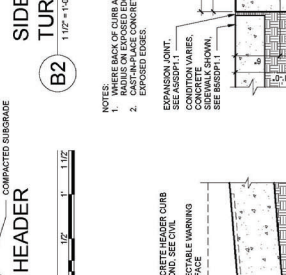
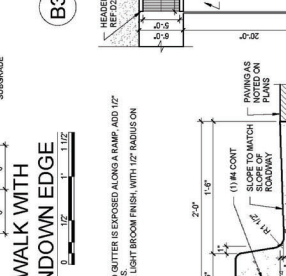
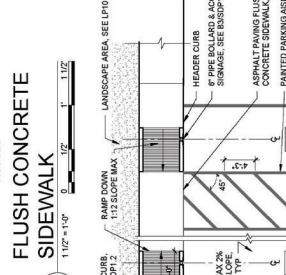
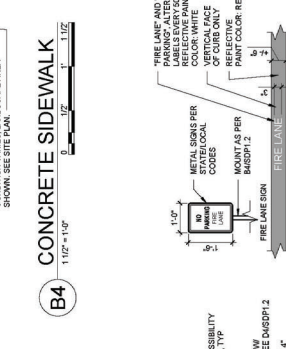
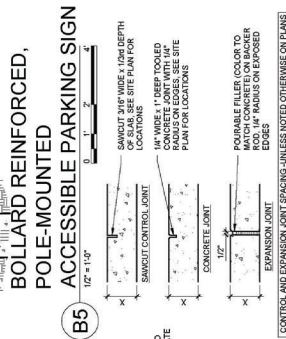
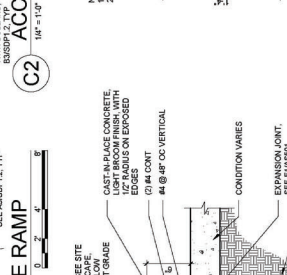
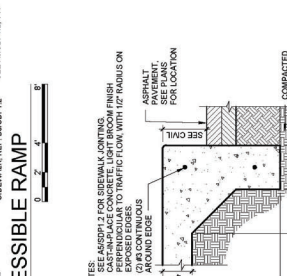
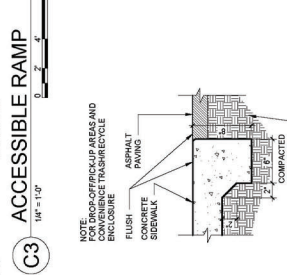
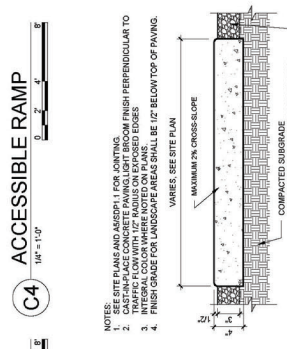
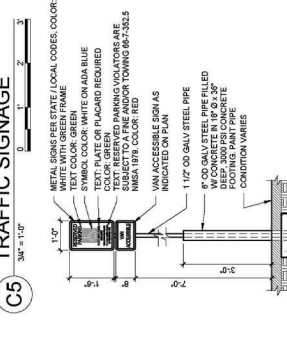
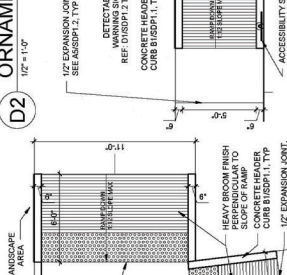
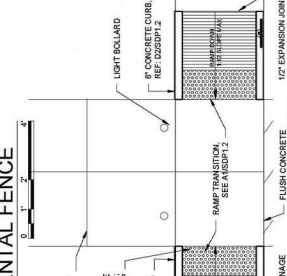
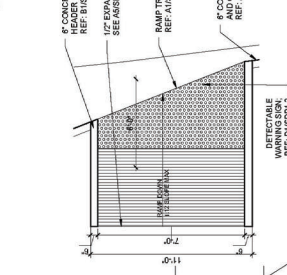
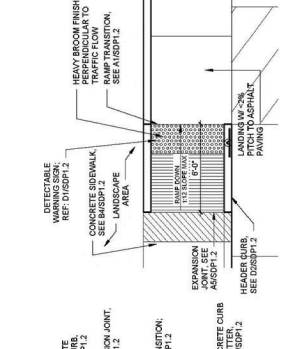
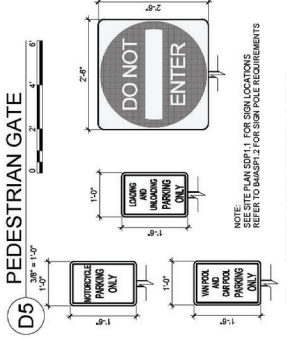
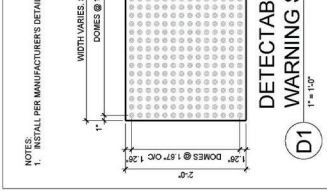
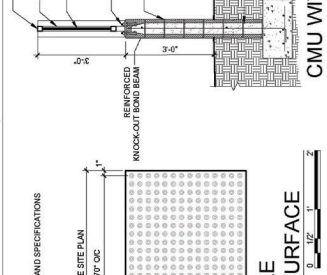
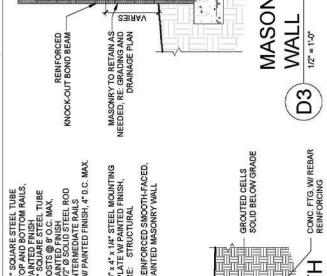
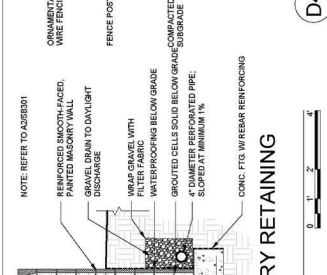
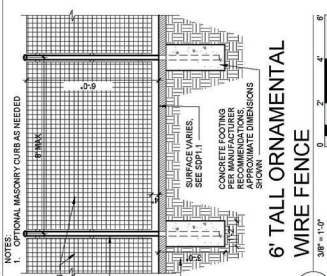


NOTES:
1. SEE A5101 FOR FENCING AND GATE LOCATIONS.
2. FENCE SHALL BE 18" HIGHER AT EVERY 4' SPAN OF 8' SPAN.
3. FOR GATES ALONG THE EAST DO NOT INCLUDE PANE HARDWARE ON THE INTERIOR AND INCLUDE A KNOX BOX ON THE EXTERIOR.



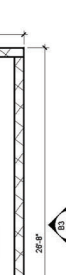
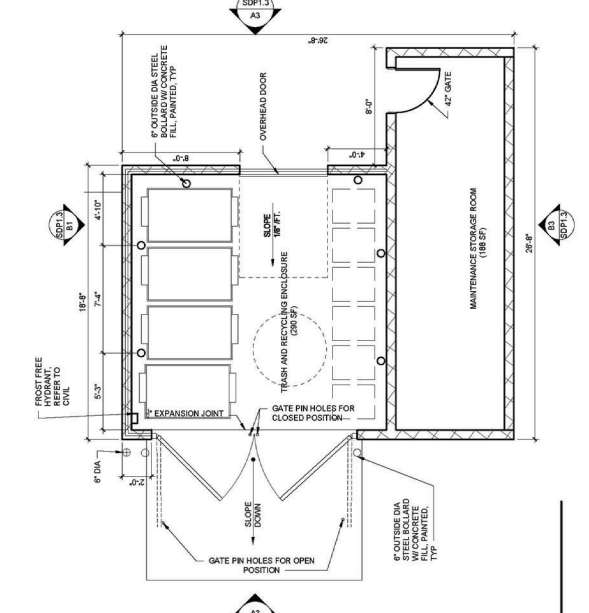
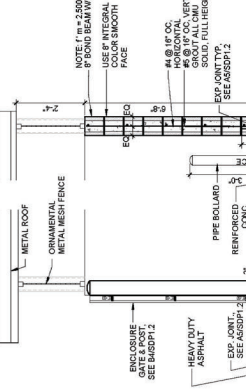
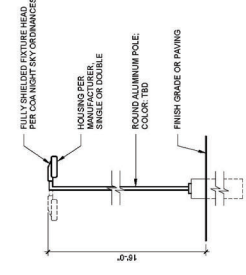
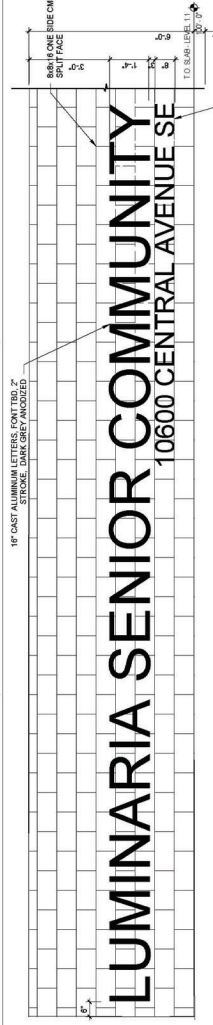
CONCRETE	8\"/>
CONTROL AND EXPANSION JOINTS (UNLESS NOTED OTHERWISE ON PLANS)	8\"/>
CONCRETE	8\"/>
CONTROL JOINTS	8\"/>
EXPANSION JOINTS	18\"/>

