

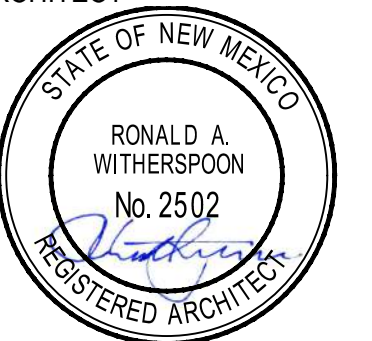
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**DEKKER
PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



09-11-2020

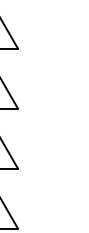
ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

APPLICATION TO
DESIGN REVIEW
BOARD (DRB)

REVISIONS



DRAWN BY AG, JF

REVIEWED BY RAW, HFG

DATE 09/11/2020

PROJECT NO. 19-0058

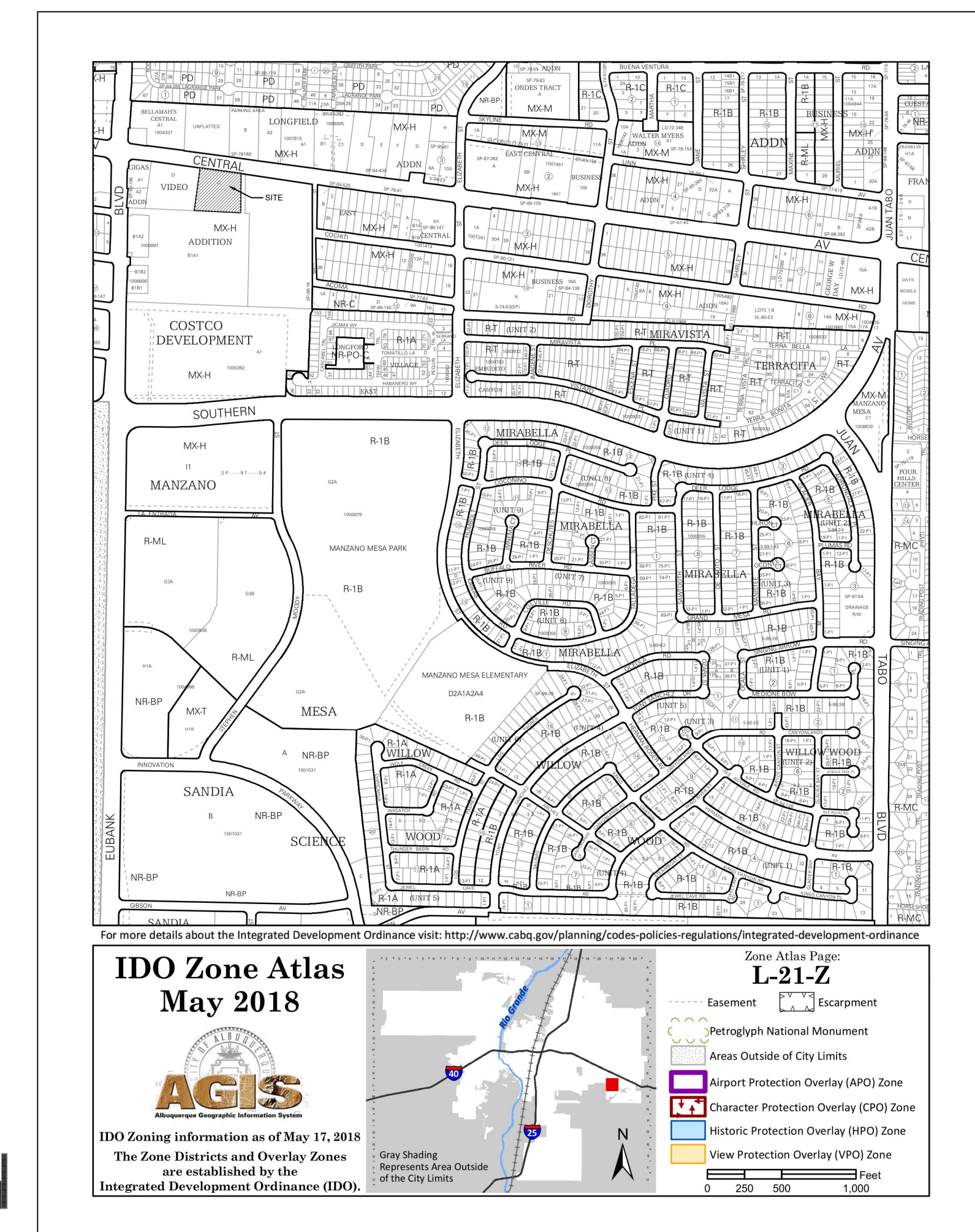
DRAWING NAME

SDP FOR
BUILDING PERMIT

SHEET NO.

COVER
OF

VICINITY MAP



LUMINARIA SENIOR COMMUNITY

OWNER

LUMINARIA APARTMENTS LIMITED PARTNERSHIP, LLLP
320 GOLD AVENUE SW #918
ALBUQUERQUE, NM 87102
PHONE: 505.244.1614

ARCHITECT

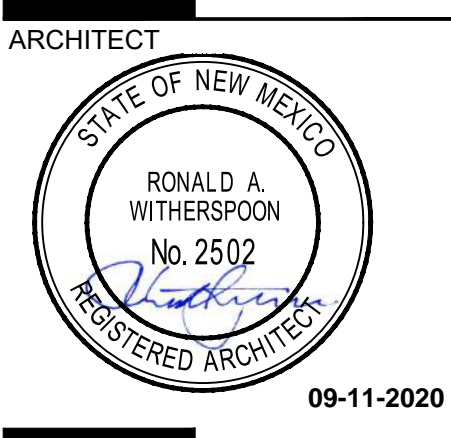
DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

LANDSCAPE ARCHITECT

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

CIVIL ENGINEER

ISAACSON & ARFMAN, INC.
128 MONROE STREET NE
ALBUQUERQUE, NM 87108
505.268.8828



OPEN SPACE CALCULATIONS

TABLE 2-4-7 / MX-H ZONING
USABLE OPEN SPACE
1 BD: 200 SF PER UNIT
200SF x 72 UNITS = 14,400 SF
2 BD: 250 SF PER UNIT
250 SF x 20 UNITS = 5,000 SF
TOTAL 19,400 SF REQUIRED OPEN SPACE
PROVIDED OPEN SPACE: 19,898 SF

PROJECT NO.
APPLICATION NO.

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
[] YES [] NO. IF YES, THEN A SET OF APPROVED
DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE:

ABCWUA DATE:

PARKS & RECREATION DEPARTMENT DATE:

CITY ENGINEER/HYDROLOGY DATE:

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:

SOLID WASTE MANAGEMENT DATE:

DRB CHAIRPERSON, PLANNING DEPT. DATE:

CODE ENFORCEMENT DATE:

LEGEND

- LANDSCAPE AREA
- REINFORCED CONCRETE
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- STABILIZED CRUSHER FINES
- PERMEABLE PAVING
- LIGHT DUTY ASPHALT
- FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2
- PROPERTY LINE
- FIRE HYDRANT
- POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
- FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- BIKE RACK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- PERIMETER FENCE
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
- COMPACT PARKING, REF: D5/SDP1.3
- LIGHT POLE
- 6" BOLLARD WITH SIGN

PROJECT DATA

ZONING:
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST
GATEWAY
MAJOR TRANSIT CORRIDOR AREA
ROUTE 66 ACTION PLAN

LEGAL DESCRIPTION:
TRACT C, VIDEO ADDITION, FILED IN THE BERNALILLO COUNTY CLERK AND RECORDERS'S OFFICE AUGUST 9, 1994 IN BOOK 94C AT PAGE 263
SITE AREA: 1.88 ACRES
ZONE ATLAS: L-21-2
SETBACKS: FRONT= 5' MIN / N/A MAX, STREET SIDE = 5' MIN / N/A MAX, INTERIOR= 0', REAR= 15'

BUILDING HEIGHT:
MAXIMUM ALLOWED: 65'-0"
ACTUAL HEIGHT: 51'-9"

SPRINKLED: YES, NFPA 13R
FIRE FLOW: 2,375 GPM
HYDRANTS REQUIRED: 2
BUILDING OCCUPANCY: R-2
CONSTRUCTION TYPE: TYPE VA

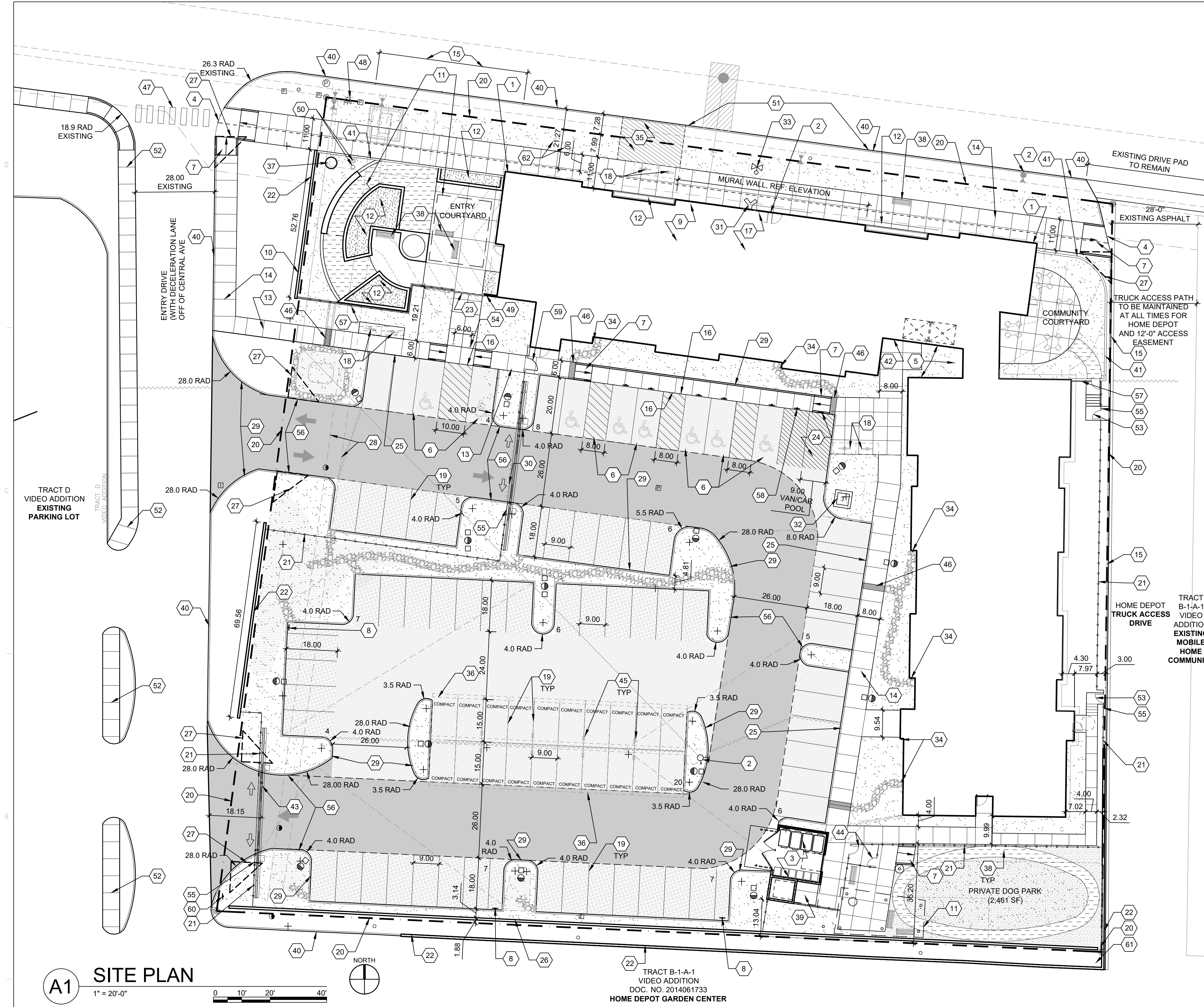
BUILDING SF:
FIRST LEVEL 17,505 GSF
SECOND LEVEL 17,095 GSF
THIRD LEVEL 17,095 GSF
FOURTH LEVEL 17,095 GSF
TOTAL 68,793 GSF

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED SPACES: 83 SPACES
(1.5 SPACES / DWELLING UNITS: 92 X 1.5 = 138 SPACES MINUS PARKING CREDIT OF 55 SPACES FOR PROXIMITY TO TRANSIT, VANPOOL PARKING, AND OFF-STREET PARKING = 83 SPACES REQUIRED)
PROVIDED PARKING = 85 TOTAL SPACES
(77 STANDARD SPACES + 8 VAN ACCESSIBLE SPACES)

MOTORCYCLE PARKING REQUIRED = 3 SPACES
MOTORCYCLE PARKING PROVIDED = 3 SPACES

BICYCLE PARKING REQUIRED = 23 SPACES
(0.25 SPACES PER DU = 92 X 0.25 = 23 SPACES)
BICYCLE PARKING PROVIDED = 42 SPACES
(30 INDOOR BICYCLE SPACES + 12 OUTDOOR BICYCLE SPACES)

12 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN



REFER TO SDPS.1 AND SDPS.2 FOR ELEVATION VIEWS.

ITEM #1 FROM 5-11(E)(2) IS ADDRESSED:
-ALL FACADES INCLUDE COLOR CHANGE AND A BAND DESIGN BETWEEN THE GROUND AND UPPER LEVELS TO DESIGNATE THE BASE OF THE BUILDING FROM THE UPPER FLOORS.
-THE NORTH FAÇADE FACING CENTRAL AVENUE HAS A TILE CHECKERED WAINSCOT 3' HIGH RELATING TO HUMAN SCALE AT GROUND LEVEL AND BRINGING IN THE GOALS OF THE ROUTE 66 ACTION PLAN BY CELEBRATING ROUTE 66.
-THE NORTH FAÇADE FACING CENTRAL AVENUE HAS A SPACE DEDICATED FOR A FUTURE MURAL AT THE GROUND LEVEL THAT WILL BE LOCALLY SOURCED AND WILL BE INSPIRED BY HISTORIC ROUTE 66.

ITEM #2 FROM 5-11(E)(2) IS ADDRESSED:
NORTH FAÇADE
-THE NORTH FAÇADE DESIGN INCLUDES 2 RAISED PLANTERS 3' HIGH.
-WINDOWS ON ALL UPPER FLOORS THAT PROVIDE NATURAL LIGHT.
-GROUND FLOOR WINDOWS INTO COMMUNITY AMENITIES CREATE A DYNAMIC PEDESTRIAN EXPERIENCE.
EAST FAÇADE
-THE EAST FAÇADE INCLUDES THE NORTH EAST COURTYARD ACCESS WITH WEATHER PROTECTION ALONG THE DOOR BY INCLUDING CANOPY.
-THE STAIR EXIT ALONG THE EAST FAÇADE HAS WEATHER PROTECTION WITH A CANOPY.
-ALL FLOORS INCLUDE WINDOWS FOR NATURAL LIGHT.
-AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THIS ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.
SOUTH FAÇADE
-HAS WEATHER PROTECTION AND SHADE CANOPIES ABOVE BUILDING ENTRANCE NEAR THE DOG PARK AND AT THE STAIR ENTRY.
-WINDOWS ON ALL FLOORS THAT PROVIDE NATURAL LIGHT.
-AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THIS ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.
WEST FAÇADE
-WINDOWS ON ALL UPPER FLOORS THAT PROVIDE NATURAL LIGHT.
-PRIMARY PEDESTRIAN ENTRANCE ALONG THE WEST FAÇADE IN THE ENTRY COURTYARD.
-SHADE AND WEATHER PROTECTION ALONG THE MAIN ENTRANCE
-TRELIS DESIGN IN THE NORTHWEST ENTRY COURTYARD TO PROVIDE SHADE.
-AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THIS ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.

ITEM #3 FROM 5-11(E)(2) IS ADDRESSED:
NORTH FAÇADE
-THE NORTH FAÇADE DESIGN INCORPORATES 5 STUCCO COLOR CHANGES INTEGRATED IN A MINIMUM OF EVERY 35 LINEAR FEET.
-THE NORTH FAÇADE WILL HAVE A MURAL DESIGN WITH COLOR CHANGING INTRICACIES AND WILL BE COORDINATE THROUGH THE CITY PUBLIC ART PROGRAM.
-THE CHANGE IN WALL PLANE OF AT LEAST 1 FOOT IN DEPTH OCCURS AT LEAST EVERY 100 LINEAR FEET AND EXTENDS AT LEAST 25% OF THE LENGTH OF THE FAÇADE.
-THE NORTH FAÇADE HAS A BASE TREATMENT USING 3 FEET HIGH TILE WAINSCOT.
-THE DESIGN INCLUDES CHANGE IN PARAPET HEIGHT FOR EVERY 100 LINEAR FEET OF THE FAÇADE.
EAST, SOUTH AND WEST FAÇADE
-THE CHANGE IN WALL PLANE OF AT LEAST 1 FOOT IN DEPTH OCCURS AT LEAST EVERY 100 LINEAR FEET AND EXTENDS AT LEAST 25% OF THE LENGTH OF THE FAÇADE.
-THE DESIGN INCLUDES CHANGE IN PARAPET HEIGHT FOR EVERY 100 LINEAR FEET OF THE FAÇADE.

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- G. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- H. SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- I. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- J. ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION
- K. REMOVE EXISTING TREES
- L. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED

SHEET KEYED NOTES

1. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2015 INTERNATIONAL FIRE CODE
2. NEW FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL
3. TRASH AND RECYCLING ENCLOSURE WITH GATE, REF: A1/SDP1.3, A3/SDP1.3, A5/SDP1.3, B1/SDP1.3, B3/SDP1.3 AND C3/SDP1.3.
4. WALKWAY CONNECTION TO CENTRAL AVE SE.
5. ELECTRIC METER BANK
6. ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, B5/SDP1.2 & C5/SDP1.2
7. ACCESSIBLE RAMP, REF: C1/SDP1.2, C2/SDP1.2, C3/SDP1.2, AND C4/SDP1.2.
8. MOTORCYCLE PARKING, REF: C5/ASP1.2
9. BICYCLE STORAGE ROOM (30 BICYCLES) PER IDO SECTION 5-5(E) AND DPM STANDARDS
10. MONUMENT SIGNAGE MOUNTED ON EXISTED WALL, REF: D3/SDP1.3
11. SHADE STRUCTURE
12. PLANTER
13. 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B4/SDP1.2
14. 8" WIDE SIDEWALK CONCRETE, REF: B4/SDP1.2
15. NEW CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
16. FLUSH CONCRETE SIDEWALK, REF: B3/SDP1.2
17. FIRE RISER ROOM
18. OUTDOOR BIKE RACK/PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: C1/SDP1.3
19. PARKING STRIPING 4" WIDE, COLOR WHITE
20. PROPERTY LINE
21. ORNAMENTAL FENCE, REF: D4/SDP1.2

PROJECT DATA

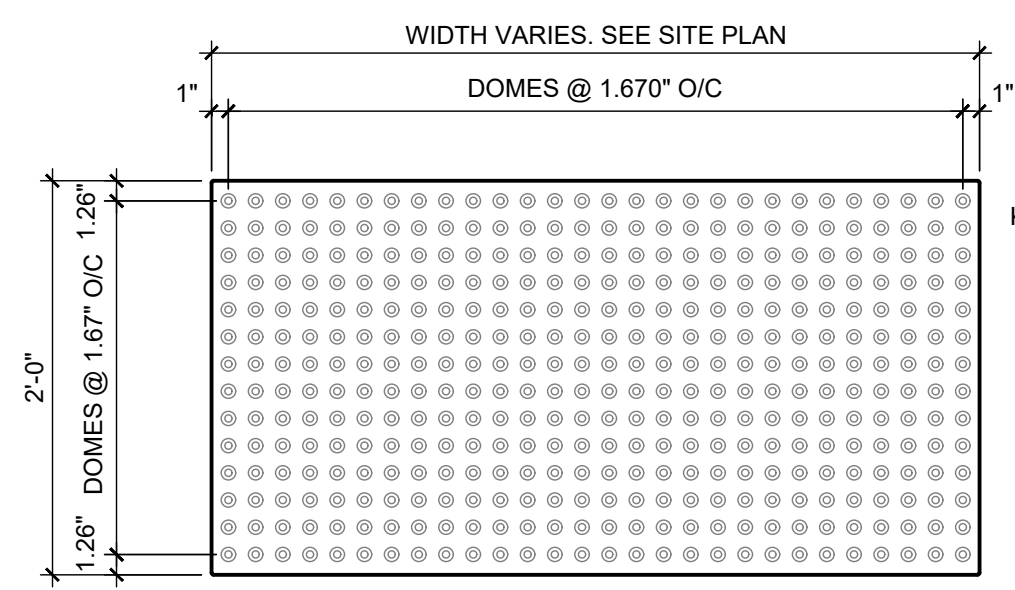
22. EXISTING CMU WALL TO REMAIN
23. PEDESTRIAN SIGNING GATE
24. DEDICATED RESERVED VAN POOL AND CAR POOL PARKING WITH SIGNAGE & BOLLARD, REF: C5/SDP1.2 AND B5/SDP1.2 FOR BOLLARD
25. SIDEWALK WITH TURNDOWN EDGE, REF: B3/SDP1.2
26. PARTIALLY REUSED EXISTING CMU WALL WITH ORNAMENTAL FENCE ABOVE - TOTAL HEIGHT 6'-0" (DESIGNED TO SCREEN ADJACENT REAR PROPERTY FROM HEADLIGHTS, DEMOLISH DOWN TO 3'-0" AND REPLACE EXISTING WALL AS REQUIRED)
27. CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
28. EXISTING 5'-0" ELECTRIC & TELEPHONE EASEMENT, FILED: AUGUST 14, 1967, BOOK B76, PAGE 779
29. CONCRETE HEADER CURB, REF: B1/SDP1.2
30. VEHICULAR ROLLING ENTRY GATE, FDC ACTIVATED
31. FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
32. ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)
33. POST INDICATOR VALVE (PIV)
34. DOWNSPOUT TO COBBLE RUN OFF, RE: CIVIL PLANS
35. OPTION FOR FUTURE CITY BUS SHELTER (CONCRETE PAD PROVIDED)
36. OPTION FOR PHOTOVOLTAIC (PV) CAR PORT, SEPARATE PERMIT REQUIRED
37. VERTICAL MARQUEE SIGN, REF: C2/SDP1.3 AND B1/SDP1.3
38. BENCH
39. TRASH ENCLOSURE AND MAINTENANCE STORAGE, REF: A5/SDP1.3
40. EXISTING CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
41. 3' HIGH CMU WALL, REF: ELEVATIONS SDPS.1
42. RESIDENT MAIN ENTRANCE
43. VEHICULAR ROLLING EXIT GATE, PROXIMITY ACTIVATED
44. DOG PARK ENTRANCE
45. FUTURE CARPORT SUPPORT, 8"x1'-4"
46. SIDEWALK CULVERT
47. PAINTED CROSSWALK
48. EXISTING FIRE HYDRANT
49. BUILDING KNOX BOX
50. EXISTING CLEAN OUTS RELOCATED INTO LANDSCAPE AREA
51. FIRE LANE, REF: A4/SDP1.2
52. EXISTING SIDEWALK
53. GATE, FIRE ACCESS ONLY
54. LIGHTED BOLLARD
55. GATE KNOX BOX
56. FIRELANE STRIPING MARKING FIRE ACCESS LANE, REF: A4/SDP1.2 & LEGEND
57. 3' HIGH CMU WALL WITH 3' HIGH ORNAMENTAL FENCE ABOVE; REF: D2/SDP1.3
58. DEDICATED RESERVED LOADING/UNLOADING PARKING WITH SIGNAGE & BOLLARD, REF: C5/SDP1.2
59. PEDESTRIAN GATE; REF: D5/SDP1.2
60. DO NOT ENTER SIGNAGE; REF: C5/ASP1.2
61. SIGHT MIRROR, POST-MOUNTED
62. SIDEWALK ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF ALBUQUERQUE TO INCLUDE 6'-0" OF SIDEWALK MINIMUM TO BACK OF CURB ON CENTRAL

