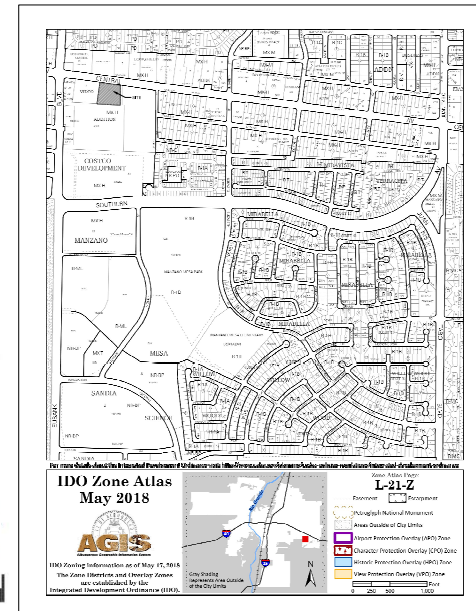


DRAWING INDEX

SDP 1.1	SITE PLAN
SDP 1.2	SITE DETAILS
SDP 1.3	SITE DETAILS
SDP 2.1	LANDSCAPE PLAN
CG-101	GRADING AND DRAINAGE PLAN
CU-101	UTILITY PLAN
SDP 5.1	EXTERIOR BUILDING ELEVATIONS
SDP 5.2	EXTERIOR BUILDING ELEVATIONS
SDP 6.1	SITE LIGHTING FOR REFERENCE
SDP 6.2	ELECTRICAL SITE PLAN FOR REFERENCE
FIRE-1	FIRE HYDRANT LOCATION AND ACCESS PLAN

VICINITY MAP



LUMINARIA SENIOR COMMUNITY

OWNER

LUMINARIA APARTMENTS LIMITED PARTNERSHIP, LLLP
320 GOLD AVENUE SW #918
ALBUQUERQUE, NM 87102
PHONE: 505.244.1614

ARCHITECT

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

LANDSCAPE ARCHITECT

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

CIVIL ENGINEER

ISAACSON & ARFMAN, INC.
128 MONROE STREET NE
ALBUQUERQUE, NM 87108
505.268.8828

**DEKKER
PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY
10800 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

APPLICATION TO
DESIGN REVIEW
BOARD (DRB)

REVISIONS



DRAWN BY AG_JF

REVIEWED BY RAW_HFG

DATE 09/11/2020

PROJECT NO. 19-0058

DRAWING NAME

SDP FOR

BUILDING PERMIT

SHEET NO.

COVER

OF

OPEN SPACE CALCULATIONS

TABLE 2-47' M/4-1' ZONING	
USABLE OPEN SPACE	1.80' 200 SF PER UNIT
200SF x 72 UNITS =	14,400 SF
2.80' 200 SF PER UNIT	2,800 SF x 20 UNITS = 5,600 SF
TOTAL	19,000 SF REQUIRED OPEN SPACE
PROVIDED OPEN SPACE	19,888 SF

PROJECT NO.
APPLICATION NO.

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
[YES] [NO], IF YES, THEN A SET OF APPROVED
DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE:

ABCVUA DATE:

PARKS & RECREATION DEPARTMENT DATE:

CITY ENGINEER/HYDROLOGY DATE:

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:

SOLID WASTE MANAGEMENT DATE:

DRB CHAIRPERSON, PLANNING DEPT. DATE:

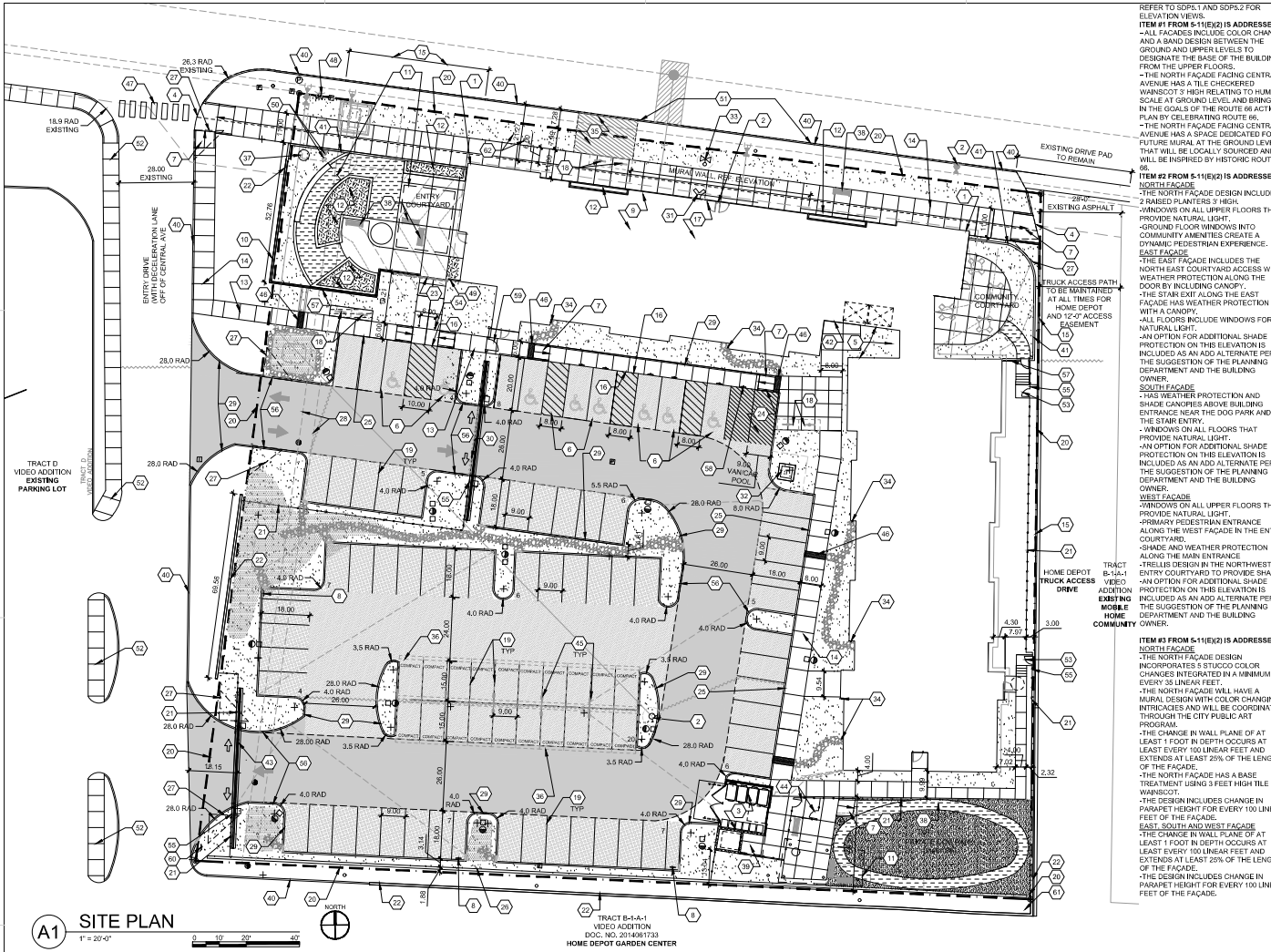
CODE ENFORCEMENT DATE:

LEGEND

- LANDSCAPE AREA
- REINFORCED CONCRETE
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- STABILIZED CRUSHER FINES
- PERMEABLE PAVING
- LIGHT DUTY ASPHALT
- FIRELANE STRIPING MARKING FIRE ACCESS LANE, REF: A4SDP1.2
- PROPERTY LINE
- FIRE HYDRANT
- POST INDICATOR VALVE (PIV), REF: CONCEPTUAL UTILITY PLAN
- FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- BIKE RACK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- PERIMETER FENCE
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3SDP1.2, A4SDP1.2 & B4 SDP1.2
- COMPACT PARKING, REF: D6SDP1.3
- LIGHT POLE
- 6" BOLLARD WITH SIGN

PROJECT DATA

ZONING:
IDU-MID-DENSE, HIGH INTENSITY ZONE (DISTRICT M/4-1)
METROPOLITAN REDEVELOPMENT AREA (RA)-URAS
GATEWAY
MAJOR TRANSIT CORRIDOR AREA
ROUTE 66 ACTION PLAN
LEGAL DESCRIPTION:
TRACT C, VIDEO ADDITION, FILED IN THE BERNALILLO COUNTY CLERK AND RECORDERS OFFICE AUGUST 9, 1994
SITE AREA: 1.88 ACRES
ZONING: M/4-1
SURVEY: FRONT - 17' MIN. IN MAX. ACTUAL: 17' MIN. IN MAX. INTERIOR - 7' 65" - 15' 00"
MAXIMUM ALLOWED: 65' - 15' 00"
ACTUAL HEIGHT: 15' 00"
SPRINKLED: YES, NFPA 13B
FIRE FLOW: 2,070 GPM
HYDRANT RESULTS:
BUILDING OCCUPANCY: 2
CONSTRUCTION TYPE: TYPE IIA
CONSTRUCTION TYPE:
FIRST LEVEL: 17,006 GSF
SECOND LEVEL: 17,086 GSF
THIRD LEVEL: 17,086 GSF
FOURTH LEVEL: 17,086 GSF
TOTAL: 68,785 GSF



GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. ALL CURBS AND ACCESSIBLE RAMPWAYS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDC), SECTION 14-15-4 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. PROVIDE HOURGLASS SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN SIDEWALK AND CONCRETE JOINTS.
- G. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. REF: CIVIL FOR SPOT ELEVATIONS AND GRADING REQUIREMENTS.
- H. SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- I. PROVIDE DURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN SIDEWALK AND CONCRETE JOINTS.
- J. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. REF: CIVIL FOR SPOT ELEVATIONS AND GRADING REQUIREMENTS.
- K. REMOVE EXISTING TREES.
- L. AN ACCESSIBLE ROUTE TO THE BUILDING WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.

