



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2020-004030

Application No. SD-2020-00540

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 1-27-2021 HEARING DATE OF DEFERRAL: _____

SUBMITTAL

DESCRIPTION: This submittal is made in accordance with the AC-20-12LUHO remand back to DRB to address the _____

notification deficiency. Specifically, Tierra West, LLC, Applicant, notified persons listed on the updated mailing list _____

including Mr. Sandoval and those property owners within 100-feet south of the development (excluding the AMAFCA _____

Black Arroyo channel and the streets) of the DRB re- application for Site Plan approval. In addition, a yellow sign was _____
posted at the property advertising the re-application for approval by DRB.

CONTACT NAME: Richard Stevenson

TELEPHONE: 505-858-3100 EMAIL: rstevenson@tierrawestllc.com



TIERRA WEST, LLC

January 5, 2021

Elizabeth Haley
Westside Coalition of NA
6005 Chaparral Circle NW
Albuquerque, NM 87114

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECIPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

Rene Horvath
Westside Coalition of NA
5515 Palomino Drive NW
Albuquerque, NM 87120

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECRPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

Jack Corder
Seven Bar North HOA
PO Box 45960
Albuquerque, NM 87114

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DESCRIPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Course Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
tierrawestllc.com

determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

Scott Templeton
Seven Bar North HOA
4332 Dry Creek Place NW
Albuquerque, NM 87114

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECRPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

Sandoval Larry W SR & Sherri A
10943 Carreta DR NW
ALBUQUERQUE NM 87114-5075

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECRPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

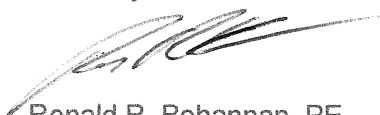
or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

LOPEZ RANDY R & ELIZABETH C
10613 EASY PL NW
ALBUQUERQUE NM 87114-5075

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECRPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

Mr. Richard White
12015 Sullican Ct NW
Albuquerque, NM 87114

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECIPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
tierrawestllc.com
1-800-245-3102

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rbb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

Homes by Kim Brooks Inc.
4477 Irving Blvd NW
Albuquerque, NM 87114

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECIPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

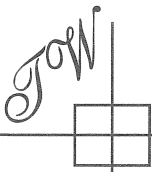
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: r rb@tierrawestllc.com or r stevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw



TIERRA WEST, LLC

January 5, 2021

Kristopher O & Angel M Kohlmeyer
10605 Olympic Pl NW
Albuquerque, NM 87114

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DECRPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Corse Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



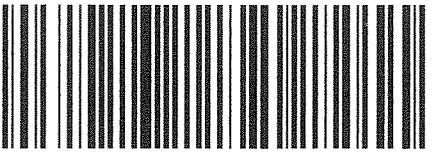
Ronald R. Bohannon, PE
JN: 2020013
RRB/rs/kw

CERTIFIED MAIL

stamps.com
L30507.09



WEST, LL



7020 0090 0000 4459 0013
7020 0090 0000 4459 0013

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

OFFICIAL USE

For delivery information, visit our website at www.usps.com®

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Total Postage and Fees \$ _____

Sent To _____

Street and Apt. No., or PO _____

City, State, ZIP+4® _____

PS Form 3800, April 20

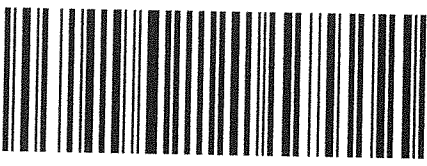
Elizabeth Haley
Westside Coalition of NA
6005 Chaparral Circle NW
Albuquerque, NM 87114

CERTIFIED MAIL

stamps.com
L30507.07



WEST, LLC



7019 2280 0001 2943 1155
7019 2280 0001 2943 1155

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

OFFICIAL USE

For delivery information, visit our website at www.usps.com®

Certified Mail Fee \$ 3.55

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ 2.85

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Postage \$.50

Total Postage and Fees \$ 4.90

Sent To _____

Street and Apt. No., _____

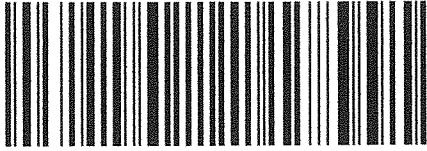
City, State, ZIP+4® _____

PS Form 3800, April 20

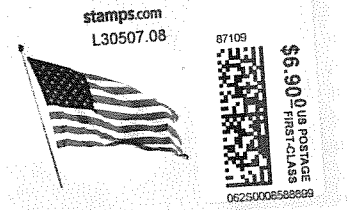
Rene Horvath
Westside Coalition of NA
5515 Palomino Drive NW
Albuquerque, NM 87120

VEST, LLC

CERTIFIED MAIL



7019 2280 0001 2943 1179
7019 2280 0001 2943 1179



U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®

OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Total Postage a \$ _____

Sent To **Scott Templeton**

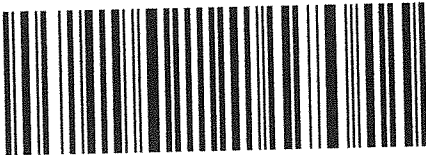
Street and Apt. # **Seven Bar North HOA**

City, State, ZIP+4 **4332 Dry Creek Place**
Albuquerque, NM 87114

PS Form 3800, www.usps.com

EST, LLC

CERTIFIED MAIL



7019 2280 0001 2943 1162
7019 2280 0001 2943 1162



U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®

OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postmark
Here

Total Postage and Fees a \$ _____

Sent To **Jack Corder**

Street and Apt. # **Seven Bar North HOA**

City, State, ZIP+4 **PO Box 45960**
Rio Rancho, NM 87174

PS Form 3800, www.usps.com



TIERRA WEST, LLC

January 5, 2021

**RE: PR-2020-004030 REMAND FOR SITE PLAN - DRB APPROVAL
208 APARTMENT DEVELOPMENT AT GOLF COURSE RD
LEGAL DESCRIPTION: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA
BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1
ZONE ATLAS MAP: A-12-Z & A-13-Z**

Dear Resident,

In accordance with the Integrated Development Ordinance (IDO), you are receiving this letter in regards to the Development Review Board (DRB) Remand under LUHO (AC-20-12) by the Land Use Hearing Officer (LUHO) for the application of a Site Plan for an apartment project located on the vacant property on the north east corner of Golf Course Rd. and AMAFCA Black Arroyo channel, refer vicinity map below. Your property is within 100-ft of the subject property boundary and your contact information was provided by the City of Albuquerque Office of Neighborhood Coordination.



Figure 1 Vicinity Map

The Site Plan (PR-2020-004030) was approved by the DRB on August 30, 2020, and was appealed to the LUHO (AC-20-12) per the appeal procedures listed in the IDO. The LUHO determined the original application to DRB did not provide notice to the residents south of the AMAFCA arroyo.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

This letter is to serve notice to you that the site plan will be submitted for review by the DRB at a hearing on Wednesday January 27, 2021 at 9:00 am. Tierra West LLC is the agent for the property owner Calabac Illas Group c/o Donald Harville.

Summary of Proposed Site Plan

The request to DRB is for approval of a multi-family site plan proposing an upscale apartment complex across the 8.7 acre vacant site, which consists of the southern half of the vacant property at the south east corner of Golf Course Blvd. and Westside Blvd. NW (refer Figure 1). The site is zoned MX-M per IDO zoning designations.

The project will consist of 208 apartments across four buildings, 52 apartments in each building with a maximum building height of 45-ft. The apartments will comprise of a mix of studio, one and two bedroom apartments. The complex will be gated and include a club house with private pool facilities for the residents. The developer is striving to deliver a high quality project to enhance the neighborhood, with generous landscaping and water features, covered parking, high end finishes in the apartments including granite, stainless steel and porcelain tile floors and elevators within each building.

Please refer to the attached exhibit for the proposed site plan.

DRB Zoom Details

The DRB meeting will be held virtually using the Zoom Meeting platform on Wednesday January 27, 2021 at 9:00 am. If you have questions on the DRB process you can contact Ms. Maggie Gould, Planning Manager City of Albuquerque mgould@cabq.gov / 505-924-3880.

The Zoom Meeting details are:

<https://cabq.zoom.us/j/99551772073>

Meeting ID: 995 5177 2073

or join By phone +1 312 626 6799

The agenda for the DRB meeting shall be posted on the City website by Friday 22 January, 2021 ahead of the Wednesday Meeting. For more information on the Development Review Board you can visit the City website at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannon, P.E. or Richard Stevenson P.E.
Tierra West LLC 5571 Midway Park Place NE, Albuquerque, NM 87109
Email: rbb@tierrawestllc.com or rstevenson@tierrawestllc.com
Phone: 505-858-3100

Sincerely,



Ronald R. Bohannon, PE

JN: 2020013

RRB/rs/kw

golf

TIERRA WEST, LLC

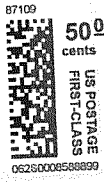
5571 Midway Park Place NE
Albuquerque, NM 87109

MARTINEZ MARY H
4820 STAFFORD PL NW
ALBUQUERQUE NM 87120

stamps.com
L30508.03



87109



50¢
cents
US POSTAGE
FIRST-CLASS
06250008588899

golf

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

GREENWOOD REBEKAH SULTEMEIER
11009 CARRETA DR NW
ALBUQUERQUE NM 87114-6517

stamps.com
L30508.06



87109



50¢
cents
US POSTAGE
FIRST-CLASS
06250008588899

golf

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

HUTCHINSON TERRY SCOTT
10947 CARRETA DR NW
ALBUQUERQUE NM 87114-6504

stamps.com
L30508.09



87109



50¢
cents
US POSTAGE
FIRST-CLASS
06250008588899

gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MIRABAL MICHAEL D & MIRABAL
CATHY F
10951 CARRETA DR NW
ALBUQUERQUE NM 87114-6504



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CANNOLES JOHN C & DAWN R
TRUSTEES CANNOLES RVT
10909 CARRETA DR NW
ALBUQUERQUE NM 87114-6504



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MAGGIO MICHAEL & JOANN
10920 CARRETA DR NW
ALBUQUERQUE NM 87114



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

SERNA MIKE R IRREVOCABLE LVT
10812 OLYMPIC ST NW
ALBUQUERQUE NM 87114-5429



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

LOPEZ DAVID M & CASSANDRA F
11008 CARRETA DR NW
ALBUQUERQUE NM 87114



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

WHEELER STEPHEN C & MARCIA L
4524 BENTON AVE NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

EISENZIMMER STEPHEN J & GRIEGO
JOANN
4608 BENTON AVE NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

TRUJILLO CARLOS & GALLEGOS
CAROLINE A
10928 CARRETA DR NW
ALBUQUERQUE NM 87114-6506



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

RAINWATER KATHRYN M & CHARLES T
CO-TRUSTEES RAINWATER FAMILY
TRUST
4509 NOCHE CLARA AVE NW
ALBUQUERQUE NM 87114-5599



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

TRUJILLO KAREN CHRISTINE
4512 BENTON AVE NW
ALBUQUERQUE NM 87114-5042



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

SANDOVAL NICK A & DEBBIE L
12009 SULLIVAN CT NW
ALBUQUERQUE NM 87114-6535



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

POIRIER STEVE & SANDRA B
12000 SULLIVAN CT NW
ALBUQUERQUE NM 87114



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

BROCKMAN JASON A & TURNER
DAWN M
4543 BARRET, AVE NW
ALBUQUERQUE NM 87114-6527



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

BACA DEBORAH C/O TAFOYA LEO
4505 NOCHE CLARA AVE NW
ALBUQUERQUE NM 87114-5599



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

THIERJUNG NELSON P & EVA S
12005 SULLIVAN CT NW
ALBUQUERQUE NM 87114-6535



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

SUNNY PROPERTIES LLC C/O MASON
WELLS (MEMBER)
5901J WYOMING BLVD NE #302
ALBUQUERQUE NM 87109-3838

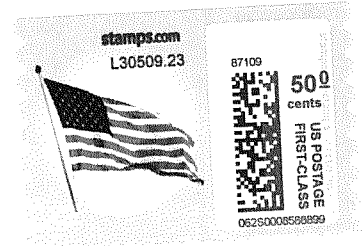


gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

ISSUES JAMES A & MARY JO
4424 CAMPO DE MAIZ RD NW
ALBUQUERQUE NM 87114



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CALABAC ILLAS GROUP C/O DONALD
HARVILLE
3301R COORS BLVD NW 305
ALBUQUERQUE NM 87120-1229



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

LOPEZ RANDY R & ELIZABETH C
10613 EASY PL NW
ALBUQUERQUE NM 87114-5075



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

JUAREZ EDELMIRA
10805 OLYMPIC ST NW
ALBUQUERQUE NM 87114-5459



gan

TIERRA WEST, LLC

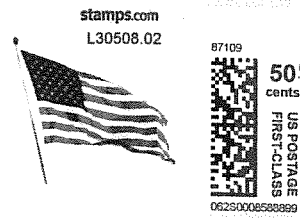
5571 Midway Park Place NE
Albuquerque, NM 87109

PIKE MARK S & LOSEE ANN R
10919 FAROLA DR NW
ALBUQUERQUE NM 87114-6501



TIERRA WEST, LLC

JEFFERSON DOMINIC I
12019 SULLIVAN CT NW
ALBUQUERQUE NM 87114-6535



TIERRA WEST, LLC

SANCHEZ ANTHONY & KATHERINE
10916 CARRETA DR NW
ALBUQUERQUE NM 87114-6506



TIERRA WEST, LLC

HOLT CAROL J
4408 NOCHE CLARA AVE NW
ALBUQUERQUE NM 87114-6536



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MYERS DYLAN & OSTERHOLT MISTY
10809 OLYMPIC ST NW
ALBUQUERQUE NM 87114-5459



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

SOLADAY JOHN W & LYNELL J
10915 FAROLA DR NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

LISENBEE MICHAEL P & ANDREA S
4415 CAMPO DE MAIZ RD NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

ROJAHN JANET R & HORTON WILLIAM
J
4419 CAMPO DE MAIZ RD NW
ALBUQUERQUE NM 87114-6502

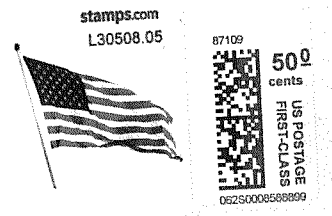


gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

KOHLMEYER KRISTOPHER O & ANGEL
M
10605 OLYMPIC PL NW
ALBUQUERQUE NM 87114-5032



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

DARROW KRISTOFER
12014 SULLIVAN CT NW
ALBUQUERQUE NM 87114-6535



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CORTEZ AMOS J & ESTHER TRUSTEES
CORTEZ RVT
6400 CHRISTY AVE NE
ALBUQUERQUE NM 87109-4008

stamps.com
L30507.12



87109
50[¢]
cents
US POSTAGE
FIRST-CLASS
0625000858899

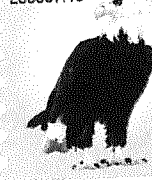
gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

HIRSCH GARY N & BARBARA L
10927 FAROLA DR NW
ALBUQUERQUE NM 87114

stamps.com
L30507.15



87109
50[¢]
cents
US POSTAGE
FIRST-CLASS
0625000858899

gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

NOEK AKITA & RACHEL M
4420 CAMPO DE MAIZ RD NW
ALBUQUERQUE NM 87114-6503

stamps.com
L30508.14



87109
50[¢]
cents
US POSTAGE
FIRST-CLASS
0625000858899

gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

BREEDEN CHARLES & CHARLOTTE S
10905 CARRETA DR NW
ALBUQUERQUE NM 87114-6504



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

TRUJILLO ROBERT J & MERLINDA
10610 EASY PL NW
ALBUQUERQUE NM 87114-5008



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

KINNEY JEFFREY S & RENEE E
10923 FAROLA DR NW
ALBUQUERQUE NM 87114



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

GONZALEZ JULIO C & MARIA T
12008 SULLIVAN CT NW
ALBUQUERQUE NM 87114



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MEZA DANIEL G SR & SUSAN M CO-
TRUSTEES MEZA TRUST
8705 SILVERCREST CT NW
ALBUQUERQUE NM 87114-6224



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CALABAC ILLAS GROUP C/O DONALD
HARVILLE
3301R COORS BLVD NW 305
ALBUQUERQUE NM 87120-1229

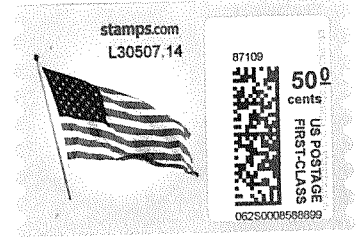


gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MORGAN KRISTEN
10923 CARRETA DR NW
ALBUQUERQUE NM 87114-6504

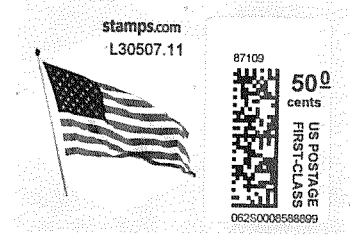


gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CHAVEZ EDWARD J
10609 OLYMPIC PL NW
ALBUQUERQUE NM 87114-5032



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

LOVATO KARLA
10900 CARRETA DR NW
ALBUQUERQUE NM 87114



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

stamps.com
L30509.03



87109
50¢
cents
US POSTAGE
FIRST-CLASS
0625000858899

gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MARSHA E KEARNEY & JOHN R
10927 CARRETA DR NW
ALBUQUERQUE NM 87114-6504

stamps.com
L30507.16



87109
50¢
cents
US POSTAGE
FIRST-CLASS
0625000858899

gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

PEREZ ARMANDO & MARIA M
10804 OLYMPIC ST NW
ALBUQUERQUE NM 87114

stamps.com
L30507.19



87109
50¢
cents
US POSTAGE
FIRST-CLASS
0625000858899

gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

LOPEZ STEVEN C & GOLDBERG
MELANIE A
10935 CARRETA DR NW
ALBUQUERQUE NM 87114-6504



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

COFFMAN ERIN M
11000 CARRETA DR NW
ALBUQUERQUE NM 87114



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

WHITE RICHARD L
12015 SULLIVAN CT NW
ALBUQUERQUE NM 87114

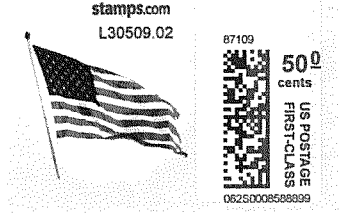


gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

Sandoval Larry W SR & Sherri A
10943 Carreta DR NW
ALBUQUERQUE NM 87114-5075



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

FIFE JOHN WAYNE & MARSHA YVETT
10932 CARRETA DR NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

SERNA MIKE R IRREVOCABLE LVT
10812 OLYMPIC ST NW
ALBUQUERQUE NM 87114-5429



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

GEORGE MICHAEL & GEORGE JAMES
11005 CARRETA DR NW
ALBUQUERQUE NM 87114-6517



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MCCORMACK DANIEL J & VICTORIA M
10919 CARRETA DR NW
ALBUQUERQUE NM 87114-6504



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

SUNNY PROPERTIES LLC
5901J WYOMING BLVD NE #302
ALBUQUERQUE NM 87109-3838



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MEDINA ANDREA R
12004 SULLIVAN CT NW
ALBUQUERQUE NM 87114



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

DIETZ MICHAEL W & DEBORAH L
10908 CARRETA DR NW
ALBUQUERQUE NM 87114-6506



gaw

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

JAEGER JACK J II
4516 BENTON AVE NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE NM 87107-1836

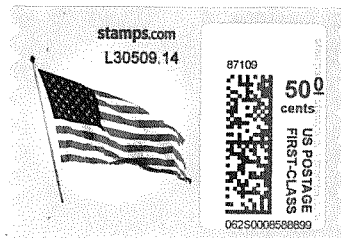


gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

FILMER EDWARD J II
4508 BENTON AVE NW
ALBUQUERQUE NM 87114-5042



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CALABACILLAS GROUP
3301R COORS BLVD NW 305
ALBUQUERQUE NM 87120-1229

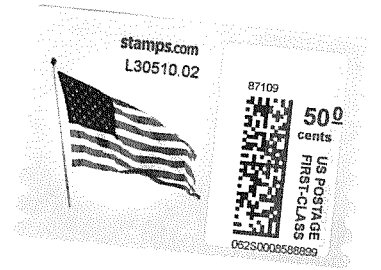


gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

CALDERON MARY LOU C
10915 CARRETA DR NW
ALBUQUERQUE NM 87114



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

VIOLA STEPHEN W & KAREN C
11001 CARRETA DR NW
ALBUQUERQUE NM 87114



gall

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

SERDA ADRIANA M
4520 BENTON AVE NW
ALBUQUERQUE NM 87114-5042



gal

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

JONES COLTON W
4604 BENTON AVE NW
ALBUQUERQUE NM 87114-5447



gal

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MURRIETA JAMES P JP TYRA J
TRUSTEES MURRIETA RVT
10940 CARRETA DR NW
ALBUQUERQUE NM 87114-6506



gal

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

REES PAUL J & DEBORAH A
10931 CARRETA DR NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

WARD LARRY A & GERALDINE S
4501 NOCHE CLARA AVE NW
ALBUQUERQUE NM 87114



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE NM 87107-1836



gan

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

MCMILLAN BEVERLY A & LENNARD C
10939 CARRETA DR NW
ALBUQUERQUE NM 87114



5571 Midway Park Place NE
Albuquerque, NM 87109



BWB

TERRA WEST, LLC

Sandoval Larry SR & Sherri
10943 Carreta Dr NW
Albuquerque, NM 87114



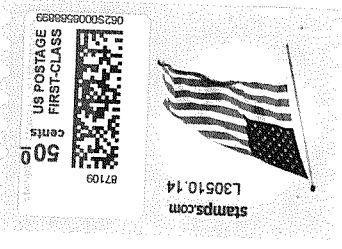
5571 Midway Park Place NE
Albuquerque, NM 87109