A1

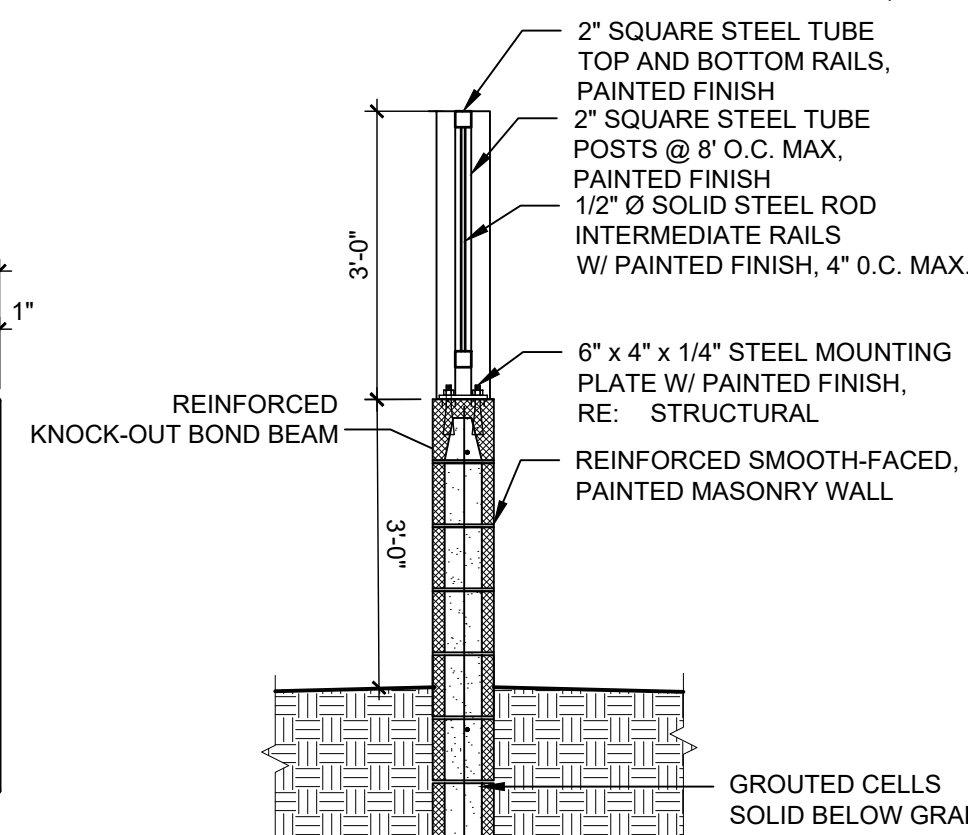
SITE PLAN
1" = 20'-0"

TRACT B-1-A-1
VIDEO ADDITION
DOC. NO. 2014061733
HOME DEPOT GARDEN CENTER

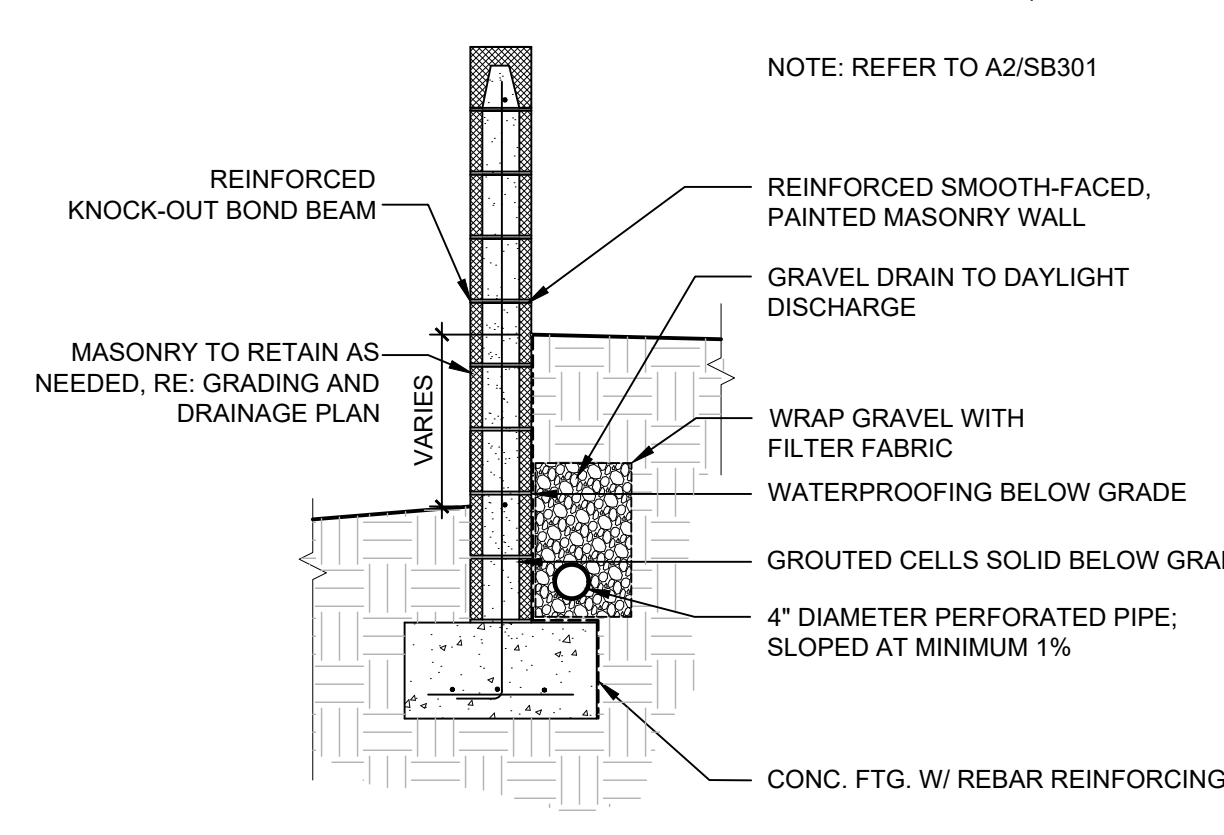
NOTES:
1. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS



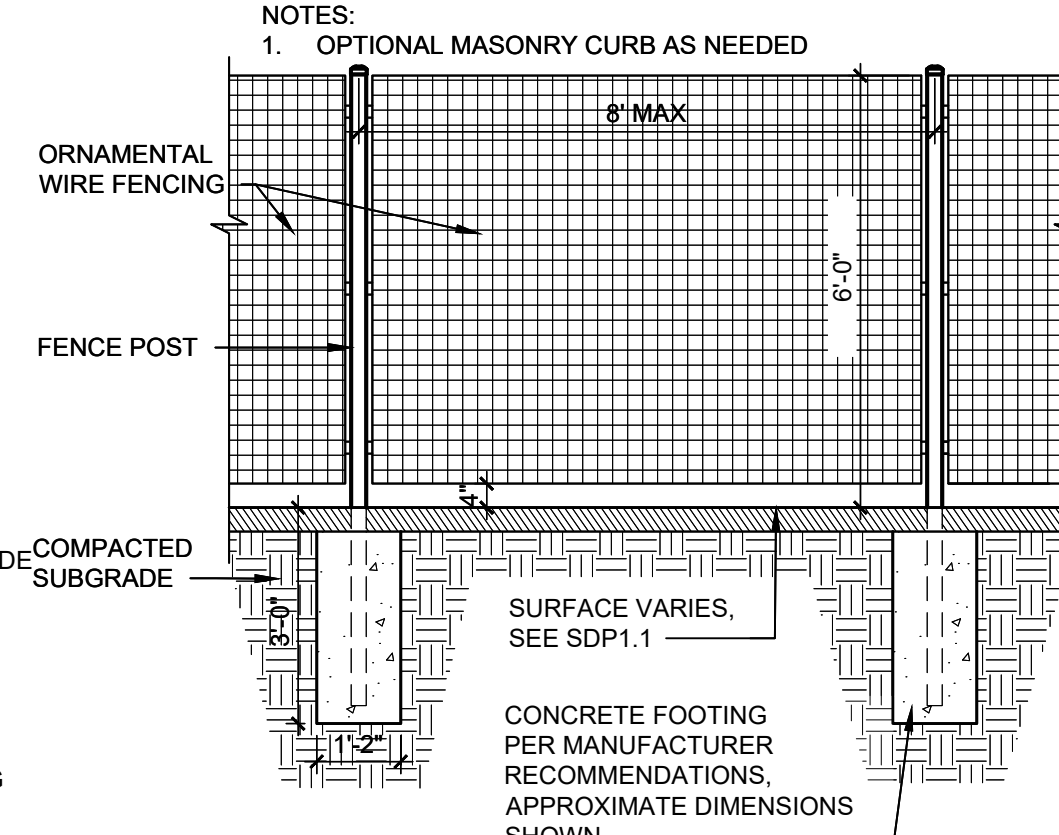
D1 DETECTABLE WARNING SURFACE
1" = 1'-0"



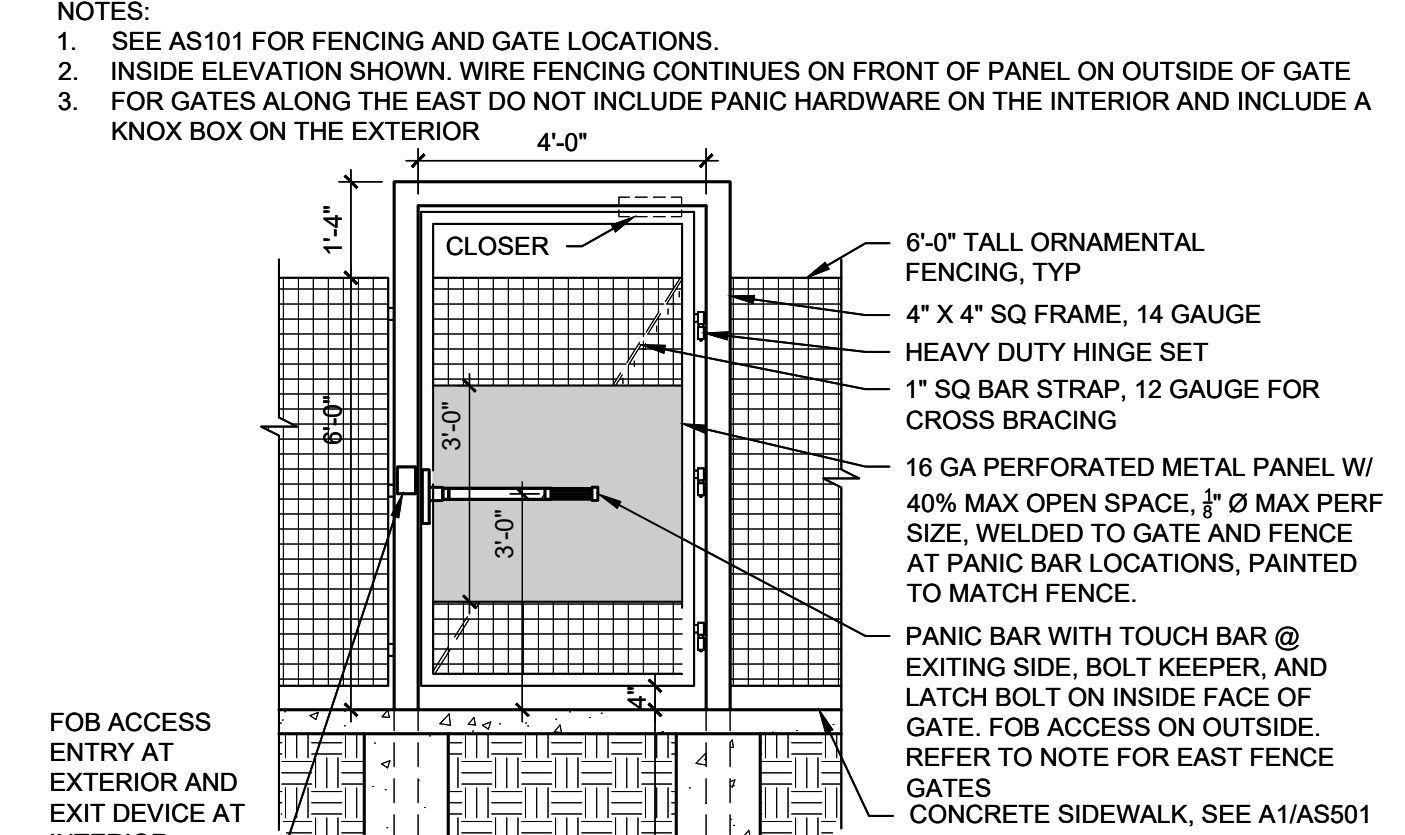
D2 CMU WITH ORNAMENTAL FENCE
1/2" = 1'-0"



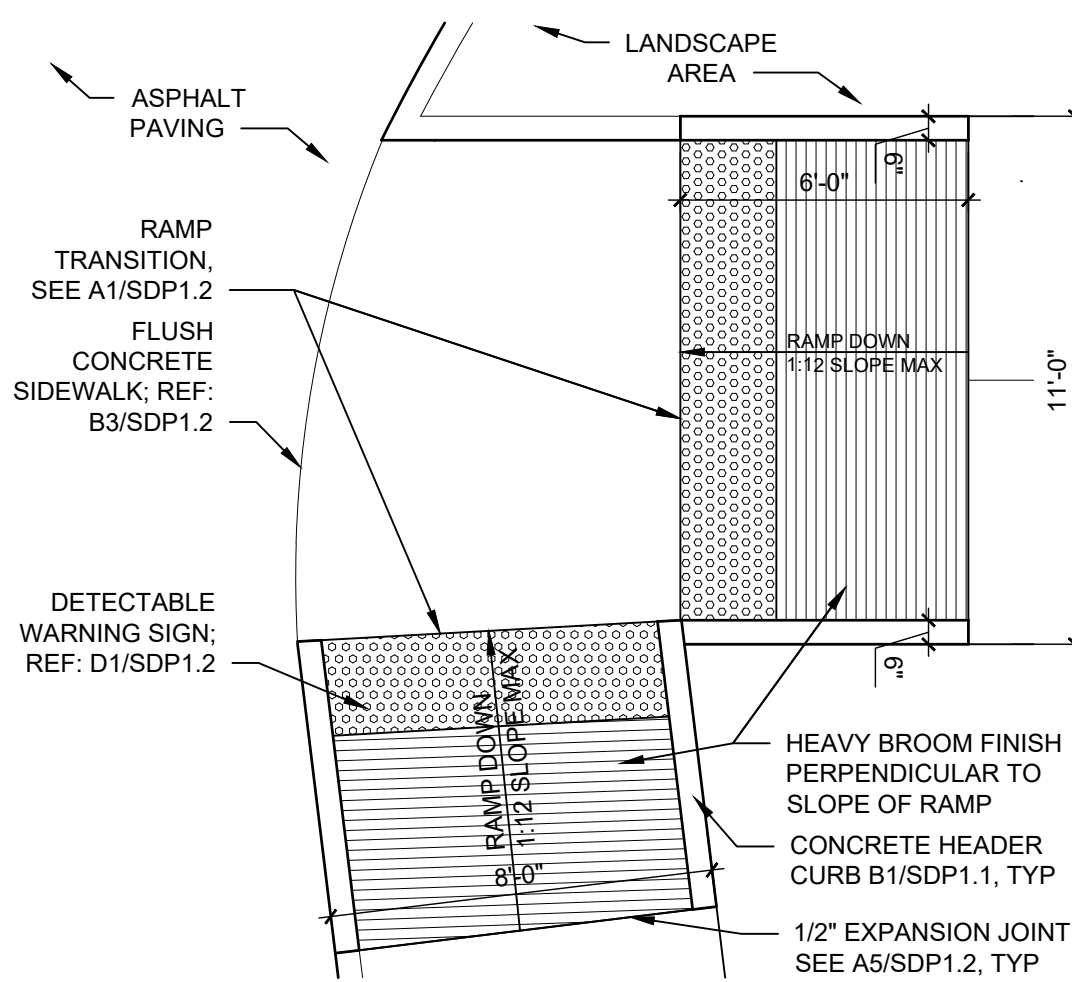
D3 MASONRY RETAINING WALL
1/2" = 1'-0"



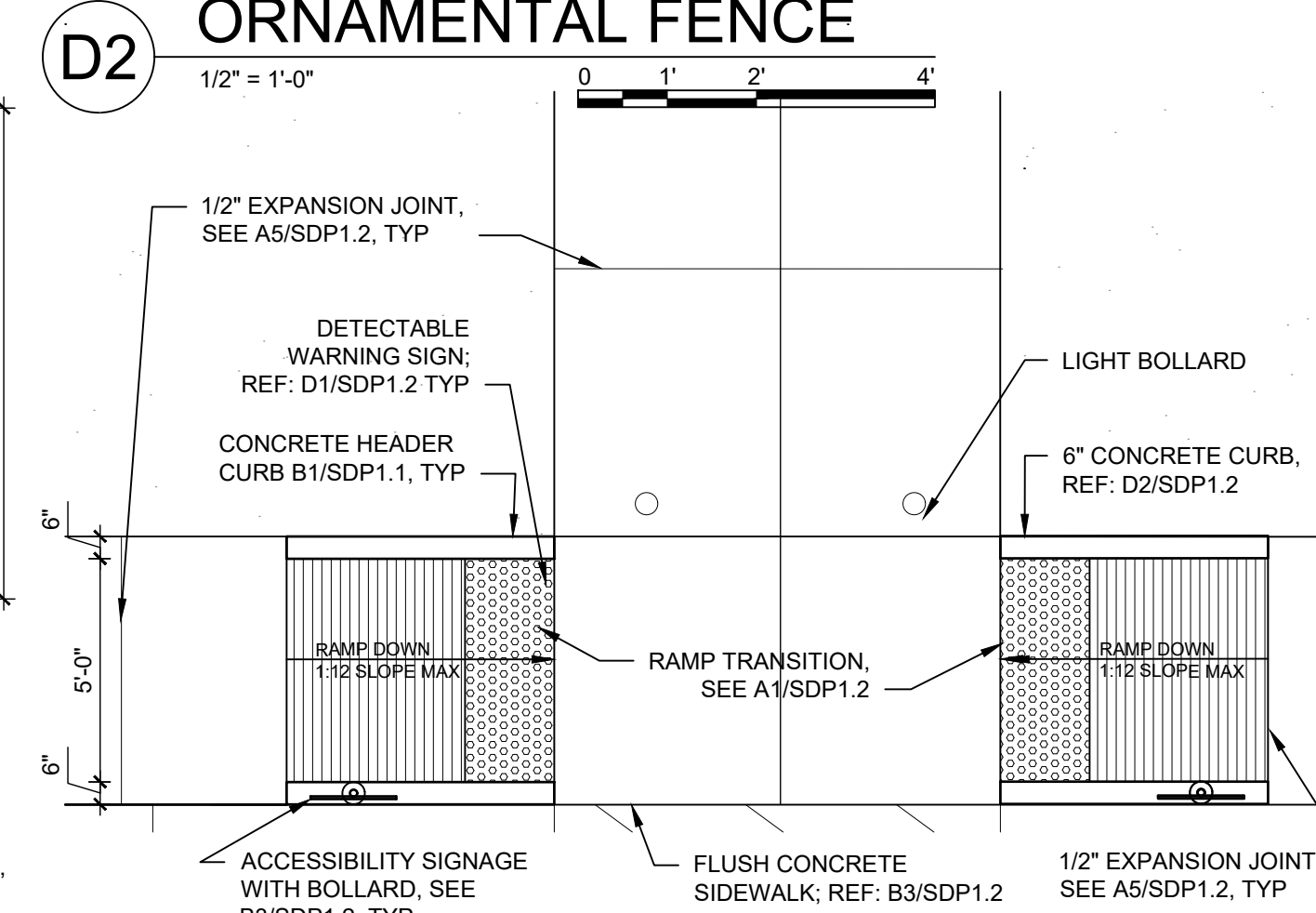
D4 6' TALL ORNAMENTAL WIRE FENCE
3/8" = 1'-0"



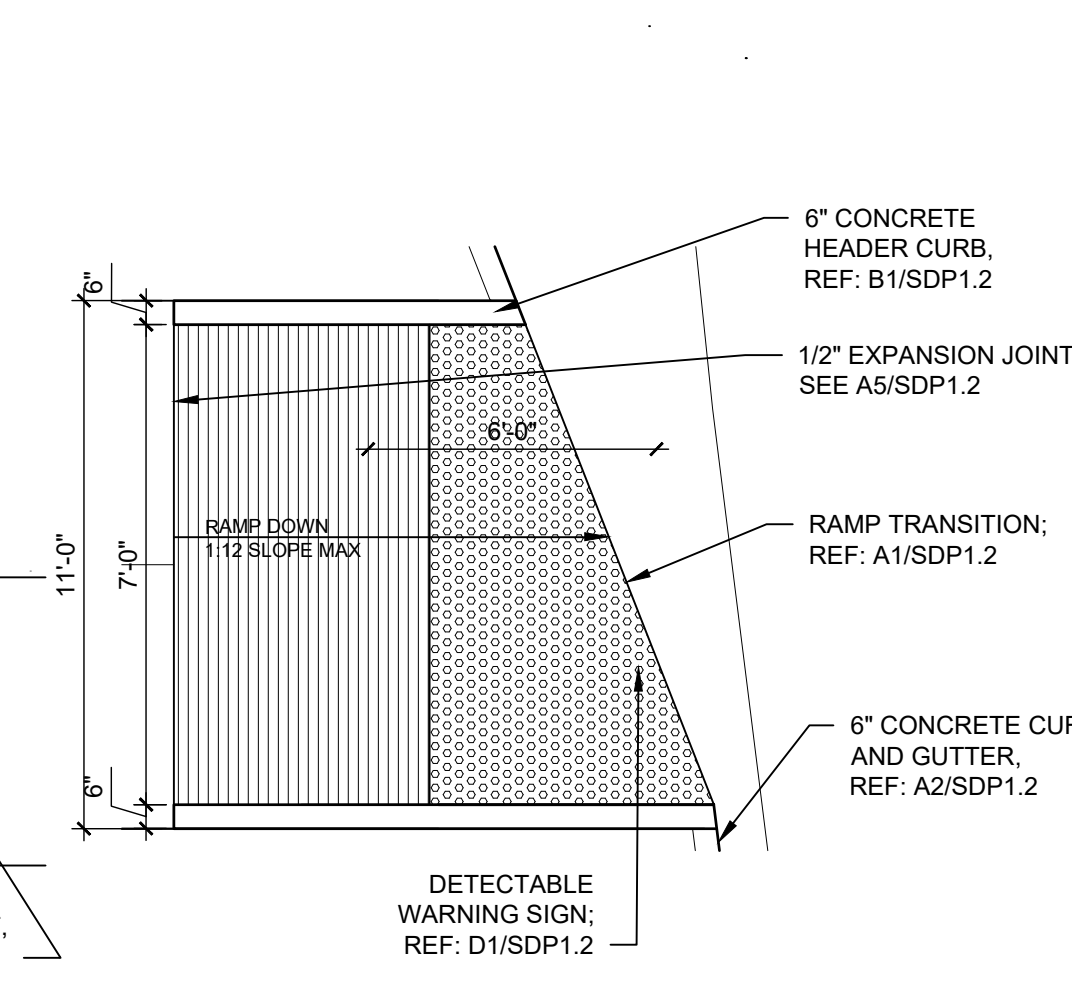
D5 ORNAMENTAL WIRE PEDESTRIAN GATE
3/8" = 1'-0"



