



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input checked="" type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

A Lot Consolidation Replat, combining Lots 3, 4, 5, & 6, Block 8, Broadacres Subdivision at the northwest corner of Menaul & Pennsylvania

APPLICATION INFORMATION

Applicant: VIA REAL ESTATE , LLC	Phone:
Address: 13105 CR 1820	Email:
City: LUBBOCK	State: TX
	Zip: 79424
Professional/Agent (if any): STEVEN J. SANDOVAL, PS	Phone: 575-443-6202
Address: PO BOX 2295	Email: CSSALAMO@AOL.COM
City: ALAMOGORDO	State: NM
	Zip: 88311
Proprietary Interest in Site:	List all owners:

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LOTS 3, 4, 5, & 6	Block: 8	Unit:
Subdivision/Addition: BROAD ACRES SUBDIVISION	MRGCD Map No.:	UPC Code: 101905924927920802
Zone Atlas Page(s): H-19-Z	Existing Zoning: MX-M	Proposed Zoning MX-M
# of Existing Lots: 4	# of Proposed Lots: 1	Total Area of Site (Acres): 0.717

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 7521 MENAUL BLVD NE	Between: LOUISIANA BLVD	and: WYOMING BLVD
--	-------------------------	-------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 4/8/21
Printed Name: Steven Sandoval	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:		Project #		

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 ___ Zone Atlas map with the entire site clearly outlined and labeled
 ___ Letter describing, explaining, and justifying the request
 ___ Scale drawing of the proposed subdivision plat (7 copies, folded)
 ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 ___ Zone Atlas map with the entire site clearly outlined and labeled
 ___ Proposed Final Plat (7 copies, 24" x 36" folded)
 ___ Design elevations & cross sections of perimeter walls (3 copies)
 ___ Copy of recorded IIA
 ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer
 ___ DXF file and hard copy of final plat data for AGIS submitted and approved

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

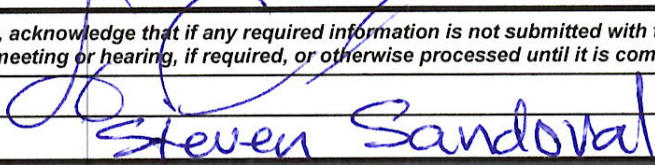

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 Zone Atlas map with the entire site clearly outlined and labeled
 Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6(K)
 Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
 Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)
 Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
 Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
 Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information
 Proposed Infrastructure List, if applicable
 Required notice with content per IDO Section 14-16-6-4(K)
 ___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives
 ___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer
 ___ DXF file and hard copy of final plat data for AGIS submitted and approved

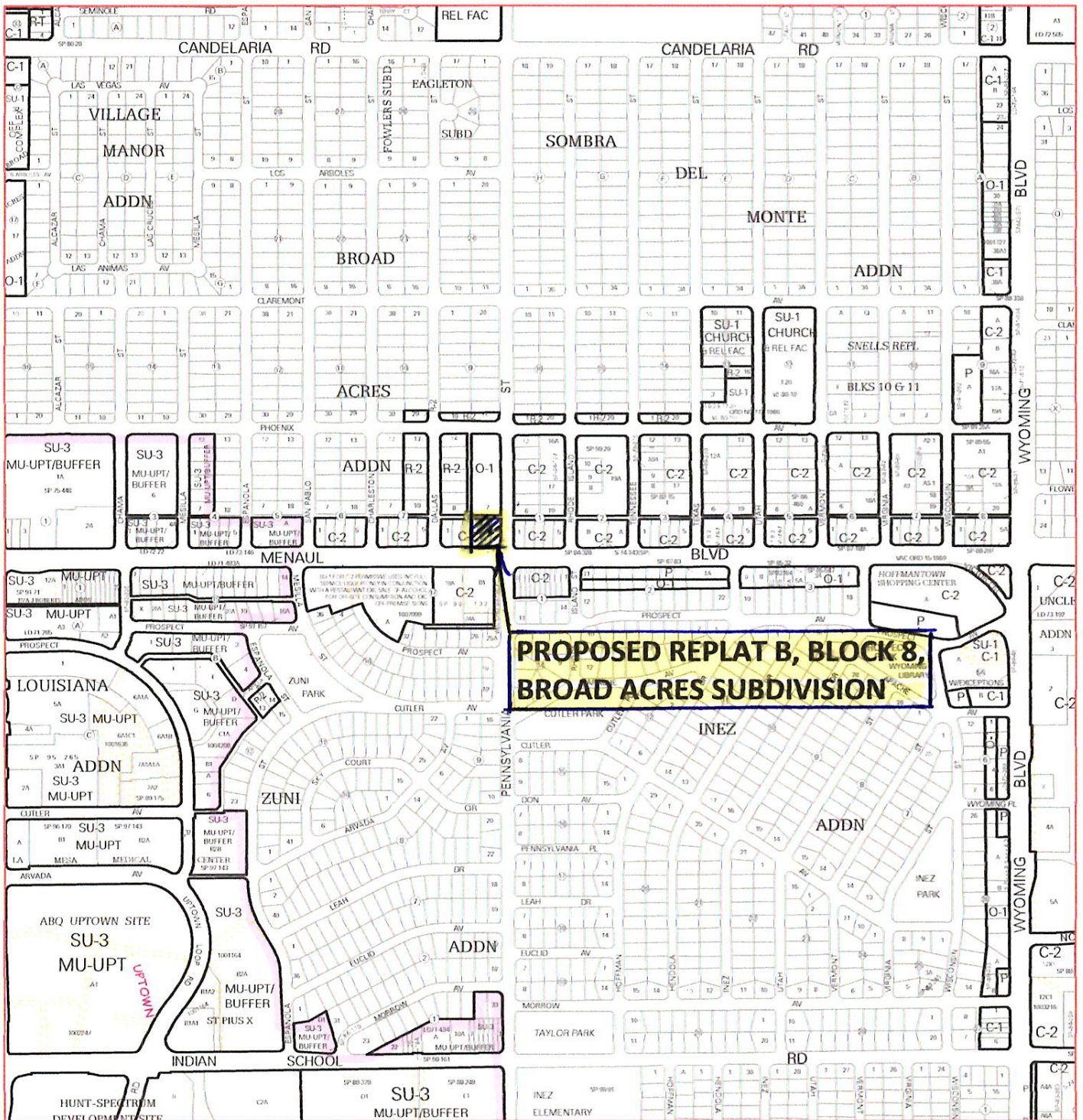
Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
 ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 ___ Zone Atlas map with the entire site clearly outlined and labeled
 ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
 ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
 ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: 4/27/21
Printed Name: Steven Sandoval	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010

Zone Atlas Page:
H-19-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

0 750 1,500 Feet

Note: Grey Shading Represents Area Outside of the City Limits



April 10, 2021

Via Email: JRodenbeck@cabq.gov

City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102
Attn: Jay Rodenbeck, DRB Planner

Re: Request for Approval of Replat B, Block 8, Broad Acres Subdivision, Albuquerque, Bernalillo County, New Mexico