CONCRETE JOINTS & JOINT SPACING	1\"/>
CONCRETE JOINTS	18\"/>
EXPANSION JOINTS	18\"/>

CONCRETE JOINTS & JOINT SPACING	1\"/>
CONCRETE JOINTS	18\"/>
EXPANSION JOINTS	18\"/>

CONCRETE JOINTS & JOINT SPACING	1\"/>
CONCRETE JOINTS	18\"/>
EXPANSION JOINTS	18\"/>

CONCRETE JOINTS & JOINT SPACING	1\"/>
CONCRETE JOINTS	18\"/>
EXPANSION JOINTS	18\"/>



**TRASH ENCLOSURE
AND MAINTENANCE
STORAGE ROOM**
1/4\"/>

**TRASH ENCLOSURE AND MAINTENANCE
STORAGE ROOM ELEVATION**
1/4\"/>

**TRASH ENCLOSURE AND MAINTENANCE
STORAGE ROOM ELEVATION**
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**TRASH ENCLOSURE AND MAINTENANCE
STORAGE ROOM ELEVATION**
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ENGINEER

REVISIONS
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DRAWN BY: DS
REVIEWED BY: DPIS
DATE: 06/29/2020
PROJECT NO: 19-0058
DRAWING NAME: LANDSCAPE PLAN

GENERAL SHEET NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO PRIOR TO COMMENCING CONSTRUCTION.
2. ALL MAINTENANCE PERIODS SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF THE 30-DAY MAINTENANCE PERIOD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO PRIOR TO COMMENCING CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO PRIOR TO COMMENCING CONSTRUCTION.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO PRIOR TO COMMENCING CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO PRIOR TO COMMENCING CONSTRUCTION.

IRRIGATION NOTES

1. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND SENSORS.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
3. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES.
4. IRRIGATION POINTS TO THE CITY WATER MAINS SHALL BE LOCATED TO REDUCE PRESSURE BACKLOG PREVENTER STANDARDS AND TO REDUCE THE RISK OF BACKFLOW.
5. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE CONTRACTOR TO MATCH PLANT GROWTH, SEASON, LOCATION AND PERFORMANCE.
6. IRRIGATION TO BE DESIGNED BY THE CONTRACTOR.

LANDSCAPE CALCULATIONS

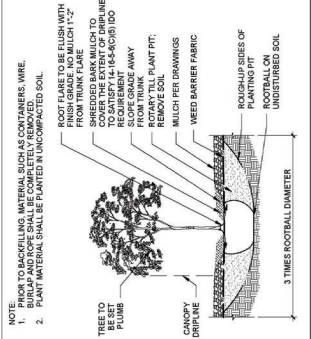
TOTAL SITE AREA = 1,800 AC = 81,000 SF
NET LOT AREA = 14,324 SF
REQUIRED LANDSCAPE AREA = 14,324 SF (100% COVERAGE)
PROVIDED LANDSCAPE AREA = 18,834 SF
(see table legend for exclusions from landscape area)

REQUIRED TREES = 45 TREES (BASED ON 1 TREE / 100 SQUARE FEET)
TOTAL NUMBER OF PARKING = 85 SPACES
PROVIDED NUMBER OF PARKING = 12 TREES
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK
REQUIRED STREET TREES = 8 (placed at 30' on center (276' of street footage))
PROVIDED STREET TREES = 8

PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 45 TREES
PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 45 TREES
PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 45 TREES
PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 45 TREES
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PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 45 TREES
PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 45 TREES

PARKING LOT AREA = 14,324 SF
MIN. 1% OF PARKING LOT AREA TO BE LANDSCAPED
MIN. 1% OF PARKING LOT AREA TO BE LANDSCAPED
MIN. 1% OF PARKING LOT AREA TO BE LANDSCAPED
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MIN. 1% OF PARKING LOT AREA TO BE LANDSCAPED