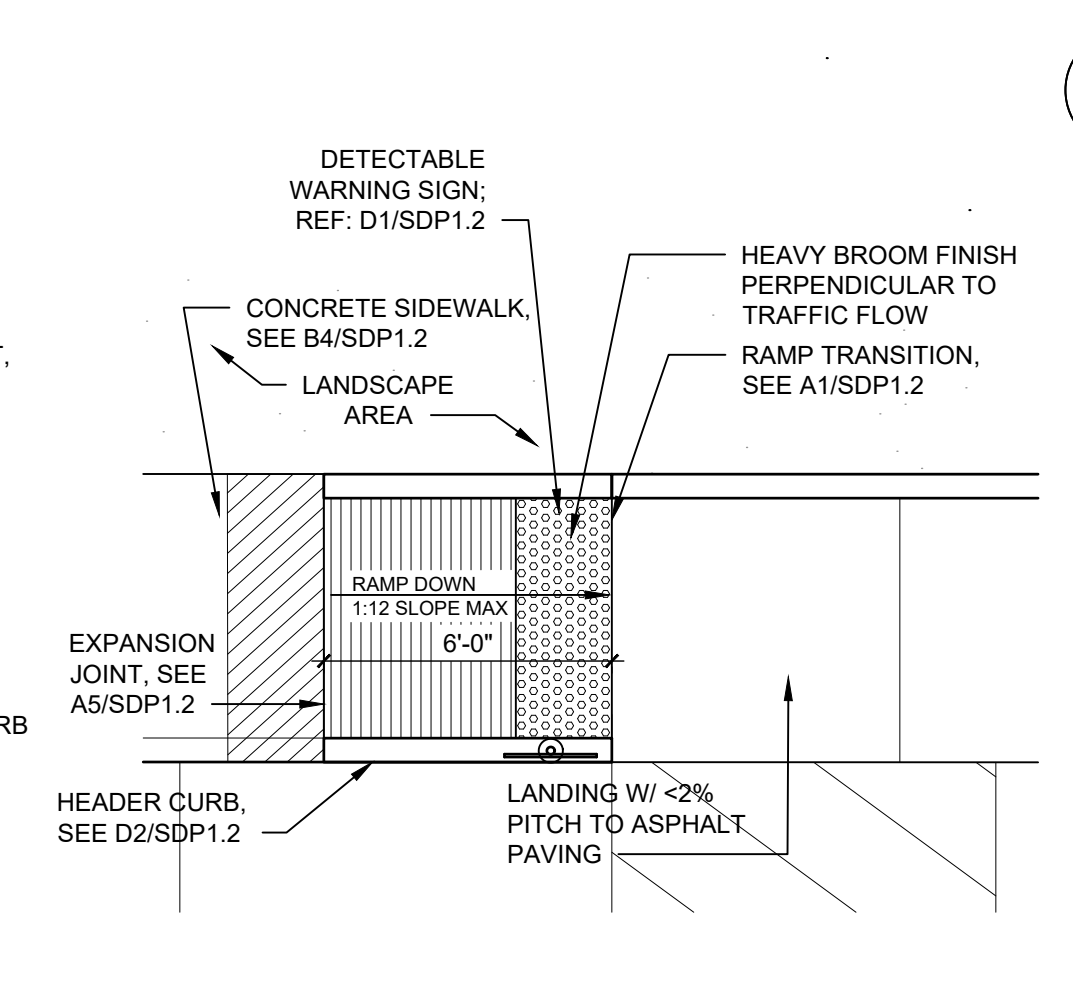
C1 ACCESSIBLE RAMP
1/4" = 1'-0"



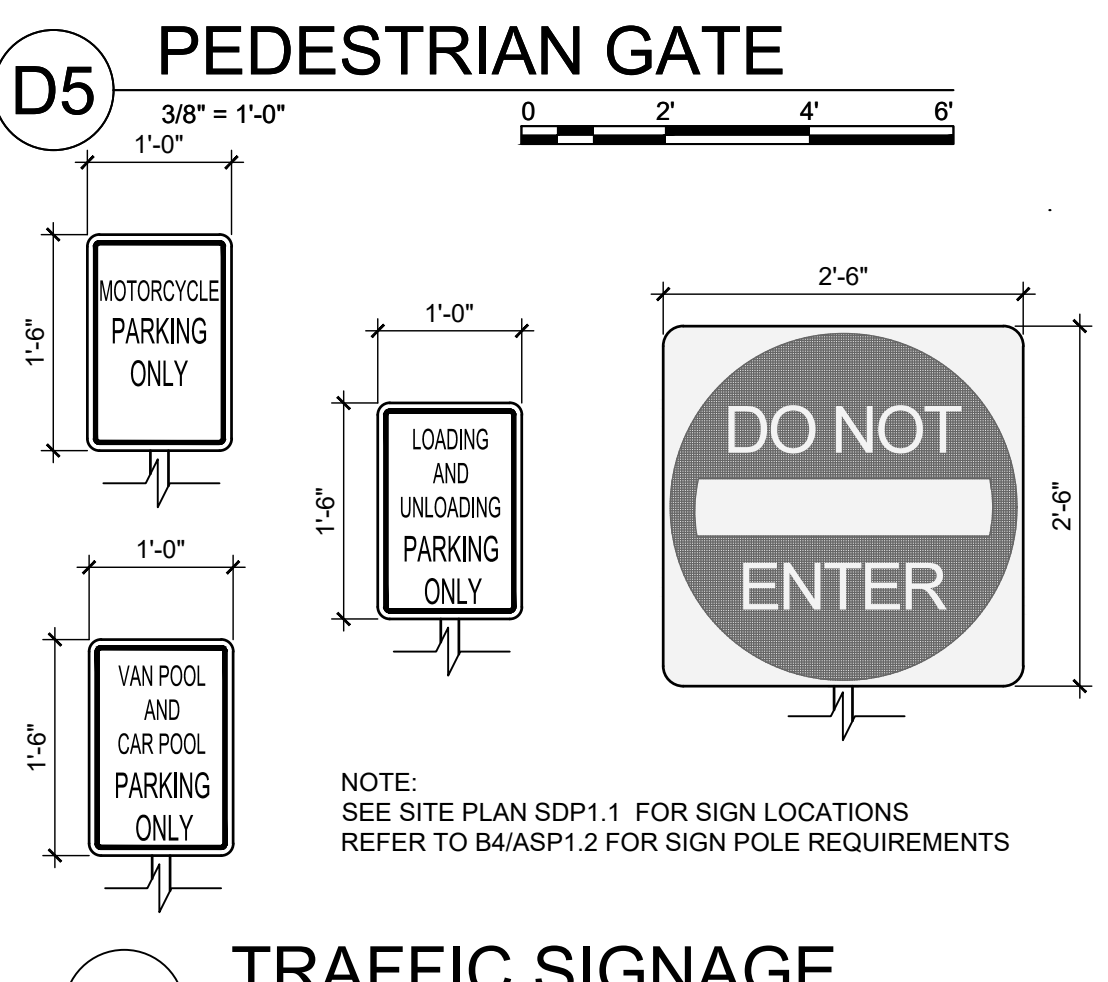
C2 ACCESSIBLE RAMP
1/4" = 1'-0"



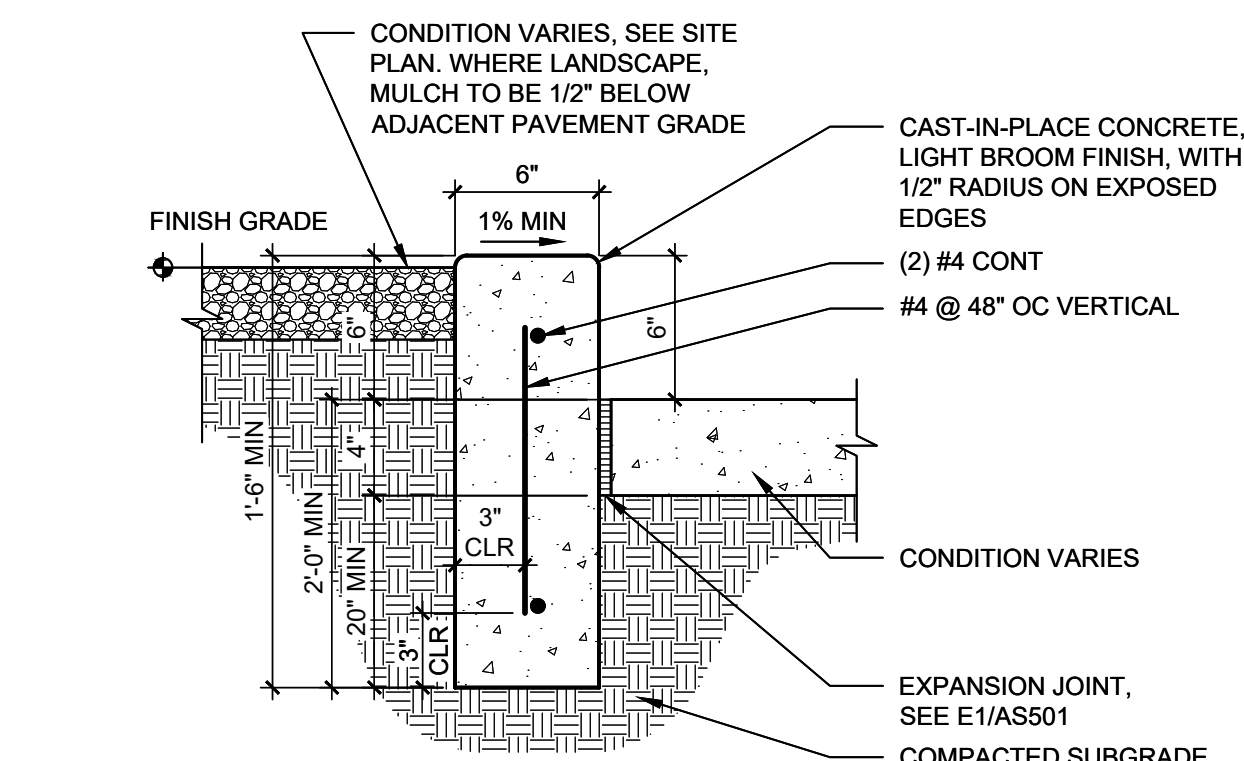
C3 ACCESSIBLE RAMP
1/4" = 1'-0"



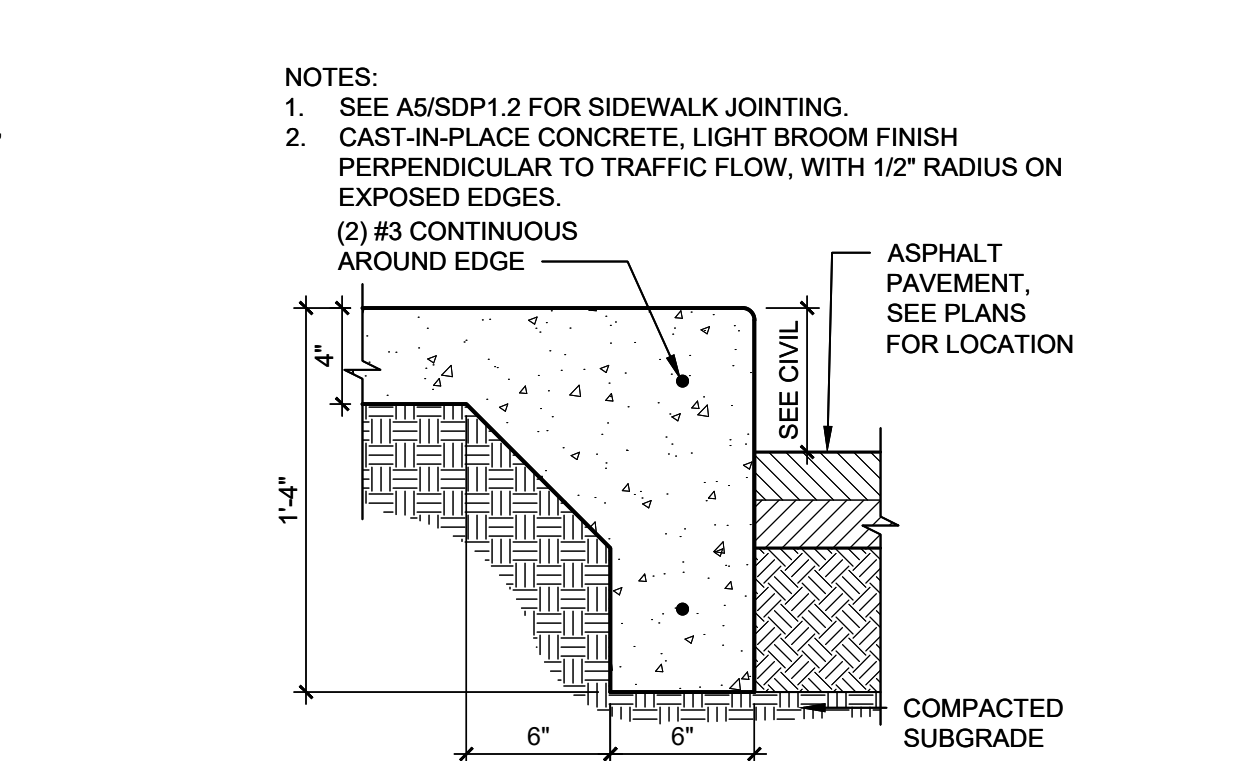
C4 ACCESSIBLE RAMP
1/4" = 1'-0"



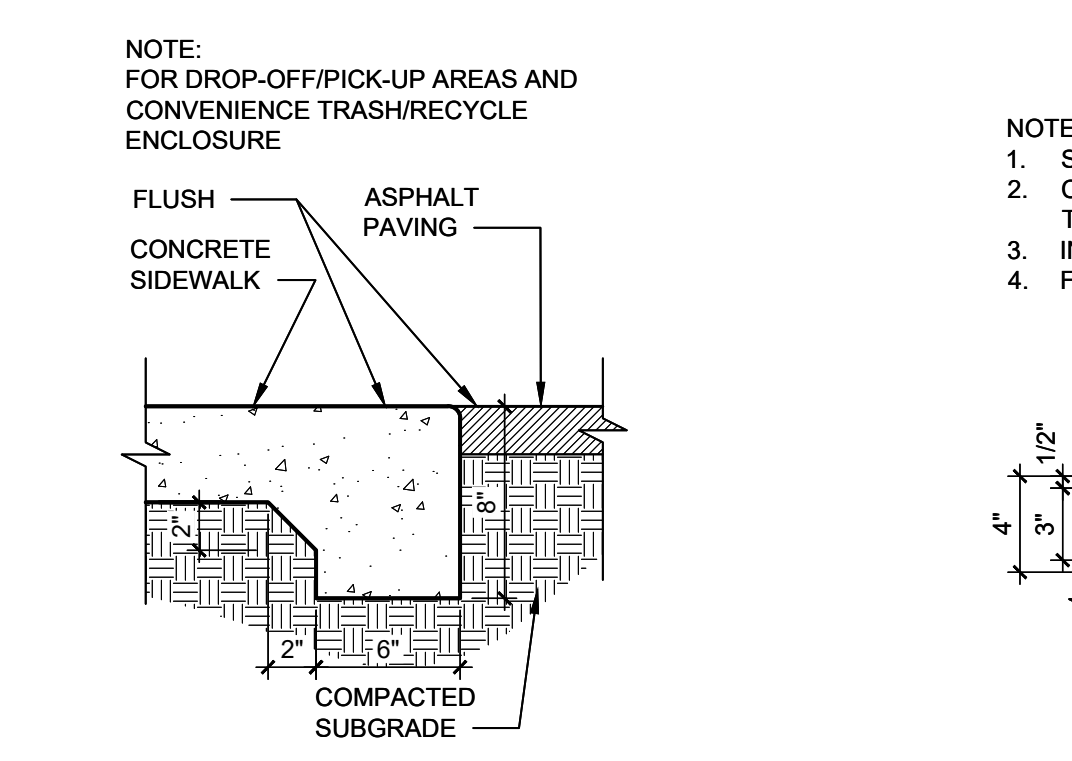
C5 TRAFFIC SIGNAGE
3/4" = 1'-0"



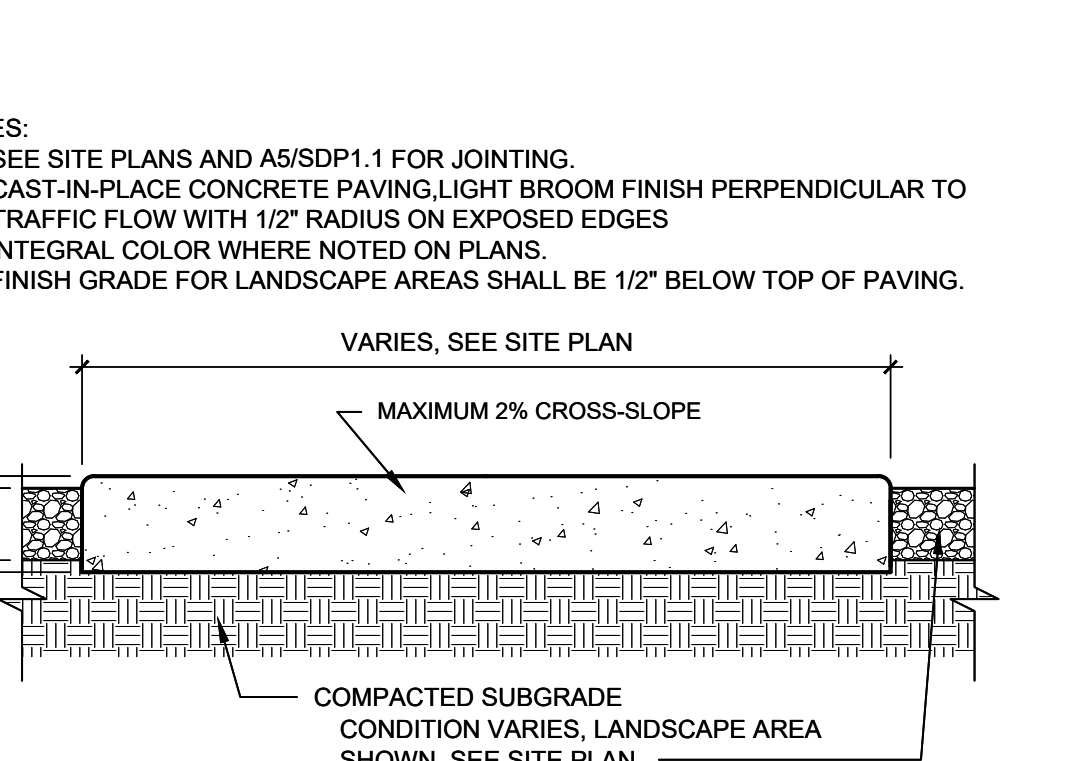
B1 CONCRETE HEADER CURB
1 1/2" = 1'-0"



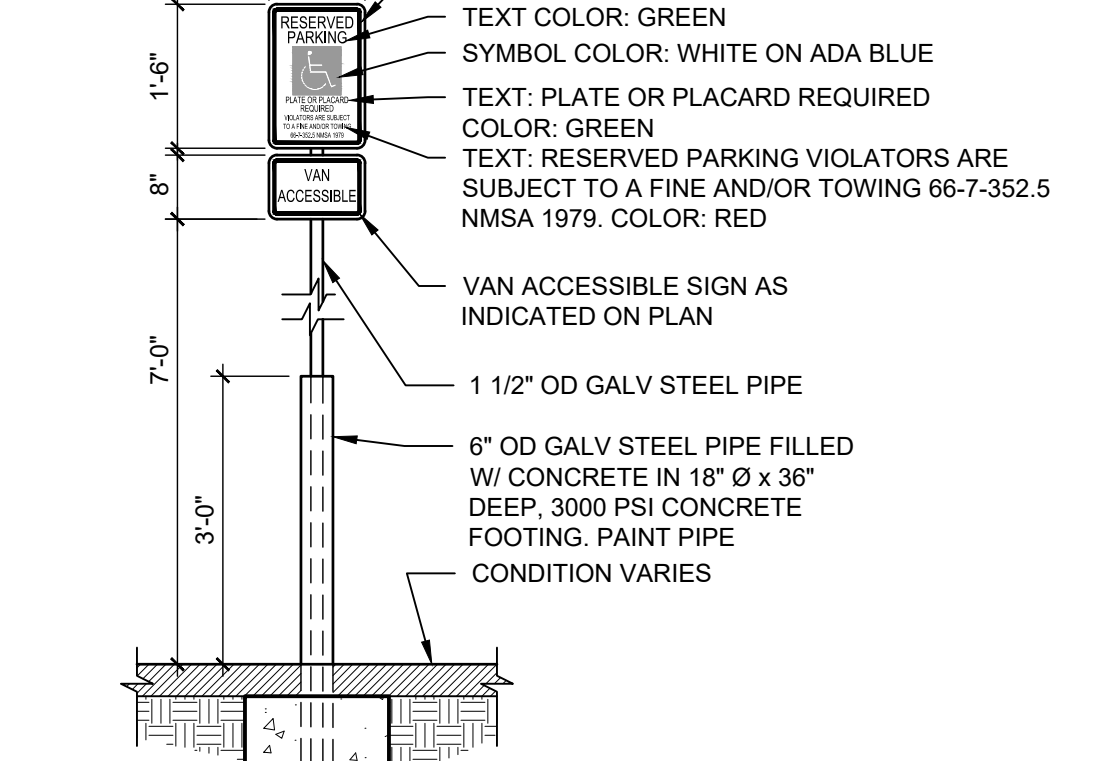
B2 SIDEWALK WITH TURNDOWN EDGE
1 1/2" = 1'-0"



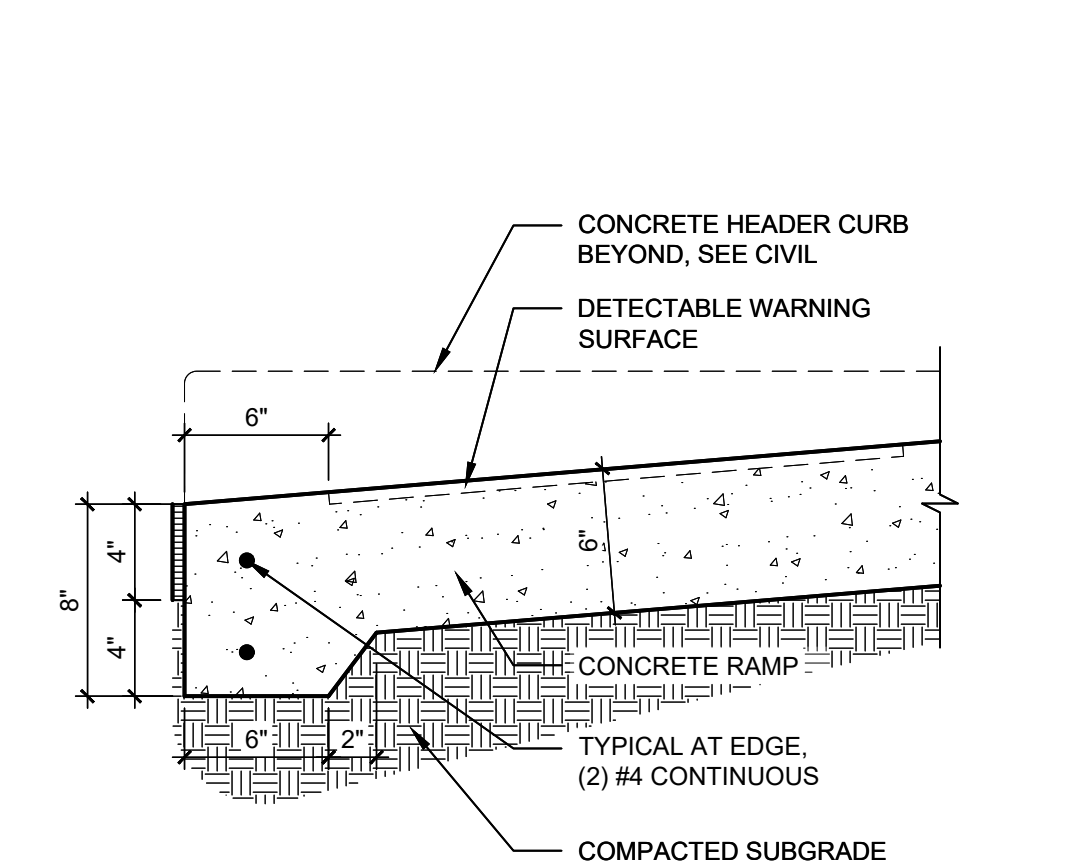
B3 FLUSH CONCRETE SIDEWALK
1 1/2" = 1'-0"



