



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-004038
Application No. SD-2021-00098

TO:

- Planning Department/Chair
 Hydrology
 Transportation Development
 ABCWUA
 Code Enforcement
 Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: JUNE 2, 2021 HEARING DATE OF DEFERRAL: JUNE 9, 2021

SUBMITTAL DESCRIPTION: THIS SUBMITTAL INCLUDES RESPONSES TO AGENCY COMMENTS AND DOCUMENTS REVISED PER REVIEW. ALSO INCLUDED IS FORM V2 AND SUPPORTING DOCUMENTS FOR THE RIGHT-OF-WAY DEDICATION TO THE CITY AND THE ADMINISTRATIVE WAIVER OF 4-FOOT ALLEYWIDTH FROM THE

20-FOOT DPM STANDARD TO ACCEPT THE 16-FOOT ALLEYWIDTH AS PLATTED IN THE ORIGINAL SUBDIVISION. THE RESPONSES ARE UP FRONT WITH THE REMAINING DOCUMENTS IN AN ORDER BETWEEN THAT OF FORM S2 AND V2.

CONTACT NAME: STEVEN SANDOVAL, PS - CONSTRUCTION SURVEYING SERVICES

TELEPHONE: 575-491-2371 EMAIL: cssalamo@aol.com



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input checked="" type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input checked="" type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

A Lot Consolidation Replat, combining Lots 3, 4, 5, & 6, Block 8, Broadacres Subdivision at the northwest corner of Menaul & Pennsylvania

APPLICATION INFORMATION

Applicant: VIA REAL ESTATE , LLC	Phone:
Address: 13105 CR 1820	Email:
City: LUBBOCK	State: TX
Professional/Agent (if any): STEVEN J. SANDOVAL, PS	Zip: 79424
Address: PO BOX 2295	Phone: 575-443-6202
City: ALAMOGORDO	Email: CSSALAMO@AOL.COM
State: NM	Zip: 88311
Proprietary Interest in Site:	List all owners:

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LOTS 3, 4, 5, & 6	Block: 8	Unit:
Subdivision/Addition: BROAD ACRES SUBDIVISION	MRGCD Map No.:	UPC Code: 101905924927920802
Zone Atlas Page(s): H-19-Z	Existing Zoning: MX-M	Proposed Zoning MX-M
# of Existing Lots: 4	# of Proposed Lots: 1	Total Area of Site (Acres): 0.717

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 7521 MENAUL BLVD NE	Between: LOUISIANA BLVD	and: WYOMING BLVD
--	-------------------------	-------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 4/8/21
Printed Name: Steven Sandoval	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:		Project #		



June 4TH, 2021

Jolene Wolfley – Development Review Board (DRB) Chair
City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NM
Albuquerque, NM 87102

RE: DRB Project Number : 2021-004038
Lots 3 - 6, Block 8, Broad Acres Subdivision
7521 Menaul Blvd. NE

Jolene,

Below are my engineering related responses to the DRB Review Comments dated May 26, 2021.
Both Code Enforcement and Parks & Recreation have approved without comments or objections.

Planning Department

Reviewer: Jay Rodenbeck

- Includes an Infrastructure List.
Response: Infrastructure List has been updated per Utility, Traffic and Drainage comments.
- The project and application numbers need to be added to the Plat prior to distribution of the Plat for DRB e-signatures.
Response: Surveyor is aware of the added information to the Plat prior to final execution.
- A recorded IIA must be submitted prior to final sign-off from Planning.
Response: Please provide IIA submittal requirements for execution.
- The proper notification form must be utilized to inform the Neighborhood Association representatives of the platting proposal.
Response: Surveyor of record (Steven J. Sandoval NMPS No. 12351) is coordinating with the City to inform the Neighborhood Association representatives of the platting proposal.
- The Zone Atlas Map sheet must be updated with the most up-to-date sheet featuring the current IDO zoning.
Response: Map updated to IDO Zone Atlas May 2018.
- The notification letter describing the platting proposal must be updated to elaborate on the platting proposal and to note the date and time of the DRB meeting, and its remote meeting information.
**Response: Notification letter to be updated as needed by surveyor of record.
(Steven J. Sandoval NMPS No. 12351)**
- The utility/AMAFCA signatures need to be added to the Plat prior to distribution of the Plat for DRB e-signatures.
Response: Surveyor is aware of the added information to the Plat prior to final execution.
- The DXF file approval email from AGIS needs to be received prior to DRB final sign off.
Response: Surveyor of record (Steven J. Sandoval NMPS No. 12351) will provide after all comments are addressed.

Utility Development Section

Reviewer: Blain Carter, P.E.

1. Utility Plan:
 - a. Please provide a utility plan that shows the requested tap location, sewer service location, and removal the unused service lines.
Response: See sheet C-4.0 (Utility Plan) for water and sewer service information. (reduced 8.5"x11" attached for reference)
2. Infrastructure List:
 - a. Please add the removal of the unused water and sewer services to the infrastructure list.
Response: Infrastructure List updated to include removal of unused water and sewer services.
3. Availability Statement #210211 has been issued and provides the conditions for service.
Correct, Water and Sanitary Sewer Availability Statement #210211, dated March 25th, 2021 is on file and we intend to accommodate in service design and advise the developer to do so during construction, etc.

Transportation Development

Reviewer: Jeanne Wolfenbarger, P.E.

1. Provide radius at property corners at the street intersections. Take clear sight distances into account as well as making sure all public infrastructure is within right-of-way.
Response: 25' radius added to R/W at northeast and southeast property corners, being road and alley intersections. This will allow for clear sight distance for cars and pedestrians at these intersections.
2. Provide distance from back of curb to property line and sidewalk width. Required sidewalk width is 6 feet for both Menaul and Pennsylvania. Additional right-of-way dedication may be required.
Response: Existing sidewalk width along both Menaul and Pennsylvania is 6' and is all within public R/W. No additional R/W dedication needed.
3. The alleyway minimum right-of-way width requirement is 20 feet. The alleyway pavement needs to be removed and replaced along frontage of property due to its poor condition.
Response: The Existing 16' alley appears to be functional as is and there are buildings right along this existing alley line which means any widening to 20' for the entire length of the block will not be foreseeable any time in the future. So, maintaining the existing alley 16' width will not impact its functionality due to car wash site development – in fact the removal of the existing buildings along the alley line will improve traffic site distance and overall alley functionality.
4. Ensure that the dumpster location does not interfere with Pennsylvania traffic and that it is accessible.
Response: Both Solid Waste and Traffic Department approved the current dumpster location on the alley as seen in stamped plan dated 3/10/2021. We worked though layout options with Herman Gallegos (code enforcer / dispatch supervisor) which resulted in this geometry –

his plan it to add rollers to the dumpster for proper accessibility of trash truck. This Email coordination can be provided upon request.

- Specify height of curb on infrastructure list.
Response: Hight of Curb added to Infrastructure List – 6”.

Hydrology Section

Reviewer: Renee Brissette P.E.

- Hydrology has an approved Grading & Drainage Plan (H19D091) with engineer’s stamp 02/10/2021.
Response: Approved Grading and Drainage Plans on file – stamp date 2/10/2021 confirmed.
- Hydrology has no objection to the platting action.
Response: No Plat changes requested per drainage review.
- Comment – Site Plan – It appears that there is inadequate room for a trash truck to do a 90 degree turn in the alley between the two existing power poles. Please verify with Transportation on this issue. The trash enclosure may have to be rotated at a 45 degree to the alley instead for easy use. If this does get changed, then an updated Grading & Drainage Plan will be needed to submit to Hydrology. See photo below.
Response: See response to Traffic Comment #4.
- Since the existing alley is in poor condition and that this site plans to use this and even place a concrete pad within the Public Alley, the entire alley along the northern property line will need to be brought to current City standards per drawing #2411.
Response: Plans updated to show alley reconstruction to 16’ Portland cement concrete per City Standard Paving Detail #2411. See sheet C-2.2 (Site Plan) for pavement installation details. (reduced 8.5”x11” attached for reference)
- Infrastructure List. The following drainage line item are need:
 - Asphalt paving, valley gutter, & header in the 16’ public alley along the north property line.
Response: Alley paving added to Infrastructure List.
 - Engineer’s Certification for Grading & Drainage is required for release of Financial Guarantee.
Response: Understood
- Comment – Hydrology will need an revised Grading and Drainage Plan that reflects with work to be done within the alley and also showing the new location of the dumpster (if Transportation needs it adjusted).
Response: Updated Grading and Drainage Plans will be re-submitted due to alley improvements after DRB has approved and prior to building permit resubmittal.

Please let me know if you have any questions regarding the above responses.

Sincerely,



Ryan J. Morrissey, P.E.
Project Team Leader



DATE	DESCRIPTION
05.04.21	1 Rev - Revised per City Comments
05.04.21	2 Rev - Revised per DRB Comments

SITE DEVELOPMENT PLANS FOR CHAMPION XPRESS
 NORTHWEST OF THE INTERSECTION OF MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
 LOT 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT ENGINEERS & ARCHITECTS
 2100 Shreve Drive, Suite 100, Albuquerque, NM 87102
 (505) 243-8888 | www.burkhardt-engineers.com

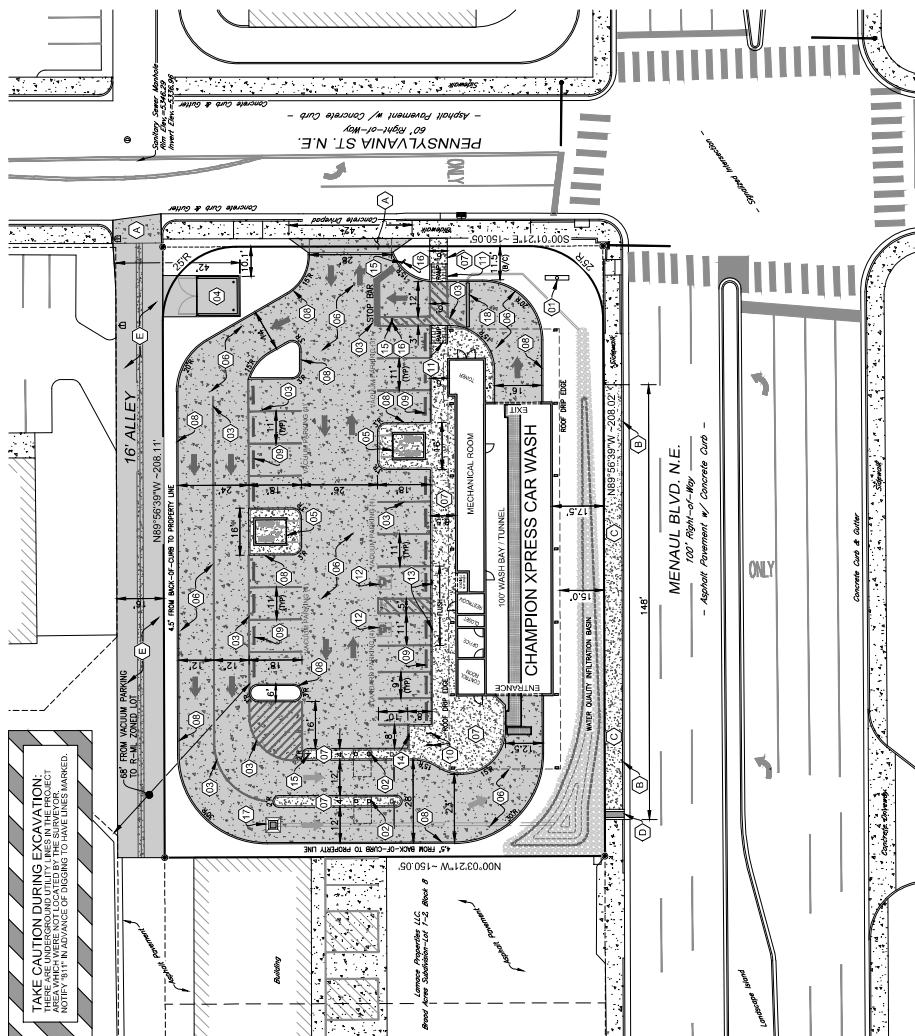
Design: R.M.J. Proj: 19-1006
 Draw: J.M.M. Date: 10-20-2019
 Check: R.M.J. Title: C-2-C-2P
 Scale: 1" = 20'
 Date: 02.05.2021
 Sheet No.: C-2.2

SITE PLAN

Graphic Scale: 1" = 20'

North Arrow

- SITE KEYNOTES**
- NEW PYLON SIGN - PER CITY AND PERMITTING WITH CHAMPION XPRESS CAR WASH PROJECT MANAGER. -CODE REQUIREMENTS: MAX. SIZE = 240 SQ.FT., MAX. HEIGHT = 40 FT.
 - PAV. STATION CANOPY - SEE ARCHITECTURAL PLANS FOR DETAILS.
 - PARKING STRIPE / HATCH - 4" WIDE PAINTED STRIPES 24" FOR STOP BAR, -HATCHING TO BE AT 45 DEGREE AND 20' O.C. -PARKING SIGNAGE STRIPES TO BE PAINTED YELLOW.
 - CONCRETE CURBMASTER PAD & APPROX. 4" HIGH CONCRETE CURB, 400# PER CONCRETE REINFORCED WITH #4 @ 12" O.C. @ 12" O.C. IN EACH DIRECTION. -PAD DIMENSIONS: 14" DIA. @ 12" O.C. -PROVIDE FIRE BOLLARDS PER DETAIL / SHEET CA-0 -SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAILS AND PIPE BOLLARD LAYOUT.
 - VACUUM EQUIPMENT ENCLOSURE -SEE ARCHITECTURAL PLANS FOR DETAILS.
 - CONCRETE PAVEMENT -PER PAVEMENT SECTION, SHEET CA-0
 - CONCRETE SIDEWALK -PER DETAILS / SHEET CA-0
 - CONCRETE BARRIER CURB -PER DETAILS / SHEET CA-0
 - CONCRETE WHEEL STOP -30" RECOMMENDED SPACING. -PER DETAIL / SHEET CA-0
 - BICYCLE PARKING (2 RACKS) -PER DETAIL / SHEET CA-0
 - ADA ACCESSIBLE RAMP -PER DETAIL / SHEET CA-0
 - ADA PARKING SYMBOL -PER DETAIL / SHEET CA-0
 - ADA PARKING SIGNAGE -PER DETAIL / SHEET CA-0
 - MOTORCYCLE PARKING SIGNAGE -PER DETAIL / SHEET CA-0
 - TRAFFIC CIRCULATION SIGNAGE "DO NOT ENTER" -PER DETAIL / SHEET CA-0
 - TRAFFIC CIRCULATION SIGNAGE "STOP" -PER DETAIL / SHEET CA-0
 - DRAINAGE STRUCTURE -SEE UTILITY PLAN / SHEET CA-0 FOR INSTALLATION DETAILS.
 - TRENCH DRAIN -PER DETAIL / SHEET CA-0



GENERAL SITE NOTES

- Building single stories shown on the Civil Engineering Plans are for reference only. All other structures shown on the Architectural and Structural Plans for final dimensions.
- All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All dimensions to the building are referenced to the outside face of the structure's facade.
- All sidewalks, curbs and gutters, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in accordance with the City of Albuquerque's Public Works Department specifications and requirements.
- All proposed handicap ramps, parking areas, and accessible routes shall comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA, Accessibility Guidelines (ADAG).
- All ADA accessible routes shall have detectable warnings installed as required by the ADAG. Detectable warnings shall consist of raised light-colored, dark, or dark-on-light.
- Contractor shall excavate existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
- All concrete pavement shall be joints in accordance with ACI 309R-08, Section 3.7 and Appendix C. Construction joints shall be 1/4 of the slab thickness, unless otherwise specified. Foundations, pilings, and other fixed structures. Construction joints shall be finished and spaced as follows:
 Curbings: 10'-0" (max) spacing.
 Sidewalks: 5'-0" (max) spacing.
 Vehicular Traffic Areas: 24' x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

PLANNING AND ZONING REQUIREMENTS

Zone: "M-2" Mixed Use - Moderate Intensity Zone District
 Proposed Use: Car Wash

Building Submittals
 Shop, Interior: 0 ft. (min.)
 Side, Street: 6 ft. (min.)
 Rear: 15 ft. (min.)

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
 City of Albuquerque Planning Department
 Contact: David Camacho
 Telephone: 505.924.3860
 Email: dcamach@ciabq.gov

UTILITY CONTACT INFORMATION:
SANITARY SEWER / WATER
 Albuquerque Bernalillo County Water Utility Authority
 Contact: Kristopher Cadena
 Telephone: 505.398.3301
 Email: kadena@bcwaas.org

GAS
 New Mexico Gas Company
 Contact: Gabe Rodriguez
 Telephone: 505.867.6335

ELECTRIC
 PNM (Public Service Company of New Mexico)
 Contact: David Camacho
 Telephone: 505.241.3897
 Email: mmoyet@pnm.com

TELECOM
 CenturyLink
 Contact: Customer Service
 Telephone: 866.465.2313

VERTICAL & HORIZONTAL CONTROL:
 Reference - ALTA (NSPS Land Survey of the subject property prepared by Steve Santofel Professional Land Surveyor - New Mexico Registration No. 12351

A satellite map solution was performed to determine the state plane coordinates shown hereon.
 A benchmarked point (not tied based on GPS observation using Topcon Hi-per CA surveying equipment with the base station set at latitude: 35°00'53.8689" North and Longitude: 108°33'07.200" West.

WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES DRG-APPROVED PLANS.

STREET IMPROVEMENT KEYNOTES

- CITY DRIVEPAD WITH SIDEWALK AT PROPERTY LINE -PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO. 2425A AND 2425B
- CITY STANDARD CURB & GUTTER -PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO. 2415
- CITY CONCRETE SIDEWALK -PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO. 2420
- 6" WIDE SIDEWALK CURB (LEFT WITH STEEL) ON A/E TOP -PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO. 2426 AND 2236
- CITY ASPHALT ALLEY WITH CONCRETE ALLEY GUTTER -PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING NO. 2411, 2415 & 2407

SITE AND PAVEMENT LEGEND

- BACK-OF-CURB
- TYPICAL PARKING STALL WIDTH
- RADIUS - FACE OF CURB
- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- DIRECTIONAL PARKING LOT ARROW
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT

TAKE CAUTION DURING EXCAVATION:
 ALL EXCAVATION AREAS MUST BE PROTECTED BY SURVEYOR. ALL EXCAVATION AREAS MUST BE NOTICED BY THE SURVEYOR. NOTIFY 911 IN ADVANCE OF DIGGING TO AVOID LINES MARKED.

ACCESSIBLE PARKING SYMBOL & MARKING NOTES

- The International Symbol of Accessibility (wheelchair) on the surface of the parking space.
- The word "NO PARKING" painted on any access aisle adjacent to the parking space.
- A tactile map solution was performed to determine the state plane coordinates shown hereon.
- A benchmarked point (not tied based on GPS observation using Topcon Hi-per CA surveying equipment with the base station set at latitude: 35°00'53.8689" North and Longitude: 108°33'07.200" West.



Private Drainage Facilities, within City Right-of-Way
Notice to Contractor
 (Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. All work shall be completed before beginning any work within City Right-of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, "811" for (505) 260-3900 for excavation services.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Worker of the property being served.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 67% impervious / 13% landscaping & gravel
 Proposed Lot Coverage - 63% impervious / 17% landscaping

Net Decrease in Storm Water Runoff due to Displacement
 No Storm Water Detention Required

Methodology:
Albuquerque Development Process Manual
 Chapter 10.1.1
 A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures.

Storm Water Quality Volume (WQV) = Impervious Area x 0.26 inches

Precipitation Zone: "Between the San Mateo and Elbano"

Drainage Summary:
 Area = 0.717 acres
 Treatment B (Sheet Landscaping Area) - 17%
 Treatment C (Grass) - 13%
 100-year peak Discharge Rate = 4.14 cfs/acre (Table A-3)

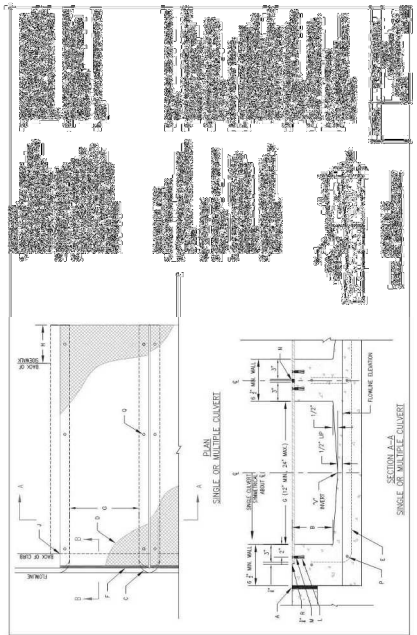
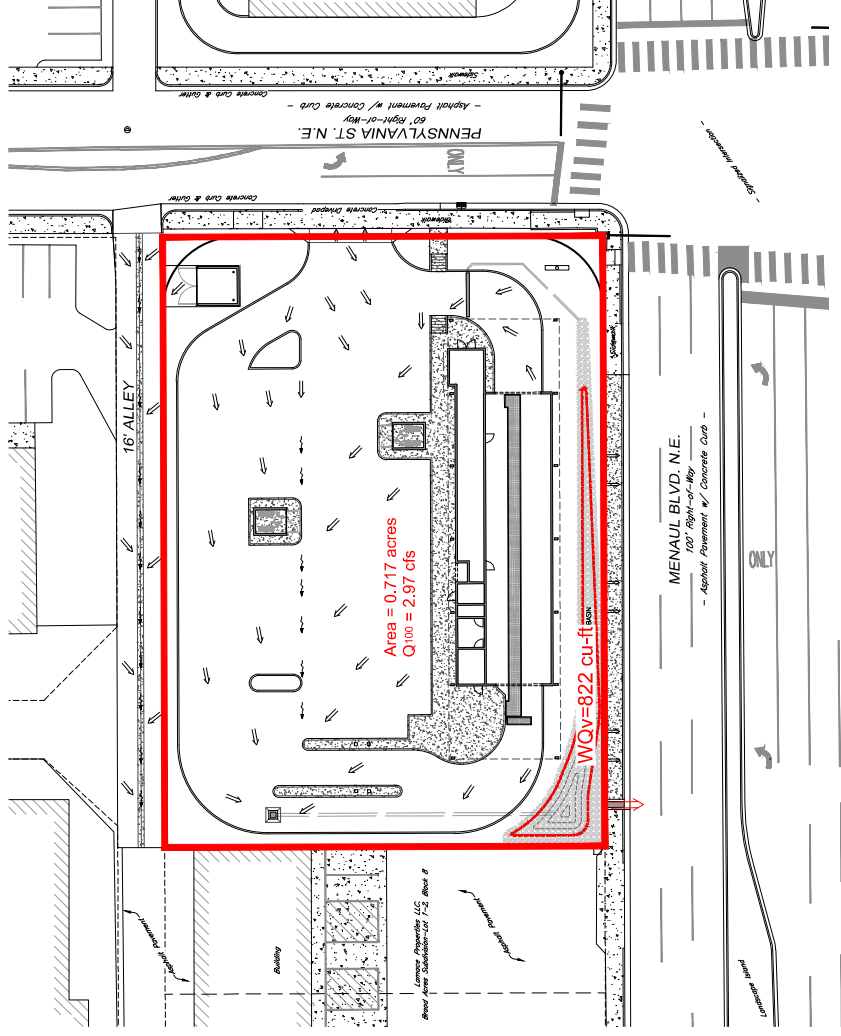
Q₁₀₀ = 2.97 cfs
 WQV = 677 cu-ft (required)

Elevation (ft)	Contour Area (sq-ft)	Incremental Vol. (cu-ft)	Σ Volume (cu-ft)
3337	8	0	0
3338	46	146	146
3340	241	775	921
3340	791	521	1442
3340.15	895	126	1568

*Average Cur Area Method used to calculate storage volumes.

Curb Cut and Sidewalk Culvert Capacity:
 Weir Equation: $Q = C_d A \sqrt{2gH}$ where:
 C_d = weir coefficient = 0.33
 L = length of weir (ft)
 H = head or depth (ft)

For the 24" wide Curb Cuts and Sidewalk Culverts with a max depth of 7",
 Maximum Flow = 2.97 cfs (meets 100-year discharge)

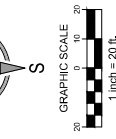
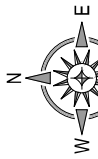


NOTES:
 1. NOTES ON EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO THE EXCAVATION CONTRACT SPECIFICATIONS.
 2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.
 WQV AREA SECTION
 NOT TO SCALE



GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and all spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grading activities.
3. The Contractor shall be responsible for stripping and removal of all excess fill from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and elevations. All grades and elevations shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from paved areas onto grass or landscape areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise noted. Maximum slope shall not exceed 5:1 (20.0%) unless otherwise noted or approved by the Engineer.
11. ADA accessible areas shall not exceed the following slopes:
 Ramps - 1:12 (8.3%) max.
 Route - 1:20 (5.0%) max.
 Cross Slopes - 1:50 (2.0%) max.
 The Contractor shall adjust topsoil/grades of all clearouts, manholes, inlets, valves, etc. to match final grade.
12. Following grading of subsoil to subgrade elevations, the Contractor shall provide 2" of topsoil (minimum) in all disturbed areas which are not to be resurfaced. The Contractor shall ensure positive drainage. Stockpiled topsoil shall be screened prior to resurfacing and should be free of subsoil, debris, and stones.
13. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any areas of cut under fill, especially in areas where cut and/or fill will be used for a year or more. The Contractor shall provide all conditions discovered during earthwork operations.
14. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
15. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subsurface information and fully implement recommendations given therein.



