20	65.25	16.69
6"	72"	8.20	67.00	17.08
6"	74"	8.20	68.75	17.47
6"	76"	8.20	70.50	17.86
6"	78"	8.20	72.25	18.25
6"	80"	8.20	74.00	18.64
6"	82"	8.20	75.75	19.03
6"	84"	8.20	77.50	19.42
6"	86"	8.20	79.25	19.81
6"	88"	8.20	81.00	20.20
6"	90"	8.20	82.75	20.59
6"	92"	8.20	84.50	20.98
6"	94"	8.20	86.25	21.37
6"	96"	8.20	88.00	21.76
6"	98"	8.20	89.75	22.15
6"	100"	8.20	91.50	22.54

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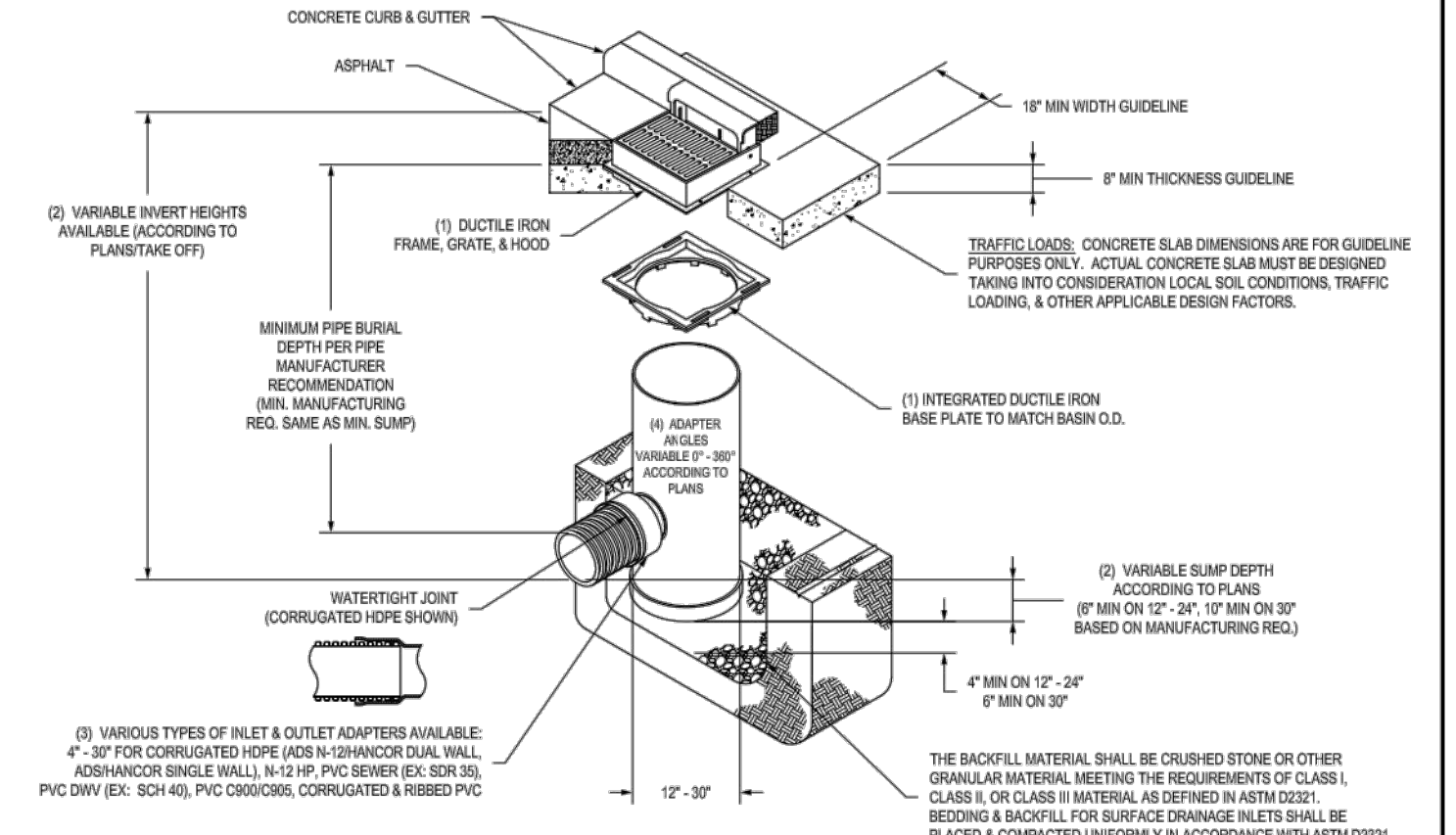
DESIGNED BY: GCA MATERIAL: DUCTILE IRON
 DATE: 03-04-16
 DRAWN BY: ESC PROJECT NO: NAME: NYLOPLAST
 DATE: 03-04-16
 TITLE: 2 FT X 2 FT CURB INLET DRAINAGE HOOD ASSEMBLY
 DWG SIZE: A SCALE: 1/8" = 1'-0" SHEET: 1 OF 1 DWG NO.: 789-110-502 REV: 0



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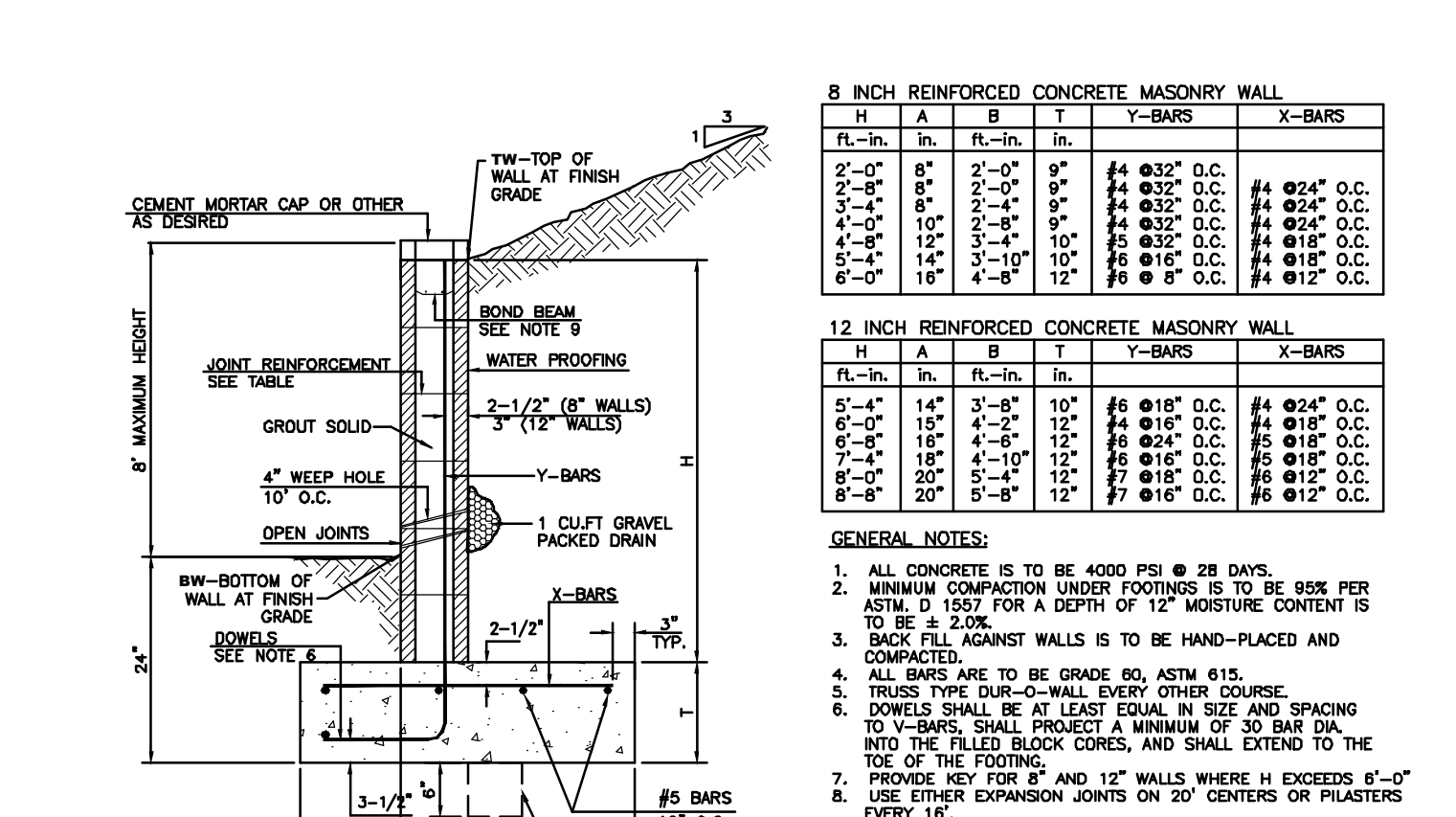
NYLOPLAST 2 FT X 2 FT CURB INLET STRUCTURE: 30 __ AGS __ X



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RETAINING WALL DETAIL



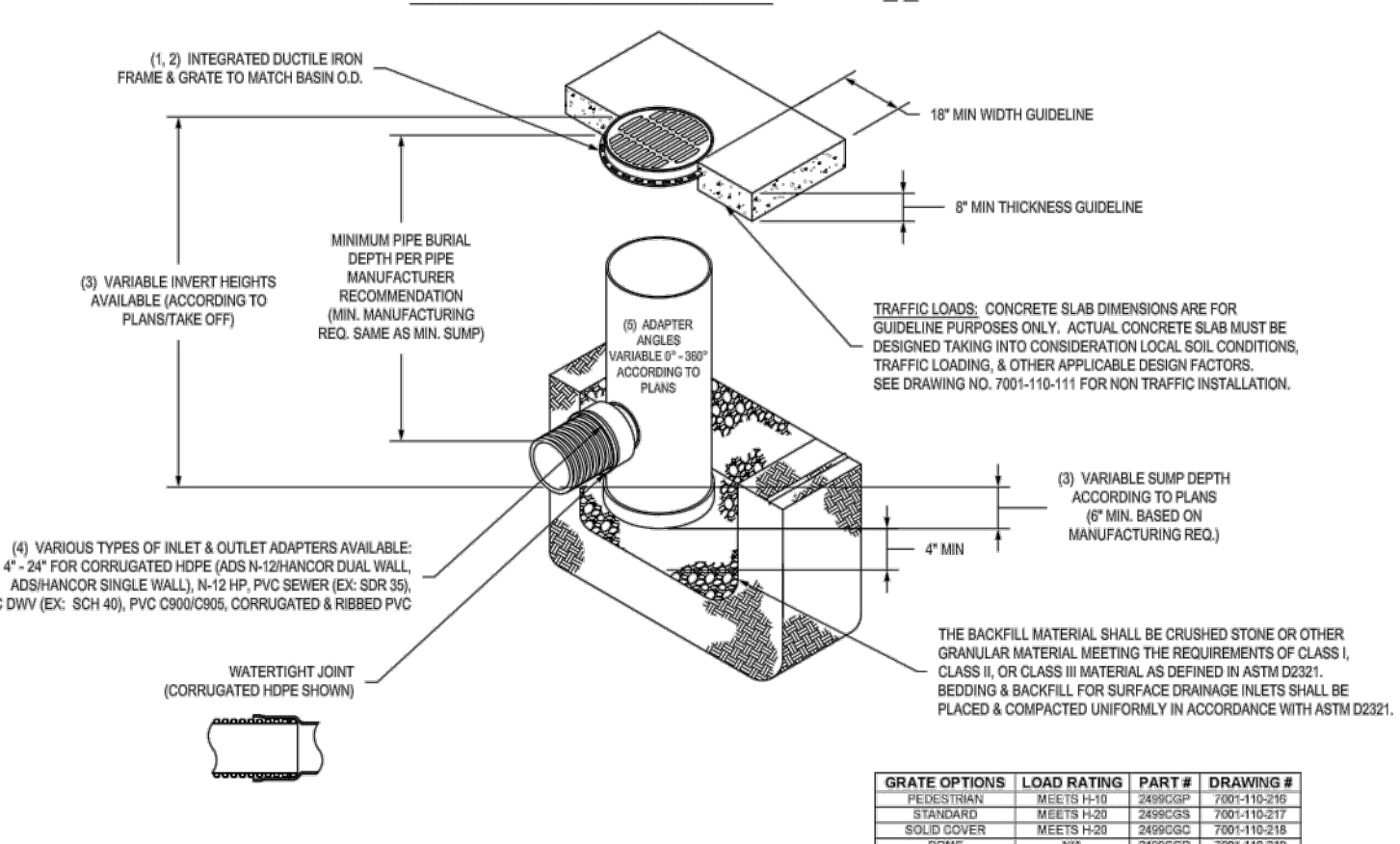
GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE IT EXCEEDS 6'-0" EVERY 16'.
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS FOR WALLS UNDER 5'-4", 2-#4 BARS FOR WALLS OVER 5'-4".