BWB

TERRA WEST, LLC

Lopez Randy & Elizabeth
10613 Easy Pl NW
Albuquerque, NM 87114



5571 Midway Park Place NE
Albuquerque, NM 87109



BWB

TERRA WEST, LLC

Richard White
12015 Sullivan Ct NW
Albuquerque, NM 87114



5571 Midway Park Place NE
Albuquerque, NM 87109

Kristopher & Angel Kohlmeyer
10605 Olympic Pl NW
Albuquerque, NM 87114

Ball

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

Homes by Kim Brooks Inc
4477 Irving Blvd NW
Albuquerque, NM 87114





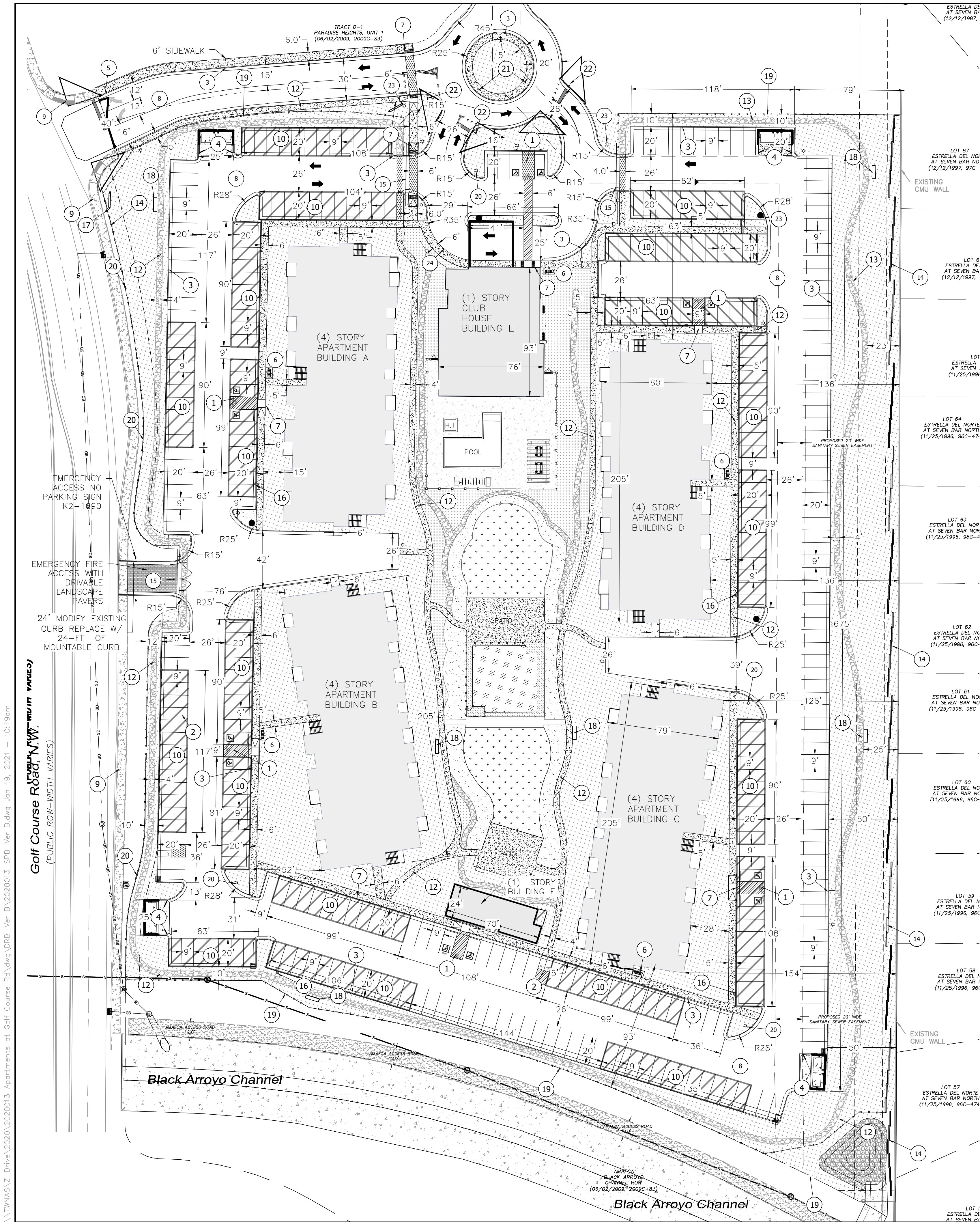
stamps.com
L30510.03

TERRA WEST, LLC

GARCIA LARRY M & AMY C
10936 CARRETA DR NW
ALBUQUERQUE NM 87114

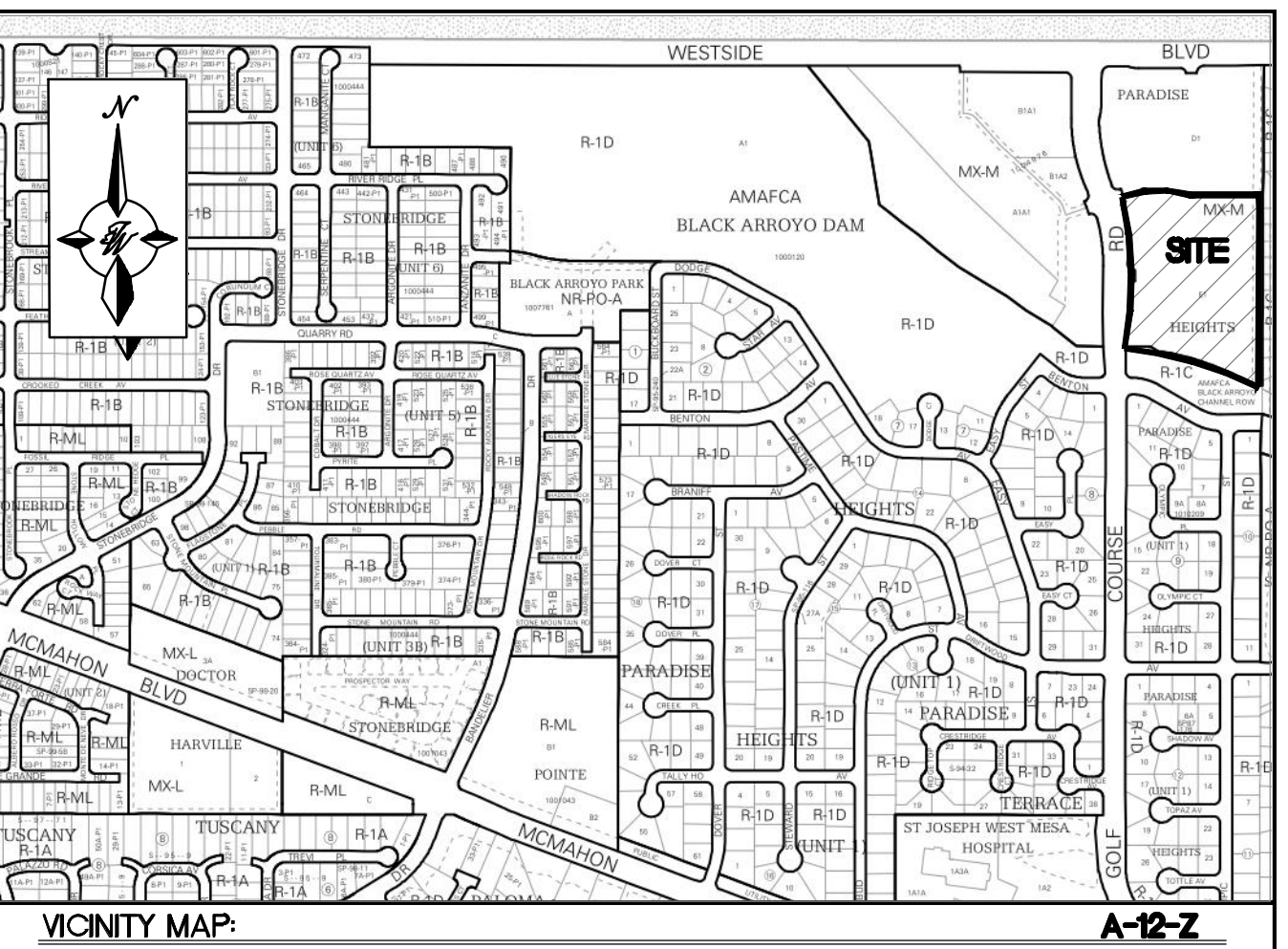
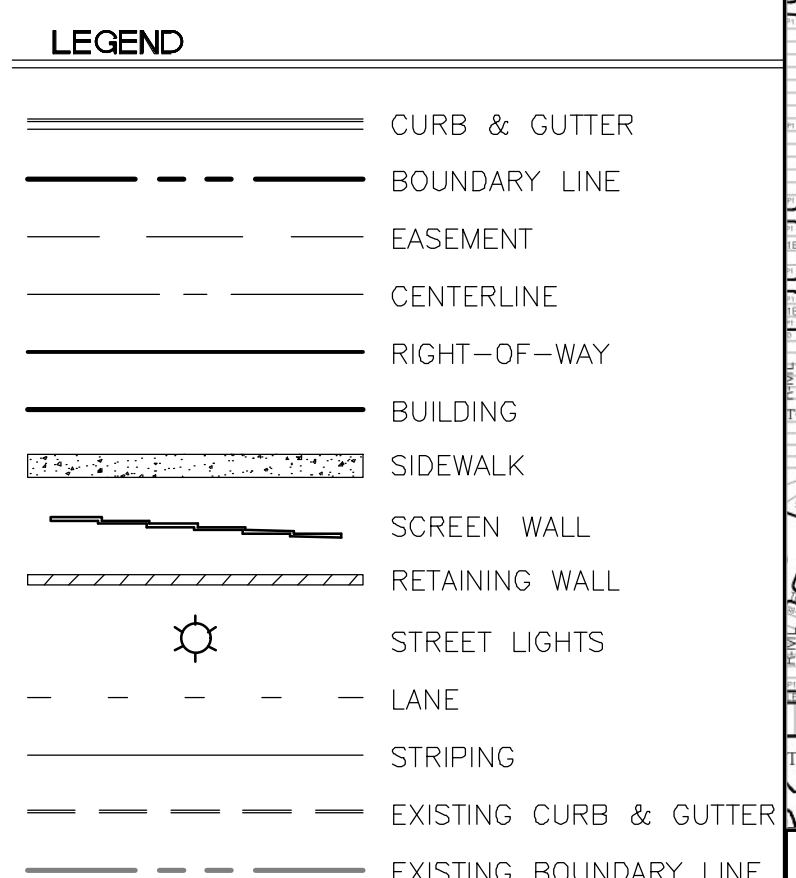
9501

5571 Midway Park Place NE
Albuquerque, NM 87109



KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- 3 CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- 4 DUMPSTER (SEE DETAIL SHT. C4)
- 5 R1-1 36" STOP SIGN
- 6 BICYCLE RACKS (SEE DETAIL SHT. C5)
- 7 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- 8 ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- 9 EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- 10 CARPORT (SEE DETAIL SHT. C7)
- 11 CURB HC RAMP (SEE DETAIL SHT. C4)
- 12 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 13 5' CRUSHED GRAVEL TRAIL
- 14 6-FT CMU SCREEN WALL (SEE DETAIL SHT. C6)
- 15 GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7)
- 16 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT. 7)
- 17 MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- 18 PARK BENCH (SEE ARCH. DETAIL SHT.)



LEGAL DESCRIPTION:

TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1

- 21 ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- 22 R1-2 YIELD SIGN
- 23 STREET LIGHT (SEE DETAIL SHT 6.)
- 24 ZERO CURB (SEE DETAIL SHT 4.)

FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA
1ST FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,747 S.F.	59 S.F.	61 S.F.	71 S.F.	15,025 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOM	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL					13 APARTMENTS	13,087 S.F.						

BUILDING AREAS

APARTMENT BUILDINGS (4 STORIES EA.)
 BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)
 TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)

CLUB HOUSE BUILDING "E" (1 STORY)

CLUB HOUSE AREA: 7,725 S.F.

BUILDING "F" (1 STORY)

AREA: 1,680 S.F.

TOTAL BUILDING AREA: 248,269 S.F.

TOTAL CARPORT AREA: 37,417 S.F.

PARKING REQUIRED PER THE IDO

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT
 208 UNITS x 1.5 = 312
 SPACES REQUIRED = 312
 ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)
 MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES
 BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:
 312 x 10% = 32 BICYCLE PARKING SPACES
 ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

OPEN SPACE CALCULATIONS

(1BR: 200 SQ. FT. / UNIT)
 (2BR: 250 SQ. FT. / UNIT)
 TOTAL = 128*200 + 80*250 = 45,600 SQ. FT.
 PROVIDED = 144,030 SQ. FT.

PARKING PROVIDED:

CARPORT PARKING SPACES: 52 SPACES
 BUILDING "A": 52 SPACES
 BUILDING "B": 52 SPACES
 BUILDING "C": 52 SPACES
 BUILDING "D": 52 SPACES
 TOTAL CARPORT PARKING SPACES = 208

REGULAR PARKING SPACES = 154

ACCESSIBLE PARKING SPACES = 12 (2 VAN)
 TOTAL PARKING SPACES PROVIDED = 374
 PROVIDED MOTORCYCLE SPACES = 4 SPACES
 PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)
 ELECTRIC CHARGING STATIONS PROVIDED = 8

MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

INDEX TO DRAWINGS

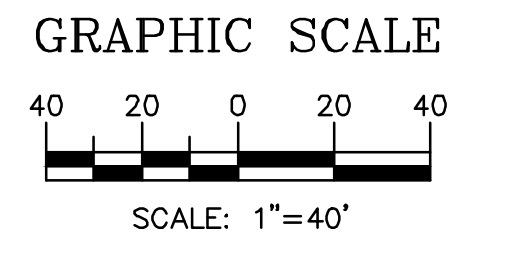
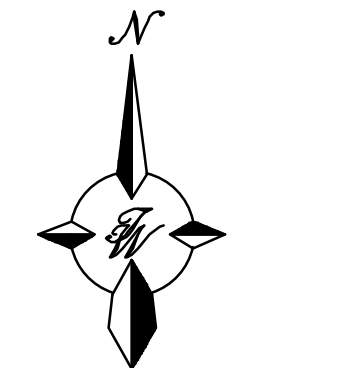
- C1. SITE PLAN
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. CONSTRUCTION DETAILS
- C5. CONSTRUCTION DETAILS
- C6. CONSTRUCTION DETAILS
- C7. CONSTRUCTION DETAILS
- B1. BUILDING ELEVATIONS
- L1. LANDSCAPING PLAN

PROJECT NUMBER: PR-2020-004040
 APPLICATION NUMBER: SI-2020-00540

Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

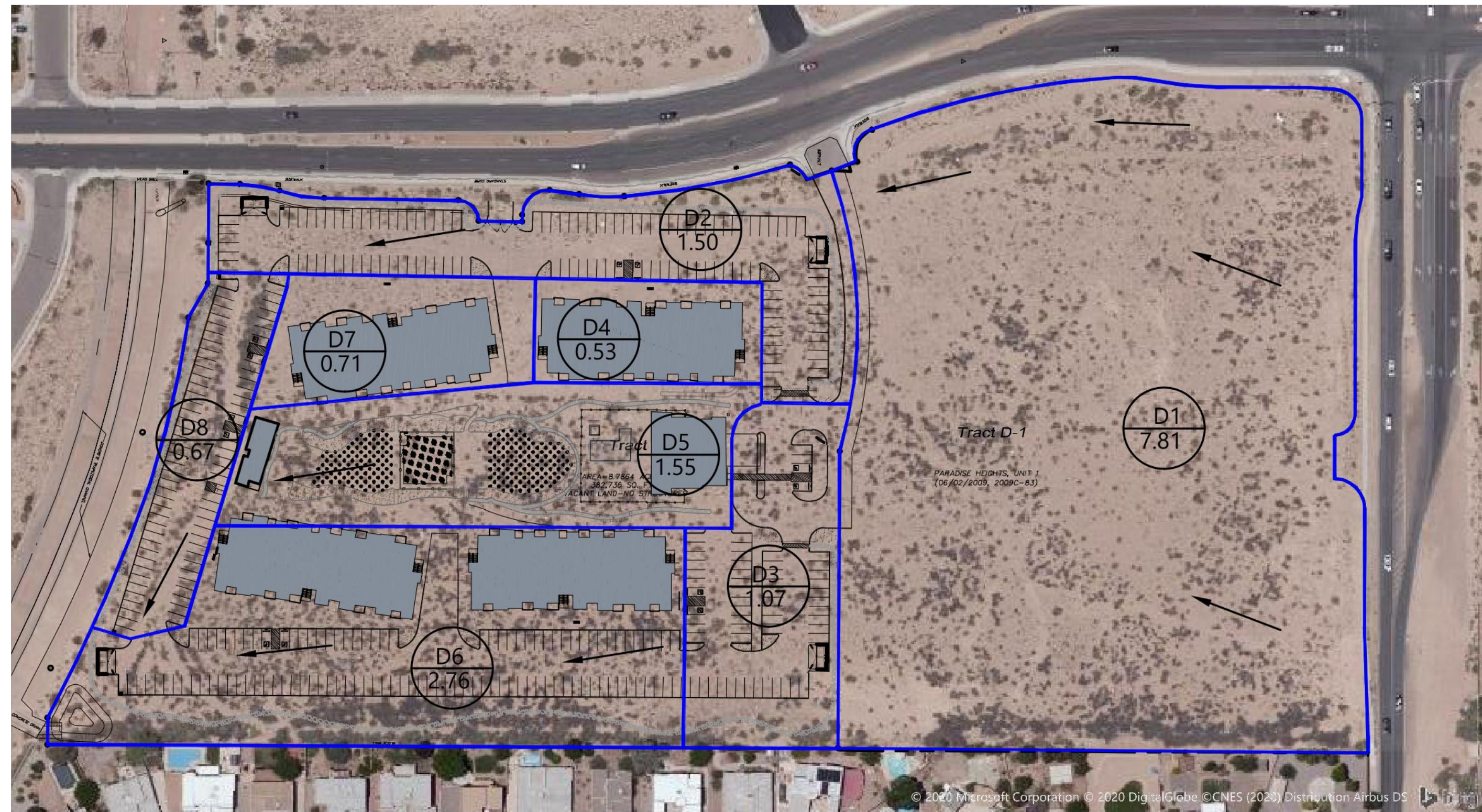
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



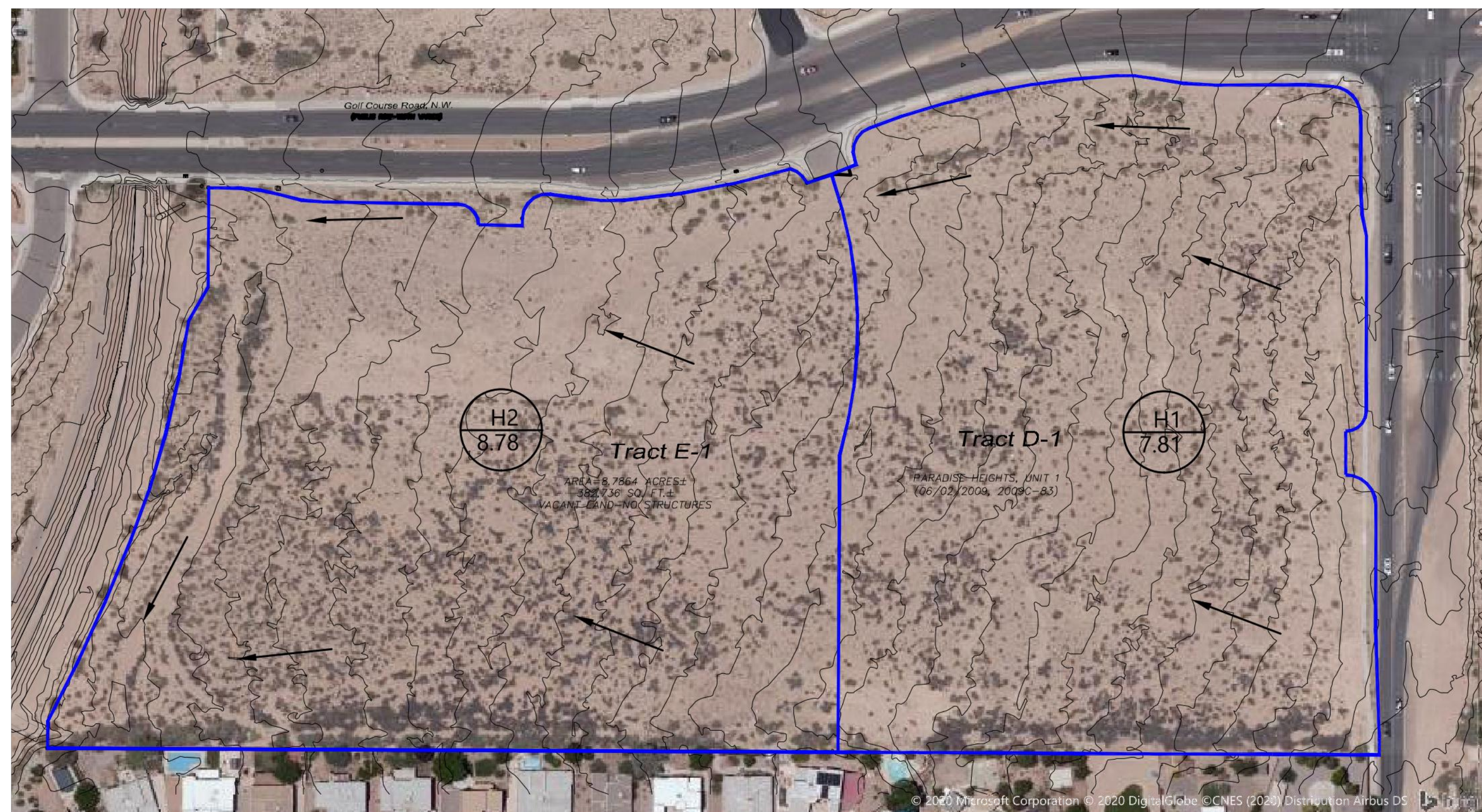
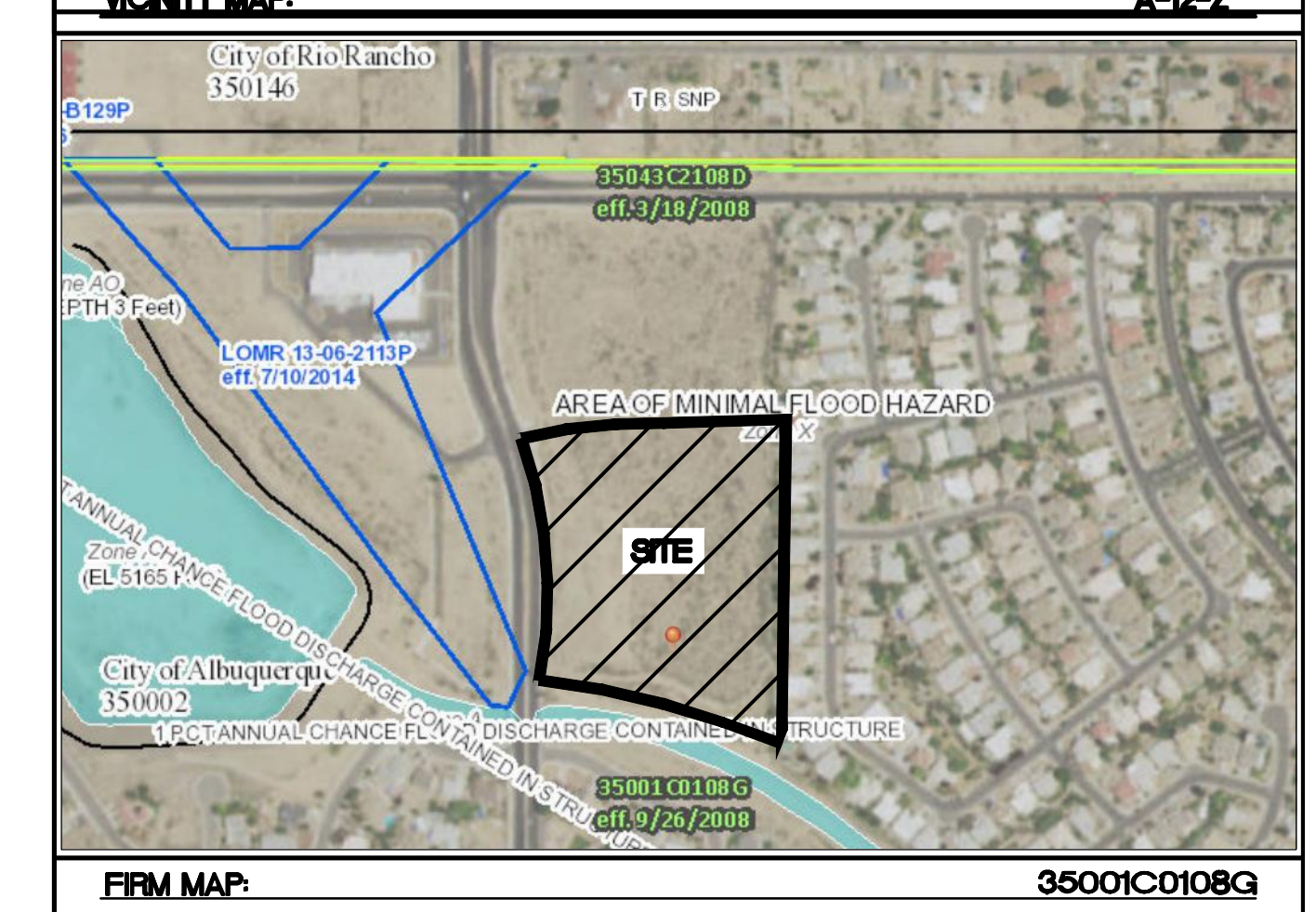
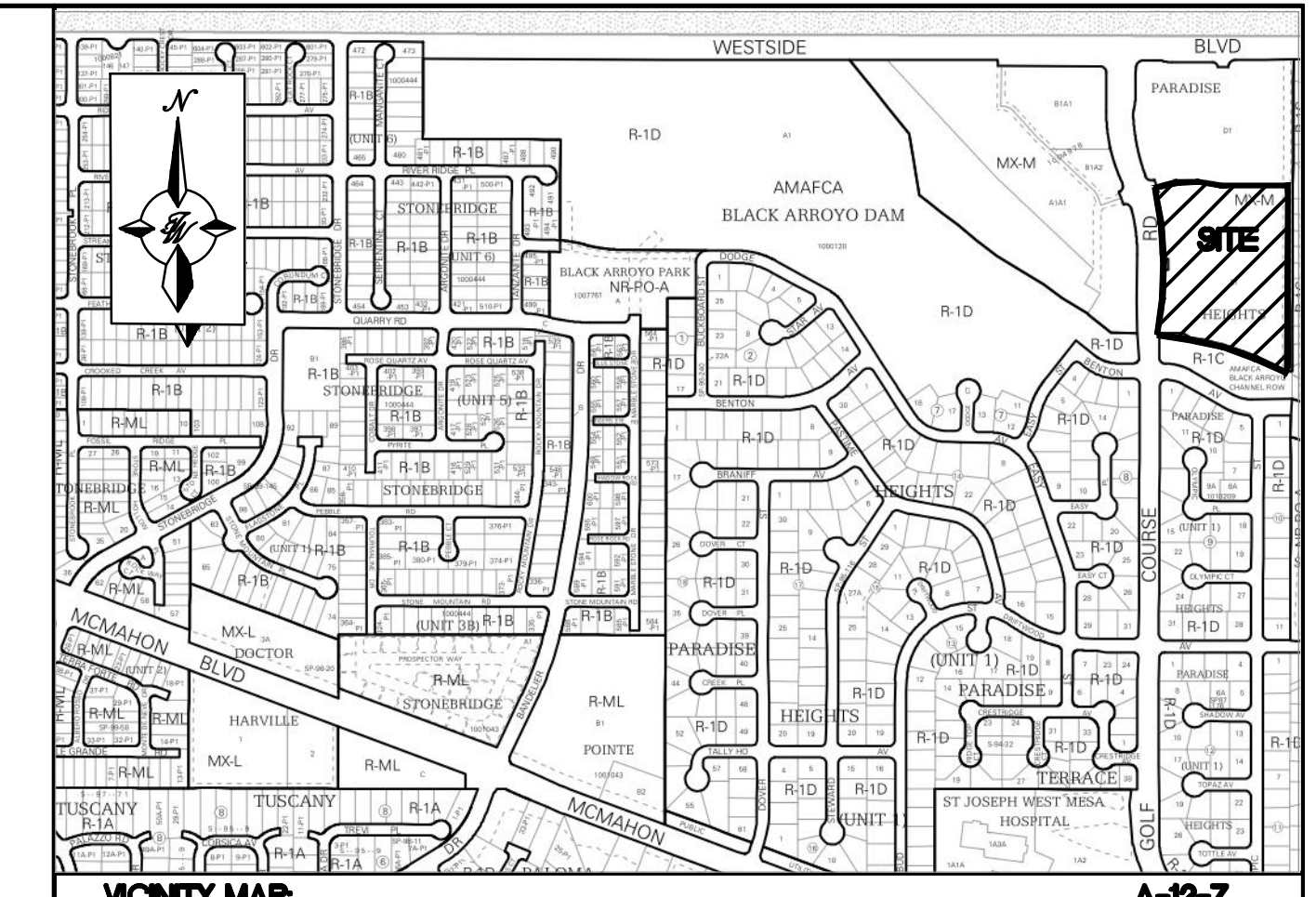
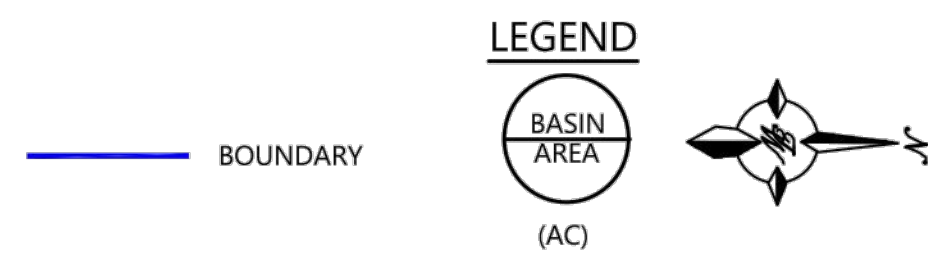
ISSUED FOR DRB (NOT FOR CONSTRUCTION)