Item	Description
1	Rev. 5 - Revised per RFB Comments.
2	DATE

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS
 NORTHWEST OF THE INTERSECTION OF
 MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
 LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT ENGINEERS & ARCHITECTS
 2100 Shreve Lane SW, Suite 1000 | Phoenix, AZ 85004 | burkhardt.com
 CH. BURKHARDT, P.E. | CH. BURKHARDT, P.E. | CH. BURKHARDT, P.E. | CH. BURKHARDT, P.E.
 Design: R.M.M. | Proj: 19-106
 Drawn: J.M.M. | Date: 10-10-2021
 Check: R.M.M. | Title: C3-C4P
 Scale: 1" = 20'
 Date: 02.05.2021
 Sheet: GRADING & DRAINAGE NOTES AND DETAILS

Sheet No.: **C-3.1**



DATE	04/14/2021
DESCRIPTION	1 Rev. 3 - Revised per DRG Comments.
DATE	05/04/21
DESCRIPTION	2
DATE	04/22/21
DESCRIPTION	1 Rev. 3 - Revised per DRG Comments.

SITE DEVELOPMENT PLANS FOR CHAMPION XPRESS
 NORTHWEST OF THE INTERSECTION OF
 MENAUL BLVD. N.E. & BROAD CANYON SUBDIVISION
 LOT# 3-6, BLOCK 8, BROAD CANYON SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT ENGINEERS & ARCHITECTS
 2100 Shreve Lane SW, Suite 100 | Phoenix, AZ 85004 | PHOENIX, AZ
 2100 Shreve Lane SW, Suite 100 | Phoenix, AZ 85004 | PHOENIX, AZ
 Design: R.M.M. | Proj: 19-106
 Drawn: J.M.M. | Date: 12-18-2019
 Check: R.M.M. | Title: C-4-C-UP
 Scale: 1" = 20'
 Date: 02.05.2021
 Sheet: UTILITY PLAN

Sheet No.: **C-4.0**

SANITARY SEWER NOTES:

Contractor to provide 6" (min) sanitary sewer service line from building to public sewer main, install tap, manholes, cleanouts and other appurtenances as required by the local utility provider. Coordinate building construction with planning plans.

All sanitary sewer pipe shall be P.V.C. SDR 35 ASTM D-3034 with joints conforming to ASTM 3212. All pipe shall be installed in accordance with the manufacturer's recommended procedures and shall maintain a minimum slope of 1:100.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with lifting-bearing lids and concrete collars. Cleanout spacing shall not exceed 100'. For detail 1' Sheet C-5-0.

Sanitary sewer service connection, permit and construction to be coordinated with Albuquerque Water Utility Authority.

WATER NOTES:

Contractor to provide 2" (min) domestic water service line from public water main to building, install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate with Irrigation Contractor, irrigation plans and planning/technical plans.

Contractor to provide 1" (min) irrigation service line from public water main to existing meter, install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate with Irrigation Contractor, irrigation plans and planning/technical plans.

Domestic water service lines shall be Polyethylene PE4710 or Albuquerque Water Utility Authority approved material, installed per manufacturer's instructions. All pipe shall be installed with a minimum cover of 42" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with Albuquerque Water Utility Authority.

GAS NOTES:

Coordinate gas service lines, meter, and connections with mechanical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

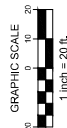
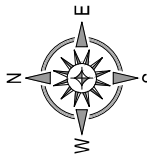
ELECTRIC NOTES:

Coordinate electric service lines, meter, and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

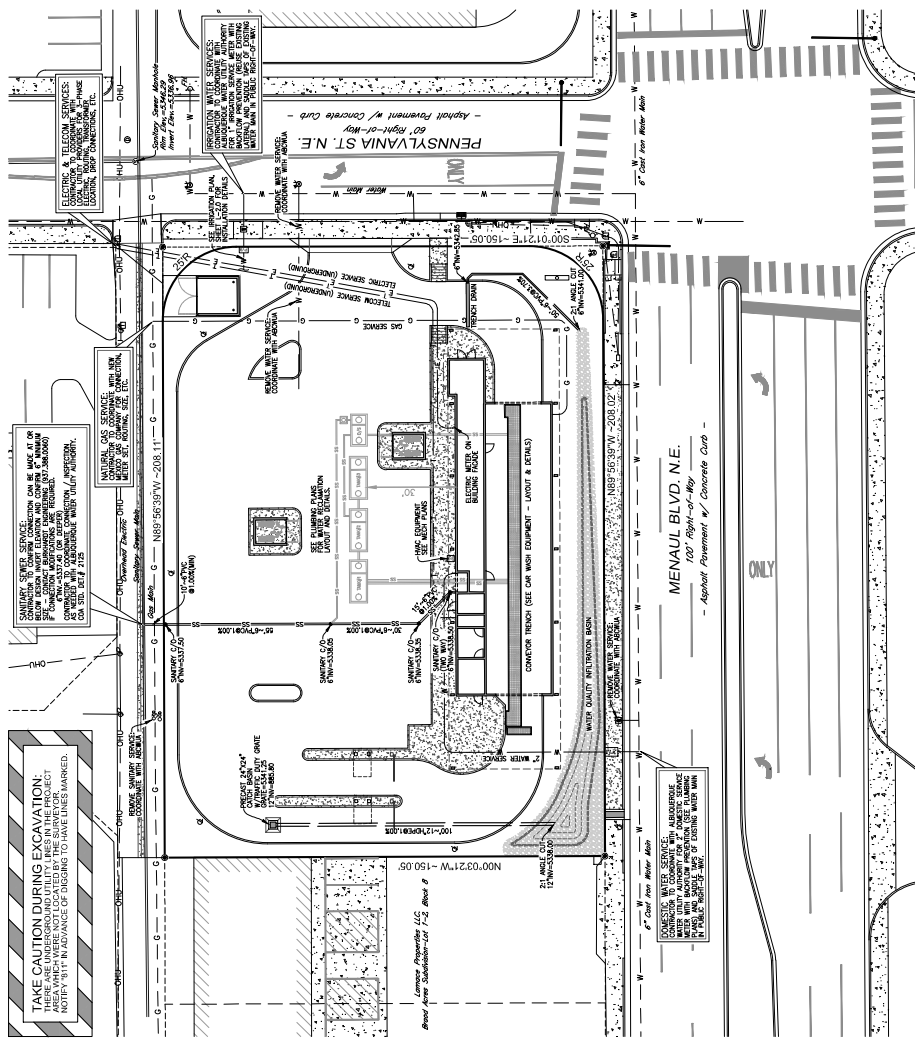
Coordinate telecommunications service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.



UTILITY LEGEND

⊙	PROP. LIGHT POLE
⊙	PROP. POWER POLE
⊙	PROP. WATER METER
—O—	PROP. OVERHEAD ELECTRIC SERVICE
—S—	PROP. SANITARY SEWER SERVICE
—W—	PROP. WATER LINE
—G—	PROP. GAS SERVICE
—T—	PROP. TELECOM SERVICE

WORK WITHIN PUBLIC RIGHT-OF-WAY
 REQUIRES DRG-APPROVED PLANS.



TAKE CAUTION DURING EXCAVATION:
 ALL UTILITIES SHOWN ON THESE PLANS ARE LOCATED BY THE SURVEYOR. ALL UTILITIES NOT SHOWN ON THESE PLANS ARE LOCATED BY THE SURVEYOR. NOTIFY 911 IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

GENERAL UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from various sources by various means prior to beginning any construction. The Contractor shall verify the location and depth of all utilities shown on these plans prior to the start of construction.
- Contractors to coordinate with the local utility companies for all locations and appurtenances. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any construction. The Contractor shall verify the location and depth of all utilities shown on these plans prior to the start of construction.
- The Contractor shall coordinate with the local utility companies for all locations and appurtenances. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any construction. The Contractor shall verify the location and depth of all utilities shown on these plans prior to the start of construction.
- All utility lines and trenches shall be installed, backfilled and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
- Sanitary sewer laterals shall maintain 10' (min. horizontal, 12' (min. vertical) separation distances from water lines (unless otherwise shown), or additional separation distances from other utility lines (unless otherwise shown), or additional separation lateral by less than 2' vertical, a concrete encasement shall be installed. Contractor shall center one joint of pipe at crossing.
- Roof drains, foundation drains, and other drain water connections to the sanitary sewer system are prohibited.

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
 City of Albuquerque Planning Department
 Contact: David Camacho
 Telephone: 505.924.3860
 Email: dcambell@ciabq.gov

UTILITY CONTACT INFORMATION:

SANITARY SEWER / WATER:
 Albuquerque Bernalillo County Water Utility Authority
 Contact: Kristopher Cadena
 Telephone: 505.288.3301
 Email: kadens@bcwa.gov

GAS:
 New Mexico Gas Company
 Contact: Gary S. Smith
 Telephone: 505.867.6335

ELECTRIC:
 PNM (Public Service Company of New Mexico)
 Contact: Kristopher Cadena
 Telephone: 505.241.3897
 Email: mmoyse@pnm.com

TELECOM:
 CenturyLink
 Contact: Customer Service
 Telephone: 888.465.2313

VERTICAL & HORIZONTAL CONTROL:
 Reference - ALTA (NSPS Land Survey of the subject property prepared by Steve Santofiel Professional Land Surveyor - New Mexico Registration No. 12351
 A utility map solution was performed to determine the state plane coordinates shown hereon.
 A benchmarked point north has been used as a GPS observation using Topcon Hi-per CA surveying equipment with the base station set at latitude: 35°0033.8689' North & Longitude: 109°33'07.3007' West.





DEVELOPMENT REVIEW BOARD

Planning Dept. - Minor Case Comments

HEARING DATE/AGENDA ITEM NO. 9

Project Number: PR-2021-004038

Application Numbers: SD-2021-00098

Project Name: Lots 4-6, Broad Ares Subdivision

Request: Preliminary/Final Plat

COMMENTS:

- Includes an Infrastructure List. **Okay, will submit**
- The project and application numbers need to be added to the Plat prior to distribution of the Plat for DRB e-signatures. **Added to plat**
- A recorded IIA must be submitted prior to final sign-off from Planning. **Okay, in process**
- The proper notification form must be utilized to inform the Neighborhood Association representatives of the platting proposal. **Okay, sent**
- The Zone Atlas Map sheet must be updated with the most up-to-date sheet featuring the current IDO zoning. **Revised as requested**
- The notification letter describing the platting proposal must be updated to elaborate on the platting proposal and to note the date and time of the DRB meeting, and its remote meeting information. **Added as requested**
- The utility/AMAFCA signatures need to be added to the Plat prior to distribution of the Plat for DRB e-signatures. **Understood, will obtain**
- The DXF file approval email from AGIS needs to be received prior to DRB final sign off. **Will forward upon receipt**

Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jay Rodenbeck
Planning Department

DATE: 5-25-21

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request
- ___ Scale drawing of the proposed subdivision plat (7 copies, folded)
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Proposed Final Plat (7 copies, 24" x 36" folded)
- ___ Design elevations & cross sections of perimeter walls (3 copies)
- ___ Copy of recorded IIA
- ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer
- ___ DXF file and hard copy of final plat data for AGIS submitted and approved

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

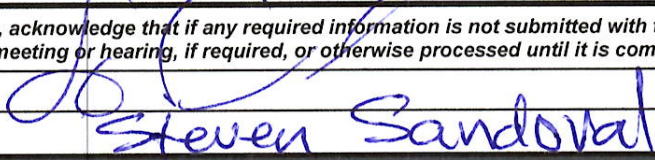

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6(K)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information
- Proposed Infrastructure List, if applicable
- Required notice with content per IDO Section 14-16-6-4(K)
- ___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives
- ___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer
- ___ DXF file and hard copy of final plat data for AGIS submitted and approved

Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>		
Signature:		Date: 4/27/21
Printed Name:	Steven Sandoval	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY		
Project Number:	Case Numbers	
	-	
	-	
	-	
Staff Signature:		
Date:		

FORM V2: Waiver– DRB

Please refer to the DRB case schedules for meeting dates and deadlines. Your attendance is required.

WAIVER – IDO

- Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6(P)(3), compliance with the DPM, and all improvements to be waived, as applicable. .
- Scale drawing showing the location of the proposed variance or waiver, as applicable (7 copies, not to exceed 8.5" by 14")
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination Public Notice Inquiry response
 - Proof of emailed notice to affected Neighborhood Association representatives

WAIVER – DPM (MUST BE HEARD WITH SUBDIVISION/SITE PLAN ACTION)

- Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in DPM – Chapter 2
- Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Proof of Neighborhood Meeting
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing* **this step is not required if waiver is to be heard with minor subdivision plat**
 - Sign Posting Agreement - **this step is not required if waiver is to be heard with minor subdivision plat**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- A scale drawing showing the location of the deferred sidewalk with appropriate dimensions.
- Proof of Neighborhood Meeting

EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Letter describing, explaining, and justifying the deferral or extension
- Drawing showing the sidewalks subject to the proposed deferral or extension (7 copies, not to exceed 8.5" by 14")

<p>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</p>	
<p>Signature: _____ </p>	<p>Date: JUNE 3, 2021</p>
<p>Printed Name: STEVEN SANDOVAL, PS</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Case Numbers: _____</p>	<p>Project Number: _____</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-19-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Agent Authorization Notice – 7509 Menaul NE Albuquerque, NM 87110 and 7521 Menaul NE Albuquerque, NM 87110

To Whom It May Concern,

CEO of 7B Building & Development c/o Derrick Merchant, hereby authorizes Steven Sandoval, PS with Construction Surveying Services to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at: 7509 Menaul NE Albuquerque, NM 87110 and 7521 Menaul NE legally described as:

PARCEL 1:

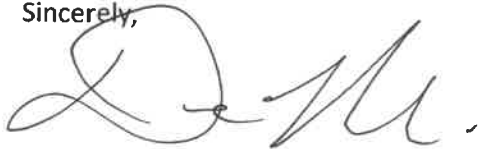
* 003 008BROAD ACRES

PARCEL 2:

* 004 008BROAD ARCES XLT 5X6

This authorization is valid until further written notice from CEO of 7B Building & Development c/o Derrick Merchant or Steven Sandoval, PS with Construction Surveying Services (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for the Development Review Board.

Sincerely,



CEO of 7B Building & Development

c/o Derrick Merchant

13105 Dover

Lubbock Texas 79424

Email: derrick@7bdev.com

Office: 806-368-7843



June 3, 2021

Via Email: Jwolfley@cabq.gov

City of Albuquerque Development Review Board
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102
Attn: Jolene Wolfley, DRB Chair

Re: DRB Project No. 2021-004038/SD-2021-00098, Replat B, Block 8, Broad Acres Subdivision, Justification Letter and Additional Right-of-Way Accommodation, Albuquerque, New Mexico

Dear Board:

This letter is to serve as written acknowledgement of the four foot (4') waiver from the twenty foot (20') right-of-way requirement for alley width per DPM Standard to accept the existing sixteen foot (16') as originally platted for Broad Acres Subdivision for the criteria: 6-6(P)(3)(a) 1. There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, water courses, natural topographic features, manmade obstructions, or utility lines.

Additionally, the legal-size survey drawing and the proposed Replat B, Block 8, Broad Acres Subdivision plat under review reflect the dedication of right-of-way with twenty-five foot (25') radii, at the alley and the intersection, as requested.

Should you have any questions, comments, or require more information, please do not hesitate to call.

Sincerely,

Steven J. Sandoval, PS
Principal Surveyor

*Attached to Neighborhood notices

DRB Zoom Meeting Information

Date of virtual meeting: June 9, 2021
Time: 9:00 am MDT

Join Zoom Meeting

<https://cabq.zoom.us/j/99808085640>

Meeting ID: 998 0808 5640

By phone +1 312 626 6799 or Find your local number: <https://cabq.zoom.us/j/99808085640>



Construction Surveying Services
 PO Box 2295, Alamogordo, NM 88311
 (575) 443-6202 FAX (575) 443-1151

DEDICATION OF RIGHT-OF-WAY
 OF TWO TRACTS IN LOT 6,
 BLOCK 8, BROAD ACRES SUBDIVISION
 CITY OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2021

LEGAL DESCRIPTION:

NORTHERN DEDICATION TO RIGHT-OF-WAY

A 134.31 SQ FT TRACT, BEING THE NORTHEAST CORNER OF LOT 6, BLOCK 8, BROAD ACRES SUBDIVISION, LYING GENERALLY WEST OF PENNSYLVANIA STREET NE, NORTH OF MENAUL BOULEVARD NE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A FOUND NAIL W/WASHER 14271 (N1495366.27, E1547726.92) FOR THE NORTHEAST CORNER OF LOT 6, AND THE NORTHEAST CORNER OF THIS RIGHT-OF-WAY DEDICATION; THENCE, S00°01'21"E, A DISTANCE OF 25.01 FEET TO A POINT OF CURVATURE; THENCE, ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, THROUGH A CENTRAL ANGLE OF 90°11'20", AN ARC LENGTH OF 39.28 FEET, AND HAVING A LONG CHORD THAT BEARS, N45°10'20"W, A DISTANCE OF 35.37 FEET; THENCE, N89°56'39"E, A DISTANCE OF 25.01 FEET TO THE POINT AND PLACE OF BEGINNING, ENCLOSING 134.31 SQUARE FOOT (0.003 ACRE) OF LAND MORE OR LESS.

SOUTHERN DEDICATION TO RIGHT-OF-WAY

A 133.94 SQ FT TRACT, BEING THE SOUTHEAST CORNER OF LOT 6, BLOCK 8, BROAD ACRES SUBDIVISION, ADJACENT TO AND NORTHWEST OF THE INTERSECTION OF THE WEST LINE OF PENNSYLVANIA STREET NE AND THE NORTH LINE OF MENAUL BOULEVARD NE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 6, BLOCK 8, BROAD ACRES SUBDIVISION, WHENCE, A FOUND NAIL W/WASHER 14271 (N1495366.27, E1547726.92) BEARS: N00°01'21"W, A DISTANCE OF 150.05 FEET; THENCE, S89°56'39"W, A DISTANCE OF 24.99 FEET TO A POINT OF CURVATURE; THENCE, ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, THROUGH A CENTRAL ANGLE OF 89°58'00", AN ARC LENGTH OF 39.26 FEET, AND HAVING A LONG CHORD THAT BEARS, N44°49'40"E, A DISTANCE OF 35.35 FEET; THENCE, S00°01'21"E, A DISTANCE OF 24.99 FEET TO THE POINT AND PLACE OF BEGINNING, ENCLOSING 133.94 SQUARE FOOT (0.003 ACRE) OF LAND MORE OR LESS.

N1495366.27
 E1547726.92
 ELEV=5345.9

FOUND NAIL
 W/WASHER
 14271

16' ALLEY (4' WIDTH WAIVER REQUEST)
 N89°56'39"E (F) N89°35'00"E (R)
 208.11' (F) 207.80' (R)

SCALE: 1" = 30'



BASIS OF BEARING

ROTATED TO CITY OF ALBUQUERQUE
 SURVEY MONUMENTS 15_H18 AND 11_H19
 AND PINNED TO A ONE-POINT OPUS
 STATIC GPS SOLUTION PERFORMED ON THE
 SUBJECT PROPERTY AT NORTH LATITUDE
 35°06'33.96794" WEST LONGITUDE
 106°33'37.30036" N1495266.12 E1547596.14
 SPC NM C ZONE 3002 ORTHOMETRIC
 HEIGHT OF 5342.81 NAVD 1988

LOT 5
 LOT 6

LOT 6, BLOCK 8,
 BROAD ACRES SUB.,
 FUTURE LOT 3B,
 REPLAT B, BLOCK 8
 BROAD ACRES SUB.

Δ=89°58'00"
 R=25.00'
 L=39.26'
 CH: N44°49'40"E,
 35.35'

DEDICATED TO CITY
 133.94 SQFT
 (0.003 AC)

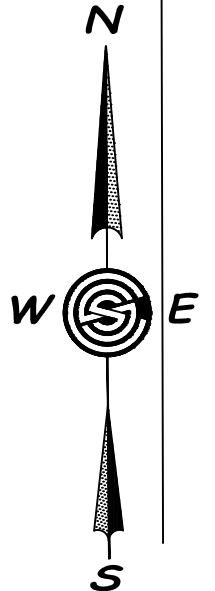
183.03'

S89°35'00"W (R) S89°56'39"W (F)
 MENAUL BLVD NE 208.02' (F/R)
 100' ROW

S89°13'51"W 3958.76'(GRID)
 BASIS OF BEARINGS BETWEEN AGRS MONUMENTS

ALBUQUERQUE GEODETIC REFERENCE STATION "11-H19"
 GEOGRAPHIC POSITION (NAD 1983)
 NM STATE PLANE GRID COORDINATES
 (NM C ZONE 3002, US SURVEY FOOT)
 N=1495164.91 USR E=1548977
 GROUND TO GRID FACTOR
 Δg=00°10'33.04"
 NAVD 1988

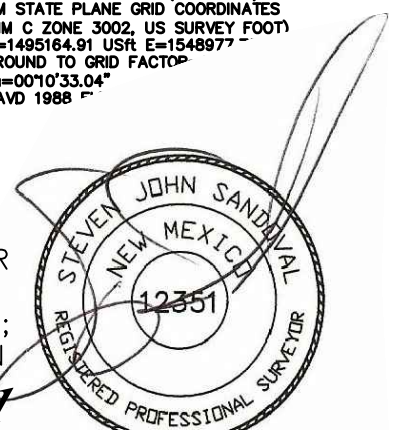
PENNSYLVANIA ST NE
 60' ROW



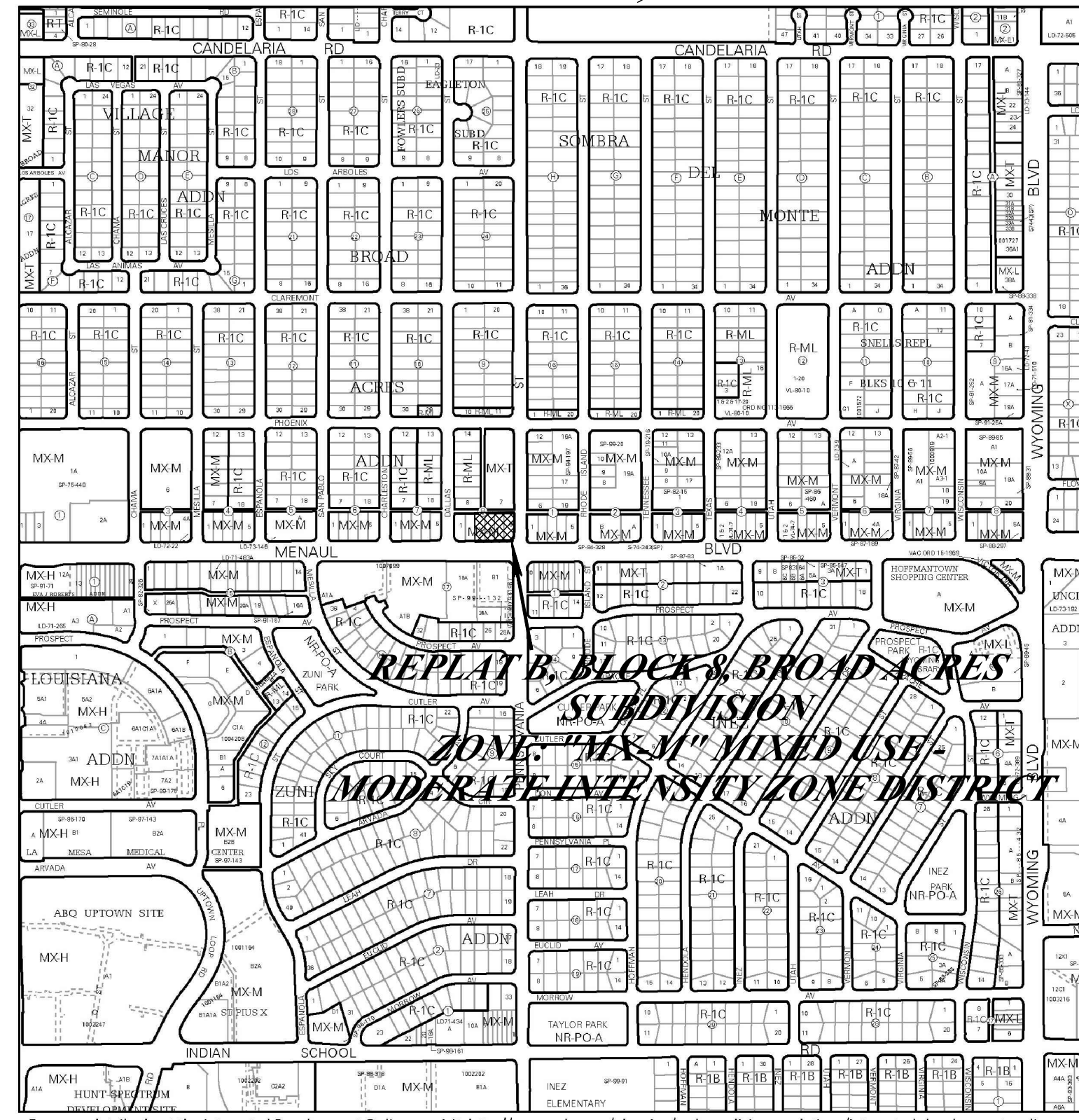
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE DEDICATED AREAS DEPICTED HEREON ARE BASED ON FIELD MEASUREMENTS PERFORMED BY ME OR UNDER MY DIRECTION ON MAY 25, 2021; THAT THE PERIMETER SHOWN IS WITH RESPECT TO FOUND MONUMENTS AND AVAILABLE INFORMATION; AND THAT THIS MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

June 2, 2021



ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



INDEXING INFORMATION

SECTION 7, T10N, R4E,
LOT 3B, BLOCK 8,
BROAD ACRES SUBDIVISION
OWNER: VIA REAL ESTATE, LLC.