SHEET KEYED NOTES

1. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2015 INTERNATIONAL FIRE CODE
2. NEW FIRE HYDRANT, PAINT SAFETY ORANGE, SEE CIVIL
3. TRASH AND RECYCLING ENCLOSURE WITH GATE, REF: A1SDP1.3, A3SDP1.3, A5SDP1.3, B1SDP1.3, B3SDP1.3 AND C3SDP1.3
4. WALKWAY CONNECTION TO CENTRAL AVE SE.
5. ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3SDP1.2, B5SDP1.2 & C5SDP1.2
6. ELECTRIC METER BANK
7. MOTORCYCLE PARKING, REF: C5ASP1.2
8. MOTORCYCLE STORAGE ROOM (30 BICYCLES) PER IDO SECTION 5-6(1) AND DPM STANDARDS
9. ACCESSIBLE RAMP, REF: C1SDP1.2, C2SDP1.2, C3SDP1.2, AND C4SDP1.2
10. MONUMENT SIGNAGE MOUNTED ON EXISTED WALL, REF: D1SDP1.2
11. SHED STRUCTURE
12. PLANTER
13. 6" WIDE CONCRETE SIDEWALK PER COA/DO STANDARDS, REF: B4SDP1.2
14. 8" WIDE SIDEWALK CONCRETE, REF: B4SDP1.2
15. NEW CONCRETE CURB AND GUTTER, REF: A2SDP1.2
16. FLUSH CONCRETE SIDEWALK, REF: B3SDP1.2
17. FIRE RISER ROOM
18. OUTDOOR BIKE RACK PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: C1SDP1.3
19. PARKING STRIPING 4" WIDE, COLOR WHITE
20. PROPERTY LINE
21. ORNAMENTAL FENCE, REF: D4SDP1.2
22. EXISTING CMU WALL TO REMAIN
23. PEDESTRIAN SLIDING GATE
24. DESIGNATED RESERVED VAN POOL AND CAR POOL PARKING WITH SIGNAGE & BOLLARD, REF: C5SDP1.2 AND B5SDP1.2 FOR BOLLARD
25. SIDEWALK WITH TURNUPDOWN EDGE, REF: B3SDP1.2
26. PARTIALLY REUSED EXISTING CMU WALL WITH ORNAMENTAL FENCE ABOVE - TOTAL HEIGHT 6'-0" (DESIGNED TO SCREEN ADJACENT REAR PROPERTY FROM HEADLIGHTS, DEMOLISH DOWN TO 2'-0" AND RE-ERECT EXISTING WALL AS REQUIRED)
27. CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SKINNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS - THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
28. EXISTING 50' ELECTRIC & TELEPHONE EASEMENT, FILED AUGUST 14, 1987, BOOK 879, PAGE 773
29. CONCRETE HEADER CURB, REF: B1SDP1.2
30. VEHICULAR ROLLING ENTRY GATE, FDS ACTIVATED
31. FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
32. ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)
33. POST INDICATOR VALVE (PIV)
34. DOWNPOUT TO CORBLE RUN OFF, REF: CIVIL PLANS
35. OPTION FOR FUTURE CITY BUS SHELTER CONCRETE PAD PROVIDED
36. OPTION FOR PHOTOVOLTAIC (PV) CAR POST, SEPARATE PERMIT REQUIRED
37. TRAILING MARGULIE SIGN, REF: C2SDP1.2 AND B1SDP1.3
38. BENCH
39. TRASH ENCLOSURE AND MAINTENANCE STORAGE, REF: A5SDP1.3
40. EXISTING CONCRETE CURB AND GUTTER, REF: A2SDP1.2
41. 2' HIGH CMU WALL, REF: ELEVATIONS SDP1.1
42. RESIDENT MAIN ENTRANCE
43. VEHICULAR ROLLING ENTRY GATE, PROXIMITY ACTIVATED
44. DOG PARK ENTRANCE
45. EXISTING FIRE HYDRANT
46. SIDEWALK CLAVET
47. PAINTED CROSSWALK
48. EXISTING FIRE HYDRANT
49. BUILDING KNOX BOX
50. EXISTING CLEAN CUTS RELOCATED INTO LANDSCAPE AREA
51. FIRE LANE, REF: A4-SDP1.2
52. EXISTING SIDEWALK
53. GATE, FIRE ACCESS ONLY
54. LIGHTED BOLLARD
55. GATE KNOX BOX
56. FIRELANE STRIPING MARKING FIRE ACCESS LANE, REF: A4SDP1.2
57. 3' HIGH CMU WALL WITH 2' HIGH ORNAMENTAL FENCE ABOVE, REF: D5SDP1.3
58. DESIGNATED RESERVED LOADING/UNLOADING PARKING WITH SIGNAGE & BOLLARD, REF: C5SDP1.2
59. EXISTING CONCRETE CURB AND GUTTER, REF: A2SDP1.2
60. DO NOT ENTER SIGNAGE, REF: C5ASP1.2
61. SIGHT MIRROR, POST MOUNTED
62. SIDEWALK ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF ALBUQUERQUE TO INCLUDE 6'-0" OF SIDEWALK MINIMUM TO BACK OF CURB ON CENTRAL

PROJECT DATA

REFER TO SDP1.1 AND SDP1.2 FOR ELEVATION VIEWS

ITEM #1 FROM 5-11(E)(2) IS ADDRESSED:

- ALL FACADES INCLUDE COLOR CHANGE AND A BAND DESIGN BETWEEN THE GROUND AND UPPER LEVELS TO DESIGNATE THE BASE OF THE BUILDING FROM THE UPPER FLOORS.
- THE NORTH FACADE FACING CENTRAL AVENUE HAS A TILE CHECKERED WANDSOT'S HIGH RELATING TO HUMAN SCALE AT GROUND LEVEL AND BRINGING IN THE GOALS OF THE ROUTE 66 ACTION PLAN BY CELEBRATING ROUTE 66.
- THE NORTH FACADE FACING CENTRAL AVENUE HAS A SPACE DESIGNATED FOR A FUTURE MURAL AT THE GROUND LEVEL THAT WILL BE LOCALLY SOURCED AND WILL BE INSPIRED BY HISTORIC ROUTE 66.

ITEM #2 FROM 5-11(E)(2) IS ADDRESSED:

NORTH FACADE

- THE NORTH FACADE DESIGN INCLUDES 2 RAISED PLANTERS 3' HIGH.
- WINDOWS ON ALL UPPER FLOORS THAT PROVIDE NATURAL LIGHT.
- GROUND FLOOR WINDOWS INTO COMMUNITY AMENITIES CREATE A DYNAMIC PEDESTRIAN EXPERIENCE.

EAST FACADE

- THE EAST FACADE INCLUDES THE NORTH EAST COURTYARD ACCESS WITH WEATHER PROTECTION ALONG THE DOOR BY INCLUDING CANOPY.
- THE STAIR EXIT ALONG THE EAST FACADE HAS WEATHER PROTECTION WITH A CANOPY.
- ALL FLOORS INCLUDE WINDOWS FOR NATURAL LIGHT.
- AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THE ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.

SOUTH FACADE

- HAS WEATHER PROTECTION AND SHADE CANOPIES ABOVE BUILDING ENTRANCE NEAR THE WORK AND AT THE STAIR ENTRY.
- AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THE ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.

WEST FACADE

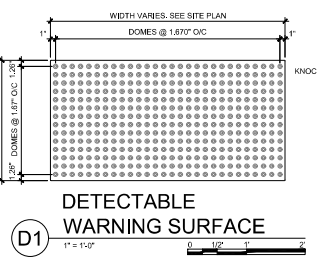
- WINDOWS ON ALL UPPER FLOORS THAT PROVIDE NATURAL LIGHT.
- PRIMARY PEDESTRIAN ENTRANCE ALONG THE WEST FACADE IN THE ENTRY COURTYARD.
- SHADE AND WEATHER PROTECTION ALONG THE MAIN ENTRANCE.
- TRELLIS DESIGN IN THE NORTHWEST ENTRY COURTYARD TO PROVIDE SHADE.
- AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THE ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.

ITEM #3 FROM 5-11(E)(2) IS ADDRESSED:

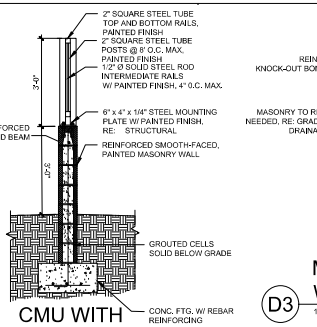
NORTH FACADE

- THE NORTH FACADE DESIGN INCORPORATES 5 STUCCO COLOR CHANGES INTEGRATED IN A MINIMUM OF EVERY 36 LINEAR FEET.
- THE NORTH FACADE WALL HAS A MURAL DESIGN WITH COLOR CHANGING INTRICACIES AND WILL BE COORDINATE THROUGH THE CITY PUBLIC ART PROGRAM.
- THE CHANGE IN WALL PLANE OF AT LEAST 1 FOOT IN DEPTH OCCURS AT LEAST EVERY 100 LINEAR FEET AND EXTENDS AT LEAST 20% OF THE LENGTH OF THE FACADE.
- THE NORTH FACADE HAS A BASE TREATMENT USING 3 FEET HIGH TILE WANDSOT.
- THE DESIGN INCLUDES CHANGE IN PARAPET HEIGHT FOR EVERY 100 LINEAR FEET OF THE FACADE.
- EAST, SOUTH AND WEST FACADE
- THE CHANGE IN WALL PLANE OF AT LEAST 1 FOOT IN DEPTH OCCURS AT LEAST EVERY 100 LINEAR FEET AND EXTENDS AT LEAST 20% OF THE LENGTH OF THE FACADE.
- THE DESIGN INCLUDES CHANGE IN PARAPET HEIGHT FOR EVERY 100 LINEAR FEET OF THE FACADE.