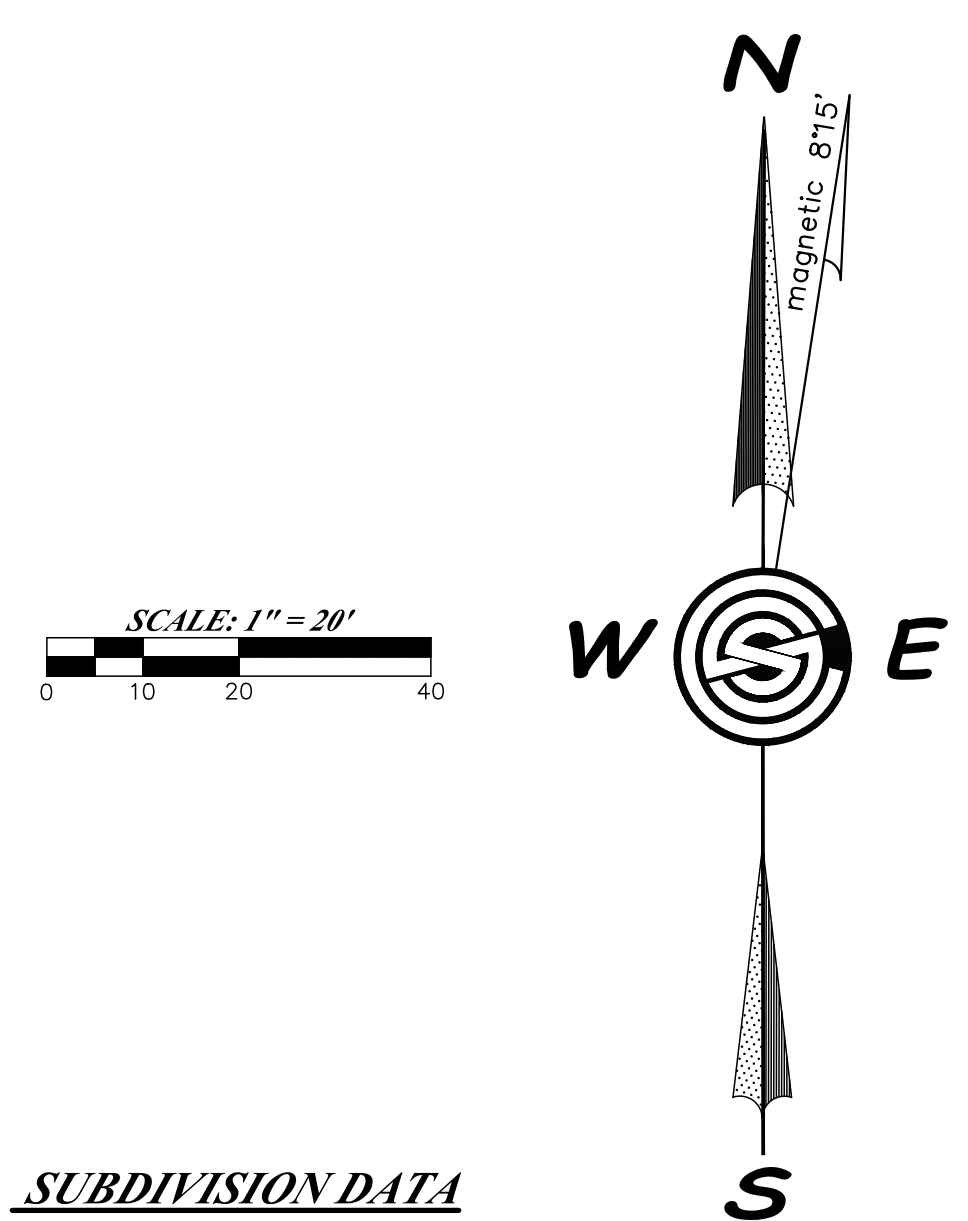
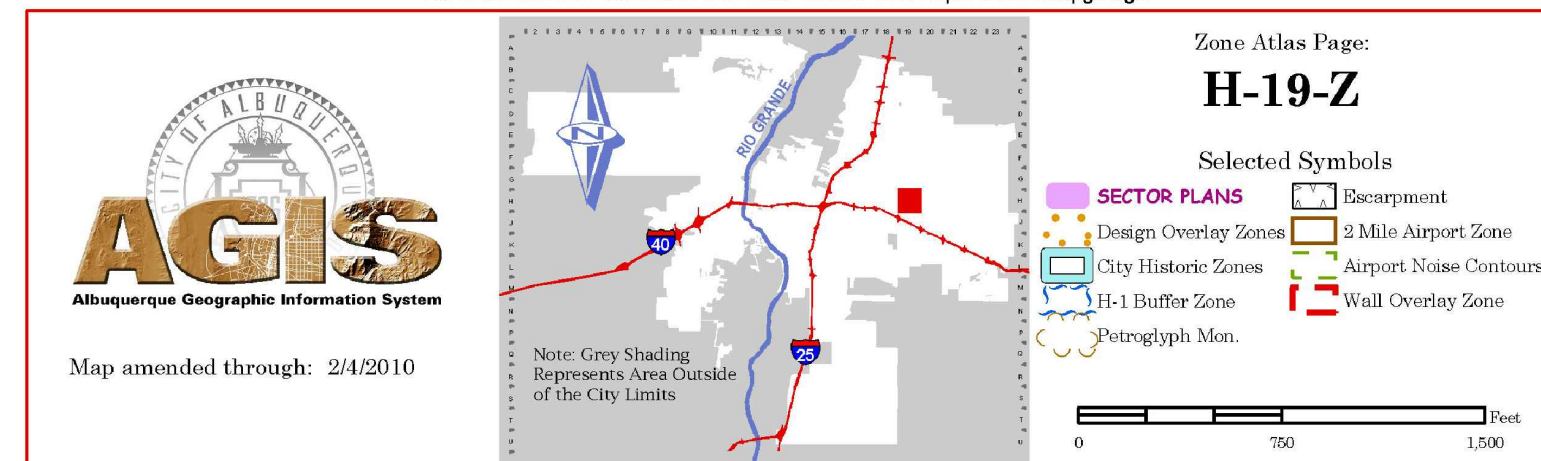
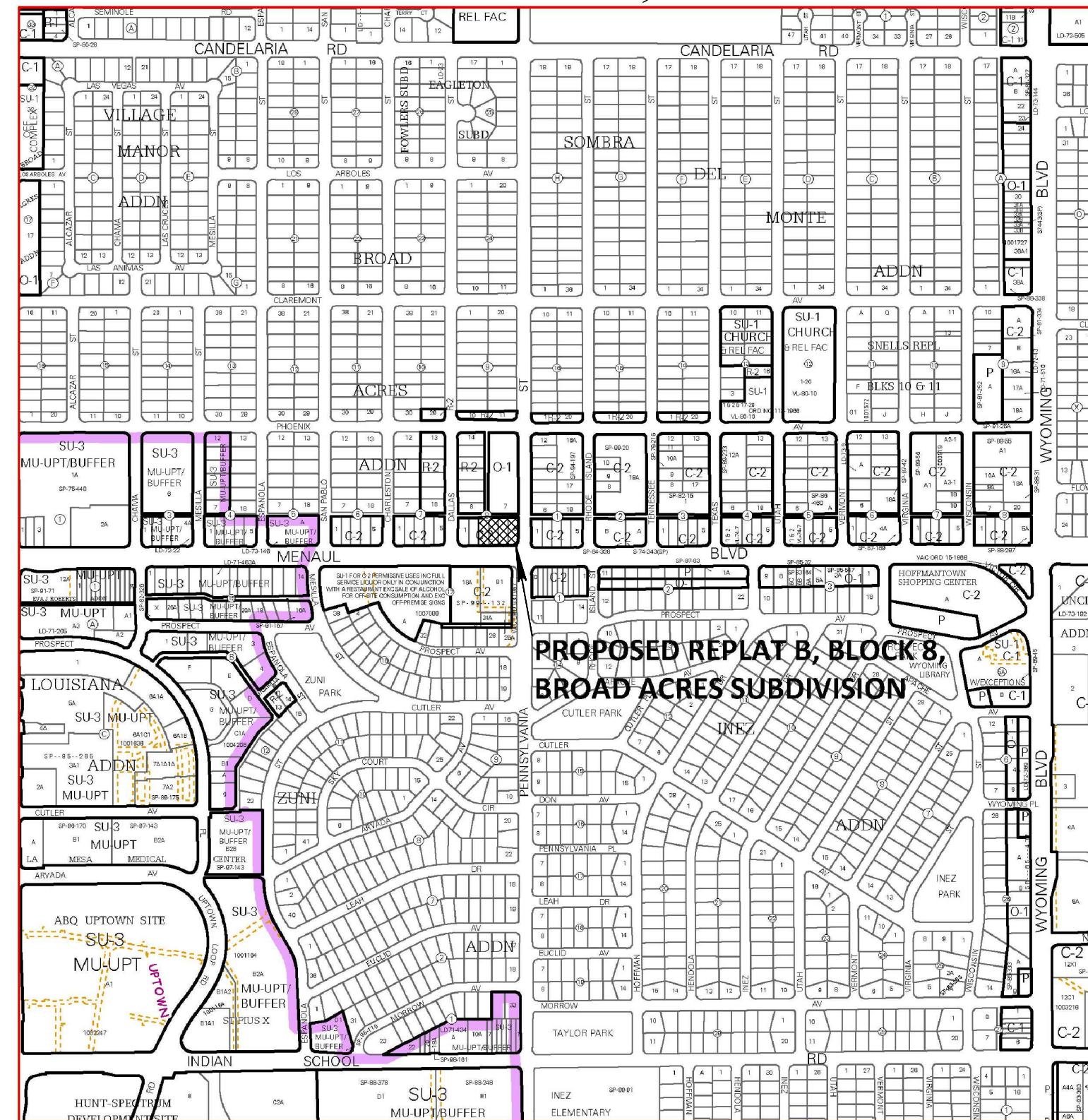
Dear Mr. Rodenbeck:

We request approval for the consolidation replat of Lots 3 through 6, Block 8, Broad Acres Subdivision, to combine the four tracts into one tract as Lot 3B, all in accordance with the Integrated Development Ordinance (IDO) Section 14-16-6-6(K)(1)(b) and, toward that end, present this submittal in the format outlined in Form S2: Subdivision of Land – Minor Actions. We are prepared to provide all required documents beyond those submitted herewith and/or answers to any questions that may arise during the process of this action. Thank you for your attention to this matter and I can be contacted directly on my cellphone at 575-491-2371.