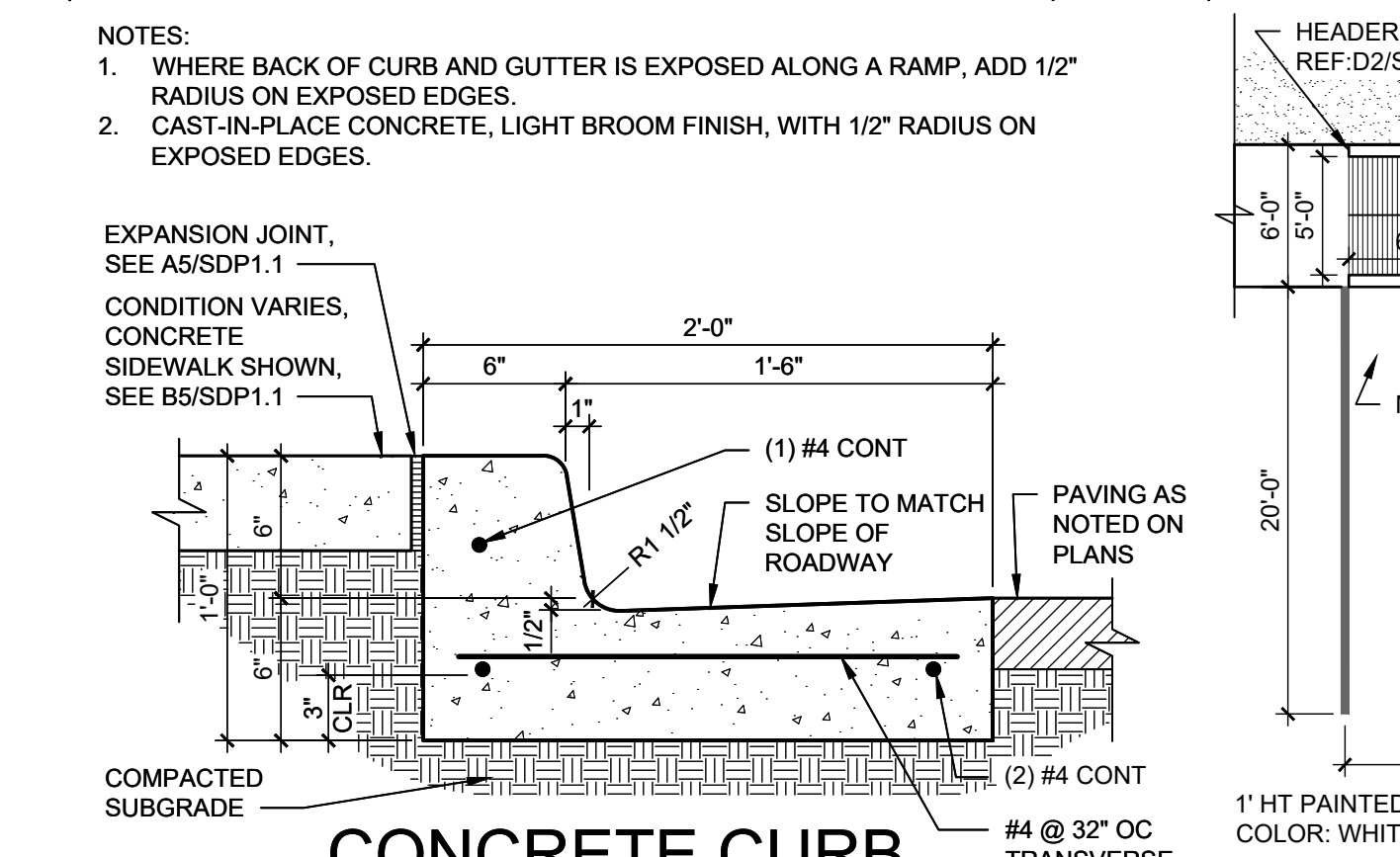
B4 CONCRETE SIDEWALK
1 1/2" = 1'-0"



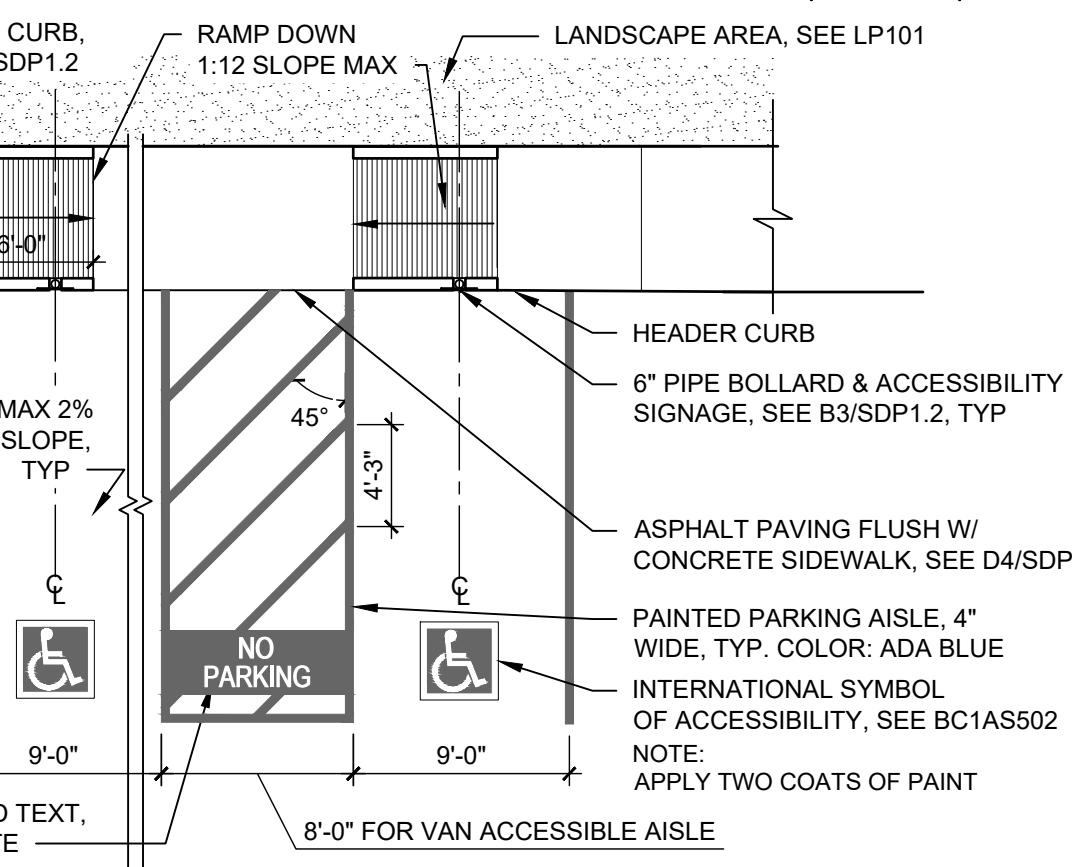
B5 BOLLARD REINFORCED, POLE-MOUNTED ACCESSIBLE PARKING SIGN
1/2" = 1'-0"



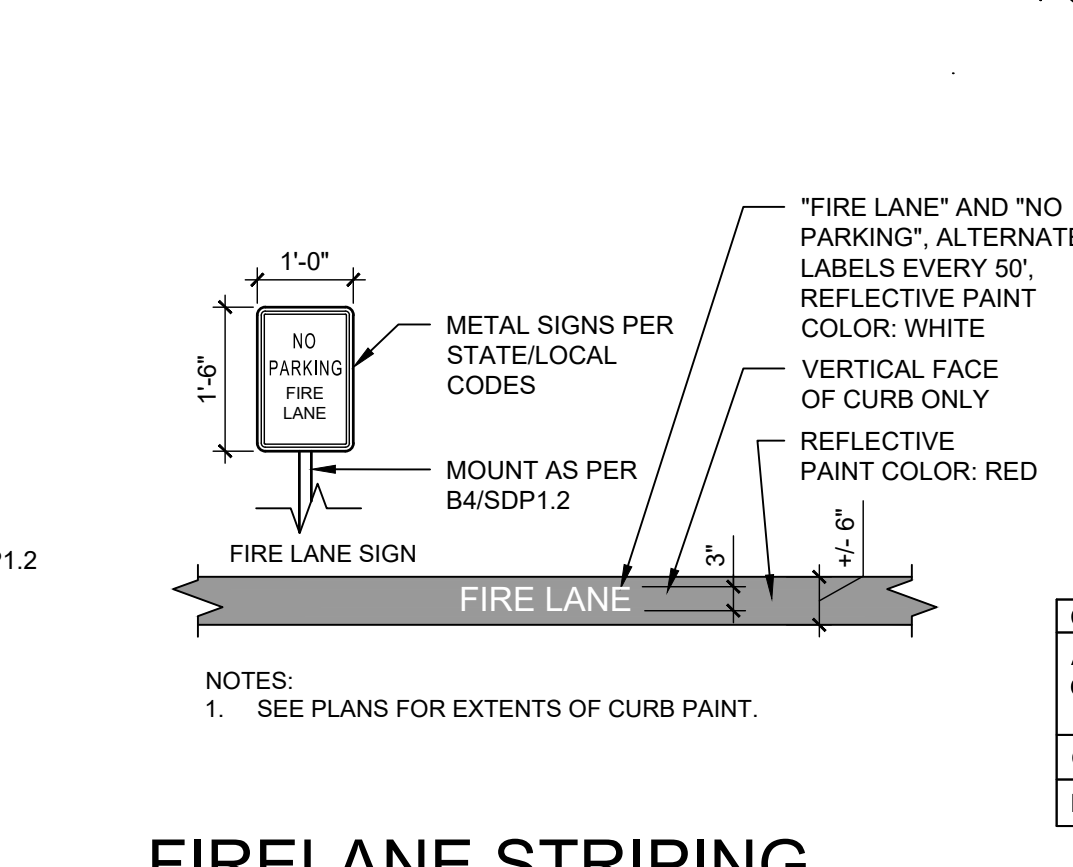
A1 RAMP TRANSITION
1 1/2" = 1'-0"



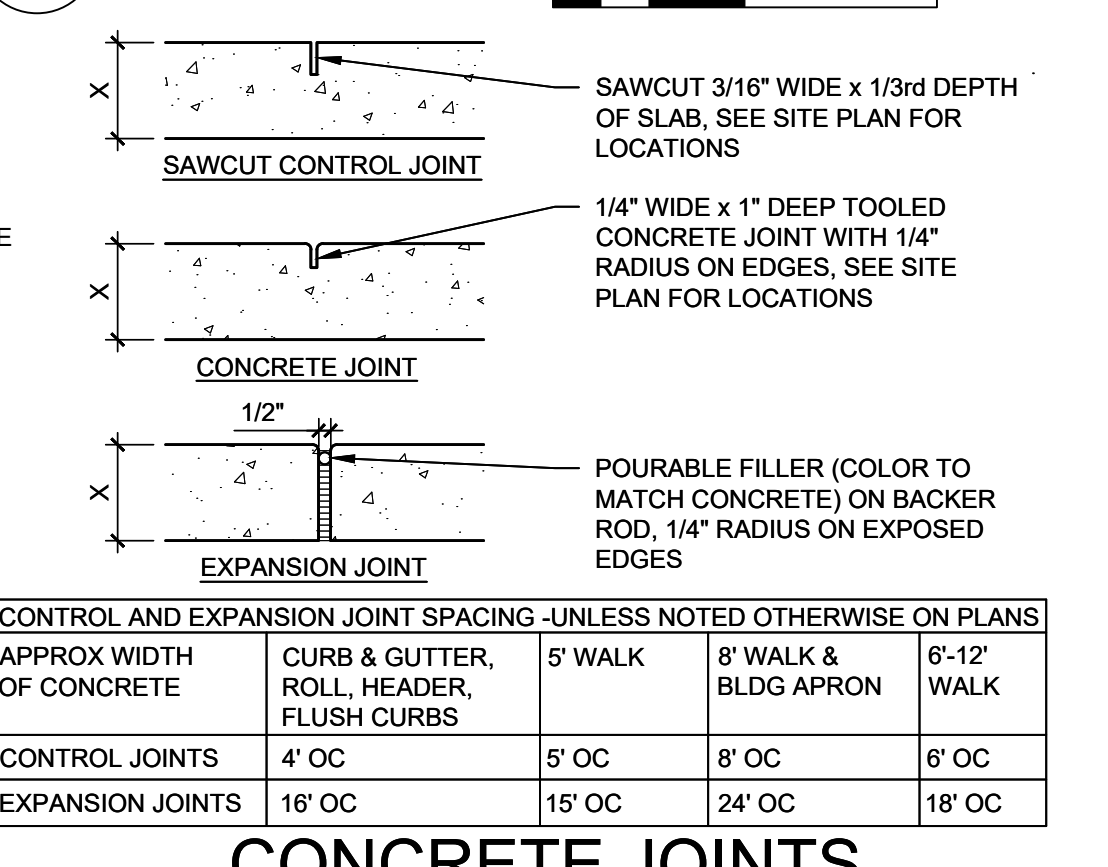
A2 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



A3 ACCESSIBLE PARKING
1/8" = 1'-0"



A4 FIRELANE STRIPING AND SIGNAGE
1/2" = 1'-0"

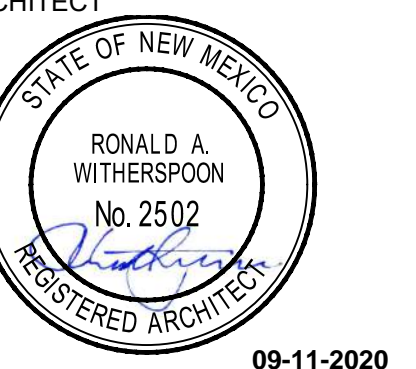


A5 CONCRETE JOINTS & JOINT SPACING
1/2" = 1'-0"

CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION



ARCHITECT

ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

APPLICATION TO DESIGN REVIEW BOARD (DRB)