UPC# 101905924927920802 (LOT 3)
UPC# 101905925927920803 (LOTS 4-6)

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE TAXES ARE
CURRENT AND PAID ON UPC#

101905924927920802
101905925927920803

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE

REPLAT B, BLOCK 8, BROAD ACRES SUBDIVISION
A LOT CONSOLIDATION OF LOTS 3, 4, 5, & 6, BLOCK 8
BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE 2021

PURPOSE OF PLAT

1. A REPLAT AS SHOWN HEREON, CONSOLIDATING LOTS 3 THRU 6 INTO ONE LOT.

LEGAL DESCRIPTION

LOTS NUMBERED THREE (3), FOUR (4), FIVE (5), AND SIX (6) IN BLOCK NUMBERED EIGHT (8) OF BROAD ACRES, A SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3.

BEING MORE PARTICULARLY DESCRIBED TOGETHER BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT OF INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY OF MENAUL BLVD NE AND THE WEST RIGHT-OF-WAY OF PENNSYLVANIA STREET NE, SAID POINT BEING IDENTICAL TO THE SOUTHEAST CORNER OF LOT 6, BLOCK 8, BROAD ACRES SUBDIVISION AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3;

THENCE, FROM THE POINT OF BEGINNING, ALONG THE NORTH RIGHT-OF-WAY OF MENAUL BLVD NE, S89°56'39"W, A DISTANCE OF 208.02 FEET TO A POINT FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, LEAVING SAID NORTH RIGHT-OF-WAY, N00°03'21"W, A DISTANCE OF 150.05 FEET TO A POINT FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE, N89°56'39"E, A DISTANCE OF 208.11 FEET TO A NAIL WITH WASHER MARKED 14271 ON THE WEST RIGHT-OF-WAY PENNSYLVANIA STREET NE FOR THE NORTHEAST CORNER OF THIS TRACT;

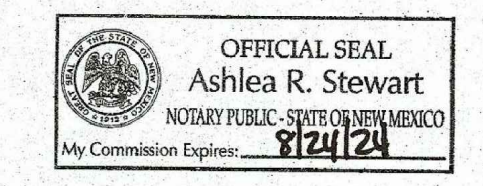
THENCE, ALONG THE WEST RIGHT-OF-WAY OF PENNSYLVANIA STREET NE, S00°01'21"E, A DISTANCE OF 150.05 FEET TO THE POINT AND PLACE OF BEGINNING, ENCLOSING 0.717 ACRE, MORE OR LESS.

FREE CONSENT & DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDER SIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF WHO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR DISTRIBUTION LINES, CONDUITS AND PIPES, INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION, INSPECTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

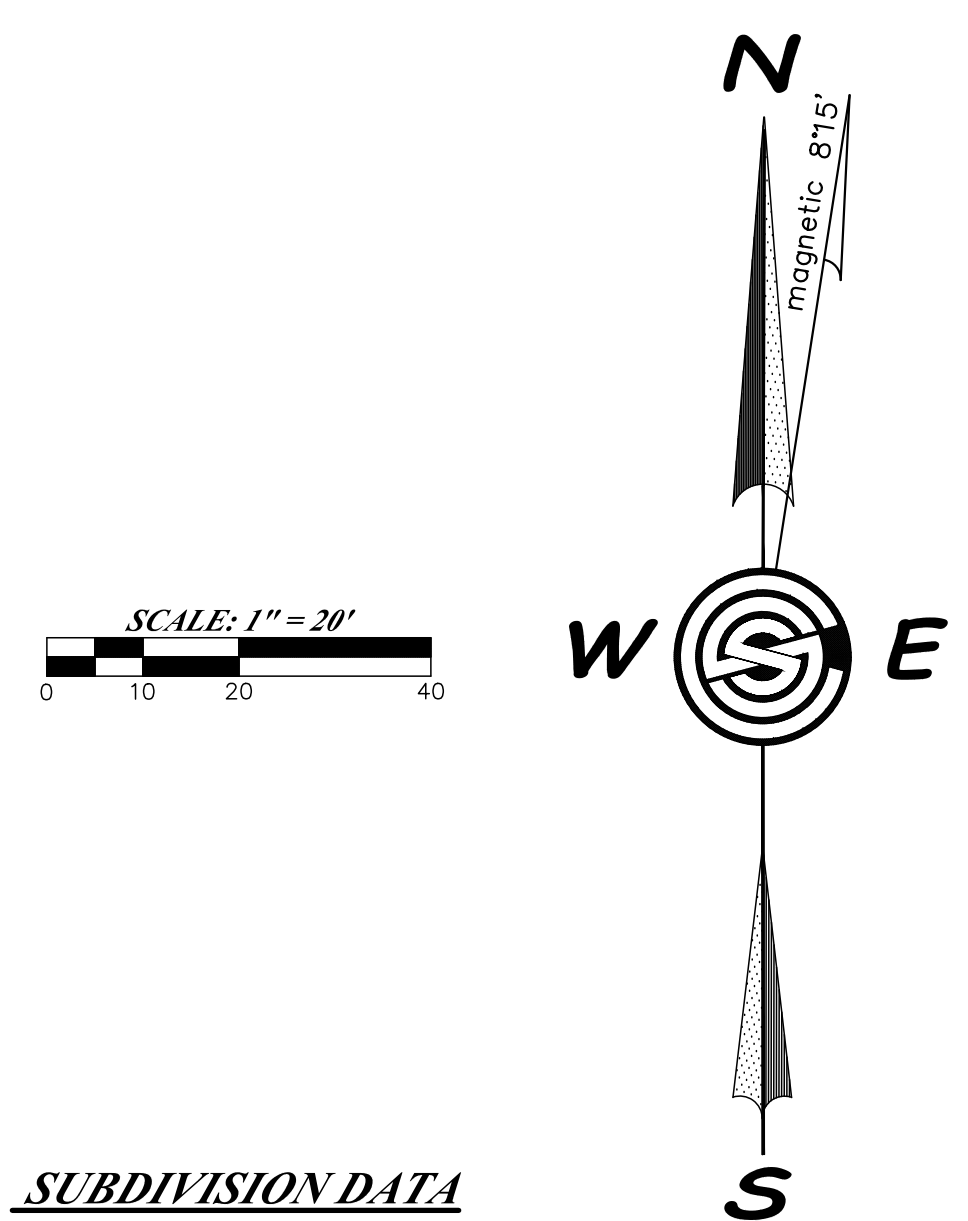
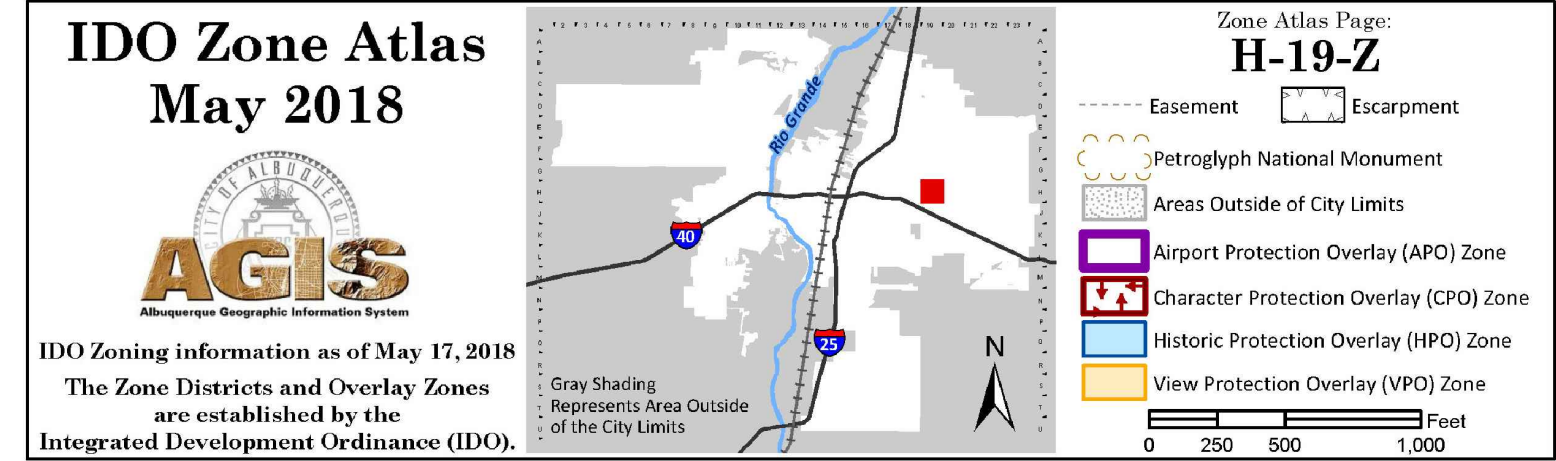
Chad Merchant 04-16-2021

VIA REAL ESTATE, LLC



STATE OF New Mexico } SS
COUNTY OF Bernalillo }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 27th DAY OF April 2021 BY Chad Merchant OWNER
MY COMMISSION EXPIRES 8/24/24
Ashlea R. Stewart NOTARY PUBLIC



SUBDIVISION DATA

1. DRB PROJECT NO.: PR-2021-004038
2. APPLICATION NO.: SD-2021-00098
3. ZONE ATLAS INDEX NUMBER: H-19
4. ZONING: MX-M
5. GROSS SUBDIVISION ACREAGE: 0.717 ACRE.
6. TOTAL NUMBER OF LOTS/TRACTS CREATED: CONSOLIDATED 4 LOTS INTO 1
7. 0 MILES PUBLIC STREET AND PRIVATE RIGHT-OF-WAY CREATED.
8. DATE OF SURVEY: 01/07/2021
9. THE SUBJECT PROPERTY IS LOCATED IN SECTION 7, T10N, R4E, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BASIS OF BEARING

ROTATED TO CITY OF ALBUQUERQUE SURVEY MONUMENTS 15_H18 AND 11_H19 AND PINNED TO A ONE-POINT OPUS STATIC GPS SOLUTION PERFORMED ON THE SUBJECT PROPERTY AT NORTH LATITUDE 35°06'33.96794" WEST LONGITUDE 106°33'37.30036" N1495266.12 E1547596.14 SPC NM C ZONE 3002 ORTHOMETRIC HEIGHT OF 5342.81 NAVD 1988

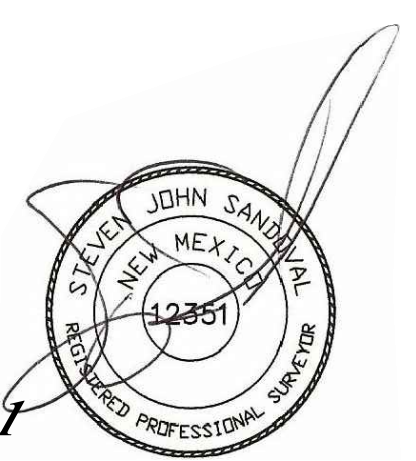
NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE, CENTRAL, GRID BEARINGS (NM C ZONE 3002 NAD 1983)
2. BASIS OF BEARINGS ESTABLISHED FROM CITY OF ALBUQUERQUE REFERENCE STATION 15-H18 TO 11-H19 AS N89°13'51"E.
3. DISTANCES ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
4. PROJECT COMBINED SCALE FACTOR (GRID/GROUND)=0.999658245. FIELD (F) MEASUREMENTS COMPARED TO RECORD (R) BEARINGS AND DISTANCES ARE REFERENCED TO THE ORIGINAL PLAT OF BROAD ACRES SUBDIVISION AS FILED FOR RECORD ON FEBRUARY 21, 1947, IN VOLUME D, FOLIO 3, AS DOCUMENT #1947022147.
5. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANYTIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT.
6. THIS PLAT SHOWS ALL EASEMENTS SHOWN ON THE PLAT OF RECORD (NONE FOUND) OR MADE KNOWN ON TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY DATED OCTOBER 16, 2020, COMMITMENT NO. 2009367 (NONE FOUND).
7. AN ADMINISTRATIVE WAIVER FROM THE 20-FOOT ALLEYWAY WIDTH REQUIREMENT WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 9TH, 2021.

SURVEYOR'S CERTIFICATE

I, STEVEN J. SANDOVAL, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE, AND THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

June 3, 2021



Construction Surveying Services
PO Box 2295, Alamogordo, NM 88311
(575) 443-6202 FAX (575) 443-1151

STEVEN J. SANDOVAL NMPS NO. 12351

DATE

REFERENCE DOCUMENTS

BROAD ACRES SUBDIVISION PLAT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3.

A BOUNDARY SURVEY AND ALTA/ACSM LAND TITLE SURVEY BY WILL PLOTNER, JR, NMPS 14271 DATED MAY 15, 2015

PROJECT NUMBER: PR-2021-004038

APPLICATION NUMBER: SD-2021-00098

PLAT APPROVALS:

PNM ELECTRIC SERVICES	DATE
NEW MEXICO GAS COMPANY	DATE
CENTURY LINK	DATE
COMCAST	DATE

CITY APPROVALS:

Loren V. Rianchover P.S.	6/4/2021	CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIV.	DATE		
ABCWUA	DATE		
PARKS AND RECREATION DEPARTMENT	DATE		
AMAFCA	DATE		
CITY ENGINEER/HYDROLOGY	DATE		
CODE ENFORCEMENT	DATE		
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE		

CSS Proj. No. 20-281

SITE DEVELOPMENT PLANS FOR

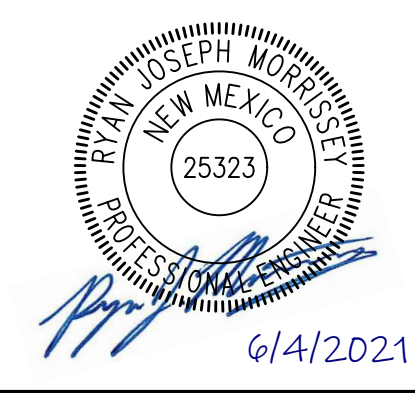
CHAMPION XPRESS CAR WASH

NORTHWEST OF THE INTERSECTION OF

MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.

LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Item	Description	Date
1	Rev 3 - Revised per ABCWUA Comments.	04.22.21
2	Rev 5 - Revised per DRB Comments.	06.04.21

GENERAL CONSTRUCTION NOTES

- All work shall strictly comply with all Local, State, and Federal regulations and requirements.
- Prior to the start of construction, the Contractor shall be responsible for ensuring that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and reviewed all plans and other documents approved by all the permitting authorities. The Contractor shall post all bonds, pay all fees, and provide proof of insurance as required to obtain permits.
- All sediment and erosion control measures, as shown on Sheet C-6.0, shall be in place prior to the start of any demolition, clearing and grubbing, or construction operations. Erosion control measures shall conform to all Local, State, and Federal regulations and requirements.
- North arrow, existing topography, and bearings based on field survey of the subject property prepared by Construction Surveying Services, LLC. dated January, 2021.
- Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor shall contact "811", 72 hours before commencement of work and verify all utility locations.
- The Contractor shall provide and maintain traffic control devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required by Local and State Authorities.
- The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Professional Land Surveyor (Registered with the State) at the expense of the Contractor.
- Any disturbance incurred to any adjacent properties or public right-of-way during demolition and construction shall be restored to its original condition or better, in accordance with and to the satisfaction of Local and State Authorities.
- The Contractor shall abide by all OSHA, Federal, State, and Local regulations when operating cranes, booms, hoists, etc. in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local Utility Provider to make arrangements for proper safeguards.
- All material schedules shown on the plans are for general information only. The Contractor shall prepare their material schedules based upon their plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
- All work within public rights-of-way shall be in accordance with Local, State, and/or Federal requirements and specifications.



VICINITY MAP
NOT TO SCALE

DEVELOPMENT / DESIGN TEAM

OWNER / DEVELOPER
7B Building and Development
Contact: Derrick Merchant
Phone: 806.368.7843
Email: derrick@7bdev.com

ARCHITECT / STRUCTURAL / MEP
C.L. Helt Architect
Contact: Diana Myers
Phone: 704.342.1686
Email: dianam@chelt.com

CIVIL ENGINEER / CONSULTANT
Burkhardt Engineering
Contact: Ryan Morrissey
Phone: 937.388.0060
Email: rmorrissey@burkhardtinc.com

LANDSCAPE ARCHITECTURE
Yellow Springs Design
Contact: Roger Beal
Phone: 937.767.8199
Email: yellowspringsdesign@bizwoh.rr.com

PROJECT SUMMARY

Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

PROPERTY INFORMATION

Address: 7521 Menaul Blvd. N.E., Albuquerque, NM 87110
Legal Description: Lots 3-6, Block 8, Broad Acres Subdivision,
City of Albuquerque, Bernalillo County, New Mexico.
RePlat to Lot 3B
Area: 0.711 acres (0.006 acres dedicated to City in RePlat)
Zoning: "MX-M" Mixed Use - Moderate Intensity Zone District
Flood Zone Designation: FIRM # 35001C0356H, effective date: August 16, 2012
Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.

SHEET INDEX

- C-1.0 : Title Sheet
- C-1.1 : Existing Conditions & Demolition Plan
- C-2.0 : Traffic Circulation Layout Plan
- C-2.1 : Fire 1 Plan
- C-2.2 : Site Plan
- C-3.0 : Grading & Drainage Plan
- C-3.1 : Grading & Drainage Notes and Details
- C-4.0 : Utility Plan
- C-5.0 : Site Details
- C-6.0 : Erosion Control Plan
- L-1.0 : Site Landscape Plan
- L-2.0 : Irrigation Plan

Note: Architectural, Structural, Mechanical, Electrical and Plumbing Plans in separate set.

ISSUE LOG	
Description	Date
Issue for Permit.	02.05.21
Rev1 - Revised per City Comments.	02.10.21
Rev2 - Revised per City Comments.	02.26.21
Rev3 - Revised per ABCWUA Comments.	04.22.21
Rev4 - Revised per City Comments.	05.10.21
Rev5 - Revised per DRB Comments.	06.04.21

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
 NORTHWEST OF THE INTERSECTION OF
 MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
 LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 19-106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C1.0-T
Scale: N/A	
Date:	02.05.2021

Sheet:
TITLE SHEET
Sheet No.:
C-1.0

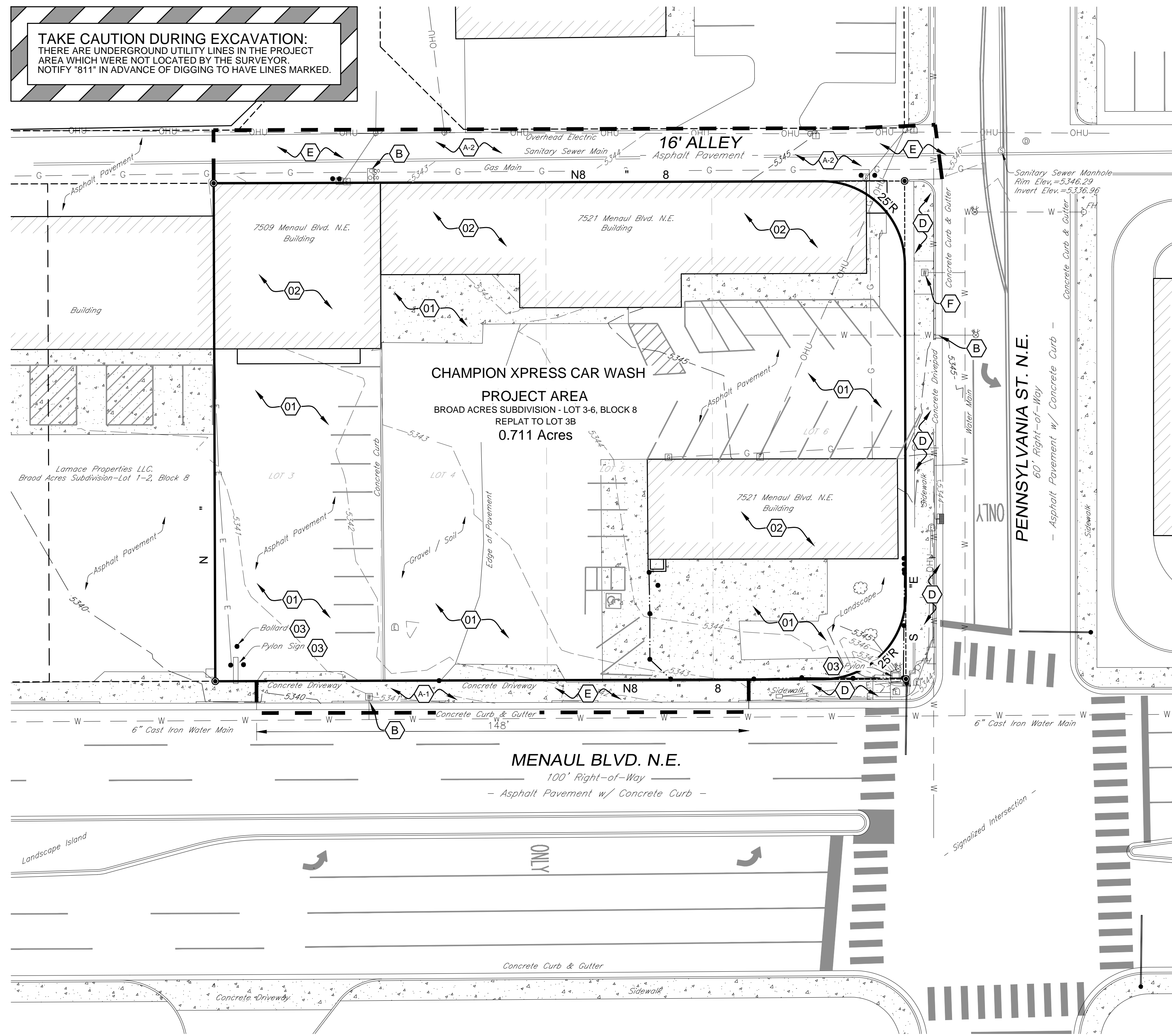


The Contractor shall obtain a copy of the Geotechnical Engineering Report prepared by Western Technologies Inc., dated August 8, 2021 and shall refer to the report for site preparation, compaction, utility trench backfill, pavement, foundations and slabs, construction and design criteria.

GENERAL DEMOLITION NOTES

1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
2. All items noted to be removed shall be done as part of the contract for general construction.
3. Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
5. The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
6. For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
7. The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
8. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
9. Backfill excavations resulting from demolition work to meet the requirements for fill outlined in the Geotechnical / Soils Report.

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



SITE DEMOLITION KEYNOTES

- 01 REMOVE EXISTING PAVEMENT, CURBING, SIDEWALK, TREES, BUSHES AND ANY OTHER UNSUITABLE MATERIALS IN PROJECT AREA AND PREPARE SITE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 02 REMOVE EXISTING STRUCTURE / CANOPY PER LOCAL AND STATE REGULATIONS ALONG WITH SERVICE LATERALS AND PREPARE SITE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. COORDINATE WITH LOCAL UTILITY PROVIDERS FOR UTILITY LATERAL REUSE OR ABANDONMENT.
- 03 REMOVE EXISTING PYLON SIGN AND BOLLARDS.