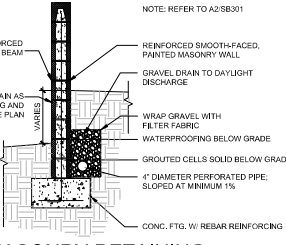
NOTES:
1. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS



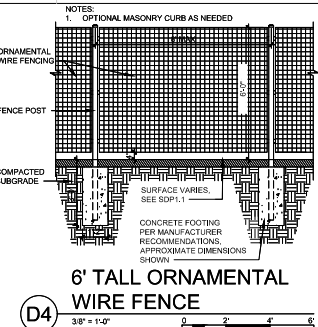
D1 DETECTABLE WARNING SURFACE
1' = 1'-0"



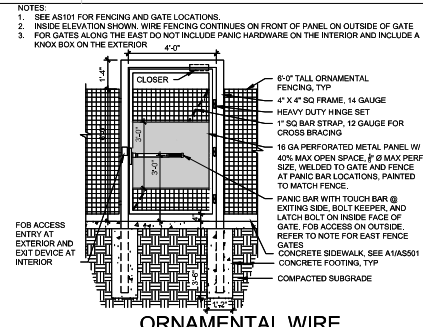
D2 CMU WITH ORNAMENTAL FENCE
1/2" = 1'-0"



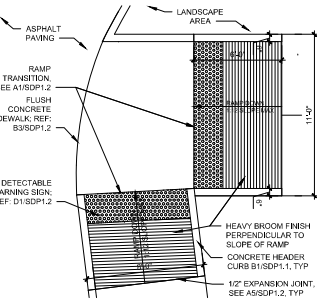
D3 MASONRY RETAINING WALL
1/2" = 1'-0"



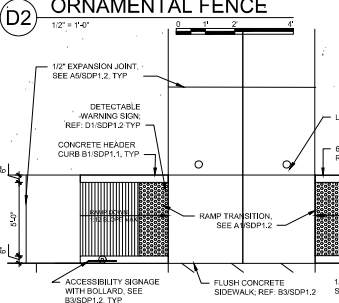
D4 6' TALL ORNAMENTAL WIRE FENCE
3/8" = 1'-0"



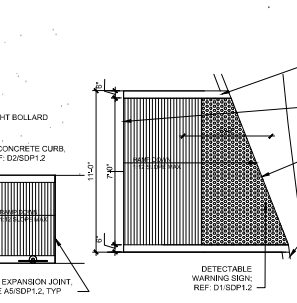
D5 ORNAMENTAL WIRE PEDESTRIAN GATE
1/2" = 1'-0"



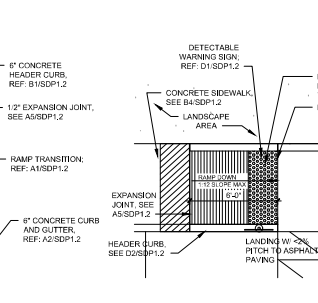
C1 ACCESSIBLE RAMP
1/4" = 1'-0"



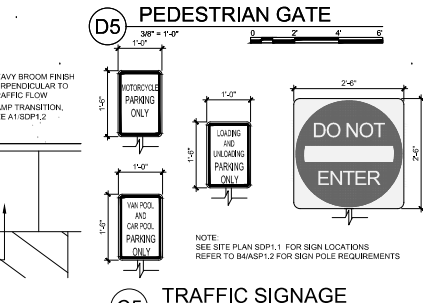
C2 ACCESSIBLE RAMP
1/4" = 1'-0"



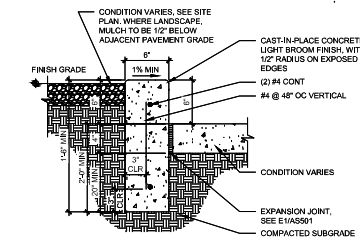
C3 ACCESSIBLE RAMP
1/4" = 1'-0"



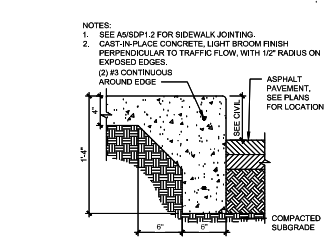
C4 ACCESSIBLE RAMP
1/4" = 1'-0"



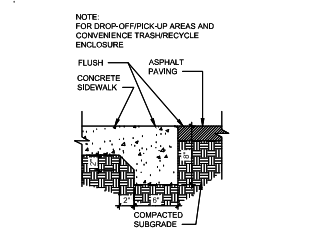
C5 TRAFFIC SIGNAGE
3/4" = 1'-0"



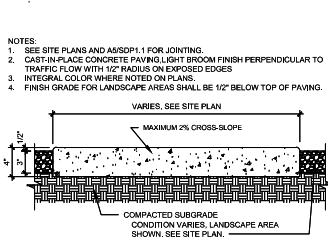
B1 CONCRETE HEADER CURB
1 1/2" = 1'-0"



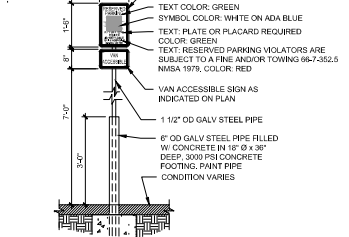
B2 SIDEWALK WITH TURNDOWN EDGE
1 1/2" = 1'-0"



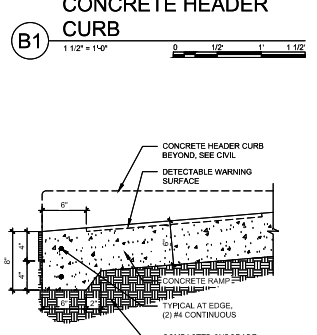
B3 FLUSH CONCRETE SIDEWALK
1 1/2" = 1'-0"



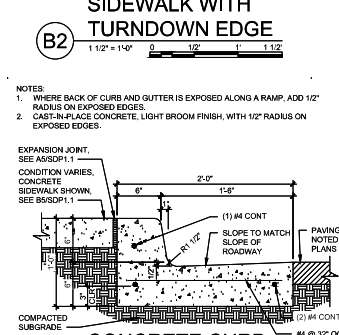
B4 CONCRETE SIDEWALK
1 1/2" = 1'-0"



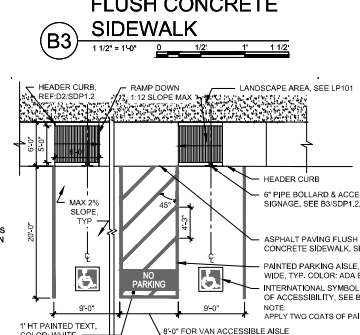
B5 BOLLARD REINFORCED, POLE-MOUNTED ACCESSIBLE PARKING SIGN
1/2" = 1'-0"



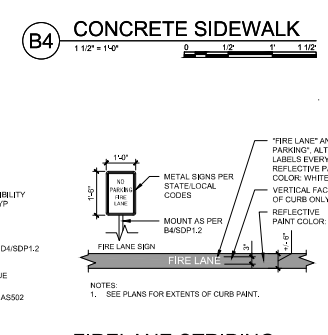
A1 RAMP TRANSITION
1 1/2" = 1'-0"



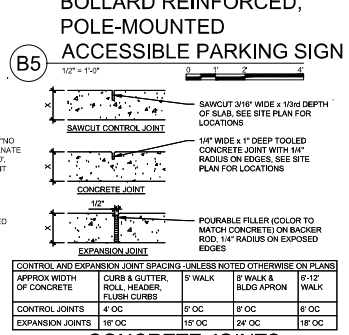
A2 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



A3 ACCESSIBLE PARKING
1/8" = 1'-0"



A4 FIRELANE STRIPING AND SIGNAGE
1/2" = 1'-0"



A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION



ARCHITECT

ENGINEER

PROJECT

09-11-2020

LUMINARIA SENIOR COMMUNITY
10800 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

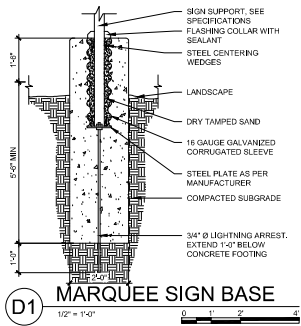
APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS
△
△
△
△

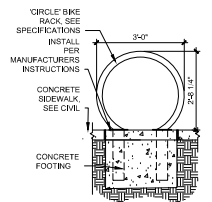
DRAWN BY: AG, JF
REVIEWED BY: RAW, HFG
DATE: 09/11/2020
PROJECT NO: 19-0058
DRAWING NAME:

SITE DETAILS

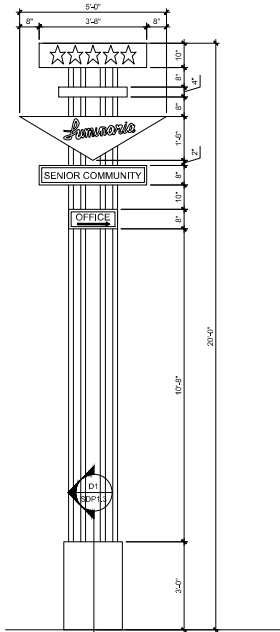
SHEET NO:
SDP1.2
OF



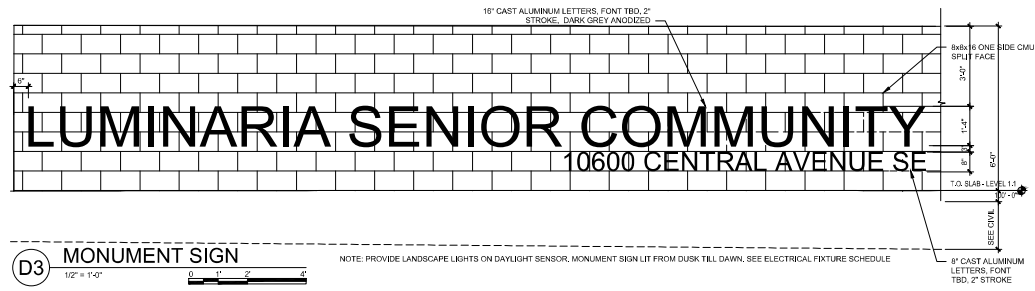
D1 MARQUEE SIGN BASE
1/2" = 1'-0"



C1 BICYCLE RACK
1/2" = 1'-0"

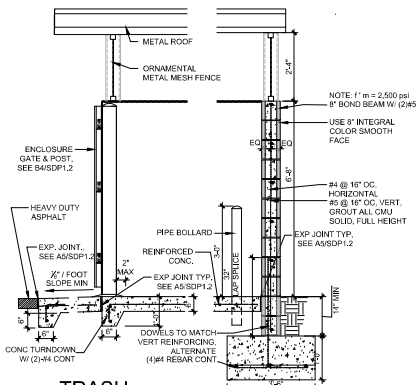


C2 MARQUEE SIGN
1/2" = 1'-0"

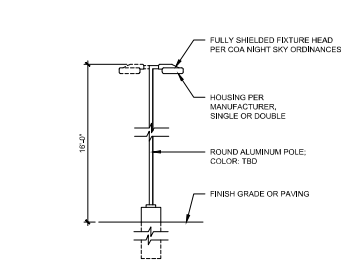


D3 MONUMENT SIGN
1/2" = 1'-0"

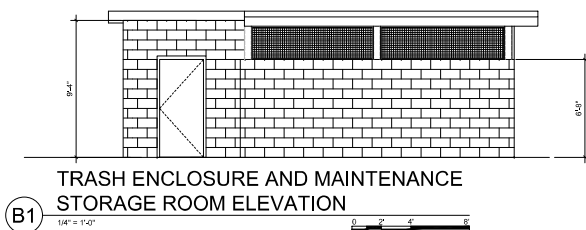
NOTE: PROVIDE LANDSCAPE LIGHTS ON DAYLIGHT SENSOR, MONUMENT SIGN LIT FROM DUSK TILL DAWN, SEE ELECTRICAL FIXTURE SCHEDULE



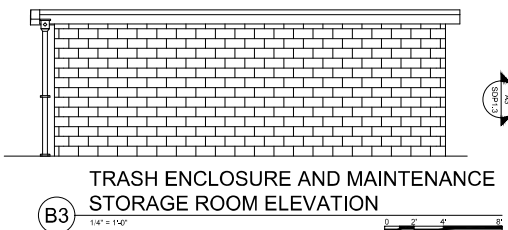
C3 TRASH ENCLOSURE SECTION
1/2" = 1'-0"



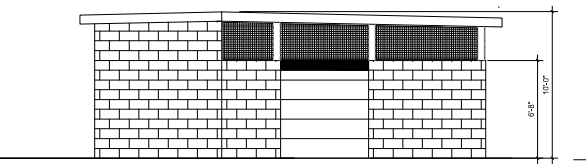
C5 PARKING LIGHT POLE
1/4" = 1'-0"



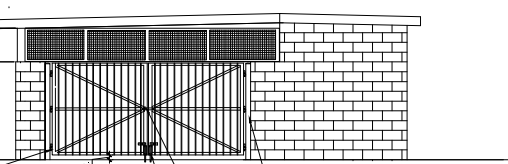
B1 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION
1/4" = 1'-0"



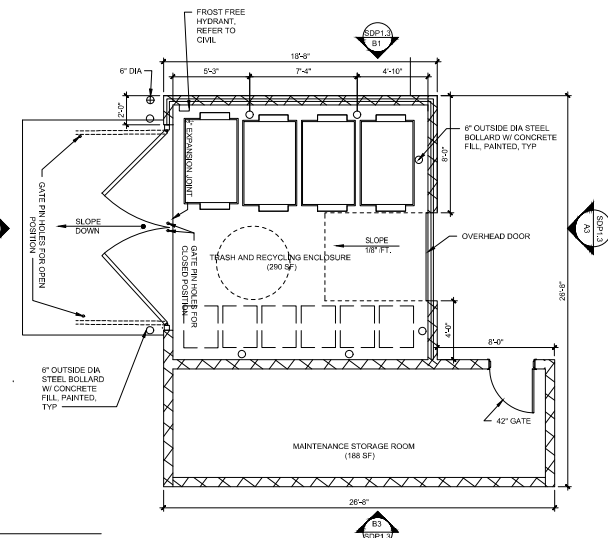
B3 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION
1/4" = 1'-0"



A1 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION
1/4" = 1'-0"



A3 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION
1/4" = 1'-0"



A5 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM
1/4" = 1'-0"

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION



ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

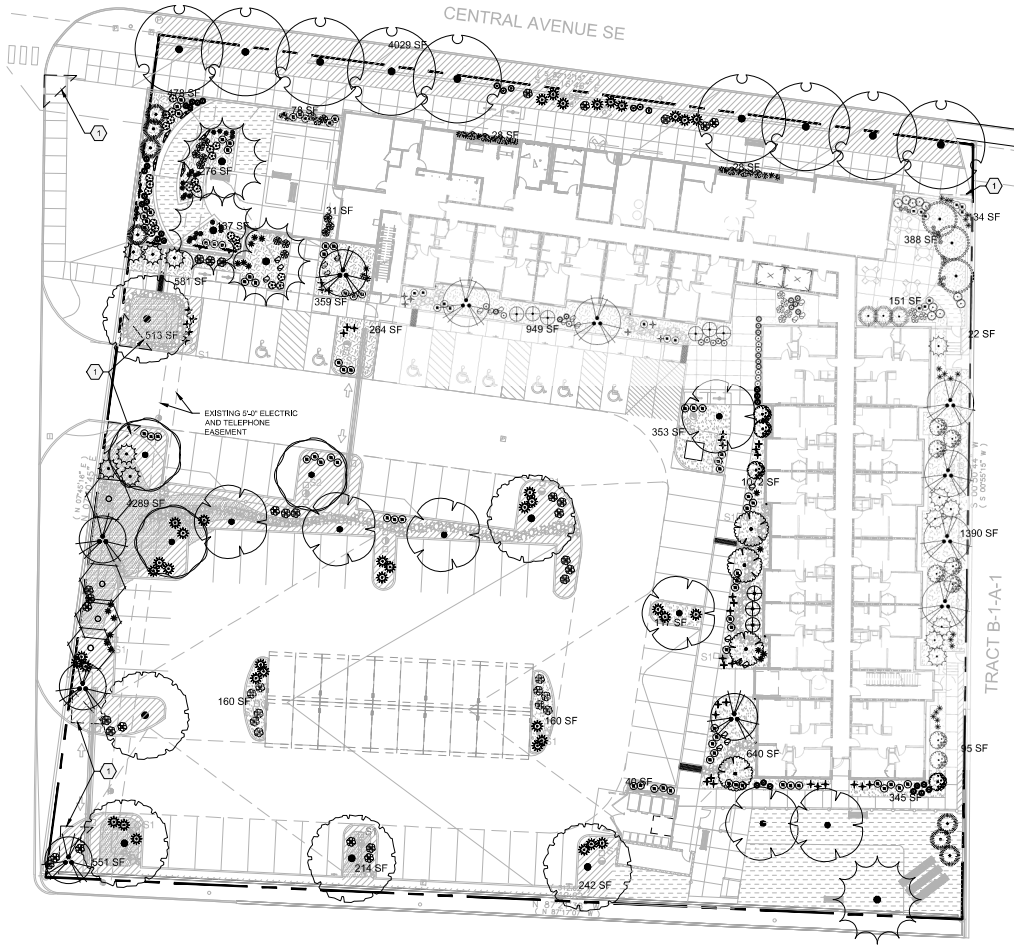
APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS

△	
△	
△	

DRAWN BY: AG, JF
REVIEWED BY: RAW, HFG
DATE: 09/11/2020
PROJECT NO: 19-0058
DRAWING NAME: SITE DETAILS

SHEET NO. SDP1.3



LANDSCAPE PLAN
 1" = 20'-0"
 NORTH
 A1

PLANT SCHEDULE

TREES	COMMON NAME
+	AUTUMN BLAZE MAPLE
+	OKLAHOMA RED BUD
+	'BUBBA' DESERT WILLOW
+	NEW MEXICO OLIVE
+	CHINESE PISTACHE
+	CRESTHAVEN PEACH
+	BUCKLEY OAK
+	CHINKAPIN OAK
+	ACCOLADE ELM
+	LITTLE LEAF MOUNTAIN MAHOGANY
+	LENA BROOM
+	DESERT MAHONIA
+	CREeping MAHONIA
+	LITTLELEAF MOCKORANGE
+	GOLDEN BAMBOO
+	KNOCKOUT ROSE
+	DESERT ACCENTS
+	BRAKELIGHTS RED YUCCA
+	TWISTLEAF YUCCA
+	ORNAMENTAL GRASSES
+	'BLONDE AMBITION' BLUE GRAMA
+	DEER GRASS
+	PERENNIALS
+	CHOCOLATE FLOWER
+	SISKIYOU PINK GAURA
+	KIT CAT CATMINT
+	ULTRA VIOLET AUTUMN SAGE
+	VINES
+	TANGERINE BEAUTY CROSS VINE
+	HIMROO GRAPE