	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW SITE PLAN_VER B	DRAWN BY: BF DATE: 1/7/2021 2020013_SPB_VER B SHEET #
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	C1 JOB # 2020013

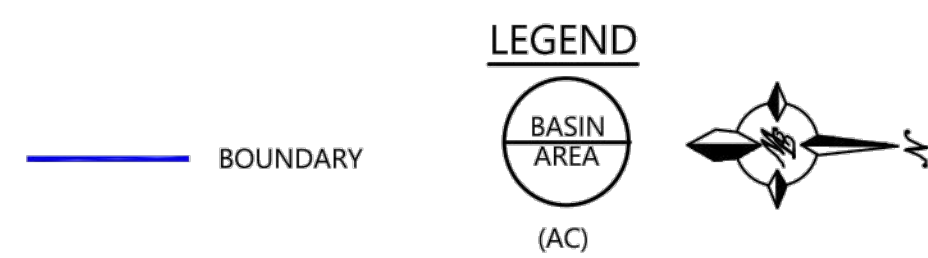
T:\TMS\2020\Drive\2020\2020013 Apartments at Golf Course\Drawings\DRB_Ver.B.dwg, Jan 19, 2021 - 10:19am
 Golf Course Road, N.W. (PUBLIC ROW-WIDTH VARIES)



PROPOSED BASIN MAP
DEVELOPED CONDITION - 10800 GOLF COURSE RD. NW



HISTORIC BASIN MAP
EXISTING CONDITION - 10800 GOLF COURSE RD. NW



Pipe Number	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)
1	30	2.00	4.91	0.625	58.16
2	30	1.00	4.91	0.625	41.13
3	24	2.00	3.14	0.500	32.08
4	24	1.00	3.14	0.500	22.68
5	18	2.00	1.77	0.375	14.90
6	18	1.00	1.77	0.375	10.53

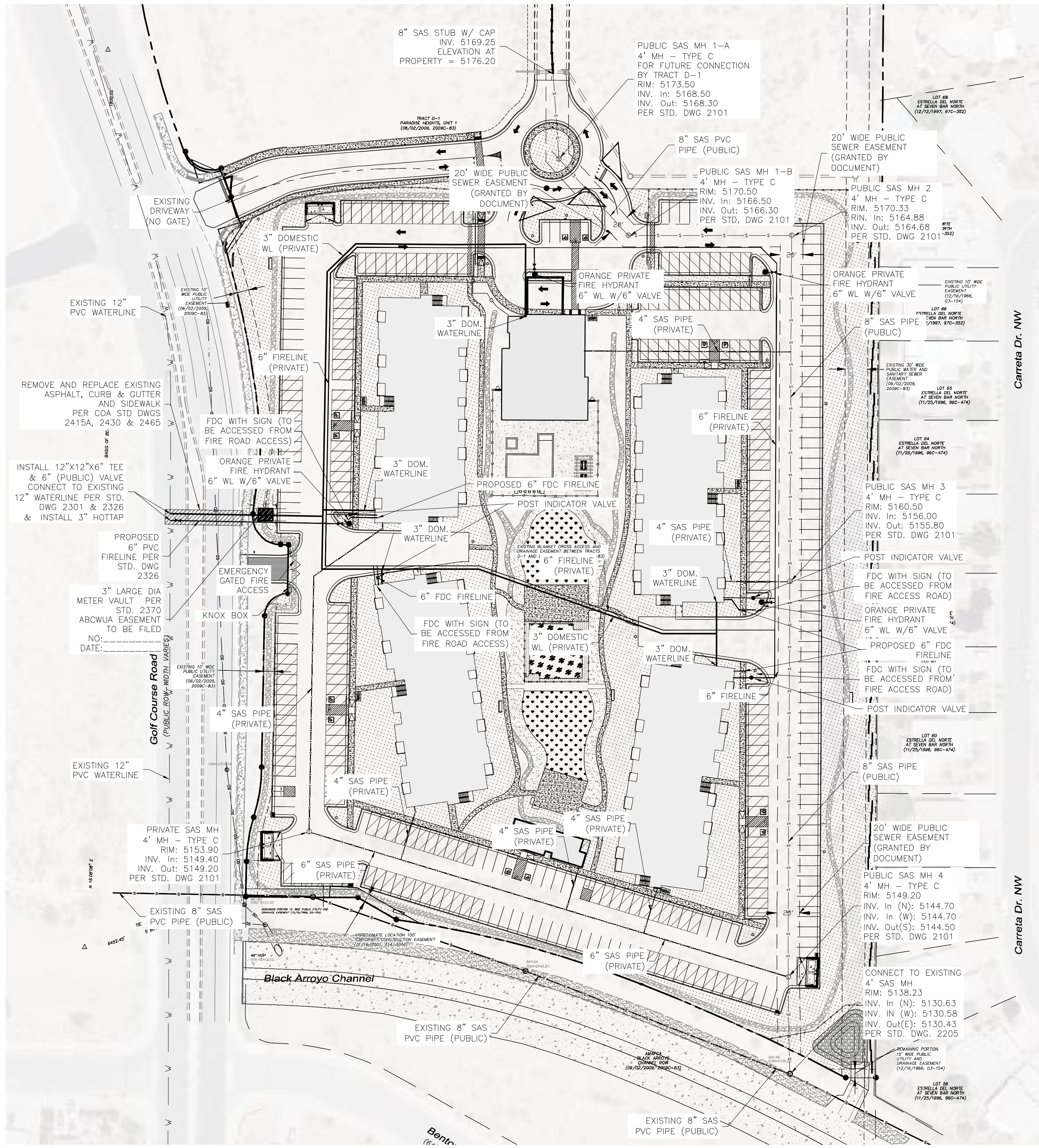
Manning's Equation:
 $Q = 1.49/n * A * R^{2/3} * S^{1/2}$
 A = Area
 R = D/4
 S = Slope
 n = 0.013

Z:\2020\2020013_Apartments at Golf Course_Preliminary\DRB_Ver.B\2020013_GRB_Ver.B.dwg Jun 30, 2020 - 8:02am

PRELIMINARY - NOT FOR CONSTRUCTION

	ENGINEER'S SEAL WINTERGREEN LUXURY APARTMENTS GOLF COURSE RD NE	DRAWN BY BF
	CONCEPTUAL GRADING & DRAINAGE PLAN	DATE 6/26/2020
6/26/2020 RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2-B JOB # 2020013

\\TWS\ASZ_Drive\2020\2020013_Apartments.ctb Golf Course\DRB - MUB_Ver_B.dwg, Jan 18, 2021 - 3:36pm



LEGEND

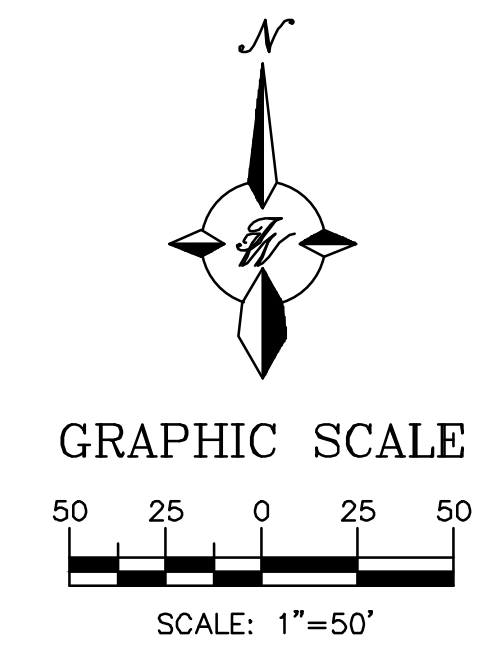
- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- RIGHT-OF-WAY
- ▨ BUILDING
- ▨ SIDEWALK
- ▨ SCREEN WALL
- ▨ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- - - EX. UG — EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS — EXISTING GAS
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EX. 10" WL — EXISTING WATER LINE
- - - EX. 18" RCP — EXISTING STORM SEWER LINE

- WATER NOTES:**
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
 - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
 - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
 - ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
 - ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
 - CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
 - RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
 - ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
 - CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

- GENERAL UTILITY NOTES:**
- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
 - PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
 - AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
 - PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
 - NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
 - CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
 - INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
 - PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
 - P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
 - CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

ABCWUA NOTES:

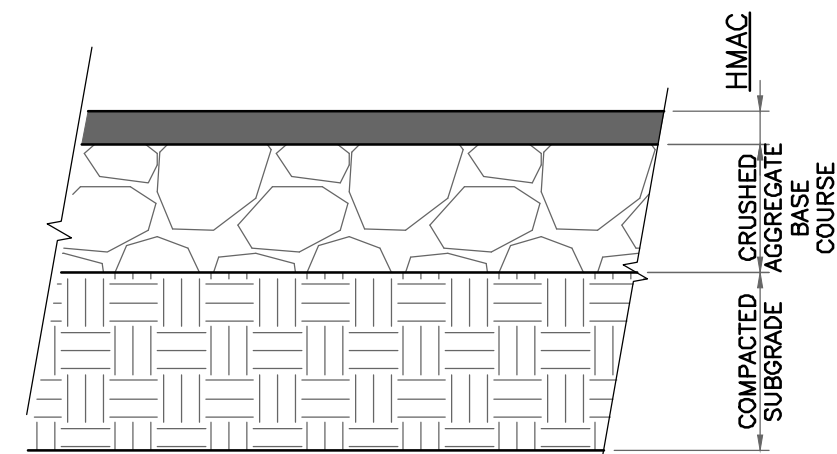
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/483/729/](http://abcwua.org/content/view/full/483/729/)



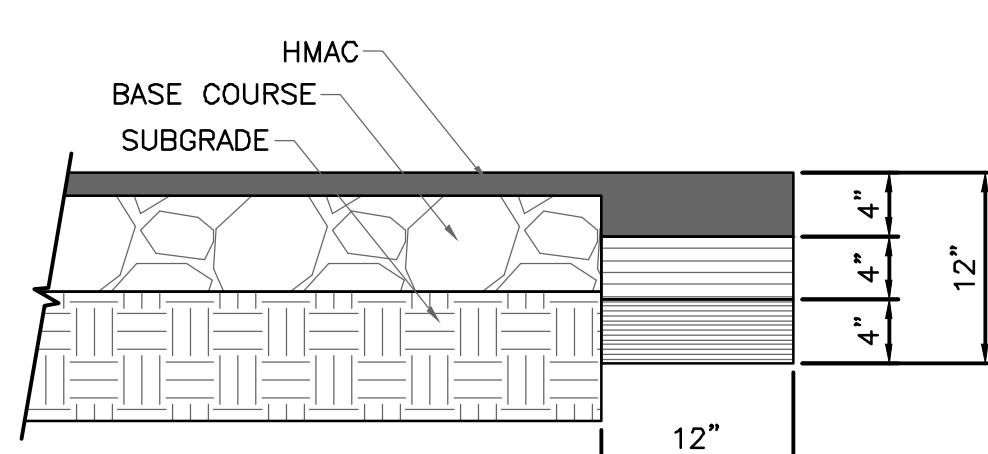
CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	CONCEPT MASTER UTILITY PLAN	DATE 1/7/2021
		2020013_MUB_VER B
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3
RONALD R. BOHANNAN P.E. #7868		JOB # 2020013



PAVEMENT SECTION DETAIL
SCALE: 1"=1'



PAVEMENT TERMINUS
SCALE: 1"=1'

PAVEMENT NOTES

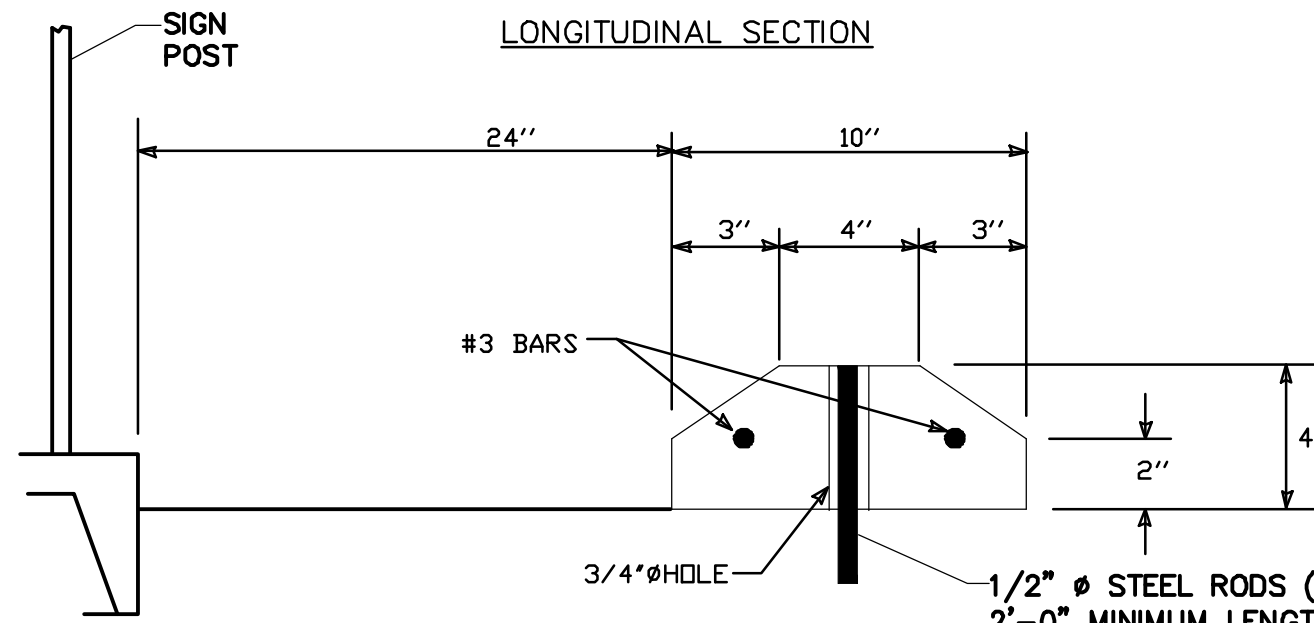
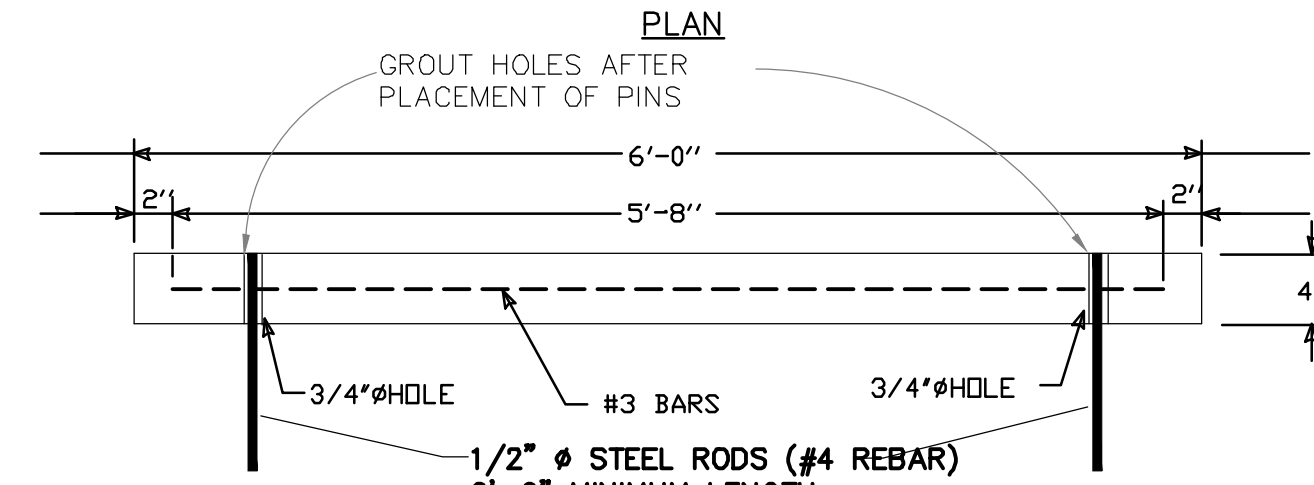
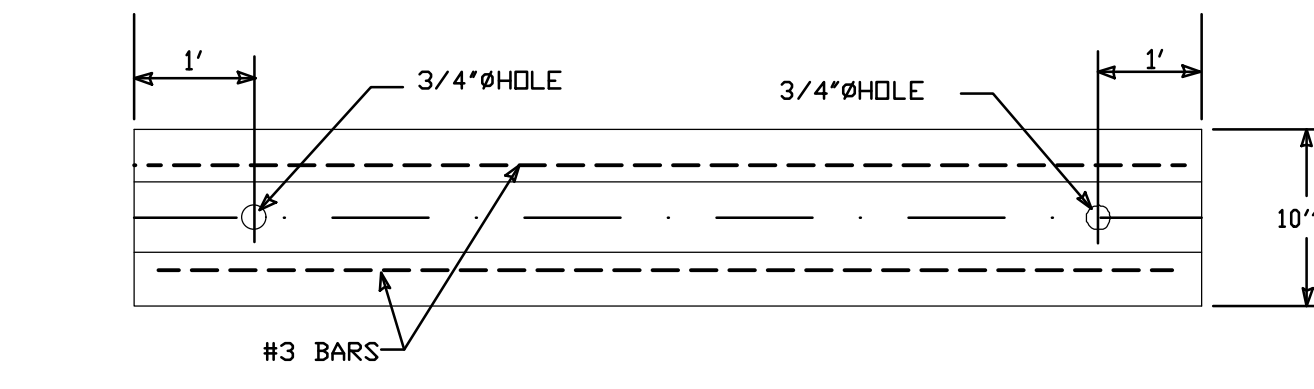
- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

TRENCHING

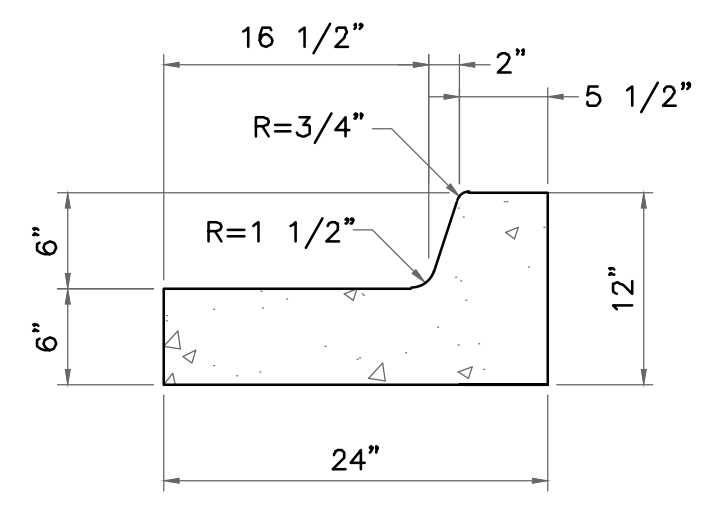
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

NOTE:

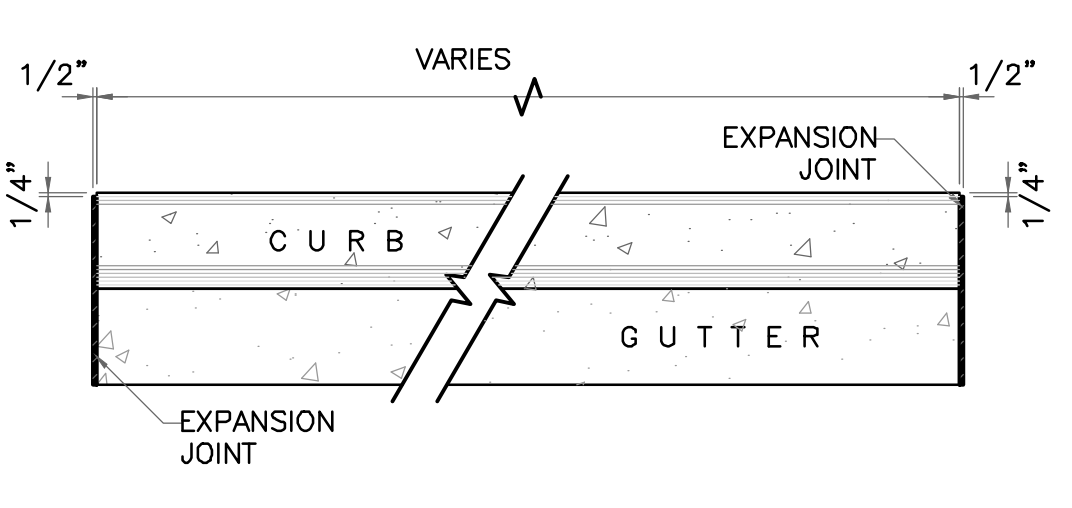
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