Sincerely,

Steven J. Sandoval, PS
Principal Surveyor

ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



SUBDIVISION DATA

- DRB NO. _____
- ZONE ATLAS INDEX NUMBER: H-19
- ZONING: MX-M
- GROSS SUBDIVISION ACREAGE: 0.717 ACRE.
- TOTAL NUMBER OF LOTS/TRACTS CREATED: CONSOLIDATED 4 LOTS INTO 1
- 0 MILES PUBLIC STREET AND PRIVATE RIGHT-OF-WAY CREATED.
- DATE OF SURVEY: 01/07/2021
- THE SUBJECT PROPERTY IS LOCATED IN SECTION 7, T10N, R4E, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

Construction Surveying Services
PO Box 2295, Alamogordo, NM 88311
(575) 443-6202 FAX (575) 443-1151

INDEXING INFORMATION

SECTION 7, T10N, R4E,
LOT 3B, BLOCK 8,
BROAD ACRES SUBDIVISION
OWNER: VIA REAL ESTATE, LLC.

UPC# 101905924927920802 (LOT 3)
UPC# 101905925927920803 (LOTS 4-6)

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND PAID ON UPC#

101905924927920802
101905925927920803

PROPERTY OWNER OF RECORD:
BERNALILLO COUNTY TREASURER'S OFFICE

**REPLAT B, BLOCK 8, BROAD ACRES SUBDIVISION
A LOT CONSOLIDATION OF LOTS 3, 4, 5, & 6, BLOCK 8
BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL 2021**

PURPOSE OF PLAT
1. A REPLAT AS SHOWN HEREON, CONSOLIDATING LOTS 3 THRU 6 INTO ONE LOT.

LEGAL DESCRIPTION
LOTS NUMBERED THREE (3), FOUR (4), FIVE (5), AND SIX (6) IN BLOCK NUMBERED EIGHT (8) OF BROAD ACRES, A SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3.

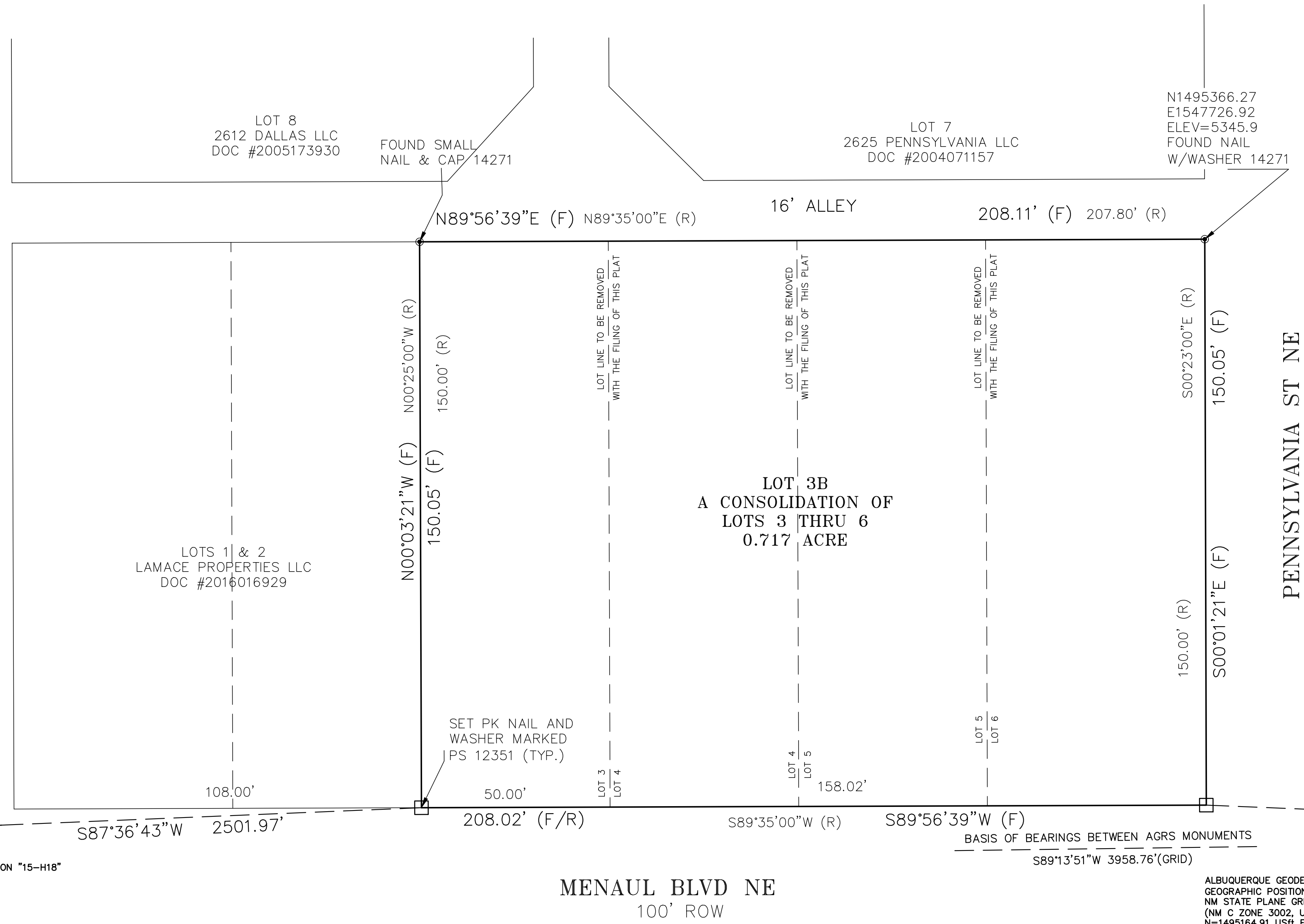
BEING MORE PARTICULARLY DESCRIBED TOGETHER BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT OF INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY OF MENAUL BLVD NE AND THE WEST RIGHT-OF-WAY OF PENNSYLVANIA STREET NE, SAID POINT BEING IDENTICAL TO THE SOUTHEAST CORNER OF LOT 6, BLOCK 8, BROAD ACRES SUBDIVISION AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3;

THENCE, FROM THE POINT OF BEGINNING, ALONG THE NORTH RIGHT-OF-WAY OF MENAUL BLVD NE, S89°56'39"W, A DISTANCE OF 208.02 FEET TO A POINT FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, LEAVING SAID NORTH RIGHT-OF-WAY, N00°03'21"W, A DISTANCE OF 150.05 FEET TO A POINT FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE, N89°56'39"E, A DISTANCE OF 208.11 FEET TO A NAIL WITH WASHER MARKED 14271 ON THE WEST RIGHT-OF-WAY PENNSYLVANIA STREET NE FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE, ALONG THE WEST RIGHT-OF-WAY OF PENNSYLVANIA STREET NE, S00°01'21"E, A DISTANCE OF 150.05 FEET TO THE POINT AND PLACE OF BEGINNING, ENCLOSING 0.717 ACRE, MORE OR LESS.