SHEET KEYED NOTES

CODE	DESCRIPTION
1	CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

LEGEND

SYMBOL	NOTES	EST QTY
[Pattern]	3/8" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC	9,950 SF
[Pattern]	CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC	3,020 SF
[Pattern]	SHREDDED BARK MULCH	5,140 SF
[Pattern]	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
[Pattern]	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN	
- - -	PROPERTY LINE	

GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATUTE OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S: LANDSCAPING, BUFFERING AND SCREENING REGULATIONS (14-16-6-6), WATER CONSERVATION ORDINANCE AND FOLIEN ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 90 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AND/OR SHRUB.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 54-1 OF THE IDD.
- G. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 3' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- I. NO EXISTING PLANT MATERIALS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

IRRIGATION NOTES

- A. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- C. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING AND LOADING AREAS.
- D. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- E. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- F. IRRIGATION TO BE DESIGN-BUILD BY THE CONTRACTOR.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 1.28 AC = 81,829 SF
 AREA OF LOT COVERED BY BUILDINGS = 17,505 SF
 NET LOT AREA = 64,324 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 9,649 SF
 PROVIDED LANDSCAPE AREA = 18,114 SF = 28%
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 85 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 9 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 12 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9 placed at 30' on center (270' of street frontage)
 PROVIDED STREET TREES = 9

REQUIRED TREES FOR MULTIFAMILY RESIDENTIAL DEVELOPMENTS = 42 TREES
 1 TREE PER GROUND FLOOR OVERLAIN UNIT (17) AND 1 TREE PER SECOND-STORY UNIT (25)

REQUIRED TREES FOR MULTIFAMILY RESIDENTIAL DEVELOPMENTS = 50 TREES

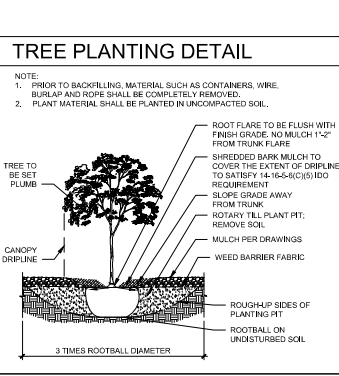
REQUIRED VEGETATIVE COVERAGE
 REQUIRED GROUND COVERAGE = 13,585 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
 PROVIDED TOTAL GROUND COVERAGE = 5,932 SF = 32% OF TOTAL PROVIDED LS
 TREE CANOPY COVERAGE = 18,434 SF
 GROUND PLANT COVERAGE = 5,932 SF = 43% OF REQUIRED VEGETATIVE COVERAGE

PARKING LOT AREA = 38,112 SF
 PARKING LOT LANDSCAPING PROVIDED = 6,082 SF = 15%
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 12,976 SF = 71%
 TOTAL ORGANIC MULCH GROUND COVER = 5,138 SF = 28%
 A MAXIMUM OF 15% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-4(C)(3)(d)

PARKING LOT EDGE LANDSCAPE
 2 TREES AND 5 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.

TREE PLANTING DETAIL



DEKKER PERICH SABATINI

ARCHITECT

STATE OF NEW MEXICO
 LANDSCAPE ARCHITECT
 No. 19,270

ENGINEER

PROJECT

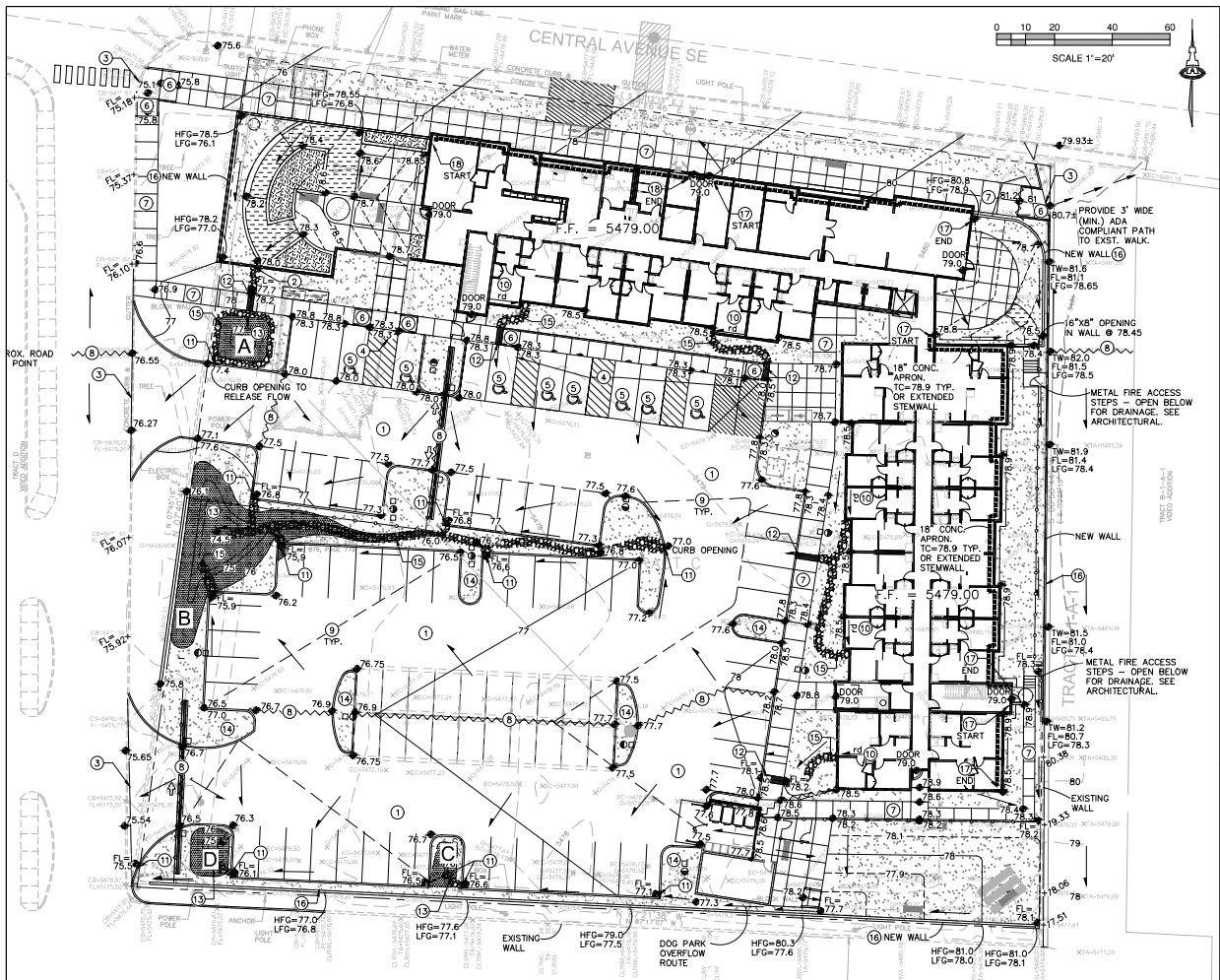
LUMINARIA SENIOR COMMUNITY
 10600 CENTRAL AVE SE
 ALBUQUERQUE, NM 87123

APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS

DRAWN BY DS
 REVIEWED BY DIP/IS
 DATE 08/28/2020
 PROJECT NO. 19-0058
 DRAWING NAME LANDSCAPE PLAN

SHEET NO.
SDP2.1
 OF



KEYED NOTES

1. NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
2. WALL OPENINGS.
3. PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
4. TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA FOR ADA ACCESS.
5. ADA COMPLIANT PARKING AREA.
6. CONSTRUCT ADA COMPLIANT 1:12 MAX. SLOPE ADA COMPLIANT ACCESS RAMP.
7. CONSTRUCT ADA COMPLIANT PEDESTRIAN WALK AT ELEVATIONS SHOWN.
8. HIGH POINT / GRADE BREAK LOCATION.
9. 0.5' DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
10. CONCENTRATED ROOF DISCHARGE DIRECTION.
11. PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW.
12. CONSTRUCT 18" WIDE COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DWG. 2236.
13. CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. STORMWATER QUALITY PONDING VOLUMES MAY BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
14. DEPRESS LANDSCAPING IN FOR GENERAL WATER HARVESTING. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.
15. INSTALL ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED.
16. CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 36") TO ACHIEVE GRADE DIFFERENCE SHOWN. HFG = GRADE ON HIGH SIDE OF WALL; LFG = GRADE ON LOW SIDE OF WALL. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
17. BUILDING RETAINING STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
18. BUILDING EXTENDED STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.



VICINITY MAP L-21



PROJECT DATA

LEGEND

- 5478.2 --- EXISTING CONTOUR
- 5478.2 --- EXISTING SPOT ELEVATION
- 77 --- PROPOSED 1.0' CONTOUR
- 77.5 --- PROPOSED 0.5' CONTOUR
- ◆ 77.0 --- PROPOSED SPOT ELEVATION
- --- FLOW DIRECTION
- FF = 5479.00 --- FINISH FLOOR ELEVATION
- --- ROOF DISCHARGE DIRECTION
- --- HIGH POINT / GRADE BREAK

STORMWATER QUALITY

STORMWATER QUALITY (SQ) CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH".