TREE PLANTING DETAIL

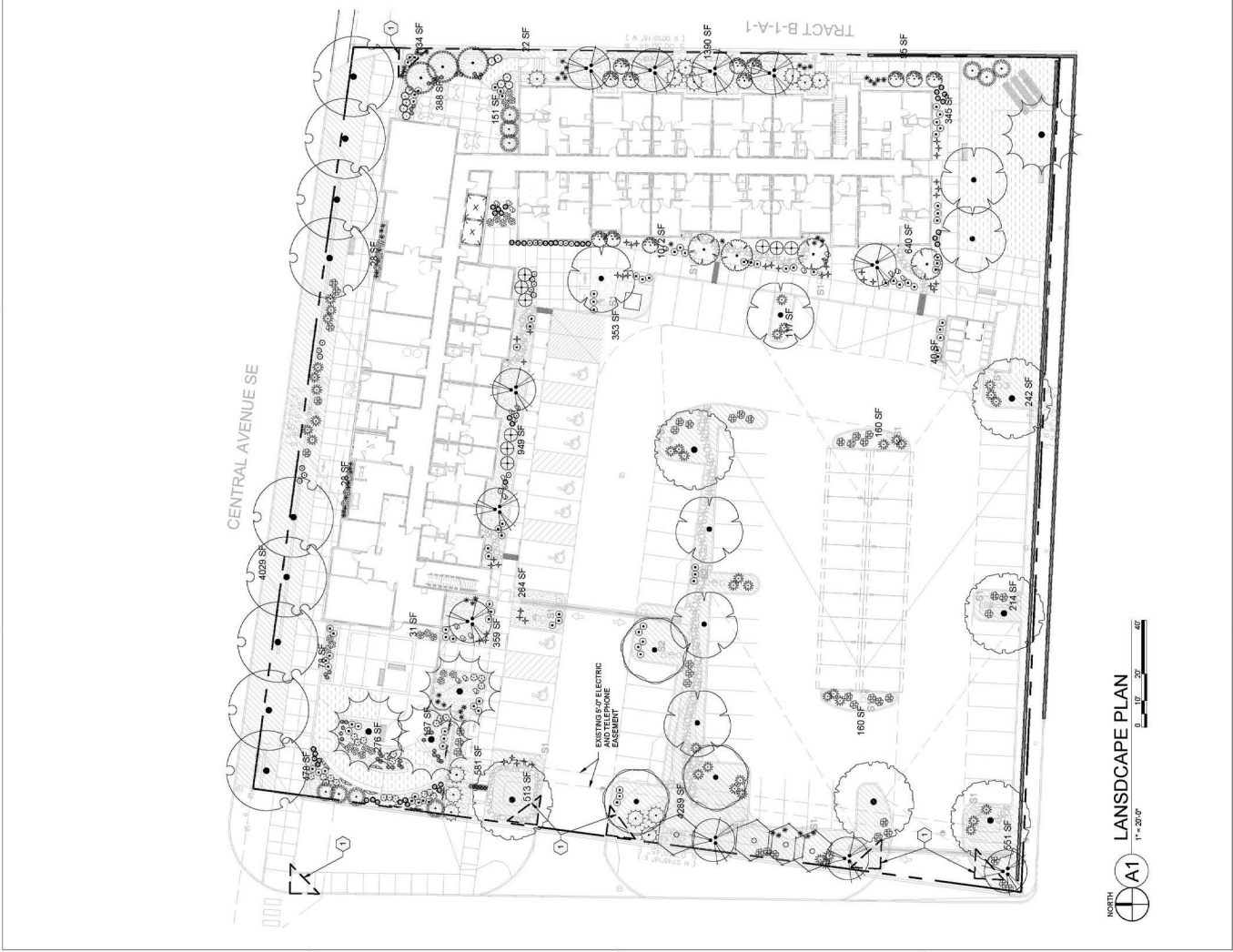


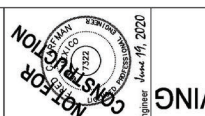
PLANT SCHEDULE

TREES	COMMON NAME
	AUTUMN BLAZE IMPILE
	OKLAHOMA RED BUD
	'BUBBA' DESERT YELLOW
	NEW MEXICO OLIVE
	CHINESE PISTACHE
	CRESHAVEN PEACH
	BUCKLEY OAK
	CHINAPIN OAK
	ACADOLASE ELMI
	LITTLE LEAF MOUNTAIN HEMLOCK
	LENA BROOM
	DESERT MAHONIA
	CREeping MAHONIA
	LITTLE LEAF ROCKROSE
	GOLDEN BAMBOO
	ROCKWOOT ROSE
	BRANLEIGHTS RED YUCCA
	TWIST'LEAF YUCCA
	ORNAMENTAL GRASSES
	'BLONDE AMBITION' BLUE GRAMA
	DEER GRASS
	PERENNIALS
	CHOCOLATE FLOWER
	SERVOU PINK GAURA
	KIT CAT CATNIP
	ULTRA VIOLET AUTUMN SAGE
	VINES
	TANGIER BEAUTY CROSS VINE
	HIMROD GRAPE

SHEET KEYED NOTES

1. CLEAR SIGHT TRIANGLE, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- LEGEND**
- | SYMBOL | DESCRIPTION | EST. QTY. |
|--------|---|-----------|
| | 3/8" ROCK MULCH AT 3" DEPTH OVER CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC | 9,995 SF |
| | SHREDED BARK MULCH | 5,140 SF |
| | SEE CASE FOR STORMWATER INFRASTRUCTURE | |
| | STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN. | |
| | PROPERTY LINE | |





VICINITY MAP L-21

PROJECT DATA

PROPERTY: THE SITE IS FULLY DEVELOPED COMMERCIAL PROPERTY (HOME DEPOT), AND TO THE NORTH BY CENTRAL AVE. NE. TO THE EAST, SOUTH AND WEST BY COMMERCIAL PROPERTY (HOME DEPOT), AND TO THE NORTH BY CENTRAL AVE. NE. IMPROVEMENTS: THE PROPERTY WAS PREVIOUSLY A HOME DEPOT. IMPROVEMENTS TO BE PROVIDED INCLUDE: IMPROVED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING. LEGAL: TRACT "C" USED ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 5-4207, HAVING AN ELEVATION OF 5429.89, NAVD 1988. OFF-SITE MINOR OFF-SITE DRAINAGE FROM THE EAST DRIVE WILL BE REDIRECTED SOUTH. EXISTING SEWER MAINS TO BE REMOVED AND REPLACED WITH 15" DIA. 100% PIPE. FLOODPLAIN DESIGNATIONS AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

LEGEND

- EXISTING CONTOUR
- PROPOSED 1.0' CONTOUR
- PROPOSED 0.5' CONTOUR
- PROPOSED SPOT ELEVATION
- FINISH FLOOR ELEVATION
- FLOW DIRECTION

ADA COMPLIANCE

ADA COMPLIANCE: TARGET CROSS SLOPE = 1% TO 1.5%
 CROSS SLOPE SHALL NOT EXCEED 2%
 SIDEWALK(S) AND RAMPS(S): TARGET LONGITUDINAL SLOPE = 7%
 ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 1% TO 1.5%
 LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%
 SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

- KEYED NOTES**
- NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
 - PROVIDE 3" WIDE OPENING IN CURB TO PASS FLOW.
 - CONCENTRATED ROOF DISCHARGE DIRECTION.
 - PROVIDE 24" WIDE COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DMS. 2236.
 - CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. STORMWATER QUALITY RETENTION POND WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CONNECTED TO CONTRACTOR'S DISPOSAL.
 - NO WATER HARBORING SHALL OCCUR WITHIN 10' OF ANY BUILDING.
 - INSTALL ANGUULAR ROCK EROSION PROTECTION TO LIMITS.
 - CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 30' TO ACHIEVE GRADE DIFFERENCE SHOWN) ON GRADE OR HIGH SIDE DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
 - BUILDING RETAINING STEWALM REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
 - BUILDING EXTENDED STEWALM REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
 - RETAINING WALL ALONG PROPERTY LINE TO ROUTE HISTORIC DISCHARGE WITHIN TRACT B1 AT AS SHOWN.

STORMWATER QUALITY

STORMWATER QUALITY CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" COA HYDROLOGY. QUALITY VOLUME REQUIREMENTS RELATING TO STORMWATER QUALITY VOLUME REQUIREMENTS. STORMWATER QUALITY VOLUME BASED ON THE 90TH PERCENTILE STORM EVENT OR 0.34" (0.44" LESS 0.1" FOR A PUBLIC STORM DRAINAGE SYSTEM). EXISTING CONSTRUCTION: EXISTING IMPERVIOUS AREA TO REMAIN IS REDEVELOPED (REMOVED/REPLACED) IS SUBJECT TO A REDUCED RATE OF 0.25/12.