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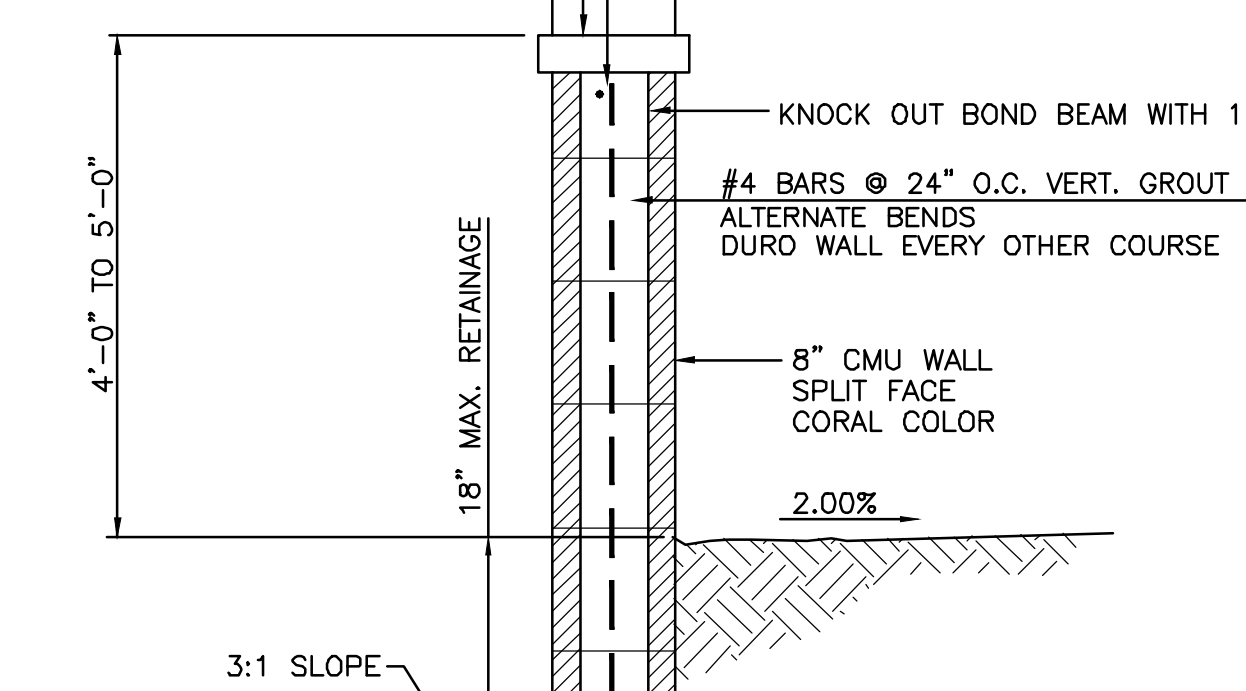
NYLOPLAST 24" DRAIN BASIN: 2824AG __ X



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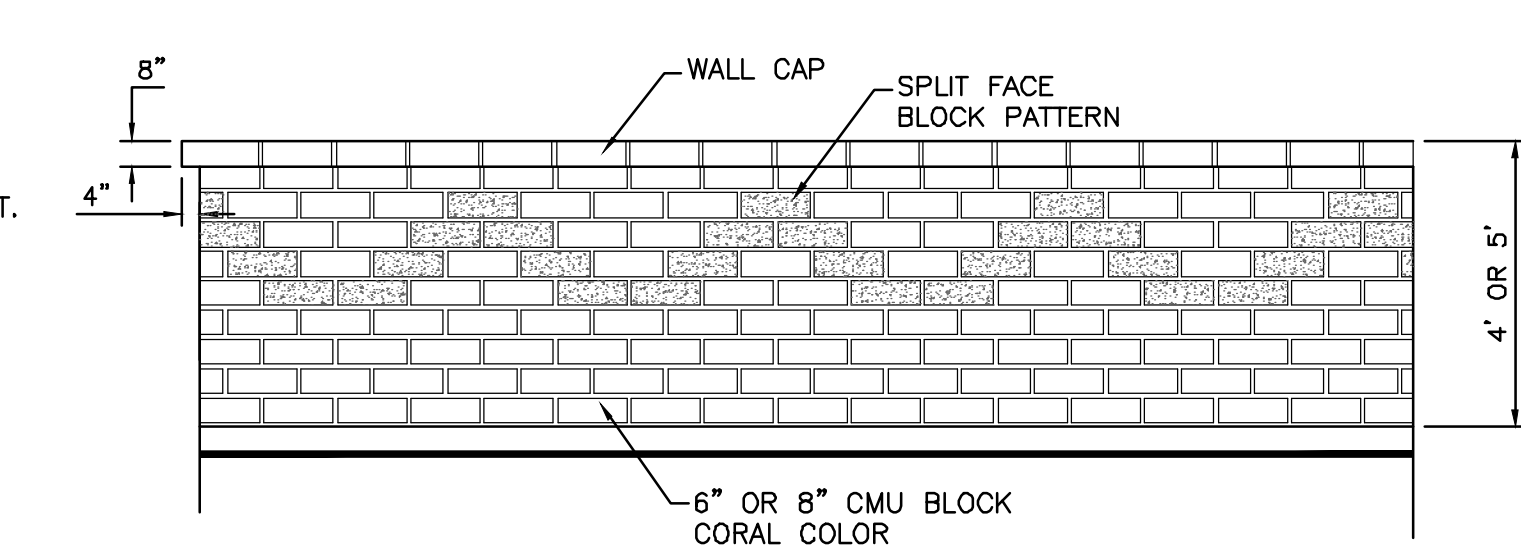
DESIGNED BY: ESC MATERIAL: DUCTILE IRON
 DATE: 03-04-16
 DRAWN BY: GCA PROJECT NO: NAME: NYLOPLAST
 DATE: 03-04-16
 TITLE: 24" DRAIN BASIN WITH 2 FT X 2 FT CURB INLET DRAINAGE HOOD ASSEMBLY
 DWG SIZE: A SCALE: 1/8" = 1'-0" SHEET: 1 OF 1 DWG NO.: 789-110-502 REV: 0

2" CEMENT MORTAR WALL CAP



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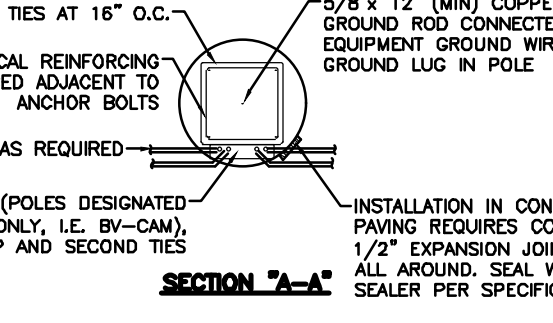
GENERAL NOTES:

- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

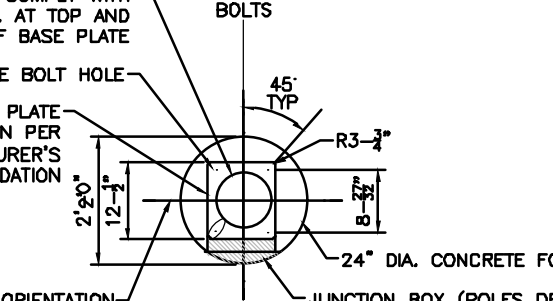
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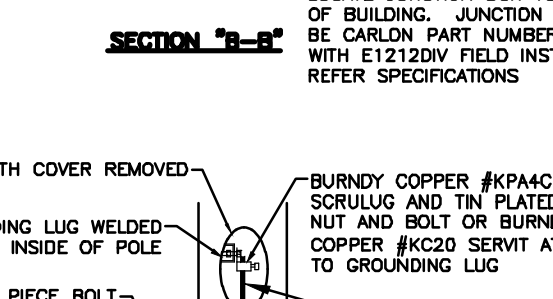
SECTION "A-A"



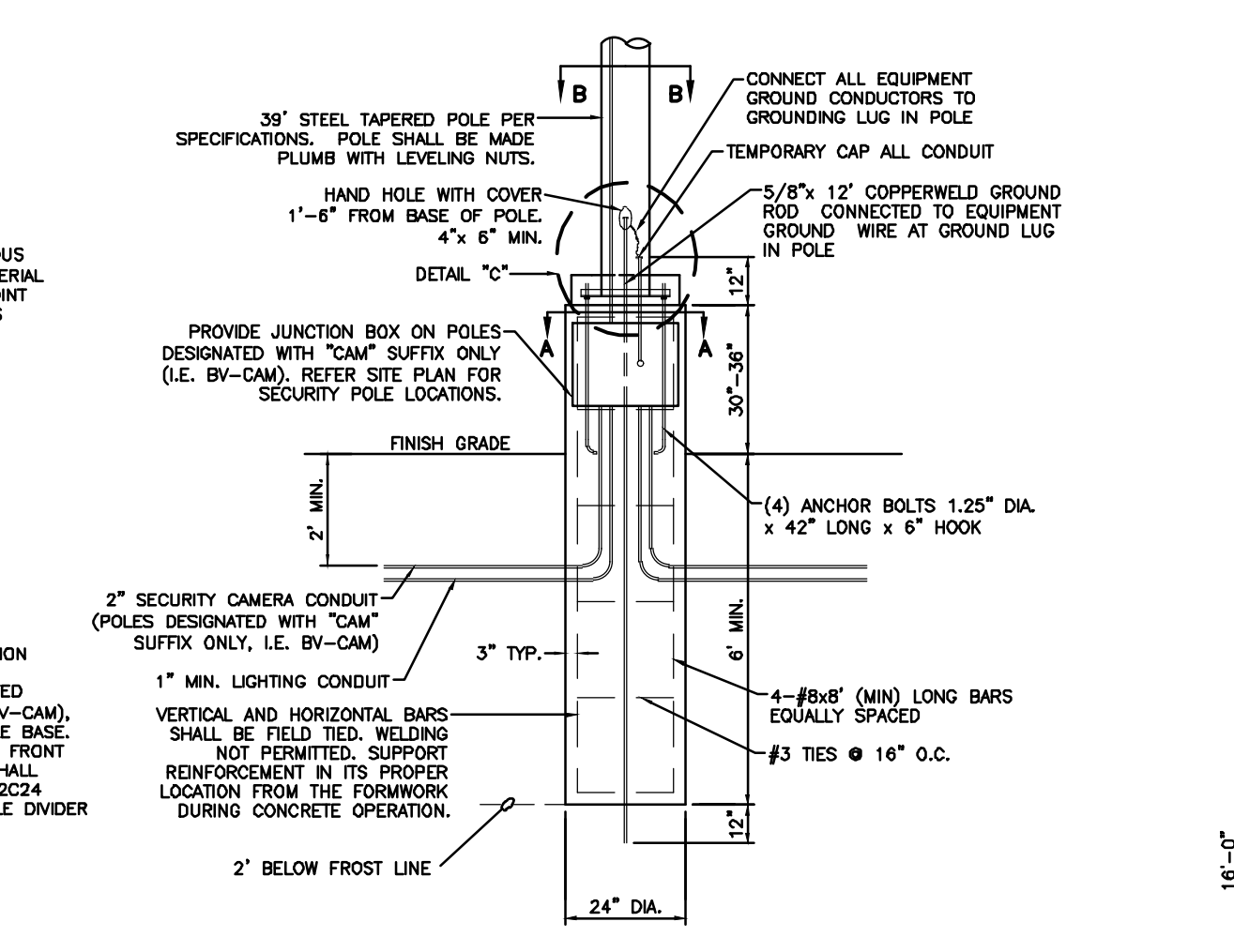
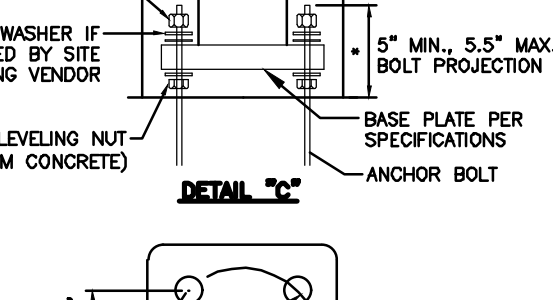
SECTION "B-B"



SECTION "C-C"



SECTION "D-D"

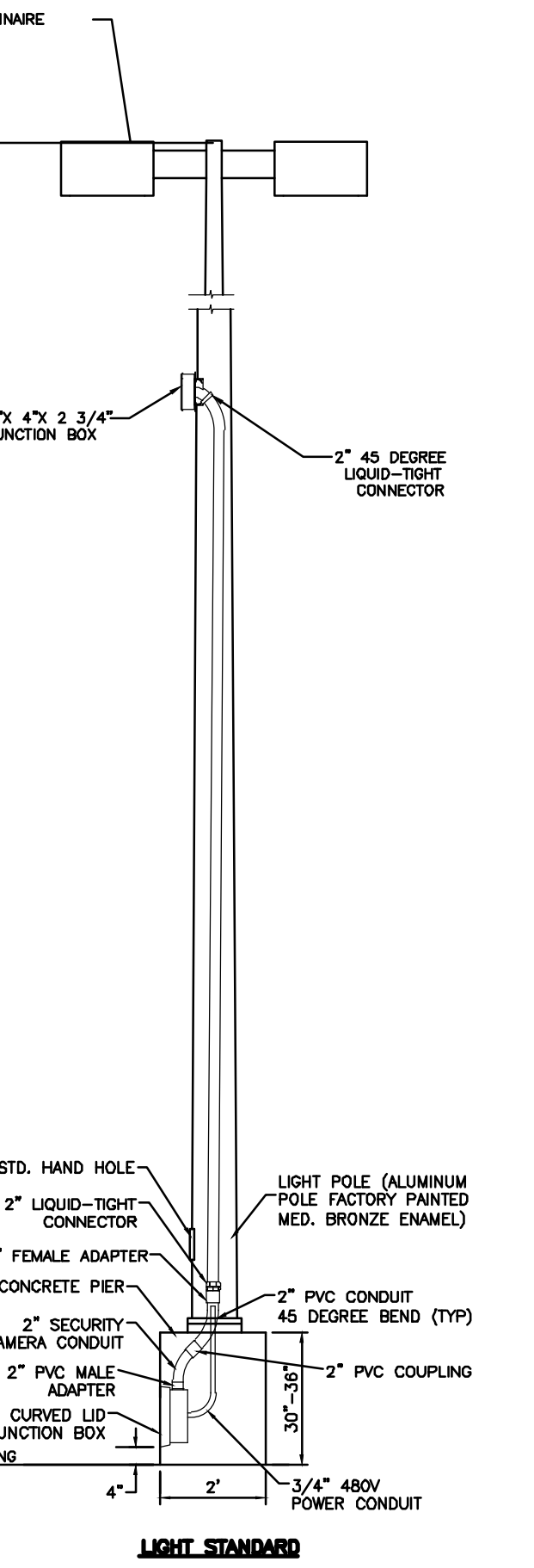


NOTES:

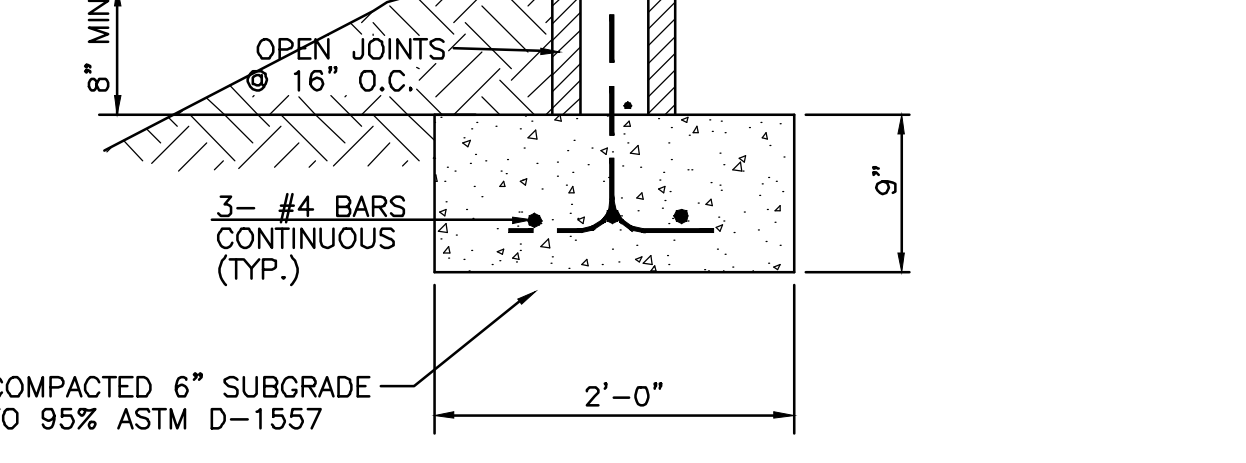
- 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
- IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
- FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
- FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
- FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
- FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF UTILIZING ASHSTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
- EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
- DETAIL FOR 39" POLE WITH MAX. FUTURE EPA 4.8 SLOTT.
- ALL LIGHT POLE BASE FOUNDATIONS SHALL BE CAST-IN-PLACE. PRE-CAST LIGHT POLE BASE FOUNDATIONS ARE NOT ACCEPTABLE.