REDEVELOPMENT: EXISTING IMPERVIOUS AREA THAT IS BEING REDEVELOPED (REMOVED/REPLACED) IS SUBJECT TO A REDUCED RATE OF 0.26"/SQ.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 80% OF TOTAL AREA, (0.8 * 81829) = 65,463 SF. BECAUSE THIS PROPERTY WAS PREVIOUSLY FULLY DEVELOPED, THE REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26" * TYPE "D" AREA: 0.26/12 * (65,463 SF) = 1,418 CF.

STORMWATER QUALITY RETENTION PONDS WILL BE CONSTRUCTED AS SHOWN.

A DRAINAGE COVENANT WILL BE REQUIRED FOR THE STORMWATER QUALITY FIRST FLUSH PONDS PRIOR TO CERTIFICATE OF OCCUPANCY APPROVAL.

STORMWATER QUALITY RETENTION POND A

Contour	Area	Volume
5477.7	240	
5477.0	55	103 CF
POND VOLUME = 103 CF		

STORMWATER QUALITY RETENTION POND C

Contour	Area	Volume
5476.5	120	
5476.0	10	33 CF
POND VOLUME = 33 CF		

STORMWATER QUALITY RETENTION POND B

Contour	Area	Volume
5476.0	1445	
5474.5	277	1292 CF
POND VOLUME = 1292 CF		

STORMWATER QUALITY RETENTION POND D

Contour	Area	Volume
5476.0	200	
5475.0	40	120 CF
POND VOLUME = 120 CF		

ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.

CALCULATIONS: 2374 - LUMINARIA SENIOR LIVING - June 17, 2020
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2 DPM, Vol. 2, dated Jan., 1993

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE:	SQ	SF	ACRE
100-year, 6-hour	1832	1,8785	0.43

HISTORIC FLOWS:

Treatment SF	%	Area A	Area B	Area C	Area D	Total Area
0	0%	0	8183	45006	32732	81829
5%	5%	4091	4091	22503	16366	43051
55%	55%	45006	45006	25277	18149	133438
40%	40%	32732	32732	19093	13093	77650
100%	100%	81829	81829	100000	100000	363658

EXCESS PRECIP:

Treatment SF	%	Area A	Area B	Area C	Area D	Total Area
0	0%	0	8183	45006	32732	81829
5%	5%	4091	4091	22503	16366	43051
55%	55%	45006	45006	25277	18149	133438
40%	40%	32732	32732	19093	13093	77650
100%	100%	81829	81829	100000	100000	363658

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E = $E_A A_A + E_B A_B + E_C A_C + E_D A_D$

Historic E = 1.70 in. / Developed E = 2.11 in.

On-Site Volume of Runoff: V300 = $E^*A / 12$

Historic V300 = 11599 CF / Developed V300 = 14381 CF

On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43.560$

For Precipitation Zone 3

Historic Q_p = 7.6 CFS / Developed Q_p = 8.7 CFS

Isaacson & Arman, Inc.
 Civil Engineering Consultants
 128 Monroe N.E.
 Albuquerque, NM 87108
 (505) 268-8828 | www.isaaci.com

NOT APPROVED FOR CONSTRUCTION

Engineer

LUMINARIA SENIOR COMMUNITY
 10600 CENTRAL AVE SE
 ALBUQUERQUE, NM 87123

PROJECT STATUS:	PROJECT NUMBER:	PROJECT DATE:
50% CONSTRUCTION DOCUMENTS	19-0058	08/28/2020
PROJECT NUMBER:	PROJECT NUMBER:	PROJECT NUMBER:
2374	2374	2374
DRAWN BY:	CHECKED BY:	DATE:
FC5A	FC5A	08/28/2020

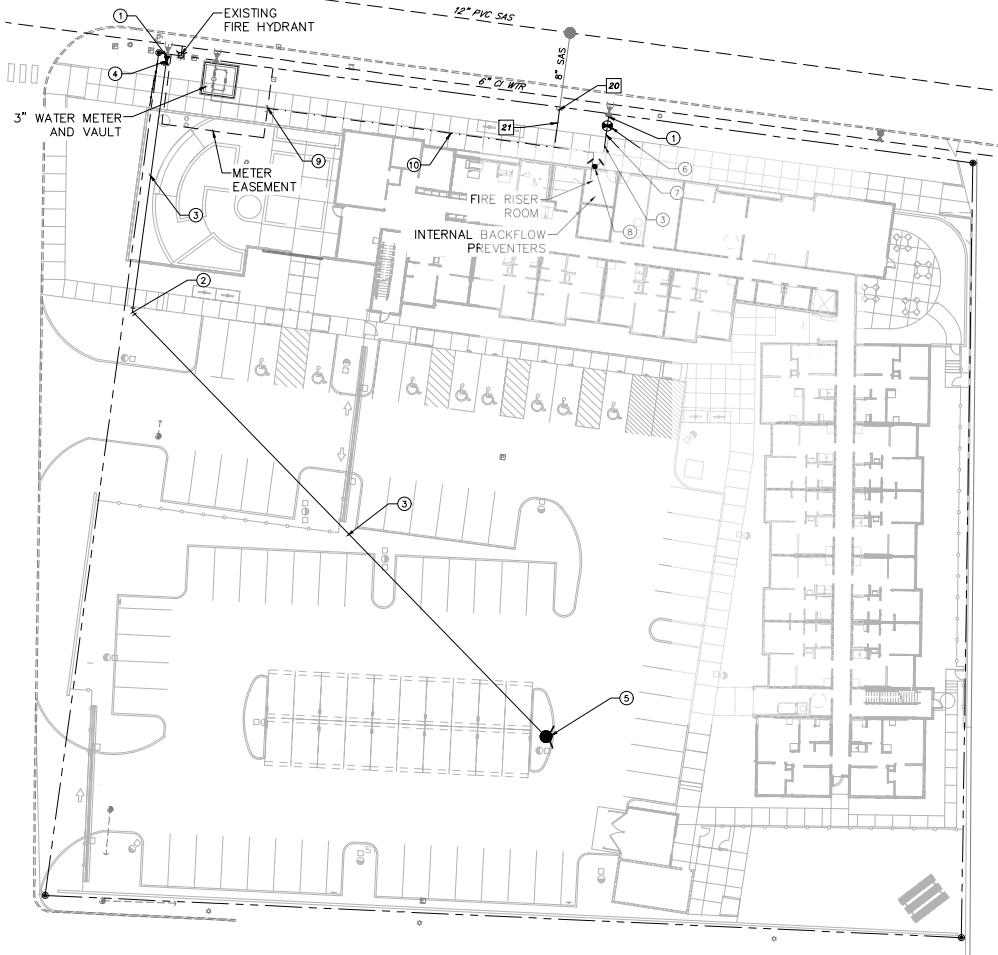
Grading & Drainage Plan

SHEET NUMBER

CG-101

CENTRAL AVE SE

PRIVATE FIRE LINES, FIRE HYDRANT AND 3" METER WITH VAULT CONNECTIONS TO PUBLIC WATERLINE AND SEWER MANHOLE ON EXISTING SEWER MAIN TO BE CONSTRUCTED UNDER COA/ABCWA WORK ORDER.

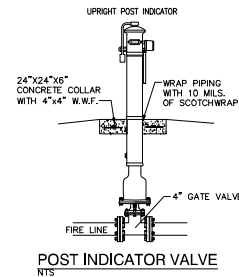


KEYED NOTES

- WATER KEYED NOTES**
1. REMOVE EXISTING CAP AND CONNECT NEW WATERLINE.
 2. 6" 45' BEND. (LT=6")
 3. 6" WATERLINE.
 4. 6" GATE VALVE W/ BOX PER ABCWA STD DWG 2326 & 2329. (LT=46")
 5. FIRE HYDRANT PER ABCWA STD DWG 2340. PAINTED SAFETY ORANGE.
 6. PIV (POST INDICATOR VALVE).
 7. 1" CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
 8. WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
 9. REMOVE EXISTING 3" CAP AND CONNECT NEW 3" WATER SERVICE LINE.
 10. 3" WATER SERVICE LINE.

SEWER KEYED NOTES

20. REMOVE 8" PLUG AND CONNECT NEW 6" SAS SERVICE LINE.
21. 8" SANITARY SEWER SERVICE AT 2% MIN. SLOPE



GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CO-101 FOR STORM DRAIN DESIGN.
4. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

RESTRAINED JOINT CRITERIA

FOR WATERLINE FITTINGS

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.50
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL - SAND-SILT MIXTURES.

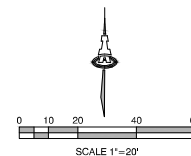
TEST PRESSURE: 150 PSI

TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

LEGEND

- - - - - EXISTING WATERLINE
- - - - - EXISTING FIRE HYDRANT
- - - - - EXISTING WATER VALVE
- - - - - EXISTING SEWER LINE
- - - - - EXISTING SEWER MANHOLE
- - - - - NEW FIRE LINE
- - - - - NEW FIRE HYDRANT
- - - - - NEW WATER VALVE
- - - - - NEW FDC
- - - - - NEW PIV
- - - - - NEW SEWER LINE



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 2294-01-101
 10/2020

Engineer

LUMINARIA SENIOR COMMUNITY
 10600 CENTRAL AVE SE
 ALBUQUERQUE, NM 87123

PROJECT STATUS:	50% CONSTRUCTION DOCUMENTS
PROJECT NUMBER:	19-0058
PROJECT NUMBER:	2074
DRAWN BY:	ECG
CHECKED BY:	ECG
DATE:	08/28/2020

SHEET TITLE
Utility Plan

SHEET NUMBER
CU-101





SEAL

PROJECT

LUMINARIA SENIOR COMMUNITY
1000 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87123

APPLICATION TO
DESIGN REVIEW
BOARD (DRB)

REVISIONS



DRAWN BY JF, BH, PMG
REVIEWED BY HFG, RAW
DATE 09/11/2020
PROJECT NO. 19-0058

DRAWING NAME

EXTERIOR
ELEVATIONS

SHEET NO.