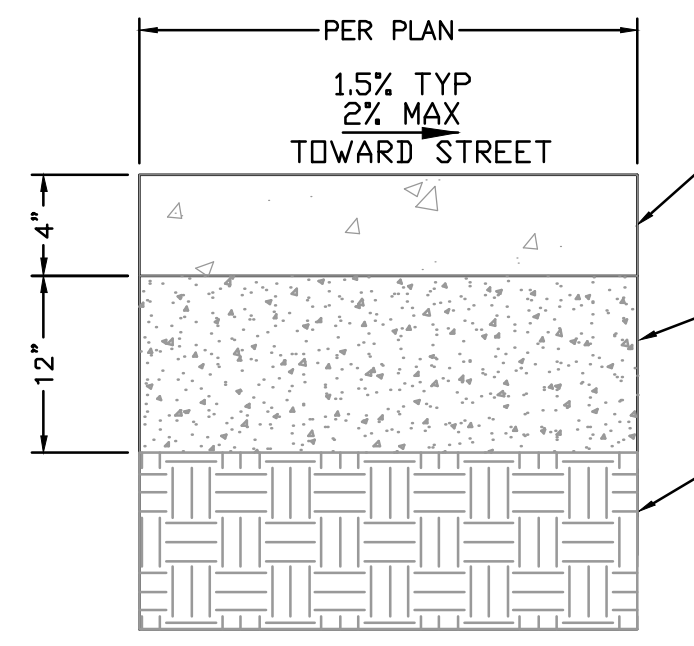
WHEEL STOP



END SECTION

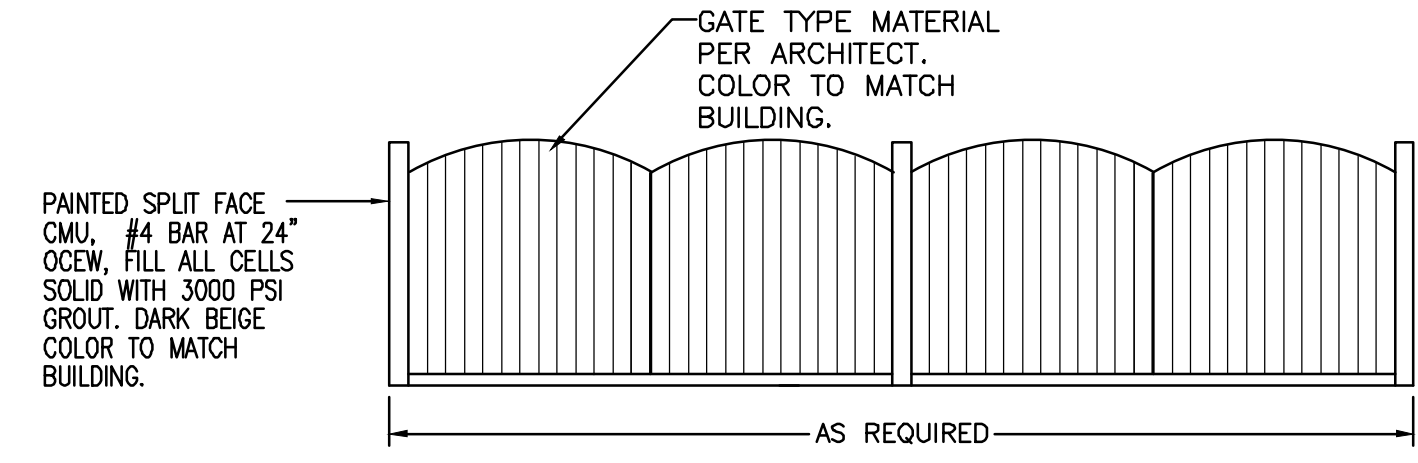


PLAN VIEW



CONCRETE SIDEWALK SECTION

8" SUBGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557
ALL OTHER FILL BELOW PAVEMENT TO BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557

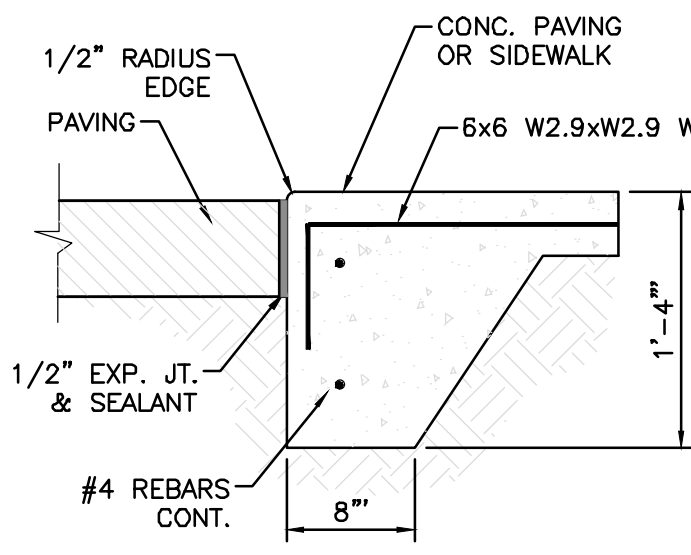


DOUBLE DUMPSTER ENCLOSURE DETAIL

PAINTED SPLIT FACE CMU, #4 BAR AT 24" O.C. MIN. ALL CELLS SOLID WITH 3000 PSI GROUT. DARK BEIGE COLOR TO MATCH BUILDING.

STANDARD 6" CURB & GUTTER DETAIL
SCALE: 1"=1'

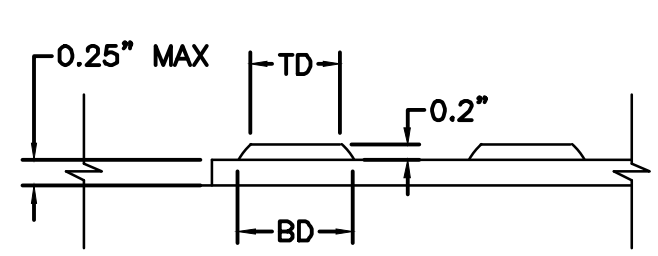
- NOTES:**
- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
 - CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
 - ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
 - CONCRETE: CLASS "A" 3000 PSI.
 - EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
 - THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.



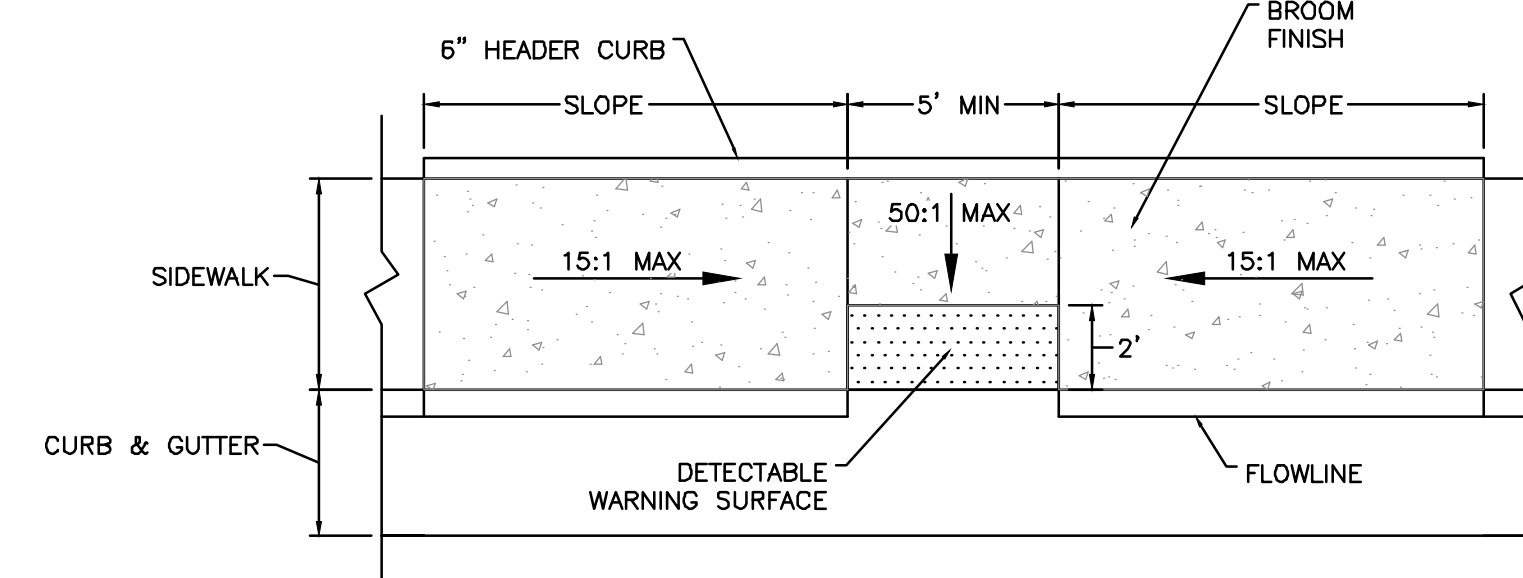
ZERO CURB

NOTES:

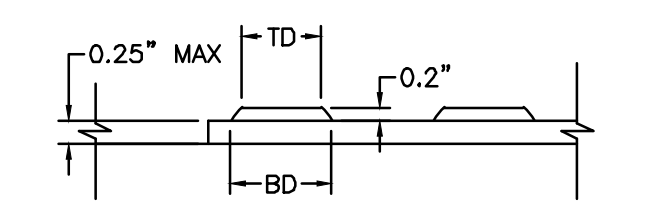
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.



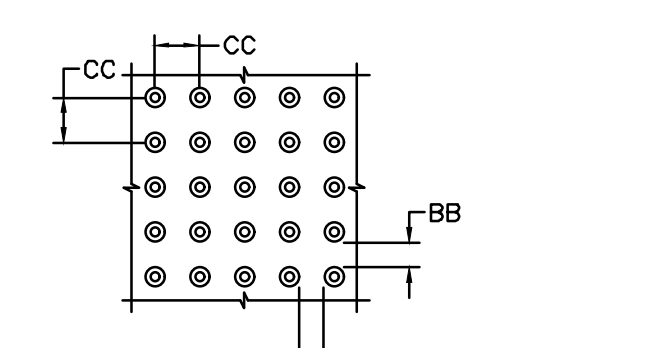
DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



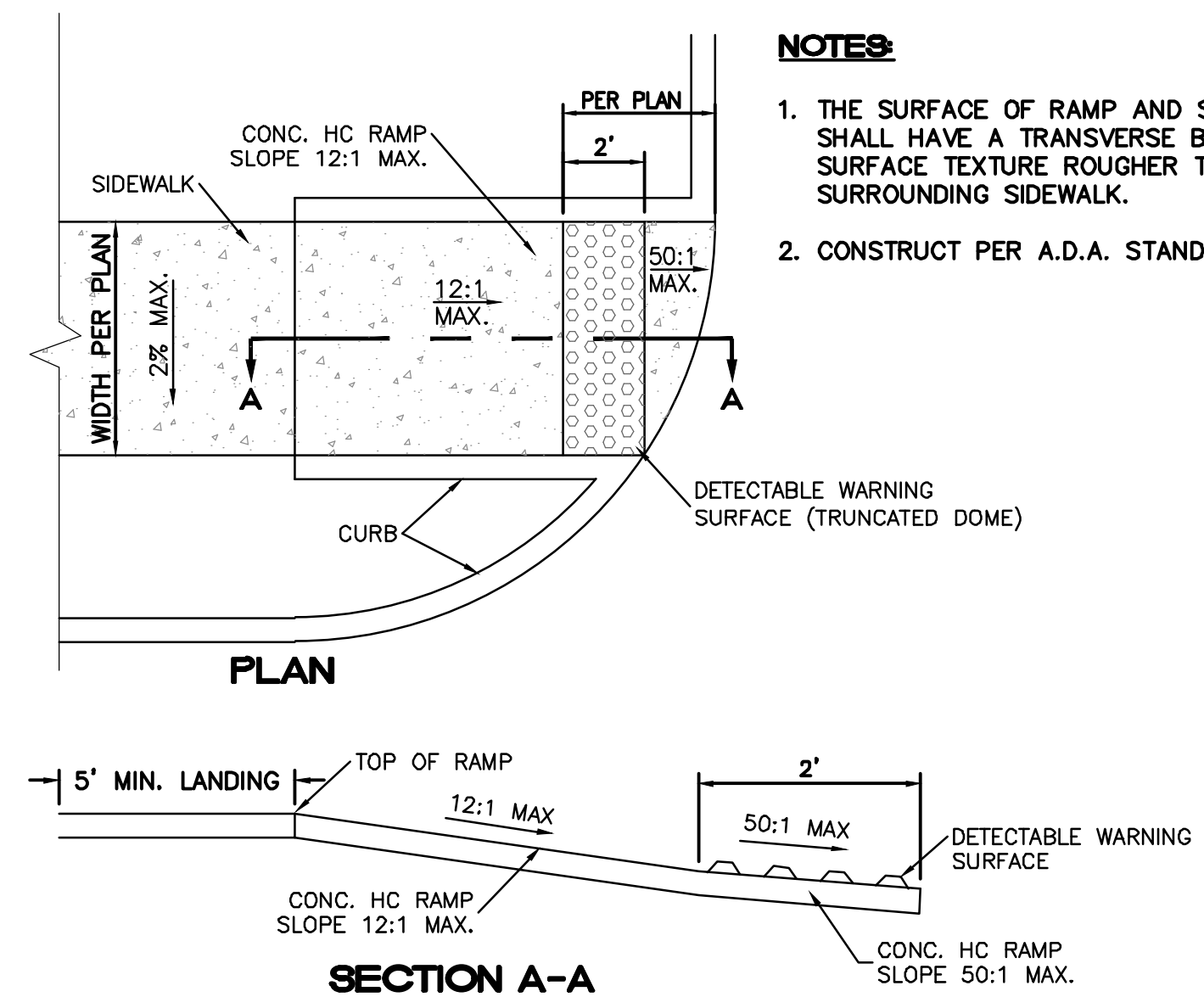
PARALLEL CURB HC RAMP
NOT TO SCALE



DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

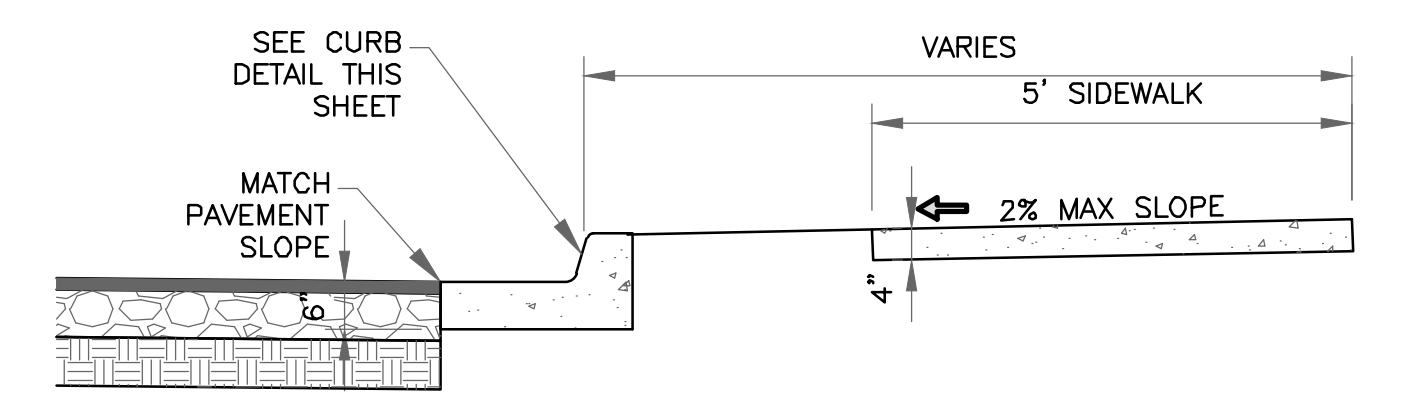


UNIDIRECTIONAL HC RAMP
NOT TO SCALE

NOTES:

- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.

DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

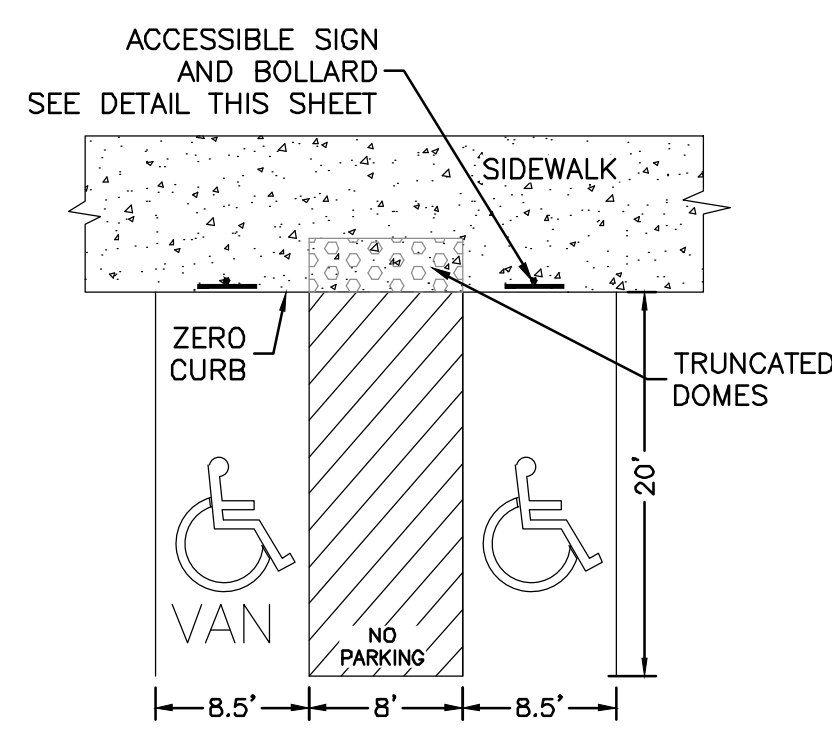


NOTES:

- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

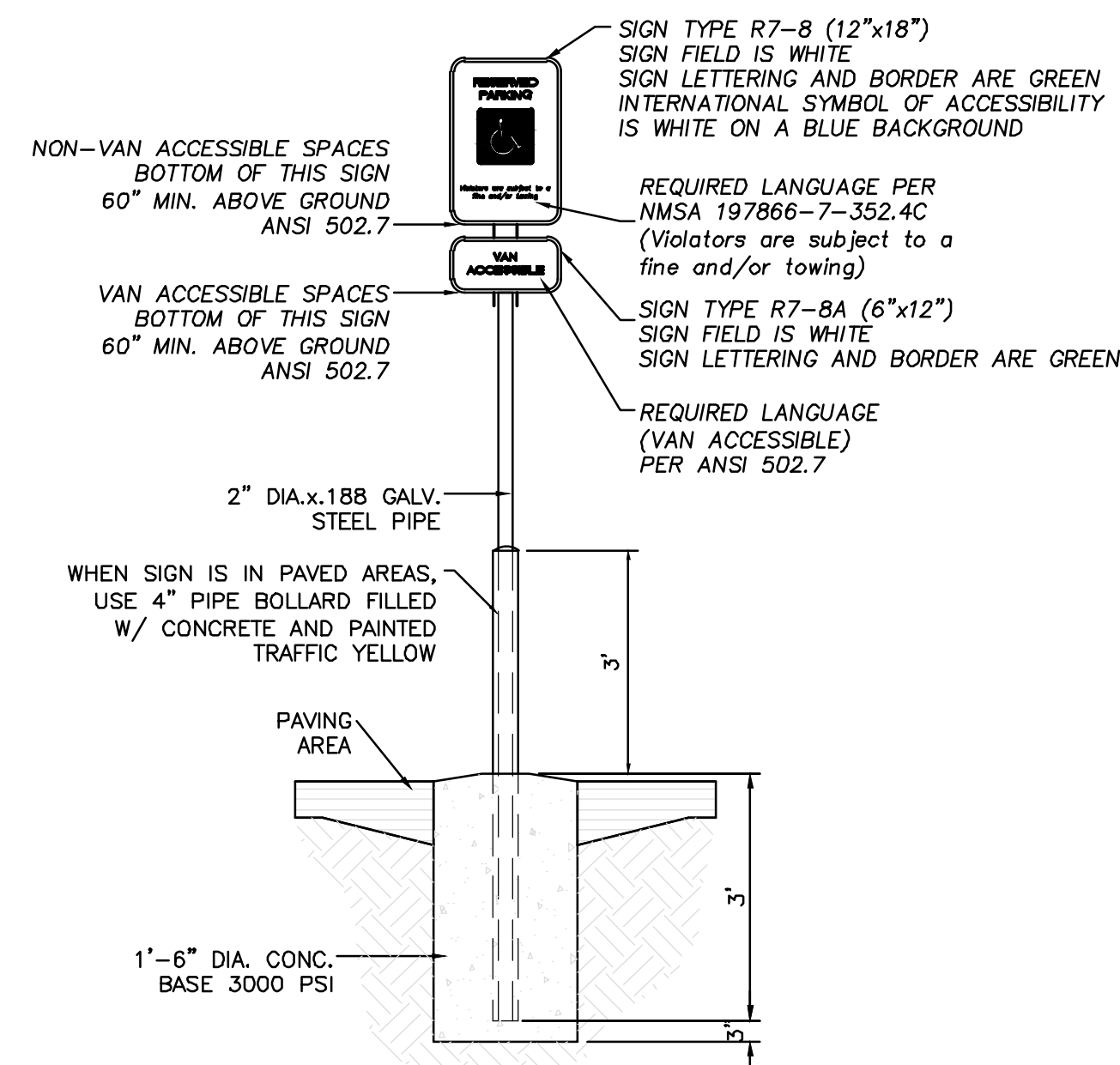
ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	CONSTRUCTION DETAILS 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DATE 1/7/2021
		2020013_DTB_VER B
		SHEET # C4
RONALD R. BOHANNAN P.E. #7868		JOB # 2020013

\\TMSVZ_Drive\2020\2020013_Apartments.ctb Golf Course\DRB_Ver_B\2020013_DTB_Ver_B.dwg Jan 18, 2021 - 3:49pm

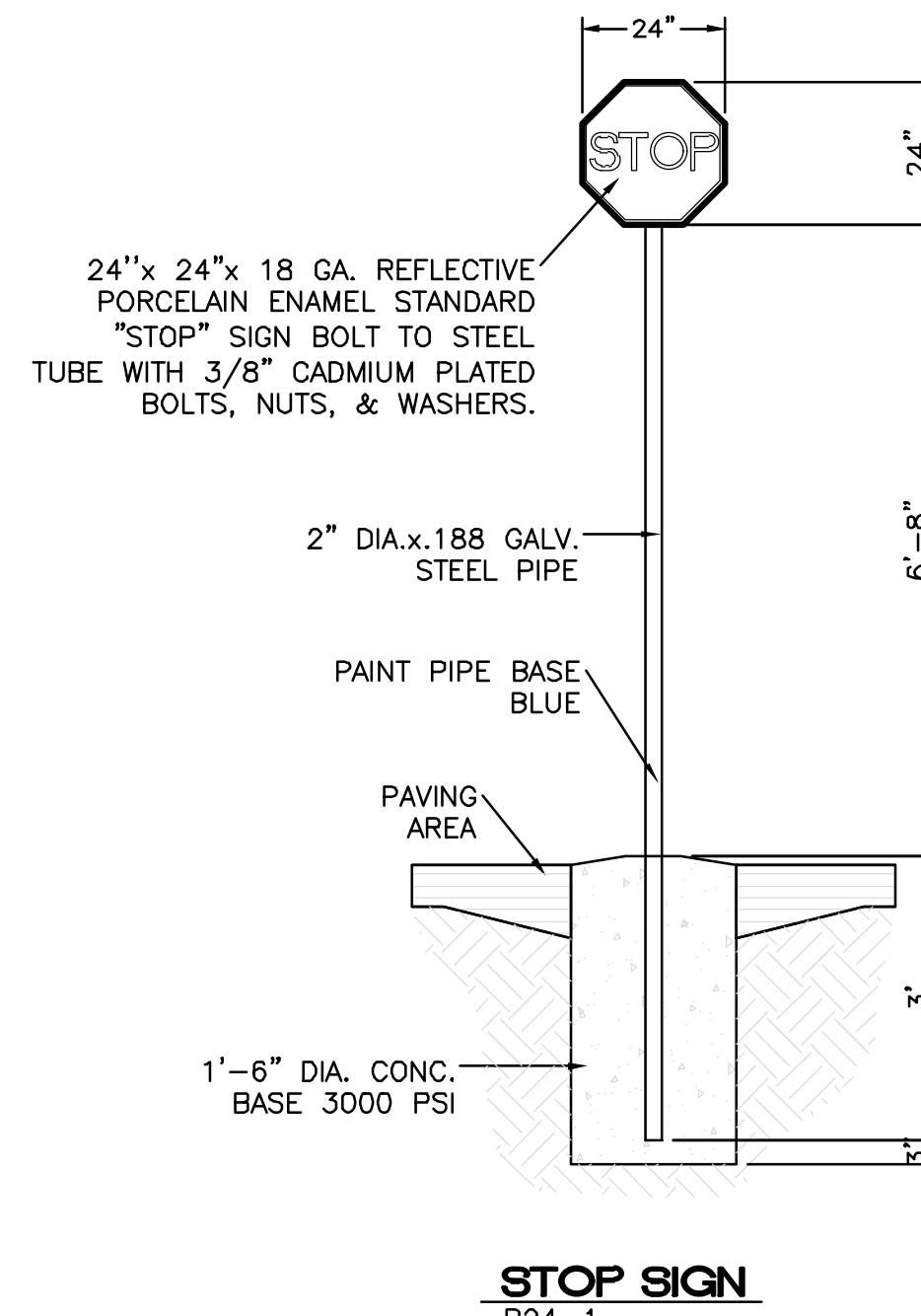


- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
 - 4) ADA parking areas - not to exceed a slope greater than 2% in any direction