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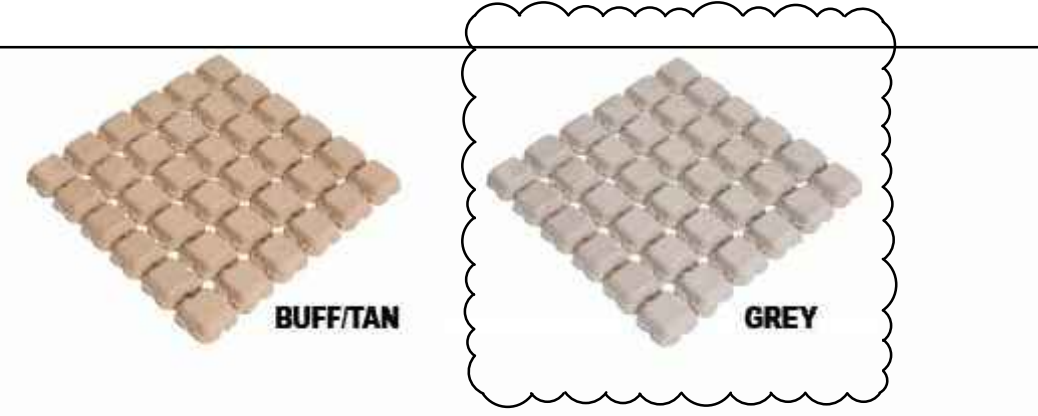
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LIGHT STANDARD



SCREEN WALL SECTION



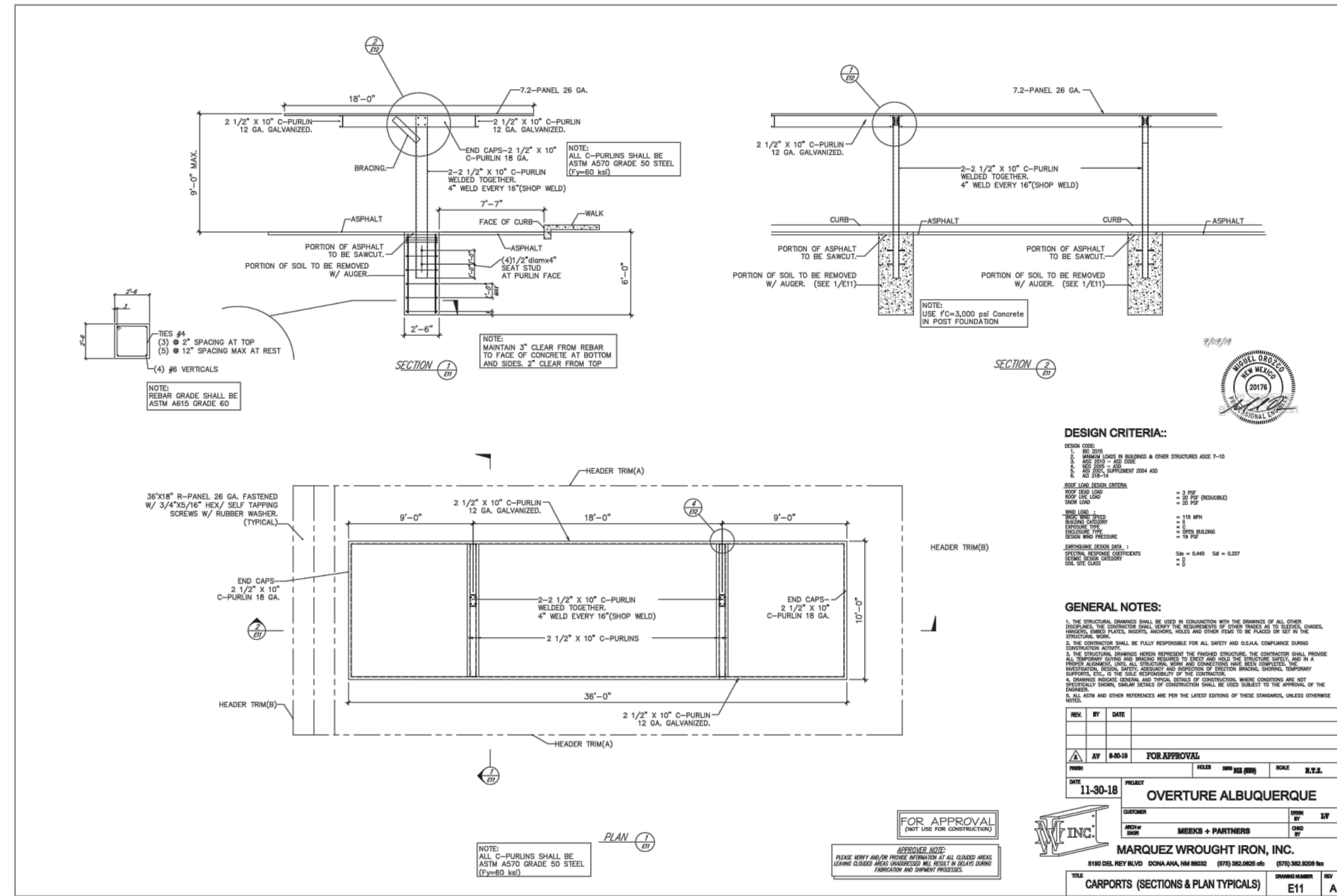
Geometric Properties	
Property	Value
Nominal Area (LxWxH)	24"x 24" x 1.5"
Gross Area of each mat	4 s.f.
Concrete Strength	5000 psi
Weight of each mat	45 lbs
Flexibility (min. radius of curvature)	12 in
Plantable Area	61% (100% for Sod)
Concrete Surface Area	39%
Concrete Bearing Area	90%
Mats per pallet	60
Area covered per pallet	240 s.f.
Color	Buff/Tan, Grey

* other colors available for special order

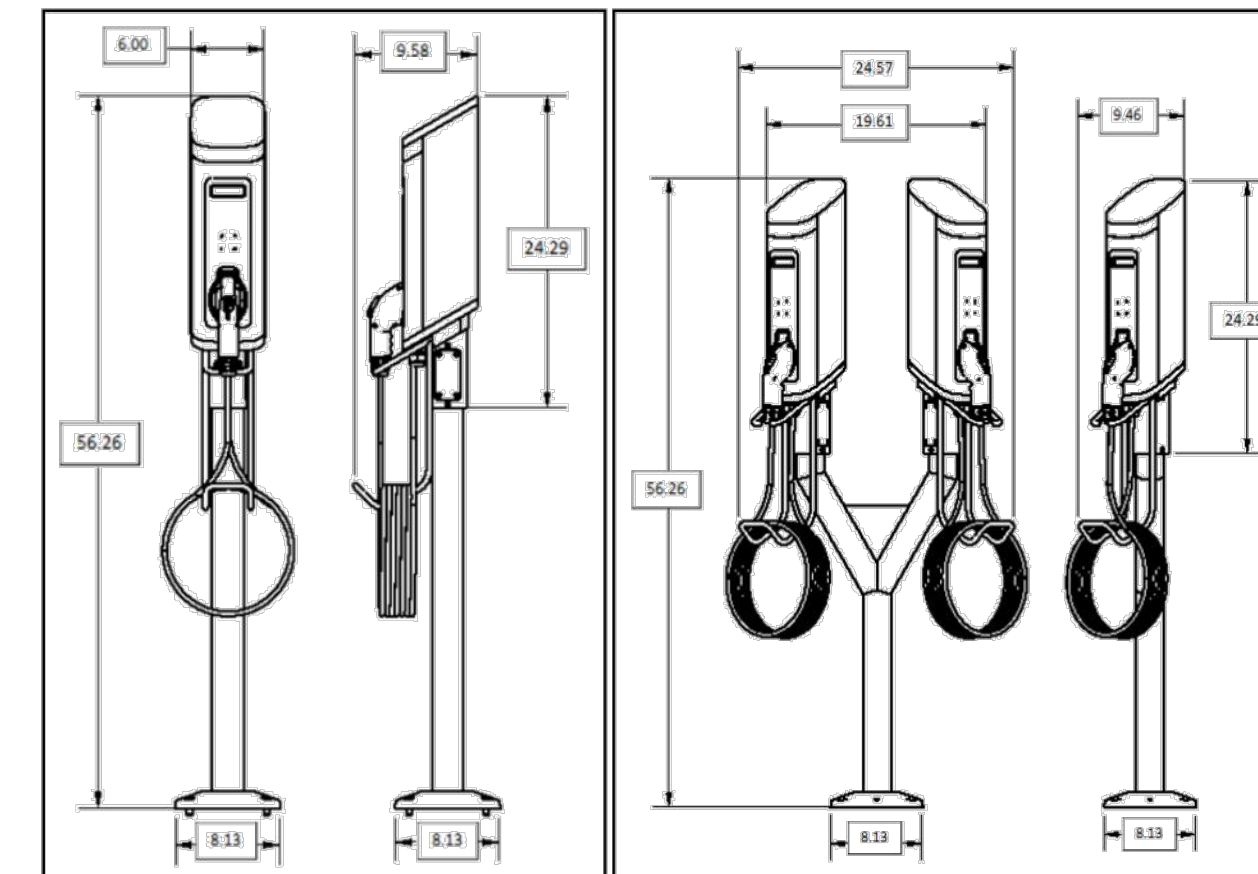
DRIVEABLE GRASS SPECIFICATION FOR FIRE ACCESS

PRELIMINARY - NOT FOR CONSTRUCTION

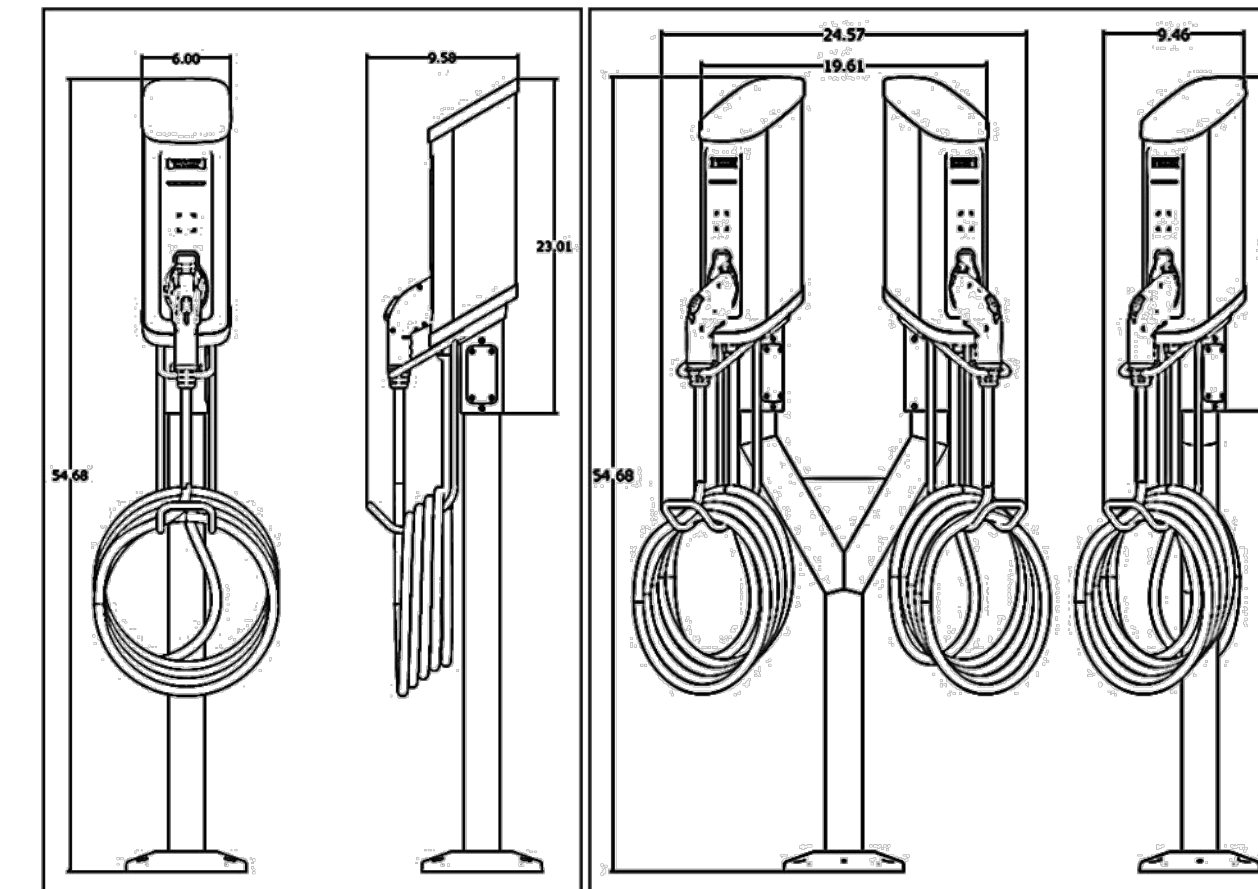
	WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE CONSTRUCTION DETAILS	DRAWN BY: BF DATE: 7/31/2020 2020013_DTB_VER B
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C6 JOB # 2020013