SOIL RETENTION POND A

Component	Volume
Concrete	5477.0
Area	240
10' CE	103

POND VOLUME = 103 CF

SOIL RETENTION POND B

Component	Volume
Concrete	5475.0
Area	145
120' CE	120

POND VOLUME = 120 CF

SOIL RETENTION POND C

Component	Volume
Concrete	5478.0
Area	10
33' CE	33

POND VOLUME = 33 CF

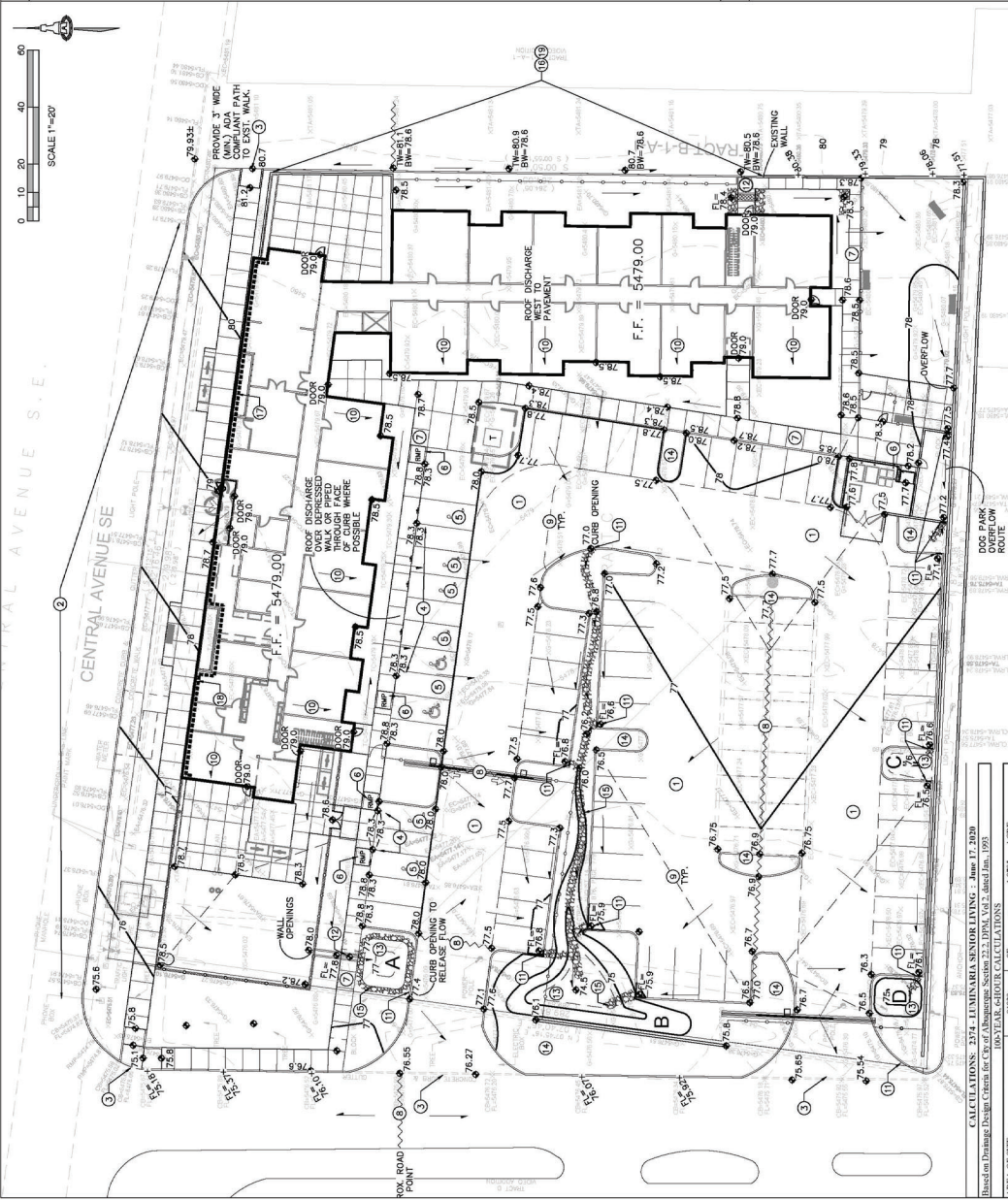
SOIL RETENTION POND D

Component	Volume
Concrete	5475.0
Area	200
130' CE	40

POND VOLUME = 40 CF

ADA COMPLIANCE

ADA COMPLIANCE: TARGET CROSS SLOPE = 1% TO 1.5%
 CROSS SLOPE SHALL NOT EXCEED 2%
 SIDEWALK(S) AND RAMPS(S): TARGET LONGITUDINAL SLOPE = 7%
 ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 1% TO 1.5%
 LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%
 SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION



CALCULATIONS: 2574- LUMINARIA SENIOR LIVING - Base 17, 2020
 Based on Design Criteria for City of Albuquerque Section 22.2 DPM, Vol. 2, dated Jan. 1993

AREA OF SITE: 1.8285 ACRE

DEVELOPED FLOWS:

Development	Area (SF)	Impervious %	Runoff Coefficient	Area (A)	Area (B)	Area (C)	Area (D)	Total Area	Total Impervious
Area A	0	0%	0.05	0	0	0	0	0	0
Area B	4906	52%	0.35	1717	1717	1717	1717	4906	2552
Area C	2372	40%	0.20	849	849	849	849	2372	951
Area D	8182	100%	0.60	8182	8182	8182	8182	8182	8182
Total	15260	50%	0.27	10748	10748	10748	10748	15260	7785

EXCESS RAINFALL:

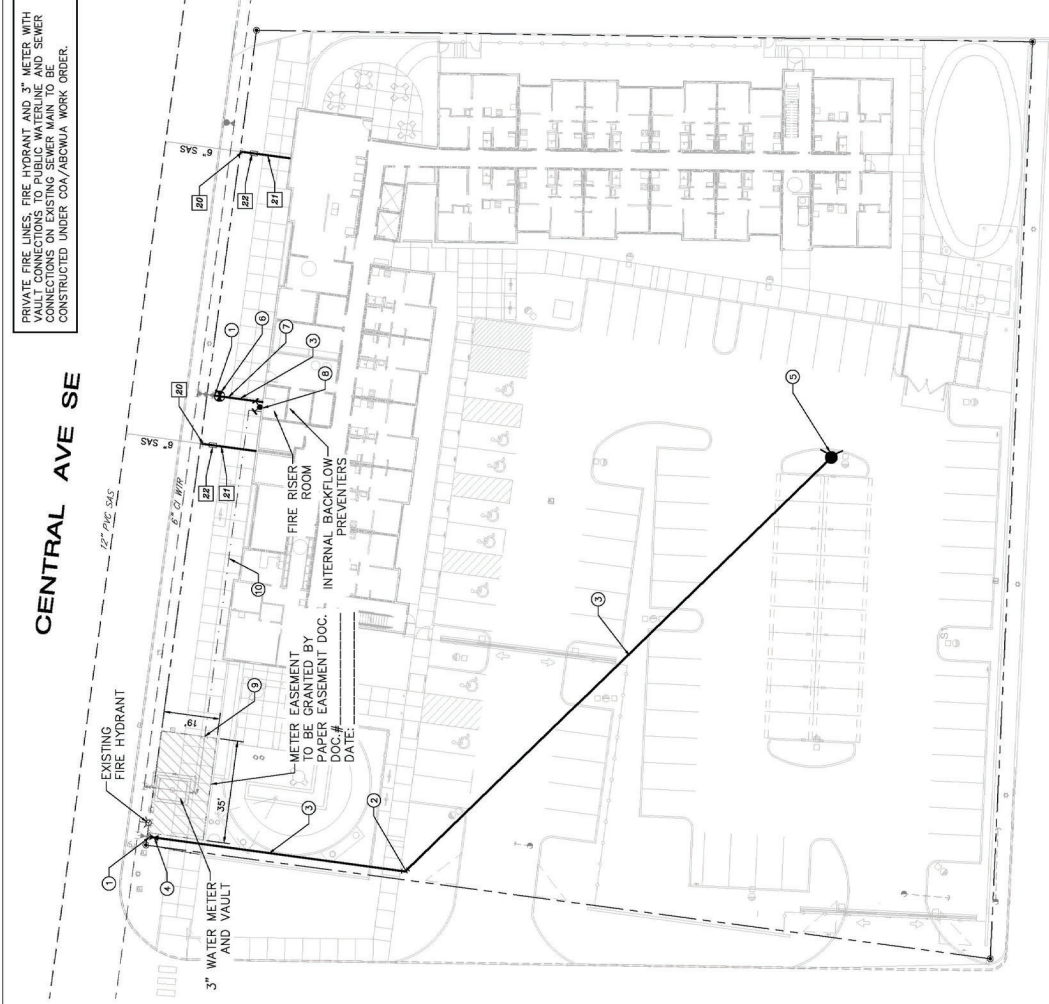
Excess Rainfall	Area (A)	Area (B)	Area (C)	Area (D)	Total Area
Excess Rainfall	0	0	0	0	0
Area A	0	0	0	0	0
Area B	1717	1717	1717	1717	4906
Area C	849	849	849	849	2372
Area D	8182	8182	8182	8182	8182
Total Area	10748	10748	10748	10748	10748

ONE-SITE WETTED EXCESS PRECIPITATION (60% Year, 64.86 Inches)

Wetted Excess Precipitation	Area (A)	Area (B)	Area (C)	Area (D)	Total Area
Wetted Excess Precipitation	0	0	0	0	0
Area A	0	0	0	0	0
Area B	1717	1717	1717	1717	4906
Area C	849	849	849	849	2372
Area D	8182	8182	8182	8182	8182
Total Area	10748	10748	10748	10748	10748

EXCESS VOLUME:

Excess Volume	Area (A)	Area (B)	Area (C)	Area (D)	Total Area
Excess Volume	0	0	0	0	0
Area A	0	0	0	0	0
Area B	1717	1717	1717	1717	4906
Area C	849	849	849	849	2372
Area D	8182	8182	8182	8182	8182
Total Area	10748	10748	10748	10748	10748



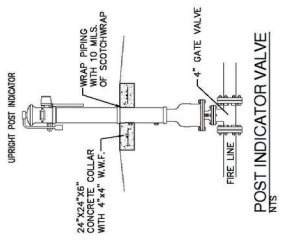
PRIVATE FIRE LINES, FIRE HYDRANT AND 3" METER WITH VALVE CONNECTIONS TO PUBLIC WATERLINE AND SEWER CONSTRUCTED UNDER COA/ABCDWA WORK ORDER.