STREET DEMOLITION KEYNOTES

- A PAVEMENT REMOVAL
 - A-1 REMOVE EXISTING DRIVE PAD, CURB & GUTTER AND SIDEWALK AS NEEDED FOR NEW DRIVE PAD, CURB & GUTTER, SIDEWALK AND SIDEWALK CULVERT. REMOVE CURB & GUTTER / SIDEWALK TO NEAREST JOINT AND SAWCUT PAVEMENT FOR CLEAN EDGE. SEE SHEET C-2.2 / SITE PLAN FOR INSTALLATION DETAILS.
 - A-2 REMOVE EXISTING ASPHALT PAVEMENT IN PUBLIC ALLEY FOR RE-BUILD WITH ALLEY GUTTER & NEW PAVEMENT. SAWCUT FOR CLEAN EDGE ALONG RIGHT-OF-WAY LINE. SEE SHEET C-2.2 / SITE PLAN FOR INSTALLATION DETAILS.
- B REMOVE WATER UTILITY SERVICE. COORDINATE WITH LOCAL UTILITY PROVIDER FOR VALVE SHUTOFF, CAPPING, ETC.
- C REMOVE SANITARY UTILITY SERVICE. COORDINATE WITH LOCAL UTILITY PROVIDER FOR VALVE SHUTOFF, CAPPING, ETC.
- D RETAIN AND PROTECT EXISTING CONCRETE SIDEWALK, ADA RAMPS, CURB AND GUTTER,
- E RETAIN AND PROTECT UTILITIES IN PROJECT AREA.
- F COORDINATE WITH LOCAL UTILITY PROVIDERS FOR POSSIBLE REUSE OR ABANDONMENT OF WATER UTILITY SERVICE.

12" WIDE SECTION OF ASPHALT PAVEMENT ADJACENT TO NEW CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. PAVEMENT SECTION PER DETAIL / SHEET C-2.2 OR MATCH EXISTING SECTION. PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2407 & 2408

CONTRACTOR TO REFERENCE CITY OF ALBUQUERQUE STANDARD DETAILS FOR TEMPORARY TRAFFIC CONTROL.

EXISTING METERED SERVICE AND FIRE LINES THAT WILL NOT BE UTILIZED ARE TO BE REMOVED BY SHUTTING THE VALVE NEAR THE DISTRIBUTION MAIN AND CAPPING THE LINE NEAR THE VALVE. FOR FIRE LINES, THE VALVE ACCESS SHALL BE GROUTED AND COLLAR REMOVED. SEE UTILITY PLAN FOR METER TO BE REUSED. CONTACT ABCWUA TO COORDINATE WORK DONE TO WATER AND SEWER.

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: David Campbell
Telephone: 505.924.3860
Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:

SANITARY SEWER / WATER
Albuquerque Bernalillo County Water Utility Authority
Contact: Kristopher Cadena
Telephone: 505.289.3301
Email: kcadena@abcwua.org

GAS

New Mexico Gas Company
Contact: Customer Service
Telephone: 505.697.3335

ELECTRIC

PNM (Public Service Company of New Mexico)
Contact: Michael Moyer
Telephone: 505.241.3697
Email: mmoyer@pnm.com

TELECOM

CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

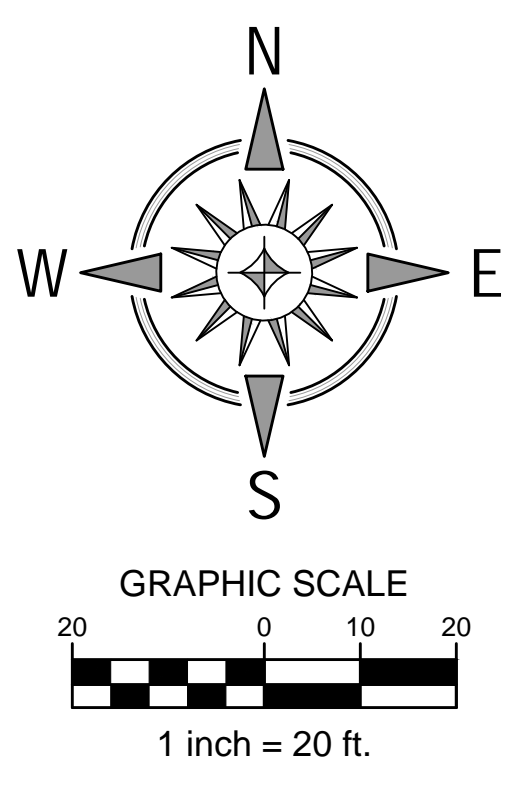
VERTICAL & HORIZONTAL CONTROL:
Reference - ALTA / NSPS Land Survey of the subject property prepared by Steve Sandoval Professional Land Surveyor - New Mexico Registration No. 12351

A static opus solution was performed to determine the state plane coordinates shown hereon.
A longitudinal grid north line based on GPS observation using Topcon Hiper GA surveying equipment with the base station set at

WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES DRC-APPROVED PLANS.

EXISTING CONDITIONS LEGEND

● EX. PROPERTY MONUMENT	⊕ EX. FIRE HYDRANT
⊙ EX. UTILITY POLE	⊕ EX. WATER VALVE
⊙ EX. LIGHT POLE	⊕ EX. WATER METER
⊕ EX. TELECOM PEDESTAL	⊕ EX. SANITARY MANHOLE
⊕ EX. ELECTRIC STUB OUT	⊕ EX. SANITARY CLEANOUT
⊕ EX. ELECTRIC METER	⊕ EX. STORM MANHOLE
● EX. BOLLARD	⊕ EX. CURB INLET
⊕ EX. TREE	⊕ EX. GAS METER
	⊕ EX. TRAFFIC LIGHT
---	EX. CONTOUR
---	EX. SANITARY SEWER
---	EX. WATER MAIN
---	EX. GAS MAIN
---	EX. UNDERGROUND ELECTRIC
---	EX. OVERHEAD UTILITY LINES



Item	Description	Date
1	Rev 3 - Revised per ABCWUA Comments.	04.22.21
2	Rev 5 - Revised per DRC Comments.	06.04.21

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 19.106
Draw: JMM Dwg: 19-106.dwg
Check: RJM Tab: C1.1-EC-D
Scale: 1" = 20'
Date: 02.05.2021

Sheet:
EXISTING CONDITIONS & DEMOLITION PLAN

Sheet No.:
C-1.1



GENERAL SITE NOTES

- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
- All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All dimensions to the building are referenced to the outside face of the structure's facade.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
- All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
- All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
- Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
- All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:
 Curbing: 10'-0" (max) spacing.
 Sidewalks: 5'-0" (max) spacing.
 Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

PLANNING AND ZONING REQUIREMENTS

Reference: City of Albuquerque Integrated Development Code
 Zone: "MX-M" Mixed Use - Moderate Intensity Zone District
 Proposed Use: Car Wash

Building Setbacks

- Front: 5 ft. (min.)
- Side, Interior: 0 ft. (min.)
- Side, Street: 5 ft. (min.)
- Rear: 15 ft. (min.)

12" WIDE SECTION OF ASPHALT PAVEMENT ADJACENT TO NEW CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. PAVEMENT SECTION PER DETAIL / SHEET C-2.2 OR MATCH EXISTING SECTION, PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING No. 2407 & 2408

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
 City of Albuquerque - Planning Department
 Contact: David Campbell
 Telephone: 505.924.3860
 Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:

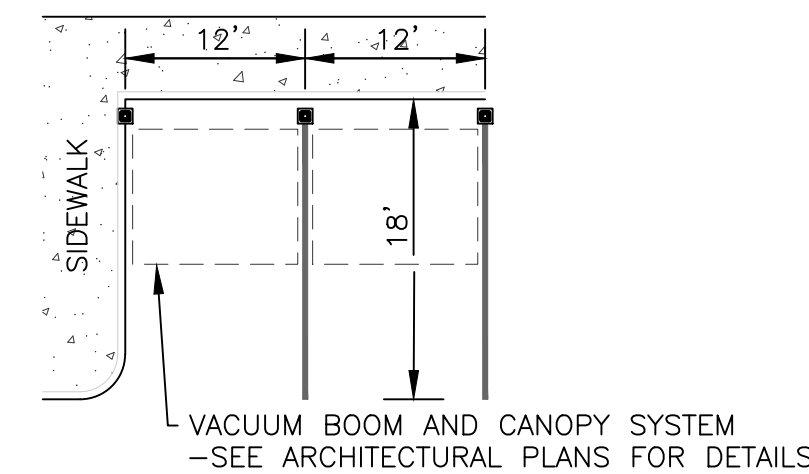
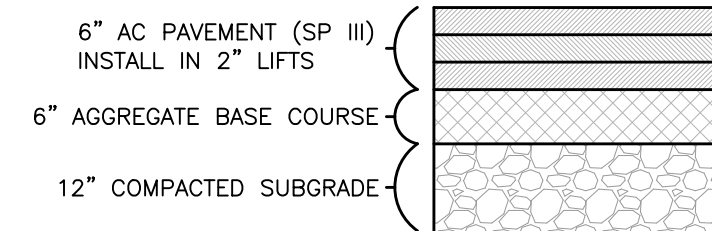
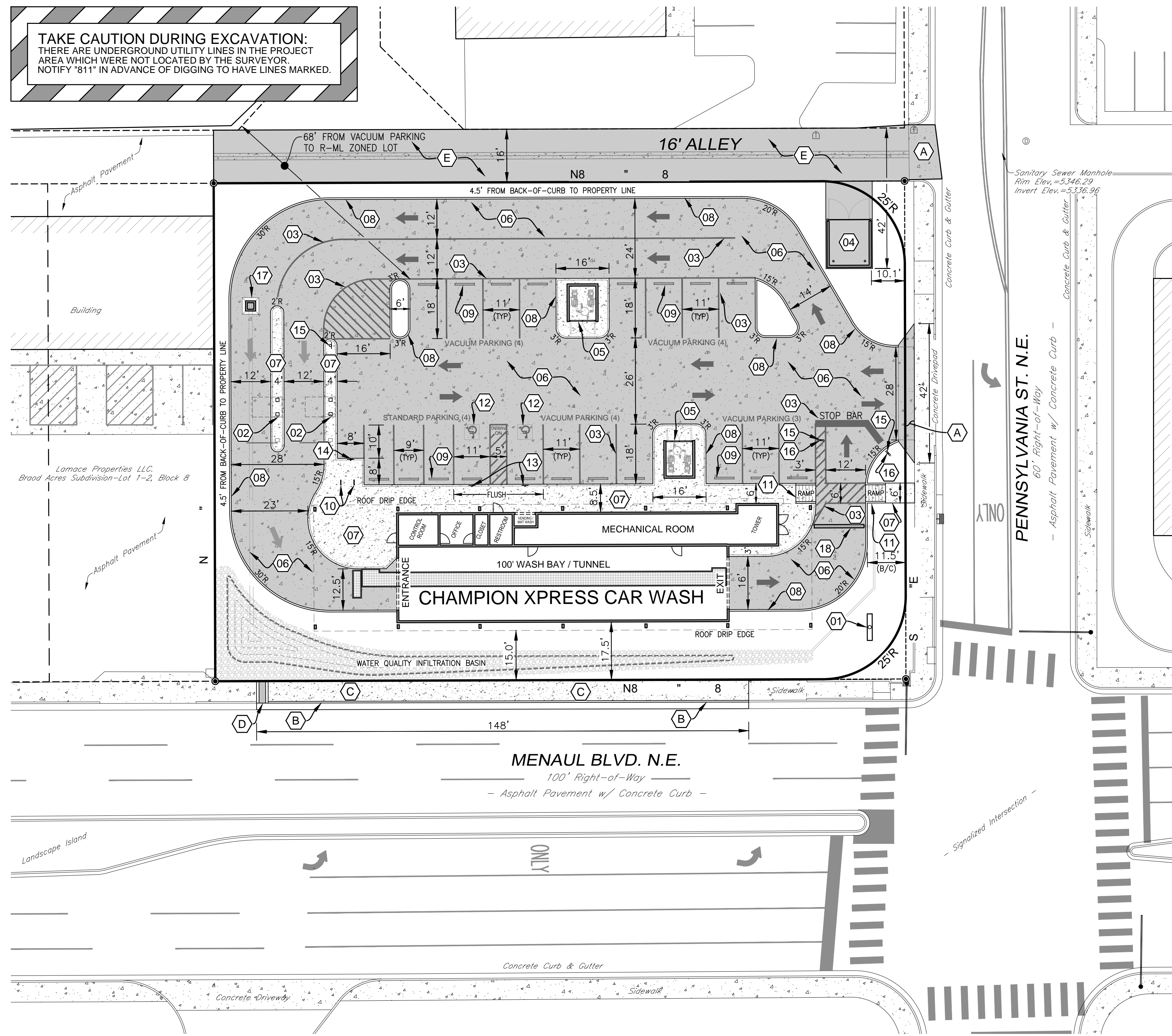
SANITARY SEWER / WATER
 Albuquerque Bernalillo County Water Utility Authority
 Contact: Kristopher Cadena
 Telephone: 505.289.3301
 Email: kcadena@abcwua.org

GAS
 New Mexico Gas Company
 Contact: Customer Service
 Telephone: 505.697.3335

ELECTRIC
 PNM (Public Service Company of New Mexico)
 Contact: Michael Moyer
 Telephone: 505.241.3697
 Email: mmoyer@pnm.com

TELECOM
 CenturyLink
 Contact: Customer Service
 Telephone: 865.465.2313

TAKE CAUTION DURING EXCAVATION:
 THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



ACCESSIBLE PARKING SYMBOL & MARKING NOTES
 A paved accessible parking space must include:
 -The International Symbol of Accessibility conspicuously on the surface in a color that contrasts the pavement.
 -The words "NO PARKING" painted on any access aisle adjacent to the parking space.
 Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.

WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES DRC-APPROVED PLANS.

SITE KEYNOTES

- NEW PYLON SIGN
 - COORDINATE SIZE, LOCATION, AND PERMITTING WITH CHAMPION XPRESS CAR WASH PROJECT MANAGER.
 - CODE REQUIREMENTS: MAX SIZE = 240 SQ-FT, MAX HEIGHT = 40 FT
- PAY STATION CANOPY
 - SEE ARCHITECTURAL PLANS FOR DETAILS.
- PARKING STRIPE / HATCH
 - 4" WIDE PAINTED STRIPES / 24" FOR STOP BAR.
 - HATCHING TO BE AT 45 DEGREE AND 2'-0" O.C.
 - STRIPING ON CONCRETE PAVEMENT TO BE PAINTED YELLOW.
- CONCRETE DUMPSTER PAD & APRON
 - PAD TO BE CONSTRUCTED OF MIN. 8 IN. THICK 4000 PSI CONCRETE REINFORCED WITH MIN. 6X6-10/10WWM @ 12 IN. O.C. IN EACH DIRECTION LOCATED IN THE UPPER THIRD OF SLAB.
 - PAD DIMENSIONS: 14' WIDE x 26' LONG
 - PROVIDE PIPE BOLLARDS PER DETAIL / SHEET C-5.0
 - PROVIDE ONE (1) DUMPSTER.
 - SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAILS AND PIPE BOLLARD LAYOUT.
- VACUUM EQUIPMENT ENCLOSURE
 - SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONCRETE PAVEMENT
 - PER PAVEMENT SECTION / SHEET C-5.0
- CONCRETE SIDEWALK
 - PER DETAILS / SHEET C-5.0
- CONCRETE BARRIER CURB
 - PER DETAILS / SHEET C-5.0
- CONCRETE WHEEL STOP
 - PER DETAIL / SHEET C-5.0
- BICYCLE PARKING (2 RACKS)
 - 30" RECOMMENDED SPACING.
 - PER DETAIL / SHEET C-5.0
- ADA ACCESSIBLE RAMP
 - PER DETAIL / SHEET C-5.0
- ADA PARKING SYMBOL
 - PER DETAIL / SHEET C-5.0
- ADA PARKING SIGNAGE
 - PER DETAIL / SHEET C-5.0
- MOTORCYCLE PARKING SIGNAGE
 - PER DETAIL / SHEET C-5.0
- TRAFFIC CIRCULATION SIGNAGE "DO NOT ENTER"
 - PER DETAIL / SHEET C-5.0
- TRAFFIC CIRCULATION SIGNAGE "STOP"
 - PER DETAIL / SHEET C-5.0
- DRAINAGE STRUCTURE
 - SEE UTILITY PLAN / SHEET C-4.0 FOR INSTALLATION DETAILS.
- TRENCH DRAIN
 - PER DETAIL / SHEET C-5.0

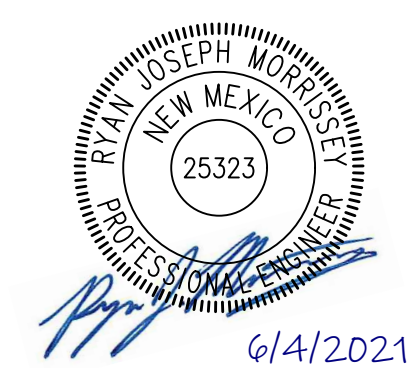
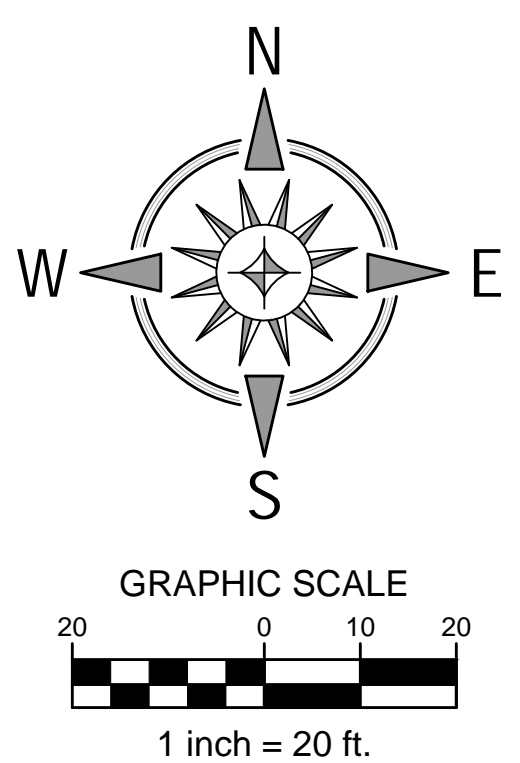
STREET IMPROVEMENT KEYNOTES

- CITY DRIVEPAD WITH SIDEWALK AT PROPERTY LINE
 - MAINTAIN EXISTING DRIVEPAD IN RIGHT-OF-WAY. INSTALL NEW SIDEWALK / DRIVEPAD PER CITY DETAILS.
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2425A AND 2425B
- CITY STANDARD CURB & GUTTER
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2415
- CITY CONCRETE SIDEWALK
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2430
- 24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP
 - REPAIR / REPLACE SIDEWALK AND CURB & GUTTER AS NEEDED.
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2430 AND 2236
- CITY ASPHALT ALLEY WITH CONCRETE ALLEY GUTTER
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2411, 2415 & 2407

Additional site elements are necessary to service the auto wash such as gates, floor mat cleaners, vending machines, vacuum equipment enclosures, vacuums, canopies, signage, etc. which may not be shown on this plan. Locations and details of these elements can be provided by the owner at the request of the contractor or City of Albuquerque.

SITE AND PAVEMENT LEGEND

(B/C)	BACK-OF-CURB
(TYP)	TYPICAL PARKING STALL WIDTH
R	RADIUS - FACE OF CURB
—	CONCRETE WHEEL STOP
♿	ADA PARKING SYMBOL
☐	PROPOSED LIGHT POLE
➔	DIRECTIONAL PARKING LOT ARROW
▨	CONCRETE SIDEWALK
▩	CONCRETE PAVEMENT
▭	ASPHALT PAVEMENT



Date	Description
05.10.21	1 Rev 4 - Revised per City Comments.
06.04.21	2 Rev 5 - Revised per DRE Comments.

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
 NORTHWEST OF THE INTERSECTION OF
 MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
 LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

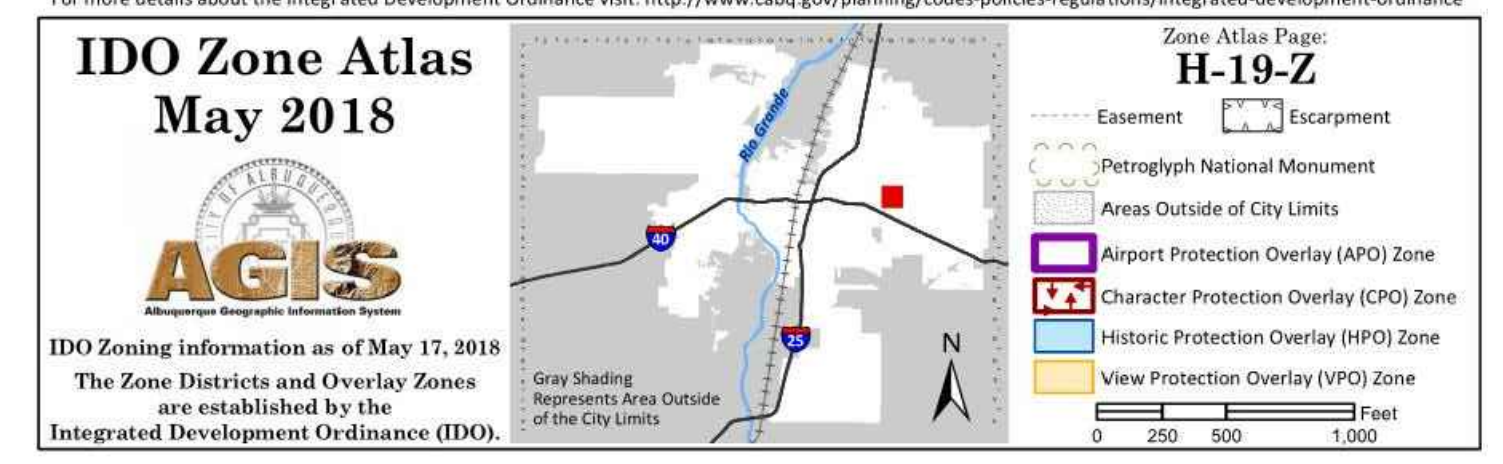
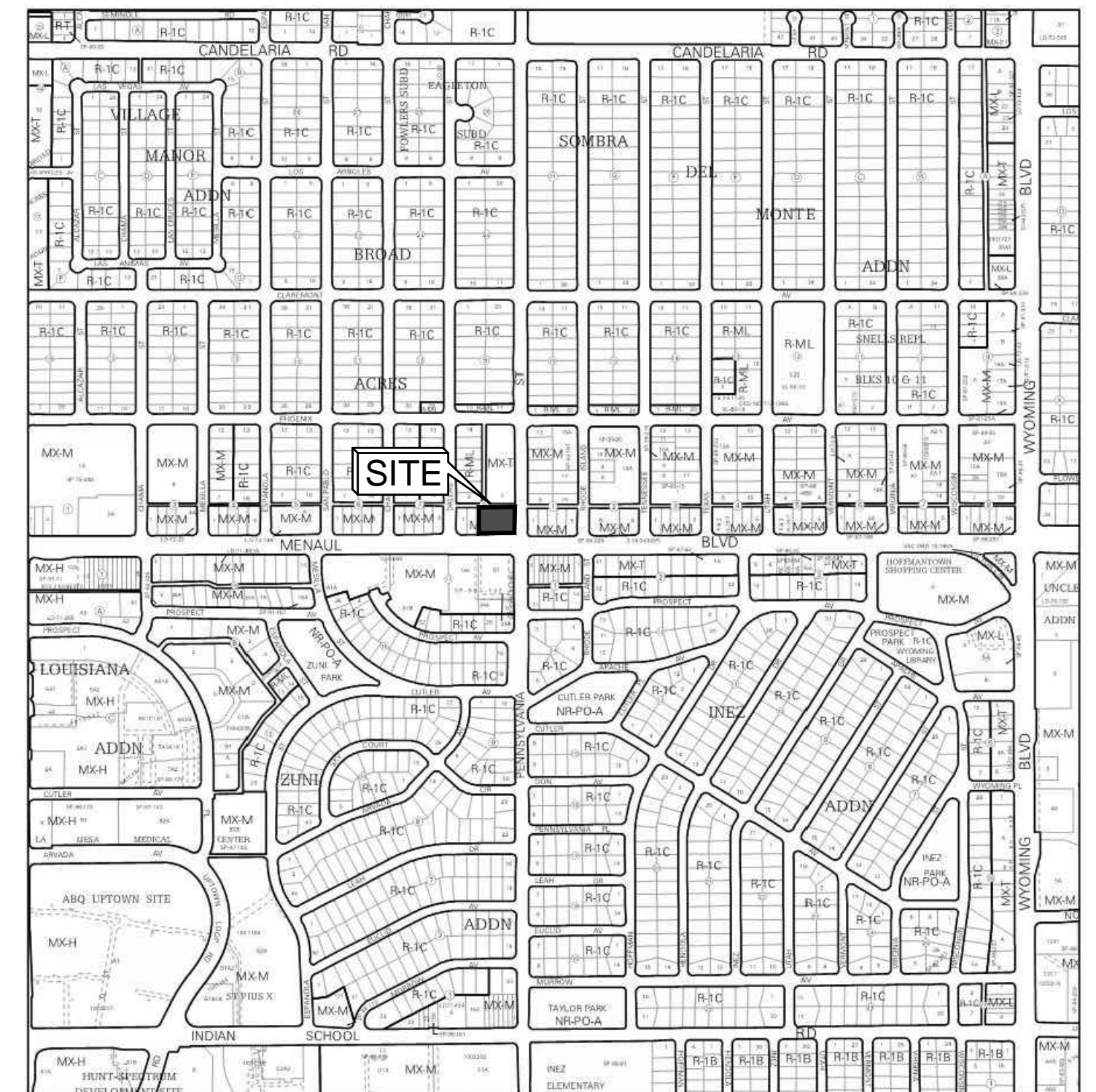
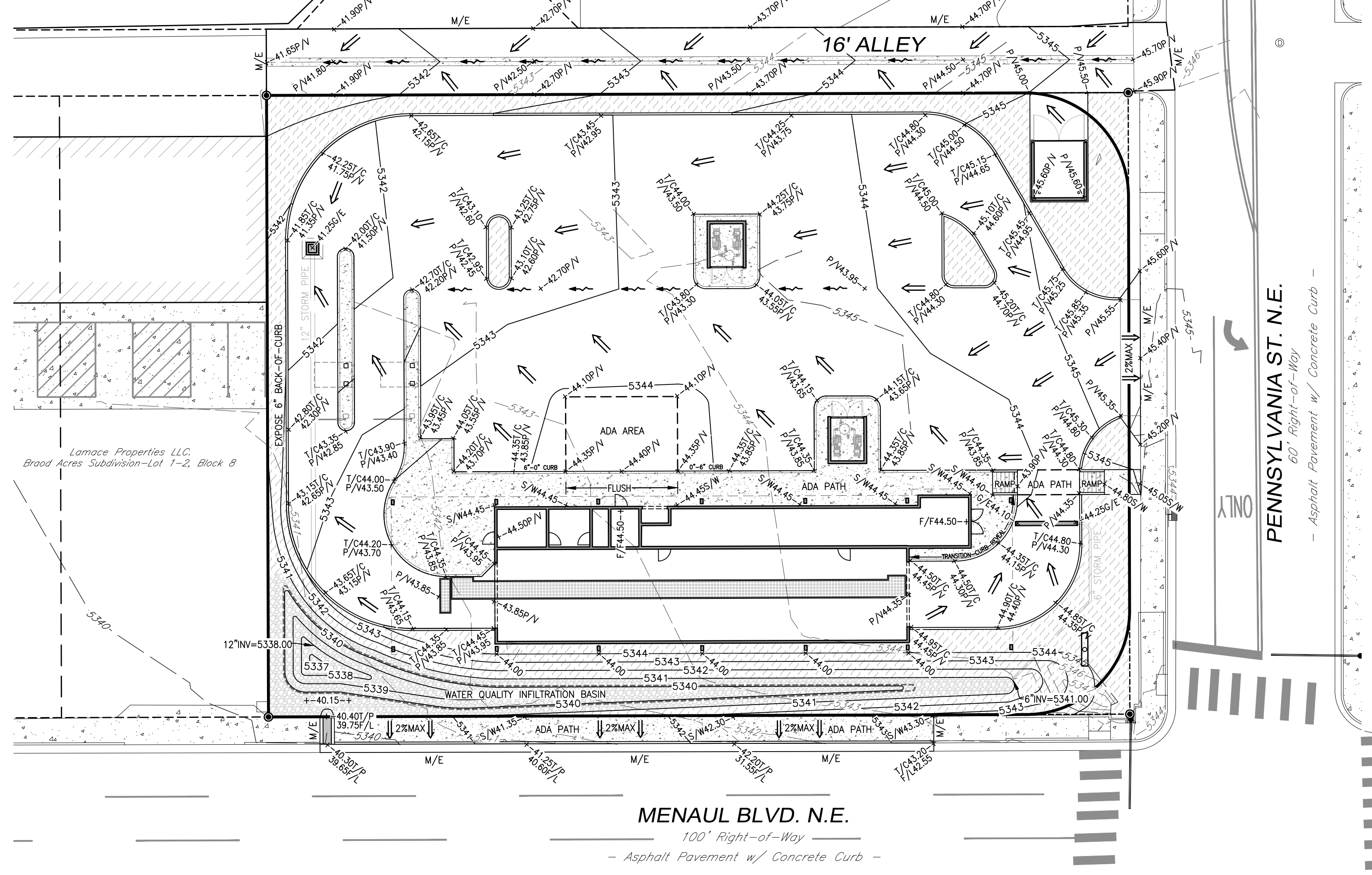