ALBUQUERQUE GEODETIC REFERENCE STATION "15-H18"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE GRID COORDINATES
(NM G ZONE 3002, US SURVEY FOOT)
N=1495111.77 USR E=1545019.85 USR
GROUND TO GRID FACTOR=0.999660624
Az=001100.43°
NAVD 1988 ELEVATION=5303.39 USR

ALBUQUERQUE GEODETIC REFERENCE STATION "11-H19"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE GRID COORDINATES
(NM G ZONE 3002, US SURVEY FOOT)
N=1495164.91 USR E=1548977.78 USR
GROUND TO GRID FACTOR=0.999656857
Az=001033.04°
NAVD 1988 ELEVATION=5364.26 USR

NOTES

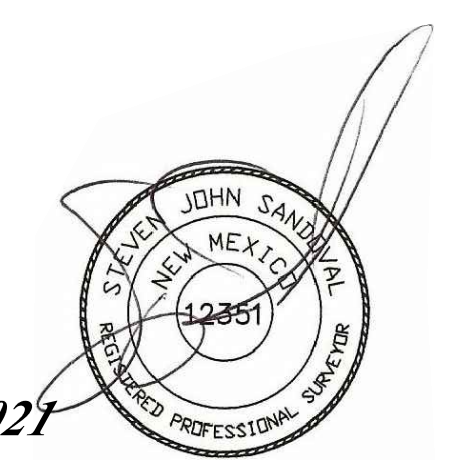
- BEARINGS ARE NEW MEXICO STATE PLANE, CENTRAL, GRID BEARINGS (NM C ZONE 3002 NAD 1983)
- BASIS OF BEARINGS ESTABLISHED FROM CITY OF ALBUQUERQUE REFERENCE STATION 15-H18 TO 11-H19 AS N89°13'51"E.
- DISTANCES ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
- PROJECT COMBINED SCALE FACTOR (GRID/GROUND)=0.999658245. FIELD (F) MEASUREMENTS COMPARED TO RECORD (R) BEARINGS AND DISTANCES ARE REFERENCED TO THE ORIGINAL PLAT OF BROAD ACRES SUBDIVISION AS FILED FOR RECORD ON FEBRUARY 21, 1947, IN VOLUME D, FOLIO 3, AS DOCUMENT #1947022147.
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANYTIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT.
- THIS PLAT SHOWS ALL EASEMENTS SHOWN ON THE PLAT OF RECORD (NONE FOUND) OR MADE KNOWN ON TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY DATED OCTOBER 16, 2020, COMMITMENT NO. 2009367 (NONE FOUND).

BASIS OF BEARING
ROTATED TO CITY OF ALBUQUERQUE SURVEY MONUMENTS 15_H18 AND 11_H19 AND PINNED TO A ONE-POINT OPUS STATIC GPS SOLUTION PERFORMED ON THE SUBJECT PROPERTY AT NORTH LATITUDE 35°06'33.96794" WEST LONGITUDE 106°33'37.30036" N1495266.12 E1547596.14 SPC NM C ZONE 3002 ORTHOMETRIC HEIGHT OF 5342.81 NAVD 1988

SURVEYOR'S CERTIFICATE

I, STEVEN J. SANDOVAL, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE, AND THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

STEVEN J. SANDOVAL NMPS NO. 12351 DATE May 11, 2021



REFERENCE DOCUMENTS

BROAD ACRES SUBDIVISION PLAT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3.

A BOUNDARY SURVEY AND ALTA/ACSM LAND TITLE SURVEY BY WILL PLOTNER, JR, NMPS 14271 DATED MAY 15, 2015

FREE CONSENT & DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDER SIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF WHO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR DISTRIBUTION LINES, CONDUITS AND PIPES, INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION, INSPECTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Chad Merchant 04-16-2021

VIA REAL ESTATE, LLC

STATE OF New Mexico } SS
COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 27th DAY OF April 2021 BY Chad Merchant OWNER

MY COMMISSION EXPIRES 8/24/24

Ashlea R. Stewart
NOTARY PUBLIC

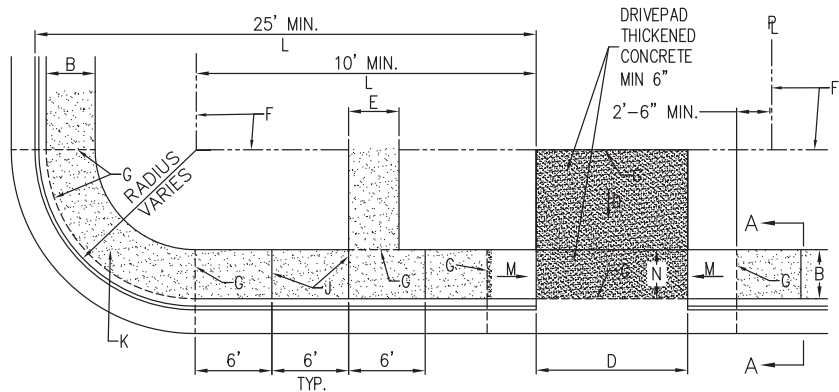
PROJECT NUMBER: _____

APPLICATION NUMBER: _____

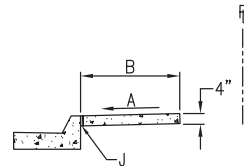
PLAT APPROVALS:

PNM ELECTRIC SERVICES	DATE
NEW MEXICO GAS COMPANY	DATE
CENTURY LINK	DATE
COMCAST	DATE
CITY APPROVALS:	
<i>Loren V. Risenhoover P.S.</i>	5/13/2021
CITY SURVEYOR	DATE

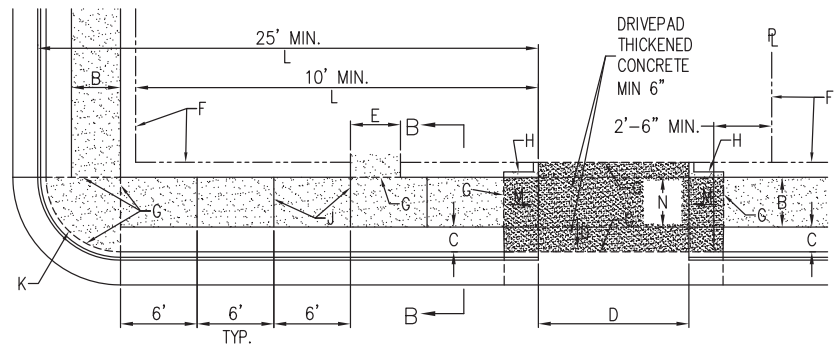
TRAFFIC ENGINEERING, TRANSPORTATION DIV.	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER/HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



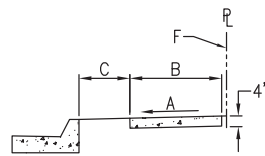
PLAN
CURB TYPE SIDEWALK



SECTION A-A



PLAN
OFFSET TYPE SIDEWALK



SECTION B-B

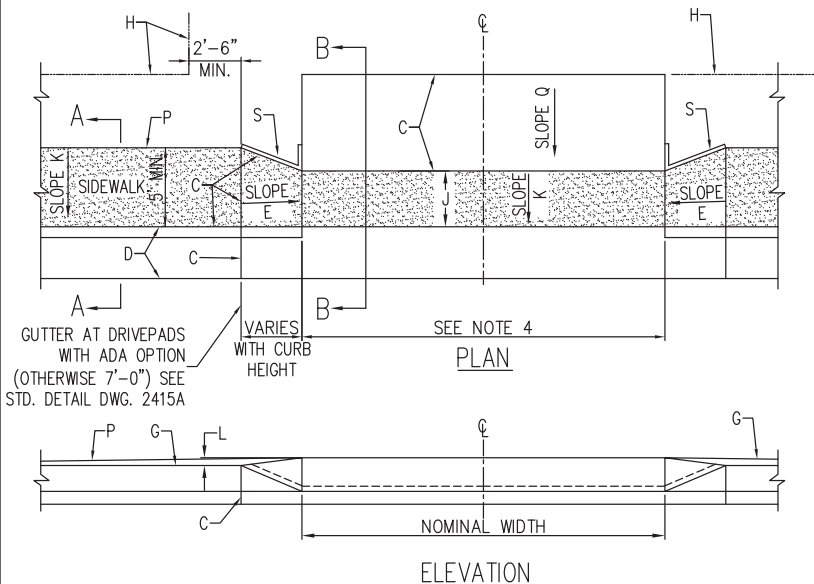
GENERAL NOTES

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

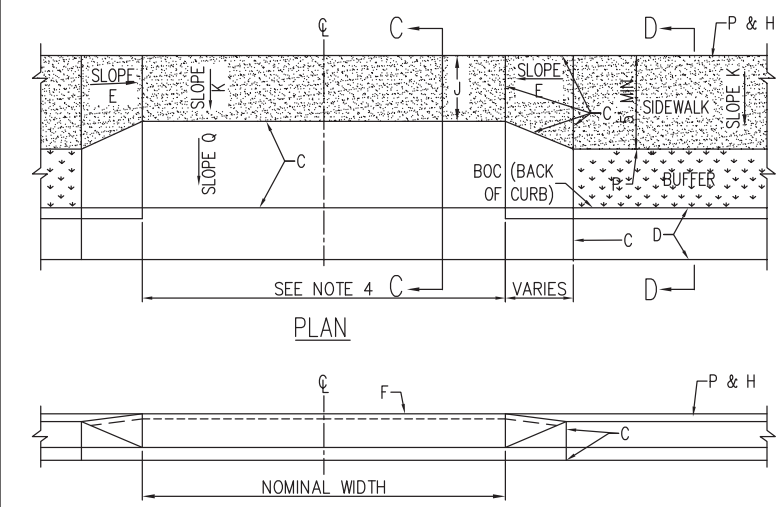
CONSTRUCTION NOTES

- | | |
|---|--|
| A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE. | H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415. |
| B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL. | J. CONTRACTION JOINTS. |
| C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER. | K. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445. |
| D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B. | L. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION. |
| E. WALKWAY VARIABLE (4' MINIMUM). | M. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE. |
| F. PROPERTY LINE. | N. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE. |
| G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS. | |