SDP5.1



D5 EAST ELEVATION - WITHOUT PERIMETER FENCE
3/32" = 1'-0"



B5 EAST ELEVATION - WITH PERIMETER FENCE
3/32" = 1'-0"



A5 NORTH ELEVATION - CENTRAL AVENUE
3/32" = 1'-0"

GENERAL SHEET NOTES

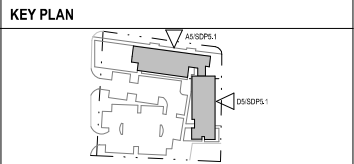
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF FTG. UNLESS NOTED OTHERWISE.
- BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 7" BRUSH STROKES WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN & WELL AS SOLID BRIGHT COLORS PER SIGNAGE MOUNT AT 15'-0" ABOVE FINISH FLOOR.
- ALL IDO REQUIREMENTS FROM SECTION 5-11E(2) ARE MET. REF: SDP1.

REFERENCE KEYNOTES

- STUCCO FINISH COLOR #1 _SNOW MOUNT
- STUCCO FINISH COLOR #2 _BERMUDA
- STUCCO FINISH COLOR #3 _ELUSION
- STUCCO FINISH COLOR #4 _GAJA
- STUCCO FINISH COLOR #5 _DOYER GREY
- METAL COPING
- GUARDRAIL AT ROOFTOP TERRACE
- COMPOSITE WINDOWS
- BUILDING IDENTIFICATION SIGNAGE
- RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
- ORNAMENTAL FENCE
- ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.
- STUCCO FINISH COLOR #6 _THIN ICE
- SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL
- TILE WAINSCOT
- WALL MURAL
- DOWNSPOUT
- EXISTING CMU SITE WALL TO REMAIN
- SHADE STRUCTURE PERGOLA

LEGEND

	STUCCO_COLOR #1 SNOW MOUNT		STUCCO_COLOR #4 GAJA
	STUCCO_COLOR #2 BERMUDA		STUCCO_COLOR #5 DOYER GREY
	STUCCO_COLOR #3 ELUSION		STUCCO_COLOR #6 THIN ICE

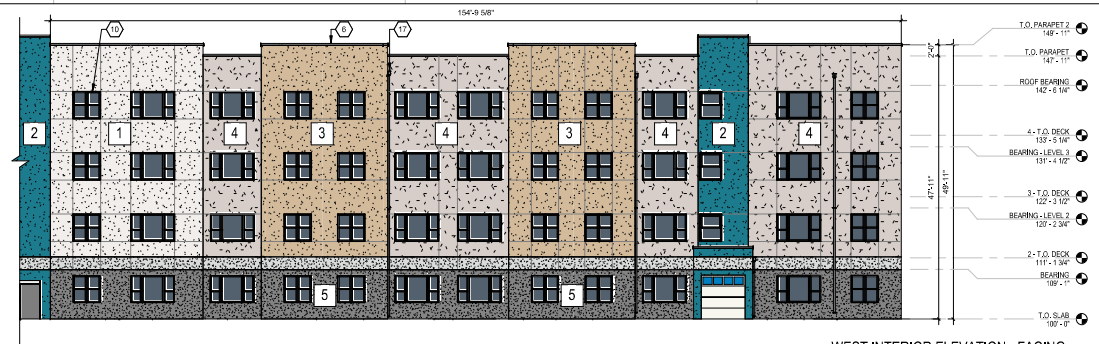


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- REVISIONS
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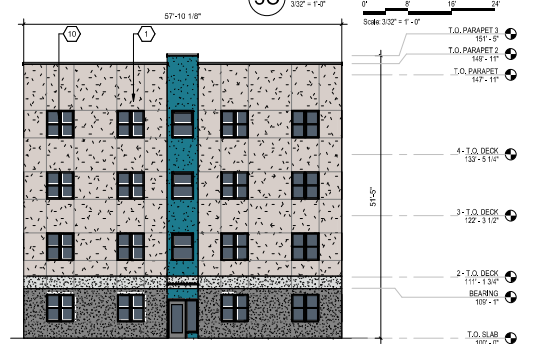
DRAWN BY: JF
REVIEWED BY: HFG, RAW
DATE: 09/11/2020
PROJECT NO: 19-0058



**WEST INTERIOR ELEVATION - FACING
PARKING COURT**
Scale: 3/32" = 1'-0"



3B WEST ELEVATION - END OF NORTH WING
Scale: 3/32" = 1'-0"



5B SOUTH ELEVATION - END OF EAST WING
Scale: 3/32" = 1'-0"



**5A SOUTH INTERIOR ELEVATION - FACING
PARKING COURT**
Scale: 3/32" = 1'-0"

GENERAL SHEET NOTES

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD. UNLESS NOTED OTHERWISE.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 10" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS UP FROM DUSK UNTIL DAWN AND VISIBLE AS DAYLIGHT HOURS. PER 2008 IBC, MOUNT AT 5'-0" ABOVE FINISH FLOOR.
- D. ALL IBC REQUIREMENTS FROM SECTION 5-11E(2) ARE MET. REF: SDP1.

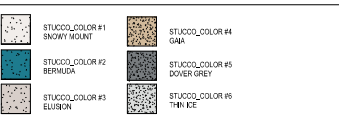
REFERENCE KEYNOTES

1. STUCCO FINISH COLOR #1 _SNOW MOUNT
2. STUCCO FINISH COLOR #2 _BERMUDA
3. STUCCO FINISH COLOR #3 _ELLUSION
4. STUCCO FINISH COLOR #4 _GAIA
5. STUCCO FINISH COLOR #5 _DOVER GREY
6. METAL COPING
7. GUARDRAIL AT ROOFTOP TERRACE
8. COMPOSITE WINDOWS
9. BUILDING IDENTIFICATION SIGNAGE
10. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
11. ORNAMENTAL FENCE

LEGEND

12. ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.
13. STUCCO FINISH COLOR #6 _THIN ICE
14. SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL.
15. TILE WAINSCOT
16. WALL MURAL
17. DOWNSPOUT
18. EXISTING CMU SITE WALL TO REMAIN
19. SHADE STRUCTURE PERGOLA

KEY PLAN



FOR REFERENCE ONLY



...LUMINARIA SITE LIGHTING...

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	2.7 fc	5.7 fc	0.3 fc	19.0:1	9.0:1

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumens Multiplier	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
SA	SA		12	Lithonia Lighting	DSX0 LED P3 40K T4M MVOLT HS	DSX0 LED P3 40K T4M MVOLT with houseshield	LED	1	DSX0_LED_P3_40K_T4M_MVOL_T-HS	6417	1	1	71	100%	TYPE III SHORT, BUSH RATING: B3 - IES LM-62		
SB	SB		2	Lithonia Lighting	DSX0 LED P3 40K T5M MVOLT	DSX0 LED P3 40K T5M MVOLT	LED	1	DSX0_LED_P3_40K_T5M_MVOL_T-HS	8770	1	1	142	100%	TYPE VS, BUSH RATING: B3 - IES LM-62		

Note
 1. CALCULATION ZONES SET AT GRADE LEVEL.
 2. ALL "SA" AND "SB" FIXTURES MOUNTED AT 16' OVERALL, 13' POLE ON A 3' CONCRETE BASE.
 3. ALL "SC" FIXTURES (BOLLARDS) MOUNTED AT 3' ABOVE GRADE.



DEKKER PERICH SABATINI
 ARCHITECTURE DESIGN INSPIRATION

ARCHITECT
 ENGINEER
 PROJECT

LUMINARIA SENIOR COMMUNITY
 10600 CENTRAL AVE SE
 ALBUQUERQUE, NM 87123

APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS
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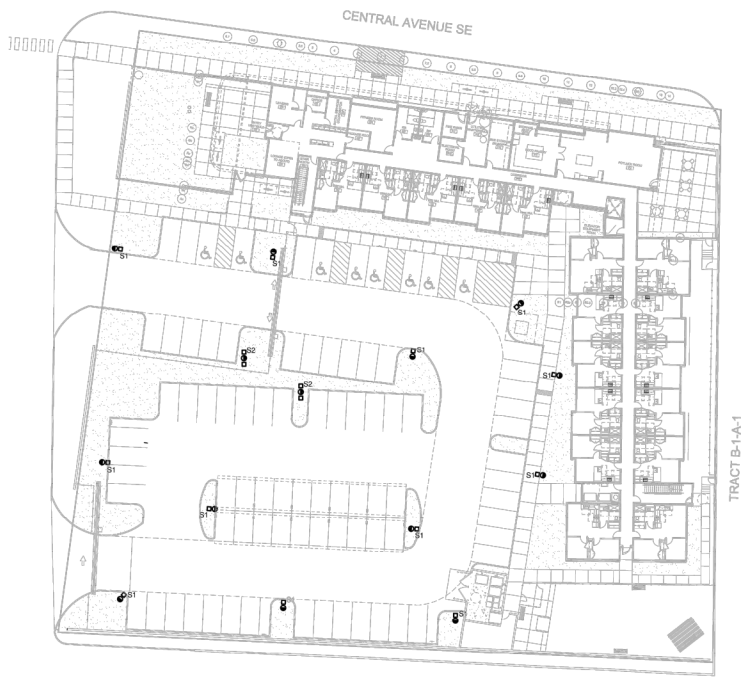
DRAWN BY: AG_JF
 REVIEWED BY: RAW_JM
 DATE: 08/28/2020
 PROJECT NO.: 19-0058
 DRAWING NAME:

SITE LIGHTING FOR REFERENCE

SHEET NO.
SDP6.1
 OF

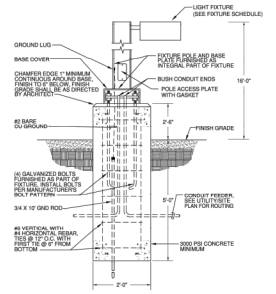
Designer
 Date
 Title
 Scale
 Plotting Method
 Summary
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FOR REFERENCE ONLY

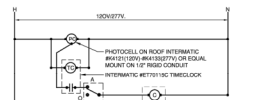


AS SITE LIGHTING PLAN
SCALE: 1/8" = 1'-0"

FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION LOCATION	LAMPS		MOUNTING INSTRUCTIONS	
				TYPE	QUANTITY		
S1	LITHONIA LIGHTING	#DSX0-LED-P3-40K-T8M-MVCLT-HS	DSX0 LED P3 40K T8M MVCLT WITH HOUSEHOLD SHIELD	LED	71	6,417	POLE - SEE DETAIL THIS SHEET
S2	LITHONIA LIGHTING	#DSX0-LED-P3-40K-T8M-MVCLT-HS	DSX0 LED P3 40K T8M MVCLT	LED	142	8,770	POLE - SEE DETAIL THIS SHEET



POLE BASE DETAIL FOR PARKING LUMINAIRE
TO SCALE



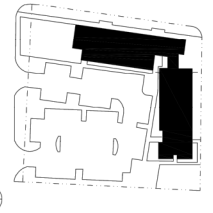
EXTERIOR LIGHTING CONTROL DIAGRAM
SCALE: N.T.S. NOTE: TYPICAL FOR BUILDING "A" AND FOR BUILDING "B"

GENERAL SHEET NOTES

- SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DAWN SHES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
- PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
- SITE LIGHTING SHALL BE PEDESTRIAN STYLE AND SHALL NOT EXCEED 15' IN HEIGHT FROM THE GROUND LEVEL OF THE TOP OF THE LUMINAIRE.

SHEET KEYNOTES

KEY PLAN



ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

7601 JEFFERSON BL. SUITE 100 ALBUQUERQUE, NM 87109 505.741.9760 / DPDESIGN.DRG

A C ENGINEERING ENTERPRISES, LLC



LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87123

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87123

APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS

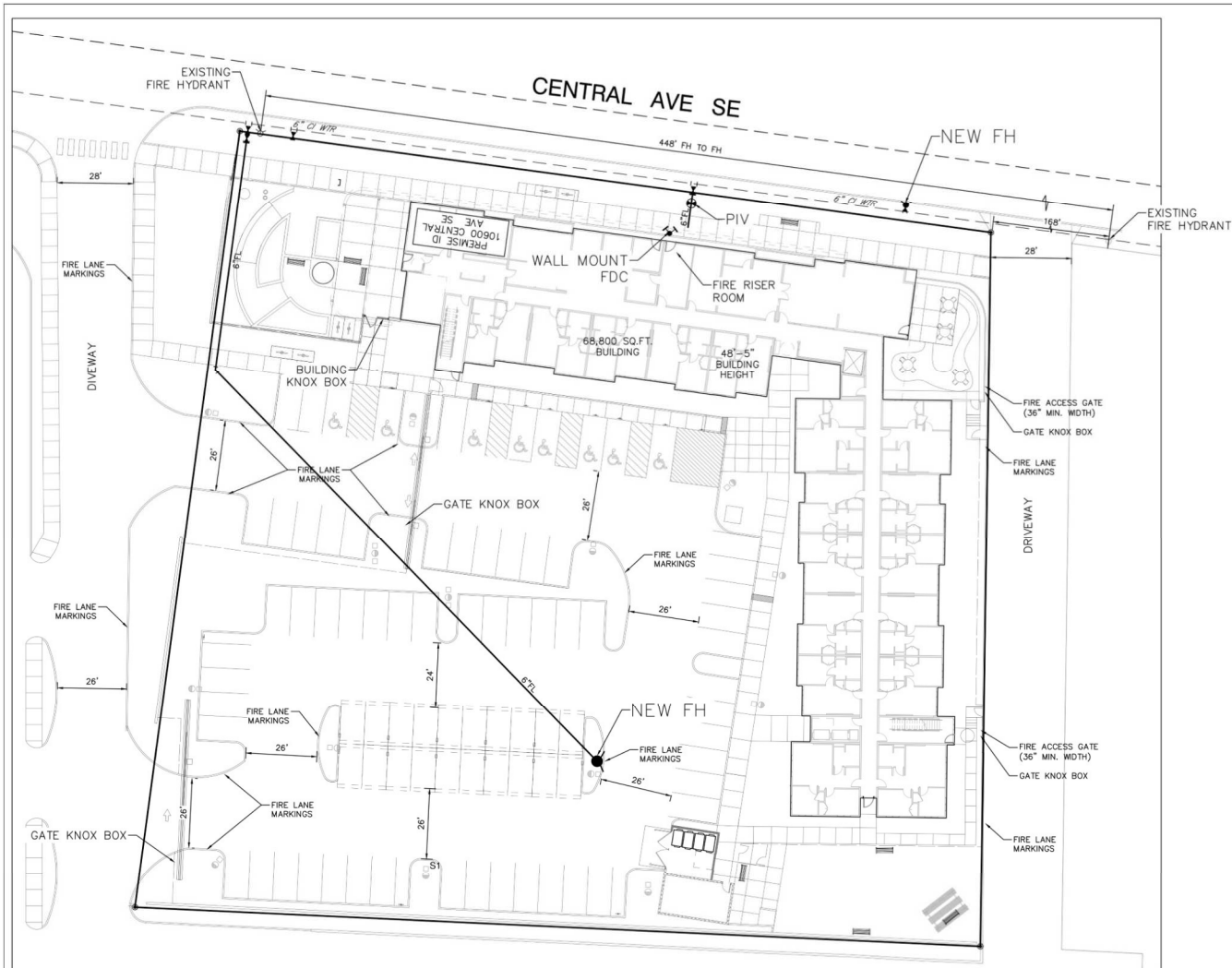
DRAWN BY AG, JF
REVIEWED BY RAW, HFG
DATE 08/28/2020
PROJECT NO. 19-0058
DRAWING NAME

ELECTRICAL SITE PLAN FOR REFERENCE

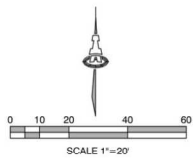
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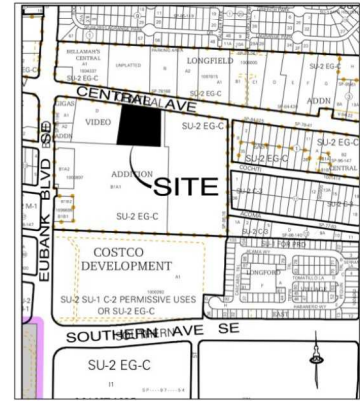
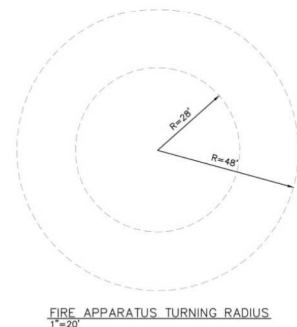
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NOTE:
ROOF ACCESS TO SOUTH WING FROM
INTERNAL FIRE LANE AND FROM CENTRAL AVE.



FIRE 1 PERMIT
ALBUQUERQUE FIRE MARSHAL'S
OFFICE PLANS CHECK DIVISION
PERMIT NUMBER: 20-003063, revised
APPROVED BY: *[Signature]*
APPROVED DATE: 08/24/2020
APPROVED
SQFT: 68800 CONSTRUCTION TYPE: V-A
OPIN: 2375 NUMBER OF HYDRANTS: 3
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY
THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY
ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS.
THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.



L-21

10,600 CENTRAL AVE, SE
ALBUQUERQUE, NM 87123

68,800 SQ. FT BUILDING
TYPE VA CONSTRUCTION
SPRINKLED
48'-5" BUILDING HEIGHT
OCCUPANCY GROUP-RES. R-2

2 EXISTING FIRE HYDRANT NEAR SITE
ALL ACCESS ROADS AND FIRE LANES
HAVE GRADES LESS THAN 10% AND A
LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES
WILL ACCOMMODATE A 28' MINIMUM
TRUCK TURNING RADIUS

NOT FOR CONSTRUCTION
Engineer

LUMINARIA SENIOR COMMUNITY
10600 CENTRAL AVE SE
ALBUQUERQUE, NM 87123

PROJECT STATUS:	50% DESIGN DEVELOPMENT
PROJECT NUMBER:	19-0058
IA PROJECT NUMBER:	2374
DRAWN BY:	BBB
CHECKED BY:	CP
DATE:	07/10/2020

Description	Date	No.

SHEET TITLE

FIRE HYDRANT
LOCATION
AND ACCESS
PLAN

SHEET NUMBER

FIRE-1