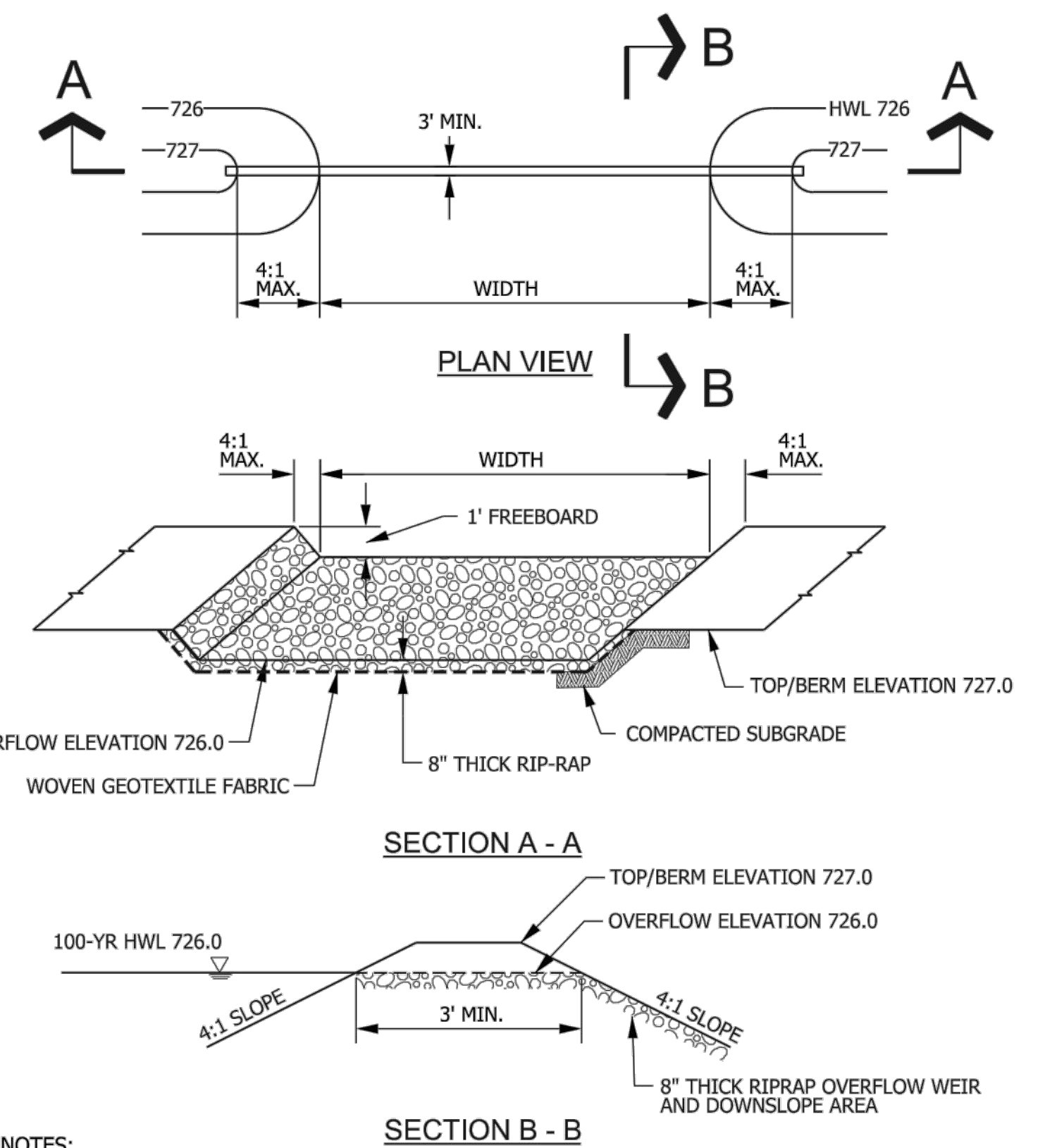
SemaConnect 620 Single and Dual Pedestal mount Installation Key Dimensions



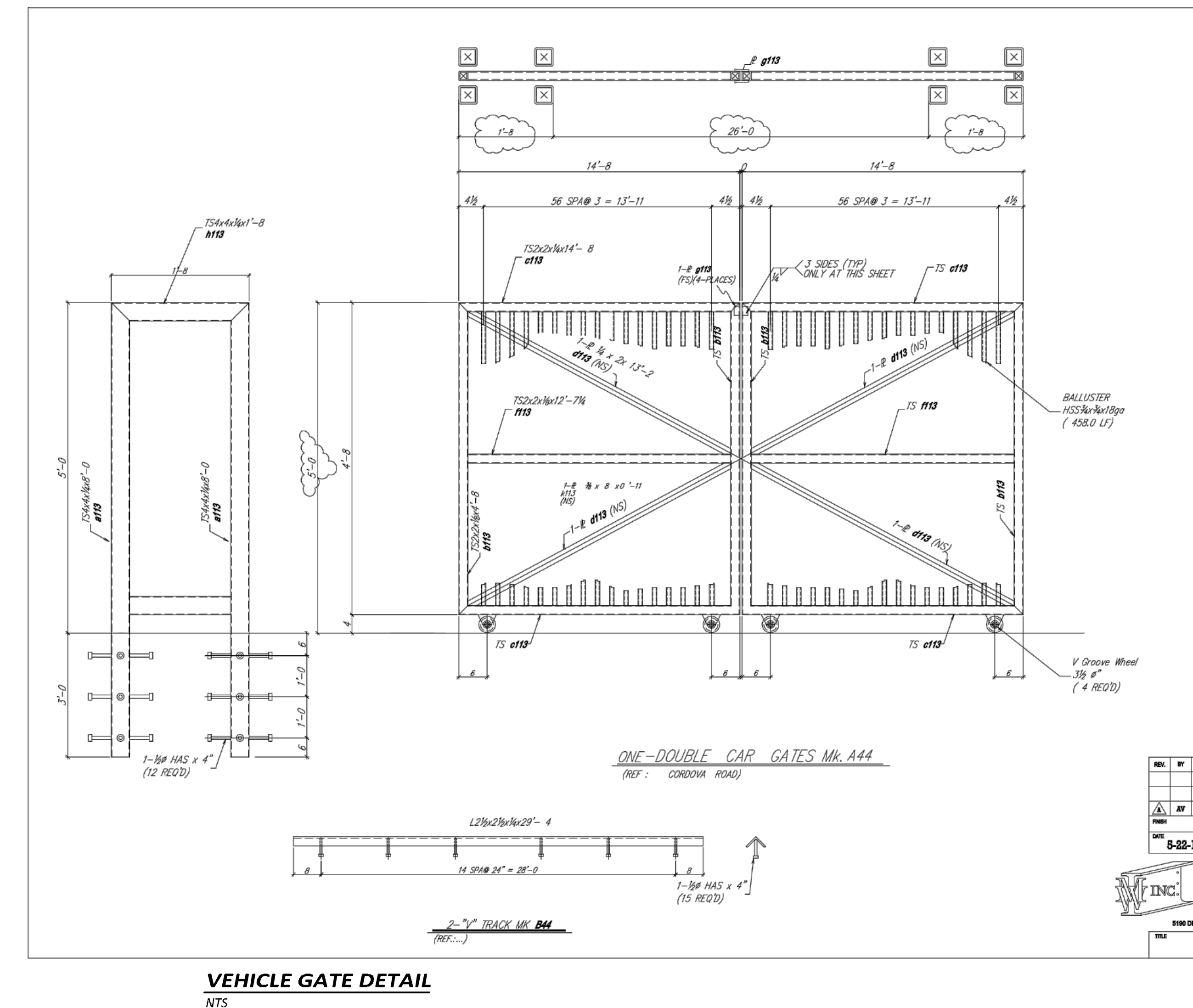
SemaConnect 520 Single and Dual Pedestal mount Installation Key Dimensions



CAR CHARGING STATION DETAIL NTS



- NOTES:**
1. FINISHED FLOOR ELEVATIONS OF ADJACENT STRUCTURE SHALL BE ELEVATED AT LEAST ONE FOOT ABOVE PEAK 100-YEAR WATER SURFACE ELEVATION THROUGH OVERFLOW WEIR.
 2. WOVEN GEOTEXTILE FABRIC SHALL MEET OR EXCEED STANDARDS OF IUM MATERIAL SPECIFICATION 592, TABLE 1, CLASS 1, II, OR III.



PRELIMINARY - NOT FOR CONSTRUCTION

	ENGINEER'S SEAL WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE	DRAWN BY BF
	CONSTRUCTION DETAILS	DATE 7/31/2020
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C7
	7/31/2020 RONALD R. BOHANNAN P.E. #7868	JOB # 2020013

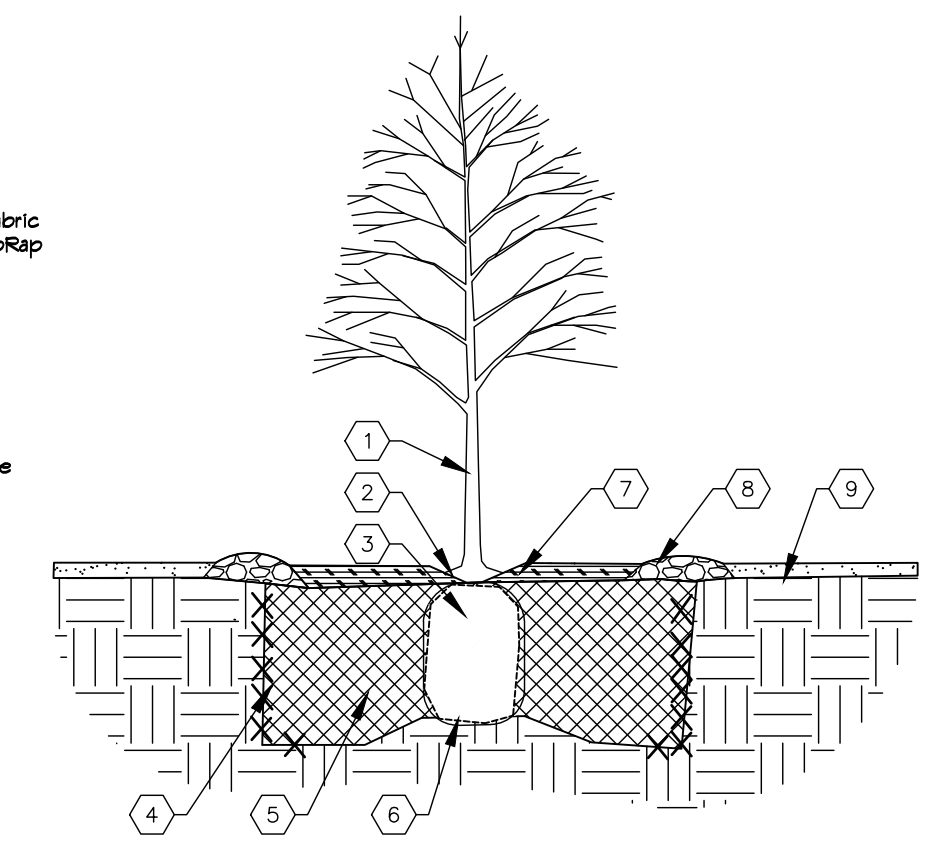
Z:\2020\2020013 Apartments at Golf Course Rd.dwg\DRB_Ver_B\2020013.DTB_Ver_B.dwg Jul 31, 2020 - 10:46am

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	SIZE (MATURE HGT)	WATER USE	COVER (EAJ)	TOTAL	USDA NATIVE
Trees								
16	2"	Cal	Hackberry <i>Celtis occidentalis</i>	40' x 40'	L+	1600	25600	San Miguel City
9	2"	Cal	Redbud <i>Cercis canadensis</i>	20' x 20'	M	400	3600	Yes
42	2"	Trunk w/ 2"	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	26250	Yes
20	2"	Trunk w/ 2"	New Mexico Olive <i>Forsteria neomexicana</i>	15' x 15'	M	225	4500	Yes
11	2"	Cal	Green Ash <i>Fraxinus pennsylvanica</i>	40' x 30'	M	900	15300	Yes
13	2"	Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	26325	Yes
21	6"	Height	Pinon Pine <i>Pinus edulis</i>	30' x 20'	M+	400	10800	Yes
40	6"	Height	Australian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	25000	
12	2"	Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	15200	TX
20	2"	Trunk w/ 2"	Chestnut Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	8000	
							Total Tree Coverage: 164975	
Shrubs & Groundcover								
12	9 Gal		Serviceberry <i>Amelanchier alnifolia</i>	10' x 10'	M	100	1000	Yes
14	9 Gal		Blonde Ambition Blue Grama <i>Bouteloua gracilis 'Blonde Ambition'</i>	3' x 3'	M	9	666	Yes
26	9 Gal		Blue Hill Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	L+	9	234	Yes
53	9 Gal		Alder-Leaf Mountain Mahogany <i>Cercocarpus montanus</i>	15' x 15'	L+	225	1125	Yes
12	9 Gal		Grey-Leaf Colonnaster <i>Cotoneaster burkii/glucocephala</i>	8' x 10'	M	100	1000	
41	9 Gal		Sorol <i>Daylilyon wheeleri</i>	5' x 5'	RU	25	1175	Yes
165	9 Gal		Chenets <i>Ericameria nauseosa</i>	5' x 5'	RU	25	425	Yes
22	9 Gal		Manhattan Euonymus <i>Euonymus alatus/obovatus</i>	6' x 6'	M+	36	792	
39	9 Gal		Apache Plume <i>Filipendula parviflora</i>	6' x 7'	L+	49	191	Yes
99	9 Gal		Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	L+	9	531	TX
29	9 Gal		Dogwood <i>Cornus sericea 'Bailey'</i>	3' x 3'	M+	9	261	Yes
51	9 Gal		Spartan Juniper <i>Juniperus chinensis 'Spartan'</i>	15' x 6'	L+	36	2052	
54	9 Gal		Buffalo Juniper <i>Juniperus sibirica 'Buffalo'</i>	7' x 8'	L+	64	3456	
81	9 Gal		Deer Grass <i>Muhlenbergia rigens</i>	4' x 4'	L+	16	1296	Los Alamos
78	9 Gal		Bear Grass <i>Helictes macrocarpa</i>	5' x 6'	RU	36	2808	Yes
75	9 Gal		Sulchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	1000	Yes
80	9 Gal		Potentilla <i>Potentilla fruticosa (Deschamps L)</i>	3' x 3'	M	9	720	Yes
39	9 Gal		Three-Leaf Sunsc <i>Rhus trilobata</i>	6' x 6'	L+	36	1404	Yes
41	9 Gal		Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	656	
39	9 Gal		Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	L+	9	351	TX
							Total Shrub Coverage: 36091	