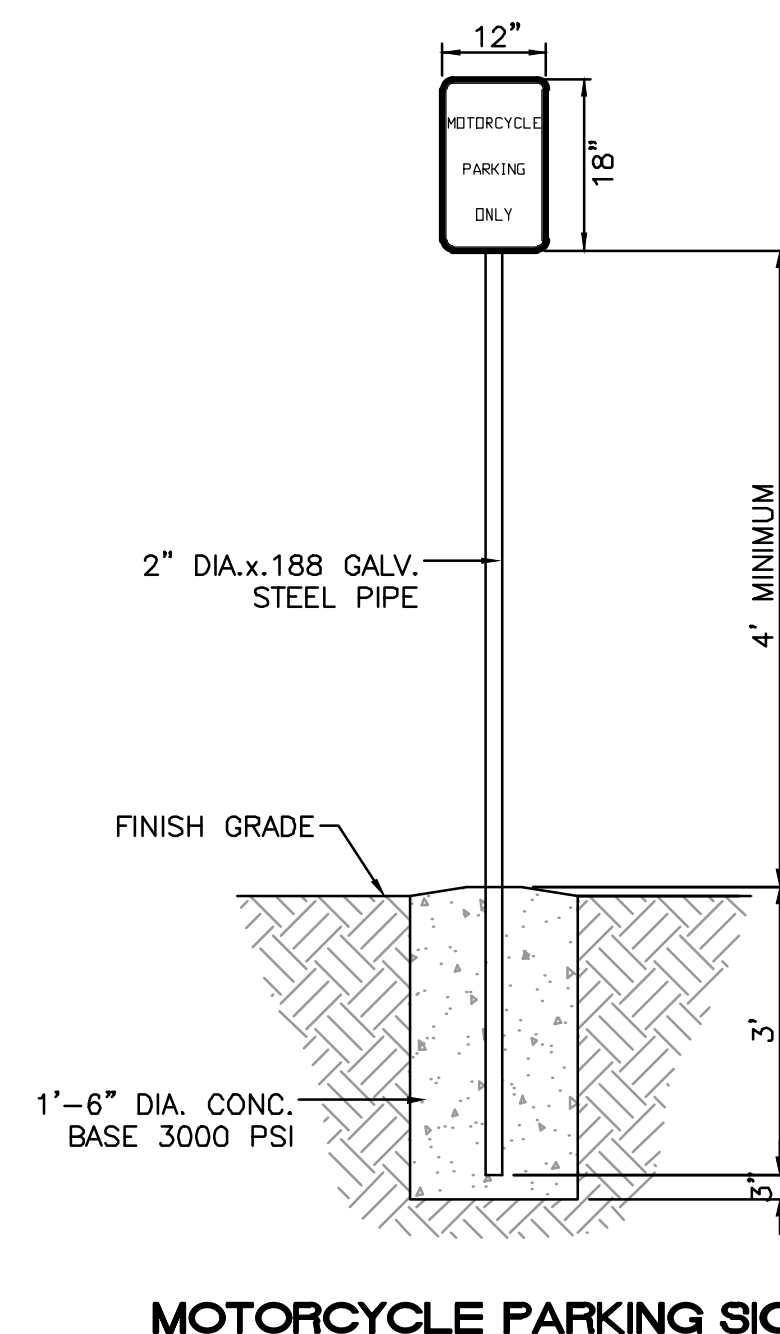
HC PARKING DETAIL
NTS



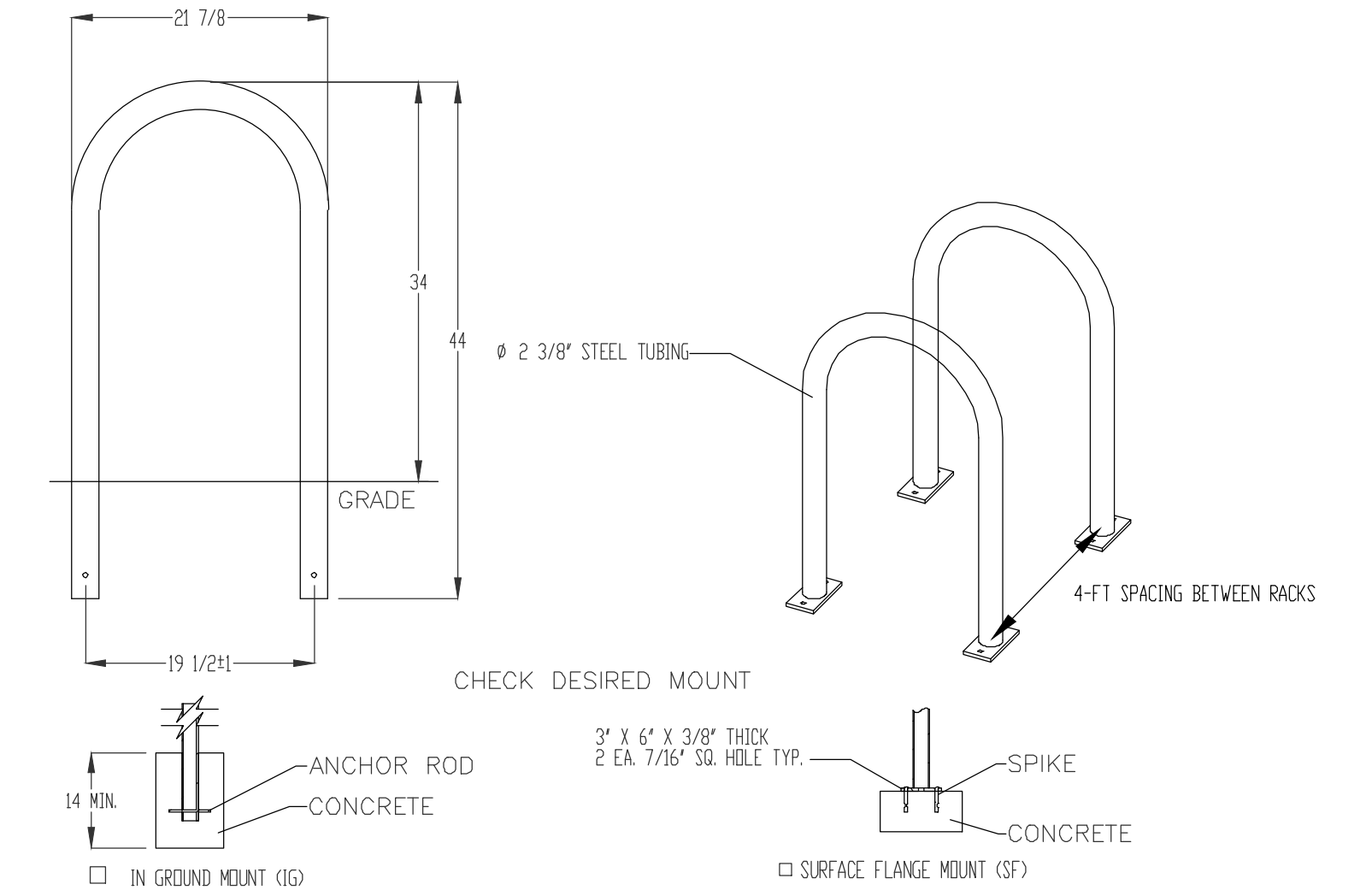
ACCESSIBLE PARKING SIGN
NTS



STOP SIGN
R24-1



MOTORCYCLE PARKING SIGN
NTS



PRODUCT: U238-IGSF
DESCRIPTION: 1) BIKE RACK
2) BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18
ENG: SMC

CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

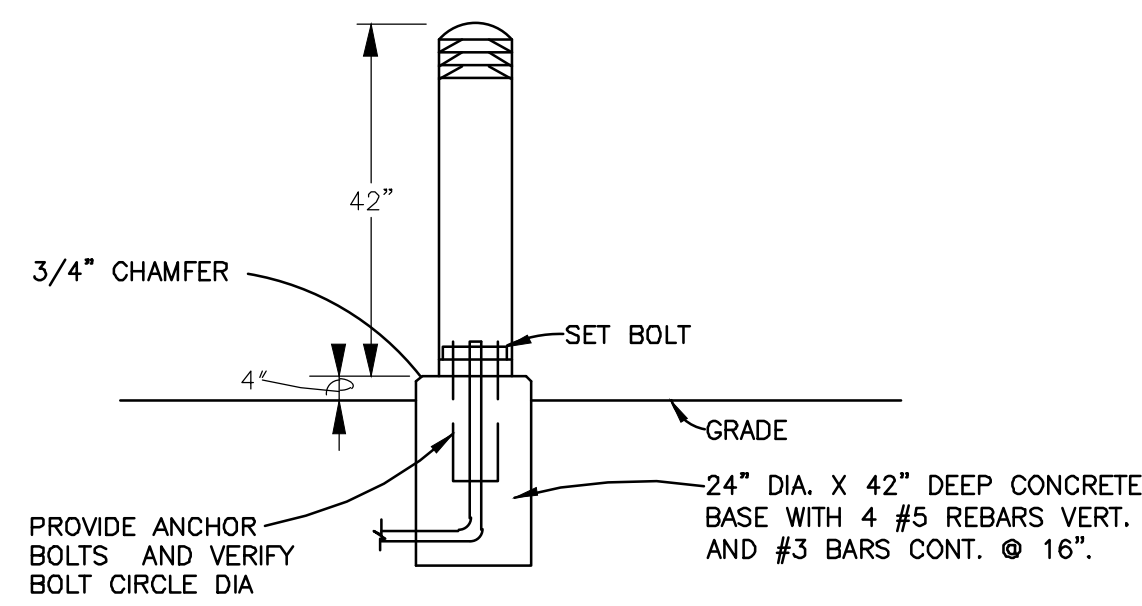
©2018 GRABER MANUFACTURING, INC. ALL PROPRIETARY RIGHTS RESERVED.

- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

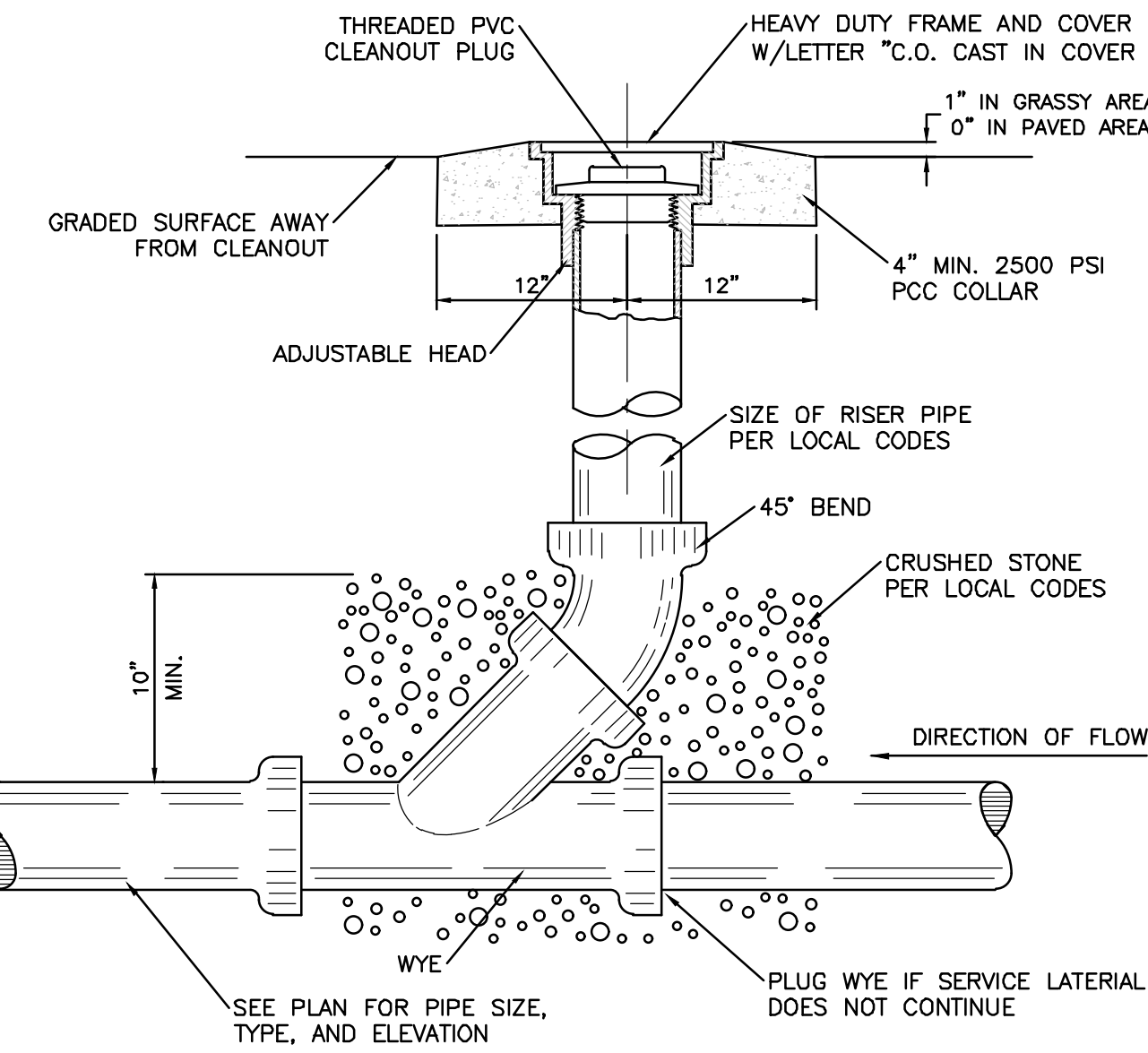
BIKE RACK DETAIL
SCALE NONE

GENERAL NOTES:

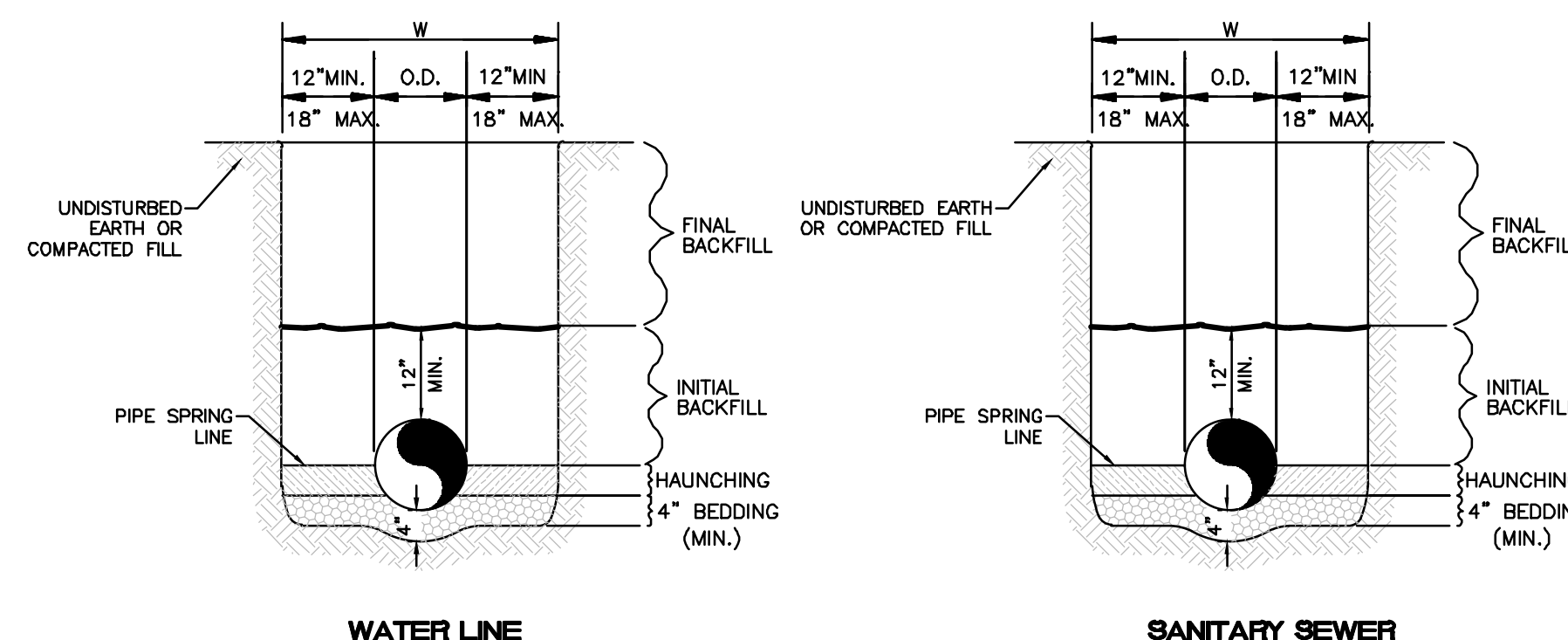
1. 1-FT CLEAR ZONE AROUND BICYCLE RACK SHALL BE PROVIDED
2. SPACE RACKS 4-FT APART
3. NUMBER OF RACKS LISTED ON PLAN
4. RACKS SHALL BE A MINIMUM OF 30 INCHES TALL AND 18 INCHES WIDE
5. BICYCLE RACKS SHALL BE ANCHORED TO THE CONCRETE PAD
6. BICYCLE PARKING SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE



BOLLARD LIGHT FIXTURE DIAGRAM
NTS



SANITARY SEWER CLEAN-OUT
NTS



WATER LINE

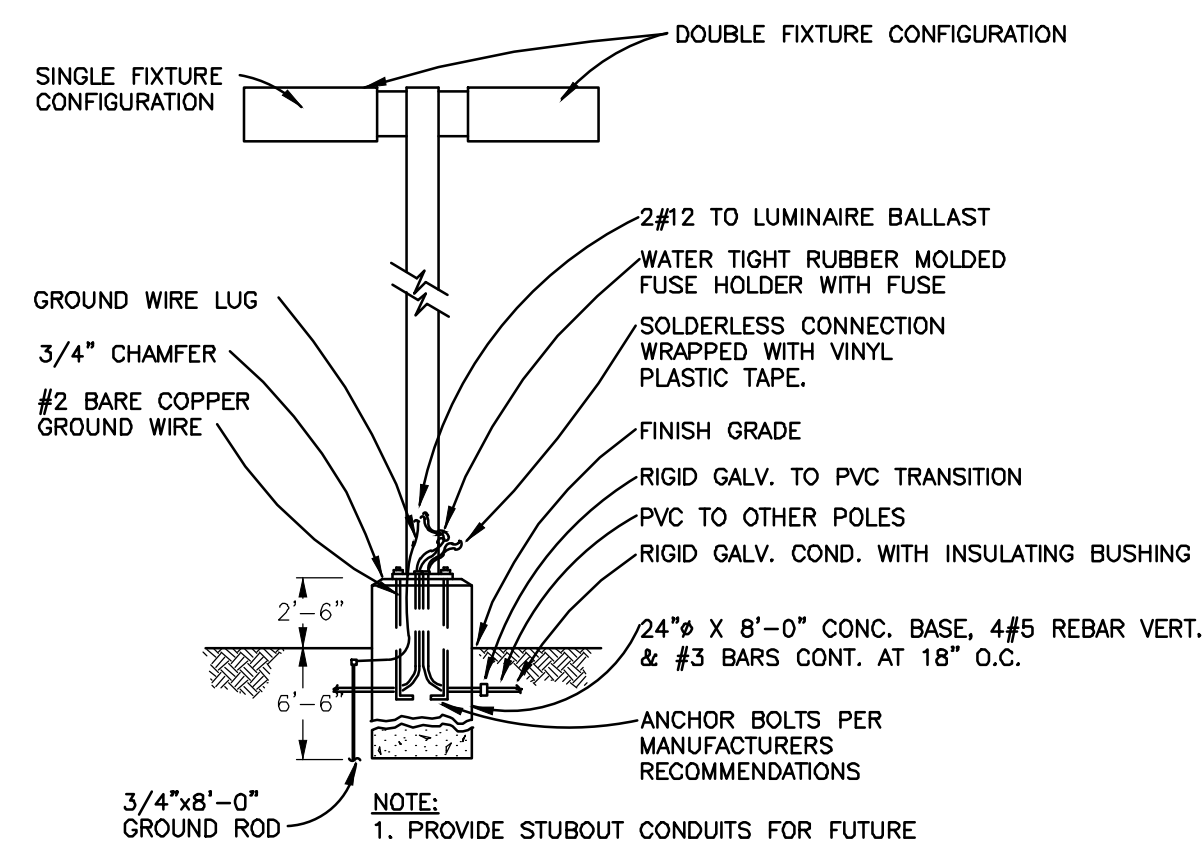
SANITARY SEWER

GENERAL NOTES:

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 95% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

UTILITY TRENCH AND BEDDING DETAIL
NTS

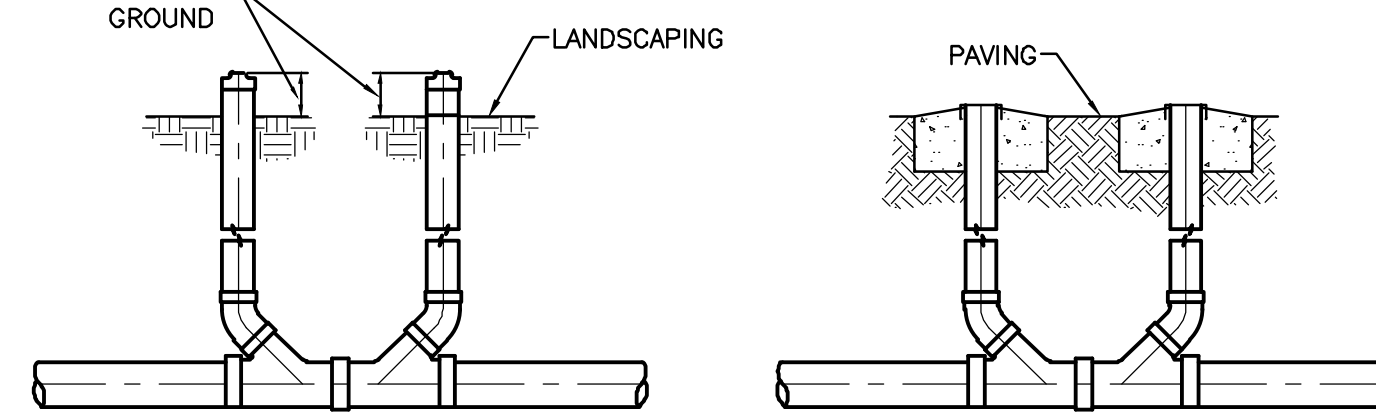
\\TMSASZ_Drive\2020\2020013_Apartments.ctb Golf Course Rd\dwg\DRB_Ver.B.dwg Jan 18, 2021 3:49pm