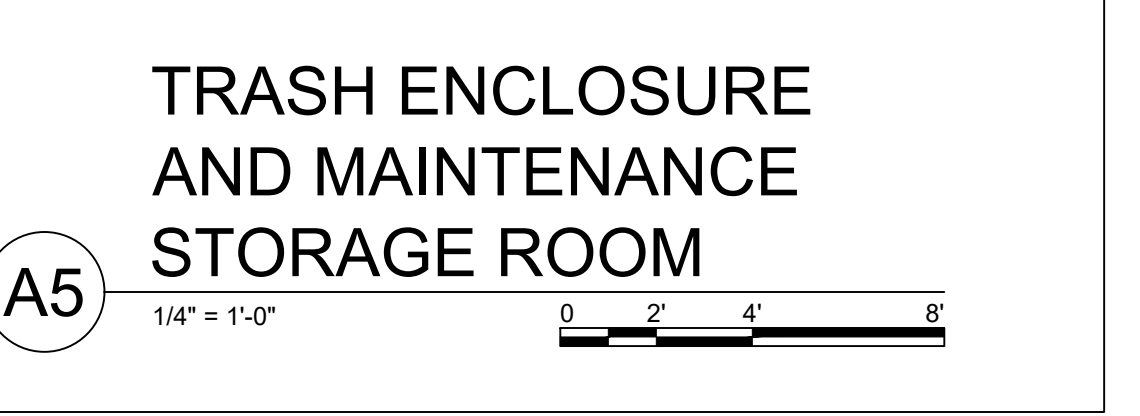
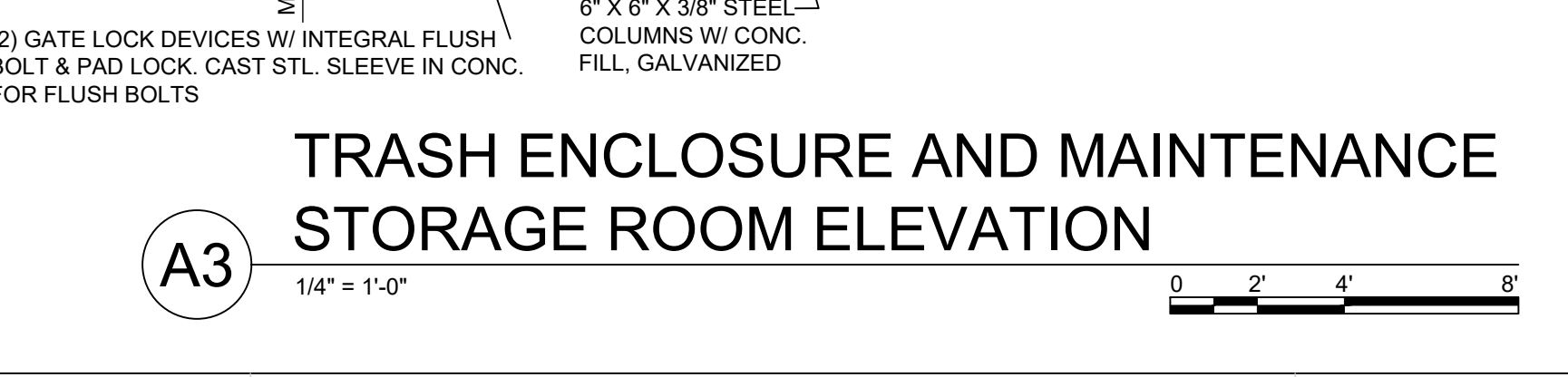
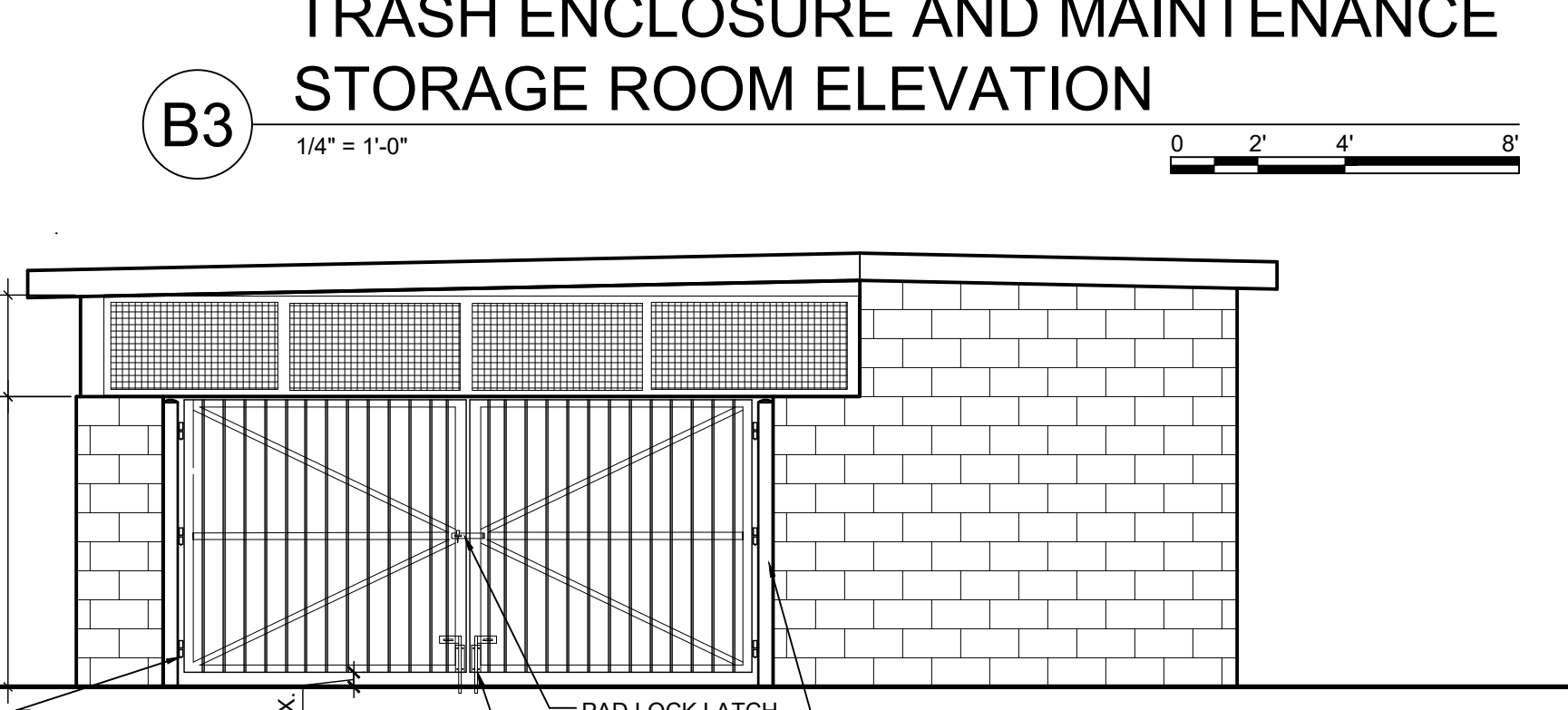
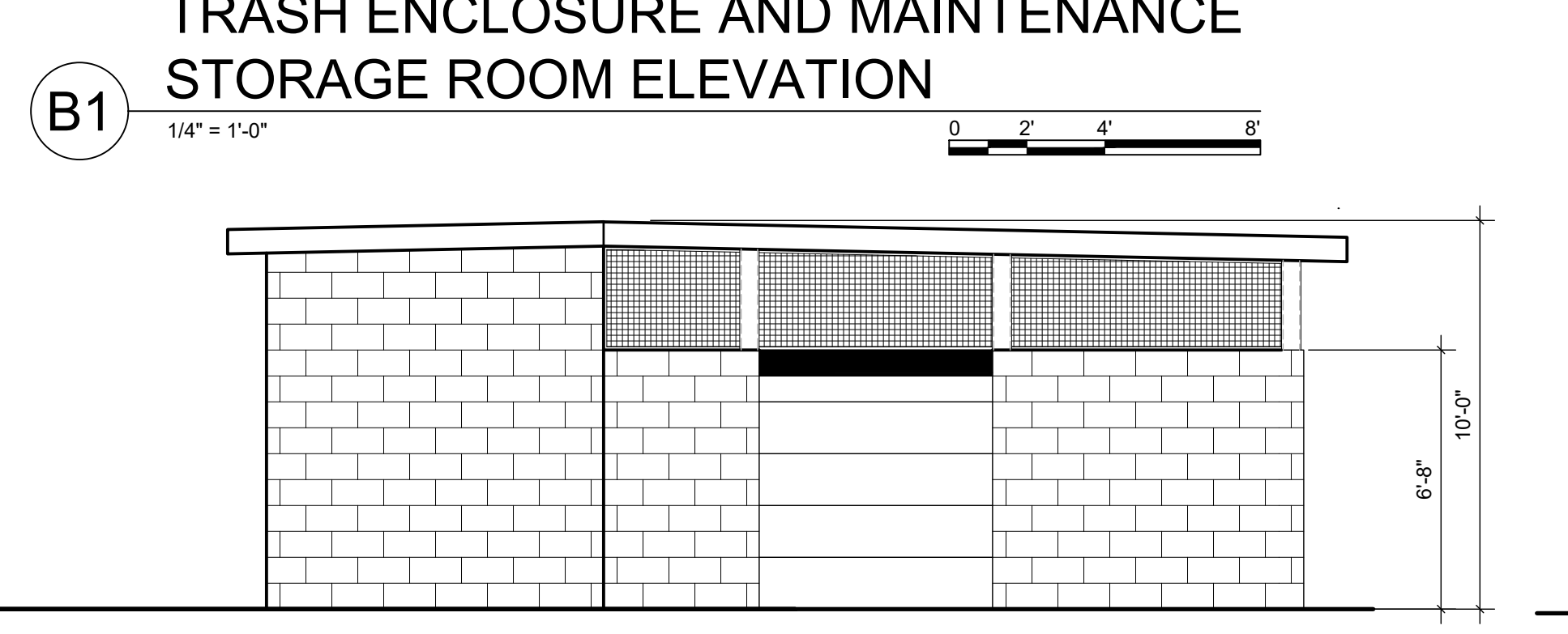
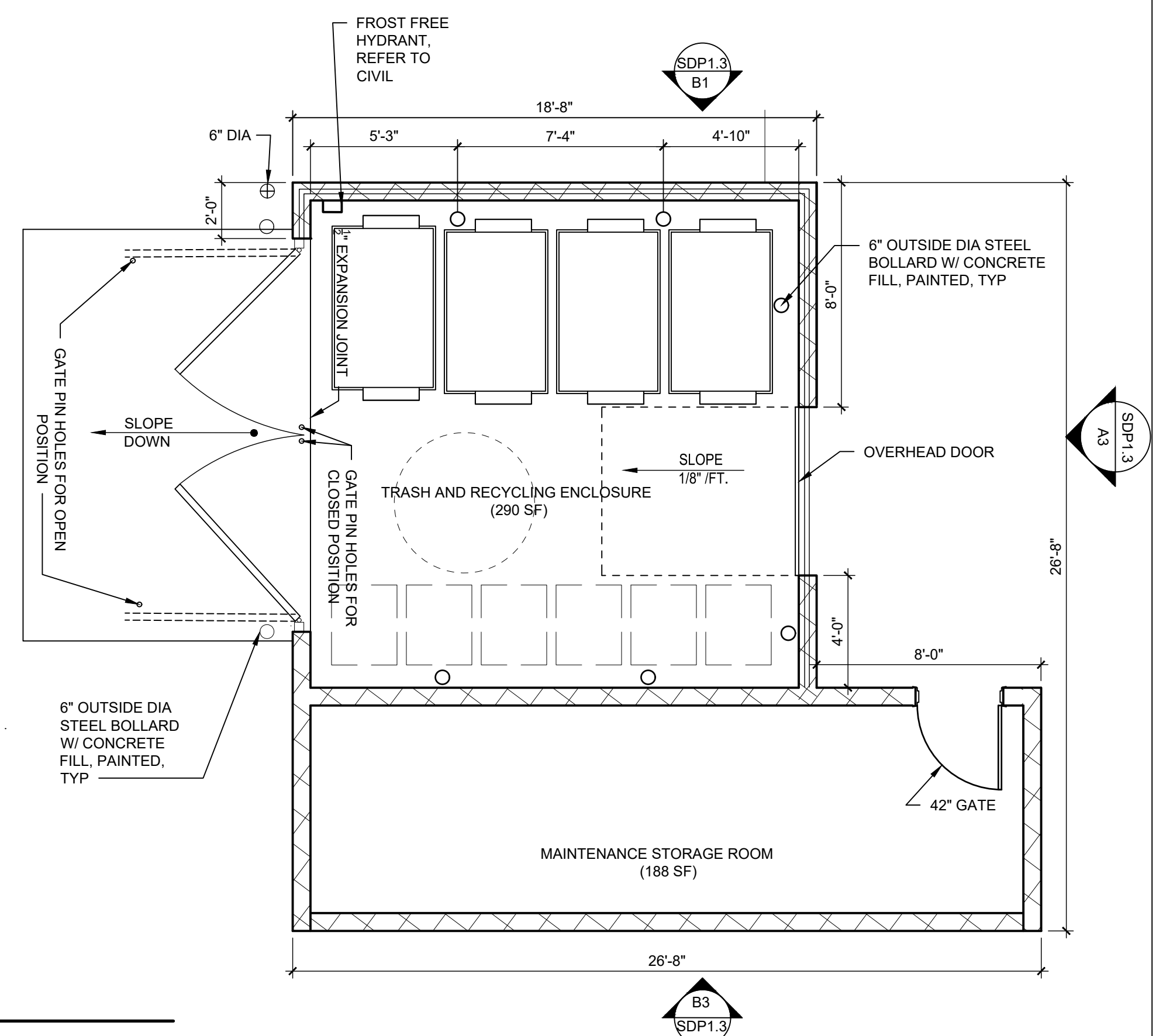
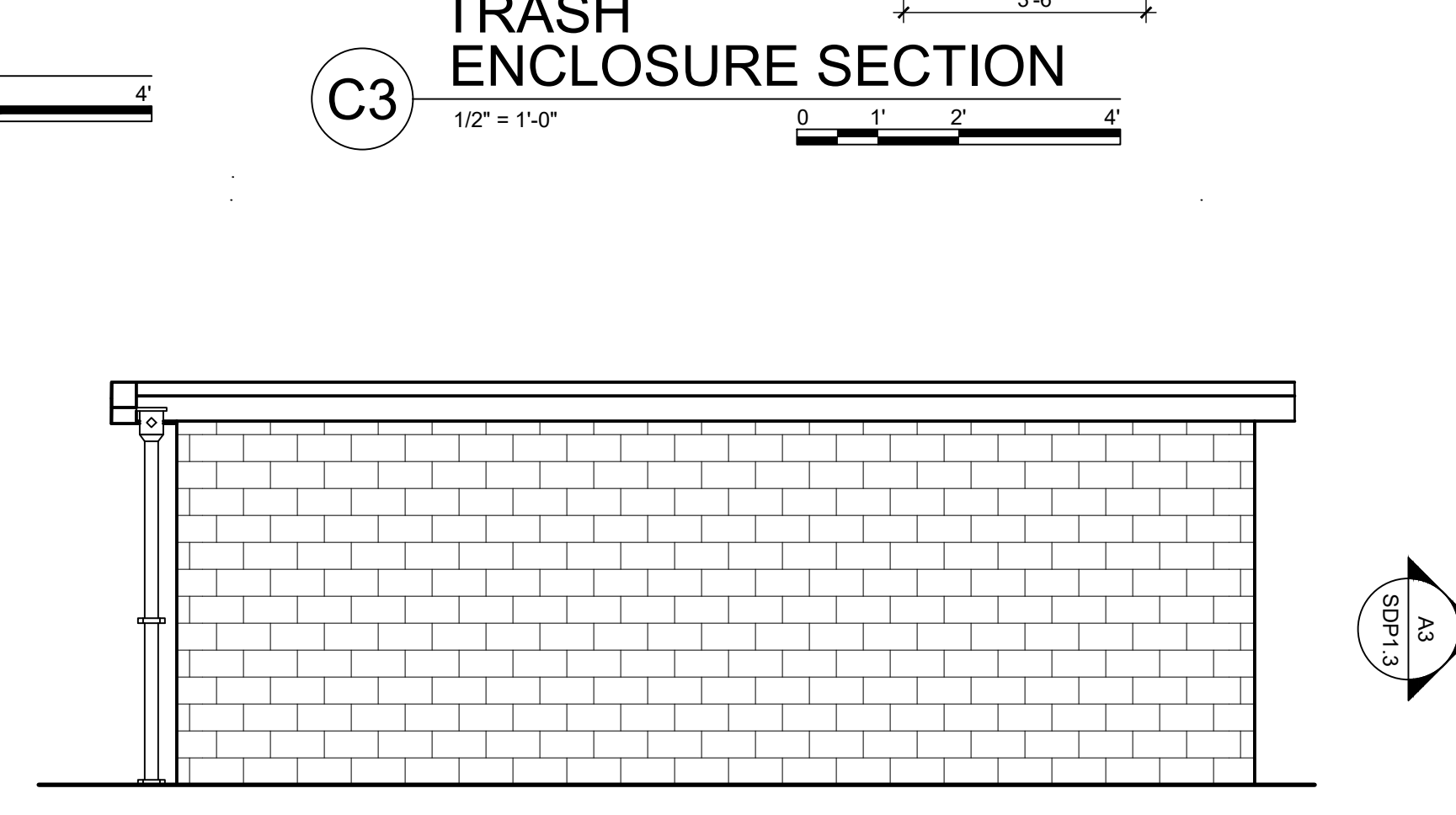
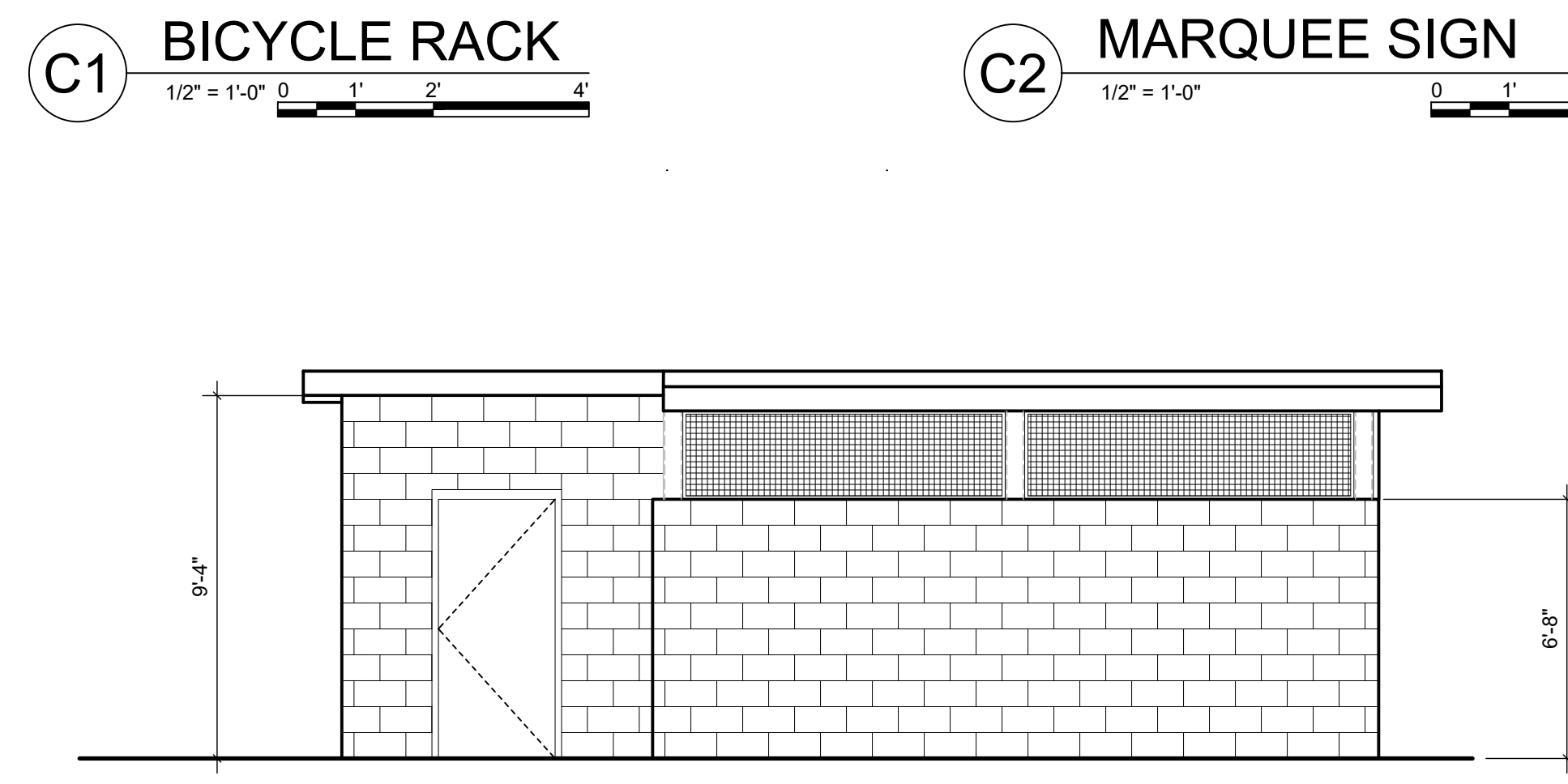
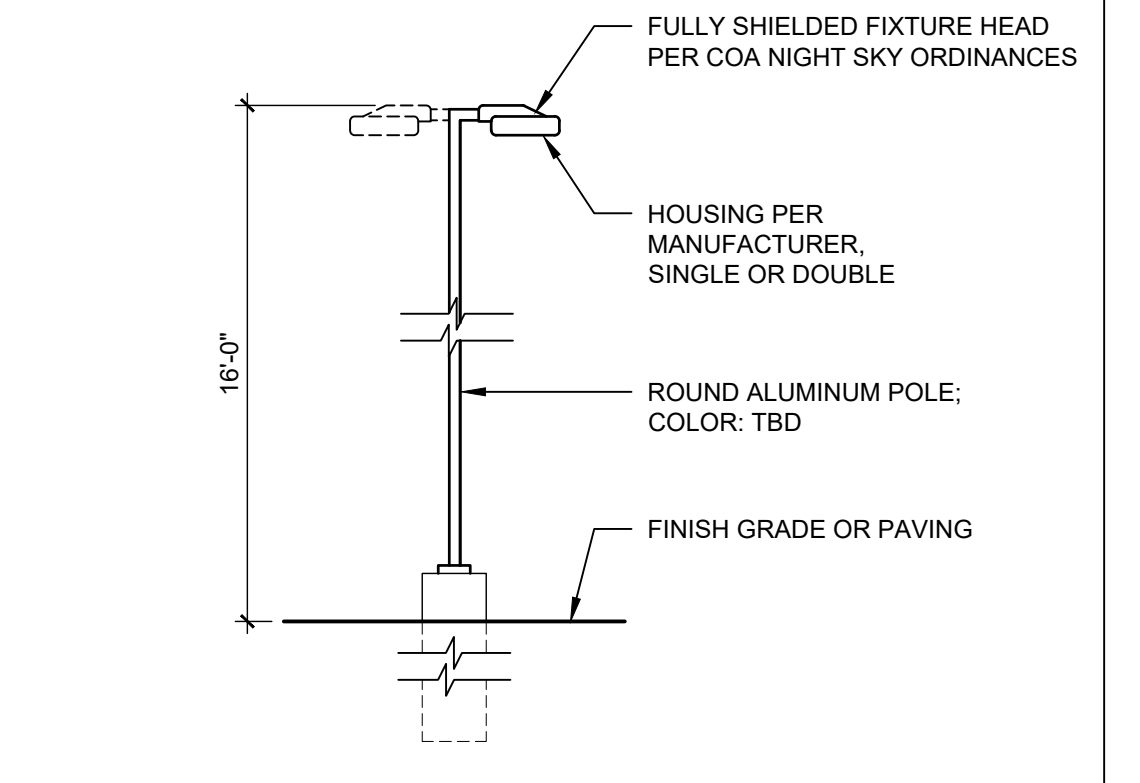
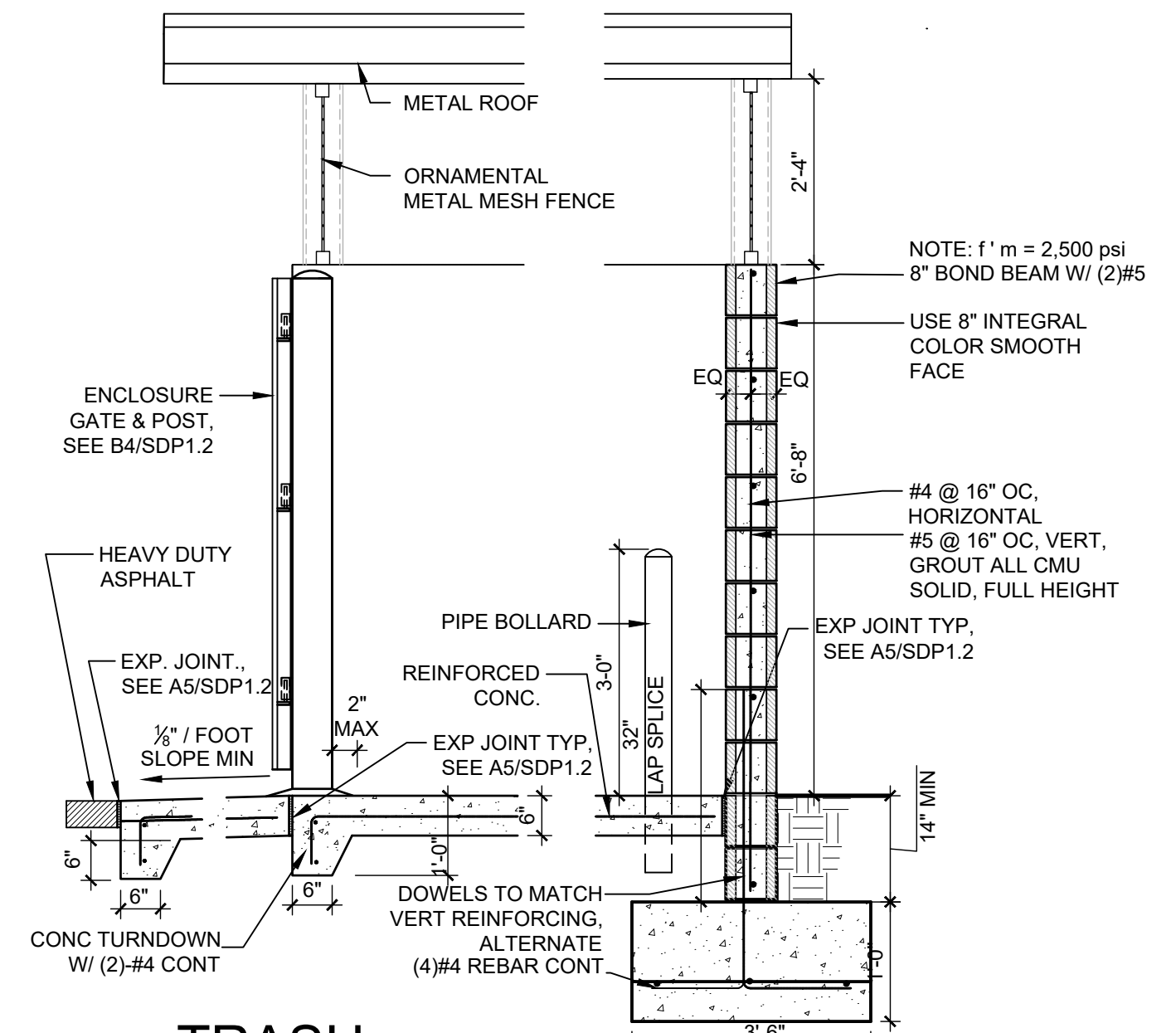
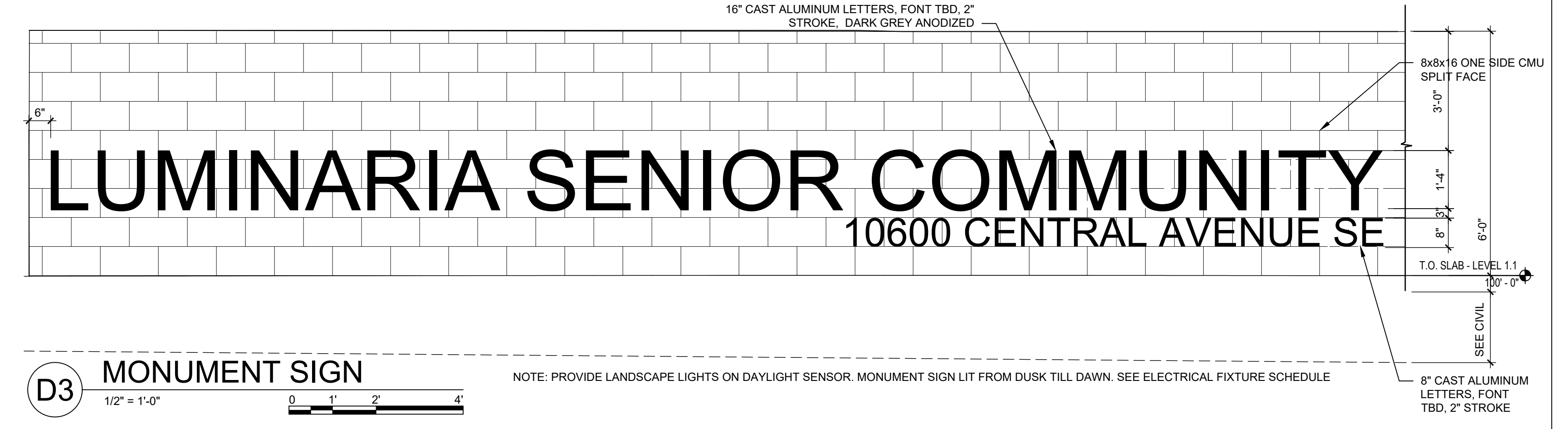
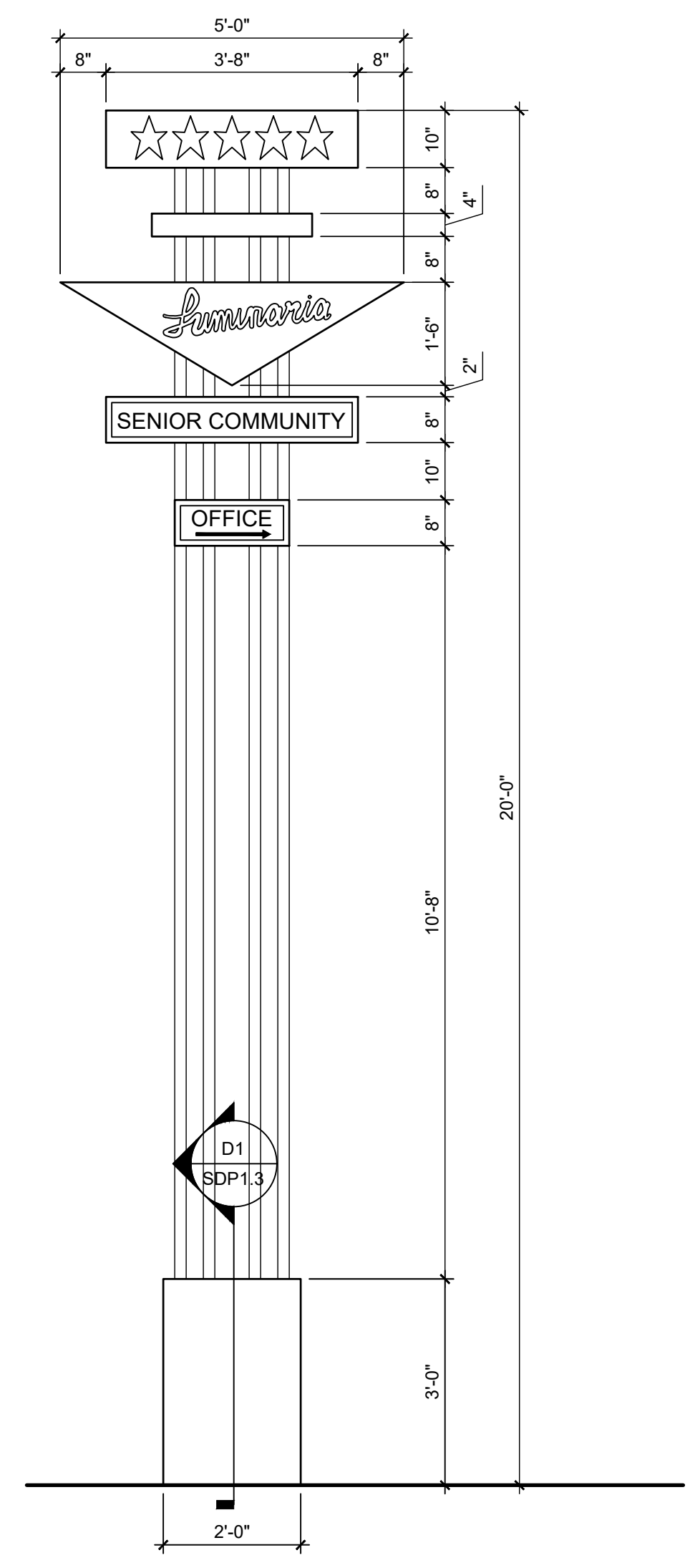
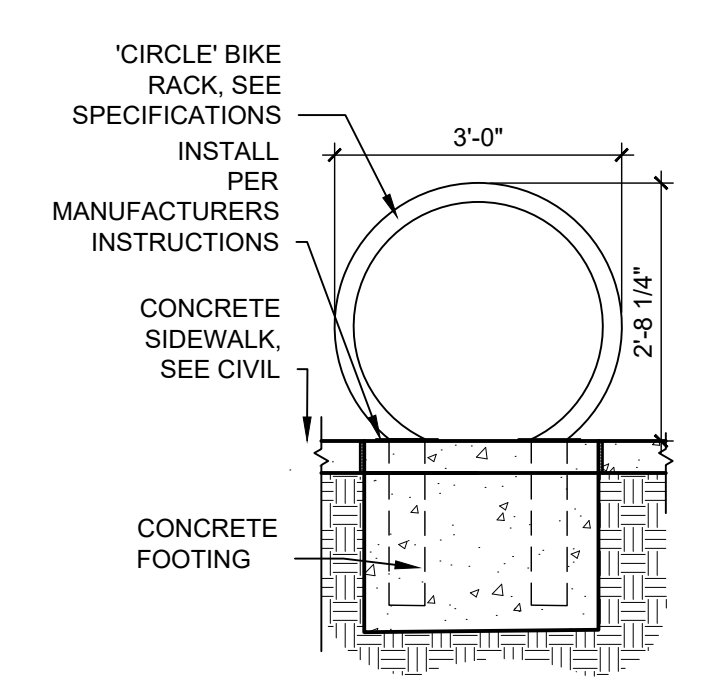
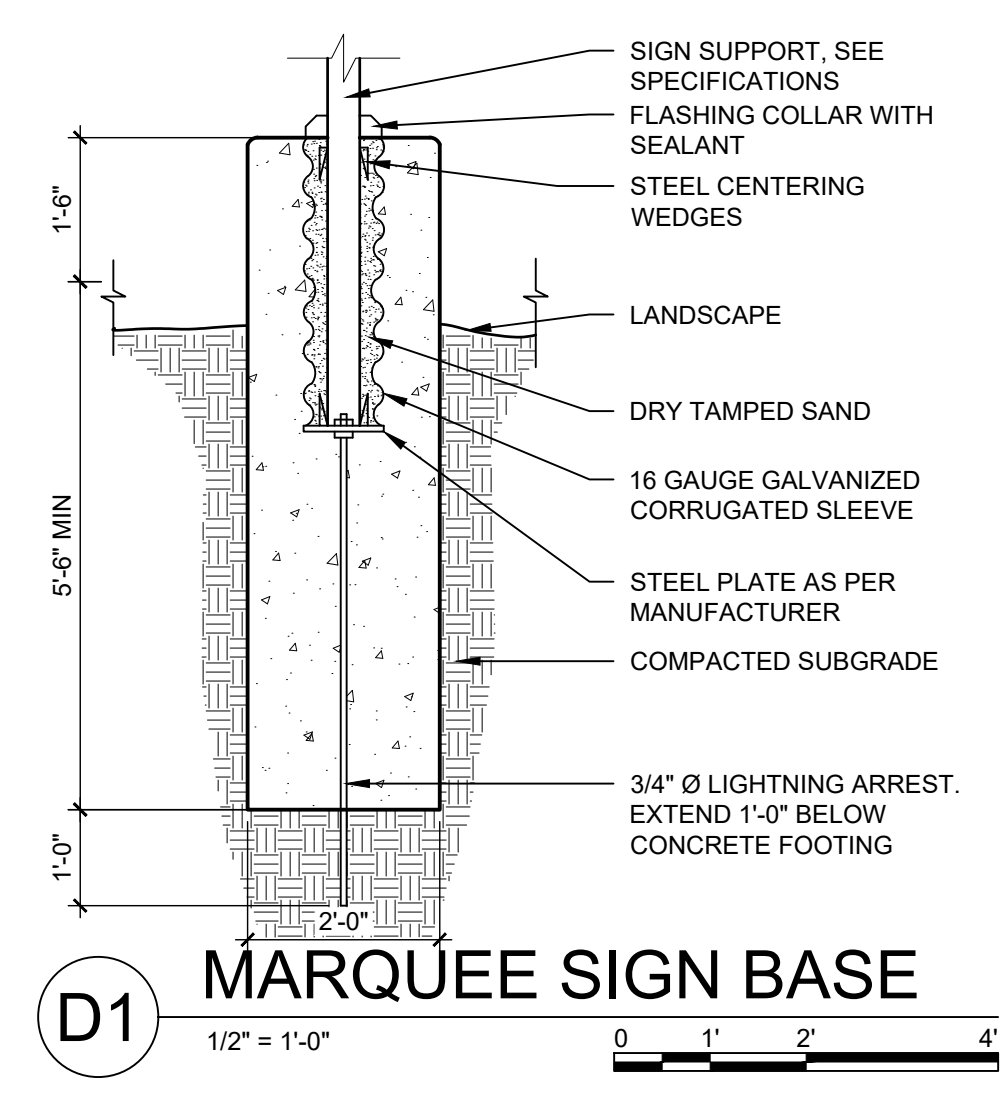
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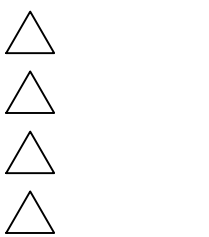
DRAWN BY AG, JF
REVIEWED BY RAW, HFG
DATE 09/11/2020
PROJECT NO. 19-0058
DRAWING NAME