Other Materials

SYMB.	QTY	TYPE
112	EA	Boulders (2-3c)
To be placed at contractor's discretion		
5650	SF	Cruker Fines Over Aggregate Basecourse
52285	SF	Landscape Gravel A with Filter Fabric 1/2" Brown Gravel
41325	SF	Landscape Gravel B with Filter Fabric 1" Amarillo Gravel
8680	SF	Oversize Landscape Gravel / No Filter Fabric 2-4" Blue Salt Fractured Cobble/RipRap
11260	SF	Parkland Sod Pop-Up Irrigation
22080	SF	Native Seed Area Wetland Mix with Rotor Irrigation
2160	SF	Dog Park Surfacing Synthetic Turf over Aggregate Base
Concrete See site plan		
Asphalt Parking Areas and Driveways See site plan		
Landscape Curb		
Stormwater Management Depression		
Site Furnishings Benches, Tables, Trash Receptacles		



TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC TUNE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 16" WIDE COBBLE BERRY AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

01 TREE PLANTING
NTS TREE PLANTING DETAIL

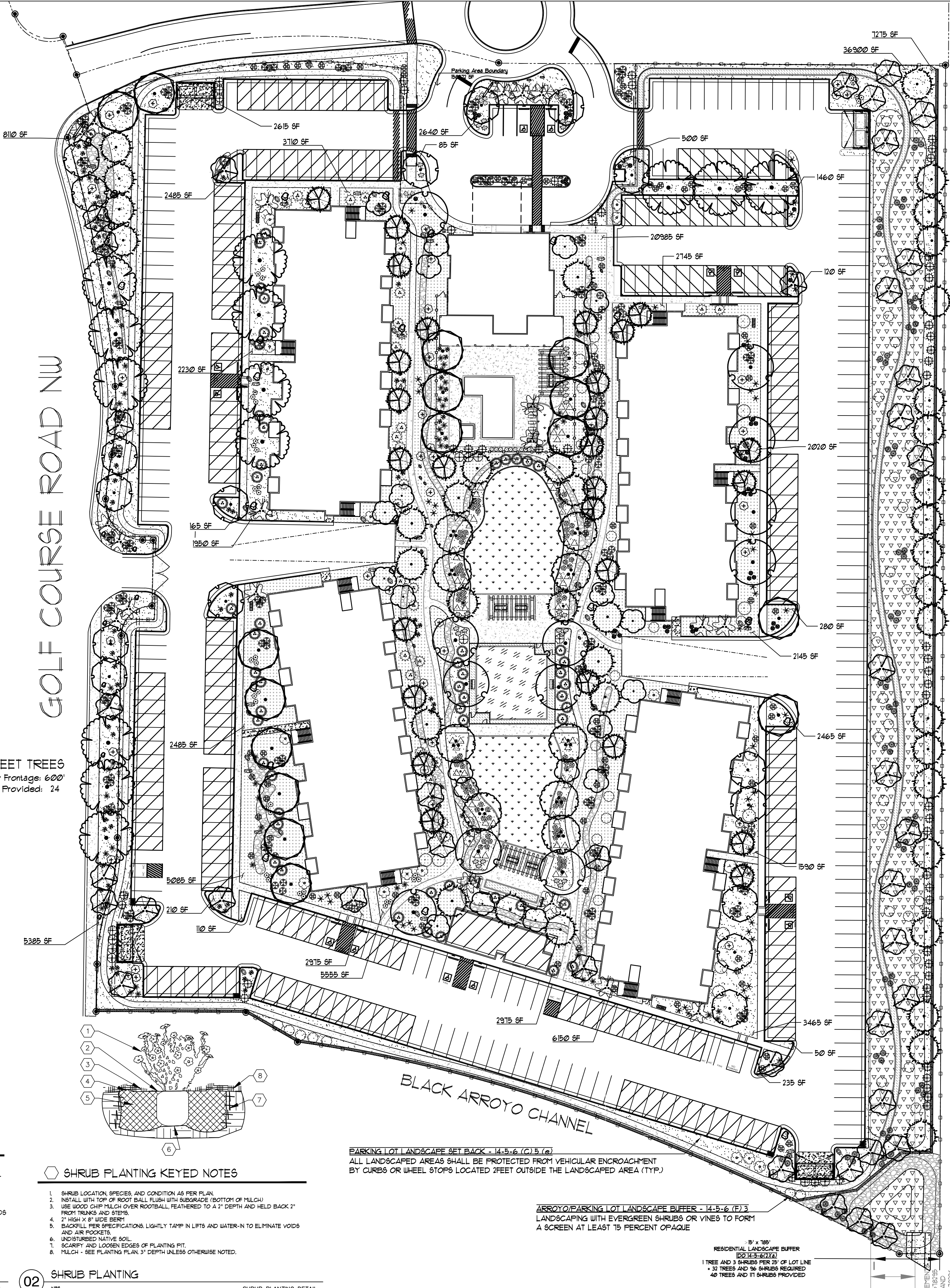
GOLF COURSE ROAD NW

STREET TREES
Linear Frontage: 600'
Trees Provided: 24

SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH OVER ROOTBALL FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNK AND STEMS.
- 2" HIGH X 8" WIDE BERRY.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

02 SHRUB PLANTING
NTS SHRUB PLANTING DETAIL



PARKING LOT LANDSCAPE SET BACK - 14-5-6 (C15.7g)
ALL LANDSCAPED AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY CURBS OR WHEEL STOPS LOCATED 2 FEET OUTSIDE THE LANDSCAPED AREA (TYP).

ARROYO/PARKING LOT LANDSCAPE BUFFER - 14-5-6 (F)3
LANDSCAPING WITH EVERGREEN SHRUBS OR VINES TO FORM A SCREEN AT LEAST 75 PERCENT OPAQUE.

8' x 10'
RESIDENTIAL LANDSCAPE BUFFER
(C15.7E)
1 TREE AND 3 SHRUBS PER 50 SF OF LOT LINE
32 TREES AND 96 SHRUBS REQUIRED
40 TREES AND 176 SHRUBS PROVIDED

GENERAL NOTES
ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE USING A PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED AS ANOTHER HATCHED GROUND COVER AREA SUCH AS THOSE INDICATED TO RECEIVE NATIVE SEED. ALL GRAVEL SHALL BE PLACED 5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:
IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS, INSTALLED IN A SINGLE PHASE. THE IRRIGATION SYSTEM SHALL PROTECT POTABLE WATER SYSTEMS THROUGH THE USE OF AN APPROVED PRESSURE VACUUM BREAKER/BACKFLOW PREVENTION DEVICE. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, FINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (2) 10 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

ZONING	MX-M: MIXED-USE WITH MODERATE INTENSITY
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

LANDSCAPE CALCULATIONS	
TOTAL LOT AREA (ACRES)	8.79
TOTAL LOT AREA (SF)	382892
BUILDING AREA (SF)	61950
NET LOT AREA (SF)	320942

REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	48141
LANDSCAPE PROVIDED (SF)	144030
VEGETATIVE COVER (%) - REQ	15.0
VEGETATIVE COVER (SF - REQ)	102023
VEGETATIVE COVER (SF - PROV.)	240661

GROUND COVER (%) - REQ	18.75
GROUND COVER (SF - REQ)	60171
GROUND COVER (SF - PROV.)	71432

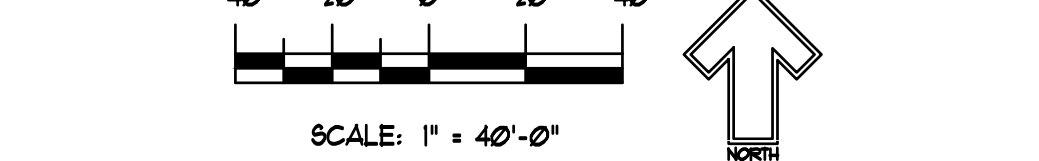
IRRIGATED TURF (SF)	11260
IRRIGATED TURF (% OF LANDSCAPE)	7.8%

REQ. TREES - 1ST AND 2ND STORY UNITS	104
PROVIDED UNIT TREES	118

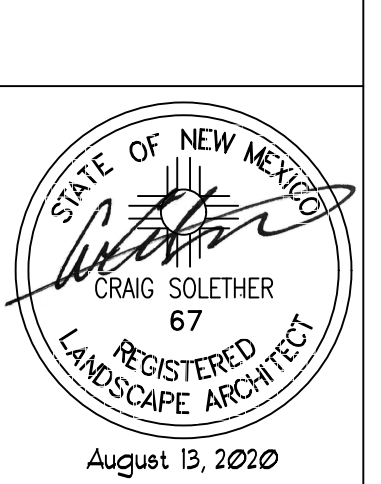
PARKING LOT INTERIOR LANDSCAPE CALCULATIONS - 14-5-6 (F)2

PARKING LOT AREA (SF)	138572
REQ. PARKING LANDSCAPE 10% (SF)	13857
PROV. PARKING LANDSCAPE (SF)	35644
REQ. PARKING TREES (1/10 SPOTS)	36
PROV. PARKING TREES	113

SCALE: 1" = 40'-0"

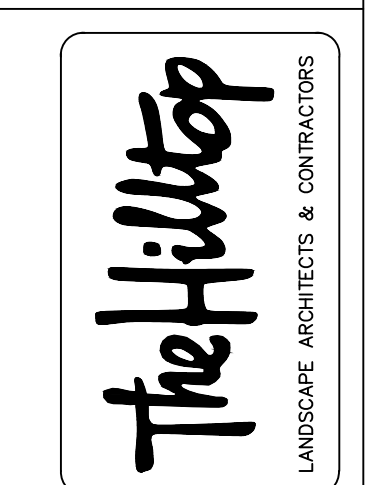


THE HILLTOP
13099 FAIRHURNE
ALBUQUERQUE, NM 87113
CON. LIC. #16489
PH. (505) 899-3690
FAX (505) 899-1131
tes@hilltoplandscaping.com



Wintergreen Luxury Apartments
Golf Course Road
Albuquerque, NM
Conceptual Landscape Plan

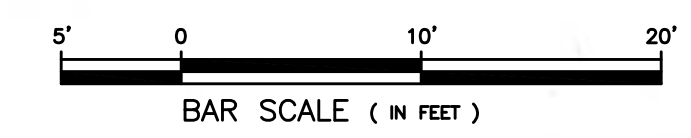
The design contained herein remains the property of The Hilltop Landscape Architects and Contractors and are protected by copyright. This is an original design and must not be reproduced or used for any other project without the written consent of The Hilltop Landscape Architects & Contractors. All fees have been paid for a job order placed.



DRAWN BY: [Signature]
REVISION: [Signature]
DATE: 08/13/2020



4 TYPICAL FRONT ELEVATION
1/8" = 1'-0"



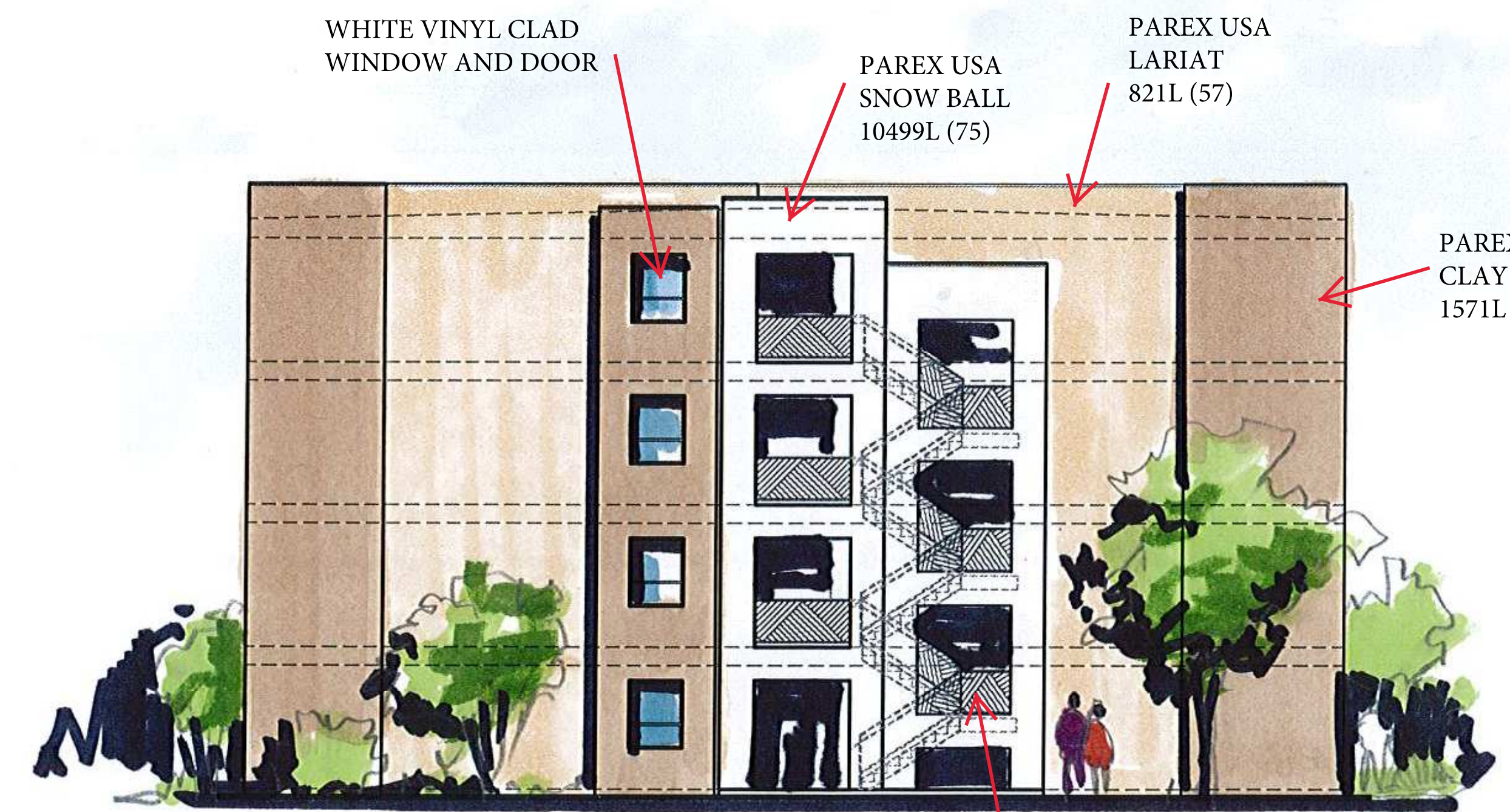
WHITE STUCCO AND ELEVATOR SHAFT WALLS
PAREX USA SNOW BALL 10499L (75)
PAREX USA LARIAT 821L (57)
PAREX USA CLAY 1571L (24)
WHITE VINYL CLAD WINDOW AND DOORS