PARKING LOT LIGHTING FIXTURE
NO SCALE

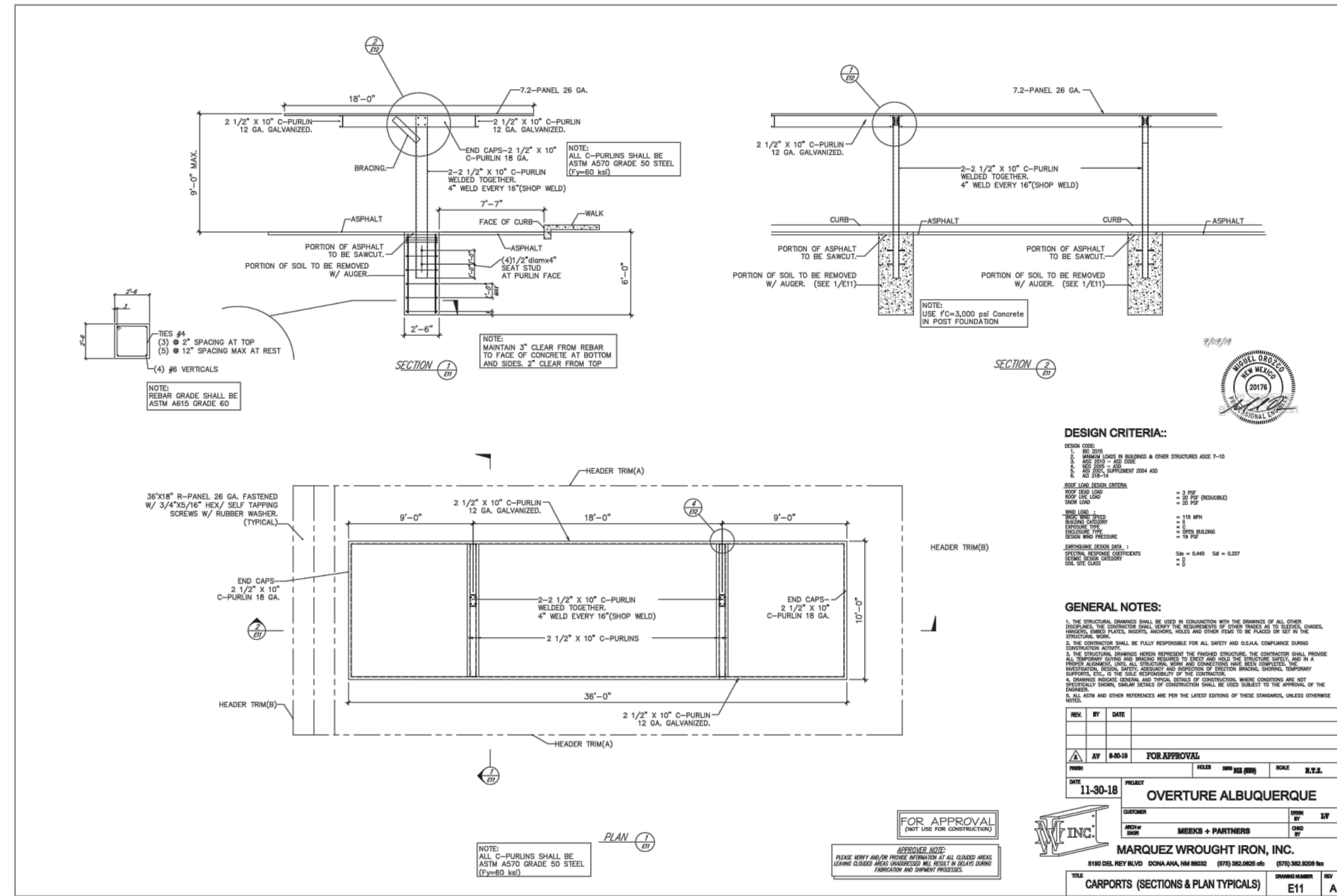
LIGHT POLE DETAIL
NTS

- NOTE:**
1. LIGHTING SHALL COMPLY WITH ZONING CODE §14-16-3-9.
 2. HEIGHT LIMITED TO 16'.



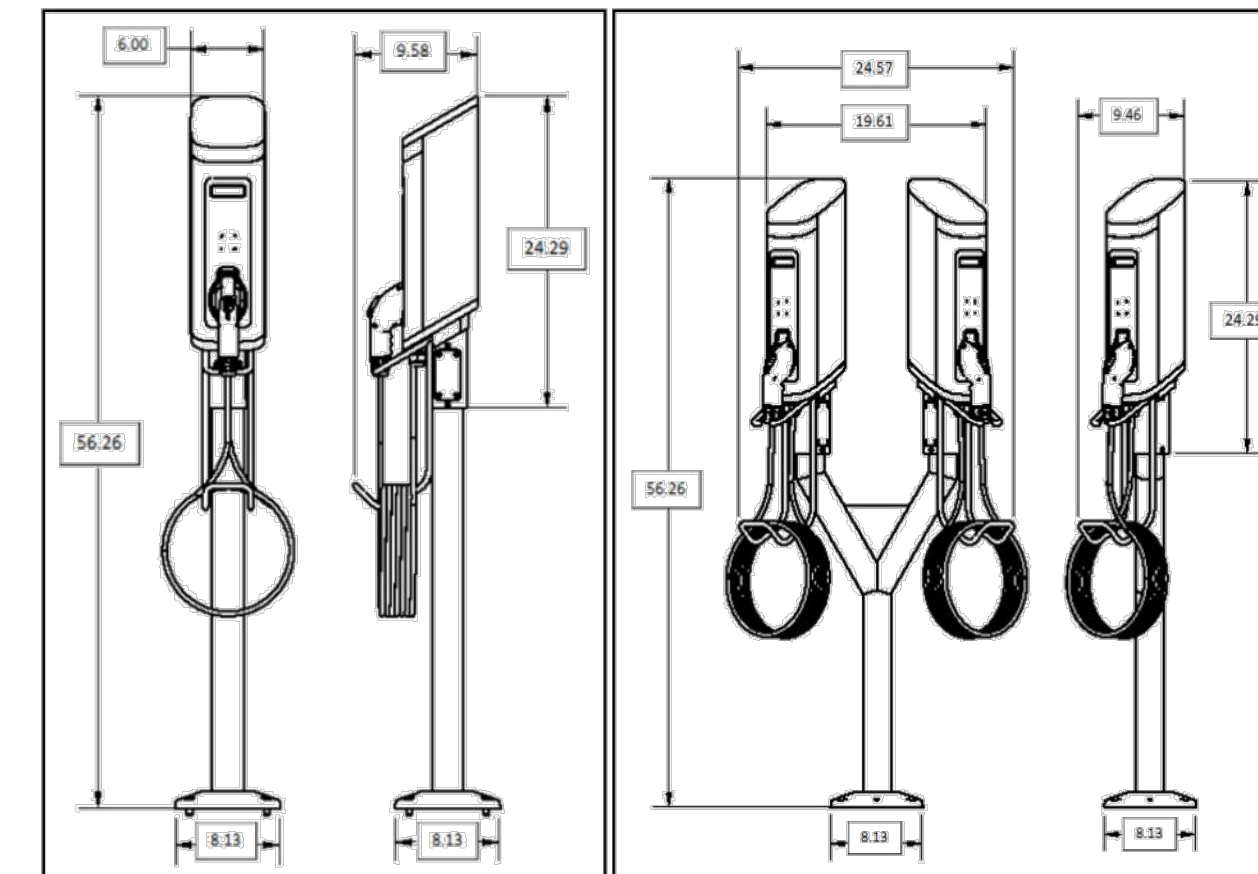
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

ISSUED FOR DRB (NOT FOR CONSTRUCTION)		
ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	CONSTRUCTION DETAILS	DATE 1/7/2021
		2020013_DTB_VER B
		SHEET #
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		C5
RONALD R. BOHANNAN P.E. #7868	1/7/2021	JOB # 2020013

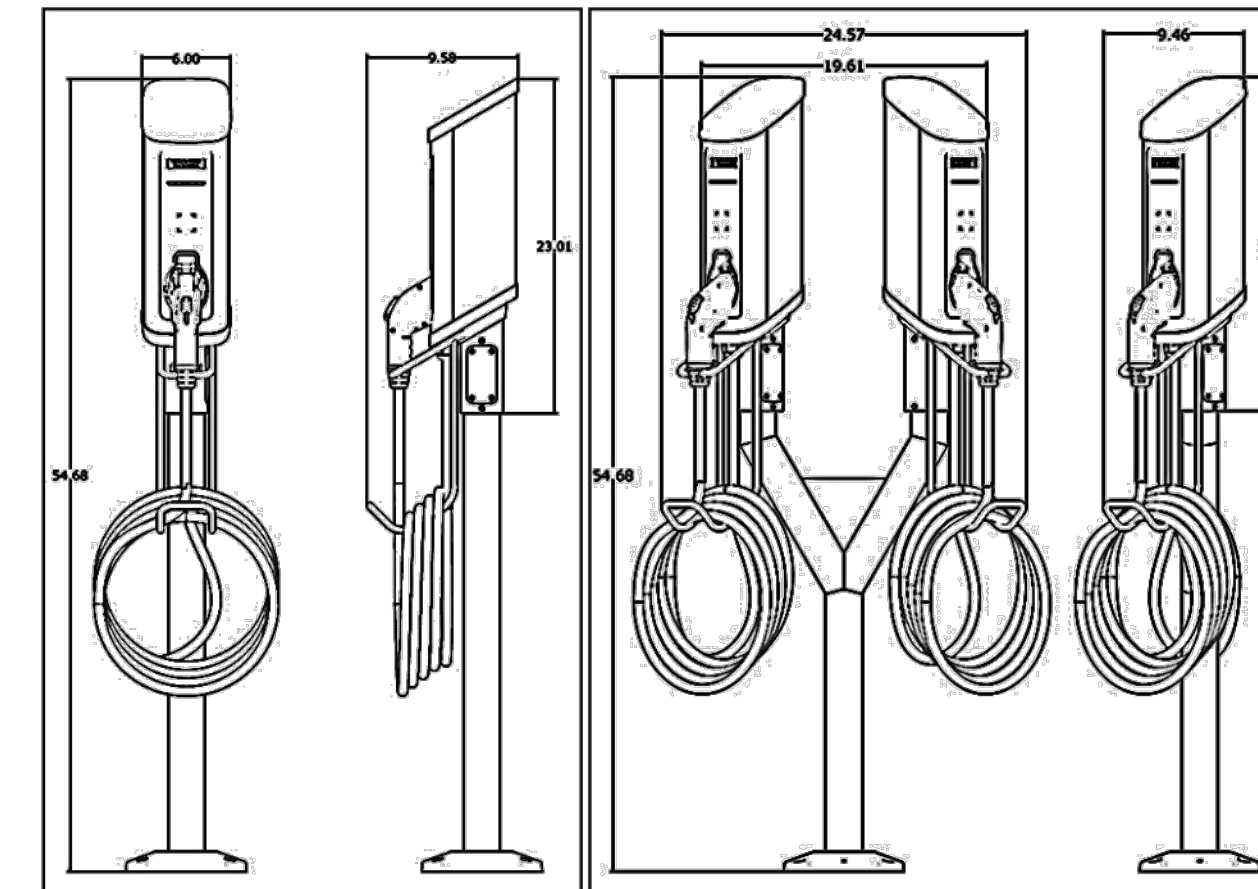


CARPORT DETAIL
NTS

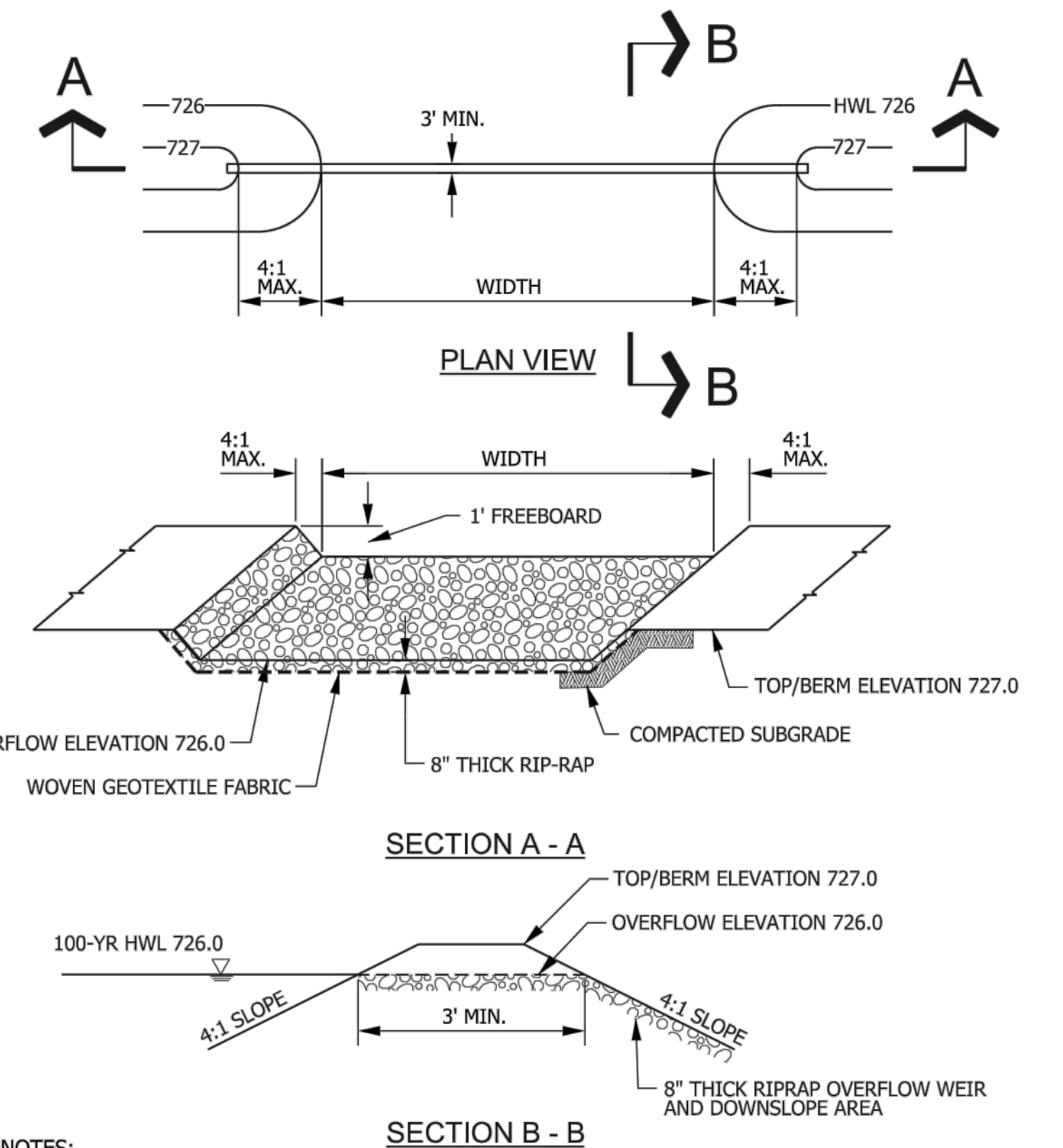
SemaConnect 620 Single and Dual Pedestal mount Installation Key Dimensions



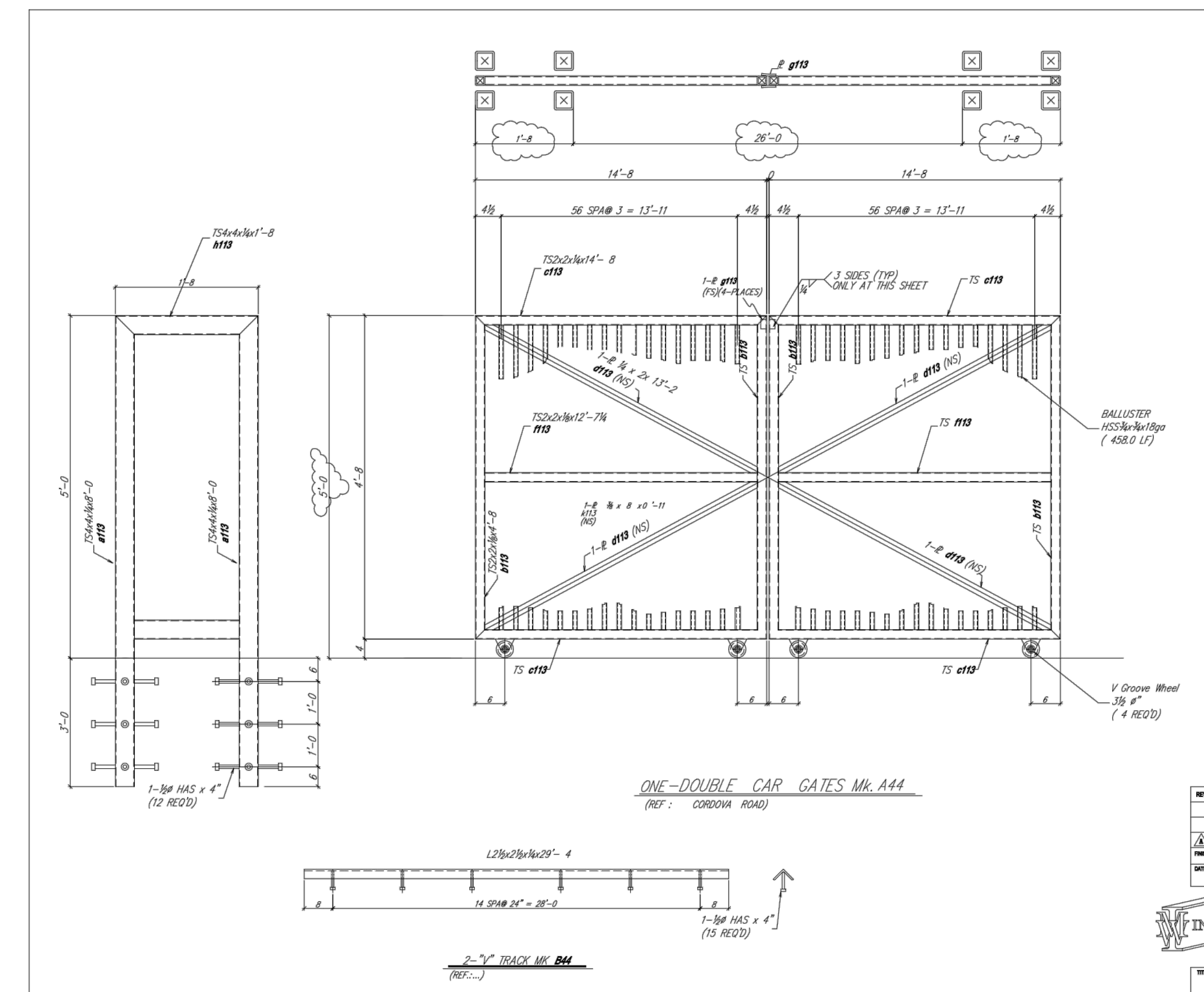
SemaConnect 520 Single and Dual Pedestal mount Installation Key Dimensions



CAR CHARGING STATION DETAIL
NTS



EMERGENCY OVERFLOW WIER NOT TO SCALE



VEHICLE GATE DETAIL
NTS

FOR APPROVAL
 PROJECT: OVERTURE ALBUQUERQUE
 DATE: 5-22-19
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN
 SHEET: 44
 TITLE: DOUBLE CAR GATES

ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
	CONSTRUCTION DETAILS TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DATE 1/7/2021
		2020013_DTB_VER B
		SHEET # C7
		JOB # 2020013

\\TWNASZ_Drive\2020\2020013_Apartments.ctb Golf Course Rd\Draw\DRB_Ver_B\2020013_DTB_Ver_B.dwg Jan 18, 2021 3:50pm

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	SIZE (MATURE HGW)	WATER USE	COVER (%A)	TOTAL	USDA NATIVE
Trees								
16	2"	2" Cal	Hackberry <i>Celtis occidentalis</i>	40' x 40'	L+	1600	25600	San Miguel City
9	2"	2" Cal	Redbud <i>Cercis canadensis</i>	20' x 20'	M	400	3600	Yes
42	2"	2" Trunks w/ 2" Combined Cal.	Desert Willow <i>Chrysalidobasis linearis</i>	20' x 25'	L	675	26750	Yes
20	2"	2" Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forestiera neomexicana</i>	15' x 15'	M	225	4500	Yes
11	2"	2" Cal	Green Ash <i>Fraxinus pennsylvanica</i>	40' x 30'	M	900	53000	Yes
13	2"	2" Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	26325	Yes
21	6"	6" Height	Pinon Pine <i>Pinus edulis</i>	30' x 20'	M+	400	10800	Yes
42	6"	6" Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	675	26750	
12	2"	2" Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	18200	TX
20	2"	2" Trunks w/ 2" Combined Cal.	Chestnut Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	8000	
							Total Tree Coverage:	165825

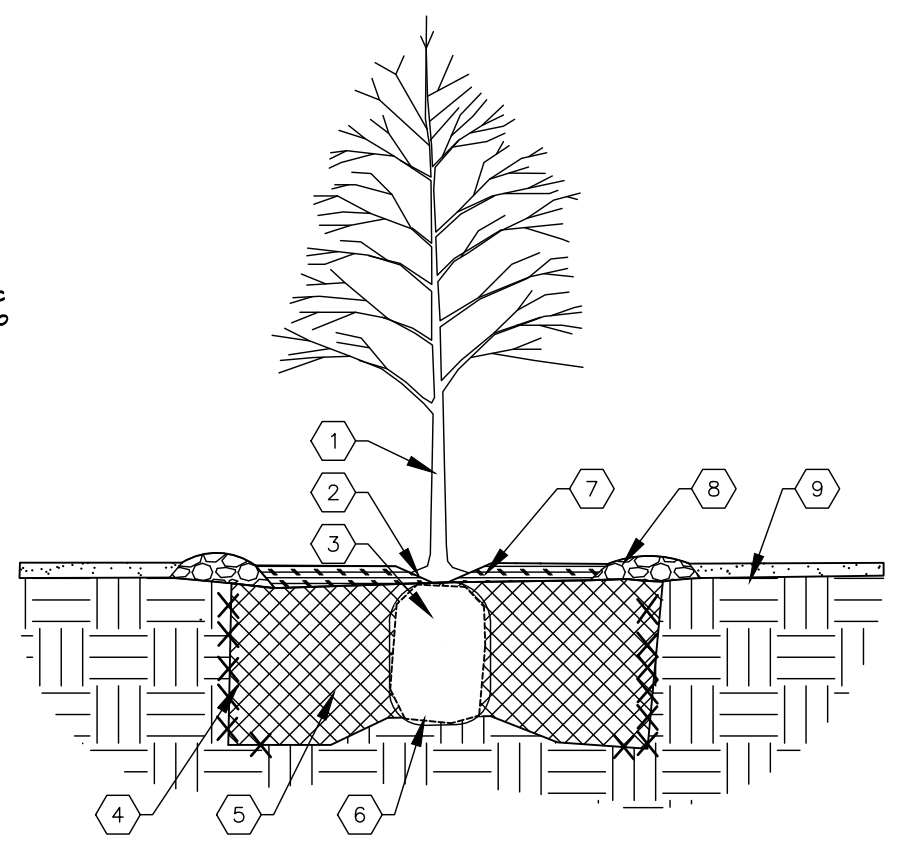
SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	SIZE (MATURE HGW)	WATER USE	COVER (%A)	TOTAL	USDA NATIVE
Shrubs & Groundcover								
12	5 Gal	5 Gal	Serviceberry <i>Amelanchier alnifolia</i>	10' x 10'	M	100	500	Yes
14	3 Gal	3 Gal	Blonde Ambition Blue Grama <i>Bouteloua gracilis 'Blonde Ambition'</i>	3' x 3'	L	9	666	Yes
26	5 Gal	5 Gal	Blue Hill Spruce <i>Caryopteris x clandonensis</i>	3' x 3'	L+	9	234	
55	5 Gal	5 Gal	Alder-Leaf Mountain Mahogany <i>Quercus montana</i>	15' x 15'	L+	225	12375	Yes
12	5 Gal	5 Gal	Grey-Leaf Cotoneaster <i>Cotoneaster buxifolius/glaucophyllus</i>	8' x 10'	M	100	500	
41	5 Gal	5 Gal	Soto <i>Daphniphyllum</i>	5' x 5'	RU	25	125	
165	5 Gal	5 Gal	Chamae <i>Ericaria nausae</i>	5' x 5'	RU	25	125	Yes
22	5 Gal	5 Gal	Manhattan Euonymus <i>Euonymus alaticornis</i>	6' x 6'	M+	36	792	
39	5 Gal	5 Gal	Apache Pine <i>Fatsia paradoxa</i>	6' x 7'	L+	49	191	Yes
50	5 Gal	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	L+	9	531	TX
29	5 Gal	5 Gal	Dogwood <i>Cornus sericea 'Bailley'</i>	3' x 3'	M+	9	261	Yes
43	5 Gal	5 Gal	Spartan Juniper (female only) <i>Juniperus chinensis 'Spartan'</i>	15' x 6'	L+	36	548	
54	5 Gal	5 Gal	Buffalo Juniper (female only) <i>Juniperus sibirica 'Buffalo'</i>	1' x 8'	L+	64	3456	
81	5 Gal	5 Gal	Dear Grass <i>Muhlenbergia rigens</i>	4' x 4'	L+	16	1796	Los Altos
78	5 Gal	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RU	36	2808	Yes
75	5 Gal	5 Gal	Switchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	1000	Yes
80	5 Gal	5 Gal	Potentilla <i>Potentilla fruticosa (Dahiphora L.)</i>	3' x 3'	L+	9	720	Yes
59	5 Gal	5 Gal	Three-Leaf Sunsc <i>Rhus trilobata</i>	6' x 6'	L+	36	1404	
41	5 Gal	5 Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	656	
39	5 Gal	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	L+	9	391	TX
							Total Shrub Coverage:	36403

PLANTING NOTES

SEE DETAILS FOR PLANTING INSTRUCTIONS.
PURSUANT TO IDO 5-6(C)(5)(B) ORGANIC MULCH, SUCH AS WOOD CHIPS OR PECAN SHELLS, IS REQUIRED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATION ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIFLINE, IN EACH REQUIRED LANDSCAPE AREA.