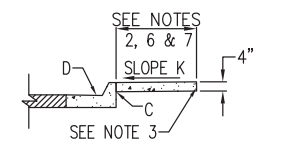
REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
DWG. 2430	JUNE 2019



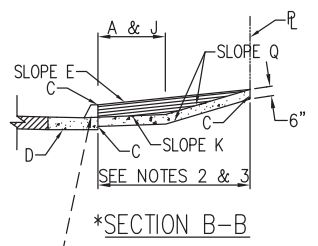
DRIVEPAD WITH SIDEWALK AT BACK OF CURB



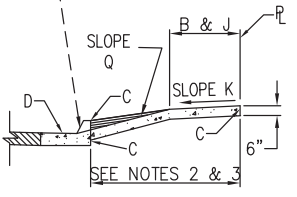
DRIVEPAD WITH SIDEWALK SET BACK FROM CURB



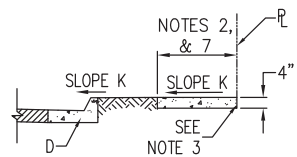
SECTION A-A
(SIDEWALK AT BACK OF CURB)



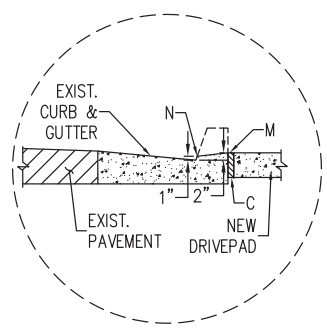
*SECTION B-B



*SECTION C-C
(ALTERNATE FOR ADA COMPLIANCE)
(SIDEWALK AT PROPERTY LINE)



SECTION D-D
(SIDEWALK AT PROPERTY LINE)



ALTERNATE DETAIL
MACHINE CUT EXISTING CURBS

* USE ONLY WHEN BACK OF CURB TO PROPERTY LINE IS 10' OR MORE. DRIVEPADS WITH LESS THAN 10'-0" IN DEPTH REQUIRE A SPECIAL DESIGN TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER. ADDITIONAL RIGHT-OF-WAY OR EASEMENTS SHALL BE OBTAINED IF REQUIRED.

CONSTRUCTION NOTES

- A. SIDEWALK ADJACENT TO CURB.
- B. OFFSET SIDEWALK.
- C. 1/2" EXPANSION JOINT ADJACENT TO EXISTING CONCRETE OR STRUCTURES ON REPLACEMENT WORK.
- D. CURB AND GUTTER.
- E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3%, 7% PREFERRED SLOPE).
- F. TOP OF DRIVEPAD.
- G. TOP OF CURB.
- H. PROPERTY LINE/RIGHT-OF-WAY LINE.
- J. 4' MIN SIDEWALK WIDTH.
- K. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- L. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB IS DETERMINED BY A 2% MAXIMUM SLOPE, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.

GENERAL NOTES

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
3. USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ABUTS BLDGS., FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
4. ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 6" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO P/L. FOR DRIVEWAY WIDTHS, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
5. DRIVEPADS WIDER THAN 18' (NOMINAL) SHALL HAVE A 1/2" EXP. JT. AT MIDPOINT. DRIVEPADS WIDER THAN 36' SHALL HAVE 2 OR MORE 1/2" EXP. JTS. EQUALLY SPACED, MAX., SPACING IS 18' APART.
6. SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED.
7. FOR SIDEWALK WIDTH, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL (4' MIN. WIDTH ON ACCESSIBLE ROUTE).
8. SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 301.
9. ADA - AMERICANS WITH DISABILITIES ACT.

- M. SAW CUT EXISTING CONCRETE FROM BACKSIDE OF CURB WITH SLOPE TOWARD FLOWLINE.
- N. EXPOSED CUT EDGES SHALL BE GROUND SMOOTH/ROUNDED TO REMOVE SHARP EDGE.
- P. OUTSIDE EDGE OF SIDEWALK.
- Q. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC, ETC.).
- R. FLARED SIDES ARE TO HAVE 10% MAXIMUM SLOPE.
- S. HEADER CURB AS REQUIRED TO MATCH GRADE BEHIND SIDEWALK.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	DRIVEPADS
	DWG. 2425A
	JUNE 2019

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 18, 2021

Ryan Morrissey, P.E.
Burkhardt Engineering
28 North Cherry St.
Germantown, OH, 45327

**RE: Champion Xpress Car Wash
7509 Menaul Blvd. NE
Grading and Drainage Plan
Engineer's Stamp Date: 02/10/21
Hydrology File: H19D091**

Dear Mr. Morrissey:

PO Box 1293
Based upon the information provided in your submittal received 02/08/2021, the Grading and Drainage Plan is approved for Building Permit and SO-19 Permit.

Albuquerque
Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103
www.cabq.gov
If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Also, please provide the Drainage Covenant for the proposed stormwater quality pond per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