SITE DETAILS

SHEET NO.

SDP1.2





GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- G. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- I. NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

IRRIGATION NOTES

- A. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- C. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- D. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- E. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- F. IRRIGATION TO BE DESIGN-BUILD BY THE CONTRACTOR

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 1.88 AC = 81,829 SF
 AREA OF LOT COVERED BY BUILDINGS = 17,505 SF
 NET LOT AREA = 64,324 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 9,649 SF
 PROVIDED LANDSCAPE AREA = 18,114 SF = 28%
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 85 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 9 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 12 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9 placed at 30' on center (276' of street frontage)
 PROVIDED STREET TREES = 9

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 42 TREES
 1 TREE PER GROUND FLOOR DWELLING UNIT (17) AND 1 TREE PER SECOND-STORY UNIT (25)
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 50 TREES

REQUIRED VEGETATIVE COVERAGE
 REQUIRED GROUND COVERAGE = 13,585 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
 PROVIDED TOTAL GROUND COVERAGE = 5,962 SF = 32% OF TOTAL PROVIDED LS
 TREE CANOPY COVERAGE = 18,434 SF
 GROUND PLANT COVERAGE = 5,962 SF = 43% OF REQUIRED VEGETATIVE COVERAGE

PARKING LOT AREA = 38,112 SF
 PARKING LOT LANDSCAPING PROVIDED = 6,082 SF = 15%
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 12,976 SF = 71%
 TOTAL ORGANIC MULCH GROUND COVER = 5,138 SF = 28%
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

PARKING LOT EDGE LANDSCAPE
 2 TREES AND 6 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.

TREE PLANTING DETAIL

- NOTE:
 1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
 2. PLANT MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.
-
- ROOT FLARE TO BE FLUSH WITH FINISH GRADE. NO MULCH 1"-2" FROM TRUNK FLARE
 - SHREDDED BARK MULCH TO COVER THE EXTENT OF DRIPLINE TO SATISFY 14-16-5-6(C)(5) IDO REQUIREMENT
 - SLOPE GRADE AWAY FROM TRUNK
 - ROTARY TILL PLANT PIT; REMOVE SOIL
 - MULCH PER DRAWINGS
 - WEED BARRIER FABRIC
 - ROUGH-UP SIDES OF PLANTING PIT
 - ROOTBALL ON UNDISTURBED SOIL
- 3 TIMES ROOTBALL DIAMETER

PLANT SCHEDULE

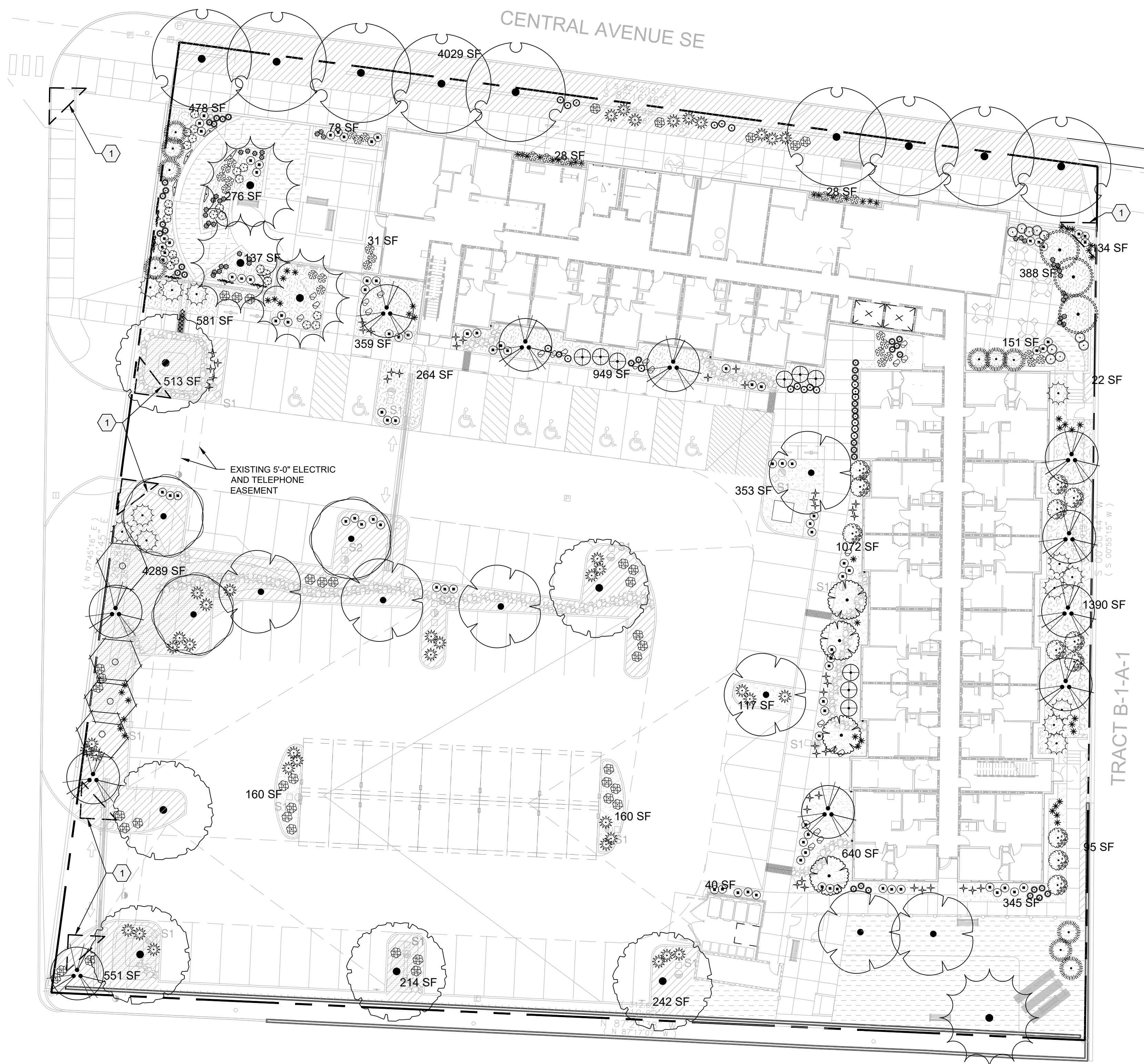
TREES	COMMON NAME
	AUTUMN BLAZE MAPLE
	OKLAHOMA RED BUD
	'BUBBA' DESERT WILLOW
	NEW MEXICO OLIVE
	CHINESE PISTACHE
	CRESTHAVEN PEACH
	BUCKLEY OAK
	CHINKAPIN OAK
	ACCOLADE ELM
SHRUBS	COMMON NAME
	LITTLE LEAF MOUNTAIN MAHOGANY
	LENA BROOM
	DESERT MAHONIA
	CREeping MAHONIA
	LITTLELEAF MOCKORANGE
	GOLDEN BAMBOO
	KNOCKOUT ROSE
DESERT ACCENTS	COMMON NAME
	BRAKELIGHTS RED YUCCA
	TWISTLEAF YUCCA
ORNAMENTAL GRASSES	COMMON NAME
	'BLONDE AMBITION' BLUE GRAMA
	DEER GRASS
PERENNIALS	COMMON NAME
	CHOCOLATE FLOWER
	SISKIYOU PINK GAURA
	KIT CAT CATMINT
	ULTRA VIOLET AUTUMN SAGE
VINES	COMMON NAME
	TANGERINE BEAUTY CROSS VINE
	HIMROD GRAPE

SHEET KEYED NOTES

CODE	DESCRIPTION
1	CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

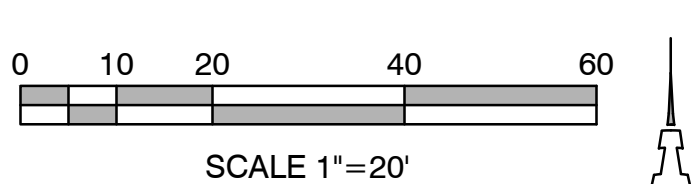
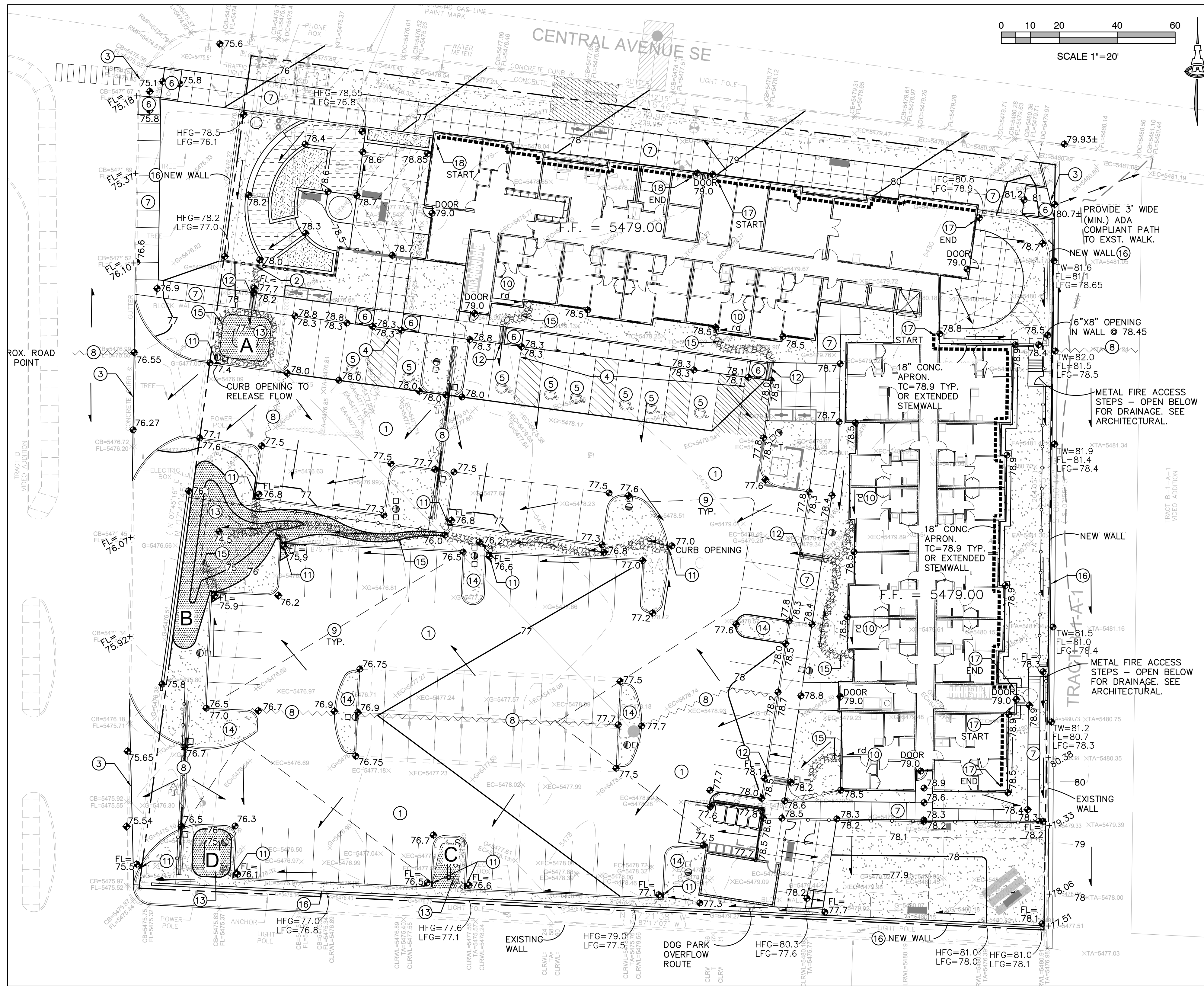
LEGEND

SYMBOL	NOTES	EST QTY
	3/4" Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC	9,955 SF
	CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC	3,020 SF
	SHREDDED BARK MULCH	5,140 SF
	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS, SEE SITE PLAN	
	PROPERTY LINE	



LANDSCAPE PLAN

1" = 20'-0"



KEYED NOTES

1. NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
2. WALL OPENINGS.
3. PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
4. TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA FOR ADA ACCESS.
5. ADA COMPLIANT PARKING AREA.
6. CONSTRUCT ADA COMPLIANT 1:12 MAX. SLOPE ADA COMPLIANT ACCESS RAMP.
7. CONSTRUCT ADA COMPLIANT PEDESTRIAN WALK AT ELEVATIONS SHOWN.
8. HIGH POINT / GRADE BREAK LOCATION.
9. 0.5' DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
10. CONCENTRATED ROOF DISCHARGE DIRECTION.
11. PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW.
12. CONSTRUCT 18" WIDE COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DWG. 2236.
13. CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. STORMWATER QUALITY PONDING VOLUMES MAY BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
14. DEPRESS LANDSCAPING IN FOR GENERAL WATER HARVESTING. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.
15. INSTALL ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED.
16. CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 36" TO ACHIEVE GRADE DIFFERENCE SHOWN. HFG = GRADE ON HIGH SIDE OF WALL; LFG = GRADE ON LOW SIDE OF WALL. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
17. BUILDING RETAINING STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
18. BUILDING EXTENDED STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.

LEGEND

- 5478 --- EXISTING CONTOUR
- 5478.21 EXISTING SPOT ELEVATION
- 77 --- PROPOSED 1.0' CONTOUR
- 77.5 --- PROPOSED 0.5' CONTOUR
- ◆ 77.0 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 5479.00 FINISH FLOOR ELEVATION
- rd ROOF DISCHARGE DIRECTION
- ~ HIGH POINT / GRADE BREAK

STORMWATER QUALITY

STORMWATER QUALITY (SQ) CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH".

REDEVELOPMENT: EXISTING IMPERVIOUS AREA THAT IS BEING REDEVELOPED (REMOVED/REPLACED) IS SUBJECT TO A REDUCED RATE OF 0.26"/SF.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 80% OF TOTAL AREA. (0.8 * 81829) = 65,463 SF. BECAUSE THIS PROPERTY WAS PREVIOUSLY FULLY DEVELOPED, THE REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26" * TYPE 'D' AREA: 0.26/12 * (65,463 SF) = 1,418 CF.

STORMWATER QUALITY RETENTION PONDS WILL BE CONSTRUCTED AS SHOWN.

A DRAINAGE COVENANT WILL BE REQUIRED FOR THE STORMWATER QUALITY FIRST FLUSH PONDS PRIOR TO CERTIFICATE OF OCCUPANCY APPROVAL.

SQ RETENTION POND A			SQ RETENTION POND C		
Contour	Area	Volume	Contour	Area	Volume
5477.7	240		5476.5	120	
5477.0	55	103 CF	5476.0	10	33 CF
POND VOLUME = 103 CF			POND VOLUME = 33 CF		

SQ RETENTION POND B			SQ RETENTION POND D		
Contour	Area	Volume	Contour	Area	Volume
5476.0	1445		5476.0	200	
5474.5	277	1292 CF	5475.0	40	120 CF
POND VOLUME = 1292 CF			POND VOLUME = 120 CF		

VICINITY MAP L-21



PROJECT DATA

PROPERTY: THE SITE IS FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN COA VICINITY MAP B-13. THE SITE IS BOUND TO THE EAST, SOUTH AND WEST BY COMMERCIAL PROPERTY (HOME DEPOT), AND TO THE NORTH BY CENTRAL AVE. NE.

PROPOSED IMPROVEMENTS: THE PROPERTY WAS PREVIOUSLY A MOBILE HOME PARK WITH COMMUNITY CENTER, PAVED PARKING AND ASSOCIATED SITE IMPROVEMENTS. THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF MULTI-FAMILY HOUSING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT "C" VIDEO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 5-K20", HAVING AN ELEVATION OF 5429.99, NAVD 1988.

OFF-SITE: MINOR OFF-SITE DRAINAGE FROM THE EAST DRIVE WILL BE REDIRECTED SOUTH.

FLOOD HAZARD: PER F.E.M.A. FLOOD MAP #35001C0359G, EFF: 9/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT:

THIS PROPERTY IS INCLUDED AS 'PHASE III' IN THE APPROVED HOME DEPOT DRAINAGE REPORT DATED APRIL 28, 1994 (L21/D45) PREPARED BY TERRA WEST. THE TRACT FALLS WITHIN DRAINAGE BASIN B DESIGNATED TO DRAIN TO THE EXISTING HOME DEPOT PARKING LOT DETENTION POND #1 WITH ORIFICE CONTROLLED DISCHARGE TO THE PUBLIC STORM DRAIN SYSTEM IN EUBANK BLVD. THE TOTAL PROPERTY (16.38 ACRES) HAS A FULLY DEVELOPED RUNOFF OF 78.16 CFS OR 4.77 CFS/ACRE.

TRACT C IS 1.879 ACRES * 4.77 CFS/ACRE = 9.0 CFS ALLOWABLE DISCHARGE. BASED ON CONCEPTUAL CALCULATIONS, THE PROPERTY WITH ANTICIPATED LAND TREATMENT RATIO OF 0.26", 10%, 10%, 10%, 80% WILL GENERATE 8.7 CFS DURING THE 100-YEAR 6-HOUR DESIGN STORM < 9.0 CFS ALLOWABLE.

POND #1 WATER SURFACE ELEVATION = 5467.75 (1929 DATUM) = APPROX. 5470.45 BASED ON 2.7' ADJUSTMENT TO 1988 DATUM.

THE PLAT INCLUDES THE FOLLOWING REGARDING CROSS-LOT DRAINAGE: "THE OWNER OF TRACT B1 AND THE OWNER OF TRACTS C AND D EACH GRANT TO THE OTHER RECIPROCAL EASEMENTS FOR STORM DRAINAGE FLOWS ON AND OVER TRACT B1 FOR THE BENEFIT OF TRACTS C AND D AND ON AND OVER TRACTS C AND D FOR THE BENEFIT OF TRACT B1."

SURVEYOR: ANTHONY L. HARRIS, N.M.P.S.#11463
THE SURVEY OFFICE, LLC
333 LOMAS BOULEVARD N.E.
ALBUQUERQUE, NM, 87102
(505) 998-0303

ENGINEER: FRED C. ARFMAN, N.M.P.E. #7322
ISAACSON & ARFMAN, INC.
128 MONROE N.E.
ALBUQUERQUE, NM, 87108
(505) 268-8828

ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

CALCULATIONS: 2374 - LUMINARIA SENIOR LIVING : June 17, 2020
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE:	81829 SF	=	1.8785 ACRE
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HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:
Treatment SF	%	Treatment SF	%	
Area A = 0	0%	Area A = 0	0%	Precip. Zone 3 E _A = 0.66 E _B = 0.92 E _C = 1.29 E _D = 2.36
Area B = 4091	5%	Area B = 8183	10%	
Area C = 45006	55%	Area C = 8183	10%	
Area D = 32732	40%	Area D = 65463	80%	
Total Area = 81829	100%	Total Area = 81829	100%	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted } E = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Historic E = 1.70 in. | Developed E = 2.11 in.