Other Materials

SYMB.	QTY	TYPE
112	EA	Boulders (2-3cft) To be placed at contractor's discretion
5650	SF	Cruker Fines Over Aggregate Basecourse
52285	SF	Landscape Gravel A with Filter Fabric 1/2" Brown Gravel
41325	SF	Landscape Gravel B with Filter Fabric 1" Anastro Gravel
9F	SF	Landscape Gravel C with Filter Fabric 1/8" Crushed Gray Gravel
8680	SF	Oversize Landscape Gravel / No Filter Fabric 2-4" Blue Slate Fractured Cobble/RipRap
11260	SF	Fieldland Soil Pop-Up Irrigation
22080	SF	Native Seed Area Slate/Slite Mix with Rotor Irrigation
7160	SF	Dog Park Surfacing Synthetic Turf over Aggregate Base
Concrete See site plan		
Asphalt Parking Areas and Driveways See site plan		
Landscape Curb See site plan		
Stormwater Management Depression See site plan		
Site Furnishings Benches, Tables, Trash Receptacles		
14280	SF	Total Landscape



TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TIE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 16" WIDE COBBLE BERRY AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

01 TREE PLANTING
NTS TREE PLANTING DETAIL

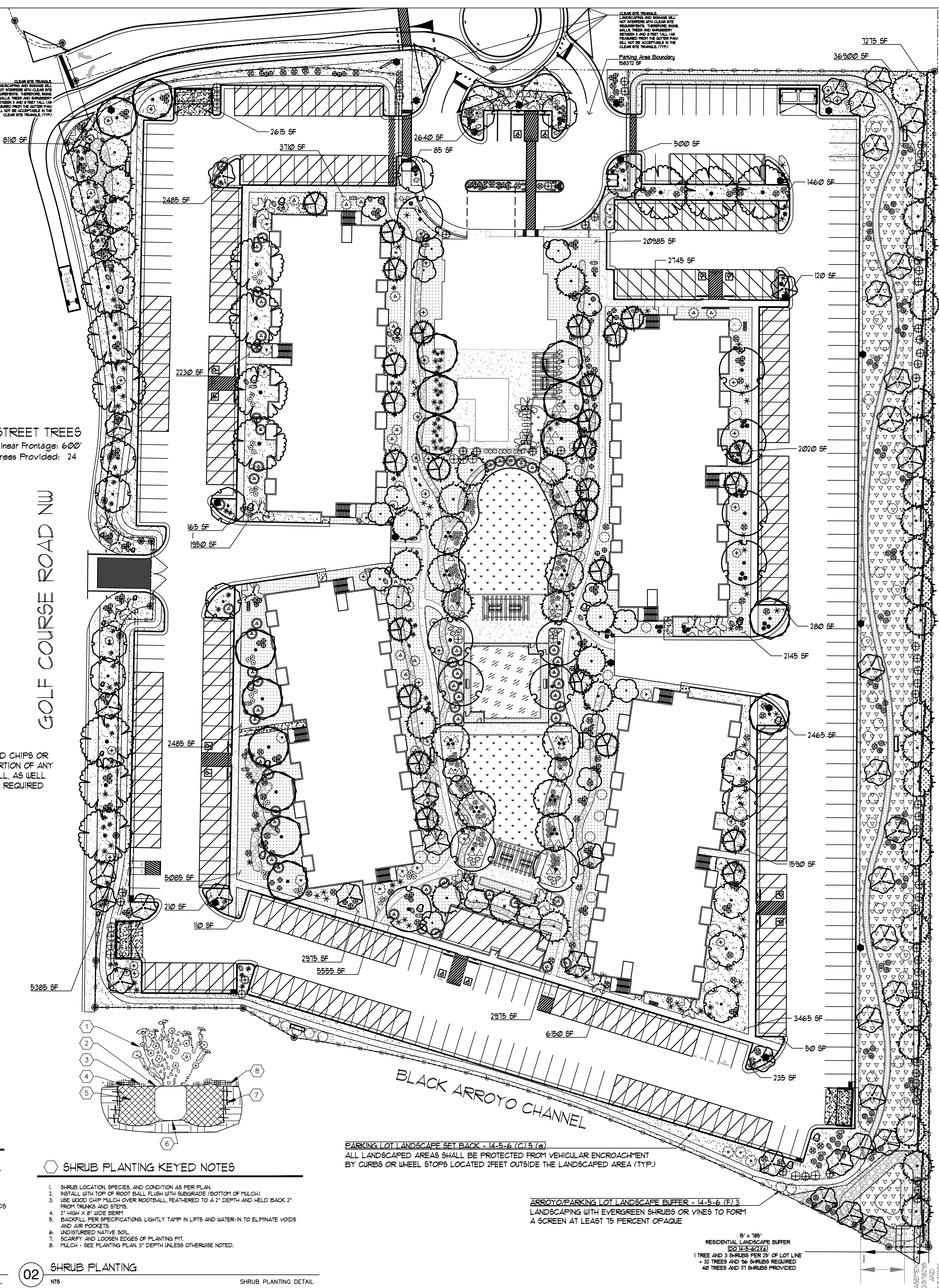
SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH OVER ROOTBALL. FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNK AND STEMS.
- 2" HIGH X 8" WIDE BERRY.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

02 SHRUB PLANTING
NTS SHRUB PLANTING DETAIL

STREET TREES
Linear Frontage: 600'
Trees Provided: 24

GOLF COURSE ROAD N/W



PARKING LOT LANDSCAPE SET BACK - 14-5-6 (C)(5)(g)
ALL LANDSCAPED AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY CURBS OR WHEEL STOPS LOCATED 2 FEET OUTSIDE THE LANDSCAPED AREA (TYP).

ARROYO/PARKING LOT LANDSCAPE BUFFER - 14-5-6 (F)(3)
LANDSCAPING WITH EVERGREEN SHRUBS OR VINES TO FORM A SCREEN AT LEAST 75 PERCENT OPAQUE.

8' x 160'
RESIDENTIAL LANDSCAPE BUFFER
1 TREE AND 3 SHRUBS PER 50 SF OF LOT LINE
40 TREES AND 96 SHRUBS REQUIRED
40 TREES AND 96 SHRUBS PROVIDED

GENERAL NOTES
ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE USING A PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED AS ANOTHER HATCHED GROUND COVER AREA SUCH AS THOSE INDICATED TO RECEIVE NATIVE SEED. ALL GRAVEL SHALL BE PLACED 5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:
IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS, INSTALLED IN A SINGLE PHASE. THE IRRIGATION SYSTEM SHALL PROTECT POTABLE WATER SYSTEMS THROUGH THE USE OF AN APPROVED PRESSURE VALVE BACKFLOW PREVENTION DEVICE. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, FINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (2) 1/2 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

ZONING	MX-M: MIXED-USE WITH MODERATE INTENSITY
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

LANDSCAPE CALCULATIONS	
TOTAL LOT AREA (ACRES)	8.79
TOTAL LOT AREA (SF)	382892
BUILDING AREA (SF)	61950
NET LOT AREA (SF)	320942

REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	48141
LANDSCAPE PROVIDED (SF)	141280

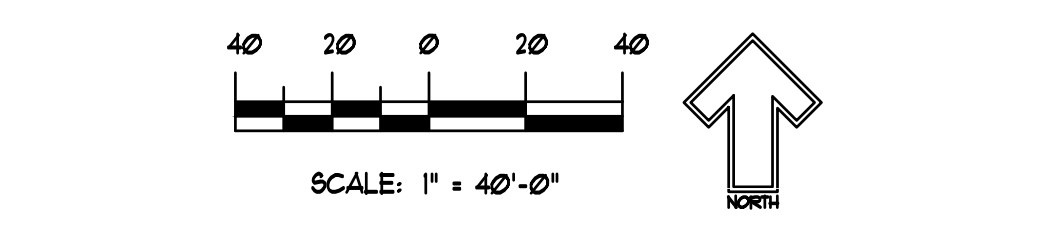
VEGETATIVE COVER (%) - REQ	15.0
VEGETATIVE COVER (SF - REQ)	102960
VEGETATIVE COVER (SF - PROV.)	235208

GROUND COVER (%) - REQ	18.75
GROUND COVER (SF - REQ)	60171
GROUND COVER (SF - PROV.)	69383

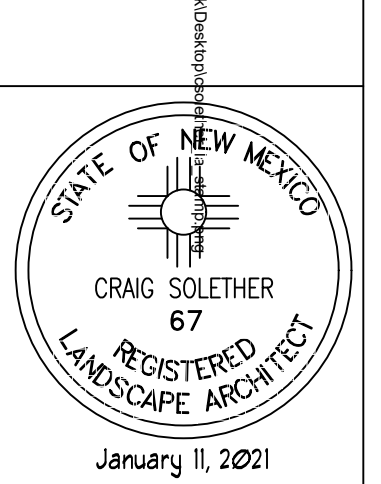
IRRIGATED TURF (SF)	11260
IRRIGATED TURF (% OF LANDSCAPE)	8.0%

REQ. TREES - 1ST AND 2ND STORY UNITS	104
PROVIDED UNIT TREES	118

PARKING LOT INTERIOR LANDSCAPE CALCULATIONS - 14-5-6 (F)(2)	
PARKING LOT AREA (SF)	138572
REQ. PARKING LANDSCAPE 10% (SF)	13857
PROV. PARKING LANDSCAPE (SF)	35644
REQ. PARKING TREES (1/10 SPOTS)	36
PROV. PARKING TREES	113



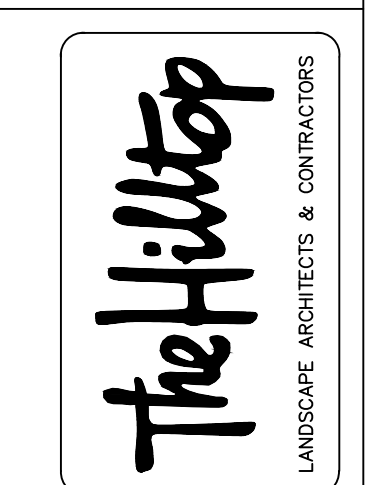
The Hilltop
13099 Eighth NE
Albuquerque, NM 87113
CRAIG SOLETHOR
760-269-3690
760-269-3690
760-269-3690
760-269-3690



January 11, 2021

Wintergreen Luxury Apartments
Golf Course Road
Albuquerque, NM
Conceptual Landscape Plan

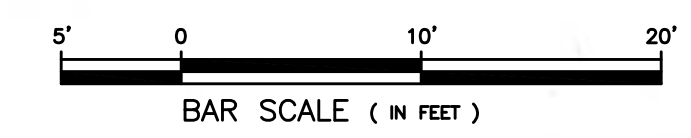
The design contained herein remains the property of The Hilltop Landscape Architects and Contractors and is provided by copyright. This is an original design and must not be reproduced or used for any other project without the express written consent of The Hilltop Landscape Architects and Contractors.



DRAWN BY: [Signature]
REVISION: [Signature]
DATE: 01/11/2021



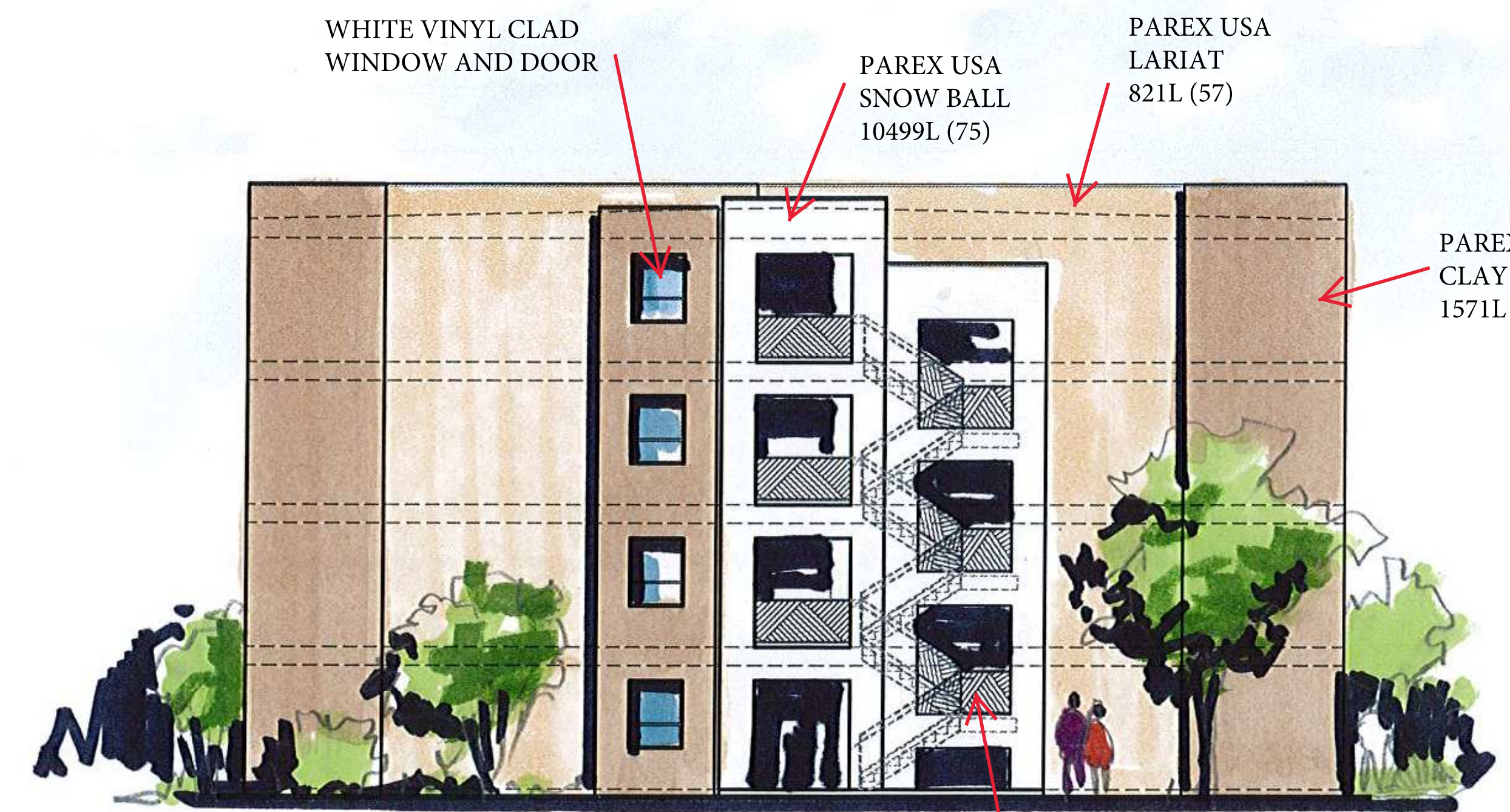
4 TYPICAL FRONT ELEVATION
1/8" = 1'-0"



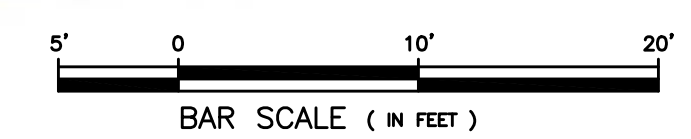
PAREX USA SNOW BALL 10499L (75)

WHITE VINYL CLAD WINDOW AND DOORS

BRONZE COLOR STEEL WROUGHT IRON GUARDRAILS



3 TYPICAL RIGHT ELEVATION
1/8" = 1'-0"



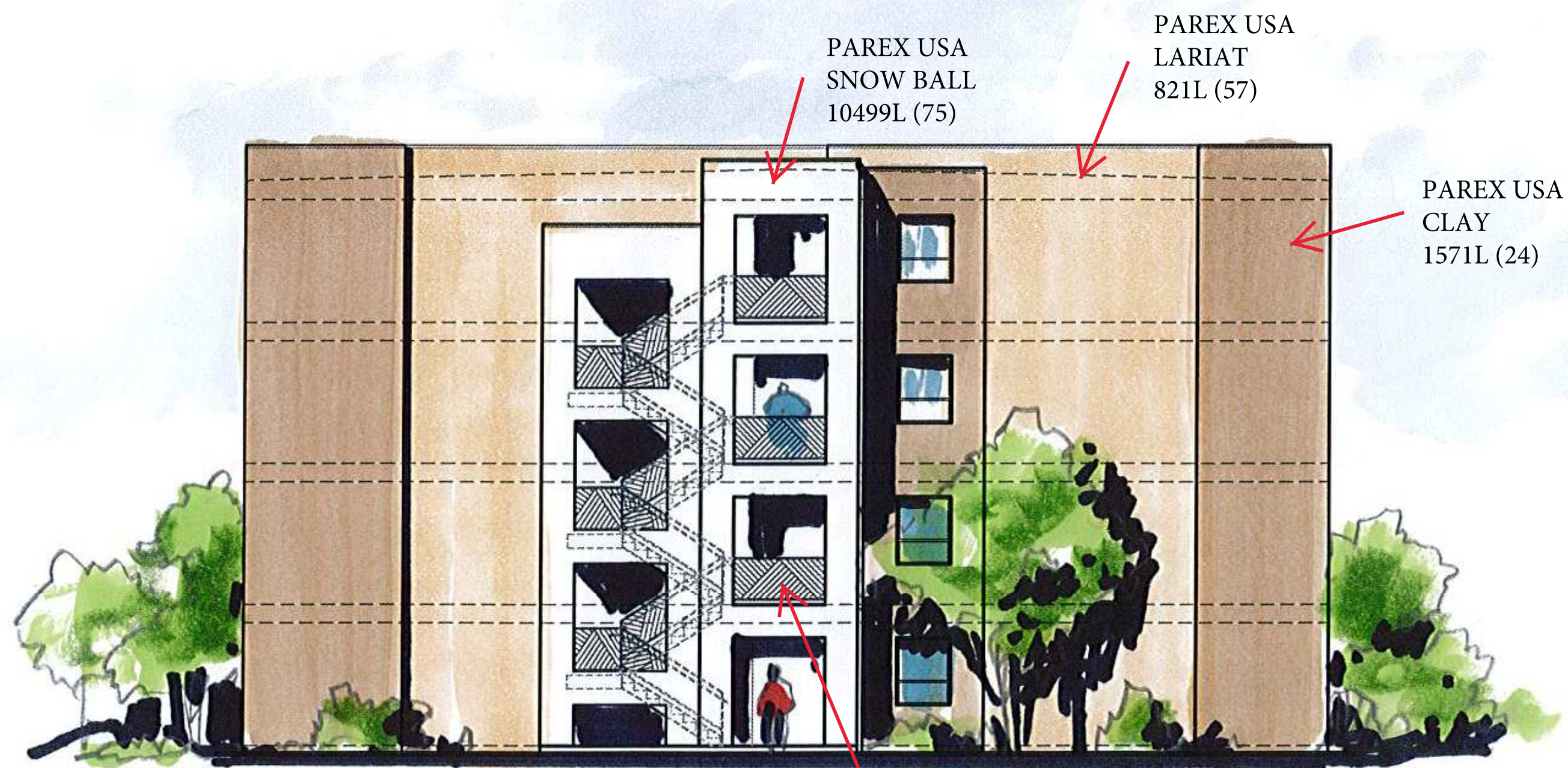
BRONZE COLOR STEEL WROUGHT IRON GUARDRAILS

WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

REVISION DATE
DATE 05-19-2020
SHEET NUMBER A-5.0




4 TYPICAL REAR ELEVATION
 1/8" = 1'-0"
 5' 0 10' 20'
 BAR SCALE (IN FEET)



3 TYPICAL LEFT ELEVATION
 1/8" = 1'-0"
 5' 0 10' 20'
 BAR SCALE (IN FEET)

WINTERGREEN LUXURY APARTMENTS
 BUILDING ELEVATIONS
 ALBUQUERQUE, NM
 PROJECT #2020-05

REVISION DATE

DATE 05-19-2020
SHEET NUMBER A-5.1



PAREX USA
LARIAT
821L (57)

BRONZE COLOR
STEEL WROUGHT
IRON GUARDRAILS

PAREX USA
CLAY
1571L (24)

PAREX USA
LARIAT
821L (57)

WHITE VINYL CLAD
WINDOW AND DOORS

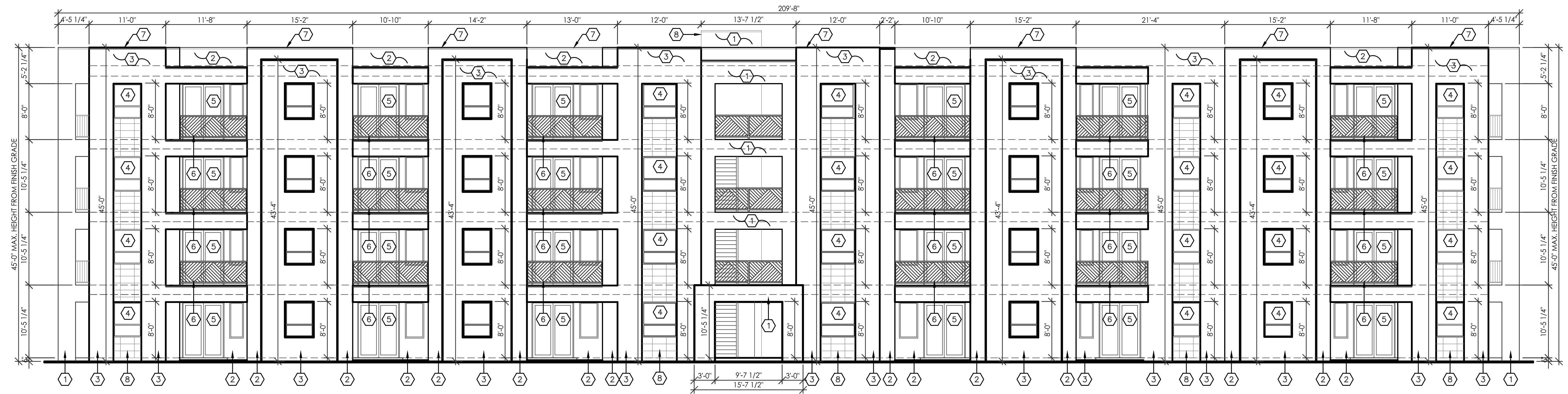
PAREX USA
SNOW BALL
10499L (75)