KEYED NOTES

- 1. REMOVE EXISTING CAP AND CONNECT NEW WATERLINE.
- 2. 8" 45° BEND. (L1+6)
- 3. 6" WATERLINE (PRIVATE).
- 4. 6" GATE VALVE W/ BOX PER (L1+4)
- 5. FIRE HYDRANT PER ABCDWA STD DMC 2340. PAINTED SAFETY ORANGE.
- 6. PV (POST INDICATOR VALVE).
- 7. CONDUIT W/ PULL STRING FROM CONNECTION.
- 8. WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
- 9. REMOVE EXISTING 4" CAP AND CONNECT NEW 4" WATER SERVICE LINE.
- 10. 4" WATER SERVICE LINE.

SEWER KEYED NOTES

- 20. REMOVE 6" PLUG AND CONNECT NEW 6" SAS SERVICE LINE.
- 21. 6" SANITARY SEWER SERVICE AT 2% MIN. SLOPE.
- 22. INSTALL DOUBLE CLEAN OUT



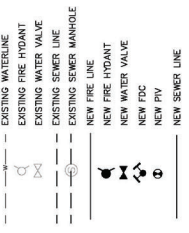
GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES, PIPES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES ON EXISTING UTILITIES.
3. ALL NEW SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ABOWIA. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 FEET FOR EACH MECHANICAL JOINT. IF A MECHANICAL JOINT IS REQUIRED, THE CONTRACTOR SHALL RESTRAIN AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
5. FIRE CONNECTIONS ON THE LINE TO THE FIRE HYDRANT FLANGE. DEPTH OF BURY: 3.0 FT. MINIMUM.

RESTRAINED JOINT CRITERIA

- FOR WATERLINE FITTINGS**
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 FEET FOR EACH MECHANICAL JOINT. IF A MECHANICAL JOINT IS REQUIRED, THE CONTRACTOR SHALL RESTRAIN AT THE CONTRACTOR'S EXPENSE.
 3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 4. FIRE CONNECTIONS ON THE LINE TO THE FIRE HYDRANT FLANGE. DEPTH OF BURY: 3.0 FT. MINIMUM.
- FACTOR OF SAFETY:**
- MATERIAL:** PVC
- TEST PRESSURE:** 150 PSI
- TRENCH TYPE 4:**
- BE ENDED IN SAND OR GRAVEL. PIPE SHALL BE STAKED TO GRAVEL. OF 1/8" PIPE DIAMETER, 4 INCH MINIMUM. ALL PIPE SHALL BE COMPACTED TO 100% OF PIPE.
- DIFFERENT CRITERIA E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED JOINTS. ALL RESTRAINED JOINTS SHALL BE APPROVED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABOWIA.**

LEGEND



DATE	09/28/2020
DESIGNED BY	FCA
DRAWN BY	DC
PROJECT NUMBER	2374
PROJECT NUMBER	19-0068
PROJECT STATUS	90% CONSTRUCTION DOCUMENTS





SEAL

PROJECT

LUMINARIA SENIOR COMMUNITY
1980 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87125

APPLICATION TO
DESIGN REVIEW
BOARD (DRB)

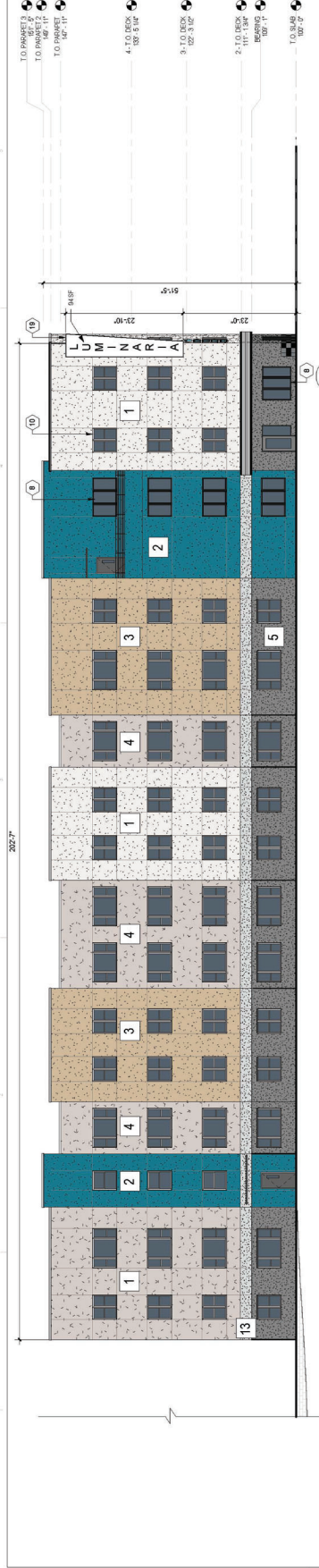
REVISIONS

1	TO PERIMETER 3 187'-0"
2	TO PERIMETER 2 148'-11"
3	TO PERIMETER 1 148'-11"
4	TO DECK 129'-5 1/4"
5	TO DECK 122'-3 1/2"
6	TO DECK 111'-1 3/4"
7	TO DECK 107'-0"

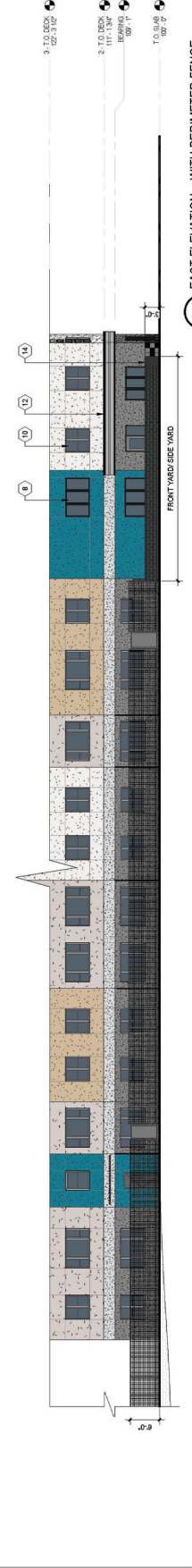
DRAWN BY	JF, BH, PMS
REVIEWED BY	MFQ, BMY
DATE	09/11/2020
PROJECT NO.	15-008

DRAWING NAME
**EXTERIOR
ELEVATIONS**

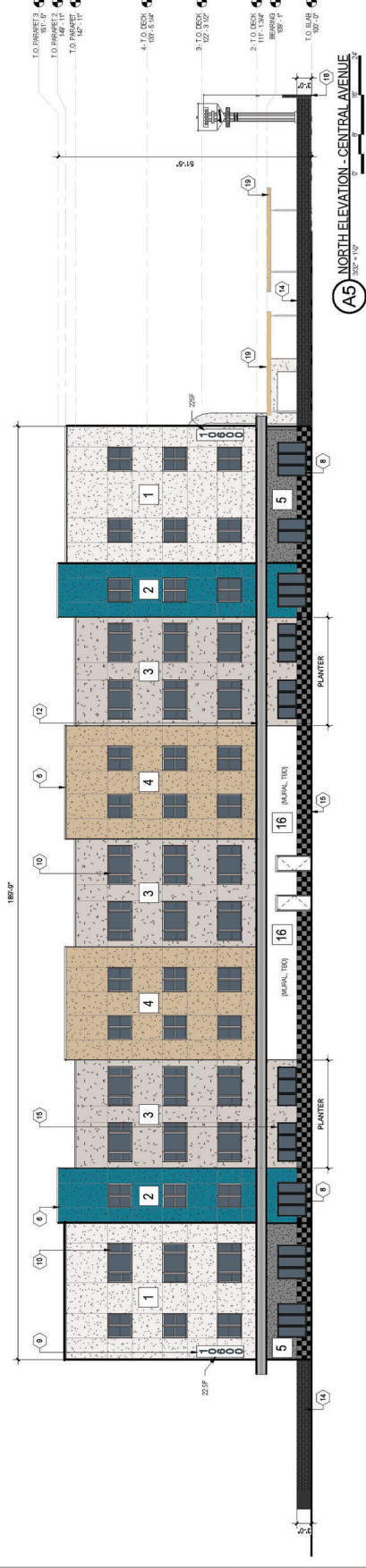
SHEET NO
SDP5.1



D5 EAST ELEVATION - WITHOUT PERIMETER FENCE
Scale: 3/32" = 1'-0"