Design: RJM	Proj: 19.106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C2.2-SP
Scale: 1" = 20'	
Date: 02.05.2021	
Sheet: SITE PLAN	
Sheet No.: C-2.2	



VERTICAL & HORIZONTAL CONTROL:
 Reference - ALTA / NSPS Land Survey of the subject property prepared by Steve Sandoval Professional Land Surveyor - New Mexico Registration No. 12351
 A static opus solution was performed to determine the state plane coordinates shown hereon.
 A longitudinal grid north line based on GPS observation using Topcon HiPer GA surveying equipment with the base station set at
 d 8° N r d

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



PERMITTING CONTACT INFORMATION:
PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: David Campbell
Telephone: 505.924.3860
Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:
SANITARY SEWER / WATER
Albuquerque Bernalillo County Water Utility Authority
Contact: Kristopher Cadena
Telephone: 505.289.3301
Email: kcadena@abcwua.org

GAS
New Mexico Gas Company
Contact: Customer Service
Telephone: 505.697.3335

ELECTRIC
PNM (Public Service Company of New Mexico)
Contact: Michael Moyer
Telephone: 505.241.3697
Email: mmoyer@pnm.com

TELECOM
CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

PROJECT SUMMARY
Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

PROPERTY INFORMATION
Address: 7521 Menaul Blvd. N.E., Albuquerque, NM 87110
Legal Description: Lots 3-6, Block 8, Broad Acres Subdivision,
City of Albuquerque, Bernalillo County, New Mexico.
RePlat to Lot 3B
Area: 0.711 acres (0.006 acres dedicated to City in RePlat)
Zoning: "MX-M" Mixed Use - Moderate Intensity Zone District
Flood Zone Designation: FIRM # 35001C0356H, effective date: August 16, 2012
Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.

SEE GRADING & DRAINAGE NOTES AND DETAILS, SHEET C-3.1 FOR ADDITIONAL INFORMATION, FLOW CALCULATIONS, GENERAL NOTES, DETAILS AND CROSS SECTIONS.

National Flood Hazard Layer FIRMette



Legend
SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
- With BFE or Depth
- Regulatory Floodway
- 0.2% Annual Chance Flood Hazard
- 1% Annual Chance Flood Hazard
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Flood Risk due to Levee
- Area with Flood Risk due to Levee

OTHER AREAS OF FLOOD HAZARD

- Area of Minimal Flood Hazard
- Effective LOMRs
- Area of Undetermined Flood Hazard

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall
- Cross Sections with 1% Annual Chance
- Water Surface Elevation
- Coastal Tract
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Tract Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available

MAP PANELS

- Digitized
- Unmapped

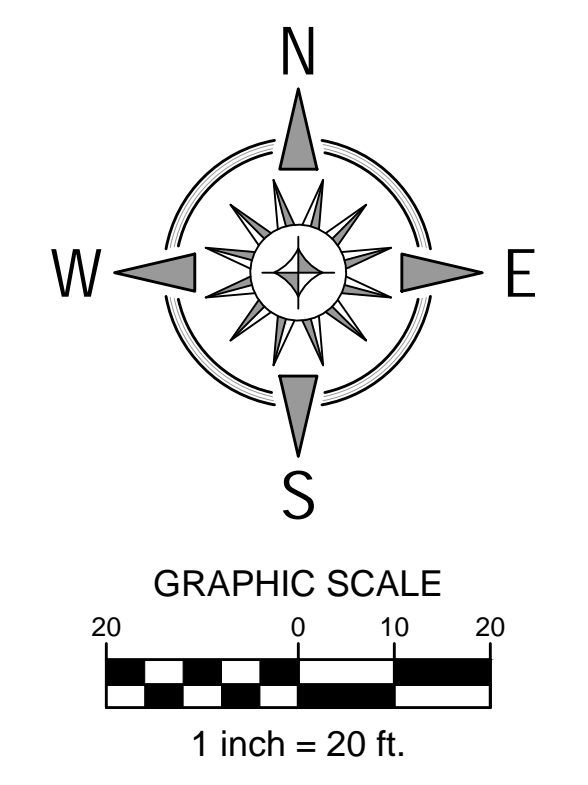
This map complies with FEMA's standards for the use of digital flood maps if it is not used as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was updated on 2/4/2022 at 10:03:53 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmoderated areas cannot be used for regulatory purposes.

GRADING LEGEND

M/E	MATCH EXISTING PAVEMENT GRADE
S/W	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
T/P	TOP-OF-PAVEMENT
P/V	DRIVE PAVEMENT GRADE
F/F	FINISHED FLOOR GRADE
F/L	FLOW LINE
G/E	GRATE ELEVATION
←	SHEET FLOW
~	CHANNEL / GUTTER FLOW
+00.00	PROP. SPOT ELEVATION
-0000	PROP. CONTOUR
[Pattern]	LANDSCAPE AREA
[Pattern]	ROCK LINER / RIP-RAP



WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES DRC-APPROVED PLANS.



Item	Description	Date
1	Rev 5 - Revised per DRC Comments.	06/04/21

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 19-106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C3.0-GP
Scale: 1" = 20'	
Date: 02.05.2021	
Sheet: GRADING & DRAINAGE PLAN	
Sheet No.: C-3.0	



VERTICAL & HORIZONTAL CONTROL:
Reference - ALTA / NSPS Land Survey of the subject property prepared by Steve Sandoval Professional Land Surveyor - New Mexico Registration No. 12351

A static opus solution was performed to determine the state plane coordinates shown hereon.
A longitudinal grid north line based on GPS observation using Topcon Hiper GA surveying equipment with the base station set at d 8° N r d

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 - "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 87% impervious / 13% landscaping & gravel
Proposed Lot Coverage - 83% impervious / 17% landscaping

Net Decrease in Storm Water Runoff due to Development
No Storm Water Detention Required

Methodology:
Albuquerque Development Process Manual
Chapter 22, Section 2, Part A;

"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

Storm Water Quality Volume (WQv) = Impervious Area x 0.26 inches

Precipitation Zone:
Precipitation Zone 3: "Between the San Mateo and Eubank"

Drainage Summary:
Area = 0.717 acres
Treatment B (Desert Landscaping Area) - 17%
Treatment D (Impervious Area) - 83% = 0.595 acres
100-year peak Discharge Rate = 4.14 cfs/acre (Table A-9)
Q₁₀₀ = 2.97 cfs
WQv = 677 cu-ft (required)

Provided Water Quality Storage Volume:

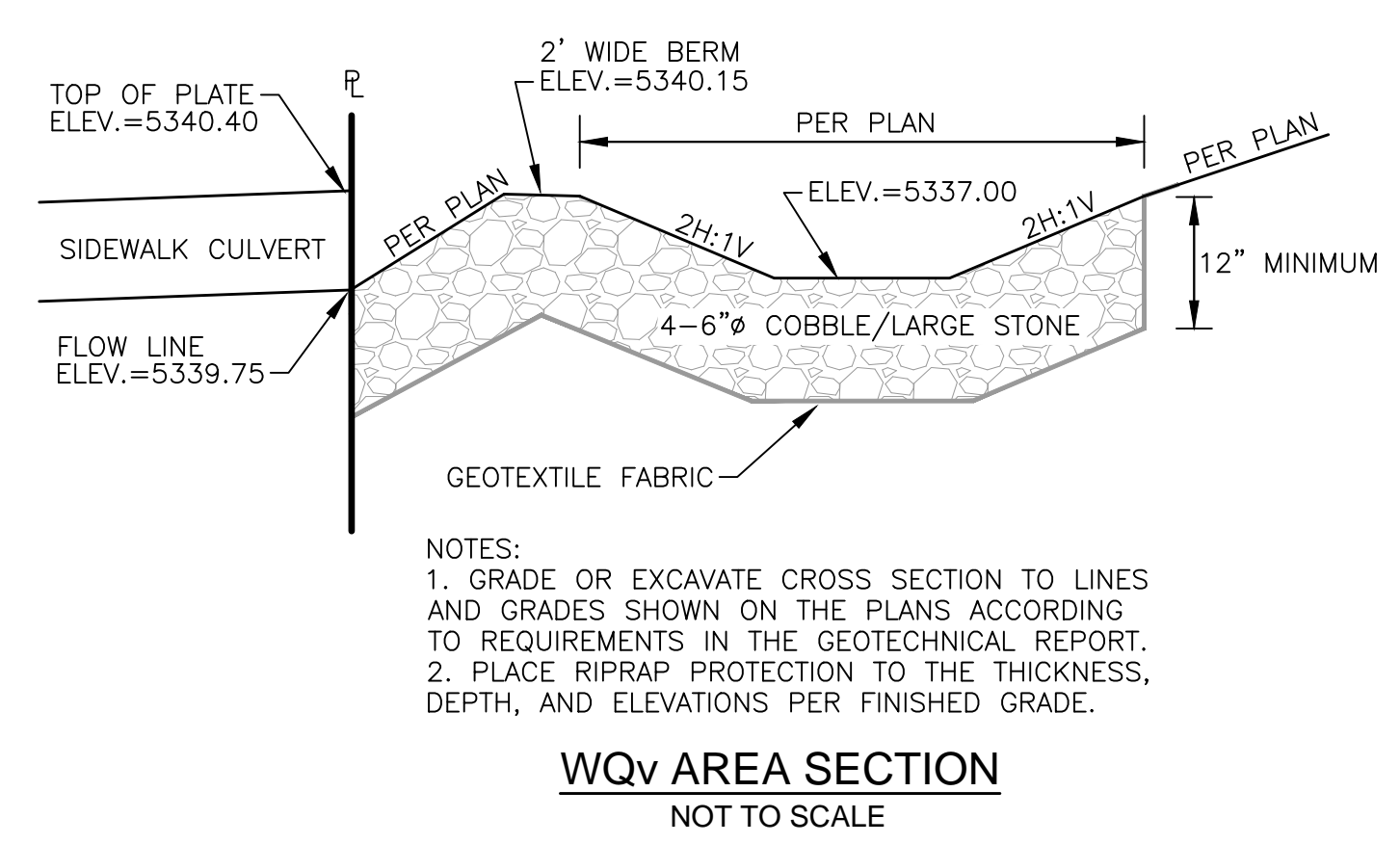
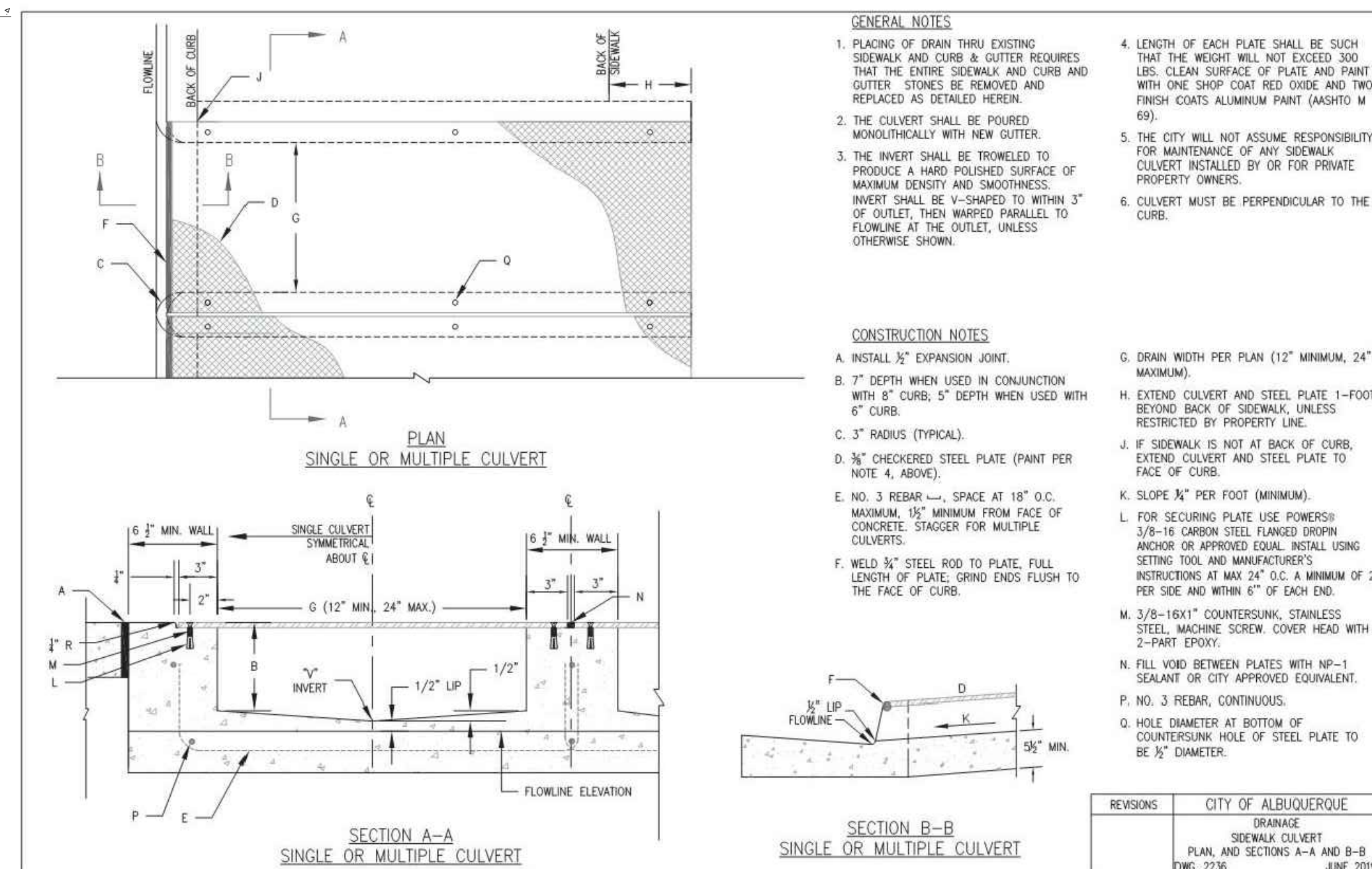
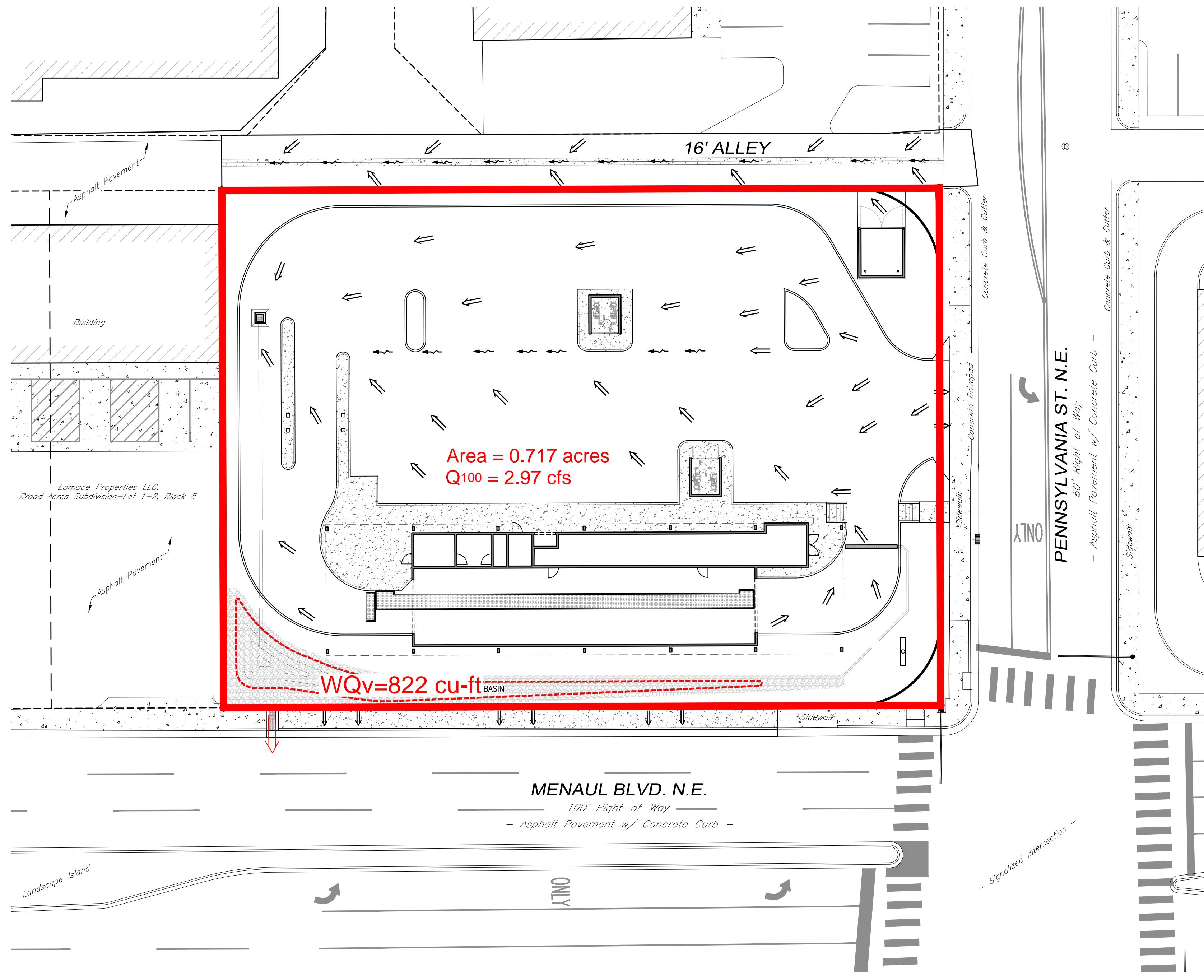
Elevation (ft)	Contour Area (sq-ft)	Incremental Vol. (cu-ft)	Volume (cu-ft)
5337	8	0	0
5338	46	27	27
5339	250	148	175
5340	791	521	696
5340.15	895	126	822 - overflow to R/W

*Average End Area Method used to calculate storage volumes.

Curb Cut and Sidewalk Culvert Capacity:

Weir Equation: $Q = CxLxH^{3/2}$ where,
Q = discharge (cfs)
C = weir coefficient = 3.33
L = length of weir (ft)
H = head or depth (ft)

For the 24" wide Curb Cuts and Sidewalk Culverts with a max depth of 7";
Maximum Flow = 2.97 cfs (meets 100-year discharge)



GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscape areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
Ramps - 1:12 (8.3%) max.
Routes - 1:20 (5.0%) max.
Parking - 1:50 (2.0%) max.
Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.



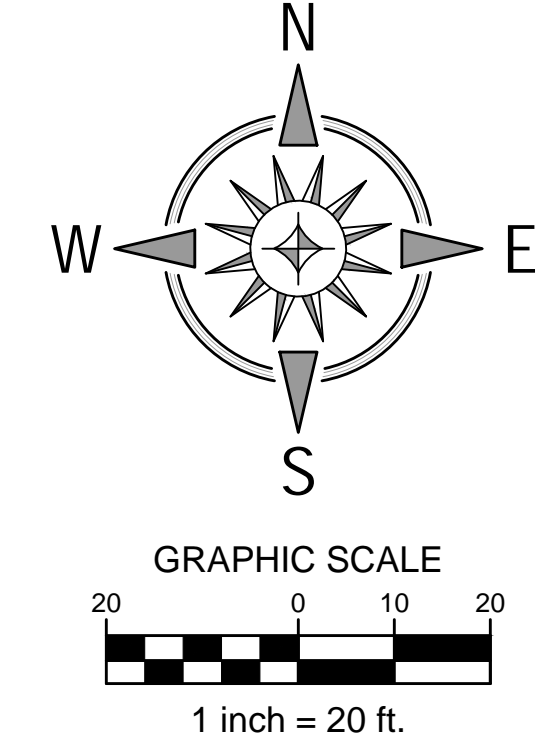
Date	Description
06/04/21	Rev 5 - Revised per DRE Comments.