PAREX USA SNOW BALL 10499L (75)

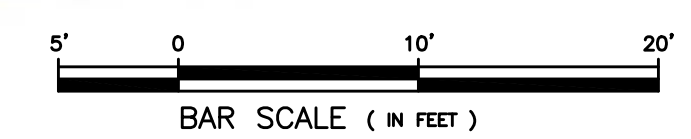
WHITE VINYL CLAD WINDOW AND DOORS

BRONZE COLOR STEEL WROUGHT IRON GUARDRAILS

PAREX USA SNOW BALL 10499L (75)



3 TYPICAL RIGHT ELEVATION
1/8" = 1'-0"



WHITE VINYL CLAD WINDOW AND DOOR

PAREX USA SNOW BALL 10499L (75)

PAREX USA LARIAT 821L (57)

PAREX USA CLAY 1571L (24)

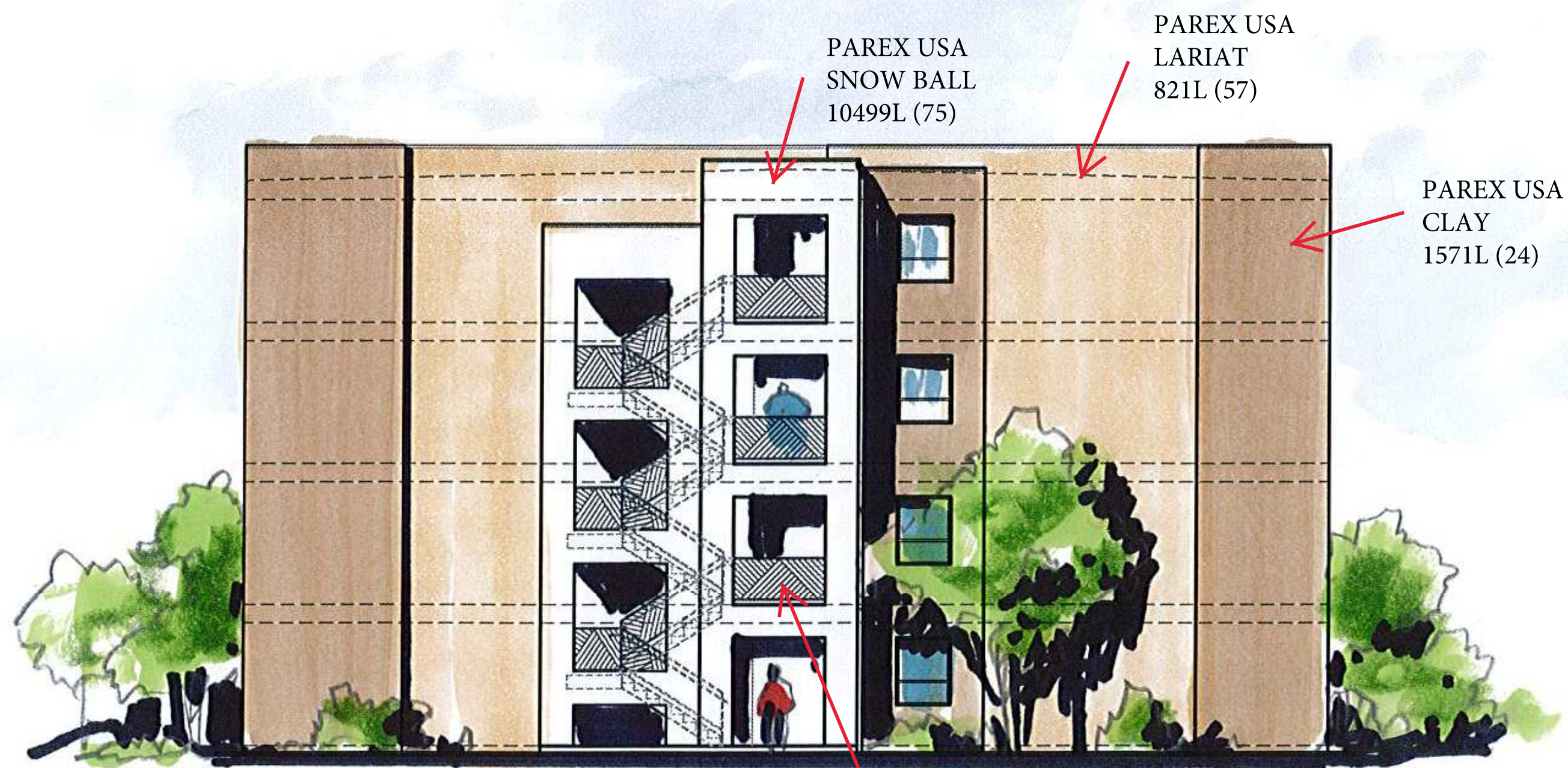
BRONZE COLOR STEEL WROUGHT IRON GUARDRAILS

WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

REVISION DATE
DATE 05-19-2020
SHEET NUMBER A-5.0




4 TYPICAL REAR ELEVATION
 1/8" = 1'-0"
 5' 0 10' 20'
 BAR SCALE (IN FEET)



3 TYPICAL LEFT ELEVATION
 1/8" = 1'-0"
 5' 0 10' 20'
 BAR SCALE (IN FEET)

WINTERGREEN LUXURY APARTMENTS
 BUILDING ELEVATIONS
 ALBUQUERQUE, NM
 PROJECT #2020-05

REVISION DATE

DATE 05-19-2020
SHEET NUMBER A-5.1



PAREX USA
LARIAT
821L (57)

BRONZE COLOR
STEEL WROUGHT
IRON GUARDRAILS

PAREX USA
CLAY
1571L (24)

PAREX USA
LARIAT
821L (57)

WHITE VINYL CLAD
WINDOW AND DOORS

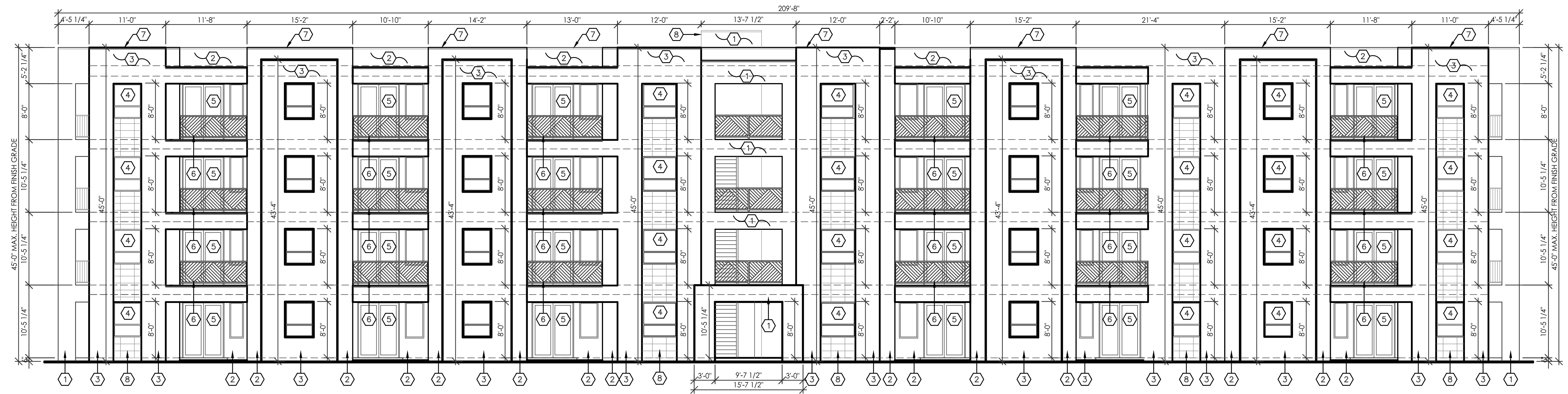
PAREX USA
SNOW BALL
10499L (75)



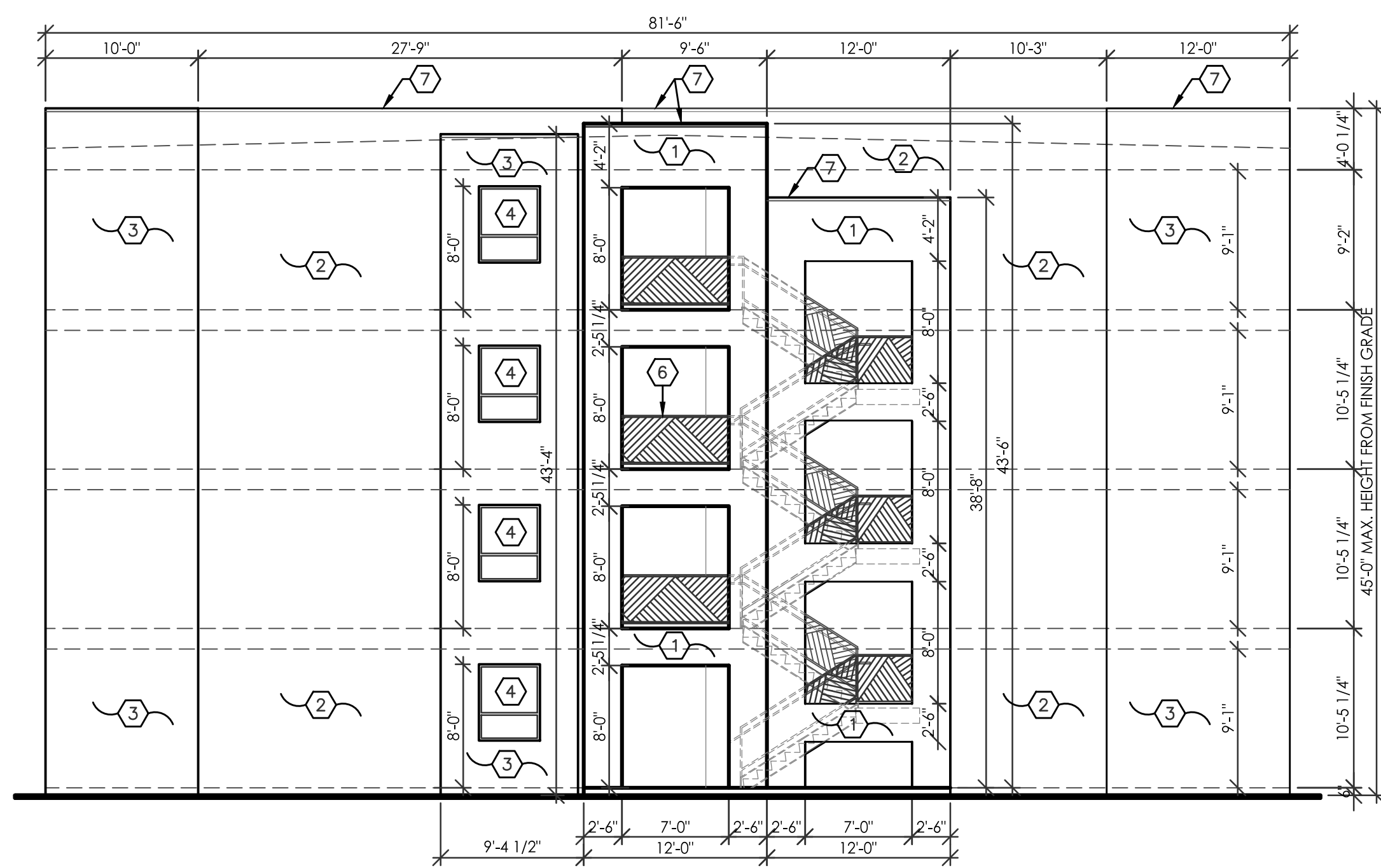
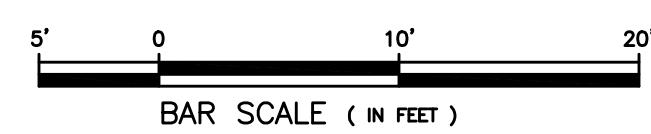
PAREX USA
SNOW BALL
10499L (75)

PAREX USA
LARIAT
821L (57)

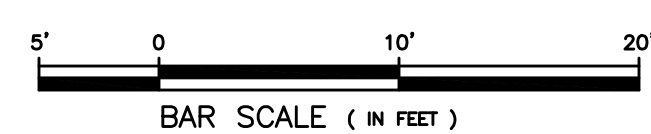
PAREX USA
CLAY
1571L (24)



4 TYPICAL FRONT ELEVATION
 $1/8" = 1'-0"$




3 TYPICAL RIGHT ELEVATION
 $1/8" = 1'-0"$



- KEYED NOTES
1. STUCCO COLOR: PAREX USA SNOW BALL, 199499L (75)
 2. STUCCO COLOR: PAREX USA LARIAT, 821L (57)
 3. STUCCO COLOR: PAREX USA CLAY, 131L (24)
 4. WINDOW TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
 5. PATIO SLIDING DOOR TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
 6. GUARDRAILS: BRONZE WROUGHT IRON, TYP.
 7. METAL COPING CAP, PAINT TO MATCH STUCCO COLOR, TYP.
 8. 12" x 24" TAN COLOR CERAMIC TILE, TYP.
 9. ELEVATOR SHAFT WALL BEYOND, REF: ARCH FLOOR PLANS.