B5 EAST ELEVATION - WITH PERIMETER FENCE
Scale: 3/32" = 1'-0"



A5 NORTH ELEVATION - CENTRAL AVENUE
Scale: 3/32" = 1'-0"

GENERAL SHEET NOTES

- ALL DOOR AND WINDOW MONUMENTS TO BE SET IN PLACE BY PERIMETER WALL.
- ALL FINISHES TO BE PERFORMED FROM PROPOSED GRADE BY THE PROPERTY OWNER.
- BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 36" HIGH CHARACTERS WITH 1/2" THICK LETTERS. SIGNAGE TO BE MOUNTED ON A WALL OR POST.
- ALL FINISHES TO BE PERFORMED FROM SECTIONS HEIGHT ARE SET, SEE SDP 1.

REFERENCE KEYNOTES

- STUCCO FINISH COLOR #1 - SNOW MOUNT
- STUCCO FINISH COLOR #2 - BERMIUDA
- STUCCO FINISH COLOR #3 - ELIUSION
- STUCCO FINISH COLOR #4 - GMA
- METAL COPING COLOR #1 - JONEN GREY
- METAL COPING COLOR #2 - JONEN GREY
- GUARDRAIL AT ROOF TOP TERRACE
- COMPOSITE WINDOWS
- RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
- ORNAMENTAL FENCE

LEGEND

- STUCCO FINISH COLOR #1 - SNOW MOUNT
- STUCCO FINISH COLOR #2 - BERMIUDA
- STUCCO FINISH COLOR #3 - ELIUSION
- STUCCO FINISH COLOR #4 - GMA
- METAL COPING COLOR #1 - JONEN GREY
- METAL COPING COLOR #2 - JONEN GREY
- SHADE STRUCTURE PERGOLA
- ILLUMINATED ACCENT AWNING, IT WITH LED LINE LED LIGHTING
- STUCCO FINISH COLOR #5 - THIN ICE
- SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL
- TILE MANSICOT
- DOWNSPOUT
- EXISTING CMU SITE WALL TO REMAIN
- SHADE STRUCTURE PERGOLA

KEY PLAN



REVISIONS

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DRAWN BY: JF
REVIEWED BY: MFG, RMY
DATE: 09/11/2020
PROJECT NO: 15-008

DRAWING NAME:
EXTERIOR
ELEVATIONS

SHEET NO: **SDP5.2**



GENERAL SHEET NOTES	REFERENCE KEYNOTES	LEGEND	KEY PLAN
<p>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE COVERED BY PARAPETS WALL</p> <p>B. ALL EXISTING CONCRETE FOUNDATION SHALL BE REFINISHED TO FINISH GRADE BY THE PROPERTY OWNER</p> <p>C. ALL EXISTING CONCRETE FOUNDATION SHALL BE REFINISHED TO FINISH GRADE BY THE PROPERTY OWNER</p> <p>D. ALL EXISTING CONCRETE FOUNDATION SHALL BE REFINISHED TO FINISH GRADE BY THE PROPERTY OWNER</p>	<p>10. ILLUMINATED ACROBT FINISHING, LT WITH NEON-LIKE LED LIGHTING</p> <p>13. STUCCO FINISH COLOR #8, THIN ICE</p> <p>14. SITE WALL - FRONT SIDE YARD, 3" OMI BLOCK WALL</p> <p>15. TILE MAINSCOOT</p> <p>17. DOWNSPOUT</p> <p>18. EXISTING OMI SITE WALL TO REMAIN</p> <p>19. SHADE STRUCTURE PERGOLA</p>	<p>STUCCO COLOR #1 SNOW MOUNT</p> <p>STUCCO COLOR #2 BERMIUDA</p> <p>STUCCO COLOR #3 ELUSION</p> <p>STUCCO COLOR #4 GMA</p> <p>STUCCO COLOR #5 JONER GREY</p> <p>STUCCO COLOR #6 BERMIUDA</p> <p>STUCCO COLOR #7 BERMIUDA</p> <p>STUCCO COLOR #8 THIN ICE</p> <p>STUCCO COLOR #9 BERMIUDA</p> <p>STUCCO COLOR #10 BERMIUDA</p> <p>STUCCO COLOR #11 BERMIUDA</p> <p>STUCCO COLOR #12 BERMIUDA</p> <p>STUCCO COLOR #13 BERMIUDA</p> <p>STUCCO COLOR #14 BERMIUDA</p> <p>STUCCO COLOR #15 BERMIUDA</p> <p>STUCCO COLOR #16 BERMIUDA</p> <p>STUCCO COLOR #17 BERMIUDA</p> <p>STUCCO COLOR #18 BERMIUDA</p> <p>STUCCO COLOR #19 BERMIUDA</p> <p>STUCCO COLOR #20 BERMIUDA</p> <p>STUCCO COLOR #21 BERMIUDA</p> <p>STUCCO COLOR #22 BERMIUDA</p> <p>STUCCO COLOR #23 BERMIUDA</p> <p>STUCCO COLOR #24 BERMIUDA</p> <p>STUCCO COLOR #25 BERMIUDA</p> <p>STUCCO COLOR #26 BERMIUDA</p> <p>STUCCO COLOR #27 BERMIUDA</p> <p>STUCCO COLOR #28 BERMIUDA</p> <p>STUCCO COLOR #29 BERMIUDA</p> <p>STUCCO COLOR #30 BERMIUDA</p> <p>STUCCO COLOR #31 BERMIUDA</p> <p>STUCCO COLOR #32 BERMIUDA</p> <p>STUCCO COLOR #33 BERMIUDA</p> <p>STUCCO COLOR #34 BERMIUDA</p> <p>STUCCO COLOR #35 BERMIUDA</p> <p>STUCCO COLOR #36 BERMIUDA</p> <p>STUCCO COLOR #37 BERMIUDA</p> <p>STUCCO COLOR #38 BERMIUDA</p> <p>STUCCO COLOR #39 BERMIUDA</p> <p>STUCCO COLOR #40 BERMIUDA</p> <p>STUCCO COLOR #41 BERMIUDA</p> <p>STUCCO COLOR #42 BERMIUDA</p> <p>STUCCO COLOR #43 BERMIUDA</p> <p>STUCCO COLOR #44 BERMIUDA</p> <p>STUCCO COLOR #45 BERMIUDA</p> <p>STUCCO COLOR #46 BERMIUDA</p> <p>STUCCO COLOR #47 BERMIUDA</p> <p>STUCCO COLOR #48 BERMIUDA</p> <p>STUCCO COLOR #49 BERMIUDA</p> <p>STUCCO COLOR #50 BERMIUDA</p> <p>STUCCO COLOR #51 BERMIUDA</p> <p>STUCCO COLOR #52 BERMIUDA</p> <p>STUCCO COLOR #53 BERMIUDA</p> <p>STUCCO COLOR #54 BERMIUDA</p> <p>STUCCO COLOR #55 BERMIUDA</p> <p>STUCCO COLOR #56 BERMIUDA</p> <p>STUCCO COLOR #57 BERMIUDA</p> <p>STUCCO COLOR #58 BERMIUDA</p> <p>STUCCO COLOR #59 BERMIUDA</p> <p>STUCCO COLOR #60 BERMIUDA</p> <p>STUCCO COLOR #61 BERMIUDA</p> <p>STUCCO COLOR #62 BERMIUDA</p> <p>STUCCO COLOR #63 BERMIUDA</p> <p>STUCCO COLOR #64 BERMIUDA</p> <p>STUCCO COLOR #65 BERMIUDA</p> <p>STUCCO COLOR #66 BERMIUDA</p> <p>STUCCO COLOR #67 BERMIUDA</p> <p>STUCCO COLOR #68 BERMIUDA</p> <p>STUCCO COLOR #69 BERMIUDA</p> <p>STUCCO COLOR #70 BERMIUDA</p> <p>STUCCO COLOR #71 BERMIUDA</p> <p>STUCCO COLOR #72 BERMIUDA</p> <p>STUCCO COLOR #73 BERMIUDA</p> <p>STUCCO COLOR #74 BERMIUDA</p> <p>STUCCO COLOR #75 BERMIUDA</p> <p>STUCCO COLOR #76 BERMIUDA</p> <p>STUCCO COLOR #77 BERMIUDA</p> <p>STUCCO COLOR #78 BERMIUDA</p> <p>STUCCO COLOR #79 BERMIUDA</p> <p>STUCCO COLOR #80 BERMIUDA</p> <p>STUCCO COLOR #81 BERMIUDA</p> <p>STUCCO COLOR #82 BERMIUDA</p> <p>STUCCO COLOR #83 BERMIUDA</p> <p>STUCCO COLOR #84 BERMIUDA</p> <p>STUCCO COLOR #85 BERMIUDA</p> <p>STUCCO COLOR #86 BERMIUDA</p> <p>STUCCO COLOR #87 BERMIUDA</p> <p>STUCCO COLOR #88 BERMIUDA</p> <p>STUCCO COLOR #89 BERMIUDA</p> <p>STUCCO COLOR #90 BERMIUDA</p> <p>STUCCO COLOR #91 BERMIUDA</p> <p>STUCCO COLOR #92 BERMIUDA</p> <p>STUCCO COLOR #93 BERMIUDA</p> <p>STUCCO COLOR #94 BERMIUDA</p> <p>STUCCO COLOR #95 BERMIUDA</p> <p>STUCCO COLOR #96 BERMIUDA</p> <p>STUCCO COLOR #97 BERMIUDA</p> <p>STUCCO COLOR #98 BERMIUDA</p> <p>STUCCO COLOR #99 BERMIUDA</p> <p>STUCCO COLOR #100 BERMIUDA</p>	<p>10. ILLUMINATED ACROBT FINISHING, LT WITH NEON-LIKE LED LIGHTING</p> <p>13. STUCCO FINISH COLOR #8, THIN ICE</p> <p>14. SITE WALL - FRONT SIDE YARD, 3" OMI BLOCK WALL</p> <p>15. TILE MAINSCOOT</p> <p>17. DOWNSPOUT</p> <p>18. EXISTING OMI SITE WALL TO REMAIN</p> <p>19. SHADE STRUCTURE PERGOLA</p>