On-Site Volume of Runoff: $V_{360} = E^* A / 12$

Historic $V_{360} = 11589$ CF | Developed $V_{360} = 14381$ CF

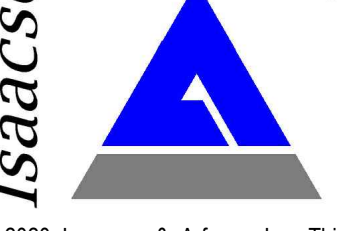
On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$

For Precipitation Zone 3

$Q_{pA} = 1.87$	$Q_{pC} = 3.45$
$Q_{pB} = 2.60$	$Q_{pD} = 5.02$

Historic $Q_p = 7.6$ CFS | Developed $Q_p = 8.7$ CFS

Isaacson & Arfman, Inc.
Civil Engineering Consultants



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2374 CG-101
9/10/2020

NOT APPROVED FOR CONSTRUCTION

Engineer

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

PROJECT STATUS:	90% CONSTRUCTION DOCUMENTS
PROJECT NUMBER:	19-0058
IA PROJECT NUMBER:	2374
DRAWN BY:	B/B
CHECKED BY:	FCA
DATE:	08/28/2020

No	Date	Description

SHEET TITLE

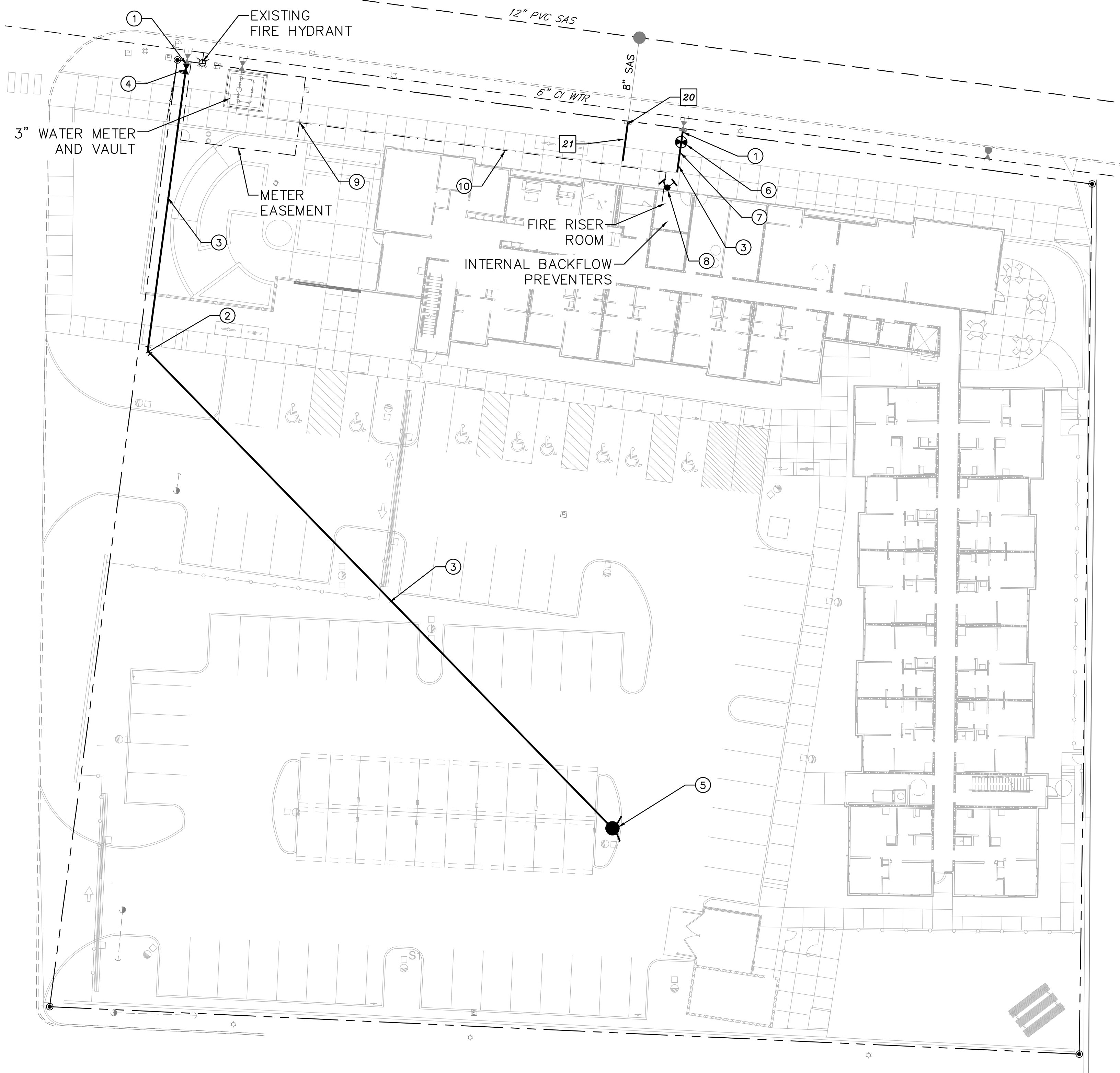
Grading & Drainage Plan

SHEET NUMBER

CG-101

CENTRAL AVE SE

PRIVATE FIRE LINES, FIRE HYDRANT AND 3" METER WITH VAULT CONNECTIONS TO PUBLIC WATERLINE AND SEWER MANHOLE ON EXISTING SEWER MAIN TO BE CONSTRUCTED UNDER COA/ABCWUA WORK ORDER.

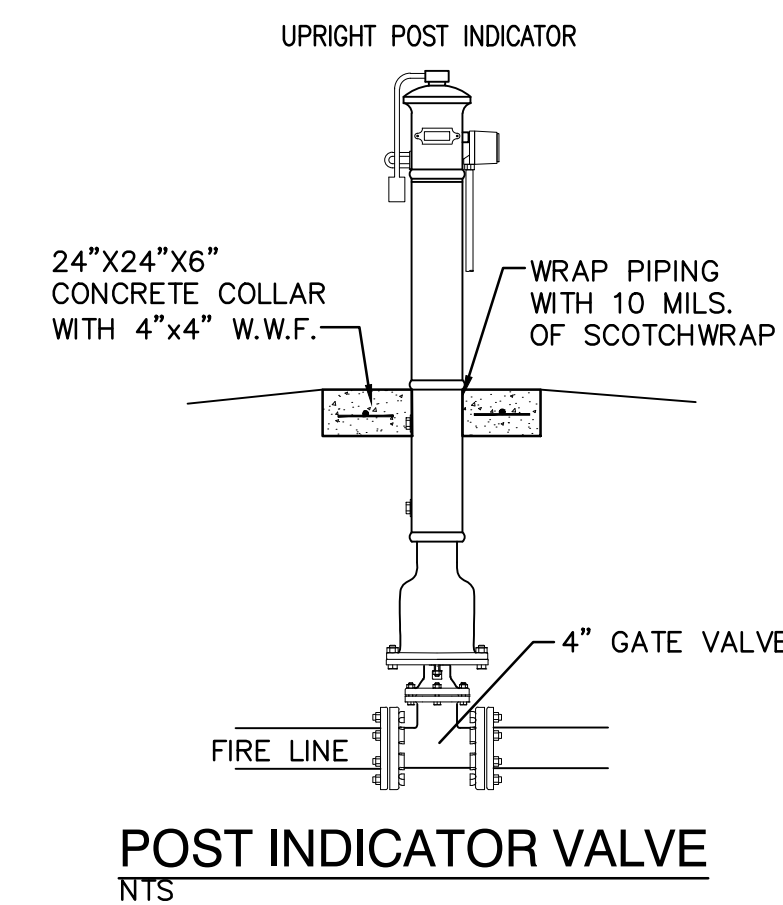


KEYED NOTES

- WATER KEYED NOTES**
1. REMOVE EXISTING CAP AND CONNECT NEW WATERLINE.
 2. 6" 45° BEND. (LT=6')
 3. 6" WATERLINE.
 4. 6" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=46')
 5. FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
 6. PIV (POST INDICATOR VALVE).
 7. 3/4" CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
 8. WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
 9. REMOVE EXISTING 3" CAP AND CONNECT NEW 3" WATER SERVICE LINE.
 10. 3" WATER SERVICE LINE.

SEWER KEYED NOTES

20. REMOVE 8" PLUG AND CONNECT NEW 6" SAS SERVICE LINE.
21. 8" SANITARY SEWER SERVICE AT 2% MIN. SLOPE



GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
4. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

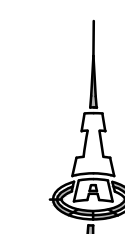
RESTRAINED JOINT CRITERIA

FOR WATERLINE FITTINGS

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.50
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS; GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

LEGEND

- - - w - - - EXISTING WATERLINE
- - - X - - - EXISTING FIRE HYDRANT
- - - X - - - EXISTING WATER VALVE
- - - - - EXISTING SEWER LINE
- - - (S) - - - EXISTING SEWER MANHOLE
- — — NEW FIRE LINE
- NEW FIRE HYDRANT
- NEW WATER VALVE
- NEW FDC
- NEW PIV
- — — NEW SEWER LINE



0 10 20 40 60
 SCALE 1"=20'

Engineer

LUMINARIA SENIOR COMMUNITY
 10600 CENTRAL AVE SE
 ALBUQUERQUE, NM 87123

PROJECT STATUS:	90% CONSTRUCTION DOCUMENTS
PROJECT NUMBER:	19-0058
IA PROJECT NUMBER:	2374
DRAWN BY:	DC
CHECKED BY:	FCA
DATE:	08/28/2020

No	Date	Description

SHEET TITLE

Utility Plan

SHEET NUMBER

CU-101





09-11-2020

SEAL

PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87123

APPLICATION TO
DESIGN REVIEW
BOARD (DRB)

REVISIONS



DRAWN BY JF, BH, PMG

REVIEWED BY HFG, RAW

DATE 09/11/2020

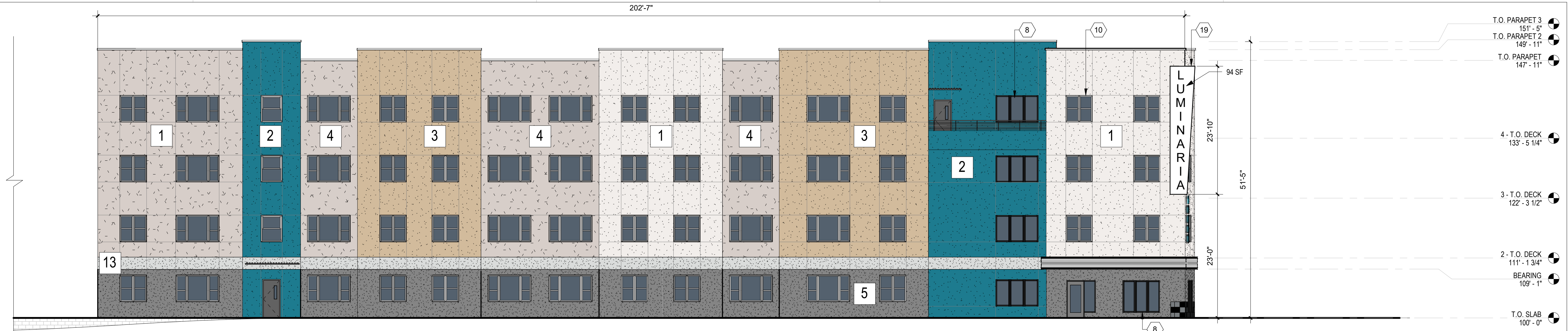
PROJECT NO: 19-0058

DRAWING NAME

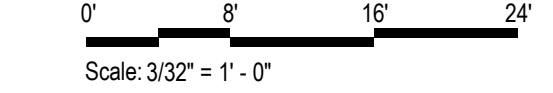
EXTERIOR
ELEVATIONS

SHEET NO

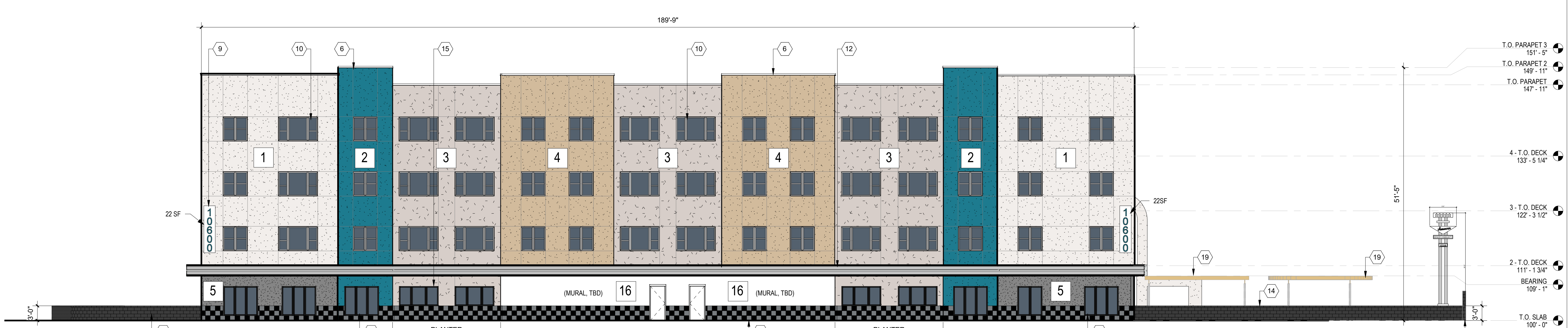
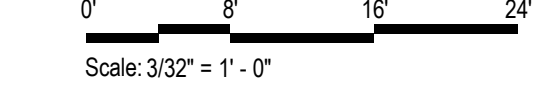
SDP5.1



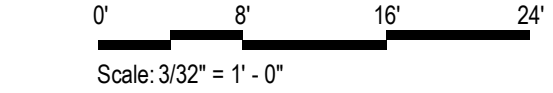
D5 EAST ELEVATION - WITHOUT PERIMETER FENCE
3/32" = 1'-0"



B5 EAST ELEVATION - WITH PERIMETER FENCE
3/32" = 1'-0"



A5 NORTH ELEVATION - CENTRAL AVENUE
3/32" = 1'-0"



GENERAL SHEET NOTES

A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.

B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.

C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.

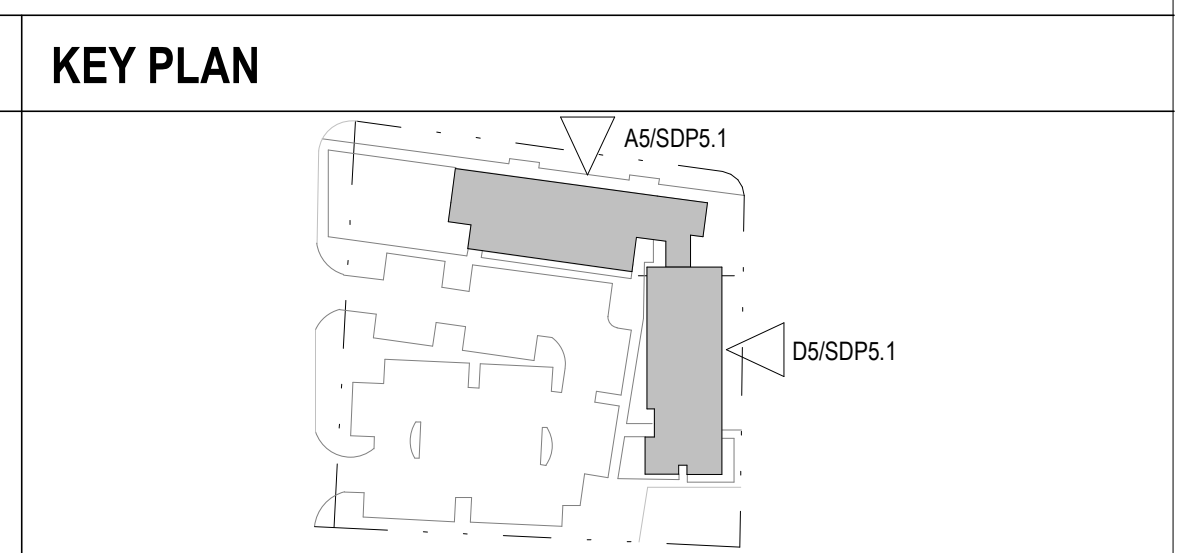
D. ALL IDO REQUIREMENTS FROM SECTION 5-11(E)(2) ARE MET; REF: SDP1.1

REFERENCE KEYNOTES

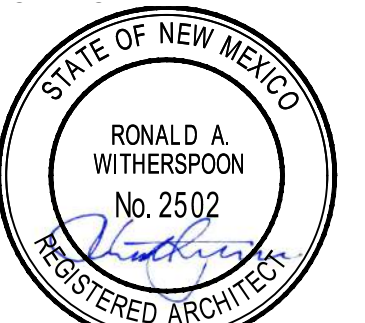
1. STUCCO FINISH COLOR #1 _SNOW MOUNT
2. STUCCO FINISH COLOR #2 _BERMUDA
3. STUCCO FINISH COLOR #3 _ELUSION
4. STUCCO FINISH COLOR #4 _GAIA
5. STUCCO FINISH COLOR #5 _DOVER GREY
6. METAL COPING
7. GUARDRAIL AT ROOFTOP TERRACE
8. COMPOSITE WINDOWS
9. BUILDING IDENTIFICATION SIGNAGE
10. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
11. ORNAMENTAL FENCE
12. ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.
13. STUCCO FINISH COLOR #6 _THIN ICE
14. SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL.
15. TILE WAJNSCOT
16. WALL MURAL
17. DOWNSPOUT
18. EXISTING CMU SITE WALL TO REMAIN
19. SHADE STRUCTURE PERGOLA

LEGEND

	STUCCO_COLOR #1 SNOWY MOUNT		STUCCO_COLOR #4 GAIA
	STUCCO_COLOR #2 BERMUDA		STUCCO_COLOR #5 DOVER GREY
	STUCCO_COLOR #3 ELUSION		STUCCO_COLOR #6 THIN ICE



8/28/2020 11:30:56 AM



09-11-2020

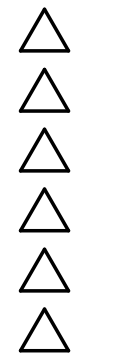
SEAL

PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87123

APPLICATION TO
DESIGN REVIEW
BOARD (DRB)

REVISIONS



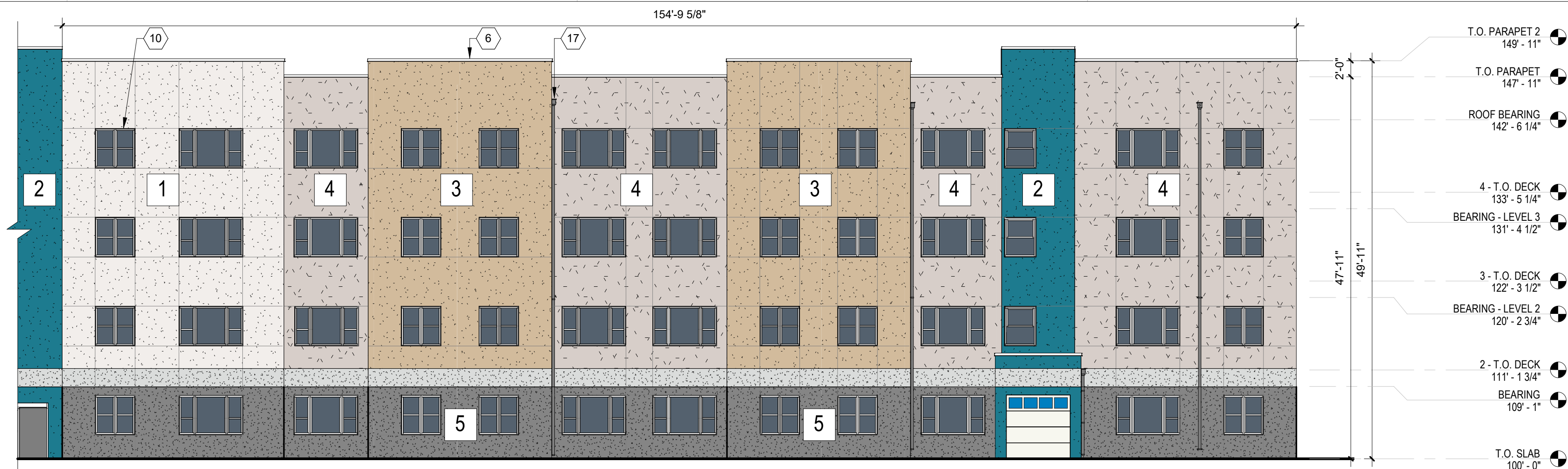
DRAWN BY: JF
REVIEWED BY: HFG, RAW
DATE: 09/11/2020
PROJECT NO: 19-0058

DRAWING NAME

EXTERIOR
ELEVATIONS

SHEET NO

SDP5.2



**5C WEST INTERIOR ELEVATION - FACING
PARKING COURT**
Scale: 3/32" = 1'-0"



3B WEST ELEVATION - END OF NORTH WING
Scale: 3/32" = 1'-0"



5B SOUTH ELEVATION - END OF EAST WING
Scale: 3/32" = 1'-0"



**5A SOUTH INTERIOR ELEVATION - FACING
PARKING COURT**
Scale: 3/32" = 1'-0"

GENERAL SHEET NOTES

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD. UNLESS NOTED OTHERWISE.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS FROM SECTION 5-11(E)(2) ARE MET; REF: SDP1.1

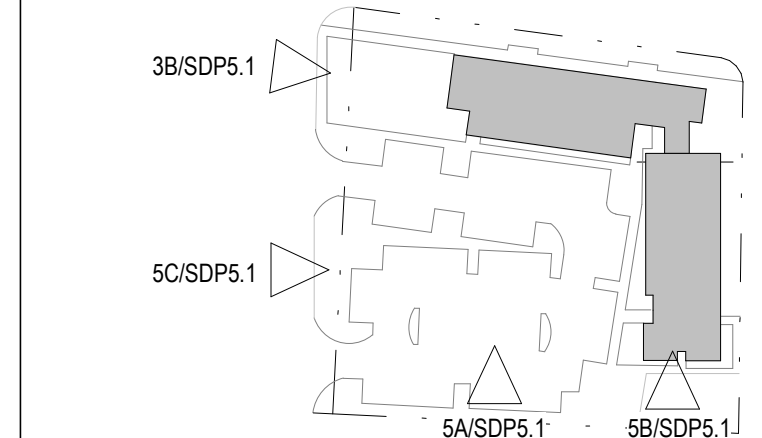
REFERENCE KEYNOTES

- 1. STUCCO FINISH COLOR #1 _SNOW MOUNT
- 2. STUCCO FINISH COLOR #2 _BERMUDA
- 3. STUCCO FINISH COLOR #3 _ELUSION
- 4. STUCCO FINISH COLOR #4 _GAIA
- 5. STUCCO FINISH COLOR #5 _DOVER GREY
- 6. METAL COPING
- 7. GUARDRAIL AT ROOFTOP TERRACE
- 8. COMPOSITE WINDOWS
- 9. BUILDING IDENTIFICATION SIGNAGE
- 10. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
- 11. ORNAMENTAL FENCE
- 12. ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.
- 13. STUCCO FINISH COLOR #6 _THIN ICE
- 14. SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL.
- 15. TILE WAINSCOT
- 16. WALL MURAL
- 17. DOWNSPOUT
- 18. EXISTING CMU SITE WALL TO REMAIN
- 19. SHADE STRUCTURE PERGOLA

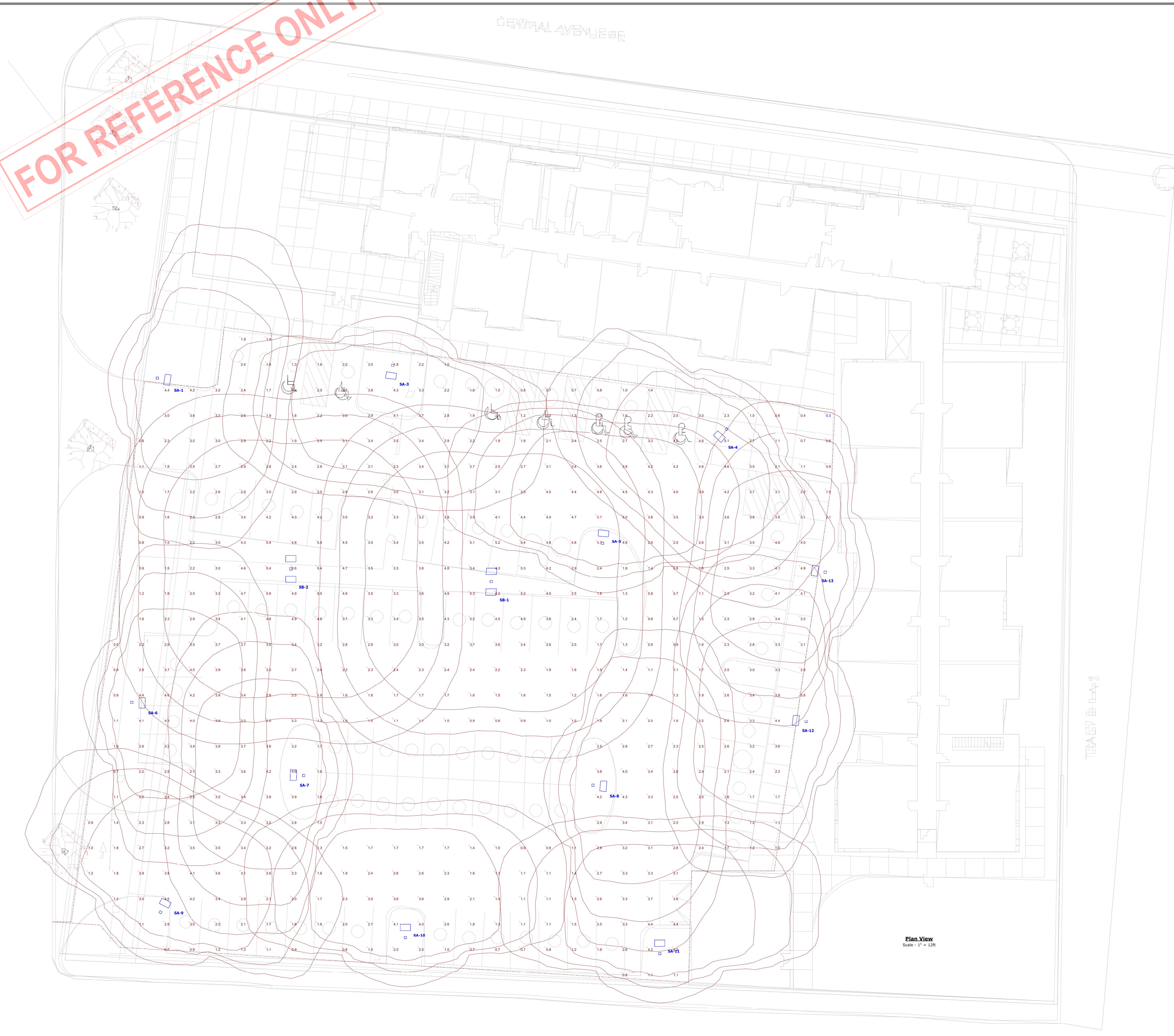
LEGEND

	STUCCO_COLOR #1 SNOW MOUNT		STUCCO_COLOR #4 GAIA
	STUCCO_COLOR #2 BERMUDA		STUCCO_COLOR #5 DOVER GREY
	STUCCO_COLOR #3 ELUSION		STUCCO_COLOR #6 THIN ICE

KEY PLAN



FOR REFERENCE ONLY



...LUMINARIA SITE LIGHTING...