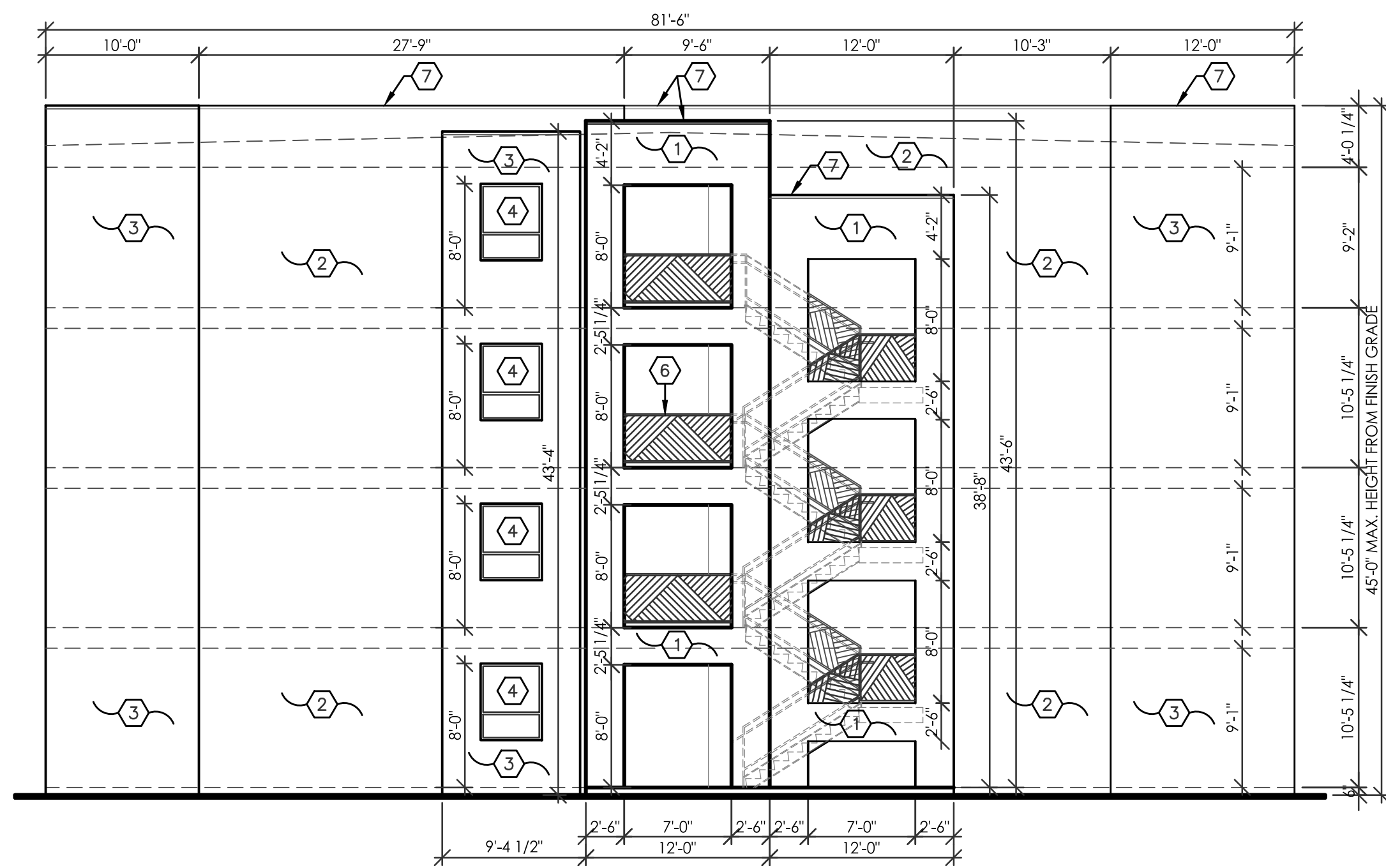
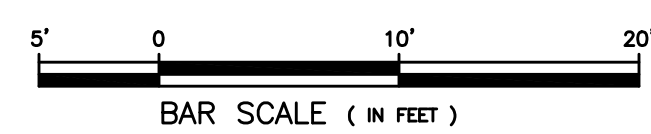
PAREX USA
SNOW BALL
10499L (75)

PAREX USA
LARIAT
821L (57)

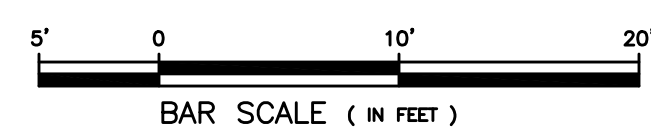
PAREX USA
CLAY
1571L (24)




4 TYPICAL FRONT ELEVATION
 $1/8" = 1'-0"$

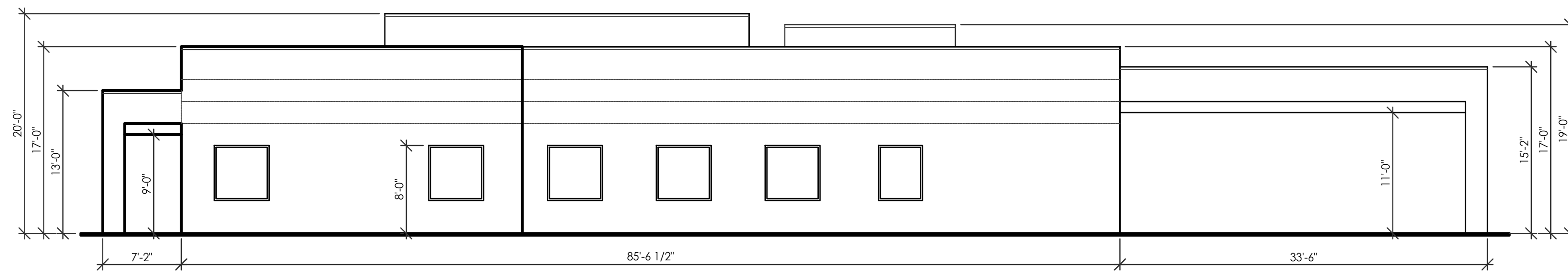


3 TYPICAL RIGHT ELEVATION
 $1/8" = 1'-0"$

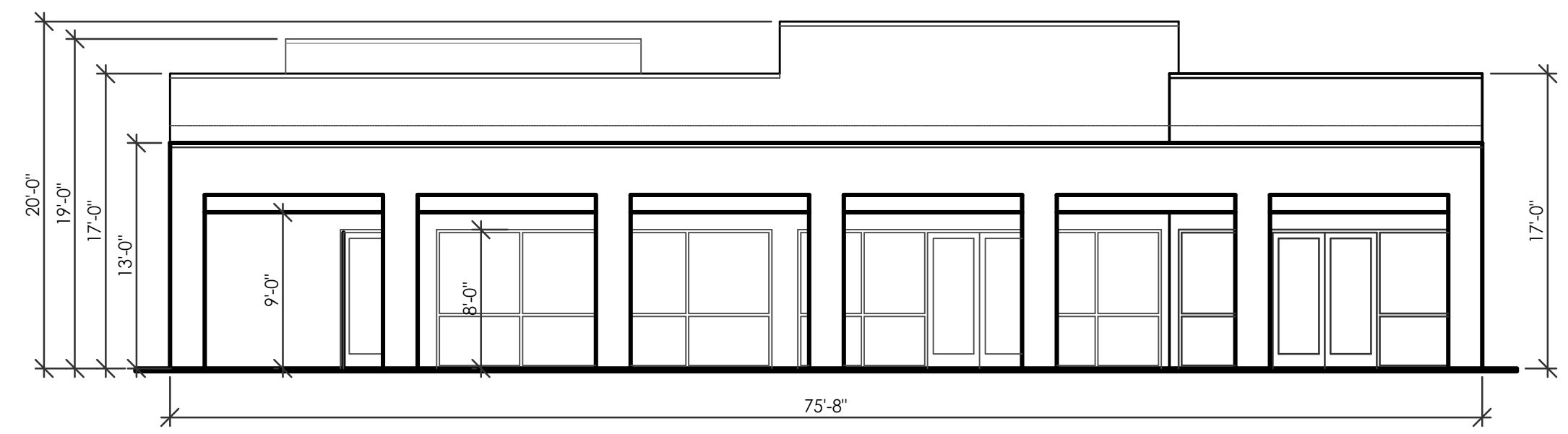


- KEYED NOTES**
1. STUCCO COLOR: PAREX USA SNOW BALL, 199499L (75)
 2. STUCCO COLOR: PAREX USA LARIAT, 821L (57)
 3. STUCCO COLOR: PAREX USA CLAY, 131L (24)
 4. WINDOW TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
 5. PATIO SLIDING DOOR TYPE: DOUBLE INSULATED GLAZING WITH LOW E IN WHITE VINYL CLAD FRAME, TYP.
 6. GUARDRAILS: BRONZE WROUGHT IRON, TYP.
 7. METAL COPING CAP, PAINT TO MATCH STUCCO COLOR, TYP.
 8. 12" x 24" TAN COLOR CERAMIC TILE, TYP.
 9. ELEVATOR SHAFT WALL BEYOND, REF: ARCH FLOOR PLANS.

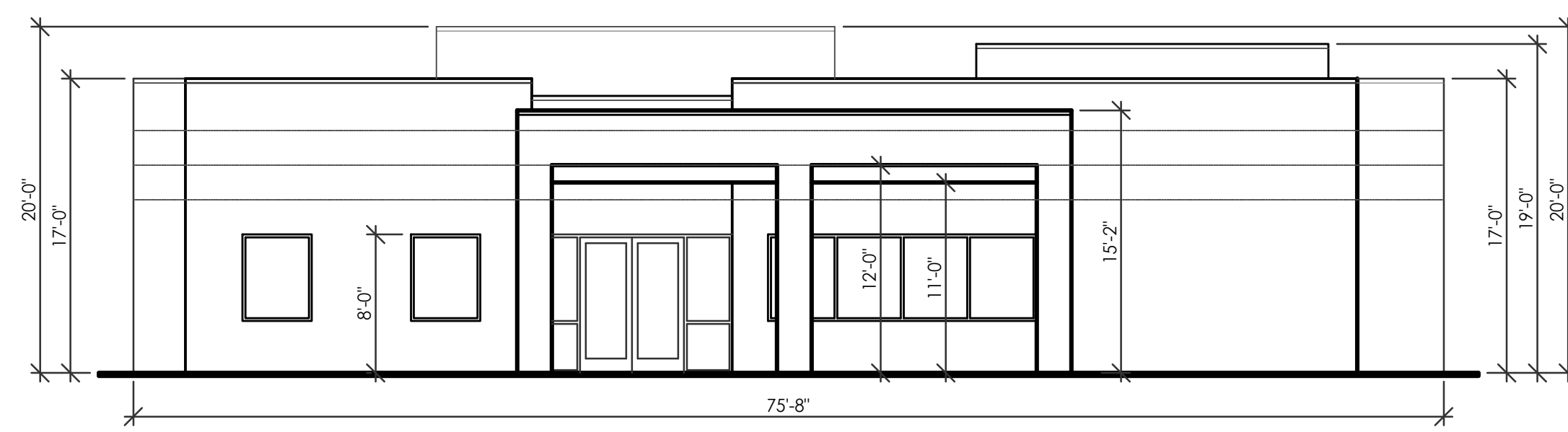
REVISION DATE

DATE 06-26-2020
SHEET NUMBER A-5.0



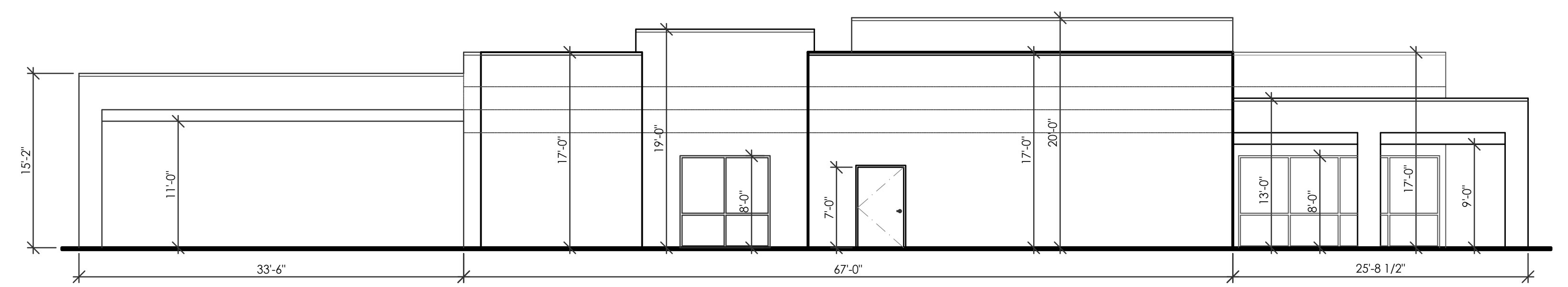
3 EAST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

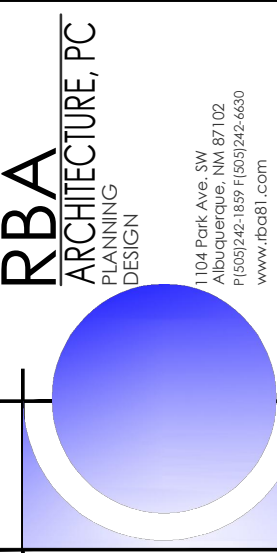


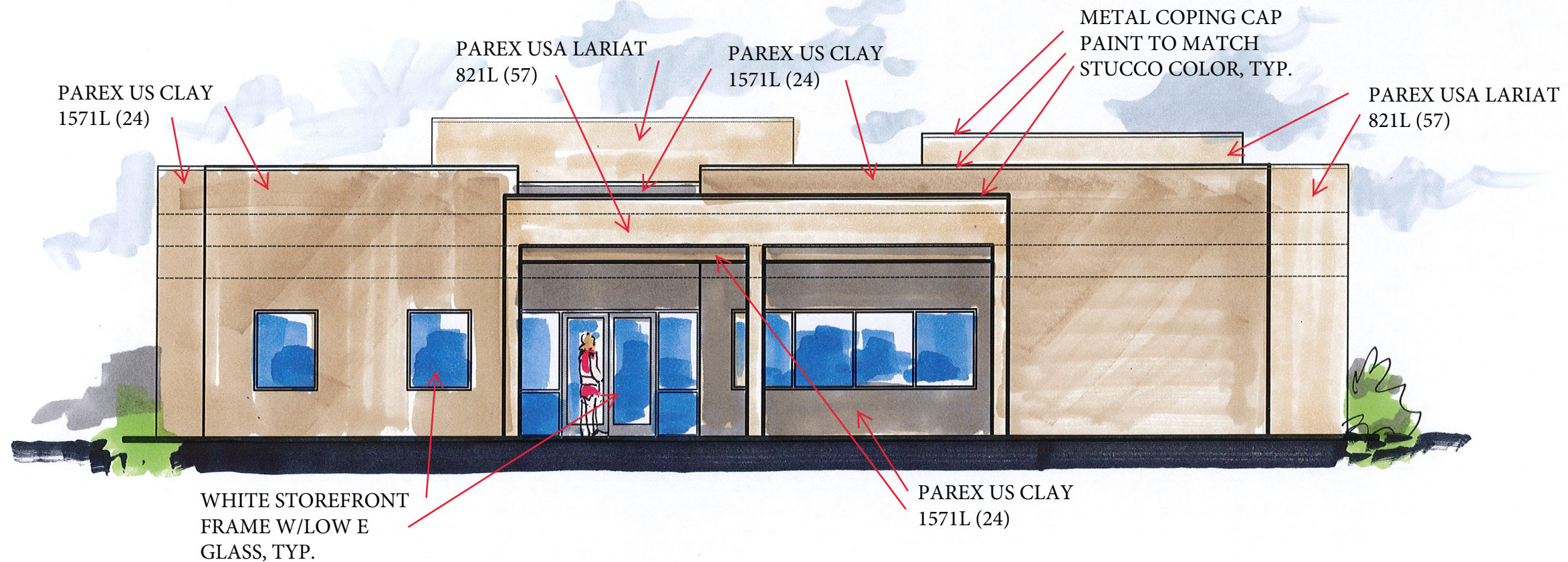
1 NORTH ELEVATION
1/8" = 1'-0"



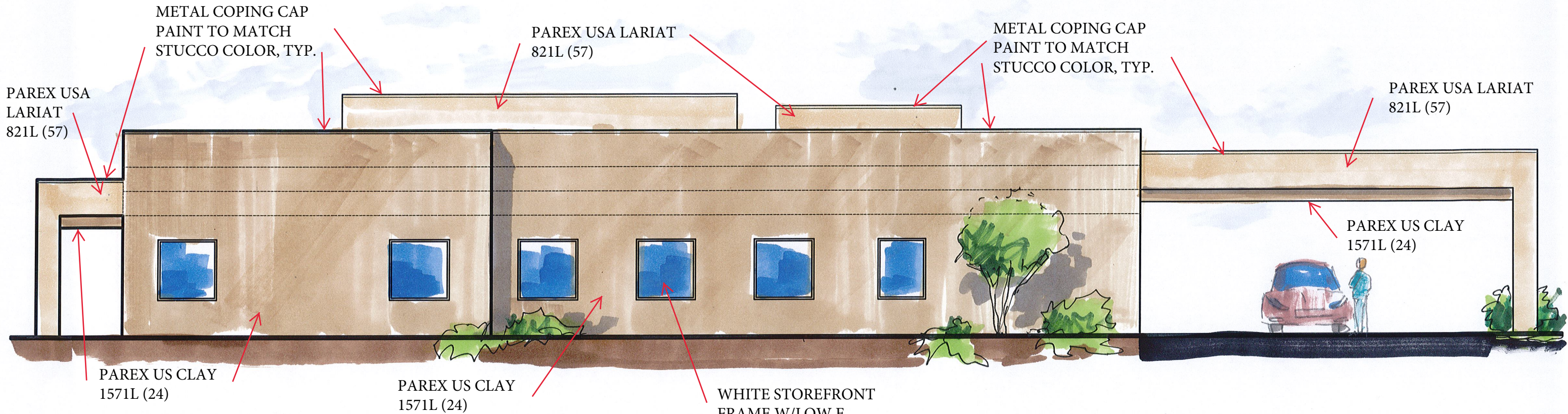
2 WEST ELEVATION
1/8" = 1'-0"

WINTERGREEN LUXURY APARTMENTS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #2020-05

REVISION DATE

DATE 09-24-2020
SHEET NUMBER A-7.0



1 NORTH ELEVATION
1/8" = 1'-0"



PAREX USA LARIAT 821L (57)

METAL COPING CAP PAINT TO MATCH STUCCO COLOR, TYP.

PAREX USA LARIAT 821L (57)

METAL COPING CAP PAINT TO MATCH STUCCO COLOR, TYP.

PAREX USA LARIAT 821L (57)

PAREX US CLAY 1571L (24)

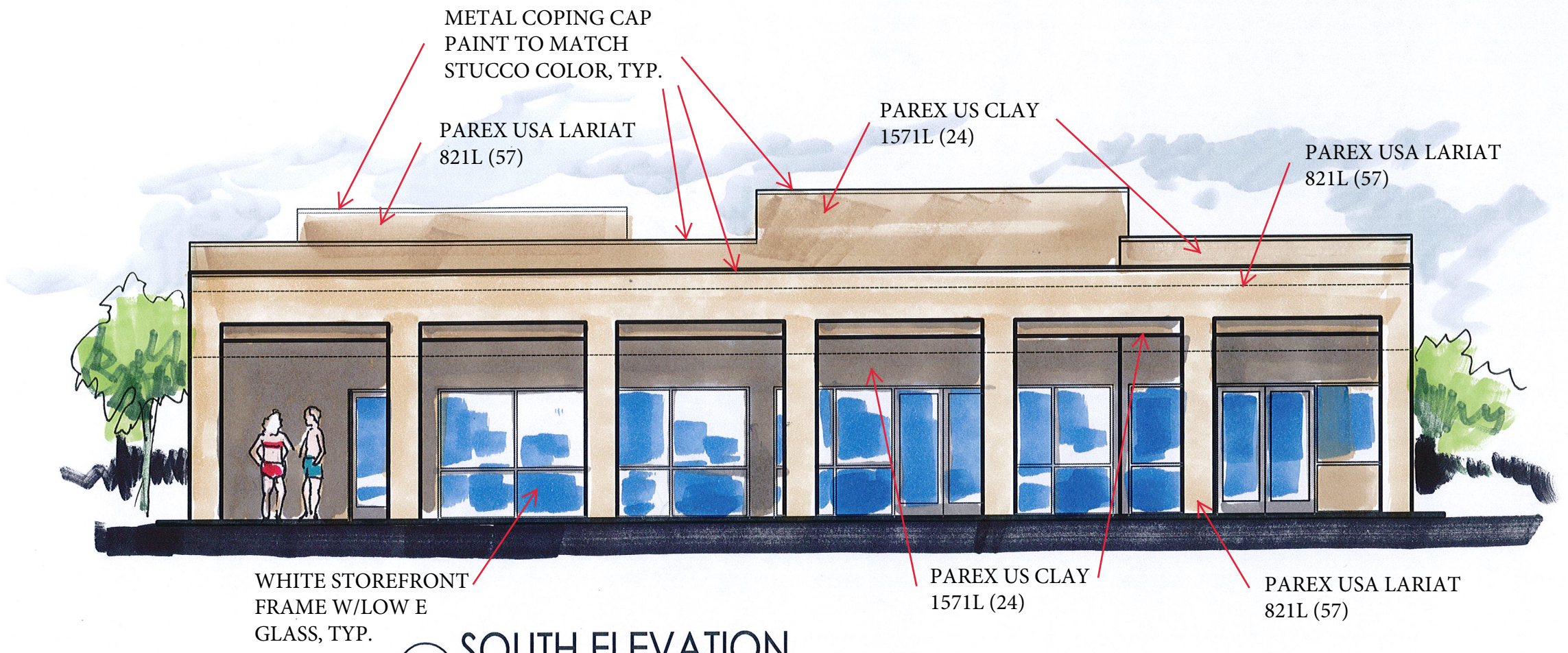
PAREX US CLAY 1571L (24)

PAREX US CLAY 1571L (24)

WHITE STOREFRONT FRAME W/LOW E GLASS, TYP.

3 EAST ELEVATION

1/8" = 1'-0"



METAL COPING CAP
PAINT TO MATCH
STUCCO COLOR, TYP.

PAREX USA LARIAT
821L (57)

PAREX US CLAY
1571L (24)

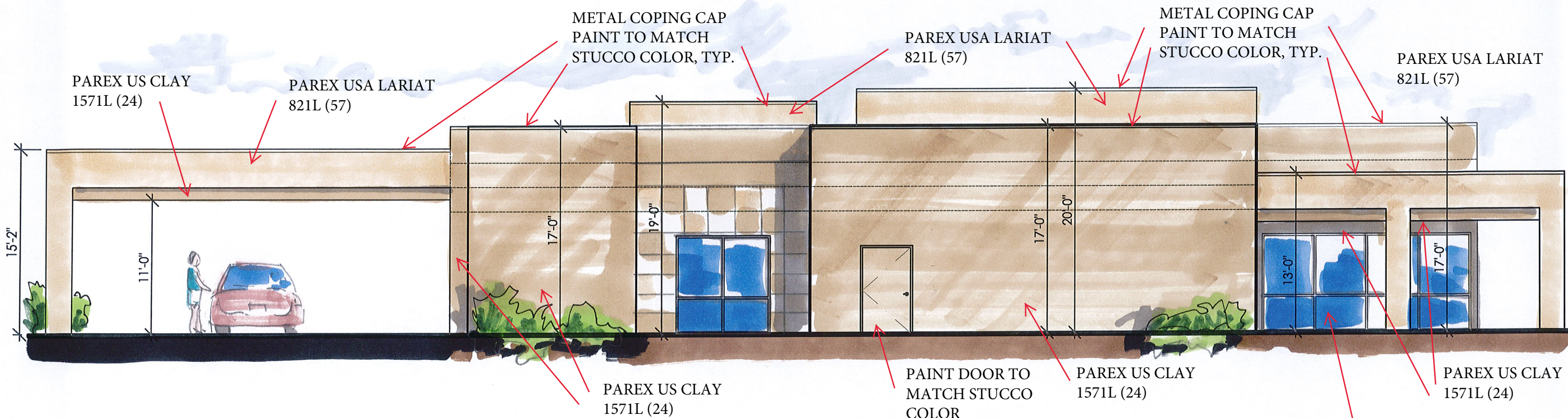
PAREX USA LARIAT
821L (57)

WHITE STOREFRONT
FRAME W/LOW E
GLASS, TYP.

PAREX US CLAY
1571L (24)

PAREX USA LARIAT
821L (57)

4 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"

WHITE STOREFRONT
 FRAME W/LOW E
 GLASS, TYP.