**DEKKER
PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION



ENGINEER

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

APPLICATION TO
DESIGN REVIEW
BOARD (DRB)

REVISIONS
▽
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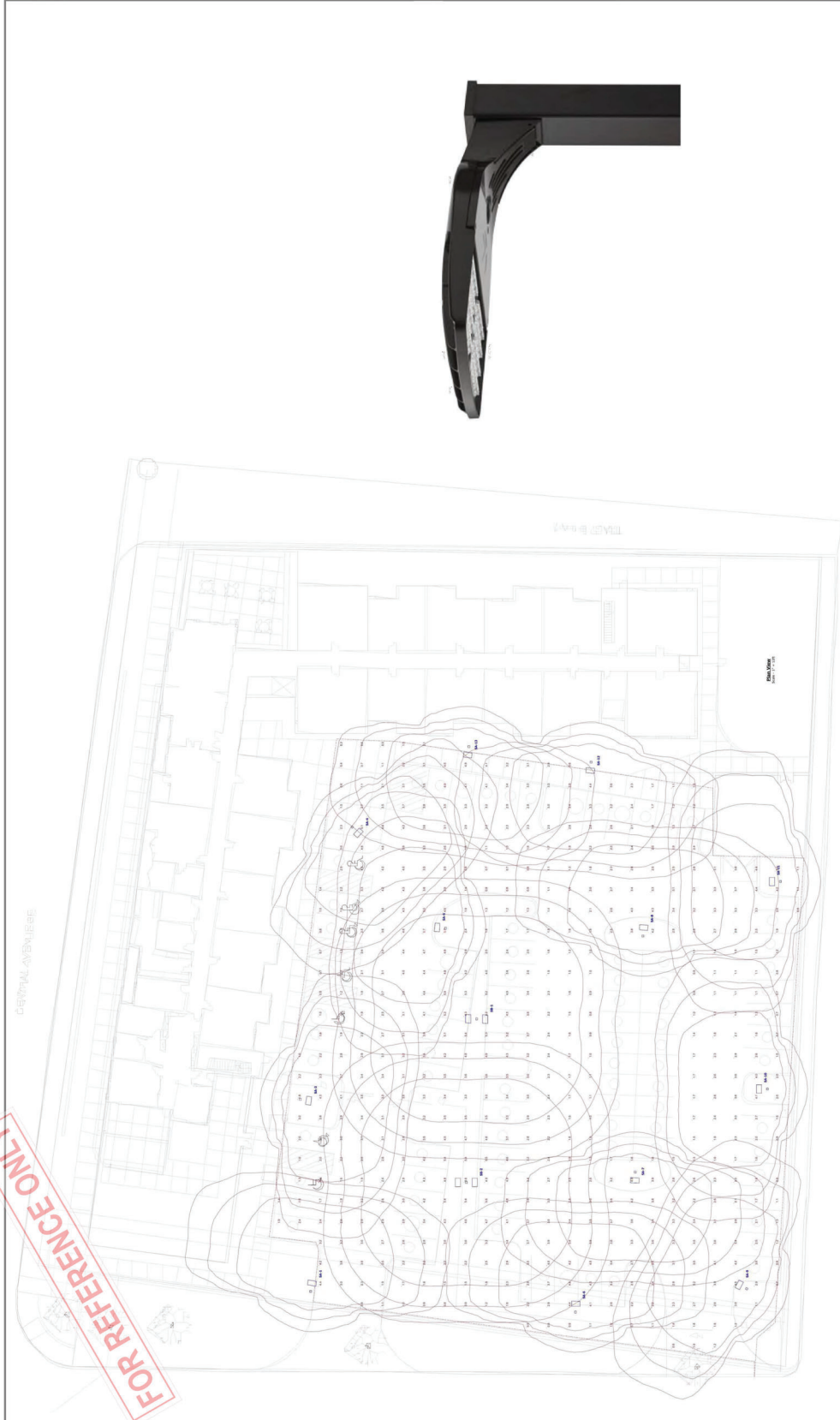
DRAWN BY: AG, JF
REVIEWED BY: RAW, JM
DATE: 06/28/2020
PROJECT NO.: 19-0058
DRAWING NAME:

SITE LIGHTING
FOR REFERENCE

SHEET NO. **SDP6.1**
OF 1



...LUMINARIA SITE LIGHTING...



Note
1. CALCULATION ZONES SET AT GRADE LEVEL.
2. ALL "SA" AND "SB" FIXTURES MOUNTED AT 16' OVERALL, 13' POLE ON A 3" CONCRETE BASE.
3. ALL "SC" FIXTURES (BOLLARDS) MOUNTED AT 3' ABOVE GRADE.