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 19-106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C3.1-GP
Scale: 1" = 20'	
Date: 02.05.2021	
Sheet: GRADING & DRAINAGE NOTES AND DETAILS	

Sheet No.: **C-3.1**



GENERAL UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
- The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
- All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
- All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
- Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed. Contractor shall center one joint of pipe at crossing.
- Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
 City of Albuquerque - Planning Department
 Contact: David Campbell
 Telephone: 505.924.3860
 Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:

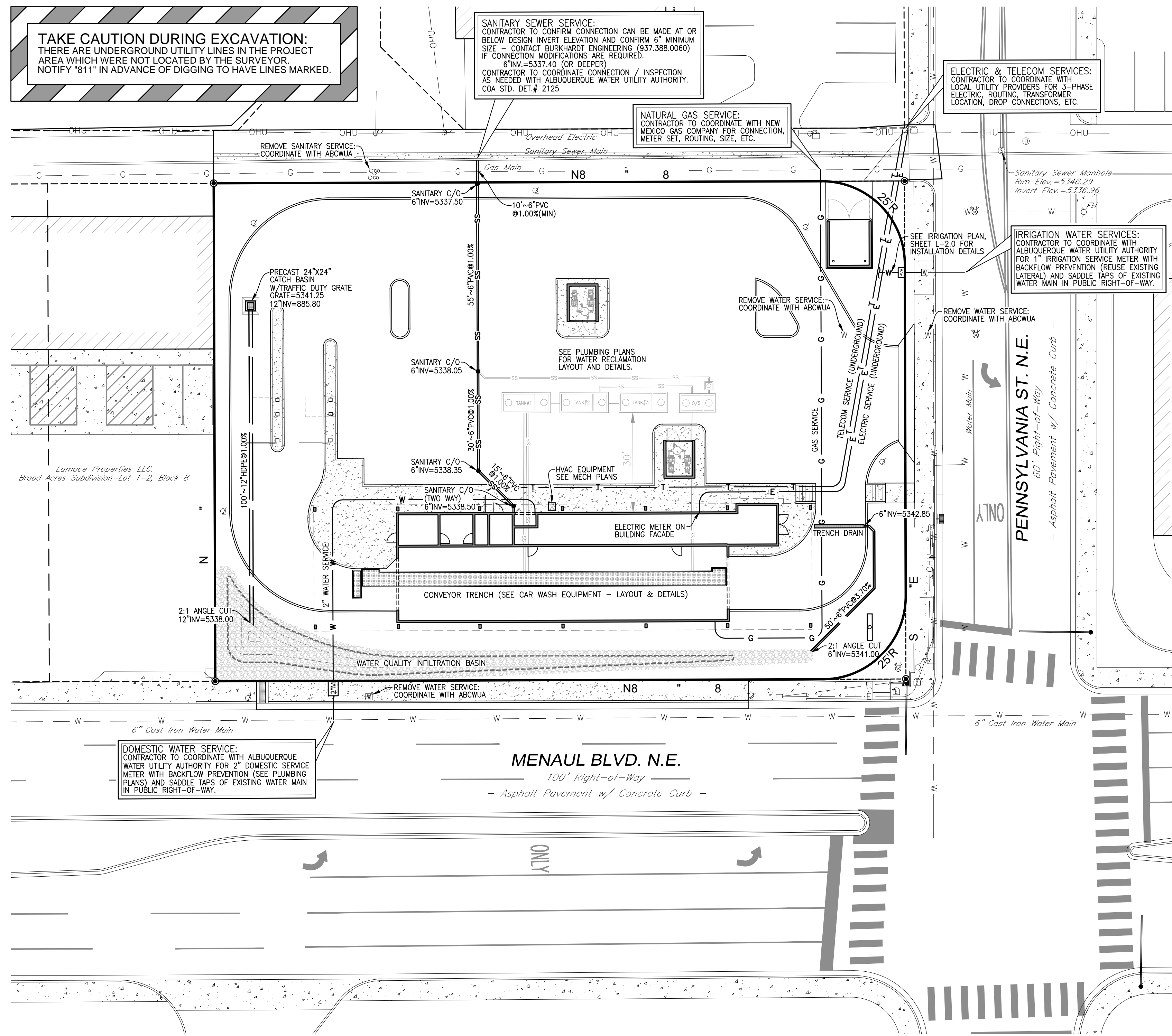
SANITARY SEWER / WATER
 Albuquerque Bernalillo County Water Utility Authority
 Contact: Kristopher Cadena
 Telephone: 505.289.3301
 Email: kcadena@abcwua.org

GAS
 New Mexico Gas Company
 Contact: Customer Service
 Telephone: 505.697.3335

ELECTRIC
 PNM (Public Service Company of New Mexico)
 Contact: Michael Moyer
 Telephone: 505.241.3697
 Email: mmoyer@pnm.com

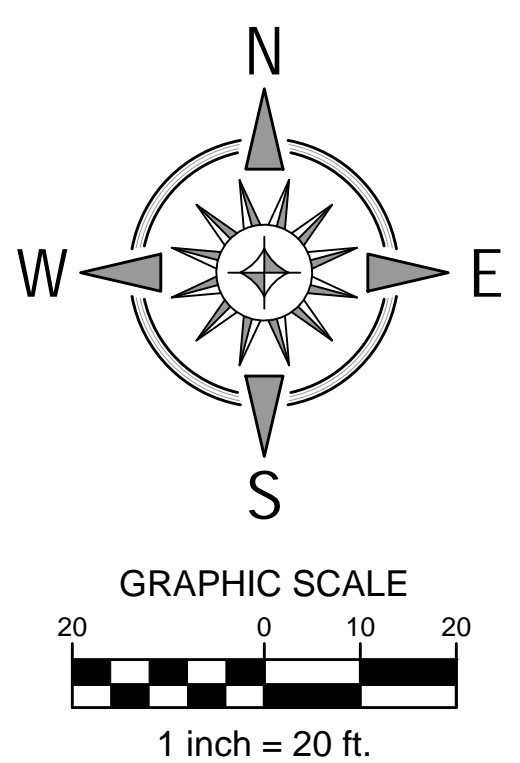
TELECOM
 CenturyLink
 Contact: Customer Service
 Telephone: 865.465.2313

TAKE CAUTION DURING EXCAVATION:
 THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



MENAUL BLVD. N.E.
 100' Right-of-Way
 - Asphalt Pavement w/ Concrete Curb -

UTILITY LEGEND	
	PROP. LIGHT POLE
	PROP. POWER POLE
	PROP. WATER METER
	PROP. OVERHEAD ELECTRIC SERVICE
	PROP. SANITARY SEWER SERVICE
	PROP. WATER LINE
	PROP. GAS SERVICE
	PROP. ELECTRIC SERVICE
	PROP. TELECOM SERVICE



**WORK WITHIN PUBLIC RIGHT-OF-WAY
 REQUIRES DRC-APPROVED PLANS.**

SANITARY SEWER NOTES:

Contractor to provide 6" (min.) sanitary sewer service line from building to public sewer main. Install tap, manholes, cleanouts and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

All sanitary sewer pipe shall be P.V.C. SDR 35, ASTM D-3034 with joints conforming to ASTM 3212. All pipe shall be installed in accordance with the manufacturer's recommended procedures and shall maintain a minimum slope of 1.00%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Per detail / Sheet C-5.0.

Sanitary sewer service connection, permit and construction to be coordinated with Albuquerque Water Utility Authority.

WATER NOTES:

Contractor to provide 2" (min.) domestic water service line from public water main to building. Install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

Contractor to provide 1" (min.) irrigation service line from public water main to existing meter. Install tap, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate with Irrigation Contractor, irrigation plans and plumbing/electrical plans.

Domestic water service lines shall be Polyethylene PE4710 or Albuquerque Water Utility Authority approved material, installed per manufacturer's recommended procedures. Lines shall be installed with a minimum cover of 42" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with Albuquerque Water Utility Authority.

GAS NOTES:

Coordinate gas service lines, meter, and connections with mechanical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

ELECTRIC NOTES:

Coordinate electric service lines, meter, and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

Coordinate telecommunication service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.



Item	Description	Date
1	Rev 3 - Revised per ABCWUA Comments.	04.22.21
2	Rev 5 - Revised per DRE Comments.	06.04.21

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
 NORTHWEST OF THE INTERSECTION OF
 MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
 LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 19.106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C4.0-UP
Scale: 1" = 20'	
Date: 02.05.2021	
Sheet: UTILITY PLAN	
Sheet No.: C-4.0	



VERTICAL & HORIZONTAL CONTROL:
 Reference - ALTA / NSPS Land Survey of the subject property prepared by Steve Sandoval Professional Land Surveyor - New Mexico Registration No. 12351

A static opus solution was performed to determine the state plane coordinates shown Hereon.

A longitudinal grid north line based on GPS observation using Topcon HiPer GA surveying equipment with the base station set at

GENERAL STORMWATER POLLUTION PREVENTION NOTES

- All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
- Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
- Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
- Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
- The soil erosion controls are to be inspected once a week and within 24 hours of a 0.25 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
- Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 21 days. Any disturbed area that is not going to be worked for 21 days or more must be seeded and mulched.
- Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 21 days. Trench dewatering devices shall discharge in a manner that filters silt-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
- Soil stockpiles shall be stabilized or protected to prevent soil loss.
- All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
- Silt fence to be 2' minimum from property lines in areas where work is near adjacent properties.
- The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
- Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
- No solid or liquid waste shall be discharged into storm water runoff.
- Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
- Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
- If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
- No fuel storage is permitted on-site.
- All infiltration, detention, and retention areas shall be cleared of construction sediment upon completion of construction.
- The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the New Mexico Environment Department.

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

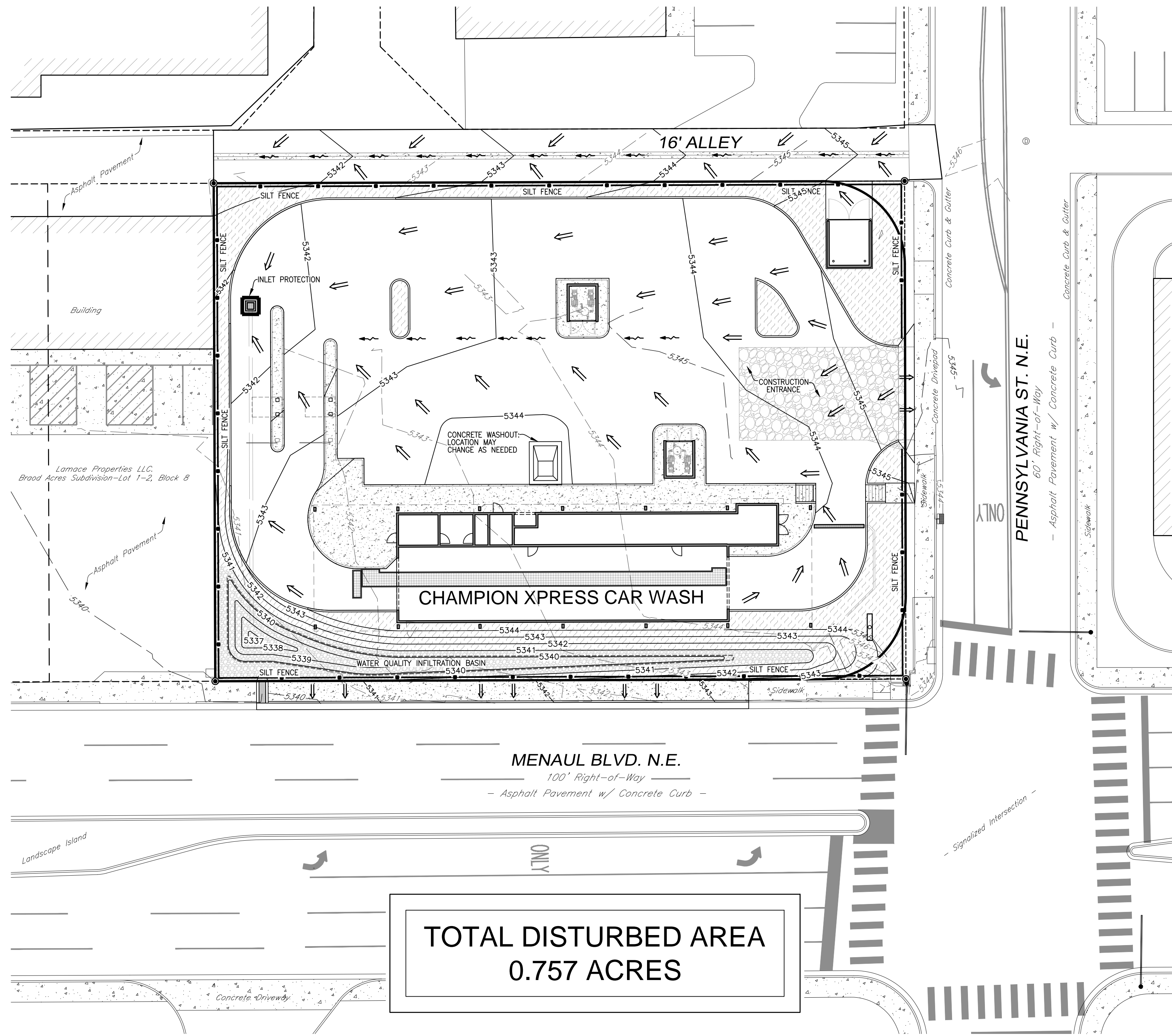
- Stone tracking pad atop geotextile liner.
- Install silt fence and protection fencing.
- Initial clearing, grubbing, and demolition.
- Strip and stockpile top soil.
- Rough grade and balance site.
- Install underground utilities (i.e. Sanitary, Storm & Water)
- Place inlet filters on all storm inlets.
- Install franchise utilities (i.e. Gas, Electric, Telephone & Cable TV).
- Final grade site.
- Install pavement, curb, and other hardscape structures/surfaces.
- Stabilize ditches, swales, common areas and slopes.
- Establish permanent vegetation for all disturbed areas.
- Remove all temporary erosion and sediment control devices.
- Clean out storm sewer system, infiltration, detention, and retention areas upon completion.

SOIL EROSION CONTROL MAINTENANCE

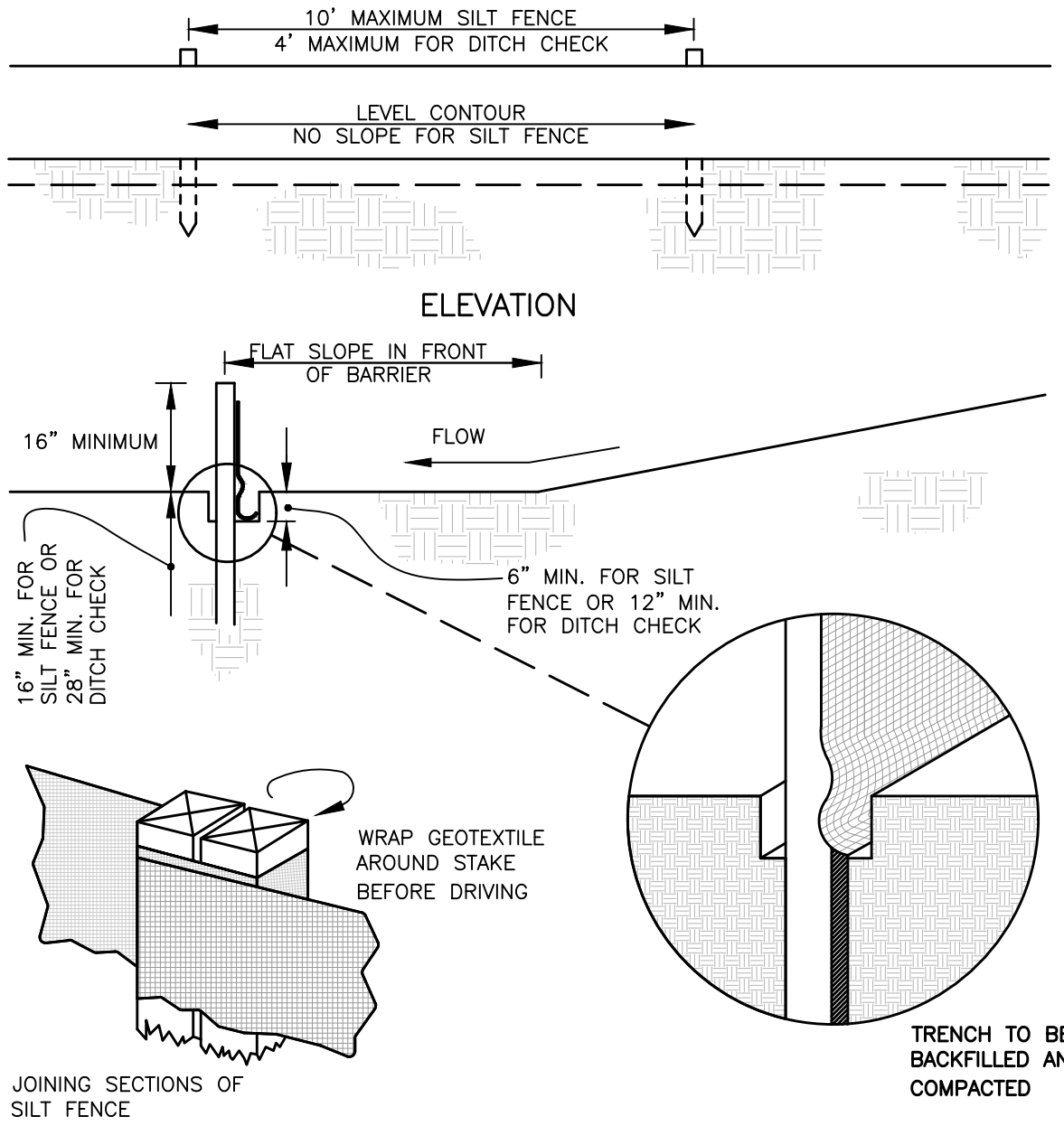
- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.
- Silt fences shall be removed to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrance shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way.
- Sediment from the infiltration, detention, and retention areas shall be removed as necessary to maintain proper functionality.

SOIL EROSION CONTROL NOTES

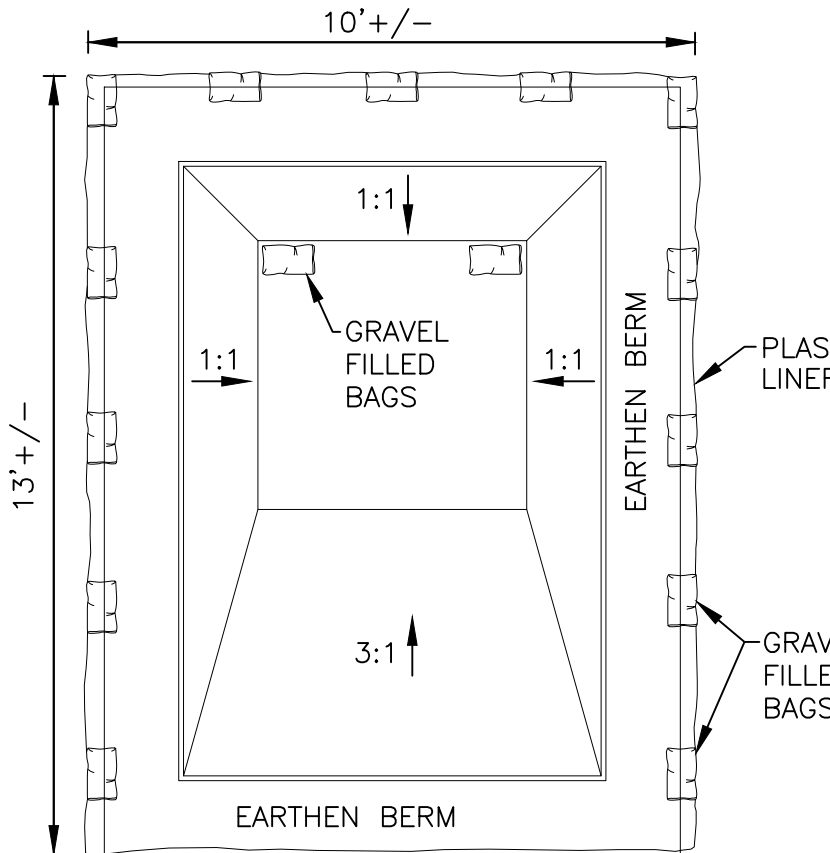
All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent).



**TOTAL DISTURBED AREA
0.757 ACRES**

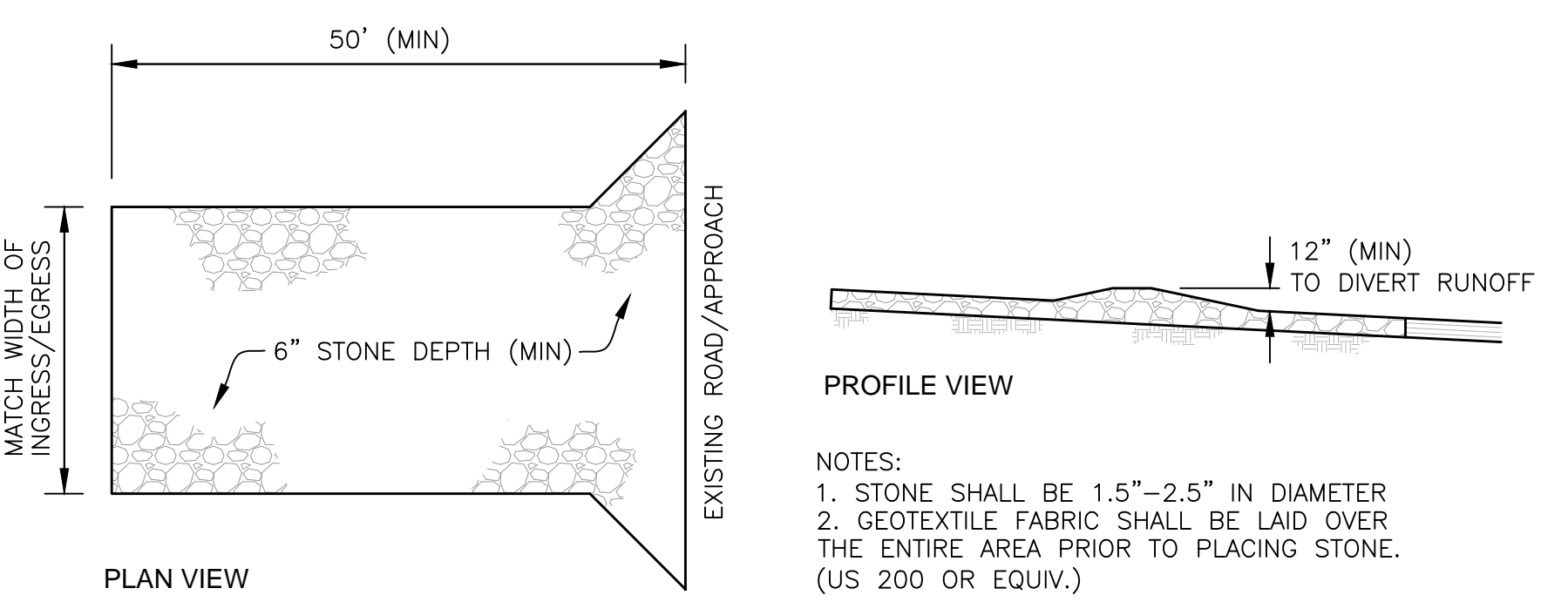


**SILT FENCE & SILT DITCH CHECK DETAIL
NOT TO SCALE**

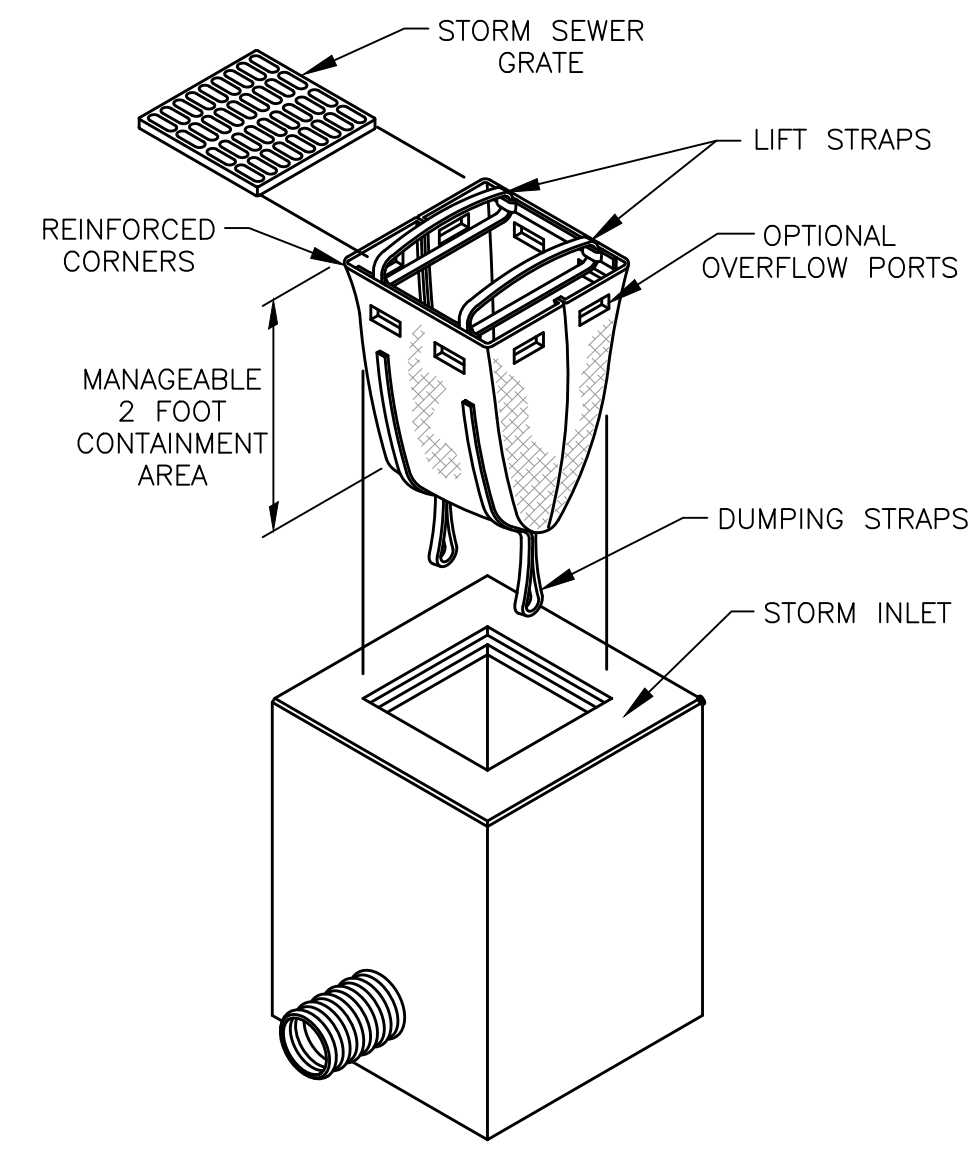


**CONCRETE WASHOUT AREA
NOT TO SCALE**

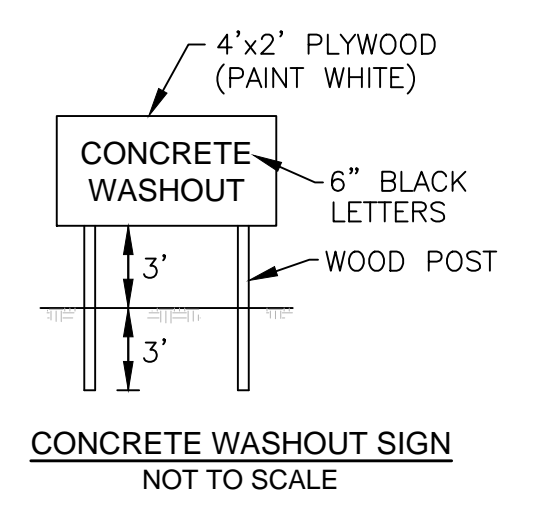
- NOTES:
1. PLASTIC LINER SHALL BE ANCHORED WITH GRAVEL-FILLED BAGS.
 2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE CONCRETE WASHOUT AREA.