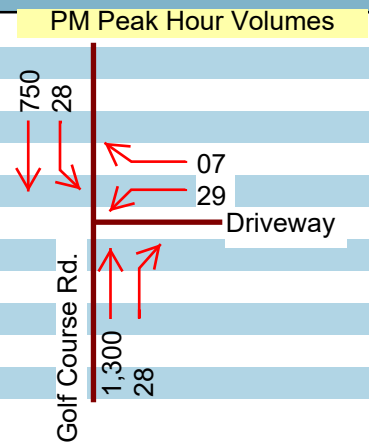
WINTERGREEN LUXURY APARTMENTS
 BUILDING A, B, C AND D ELEVATIONS
 ALBUQUERQUE, NM
 PROJECT #2020-05

REVISION DATE

DATE 06-26-2020
SHEET NUMBER A-5.0

Intersection

Int Delay, s/veh 0.7

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		↑↑	↑	↑	↑↑
Traffic Vol, veh/h	29	7	1300	28	28	750
Future Vol, veh/h	29	7	1300	28	28	750
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	0	0	-
Veh in Median Storage, #	1	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	32	8	1413	30	30	815



Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	1881	707	0
Stage 1	1413	-	-
Stage 2	468	-	-
Critical Hdwy	6.84	6.94	-
Critical Hdwy Stg 1	5.84	-	-
Critical Hdwy Stg 2	5.84	-	-
Follow-up Hdwy	3.52	3.32	-
Pot Cap-1 Maneuver	63	378	-
Stage 1	191	-	-
Stage 2	597	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	59	378	-
Mov Cap-2 Maneuver	149	-	-
Stage 1	191	-	-
Stage 2	559	-	-

Approach	WB	NB	SB
HCM Control Delay, s	32.6	0	0.5
HCM LOS	D		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	169	466
HCM Lane V/C Ratio	-	-	0.232	0.065
HCM Control Delay (s)	-	-	32.6	13.3
HCM Lane LOS	-	-	D	B
HCM 95th %tile Q(veh)	-	-	0.9	0.2

LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID TRACT BEING THE SAME AS TRACTS D AND E AND BLOCK 19, AS SHOWN ON THE PLAT OF "PARADISE HEIGHTS UNIT 1" AS MODIFIED BY THE PLAT OF "REALIGNMENT OF GOLF COURSE ROAD" AND A WARRANTY DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DEC. 13, 1998 IN BK. D3, PAGE 154 AND ON JULY 26, 1974 IN BK. D6, PAGE 61 AND ON FEB. 27, 1990 IN BK. 90-5, PAGES 8788-8789 RESPECTIVELY; AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE BEARINGS (CENTRAL ZONE) AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, FROM WHENCE THE ACS MONUMENT ACS 8-A11 BEARS N88°25'44"W A DISTANCE OF 6504.75 FEET, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY OF WESTSIDE BLVD.; THENCE DEPARTING THE SOUTHERLY RIGHT-OF-WAY OF WESTSIDE BLVD.

- S00°17'07"W, 1430.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF BENTON AVE.; THENCE,
 - N89°42'15"W, 170.20 FEET ALONG THE NORTHERLY RIGHT-OF-WAY OF BENTON AVE. TO A POINT; THENCE,
 - NORTHWESTERLY, 81.40 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 158.45 FEET AND A LONG CHORD BEARING N74°59'10"W A DISTANCE OF 80.51 FEET TO A POINT; THENCE,
 - N60°18'05"W, 200.82 FEET TO A POINT; THENCE,
 - NORTHWESTERLY, 114.29 FEET ALONG THE ARC OF A CURVE LEFT, HAVING A RADIUS OF 222.45 FEET AND A LONG CHORD BEARING N74°59'10"W A DISTANCE OF 113.03 FEET TO A POINT; THENCE,
 - NORTHWESTERLY, 39.27 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 25.00 FEET AND A LONG CHORD BEARING N44°11'54"W A DISTANCE OF 35.36 FEET TO A POINT AND TRANSITIONING FROM THE NORTHERLY RIGHT-OF-WAY OF BENTON AVE TO THE EASTERLY RIGHT-OF-WAY OF GOLF COURSE RD.; THENCE,
 - N00°18'28"E, 104.10 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF GOLF COURSE RD. TO A POINT; THENCE,
 - N00°17'23"E, 487.42 FEET ALONG THE VACATED EASTERLY RIGHT-OF-WAY OF GOLF COURSE RD. TO A POINT ON THE NEW RIGHT-OF-WAY OF GOLF COURSE RD.; THENCE,
 - NORTHWESTERLY, 91.76 FEET ALONG THE ARC OF A CURVE LEFT, HAVING A RADIUS OF 857.00 FEET AND A LONG CHORD BEARING N13°22'53"W A DISTANCE OF 91.72 FEET TO A POINT; THENCE,
 - NORTHEASTERLY, 22.64 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 23.50 FEET AND A LONG CHORD BEARING N43°04'17"E A DISTANCE OF 21.77 FEET TO A POINT; THENCE,
 - N19°20'02"W, 53.83 FEET TO A POINT; THENCE,
 - N70°59'58"W, 5.12 FEET TO A POINT; THENCE,
 - NORTHWESTERLY, 38.68 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 25.00 FEET AND A LONG CHORD BEARING N65°00'35"W A DISTANCE OF 34.94 FEET TO A POINT; THENCE,
 - NORTHWESTERLY, 250.27 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 825.00 FEET AND A LONG CHORD BEARING N11°59'41"W A DISTANCE OF 249.31 FEET TO A POINT; THENCE,
 - NORTHEASTERLY, 37.24 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 140.00 FEET AND A LONG CHORD BEARING N04°19'02"E A DISTANCE OF 37.13 FEET TO A POINT; THENCE,
 - NORTHEASTERLY, 63.05 FEET ALONG THE ARC OF A CURVE LEFT, HAVING A RADIUS OF 310.00 FEET AND A LONG CHORD BEARING N06°08'42"E A DISTANCE OF 62.94 FEET TO A POINT; THENCE,
 - N00°17'07"E, 90.00 FEET TO A POINT; THENCE,
 - N03°30'00"E, 26.03 FEET TO A POINT; THENCE,
 - NORTHEASTERLY, 18.00 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 30.00 FEET AND A LONG CHORD BEARING N20°41'13"E A DISTANCE OF 17.73 FEET TO A POINT ON THE VACATED EASTERLY RIGHT-OF-WAY OF GOLF COURSE RD.; THENCE,
 - NORTHEASTERLY, 25.19 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 25.00 FEET AND A LONG CHORD BEARING N61°18'21"E A DISTANCE OF 24.14 FEET TO A POINT AND TRANSITIONING FROM THE VACATED EASTERLY RIGHT-OF-WAY OF GOLF COURSE RD. TO THE SOUTHERLY RIGHT-OF-WAY OF WESTSIDE BLVD.; THENCE,
 - S89°49'36"E, 79.24 FEET TO A POINT; THENCE,
 - S89°49'36"E, 295.05 FEET ALONG THE VACATED RIGHT-OF-WAY OF WESTSIDE BLVD. TO A POINT ON THE NEW RIGHT-OF-WAY OF WESTSIDE BLVD.; THENCE,
 - NORTHEASTERLY, 15.67 FEET ALONG THE ARC OF A CURVE RIGHT, HAVING A RADIUS OF 30.00 FEET AND A LONG CHORD BEARING N75°12'36"E A DISTANCE OF 15.49 FEET TO A POINT; THENCE,
 - S89°49'36"E, 122.51 FEET TO A POINT; THENCE,
 - S89°04'18"E, 109.08 FEET TO A POINT; THENCE,
 - S89°49'36"E, 13.20 FEET TO A POINT; SAID POINT BEING THE POINT OF BEGINNING
- SAID TRACT CONTAINS 18.6713 ACRES MORE OR LESS.

NEW MEXICO GAS COMPANY EASEMENT RELEASE APPROVAL

New Mexico Gas Company, Inc., a Delaware corporation, does hereby release, waive quitclaim and discharge its right, title and interest in the easement(s) (granted by prior plat, replat or document) shown to be vacated on this plat.

NEW MEXICO GAS COMPANY

By: *[Signature]*



STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

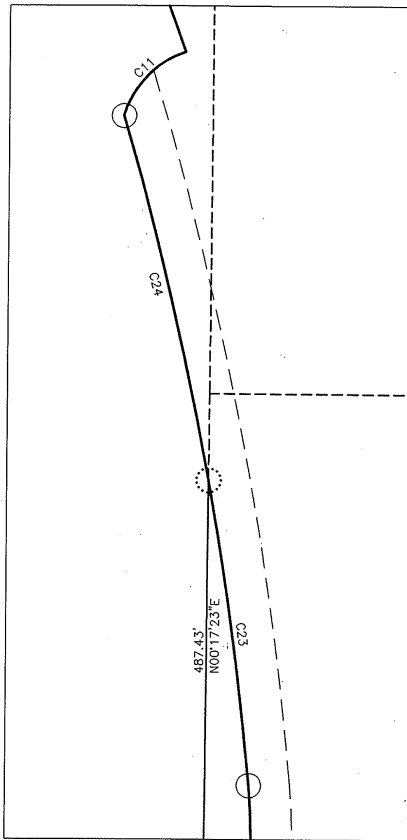
This instrument was acknowledged before me on 27th of May, 2009.

My Commission Expires: March 24, 2013 *Amanda Carlyle*
Notary Public

NOTES

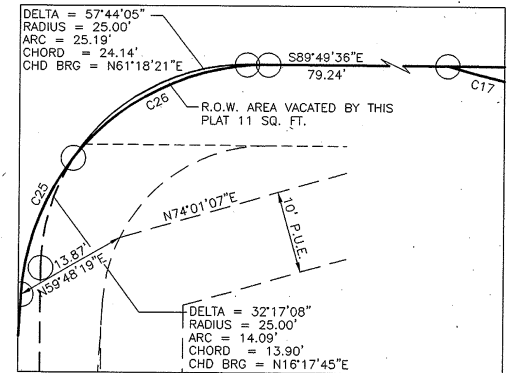
1. MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT = 0.0000 MILES.
2. TOTAL NUMBER OF TRACTS CREATED = 3
3. BASIS OF POSITION AND BEARINGS
 - ACS 8-A11 (NAD 1983 & NAVD 1988)
NORTHING = 1534934.957
EASTING = 1507071.174
ELEVATION = 0.000
DELTA ALPHA = 00°15'26.89"
GROUND TO GRID
FACTOR = 0.999671590
 - ACS 9-A11 (NAD 1983 & NAVD 1988)
NORTHING = 1533206.142
EASTING = 1506571.019
ELEVATION = 5301.647
DELTA ALPHA = 00°15'30.20"
GROUND TO GRID
FACTOR = 0.999670857
4. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
5. ALL BOUNDARY CORNERS, LOT CORNERS AND ANGLE POINTS ARE MONUMENTED WITH A 5/8" REBAR AND YELLOW PLASTIC CAP STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE.
6. CURRENT ZONING OF TRACTS D & E IS C-2 AND OF LOTS 1 THRU 7 IS R-1.

INSET 1 SCALE 1" = 20'



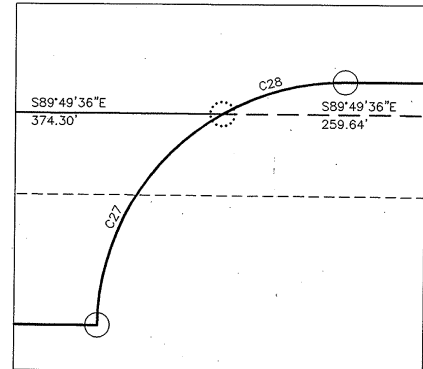
**PLAT OF TRACTS D-I, E-I
AMAFCA BLACK ARROYO CHANNEL ROW
PARADISE HEIGHTS, UNIT 1
ALBUQUERQUE, NEW MEXICO
MARCH, 2009**

INSET 2 SCALE 1" = 10'



NOTE: SEE SHEET 3 FOR CURVE DATA NOT SHOWN ON THIS SHEET

INSET 3 SCALE 1" = 10'



DOCH 2009061460
06/02/2009 04:11 PM Page: 2 of 3
PLAT R: 517.00 91 20090 P: 0003 N. Yolous Oliveira, Bernalillo Cour
[Barcode]

B BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-004030
DRB Application No.: SD-2020-00540

**10820 Golf Course Rd. NW (Wintergreen Apartments)
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Tract E-1 Plat of Tracts D-1, E-1 AMAFCA Black Arroyo Channel ROW Paradise Heights Unit 1 Containing 8.77 Ac
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		-	Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee				/	/	/
		8" SAS PIPE	Public Sanitary Sewer extension from the southern boundary of Tract E-1, at the existing collector line along the southern property line, extend north along the drive isle of Tract E-1, to 35-ft into Tract D-1. A total of ± 980-ft of 8" PVC sewer per ABCWUA Std. Dwgs within a 20-ft dedicated public sanitary sewer easement				/	/	/
		ST LT, <25' w/ 1 LED	Install three public street lighting along property Tract E-1 frontage (± 580-ft) along Golf Course Rd., as required by City Engineer.				/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Richard Stevenson NAME (print)	DRB CHAIR - date	PARKS & RECREATION - date	
Tierra West LLC FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date	
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date	
	CITY ENGINEER - date	_____ - date	

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

DEVELOPMENT REVIEW BOARD

Code Enforcement Comments

AGENDA ITEM NO: _____ 3 _____

DRB Project Number: PR-2020-004030

Application Number: _____

Project Name: _____

REQUEST: Site Plan

COMMENTS:

- 1) **Please verify that fence will be 3 ft.**
- 2) **CE has reviewed this plan for compliance with the IDO and has no objections.**

Response:

The wall height along Golf Course Road frontage is 3-ft in height, per label 20, on sheet C-1, per the IDO requirements on Table 5-7-1.