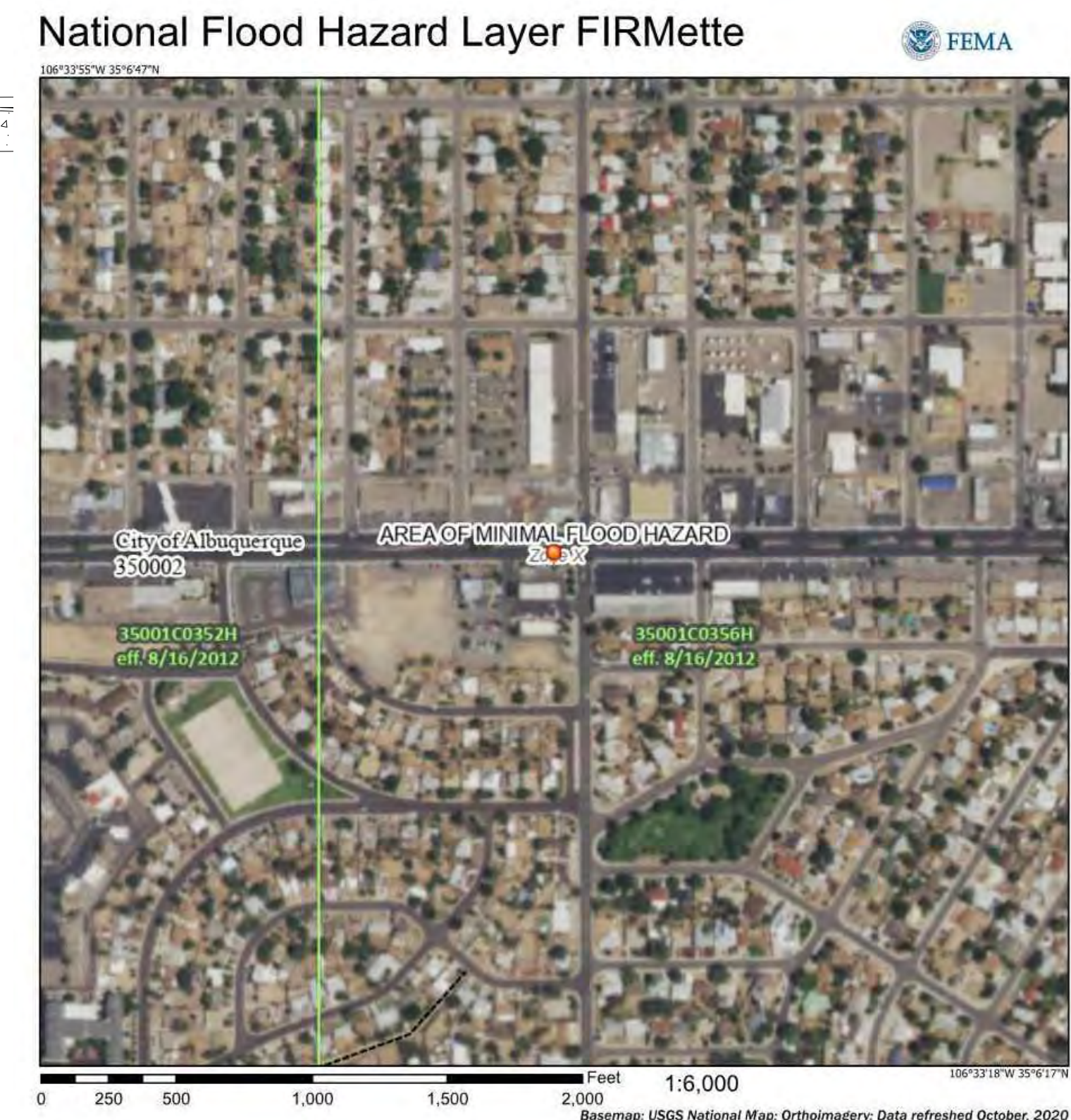
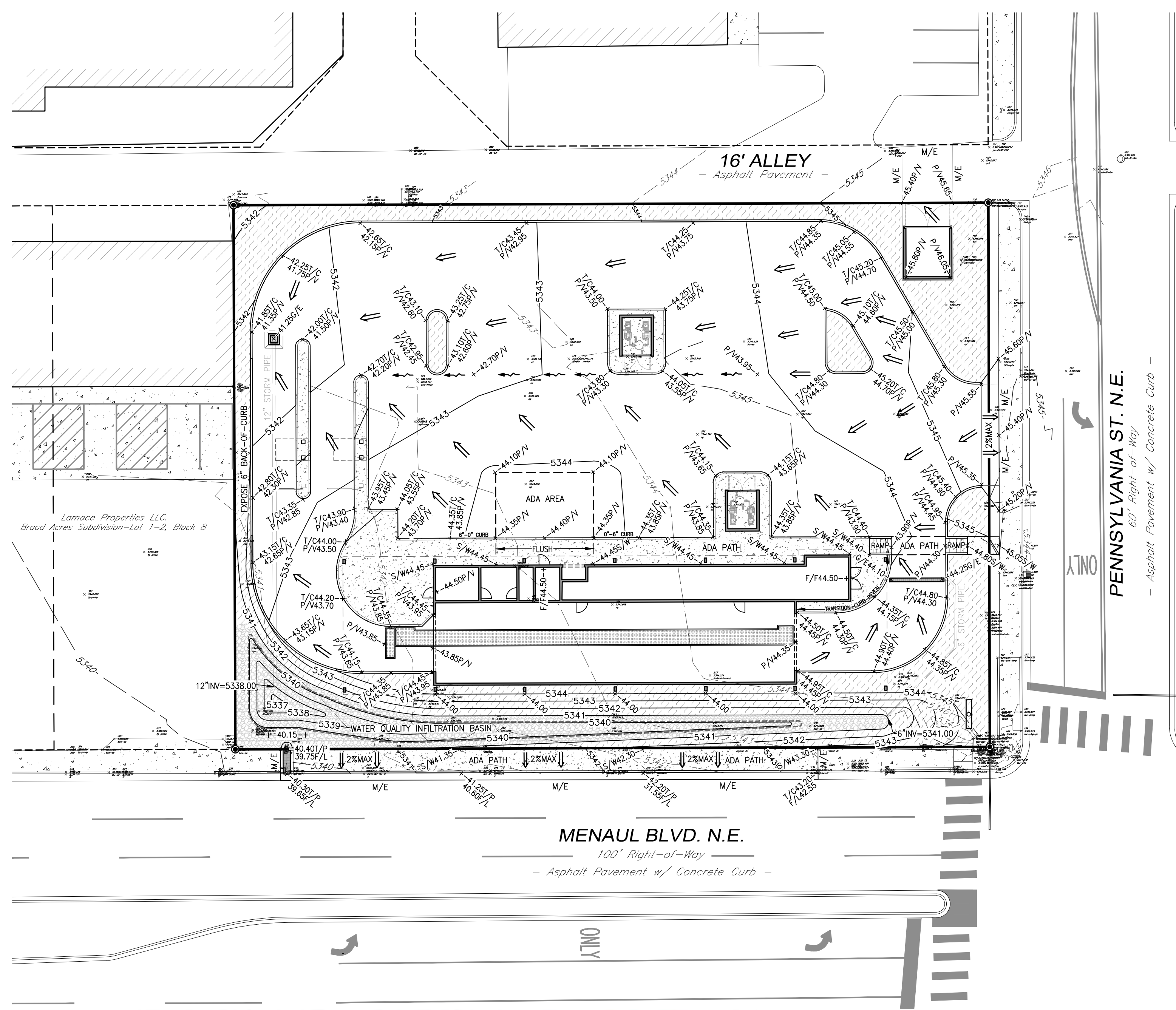
www.cabq.gov



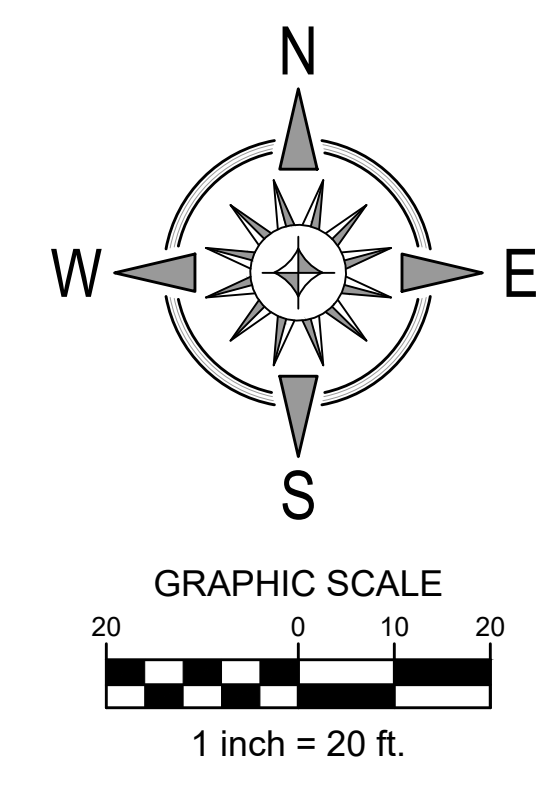
PROJECT SUMMARY
 Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

PROPERTY INFORMATION
 Address: Menaul Blvd. N.E., Albuquerque, NM 87110
 Legal Description: Lot 3-6, Block 8, Broad Acres Subdivision, City of Albuquerque, Bernalillo County, New Mexico.
 Area: 0.717 acres
 Zoning: "MX-M" Mixed Use - Moderate Intensity Zone District
 Flood Zone Designation: FIRM # 35001C0356H, effective date: August 16, 2012
 Zone "X": Areas determined to be outside the 0.2% annual chance floodplain.

SEE GRADING & DRAINAGE NOTES AND DETAILS, SHEET C-3.1 FOR ADDITIONAL INFORMATION, FLOW CALCULATIONS, GENERAL NOTES, DETAILS AND CROSS SECTIONS.



GRADING LEGEND	
M/E	MATCH EXISTING PAVEMENT GRADE
S/W	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
T/P	TOP-OF-PAVEMENT
P/V	DRIVE PAVEMENT GRADE
F/F	FINISHED FLOOR GRADE
F/L	FLOW LINE
G/E	GRATE ELEVATION
←	SHEET FLOW
~	CHANNEL / GUTTER FLOW
+00.00	PROP. SPOT ELEVATION
-0000	PROP. CONTOUR
[Pattern]	LANDSCAPE AREA
[Pattern]	ROCK LINER / RIP-RAP



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 02/18/21
 BY: [Signature]
 HydroTrans # H19D091

PERMITTING CONTACT INFORMATION:
 PLANNING / ZONING / BUILDING
 City of Albuquerque - Planning Department
 Contact: David Campbell
 Telephone: 505.924.3860
 Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:
 SANITARY SEWER / WATER
 Albuquerque Water Utility Authority
 Contact: Customer Service
 Telephone: 505.842.9287

GAS
 New Mexico Gas Company
 Contact: Customer Service
 Telephone: 505.697.3335

ELECTRIC
 PNM (Public Service Company of New Mexico)
 Contact: Michael Moyer
 Telephone: 505.241.3697
 Email: mmoyer@pnm.com

TELECOM
 CenturyLink
 Contact: Customer Service
 Telephone: 865.465.2313

TAKE CAUTION DURING EXCAVATION:
 THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

VERTICAL & HORIZONTAL CONTROL:
 Reference - ALTA / NSPS Land Survey of the subject property prepared by Construction Surveying Services.
 Basis of Bearing:
 A longitudinal line based on GPS observation using Topcon Hiper Ga surveying equipment with the base station set at Latitude 35°06'33.9668" North & Longitude 106°33'37.300" West.
 A fast Opus solution was performed to determine the state plane coordinates shown hereon.



SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
 NORTHWEST OF THE INTERSECTION OF
 MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
 LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 19-106
 Draw: JMM Dwg: 19-106.dwg
 Check: RJM Tab: C3.0-GP
 Scale: 1" = 20'
 Date: 02.05.2021
 Sheet: GRADING & DRAINAGE PLAN
 Sheet No.: C-3.0



From: Ordonez-olivas, Luis <lordonez@abcwua.org>
Sent: Thursday, February 25, 2021 1:28 PM
To: Jacob Morrison
Subject: RE: Availability Statement - UPC: 101905925927920803 and 101905924927920802

Hi Jacob,

Your request is in received. Please note the estimated time frame is 4 to 6 weeks from the date in which we last received information, which in your case was February 10, 2021. There are several requests ahead of yours, we are working our hardest to complete all requests in a timely manner.

The following link can provide status updates for the request. <https://availability.abcwua.org/> please use with either Google Chrome or Firefox. Be sure to change the status on the left side to "all statuses".

Regards,

Luis Ordóñez
Engineering Assistant

Albuquerque Bernalillo County Water Utility Authority
PO Box 568 | Albuquerque NM | 87103
505.289.3216 (o) | 505.239.8025 (m) | www.abcwua.org

From: Jacob Morrison [<mailto:jmorrison@burkhardtinc.com>]
Sent: Thursday, February 25, 2021 7:55 AM
To: Vallejos, Gladis <gduan@abcwua.org>
Cc: Strong, Robert W. <rstrong@abcwua.org>; Ordonez-olivas, Luis <lordonez@abcwua.org>
Subject: RE: Availability Statement - UPC: 101905925927920803 and 101905924927920802

[CAUTION: This email was received from an EXTERNAL source]

Good morning Gladis,

Just following up here.
Do you know what the status of this availability request is?

Thanks,

JAKE MORRISON, E.I.
Graduate Engineer

P 937-388-0060 x112
E jmorrison@burkhardtinc.com

BURKHARDT

ENGINEERS ▼ SURVEYORS

BURKHARDTINC.COM

From: Jacob Morrison
Sent: Thursday, February 11, 2021 3:48 PM



To: Vallejos, Gladis
Cc: Strong, Robert W.; Ordonez-olivas, Luis
Subject: RE: Availability Statement - UPC: 101905925927920803 and 101905924927920802

Derrick Merchant
VIA Real Estate

Thanks,

JAKE MORRISON, E.I.
Graduate Engineer

P 937-388-0060 x112
E jmorrison@burkhardtinc.com

BURKHARDT

ENGINEERS ▼ SURVEYORS

BURKHARDTINC.COM

From: Vallejos, Gladis [<mailto:gduran@abcwua.org>]
Sent: Thursday, February 11, 2021 3:16 PM
To: Jacob Morrison
Cc: Strong, Robert W.; Ordonez-olivas, Luis
Subject: RE: Availability Statement - UPC: 101905925927920803 and 101905924927920802

Hello Jake,

What is the clients name? We received a few questions and I am unsure which one is your request.

If you have any questions, please contact us.

Thank you,

Gladis N. Vallejos
Engineering Assistant
Albuquerque Bernalillo County Water Utility Authority
PO Box 568 | Albuquerque NM | 87103
505.289.3310 (o) | www.abcwua.org

From: Jacob Morrison <jmorrison@burkhardtinc.com>
Sent: Thursday, February 11, 2021 10:26 AM
To: Vallejos, Gladis <gduran@abcwua.org>
Cc: Strong, Robert W. <rstrong@abcwua.org>
Subject: RE: Availability Statement - UPC: 101905925927920803 and 101905924927920802

[CAUTION: This email was received from an EXTERNAL source]

Hey Gladis,

I submitted an availability statement request yesterday for the properties located at the corner on Menaul Blvd. And Pennsylvania St. (UPC: 101905925927920803 and 101905924927920802). Attached is the approved Fire 1 Plan and the utility plan from the civil set.

Can you please include me in email correspondence regarding the availability statement? I put my client's contact info since they will be the owner.

Thanks,

JAKE MORRISON, E.I.
Graduate Engineer

P 937-388-0060 x112
E jmorrison@burkhardtinc.com

BURKHARDT
ENGINEERS ▼ SURVEYORS

BURKHARDTINC.COM

From: Vallejos, Gladis [<mailto:gduran@abcwua.org>]
Sent: Monday, December 7, 2020 11:41 AM
To: Jacob Morrison
Cc: Strong, Robert W.
Subject: RE: Availability Statement - UPC: 101905921624631502

Hello Jake,

Thank you for this information, and sounds good. If you have any questions in the future please contact us.

Happy Holidays!



Gladis N. Vallejos
Engineering Assistant
Albuquerque Bernalillo County Water Utility Authority
PO Box 568 | Albuquerque NM | 87103
505.289.3310 (o) | www.abcwua.org

From: Jacob Morrison <jmorrison@burkhardtinc.com>
Sent: Monday, December 07, 2020 9:13 AM
To: Vallejos, Gladis <gduran@abcwua.org>
Cc: Strong, Robert W. <rstrong@abcwua.org>; Utility Development <utilitydevelopment@abcwua.org>
Subject: RE: Availability Statement - UPC: 101905921624631502

[CAUTION: This email was received from an EXTERNAL source]

Hey Gladis,

My client is looking at another site currently so I'm going to hold off until I get more direction from my client—I wouldn't waste your time for a site that won't move forward.

Thanks again for all of your help!

JAKE MORRISON, E.I.
Graduate Engineer

P 937-388-0060 x112
E jmorrison@burkhardtinc.com

BURKHARDT
ENGINEERS ▼ SURVEYORS
BURKHARDTINC.COM

From: Vallejos, Gladis [<mailto:gduran@abcwua.org>]
Sent: Tuesday, December 1, 2020 11:47 AM
To: Jacob Morrison
Cc: Strong, Robert W.; Utility Development
Subject: RE: Availability Statement - UPC: 101905921624631502

Hello Jacob,

Please do not forget to submit an availability request once you have gather all your information https://www.abcwua.org/Availability_Statements.aspx.

If you have any questions, please contact us.

Thank you,



Gladis N. Vallejos
Engineering Assistant
Albuquerque Bernalillo County Water Utility Authority
PO Box 568 | Albuquerque NM | 87103
505.289.3310 (o) | www.abcwua.org

From: Jacob Morrison <jmorrison@burkhardtinc.com>
Sent: Wednesday, November 25, 2020 11:40 AM
To: Vallejos, Gladis <gduran@abcwua.org>
Subject: Availability Statement - UPC: 101905921624631502

[CAUTION: This email was received from an EXTERNAL source]

Hi Gladis,

Thanks for going over my questions about water and sewer availability statements for **UPC:**
101905921624631502 (near intersection of Menaul and Pennsylvania).

Attached is the preliminary layout for the current preliminary layout for the property for your reference.
Below is a brief summary of our conversation:

- Property will be split so an individual availability request should be submitted for each property (pending Fire Department recommendation).
- Fire 1 plan should be submitted with requests. I will reach out to the Fire Department at 505-924-3611 for requirements.
- Preliminary utility routing including information of fire service requirements will be sketched on preliminary layout
- Information about building size and types of developments and other pertinent water / sewer information will be included on preliminary layout.

Thanks again for taking the time to address my questions.
Have a happy Thanksgiving!