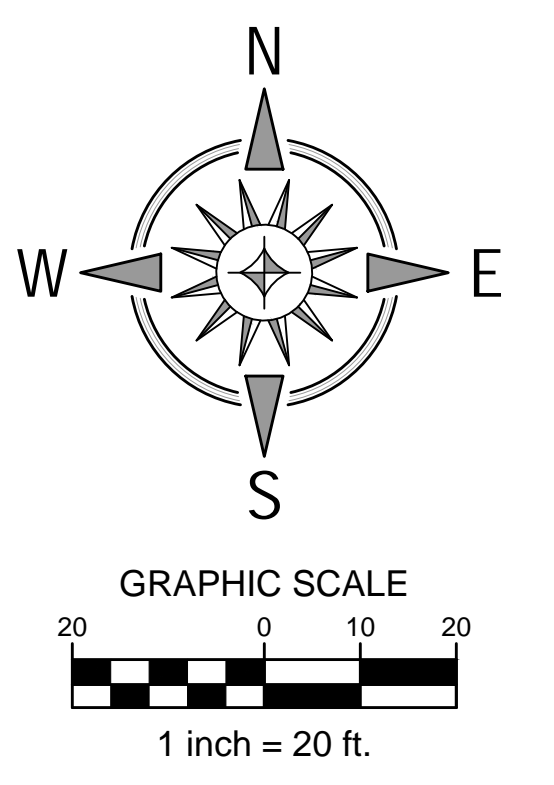
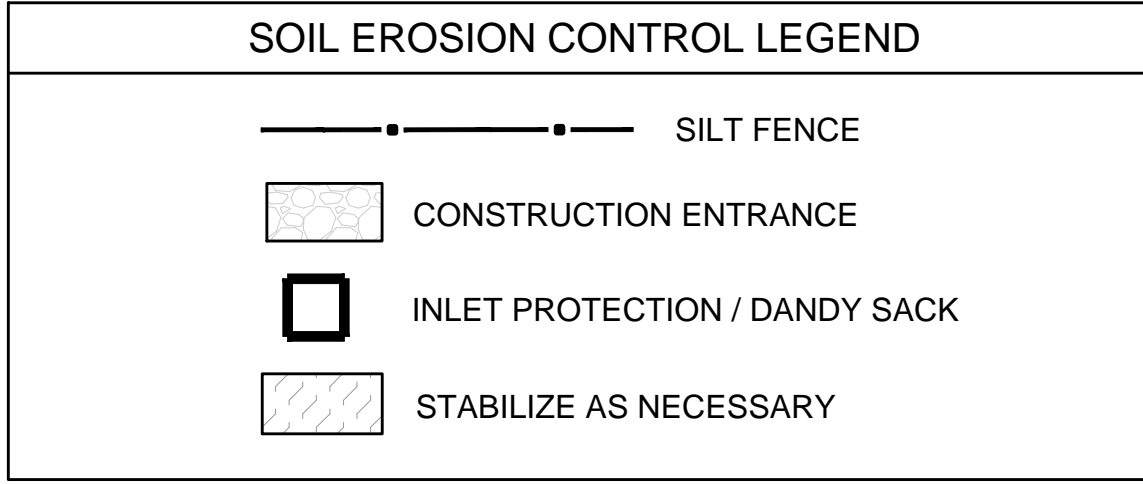
**CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE**



**DANDY SACK™ DETAIL
NOT TO SCALE**



**CONCRETE WASHOUT SIGN
NOT TO SCALE**



Date	Description	Item
6/1/2021		

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



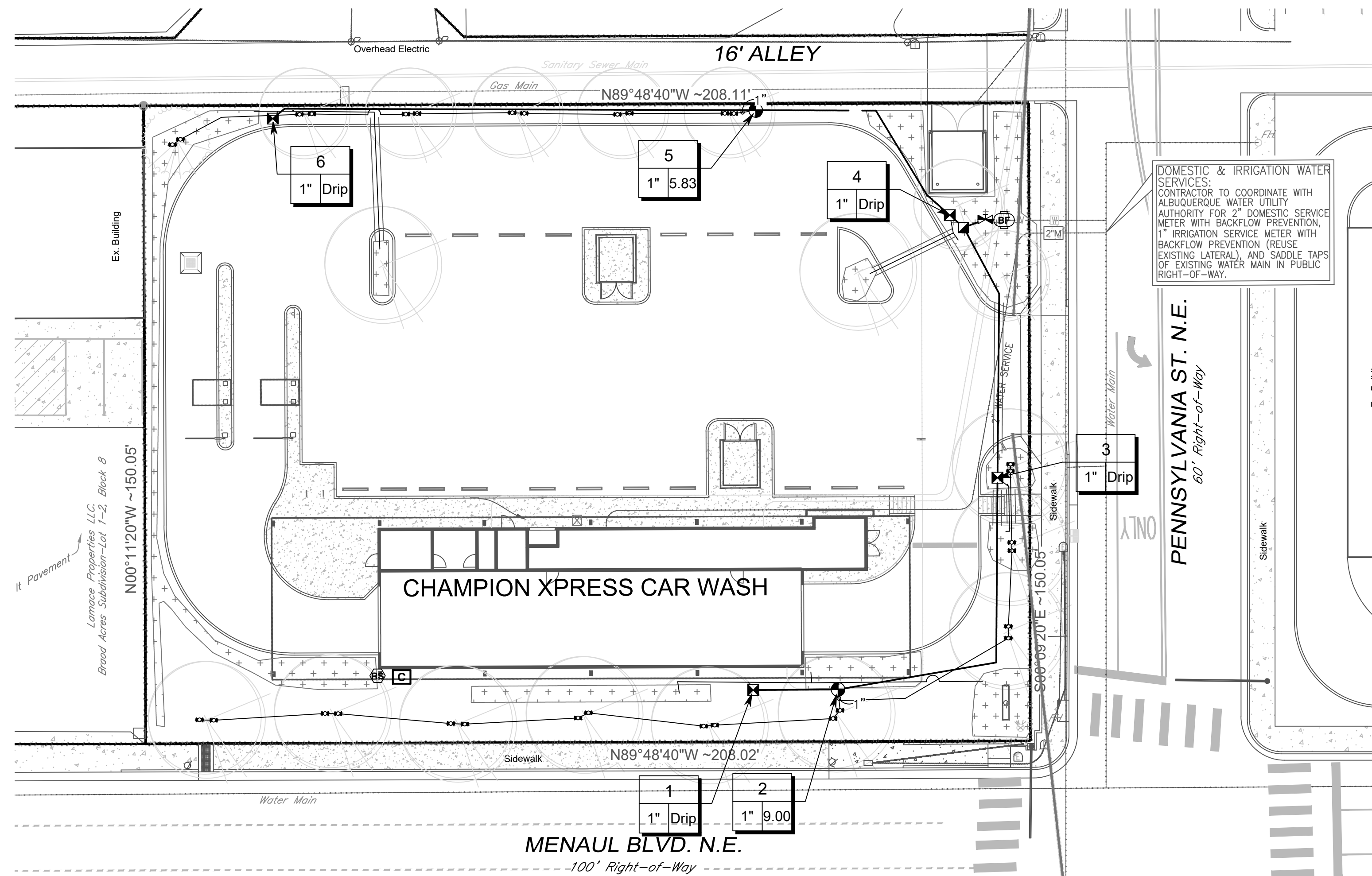
Design: RJM	Proj: 19-106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C6.0-SWP3
Scale: 1" = 20'	
Date: 02.05.2021	
Sheet: EROSION CONTROL PLAN	
Sheet No.: C-6.0	



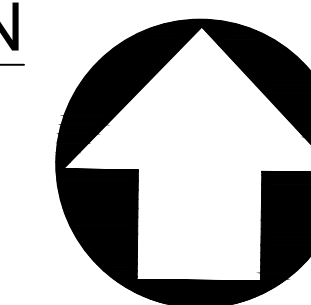
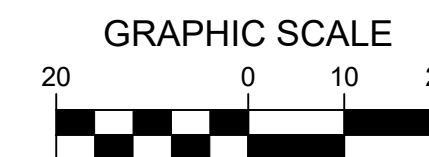
IRRIGATION NOTES

THESE NOTES ARE PRESENTED AS A "SUMMARY" OF THE WRITTEN SPECIFICATIONS ISSUED FOR THE PROJECT. REFER TO THE WRITTEN SPECIFICATIONS, IF INCLUDED, FOR ADDITIONAL DETAIL AND FULL PROJECT REQUIREMENTS.

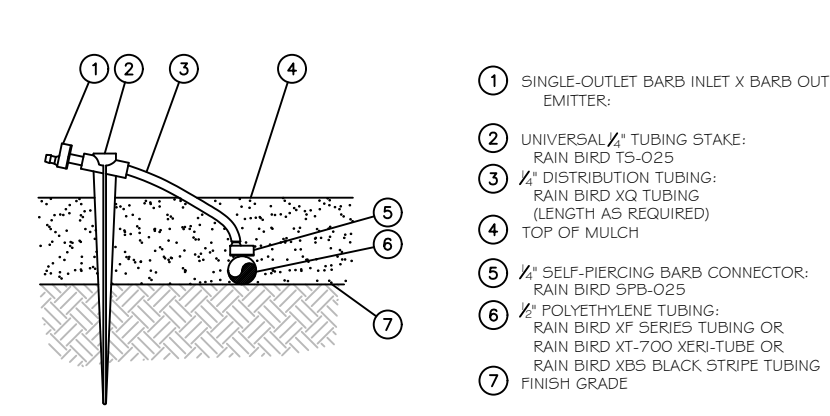
1. THE IRRIGATION SYSTEM DESIGN IS BASED ON 70 STATIC PRESSURE (PSI) AND MAXIMUM FLOW OF 1.0 GALLONS PER MINUTE (GPM). THE IRRIGATION CONTRACTOR SHALL VERIFY THE PRESSURE AND FLOW PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPORT TO THE OWNER OR OWNER'S REPRESENTATIVE ANY DIFFERENCES BETWEEN THE PRESSURE INDICATED AND THE ACTUAL PRESSURE READING AT THE POINT OF CONNECTION.
2. THE PIPE ROUTING SHOWN IS DIAGRAMMATIC ONLY. ALL PIPING, VALVES, HEADS, ETC SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. PRESSURE LOSS CALCULATIONS ARE BASED ON THE PIPE ROUTING AS SHOWN. SIGNIFICANT DEVIATIONS FROM THE ROUTING SHOWN SHOULD BE AVOIDED.
3. DO NOT WILLINGLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE DIMENSIONS OF THE CONSTRUCTED AREAS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE IRRIGATION DESIGN OR CHANGES HAVE OCCURRED IN THE SITE PLAN. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE IRRIGATION DESIGNER AND THE GENERAL CONTRACTOR IMMEDIATELY. SHOULD THE IRRIGATION CONTRACTOR PROCEED WITH THE INSTALLATION WITHOUT NOTIFYING THE IRRIGATION DESIGNER AND THE GENERAL CONTRACTOR, THE IRRIGATION CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY AND ALL REVISIONS / RECONSTRUCTION NECESSARY.
4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF / HERSELF WITH THE SITE, ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, AND INSTALLED UTILITIES. COORDINATE WORK WITH THE OWNER OR GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES UNDERNEATH PAVEMENT AND THROUGH WALLS.
5. DUE TO THE SCALE OF THE DRAWING, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, JOINTS, ETC. WHICH MAY BE REQUIRED. THE IRRIGATION CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS/HER WORK AND PLAN HIS/HER WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC. AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. ALL WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEM COMPONENTS, LANDSCAPE PLANTING, AND ARCHITECTURAL FEATURES.
6. FLUSH ALL LINES AND HEADS PRIOR TO INSTALLING NOZZLES. ADJUST NOZZLE SPRAY ARC AND RADIUS FOR OPTIMUM PERFORMANCE TO PREVENT OVERSPRAY ONTO PAVED SURFACES OR FACE OF BUILDING AS MUCH AS POSSIBLE TO FIT THE SITE CONDITIONS. THROTTLE FLOW CONTROL AT EACH VALVE FOR OPTIMUM OPERATING PRESSURE FOR EACH ZONE.
7. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISHED GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED.
8. WHEN VERTICAL OBSTRUCTIONS (POLES, SIGNS, TREES, HYDRANTS, ETC) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS SO AS TO PREVENT PROPER COVERAGE, THE CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER, THIRD, OR HALF CIRCLE HEAD AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST.
9. USE TEFLON TAPE ON ALL MALE PIPE THREADS ON PVC PIPE, SWING JOINTS, AND VALVE ASSEMBLIES.
10. INSTALL VALVE BOXES 18-INCHES FROM AND PERPENDICULAR TO WALKS, CURBS, BUILDING, OR LANDSCAPE FEATURES. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE INSTALLED A MINIMUM OF 12-INCHES APART.
11. ALL VALVES SHALL BE PLACED IN VALVE BOXES AS SHOWN IN THE DETAILS AND ALL ELECTRICAL CONNECTIONS SHALL BE SEALED WITH WATERPROOF CONNECTORS.
12. 120-VOLT ELECTRICAL POWER AT THE CONTROLLER SHALL BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE POWER PROVIDED TO THE CONTROLLER.
13. PROVIDE AS-BUILT DRAWINGS WITHIN 21 DAYS UPON COMPLETION OF THE IRRIGATION INSTALLATION.
14. ALL SPRINKLERS, VALVES AND VALVE BOXES SHALL BE PLACED 5' AWAY FROM ANY RADIUS OF CURB AS SHOWN IN DETAILS.
15. IRRIGATION CONTRACTOR SHALL PROVIDE THE FIRST WINTERIZATION BLOW OUT. IN ADDITION, HE SHALL PROVIDE THE SPRING TURN ON. ALL NECESSARY HEAD ADJUSTMENTS SHALL BE MADE AT THAT TIME AND REPLACE OR REPAIR ANY WARRANTY ITEMS. THESE ITEMS SHALL BE INCLUDED WITH BID.
16. SLEEVING FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.
17. PROVIDE GROUNDING FOR CONTROLLER AND WIRE RUN PER MANUFACTURERS RECOMMENDATION.



IRRIGATION PLAN
SCALE: 1 inch = 20 ft.

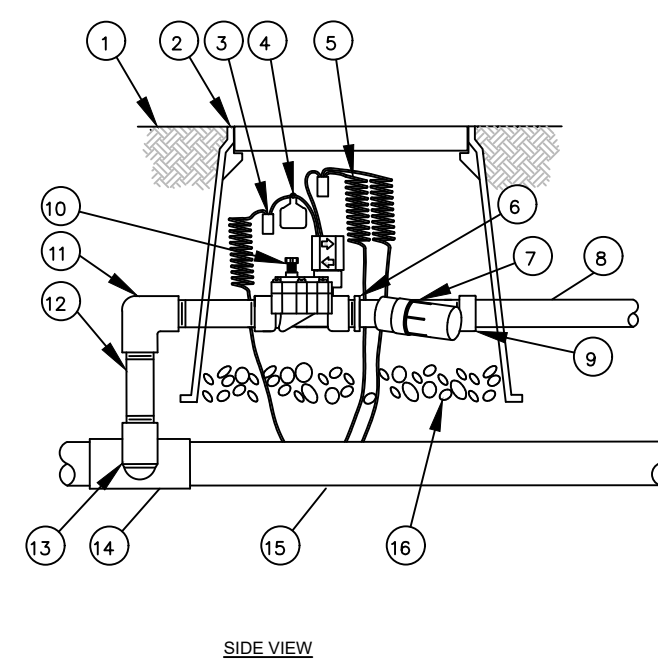


POWER TO THE CONTROLLER SHALL BE THE ELECTRICIAN ON SITE. FINAL HOOK UP FROM THE ELECTRIC TO THE CONTROLLER SHALL BE BY IRRIGATION CONTRACTOR.



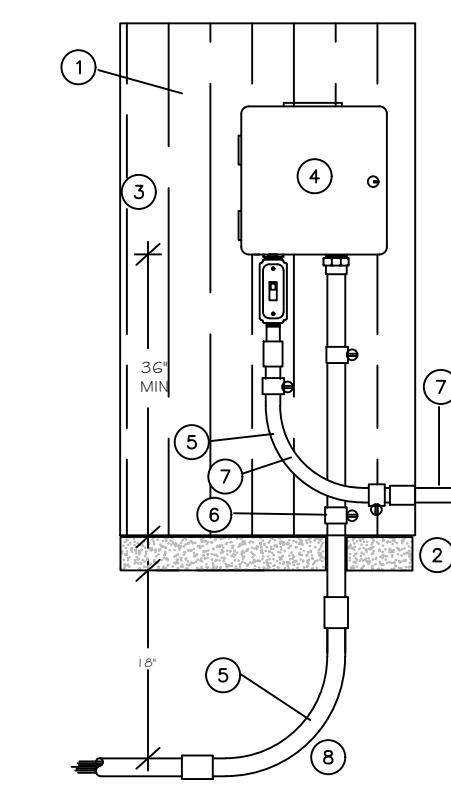
- NOTES:**
1. USE RAIN BIRD KERMAN TOOL (AM-TOOL) TO INSERT BARB CONNECTOR DIRECTLY INTO 1/2" POLYETHYLENE TUBING.
 2. SHOULD THE EMITTER BECOME DISLOGED UNREGULATED FLOW WILL OCCUR.
 3. RAIN BIRD ZERO-BUS BARS X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:
XB-05PC 0.5 GPM XB-10PC 1.0 GPM XB-20PC 2.0 GPM

BARB CONNECTOR INTO 1/2" TUBING



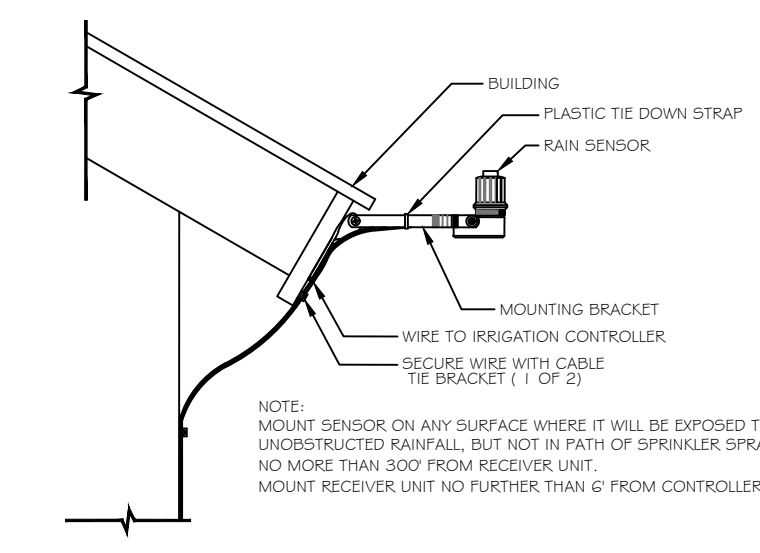
SIDE VIEW

- 1 FRESH GRADE
- 2 RECTANGLE VALVE BOX WITH COVER
- 3 WATERPROOF CONNECTION: RAIN BIRD DS SERIES
- 4 VALVE ID TAG
- 5 30-INCH LINEAR LENGTH OF WIRE, COILED
- 6 1" X 1/2" REDUCING COUPLING (INCLUDED IN XGZ-F100-PRF KIT)
- 7 PRESSURE REGULATING FILTER: RAIN BIRD PFR-075-RBY (INCLUDED IN XGZ-F100-PRF KIT)
- 8 LATERAL PIPE
- 9 PVC SCH 40 FEMALE ADAPTOR OR REDUCER
- 10 REMOTE CONTROL VALVE: RAIN BIRD RV-100 (INCLUDED IN XGZ-F100-PRF KIT)
- 11 PVC SCH 40 ELL
- 12 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 13 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN AND PVC SCH 40 ELL)
- 14 PVC SCH 40 TEE OR ELL
- 15 PVC MAINLINE
- 16 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL



RAINBIRD ESP CONTROLLER

- 1 WALL OF BUILDING
- 2 CONCRETE
- 3 GFI RECEPTACLE AND LOCKING SWITCH, 110V POWER SOURCE FOR IRRIGATION TIMER, SEE LOCAL CODE.
- 4 IRRIGATION CONTROLLER, MOUNT ON INSIDE WALL OF BUILDING. INSTALL WITH PVC ELECTRICAL CONDUIT (GRAY), WITH LONG SWEEP ELBOW.
- 5 LONG SWEEP ELBOW, ELECTRICAL CONDUIT (GRAY) SCH40 PVC, SEE LOCAL ELEC. CODES.
- 6 WALL BRACKET STAND OFF TO ANCHOR CONDUIT TO WALL, SEE LOCAL ELEC. CODES.
- 7 ELECTRICAL CONDUIT (GRAY), SIZE 1" MINIMUM FOR 110V POWER SUPPLY, SEE LOCAL ELEC. CODES.
- 8 ELECTRICAL CONDUIT (GRAY) SCH40, FOR LOW VOLTAGE IRRIGATION CONTROL WIRE TO REMOTE CONTROL ZONE VALVE, SIZE TWICE THE SIZE OF WIRE BUNDLE.



NOTE: MOUNT SENSOR ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY. NO MORE THAN 300' FROM RECEIVER UNIT. MOUNT RECEIVER UNIT NO FURTHER THAN 6' FROM CONTROLLER.