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	2.7 fc	5.7 fc	0.3 fc	19.0:1	9.0:1

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
SA	SA		12	Lithonia Lighting	DSX0 LED P3 40K T4M MVOLT HS	DSX0 LED P3 40K T4M MVOLT with houside shield	LED	1	DSX0_LED_P3_40K_T4M_MVOL_T_HS.ies	6417	1	1	71	100%	TYPE III, SHORT, BUG RATING: B1 - U0 - G2		
SB	SB		2	Lithonia Lighting	DSX0 LED P3 40K T5M MVOLT	DSX0 LED P3 40K T5M MVOLT	LED	1	DSX0_LED_P3_40K_T5M_MVOL_T.ies	8770	1	1	142	100%	TYPE VS, BUG RATING: B3 - U0 - G2		

Note
 1. CALCULATION ZONES SET AT GRADE LEVEL.
 2. ALL "SA" AND "SB" FIXTURES MOUNTED AT 16' OVERALL, 13' POLE ON A 3' CONCRETE BASE.
 3. ALL "SC" FIXTURES (BOLLARDS) MOUNTED AT 3' ABOVE GRADE.



Designer
 Date: 7/28/2020
 Scale: Not to Scale
 Drawing No.
 Summary
 1 of 1

**DEKKER
 PERICH
 SABATINI**

ARCHITECTURE
 DESIGN
 INSPIRATION

ARCHITECT

ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY
 10600 CENTRAL AVE SE
 ALBUQUERQUE, NM 87123

APPLICATION TO
 DESIGN REVIEW
 BOARD (DRB)

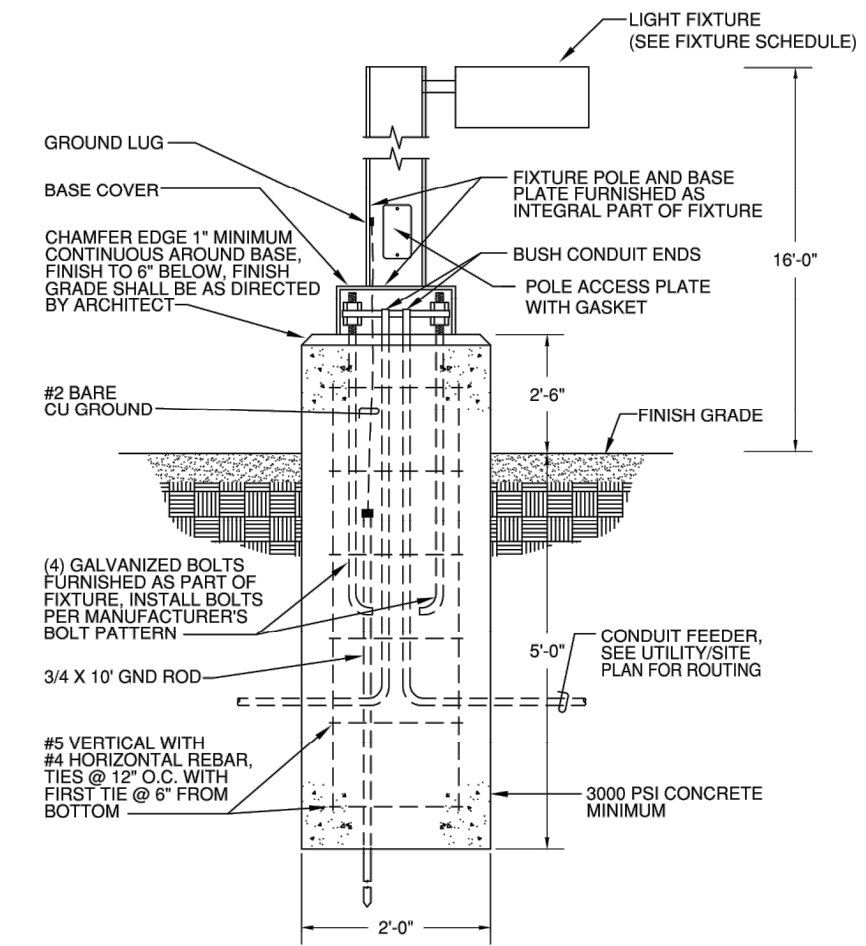
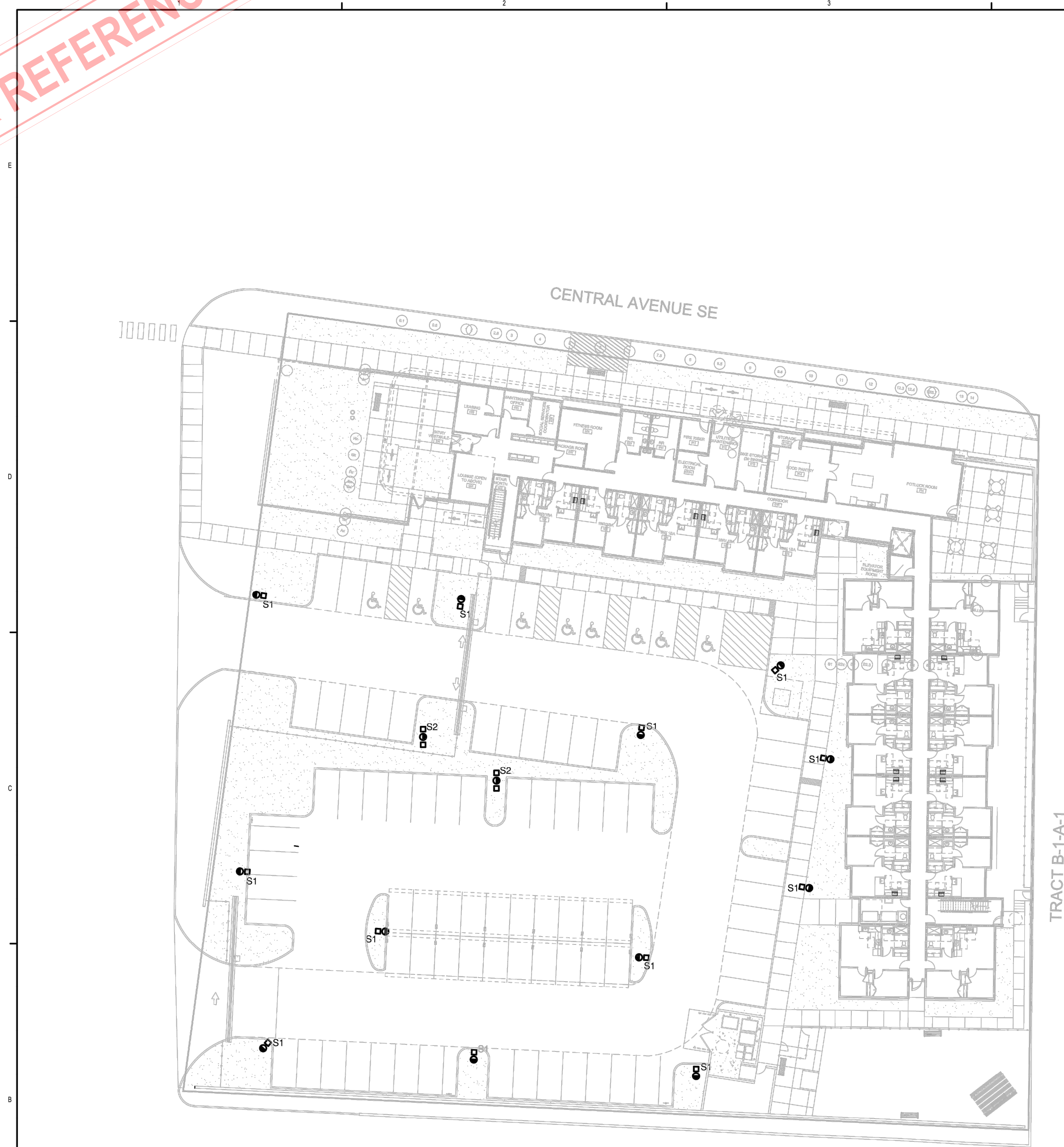
REVISIONS
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DRAWN BY: AG, JF
 REVIEWED BY: RAW, JM
 DATE: 08/28/2020
 PROJECT NO.: 19-0058
 DRAWING NAME:

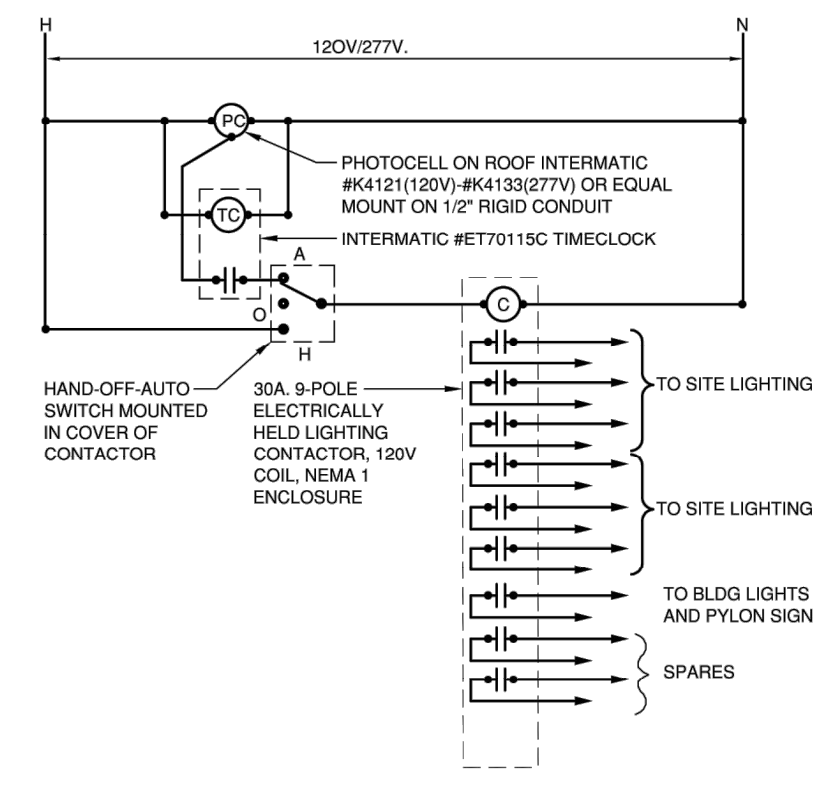
SITE LIGHTING
 FOR REFERENCE

SHEET NO.
SDP6.1
 OF

FOR REFERENCE ONLY



POLE BASE DETAIL FOR PARKING LUMINAIRES
NO SCALE



EXTERIOR LIGHTING CONTROL DIAGRAM
SCALE: N.T.S. NOTE: TYPICAL FOR BUILDING "A" AND FOR BUILDING "B"

FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION/ LOCATION	LAMPS		MOUNTING INSTRUCTIONS	
				TYPE	WATTS		LUMENS
S1	LITHONIA LIGHTING	#DSX0-LED-P3-40K-T4M-MVOLT-HS	DSX0 LED P3 40K T4M MVOLT WITH HOUSEHOLD SHIELD	LED	71	6,417	POLE - SEE DETAIL THIS SHEET
S2	LITHONIA LIGHTING	#DSX0-LED-P3-40K-T5M-MVOLT-HS	DSX0 LED P3 40K T5M MVOLT	LED	142	8,770	POLE - SEE DETAIL THIS SHEET

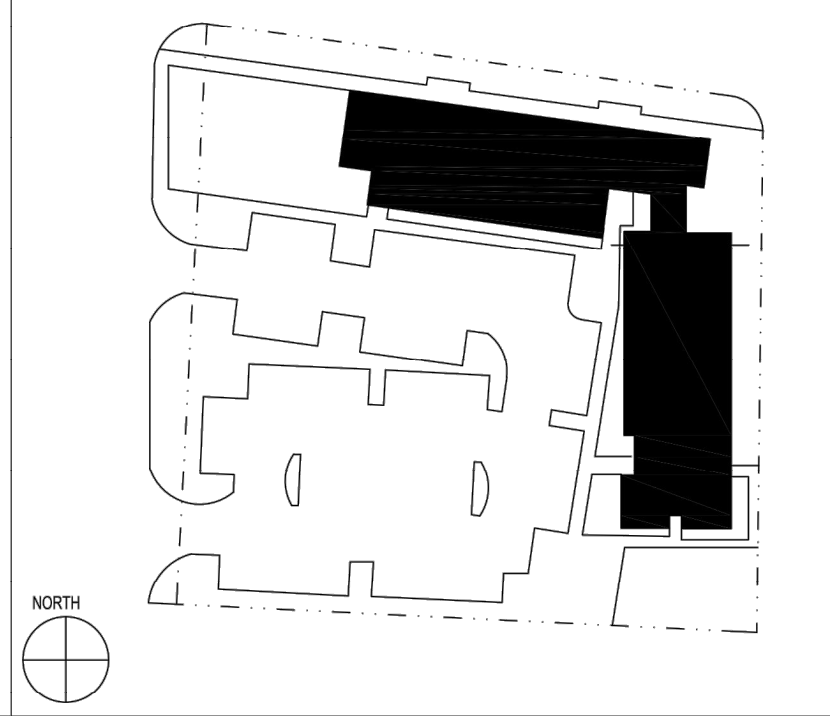
NORTH
A5 SITE LIGHTING PLAN
1" = 20'

GENERAL SHEET NOTES

- A. SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DARK SKIES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
- B. PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
- C. SITE LIGHTING SHALL BE PEDESTRIAN STYLE AND SHALL NOT EXCEED 15' IN HEIGHT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.

SHEET KEYNOTES

KEY PLAN



ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

A C ENGINEERING ENTERPRISES, LLC
120 Aliso Drive, SE
Albuquerque, New Mexico 87108
Phone: 505.842.5787
Facsimile: 505.842.5787



PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87123

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

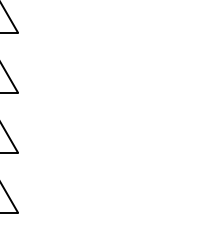
ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS



DRAWN BY AG, JF
REVIEWED BY RAW, HFG
DATE 08/28/2020
PROJECT NO. 19-0058
DRAWING NAME

ELECTRICAL SITE PLAN FOR REFERENCE

SHEET NO.

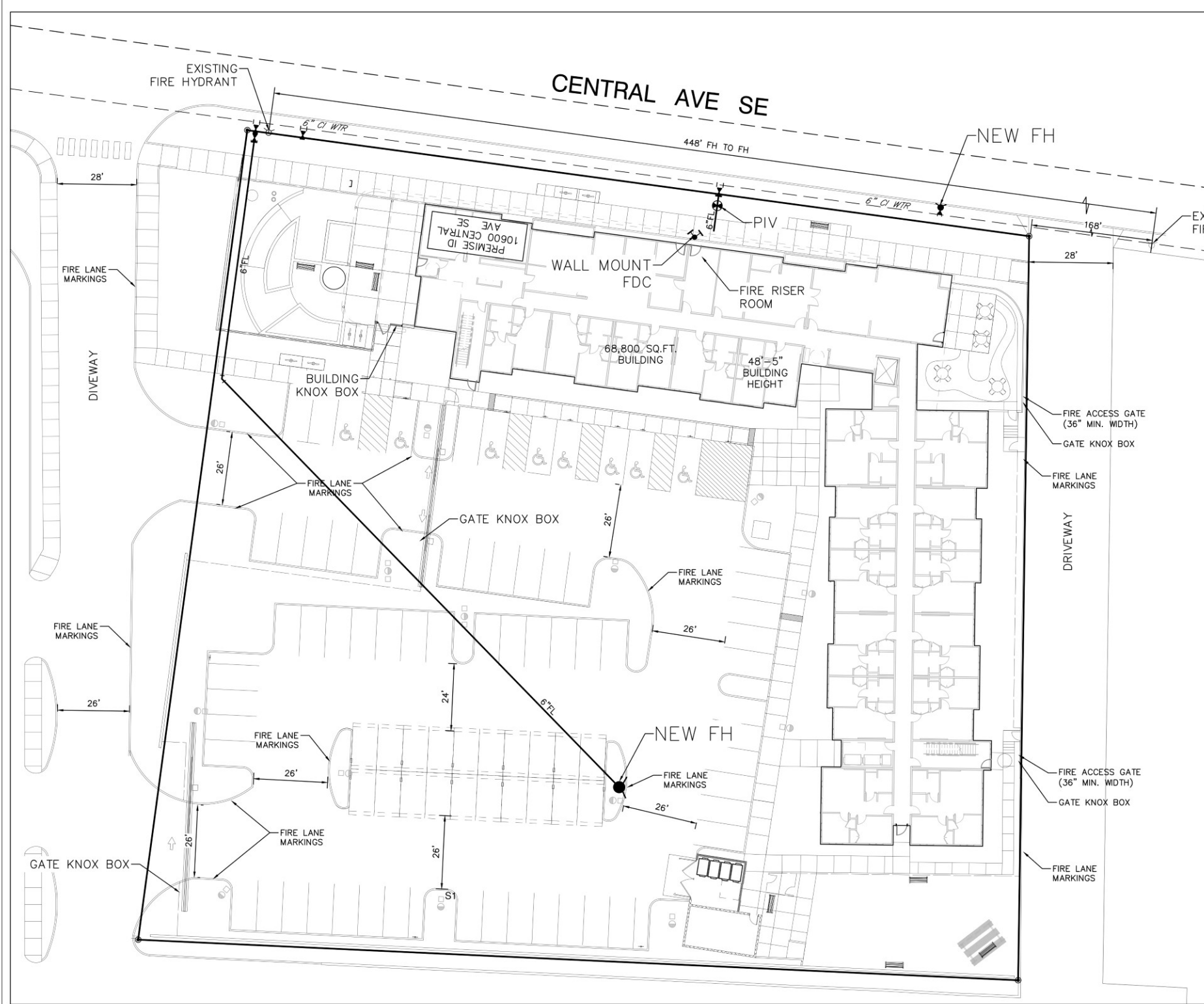
SDP6.2
OF

REVISIONS
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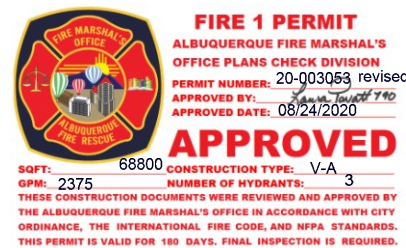
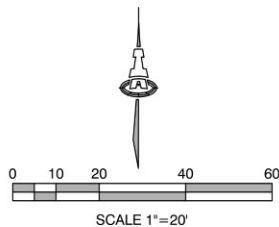
DRAWN BY ACE
REVIEWED BY FJT
DATE 07/31/2020
PROJECT NO. 19-0058

DRAWING NAME
SITE LIGHTING PLAN

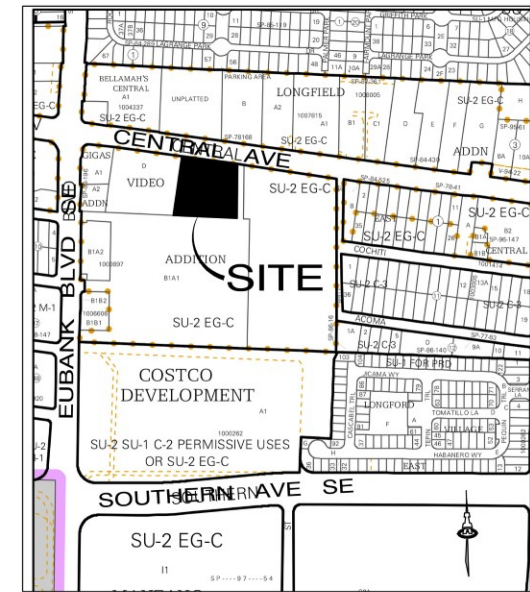
SHEET NO.
ES101



NOTE:
ROOF ACCESS TO SOUTH WING FROM
INTERNAL FIRE LANE AND FROM CENTRAL AVE.



SOFT: 68800 CONSTRUCTION TYPE: V-A
GPM: 2375 NUMBER OF HYDRANTS: 3
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.



L-21

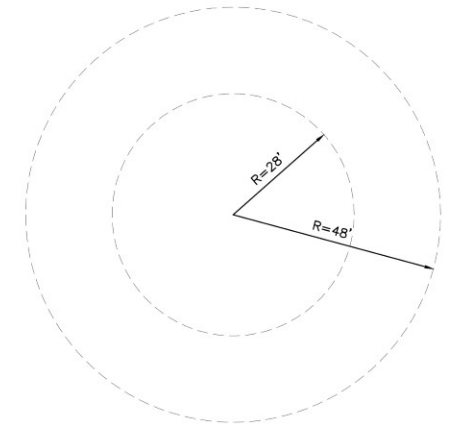
10,600 CENTRAL AVE, SE
ALBUQUERQUE, NM 87123

68,800 SQ. FT BUILDING
TYPE VA CONSTRUCTION
SPRINKLED
48'-5" BUILDING HEIGHT
OCCUPANCY GROUP-RES. R-2

2 EXISTING FIRE HYDRANT NEAR SITE

ALL ACCESS ROADS AND FIRE LANES
HAVE GRADES LESS THAN 10% AND A
LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES
WILL ACCOMMODATE A 28' MINIMUM
TRUCK TURNING RADIUS



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NOT FOR CONSTRUCTION
Engineer

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

PROJECT STATUS:	50% DESIGN DEVELOPMENT
PROJECT NUMBER:	19-0058
IA PROJECT NUMBER:	2374
DRAWN BY:	BJB
CHECKED BY:	FCA
DATE:	07/10/2020

Description	Date	No.

SHEET TITLE
FIRE HYDRANT LOCATION AND ACCESS PLAN

SHEET NUMBER
FIRE-1