Statistics

Grade Level + 2.7 fc 5.7 fc 0.3 fc 19.0:1 9.0:1

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number of Fixtures	Lumens per Fixture	LPF	Wattage	Efficiency	Dimension	Polar Plot	Notes
□	SA		12	Lumina Lighting	LD00 LED P3 400 TSM MPOCZ	LD00 LED P3 400 TSM MPOCZ with houselead	LED	1	1000	1	71	100%	TYPE-BL, 18" W, 18" H, 18" D		See notes
□	SB		2	Lumina Lighting	LD00 LED P3 400 TSM MPOCZ	LD00 LED P3 400 TSM MPOCZ	LED	1	1000	1	142	100%	TYPE-BS, 18" W, 18" H, 18" D		See notes

NOT FOR CONSTRUCTION

LUMINARIA SENIOR COMMUNITY
 10600 CENTRAL AVE SE
 ALBUQUERQUE, NM 87123

PROJECT STATUS: 50% DESIGN DEVELOPMENT
 PROJECT NUMBER: 19-00089
 DRAWN BY: RJB
 CHECKED BY: FCA
 DATE: 07/10/2020

No	Date	Description

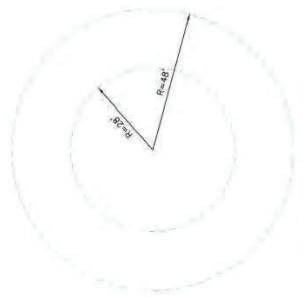
SHEET TITLE
 FIRE HYDRANT LOCATION AND ACCESS PLAN

SHEET NUMBER
 FIRE-1

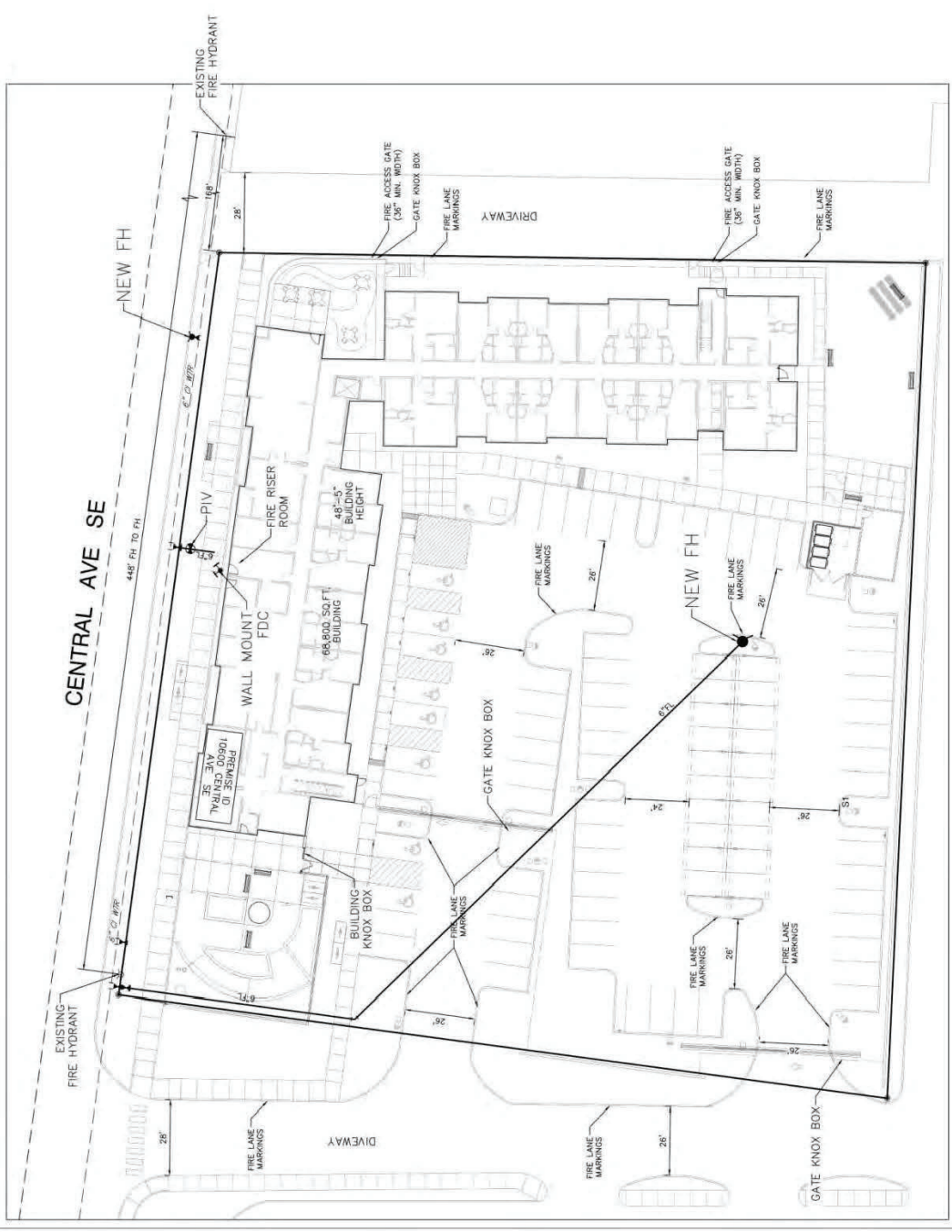


L-21

- 10,600 CENTRAL AVE, SE ALBUQUERQUE, NM 87123
- 68,800 SQ. FT BUILDING TYPE VA CONSTRUCTION SPRINKLED
- 48'-5" BUILDING HEIGHT OCCUPANCY GROUP-RES. R-2
- 2 EXISTING FIRE HYDRANT NEAR SITE
- ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.
- ALL ACCESS ROADS AND FIRE LANES WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS



FIRE APPARATUS TURNING RADIUS.



NOTE: ACCESS TO SOUTH WING FROM INTERNAL FIRE LANE AND FROM CENTRAL AVE.

FIRE 1 PERMIT
 ALBUQUERQUE FIRE DEPARTMENT
 OFFICE OF PLANS CHECK DIVISION
 PERMIT NUMBER: 20-00089, revised
 APPROVED BY: [Signature] 08/24/2020

APPROVED
 66900 CONSTRUCTION TYPE: V/A 3
 2375
 THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.













PR-2020-004062_SI-2020-00552_Site_Plan_Approved_9-23-20














Final Audit Report

2020-12-07

Created:	2020-12-02
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAEdy_GfJdyllrKisVUVIopzIBMW-_TXh

"PR-2020-004062_SI-2020-00552_Site_Plan_Approved_9-23-20" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature
2020-12-02 - 9:55:15 PM GMT
-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature
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-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature
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-  Document emailed to Ernest Armijo (eamijo@cabq.gov) for signature
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-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature
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-  Document emailed to Carl Garcia (cagarcia@cabq.gov) for signature
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-  Document emailed to Herma Gallegos (hgallegos@cabq.gov) for signature
2020-12-02 - 9:55:15 PM GMT
-  Email viewed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)
2020-12-02 - 9:59:10 PM GMT - IP address: 174.28.126.149
-  Email viewed by Ernest Armijo (eamijo@cabq.gov)
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-  Document e-signed by Ernest Armijo (earmijo@cabq.gov)
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-  Document e-signed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)
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-  Email viewed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)
2020-12-02 - 10:11:23 PM GMT- IP address: 143.120.132.68
-  Email viewed by Herma Gallegos (hgallegos@cabq.gov)
2020-12-02 - 10:12:38 PM GMT- IP address: 198.206.237.4
-  Document e-signed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)
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2020-12-03 - 6:17:51 AM GMT- IP address: 97.123.124.4
-  Document e-signed by Carl Garcia (cagarcia@cabq.gov)
Signature Date: 2020-12-03 - 6:18:09 AM GMT - Time Source: server- IP address: 97.123.124.4
-  Document e-signed by Herma Gallegos (hgallegos@cabq.gov)
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-  Email viewed by Kristopher Cadena (kcadena@abcwua.org)
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-  Email viewed by Jolene Wolfley (jwolfley@cabq.gov)
2020-12-07 - 6:13:40 PM GMT- IP address: 67.0.236.100
-  Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)
Signature Date: 2020-12-07 - 6:15:50 PM GMT - Time Source: server- IP address: 67.0.236.100
-  Agreement completed.
2020-12-07 - 6:15:50 PM GMT