RAINBIRD WIRELESS RAIN SENSOR

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL
	Rain Bird 1800-1400 Flood 1401
	Rain Bird XCZPGA-100-PRF
	Area to Receive Drip Emitters Rain Bird XB-PC Provide 3 Emitter/Tree 2/Shrub 1/Perennial
	Rain Bird PGA Globe
	Rain Bird 5-RC
	Nibco T-113-K
	Zurn 375 1"
	Rain Bird ESP4ME3 with (2) ESP-SM3
	Rain Bird WR2-RFC
	Irrigation Lateral Line: PVC Class 200 SDR 21
	Irrigation Mainline: PVC Class 200 SDR 21
	Pipe Sleeve: PVC Schedule 40
	Valve Callout
	Valve Number
	Valve Flow
	Valve Size

Date

Description

Item

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAUL BOULEVARD, N.E. & PENNSYLVANIA STREET, N.E.
MENAUL LOTS 545, BLOCK 6, BERKSHIRE SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BURKHARDT
ENGINEERS & SURVEYORS
28 North Cherry Street | Germantown, Ohio 43021 | Phone: 637-388-0090 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: REB	Proj:
Draw: REB	Dwg:
Check: REB	Tab:
Scale: 1"=20'	
Date: 05.21.2021	
Sheet: IRRIGATION PLAN	
Sheet No.: L-2.0	

811
Know what's below.
Call before you dig.

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY. IF THE SURFACING UTILITY NUMBER IS NOTIFIED "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

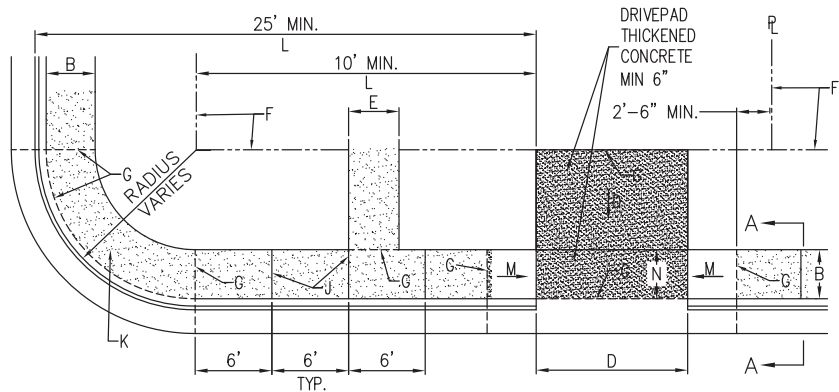
Replat Lot 3B, Block 8, Broad Acres Subdivision A lot Consolidation of Lots 3, 4, 5, 6, Block 8 Broad Acres Subdivision
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 3, 4, 5, & 6, Block 8. Braod Acres Subdivision
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

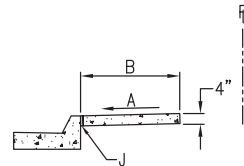
Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	42' x 5'	Concrete Drive Pad with ADA ramps	West side of Pennsylvania St. N.E.	Existing Sidewalk	Existing Sidewalk	/	/	/
<input type="text"/>	<input type="text"/>	16'x9'	Concrete Drive Pad for Alley	West side of Pennsylvania St. N.E.	Existing Curb & Gutter	Existing Curb & Gutter	/	/	/
<input type="text"/>	<input type="text"/>	148'	6" Standard Curb and Gutter	North Side of Menaul Blvd. N.E.	Existing Curb & Gutter	Existing Curb & Gutter	/	/	/
<input type="text"/>	<input type="text"/>	148'	Concrete Sidewalk	North side of Menaul Blvd. N.E.	Existing Sidewalk	Existing Sidewalk	/	/	/
<input type="text"/>	<input type="text"/>	3.5' x 7'	Sidewalk Culvert with Steel Plate Top 24" Flow Width	North Side of Menaul Blvd. N.E.	Existing Sidewalk	Existing Sidewalk	/	/	/
<input type="text"/>	<input type="text"/>	2,925 sq-ft	Asphalt Pavement	In Alley North of Development	Ex. Alley Pavement	New Concrete Drive Pad	/	/	/
<input type="text"/>	<input type="text"/>	210'	Alley Concrete Valley Gutter	In Alley North of Development	Ex. Alley Pavement	New Concrete Drive Pad	/	/	/
<input type="text"/>	<input type="text"/>	420'	Concrete Cut-Off-Wall	In Alley North of Development	Ex. Alley Pavement	New Concrete Drive Pad	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

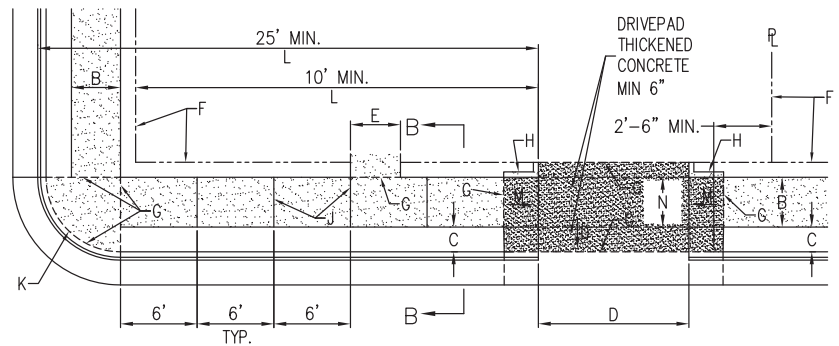
Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	Unknown	Removal of Unused Water Service Line	West side of Pennsylvania St. N.E.	Site Development	R/W Line	/	/	/
<input type="text"/>	<input type="text"/>	Unknown	Removal of Unused Water Service Line	North Side of Menaul Blvd. N.E.	Site Development	R/W Line	/	/	/
<input type="text"/>	<input type="text"/>	Unknown	Removal of Unused Sanitary Service Line	South side of 16' Alley	Site Development	R/W Line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/



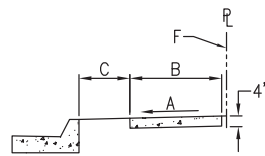
PLAN
CURB TYPE SIDEWALK



SECTION A-A



PLAN
OFFSET TYPE SIDEWALK



SECTION B-B

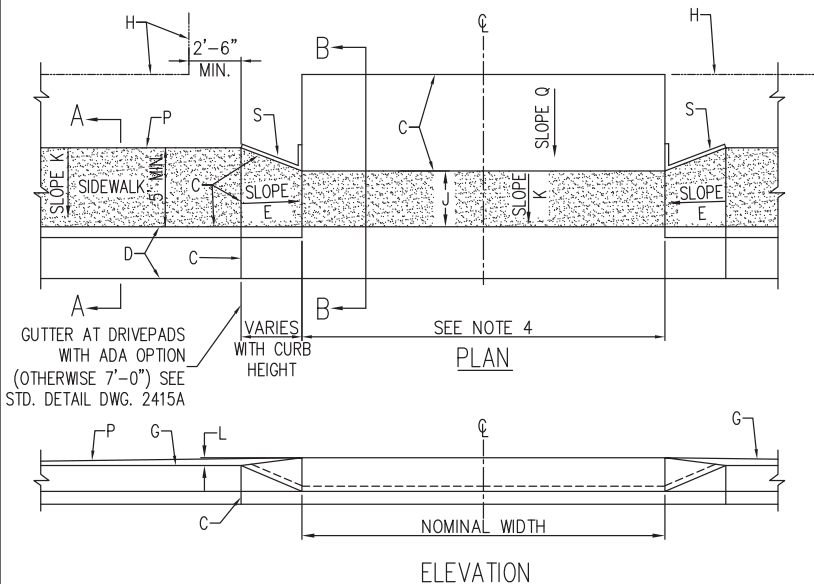
GENERAL NOTES

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

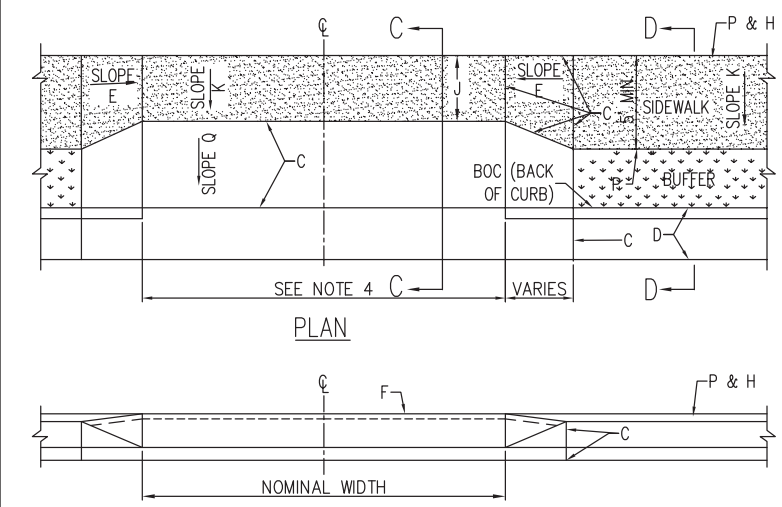
CONSTRUCTION NOTES

- | | |
|---|--|
| A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE. | H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415. |
| B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL. | J. CONTRACTION JOINTS. |
| C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER. | K. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445. |
| D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B. | L. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION. |
| E. WALKWAY VARIABLE (4' MINIMUM). | M. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE. |
| F. PROPERTY LINE. | N. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE. |
| G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS. | |

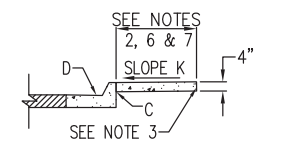
REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
DWG. 2430	JUNE 2019



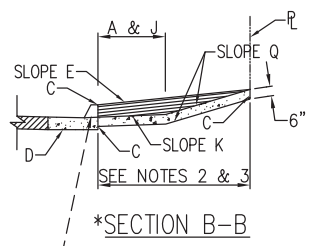
DRIVEPAD WITH SIDEWALK AT BACK OF CURB



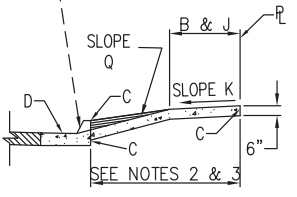
DRIVEPAD WITH SIDEWALK SET BACK FROM CURB



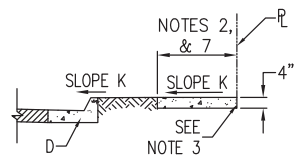
SECTION A-A (SIDEWALK AT BACK OF CURB)



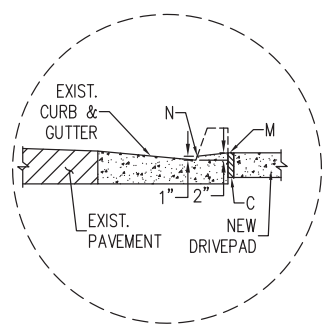
*SECTION B-B



*SECTION C-C (ALTERNATE FOR ADA COMPLIANCE) (SIDEWALK AT PROPERTY LINE)



SECTION D-D (SIDEWALK AT PROPERTY LINE)



ALTERNATE DETAIL MACHINE CUT EXISTING CURBS

* USE ONLY WHEN BACK OF CURB TO PROPERTY LINE IS 10' OR MORE. DRIVEPADS WITH LESS THAN 10'-0" IN DEPTH REQUIRE A SPECIAL DESIGN TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER. ADDITIONAL RIGHT-OF-WAY OR EASEMENTS SHALL BE OBTAINED IF REQUIRED.

CONSTRUCTION NOTES

- A. SIDEWALK ADJACENT TO CURB.
- B. OFFSET SIDEWALK.
- C. 1/2" EXPANSION JOINT ADJACENT TO EXISTING CONCRETE OR STRUCTURES ON REPLACEMENT WORK.
- D. CURB AND GUTTER.
- E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3%, 7% PREFERRED SLOPE).
- F. TOP OF DRIVEPAD.
- G. TOP OF CURB.
- H. PROPERTY LINE/RIGHT-OF-WAY LINE.
- J. 4' MIN SIDEWALK WIDTH.
- K. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- L. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB IS DETERMINED BY A 2% MAXIMUM SLOPE, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.

GENERAL NOTES

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
3. USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ABUTS BLDGS., FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
4. ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 6" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO P/L. FOR DRIVEWAY WIDTHS, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
5. DRIVEPADS WIDER THAN 18' (NOMINAL) SHALL HAVE A 1/2" EXP. JT. AT MIDPOINT. DRIVEPADS WIDER THAN 36' SHALL HAVE 2 OR MORE 1/2" EXP. JTS. EQUALLY SPACED, MAX., SPACING IS 18' APART.
6. SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED.
7. FOR SIDEWALK WIDTH, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL (4' MIN. WIDTH ON ACCESSIBLE ROUTE).
8. SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 301.
9. ADA - AMERICANS WITH DISABILITIES ACT.

- M. SAW CUT EXISTING CONCRETE FROM BACKSIDE OF CURB WITH SLOPE TOWARD FLOWLINE.
- N. EXPOSED CUT EDGES SHALL BE GROUND SMOOTH/ROUNDED TO REMOVE SHARP EDGE.
- P. OUTSIDE EDGE OF SIDEWALK.
- Q. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC, ETC.).
- R. FLARED SIDES ARE TO HAVE 10% MAXIMUM SLOPE.
- S. HEADER CURB AS REQUIRED TO MATCH GRADE BEHIND SIDEWALK.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	DRIVEPADS
	DWG. 2425A
	JUNE 2019

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: June 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Inez NA, Classic Uptown NA, District 7 Coalition of
Neighborhood Association (NA)*: Neighborhood Associations, and ABQ Park NA
Donna Yetter, Maya Sutton, Robert Lah, David Haughawout, Lynne

Name of NA Representative*: Martin, Shirley Lockyer, and Steve Randall
donna.yetter3@gmail.com, yemaya@swcp.com,
Email Address* or Mailing Address* of NA Representative¹: robtlah@yahoo.com, davidh.d7@comcast.net,
lmartin900@aol.com, shirleylockyer@gmail.com,
and, srandall52@comcast.net

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 7521 Menaul Blvd NE, Albuquerque, NM 87112
Location Description Northwest corner of Menaul Blvd NE & Pennsylvania Street NE
2. Property Owner* VIA Real Estate, LLC
3. Agent/Applicant* [if applicable] Steven Sandoval, PS (Professional Surveyor)
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan Minor Subdivision; Lot
 - Subdivision Consolidation Replat (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver Administrative waiver of 4-foot alleywidth from 20-foot to the platted 16-foot alley
 - Other: Right-of-way granted to City at corner of Alley and intersection

Summary of project/request²*: _____

We request approval for the consolidation replat of Lots 3 through 6, Block 8, Broad Acres Subdivision, to combine the four tracts into one tract as Lot 3B, all in accordance with the Integrated Development Ordinance (IDO) Section 14-16-6-6(K)(1)(b).

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] _____
 2. IDO Zone District _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS		
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type:		
Decision-making Body:		
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Mailed Notice required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Note: if yes, see second page
PART II – DETAILS OF REQUEST		
Address of property listed in application: 7521 Menaul Blvd NE		
Name of property owner: VIA Real Estate LLC		
Name of applicant: Steven Sandoval, PS		
Date, time, and place of public meeting or hearing, if applicable: June 9, 2021 at 9:00am MDT (virtual meeting)		
Join Zoom Meeting https://cabq.zoom.us/j/99808085640 Meeting ID: 998 0808 5640 By phone +1 312 626 6799		
Address, phone number, or website for additional information: 575-491-2371		
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature)

04/12/2021

(Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.



City Address: 7509 MENAUL BLVD NE

County Address: 7509 MENAUL NE

6/1/2021

www.cabq.gov/gis

City of Albuquerque Property Report

Ownership Data from [Bernalillo County Assessor](#)

(County Assessor's data for tax year 2018)

Owner Name: KREIDER SHIRLEY A RVT

Owner Address: 9012 PRINCESS JEANNE AVE NE, ALBUQUERQUE NM 87112-3942

UPC: 101905924927920802

Tax Year: 2018 **Tax District:** A1A

Legal Description: * 003 008BROAD ACRES

Property Class: C **Document Number:** 2020112139 060102 WD - EN

Acres: 0.18

City Zoning and Services

IDO Zone District: MX-M

IDO District Definition: Moderate Intensity

Old Zoning Designation: C-2

Old Zoning Description:

Land Use: 04 | Commercial Services

Lot: 3 **Block:** 8 **Subdivision:** BROAD ACRES ADDN

Police Beat: 422 **Area Command:** NORTHEAST

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: [H19](#) (opens in new window)

City Neighborhood Association: Classic Uptown NA

Residential Trash Pickup: Wednesday

Political Districts

City Council District: [7 - Diane G. Gibson](#)

County Commission District: 5 - Charlene E. Pyskoty

NM House of Representatives: Christine Trujillo

NM Senate: Daniel A. Ivey-Soto

School Districts

Elementary: ZUNI

Middle: CLEVELAND

High School: SANDIA

FEMA Flood Zone: X

For questions about floodplain information, please contact the COA Floodplain Manager at 924-3986 or email ccherne@cabq.gov

Run another Search [here](#)

This report was created by the GIS group of DTI. Please send comments to GIS@cabq.gov.
Please wait while the map loads below...



This application uses licensed Geocortex Essentials technology for the Esri® ArcGIS platform. All rights reserved.



City Address: 7521 MENAUL BLVD NE

County Address: 7521 MENSUAL BLVD NE

6/1/2021

www.cabq.gov/gis

City of Albuquerque Property Report

Ownership Data from [Bernalillo County Assessor](#)

(County Assessor's data for tax year 2018)

Owner Name: KREIDER SHIRLEY A TRUSTEE KREIDER RVT

Owner Address: 9012 PRINCESS JEANNE AVE NE, ALBUQUERQUE NM 87112-3942

UPC: 101905925927920803

Tax Year: 2018 **Tax District:** A1A

Legal Description: * 004 008BROAD ARCES XLT 5X6

Property Class: C **Document Number:** 2018102907 041311 SW - EN

Acres: 0.5

City Zoning and Services

IDO Zone District: MX-M

IDO District Definition: Moderate Intensity

Old Zoning Designation: C-2

Old Zoning Description:

Land Use: 04 | Commercial Services

Lot: 4 **Block:** 8 **Subdivision:** BROAD ACRES ADDN

Police Beat: 422 **Area Command:** NORTHEAST

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: [H19](#) (opens in new window)

City Neighborhood Association: Classic Uptown NA

Residential Trash Pickup: Wednesday

Political Districts

City Council District: [7 - Diane G. Gibson](#)

County Commission District: 5 - Charlene E. Pyskoty

NM House of Representatives: Christine Trujillo

NM Senate: Daniel A. Ivey-Soto

School Districts

Elementary: ZUNI

Middle: CLEVELAND

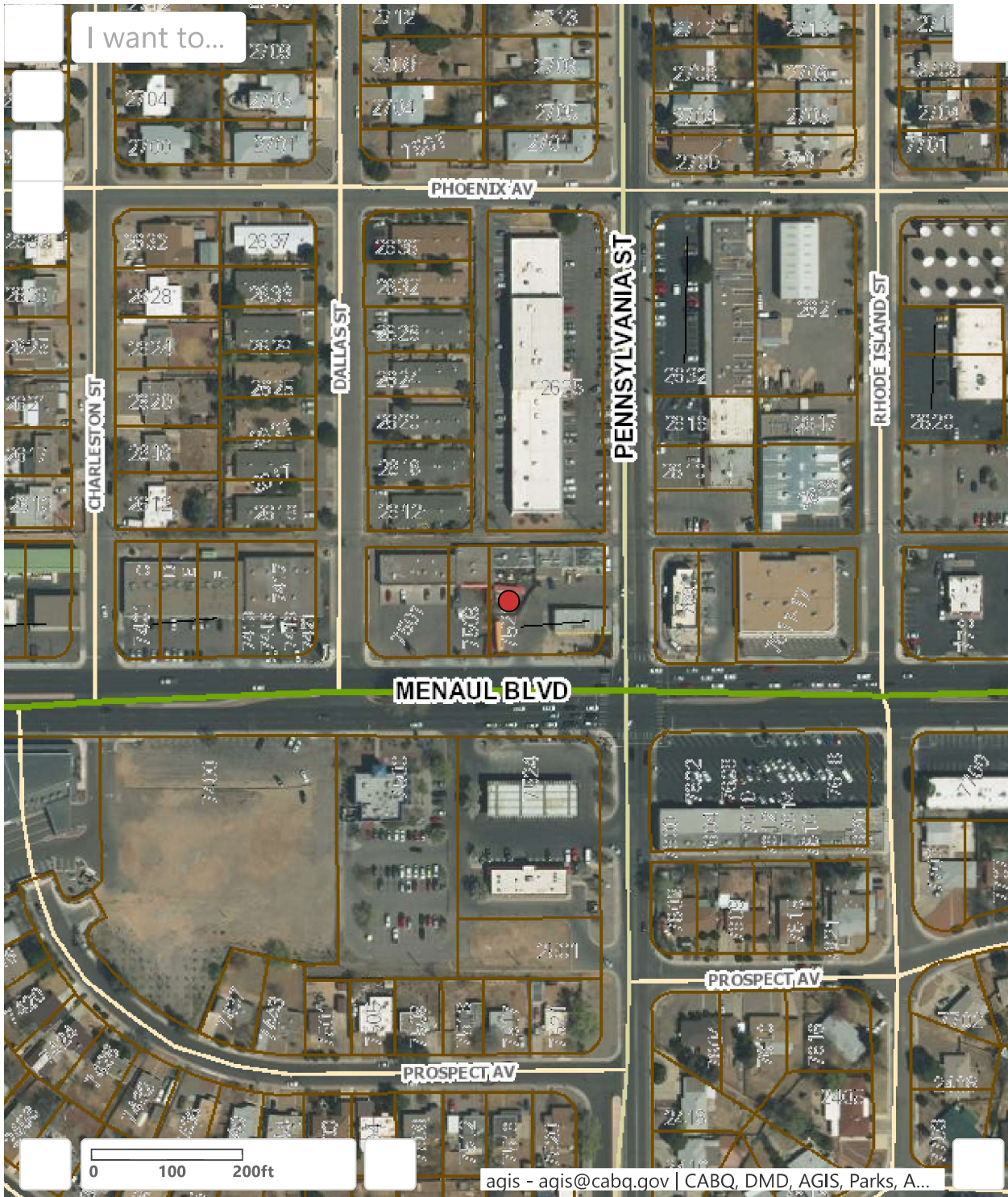
High School: SANDIA

FEMA Flood Zone: X

For questions about floodplain information, please contact the COA Floodplain Manager at 924-3986 or email ccherne@cabq.gov

Run another Search [here](#)

This report was created by the GIS group of DTI. Please send comments to GIS@cabq.gov. Please wait while the map loads below...



From: cssalamo@aol.com,

To: donna.yetter3@gmail.com, yemaya@swcp.com, robtlah@yahoo.com, davidh.d7@comcast.net, lmartin900@aol.com, shirleylockyer@gmail.com, srandall52@comcast.net,

Cc: rokoye@modulusarchitects.com, jrodenbeck@cabq.gov,

Subject: Notice to Neighborhood Associations for Development Review Board Project PR-2021-004038/SD-2021-00098

Date: Fri, Jun 4, 2021 9:27 am

Attachments: 1_Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill_filled out.pdf (1268K), 1a_CABQ-Official_public_notice_form-2019n.pdf (931K), 3_Zone Atlas Map.pdf (851K), 4_AddressReport.pdf (403K), 4a_AddressReport7521MenaulBlvdNE.pdf (2264K), 5_June 9th Meeting Info.pdf (28K), 6_20-281_REPLAT B BLK 8 BROAD ACRES-24x36R.pdf (2231K),

Date of notice: 06-04-2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. I've attached a copy of the required forms, Zoom meeting information, and the proposed plat. I have also copied images of the first two pages of the Public Notice also attached as a pdf, below. Feel free to call me directly if you have any questions or comments. Thank you all for your attention on this matter.

Steven Sandoval, PS

ConstructionSurveyingServices.com

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: June 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development

Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Inez NA, Classic Uptown NA, District 7 Coalition of

Neighborhood Associations, and ABQ Park NA

Name of NA Representative*: Donna Yetter, Maya Sutton, Robert Lah, David Haughawout, Lynne

Martin, Shirley Lockyer, and Steve Randall

Email Address* or Mailing Address* of NA Representative†: donna.yetter@gmail.com, yemaya@swcp.com,

robtlah@yahoo.com, davidh.d7@comcast.net,

lmartin900@aol.com, shirleylockyer@gmail.com,

and, srandall52@comcast.net

Information Required by IDO Subsection 14-16-6-4(K)(3)(a)

1. Subject Property Address* 7521 Menaul Blvd NE, Albuquerque, NM 87112
- Location Description Northwest corner of Menaul Blvd NE & Pennsylvania Street NE
2. Property Owner* VIA Real Estate, LLC
3. Agent/Applicant* [if applicable] Steven Sandoval, PS (Professional Surveyor)
4. Application(s) Type* per IDO Table 6-1-1 (mark all that apply)
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan Minor Subdivision; Lot
 - Subdivision Consolidation Replat (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver Administrative waiver of 4-foot alleywidth from 20-foot to the platted 16-foot alley
 - Other: Right-of-way granted to City at corner of Alley and intersection

Summary of project/request*:

We request approval for the consolidation replat of Lots 3 through 6, Block 8, Broad Acres Subdivision, to combine the four tracts into one tract as Lot 3B, all in accordance with the Integrated Development Ordinance (IDO) Section 14-16-6-4(K)(1)(b).

* Pursuant to IDO Subsection 14-16-6-4(K)(3)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

† Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. This application will be decided at a public meeting or hearing by³:
 - Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 Date/Time⁴: June 9, 2021 at 9:00am MDT by Zoom meeting, at: <https://cabq.zoom.us/j/99808085640> Meeting ID: 998 0808 5640
 Location⁵: By phone +1 312 626 6799 or Find your local number: <https://cabq.zoom.us/join/join?ipq2>
 Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>
 To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found⁶:
 Call Steven Sandoval, PS @ 575-491-2371

Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s)⁴: H-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant⁶: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project⁶:
 - Deviation(s) Variance(s) Waiver(s)
 Explanation⁶:

- 4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-3: Yes No
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link
⁴ Address (mailing or email), phone number, or website to be provided by the applicant.
⁵ Available online here: <http://data.cabq.gov/business/neighbor/>

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Xpress Car Wash

AGIS MAP # H-19-Z

LEGAL DESCRIPTIONS: PARCEL 1:
* 003 008BROAD ACRES

PARCEL 2:
* 004 008BROAD ARCES XLT 5X6

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 2-08-2021 (date).


Applicant/Agent

4/27/2021
Date

Ernest Armijo
Hydrology Division Representative

5/13/2021
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

X **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 2-10-2021 (date).


Applicant/Agent

4/27/2021
Date

Chris Gustafson
ABCWUA Representative

05/19/2021
Date

Statement #210211 - Executed on 03/25/2021

PROJECT # _____