Regards,

JAKE MORRISON, E.I.
Graduate Engineer

P 937-388-0060 x112

E jmorrison@burkhardtinc.com

BURKHARDT
ENGINEERS ▼ SURVEYORS

BURKHARDTINC.COM



Request for Availability Statement Tracking Site

Requests for availability statements will be addressed in the order that they are received. This tracking site allows requestors to understand and follow the

Filter Status:

Processing ▼ Filter Text:

Availability Number	Status	Action Required By	Project Name	Project Address	Zone Atlas Page	Jurisdiction	DRB Number	CDRA Number	Date Of Request	Date Of Final Information Provided	Date of Signature	Development Agreement	Service Connection Agreement
210212	Processing	Utility Development	1715 5th St NW	1715 5th St NW	H-14	City			2/11/21	2/11/21		No	No
210211	Processing	Utility Development	Champion Xpress	7509 and 7521 Menaul Blvd.	H-19	City			2/10/21	2/10/21		No	No
210207	Processing	Utility Development	Saiz Home	3408 Ward Drive NW	G-11	City			2/8/21	2/8/21		No	No
210208	Processing	Utility Development	9200 Pan American Fwy	9200 PAN AMERICAN FWY NE ALBUQUERQUE, NM 87113	B-18	City			2/8/21	2/10/21		No	No
210206	Processing	Utility Development	Markana Modesto Apartments	Unknown	C-18	City			2/5/21	2/5/21		No	No
210202	Processing	Utility Development	COORS PAVILION	Lot 8 and 9 Coors Pavilion	G-11	City	2019-002765		2/3/21	2/3/21		No	No
210127	Processing	Utility Development	8717 Rio Grande NW	8717 Rio Grande Blvd NW Los Ranchos de Albuquerque 87114	C-14	Village of Los Ranchos			1/28/21	1/29/21		No	No
210125	Processing	Utility	Las Estancias	3930 Las Estancias Way	B-10	County		SRP2021-	1/27/21	1/27/21		No	No

STATUS LEGEND

Received – Request for availability received.

Researching – Currently being addressed.

Reviewing – Has been written and is under review.

Processing – Sent for Executive Director signature.

Executed – Signed by Executive Director.

Holding – Awaiting information from requestor. Once required information is received, "Date of Final Information Provided" will be updated and this will be put back into the queue based on this date.



Copyright © - 2020. Albuquerque Bernalillo County Water Utility Authority | All Rights Reserved.

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Replat 3B, Block 8, Broad Acres Subdivision A lot Consolidation of Lots 3, 4, 5, 6, Block 8 Broad Acres Subdivision
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 3, 4, 5, & 6, Block 8. Braod Acres Subdivision
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	42' x 5'	Concrete Drive Pad with ADA ramps	West side of Pennsylvania St. N.E.	Existing Sidewalk	Existing Sidewalk	/	/	/
<input type="text"/>	<input type="text"/>	148'	Standard Curb and Gutter	North Side of Menaul Blvd. N.E.	Existing Curb & Gutter	Existing Curb & Gutter	/	/	/
<input type="text"/>	<input type="text"/>	148'	Concrete Sidewalk	North side of Menaul Blvd. N.E.	Existing Sidewalk	Existing Sidewalk	/	/	/
<input type="text"/>	<input type="text"/>	3.5' x 7'	Sidewalk Culvert with Steel Plate Top 24" Flow Width	North Side of Menaul Blvd. N.E.	Existing Sidewalk	Existing Sidewalk	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- _____
- 2 _____
- _____
- 3 _____
- _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

NAME (print)

FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	
Decision-making Body:	
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Mailed Notice required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 7521 Menaul Blvd NE	
Name of property owner: VIA Real Estate LLC	
Name of applicant: Steven Sandoval, PS	
Date, time, and place of public meeting or hearing, if applicable: N/A	
Address, phone number, or website for additional information: 575-491-2371	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature)

04/12/2021

(Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

From: dcarmona@cabq.gov,
To: cssalamo@aol.com,
Subject: 7521 Menaul Blvd NE Public Notice Inquiry
Date: Mon, Apr 12, 2021 4:26 pm
Attachments: 3_Zone Atlas Map.pdf (582K),

Dear Applicant:

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Inez NA	Donna	Yetter	donna.yetter3@gmail.com	2111 Hoffman Drive NE	Albuquerque	NM	87110	5055504715	
Inez NA	Maya	Sutton	yemaya@swcp.com	7718 Cutler Avenue NE	Albuquerque	NM	87110		5052478070
Classic Uptown NA	Robert	Lah	robtlah@yahoo.com	2901 Mesilla Street NE	Albuquerque	NM	87110		5058838829
Classic Uptown NA	David	Haughawout	davidh.d7@comcast.net	2824 Chama Street NE	Albuquerque	NM	87110	5055141965	5058884424
District 7 Coalition of Neighborhood Associations	David	Haughawout	davidh.d7@comcast.net	2824 Chama Street NE	Albuquerque	NM	87110	5055141965	5058884424
District 7 Coalition of Neighborhood Associations	Lynne	Martin	lmartin900@aol.com	1531 Espejo NE	Albuquerque	NM	87112	5059804107	5052940435
ABQ Park NA	Shirley	Lockyer	shirleylockyer@gmail.com	7501 Sky Court Circle NE	Albuquerque	NM	87110		5057107314
ABQ Park NA	Steve	Randall	srandall52@comcast.net	7424 Arvada NE	Albuquerque	NM	87110		5052648973

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-

3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant

Office of Neighborhood Coordination

Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Monday, April 12, 2021 10:36 AM

To: Office of Neighborhood Coordination <cssalamo@aol.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Steven Sandoval

Telephone Number

5754912371

Email Address

cssalamo@aol.com

Company Name

Construction Surveying Services

Company Address

PO Box 2295

City

Alamogordo

State

NM

ZIP

88311

Legal description of the subject site for this project:

Lots 3, 4, 5, & 6, Block 8, Broad Acres Subdivision, Albuquerque, Bernalillo County, New Mexico

Physical address of subject site:

7521 Menaul Blvd NE

Subject site cross streets:

Menaul Blvd & Pennsylvania St

Other subject site identifiers:

This site is located on the following zone atlas page:

H-19-Z

From: cssalamo@aol.com,

To: donna.yetter3@gmail.com, yemaya@swcp.com, robtlah@yahoo.com, davidh.d7@comcast.net, lmartin900@aol.com, shirleylockyer@gmail.com, srandall52@comcast.net,

Cc: rokoye@modulusarchitects.com, cssalamo@aol.com,

Subject: Re: Public Notice of a Proposed Lot Consolidation Replat in the City of Albuquerque

Date: Tue, Apr 27, 2021 8:19 am

Attachments: 5_20-281_REPLAT B BLK 8 BROAD ACRES-24x36 (1)2.pdf (1583K), CABQ-Official_public_notice_form-2019 with attachment.pdf (1449K)

Date of request with CABQ-Official_public_notice_form-2019: 04-27-2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. I've attached a copy of the proposed plat and have copied the Public Notice Inquiry notification below. Feel free to call me directly if you have any questions or comments. Thank you all for your attention on this matter.

Steven Sandoval, PS
ConstructionSurveyingServices.com

-----Original Message-----

From: Steven Sandoval, PS <cssalamo@aol.com>

To: donna.yetter3@gmail.com <donna.yetter3@gmail.com>; yemaya@swcp.com <yemaya@swcp.com>; robtlah@yahoo.com <robtlah@yahoo.com>; davidh.d7@comcast.net <davidh.d7@comcast.net>; lmartin900@aol.com <lmartin900@aol.com>; shirleylockyer@gmail.com <shirleylockyer@gmail.com>; srandall52@comcast.net <srandall52@comcast.net>

Cc: rokoye@modulusarchitects.com <rokoye@modulusarchitects.com>

Sent: Fri, Apr 16, 2021 11:21 am

Subject: Public Notice of a Proposed Lot Consolidation Replat in the City of Albuquerque

Date of Request: 4/16/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. I've attached a copy of the proposed plat and have copied the Public Notice Inquiry notification below. Feel free to call me directly if you have any questions or comments. Thank you all for your attention on this matter.

Steven Sandoval, PS
ConstructionSurveyingServices.com

From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>] **On Behalf Of** webmaster@cabq.gov

Sent: Monday, April 12, 2021 10:36 AM

To: Office of Neighborhood Coordination <cssalamo@aol.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Steven Sandoval

Telephone Number

5754912371

Email Address

cssalamo@aol.com

Company Name

Construction Surveying Services

Company Address

PO Box 2295

City

Alamogordo

State

NM

ZIP

88311

Legal description of the subject site for this project:

Lots 3, 4, 5, & 6, Block 8, Broad Acres Subdivision, Albuquerque, Bernalillo County, New Mexico

Physical address of subject site:

7521 Menaul Blvd NE

Subject site cross streets:

Menaul Blvd & Pennsylvania St

Other subject site identifiers:

This site is located on the following zone atlas page:

H-19-Z

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Xpress Car Wash

AGIS MAP # H-19-Z

LEGAL DESCRIPTIONS: PARCEL 1:
* 003 008BROAD ACRES

PARCEL 2:
* 004 008BROAD ARCES XLT 5X6

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 2-08-2021 (date).


Applicant/Agent

4/27/2021
Date

Hydrology Division Representative

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 2-10-2021 (date).


Applicant/Agent

4/27/2021
Date

ABCWUA Representative

Date

PROJECT # _____