(Comments may continue onto the next page)

Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Carl Garcia, Code Supervisor
Planning Department
924-3838 cagarcia@cabq.gov

DATE: 8/5/2020

ACTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED X; WITHDRAWN ___

DELEGATED: (TRANS) (HYD) (WUA) (PRKS) (PLNG) (CE)

8/5/2020

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 4030
Golf Course Apartments

AGENDA ITEM NO: 3

SUBJECT: Site Plan

ENGINEERING COMMENTS:

1. Label walkway widths to buildings, too. A minimum 6-foot sidewalk is required from main building to right-of-way. This requirement falls short adjacent to the building to the north. Label curb ramps as needed for the 6-foot pedestrian crossing across the driving aisle.

Response: I believe I have labeled every sidewalk with a dimension, or with a call out referencing the width. The sidewalk width along the building to the north was widened to 6-ft. The curb ramps were labeled see callout 7.

2. At least one minimum 5-foot wide sidewalk is required between buildings.

Response: this is now provided.

3. Does curb need to be called out where there seems to be a median cut for the ADA path in front of the clubhouse? Also call out curb as needed for the proposed traffic circle, and list radius of circle.

Response: Curb labelled near the club house as 'zero curb', curb is labeled around the traffic circle and the radius added.

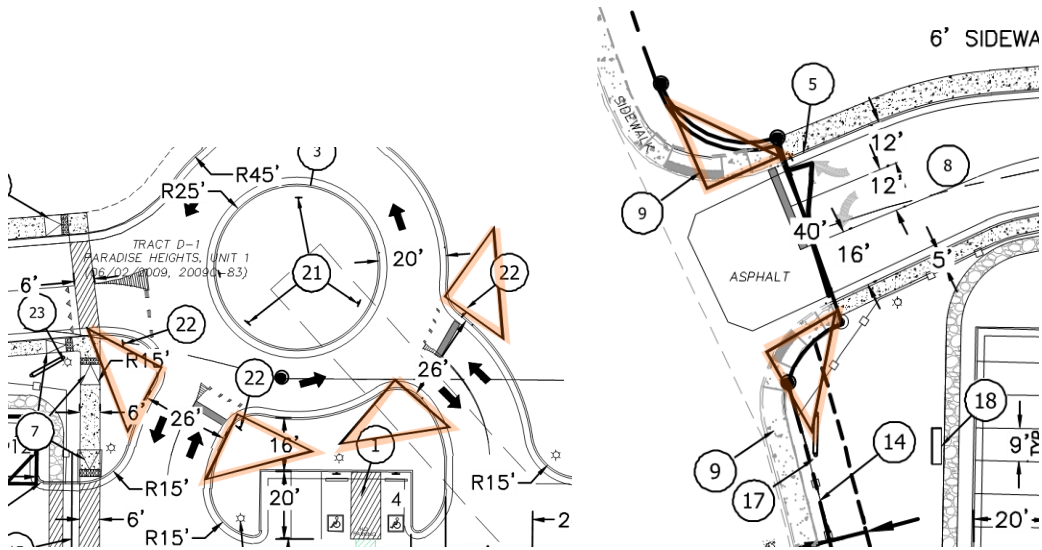
4. Where are the clear sight triangles at access points for both the site plan and the landscaping plan shown under AASHTO guidelines? I could not find these.

Response: They are on the plan, I've highlighted them below on sheet C-1, per DPM standards for driveway

MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS , TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT



5. There was a statement regarding turn bay sufficiency on the left turn lane. How many vehicular trips is this based on? I could not find an analysis. It is sufficient to just have the apartments as part of the analysis, as stated.

Response: See attached analysis using Synchro 10. The volumes on Golf Course Rd. were derived from the Mid-Region Council of Governments' TAQA (Transportation Analysis Querying Application) website for the PM Peak Hour when trips will be returning to the apartments. The Trip Distribution I sent last week indicated that only a small percentage (about 20%) of traffic would arrive to the apartments from the north on Golf Course Rd. However, to be conservative, I assumed that half of the entering traffic would arrive to the apartments from the north (i.e., the southbound left turn entering traffic). The analysis on the attached Synchro 10 HCM6 Unsignalized Report demonstrates that the 95th Percentile calculated queue will be less than 1 vehicle. Therefore, the existing southbound left turn lane should not need to be extended.

6. The City is requesting public streetlighting on the infrastructure list along frontage. We realize that the old Golf Course Road Improvements did not have them, but this was a separate department that oversees the project, and we don't know the reasoning at the time as to why they were not included. Additionally, traffic has increased since that time.

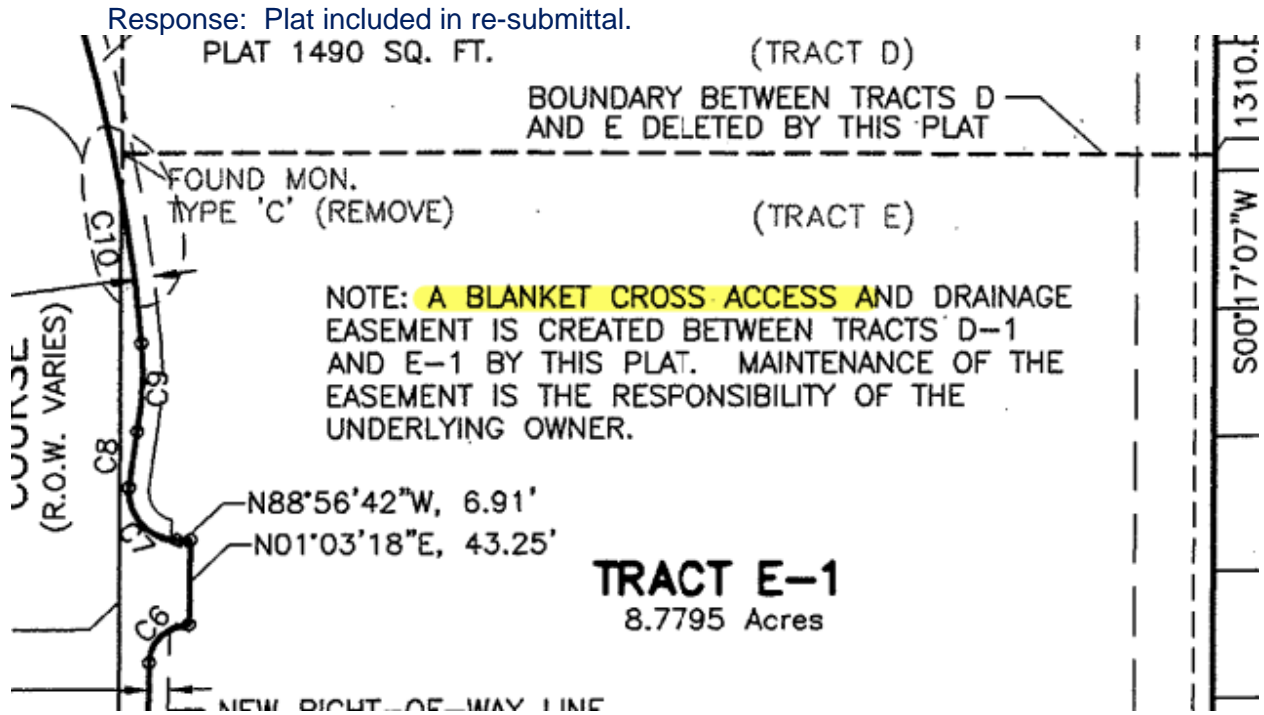
Response: Added to I.L.

7. Provide distance shown between east property line and walkway along east side of site since neighbors had concerns about this.

Response: Dimensioning added.

8. If the plat shows a cross easement, that will definitely work for Transportation, but I did not find it in the new submittal package.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT



. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Jeanne Wolfenbarger, P.E.
Transportation Development
505-924-3991 or jwolfenbarger@cabq.gov

DATE: August 5, 2020

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



**Development Review Board (DRB)
 Review Comments
 Utility Development Section
 Reviewer: Kristopher Cadena, P.E.
 Phone: 505.289.3301**

DRB Project No: PR-2020-004030	Date: 08/05/20	Item No: #3
Zone Atlas Page: A-12 & A-13	Legal Description: A-12 & A-13 Location: GOLF COURSE RD NW between GOLF COURSE RD NW, BLACK ARROYO and WESTSIDE BLVD	
Request For: SI-2020-00540 - SITE PLAN		

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. Serviceability Letter #200506 has been written and provides the conditions for service.
2. The property is outside of the Adopted Service Area. A Water Authority Board approved development agreement will be required prior to Site Plan approval. The serviceability letter will serve as an exhibit to the development agreement.
3. Utility Plan – **Plan Updated**
 - a. Please label the existing public sanitary sewer along the southern frontage.
 - b. Label the proposed private sanitary sewer along the southern property line.
 - c. Note indicates 20’ private exclusive easement for public sanitary sewer which is not correct.

- d. Rather than extending public sanitary sewer to the proposed roundabout for future access to existing Tract D-1, in an effort to minimize onsite public sanitary sewer, it seems the public sanitary sewer may be better suited to extend due north. This would require the relocation of the proposed dumpster enclosure near the northeast corner of the development. Has the proposed alignment been coordinated with existing Tract D-1?
 - i. Vacation of the existing public sanitary sewer easement as well as granting of the new public sanitary sewer easement will be required.

Response: Refer exhibit 2020013 D-1 & E-1 Concept SAS layout 8.5.20 showing coordination with future D-1 property development.

- e. PREVIOUS COMMENT: Label all proposed onsite private waterline accordingly. There is a proposed 6" waterline that shall be labeled as private.
- f. A proposed 8" water meter is being used to create a single connection for a private onsite loop for both domestic and fire protection. Typically, fire lines are unmetered and separate from metered service. Please confirm with the Fire Marshal that they approve fire protection downstream of a metered service.

Response: Dom WL and FL separated.

4. Infrastructure list – I.L Updated

- a. The proposed public sanitary sewer item indicates the northern terminus is the northern property boundary of existing Tract D-1 which is incorrect.

MAJOR CASES

3. PR-2020-004030 (1002566, 1004501, 1004503) SI-2020-00540 - SITE PLAN TIERRA WEST, LLC agent(s) for CALABACILLAS GROUP C/O DONALD HARVILLE request(s) the aforementioned action(s) for all or a portion of: A-12 & A-13, zoned MX-M, located at GOLF COURSE RD NW between GOLF COURSE RD NW, BLACK ARROYO and WESTSIDE BLVD containing approximately 8.77 acre(s). (A-12,13)[Deferred from 7/22/20] PROPERTY OWNERS: CALABACILLAS GROUP C/O DONALD HARVILLE REQUEST: SITE PLAN FOR APARTMENT WITH MORE THAN 50 UNITS

Open Space Comments:

On the south property line, this parcel butts up to the Black Arroyo which drains into Open Space's Calabacillas Arroyo and eventually into the Rio Grande, and there is a concern about flows from the site. Therefore, native plants would be the best choice for landscaping materials. Chinese Pistache (especially females) are invasive and there is a concern about invasives moving down the Black Arroyo to the Calabacillas and Rio.

PRD requests removing Chinese Pistache from the plant list and preferably limiting all plant material to natives. Landscape species should comply with the CABQ Pollen Control Ordinance.

Response:

Please review updated landscape plan. Locally-occurring plants were used where possible and a column is added to the plant schedule indicating native status. Also added a number of pinon pines to the planting plan as a source of native evergreen color. Vines have been removed. Tried to keep other planting quantities and locations the same, adjusting for layout where necessary.



DEVELOPMENT REVIEW BOARD

Planning Dept. - Major Case Comments

HEARING DATE/AGENDA ITEM 3

Project Number: PR-2020-004030

Application Number: SD-2020-00540

Project Name: Wintergreen Luxury Apartments

Request: Site Plan for Apartment with more than 50 Units

COMMENTS (requirements that need to be met):

- ~~There is no Code Enforcement signature block~~
- ~~The applicant needs to verify if a sensitive lands analysis is required~~
- ~~The landscape buffer along the eastern property boundary meets the IDO requirements. However, the applicant could add additional trees in the landscape buffer to provide additional screening between the Site and the adjacent single family residential dwellings east of the Site to provide two full layers of trees within the buffer.~~
- ~~Open space calculations need to be provided.~~
- ~~Staff recommends park benches be placed in the landscaped open space and near the sidewalks and trails within the proposed development.~~
- ~~Outdoor/exterior lighting needs to be depicted.~~
- ~~The CMU screen wall along the boundary of the Site is depicted as 6-feet in height. However, this screen wall cannot be more than 3 feet in height in the front yard. The Zoning Enforcement Officer (ZEO) must make an exception to this height standard for security reasons due to specific site conditions or the nature of the land use or related materials and facilities on the site according to 5-7(D)(3)(c) of the IDO. Along the southern boundary of the site adjacent to the arroyo running alongside the southern boundary of the Site, the applicant should consider 3-feet of wrought iron on top of 3-feet of CMU blocks in lieu of 6-feet of CMU blocks.~~

Response:

The wall height along Golf Course Road frontage is 3-ft in height, per label 20, on sheet C-1, per

the IDO requirements on Table 5-7-1.

(see comments on the next page)

- Staff is concerned about the gap between the existing CMU wall along the adjacent subdivision east of the Site and the proposed 6-foot CMU wall along the eastern boundary of the Site because of possible maintenance issues and unwanted access.

Response:

A reviewed, enhance and more appealing design is proposed with an offset alignment wall. This meets the screening intent but allows maintenance access and provide better visuals for both neighbors. See below a concept sketch:



- ~~Staff requests the applicant provide a plane-angle illustration/depiction of the proposed apartments and the residences to the east of the Site depicting to scale the height of the proposed apartments and the residences and the distance between them.~~
- ~~Consider moving the dumpsters farther away from the residential development~~
- ~~Please provide an elevation key so that we can determine each elevation of each building~~
- ~~The unit mix table is difficult to read, the letters are blurry can you update so that is more clear~~
- COMMENTS (requirements that are met):
- The façade is consistent with 5-11(E)(2) because it has a clear distinction between the ground floor and upper floors, windows on upper floors, primary pedestrian entrances, wall projections and changes in plane and material (see IDO for full citation).
- The carports are consistent with 5-11-(D)(4) although some of them are located between

the street and building most of them are disbursed throughout the site and there street facing carports are screened by a row of street trees

- The landscaping plan exceeds the requirements by providing a total of 144,030 square feet of landscaping when 48, 141 square feet are required.
- Please note that staff could have future comments and the Site Plan is still under review.

Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jay Rodenbeck
Planning Department

DATE: 8/5/2020
